



ARCON GROUP INC.
PO Box 42292
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503-936-8120
chris@arcongroup.com
ECB 5347



PERSPECTIVE

ALTA MIRA RESIDENCE
LOT 9 Alta Mira Subdivision

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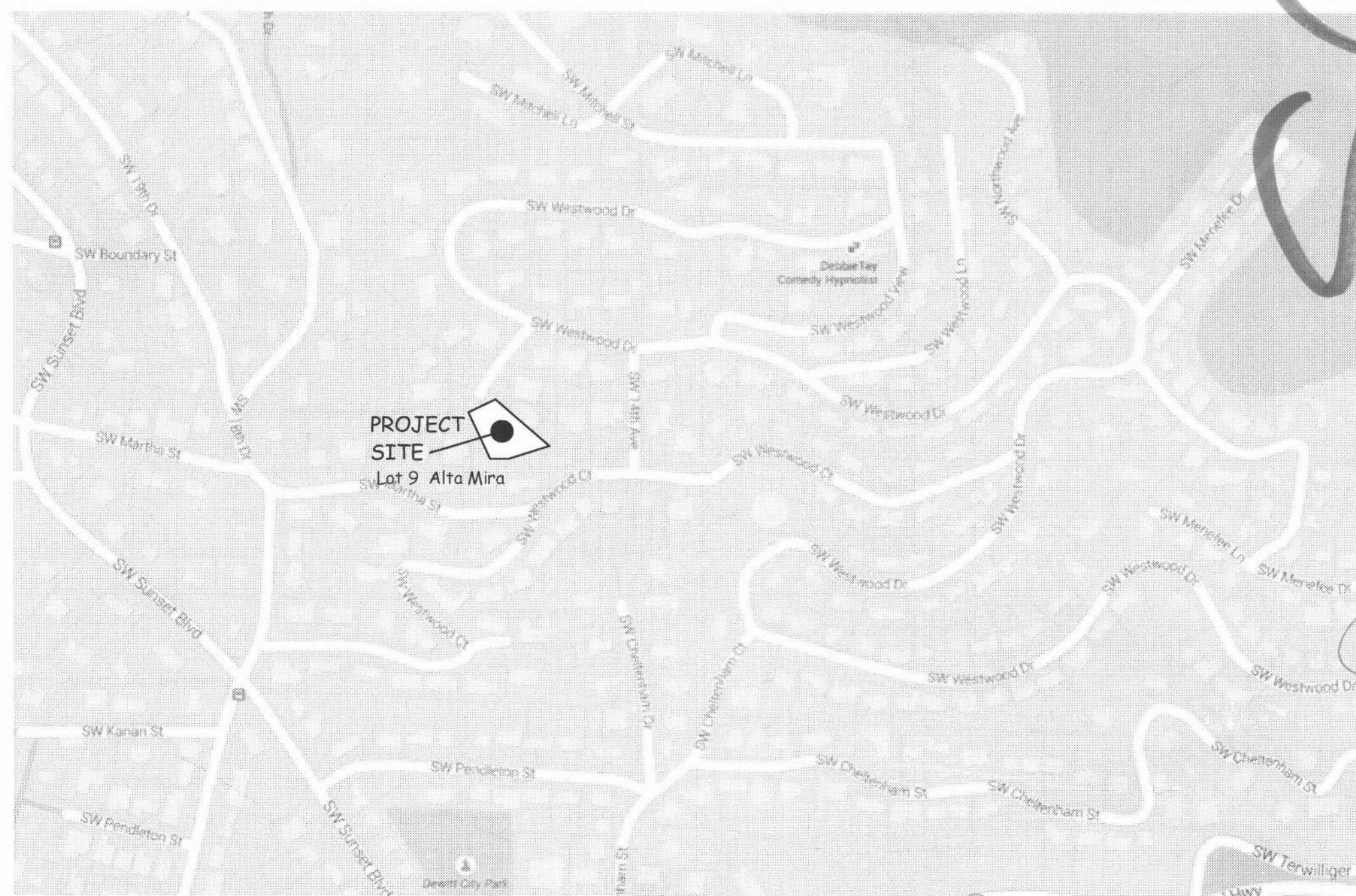
ISSUE
6/15/15 PERMIT SET

A1.3

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Tree Plan



VICINITY MAP

REV 7/16

74
PCL
A1.c

15-187574-RS



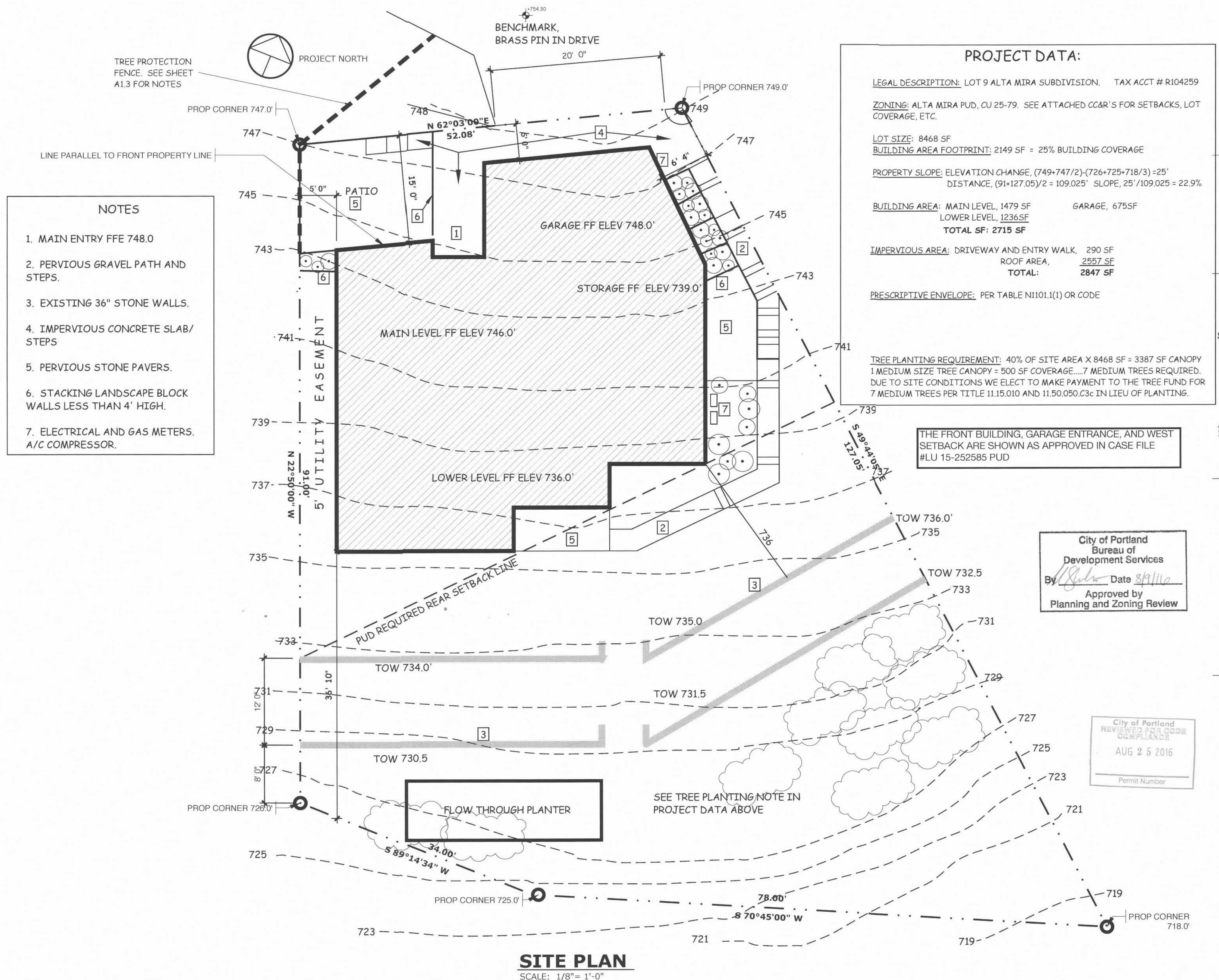
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LOT 9 Alta Mira Subdivision

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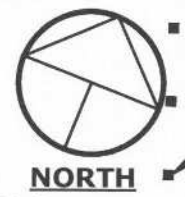
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NOTE: TREE PROTECTION FENCE. SEE SHT A1.3 FOR TREE PROTECTION PLAN



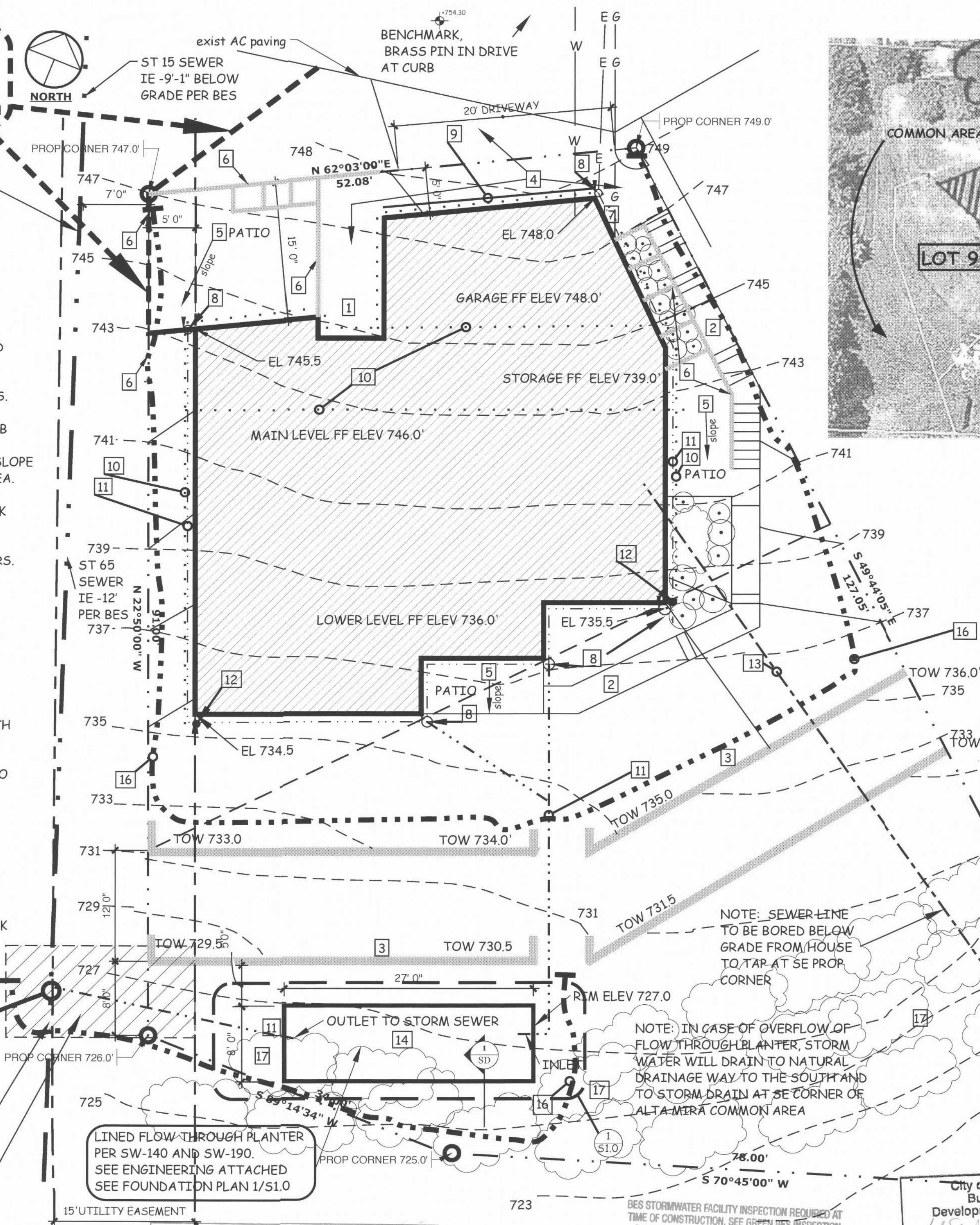
NOTES

1. MAIN ENTRY FFE 748.0
2. PERVIOUS GRAVEL PATH AND STEPS.
3. EXISTING 36" STONE WALLS.
4. IMPERVIOUS CONCRETE SLAB
5. PERVIOUS STONE PAVERS. SLOPE TO DRAIN TO LANDSCAPED AREA.
6. STACKING LANDSCAPE BLOCK WALLS LESS THAN 4' HIGH.
7. ELECTRICAL AND GAS METERS.
8. DOWNSPOUT TO 3" ABS
9. 4" TRENCH DRAIN
10. 3" PERF PIPE IN SOCK
11. 4" ABS RAINDRAIN
12. CONNECT PERF TO ABS WITH BACKFLOW PREVENTER BOX.
13. 4" ABS SANITARY SEWER TO EXISTING 4" LATERAL AT SE PROPERTY LINE.
182 SF (IS DIM)
14. MONOLITHIC CONCRETE FLOW THRU PLANTER. SEE 1/S10 FOR DETAILS.
16. EROSION CONTROL FENCE
17. EXISTING IVY COVERED BANK

TAP 12" CONCRETE STORM SEWER. IE APPROX 715.0'

ST 115 SEWER IE -12' 3" BELOW FINISH GRADE PER BES

10' PRIVATE STORM SEWER EASEMENT #2016-059546



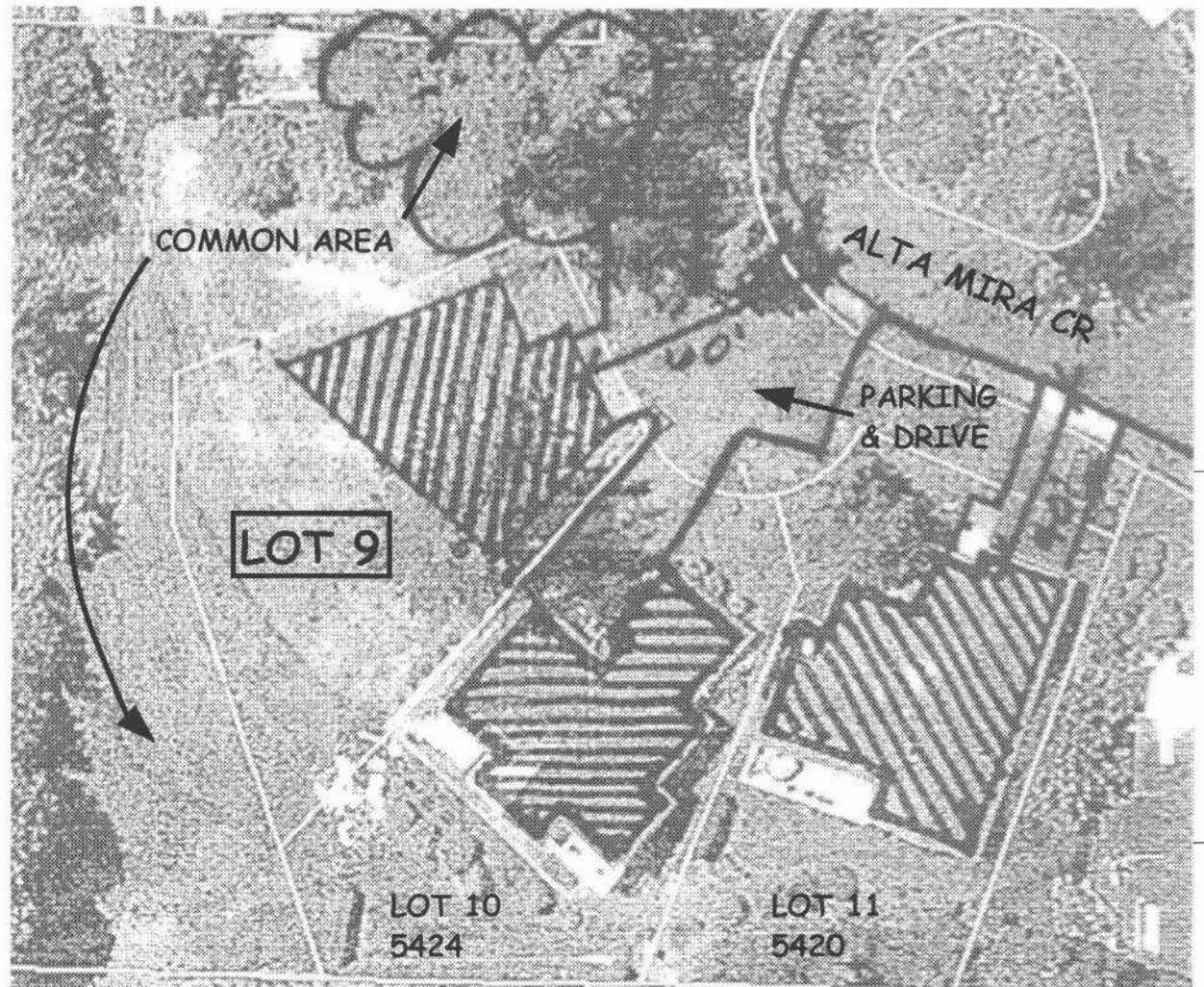
LINED FLOW-THROUGH PLANTER PER SW-140 AND SW-190. SEE ENGINEERING ATTACHED SEE FOUNDATION PLAN 1/S1.0

BDS COMBINATION INSPECTOR APPROVAL REQUIRED FOR DOWNSPOUTS AND PRIVATE STORMWATER PIPING OUTSIDE OF STORM FACILITIES.

SITE PLAN
SCALE: 1/8" = 1'-0"

BES STORMWATER FACILITY INSPECTION REQUIRED AT TIME OF CONSTRUCTION. SEE GREEN BES INSPECTION CARD. To schedule, contact the automated inspection request (IVR) system at 503-823-7000 and request inspection #487 BES Onsite Stormwater Facility Eval - OR you may also contact our office directly at 503-823-2059.

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SEPARATE SEWER CONNECTION PERMIT REQUIRED



VICINITY PLAN

GRADING NOTES

ALL GRADING IS CONTAINED WITHIN THE EROSION CONTROL FENCES.

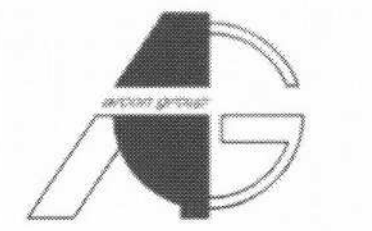
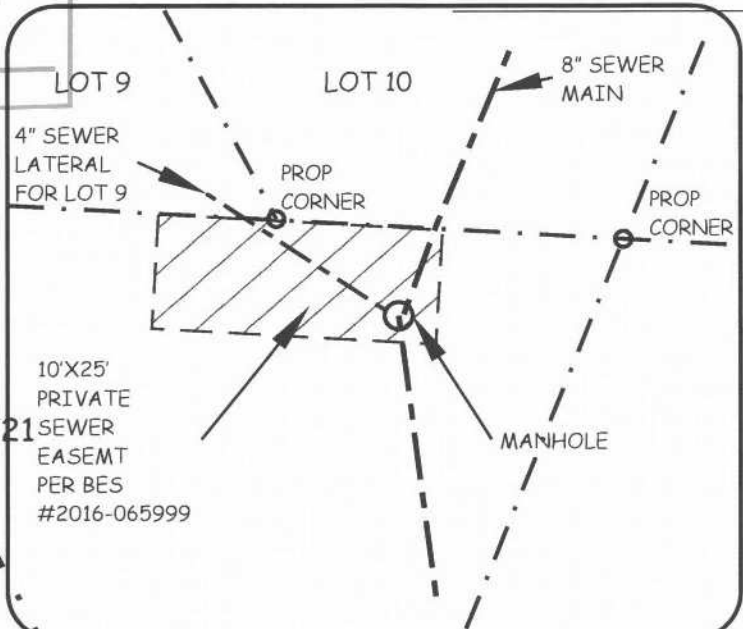
EXISTING LOT CONTOURS ARE INDICATED BY DOTTED LINES. EXISTING DRY STACKED STONE WALLS FINISH GRADES INDICATED BY TOW AND EXISTING GRADES.

ALL FILL EXCEPT BACKFILL AROUND THE HOUSE TO BE REMOVED FROM SITE.

IVY BANK AT SOUTH PORTION OF LOT TO REMAIN.

THE FRONT BUILDING, GARAGE ENTRANCE, AND WEST SETBACK ARE SHOWN AS APPROVED IN CASE FILE #LU 15-252585 PUD

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UTILITY PLAN

ALTA MIRA RESIDENCE
LOT 9 Alta Mira Subdivision

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6/15/15 PERMIT SET
10/15/15 PUD TYPE II
1/5/16 PUD II
4/10/16 PUD II REV
5/24/16 PUD II REV
5/31/16 BES ESMT
6/25/16 REV PERMIT
7/10/16 REV PERMIT

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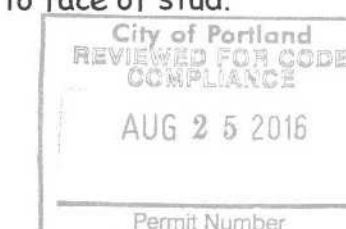
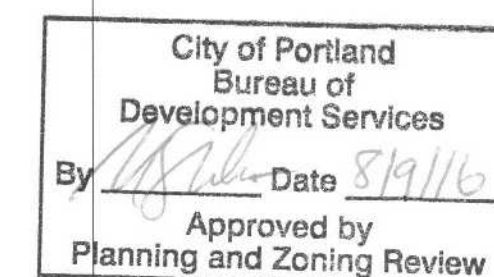


LOWER LEVEL FLOOR PLAN

ALTA MIRA RESIDENCE
LOT 9 Alta Mira Subdivision

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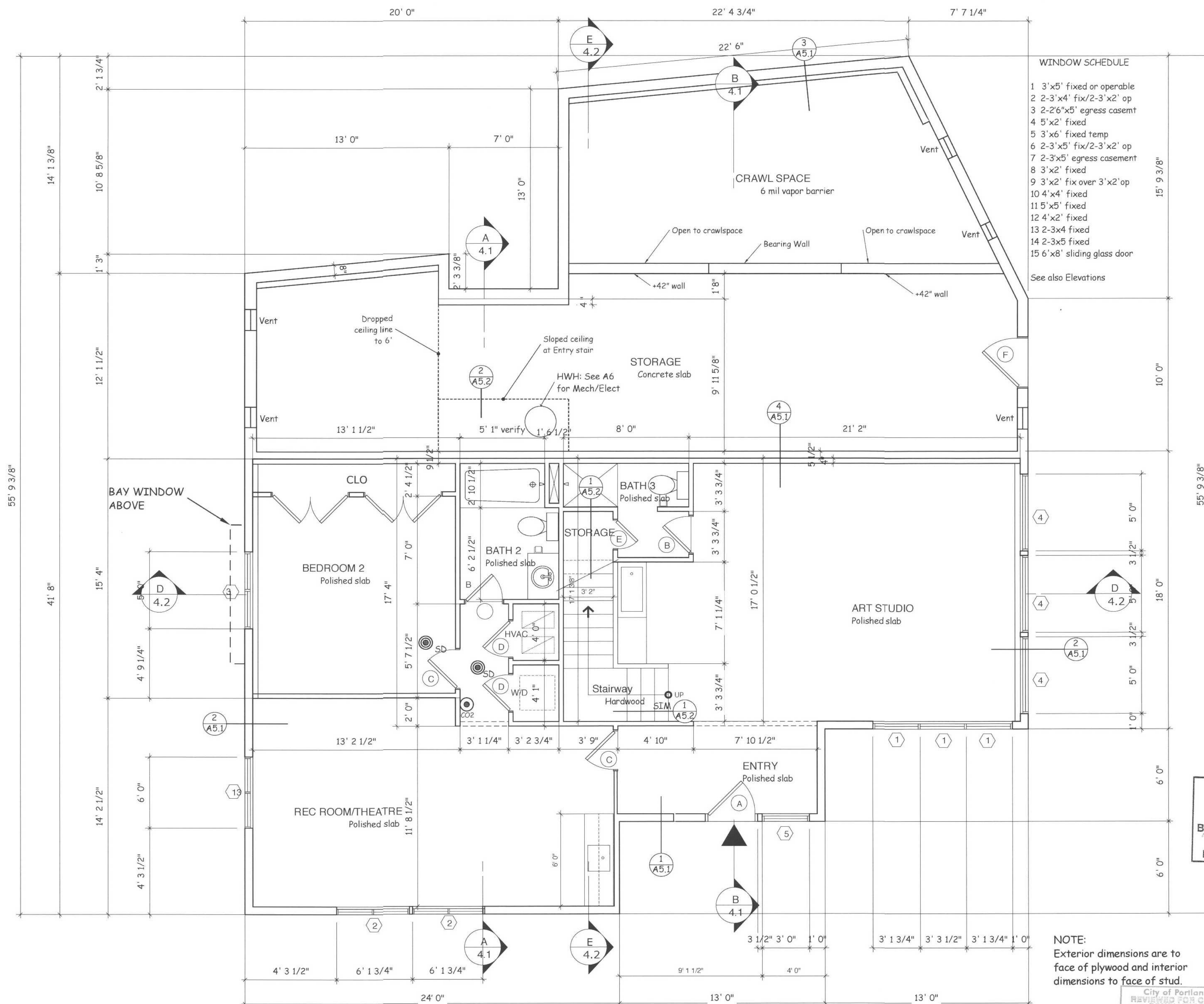
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A2.1

WINDOW SCHEDULE	
1	3'x5' fixed or operable
2	2-3'x4' fix/2-3'x2' op
3	2-2'6"x5' egress casemt
4	5'x2' fixed
5	3'x6' fixed temp
6	2-3'x5' fix/2-3'x2' op
7	2-3'x5' egress casement
8	3'x2' fixed
9	3'x2' fix over 3'x2' op
10	4'x4' fixed
11	5'x5' fixed
12	4'x2' fixed
13	2-3x4 fixed
14	2-3x5 fixed
15	6'x8' sliding glass door
See also Elevations	

NOTE:
Exterior dimensions are to
face of plywood and interior
dimensions to face of stud.

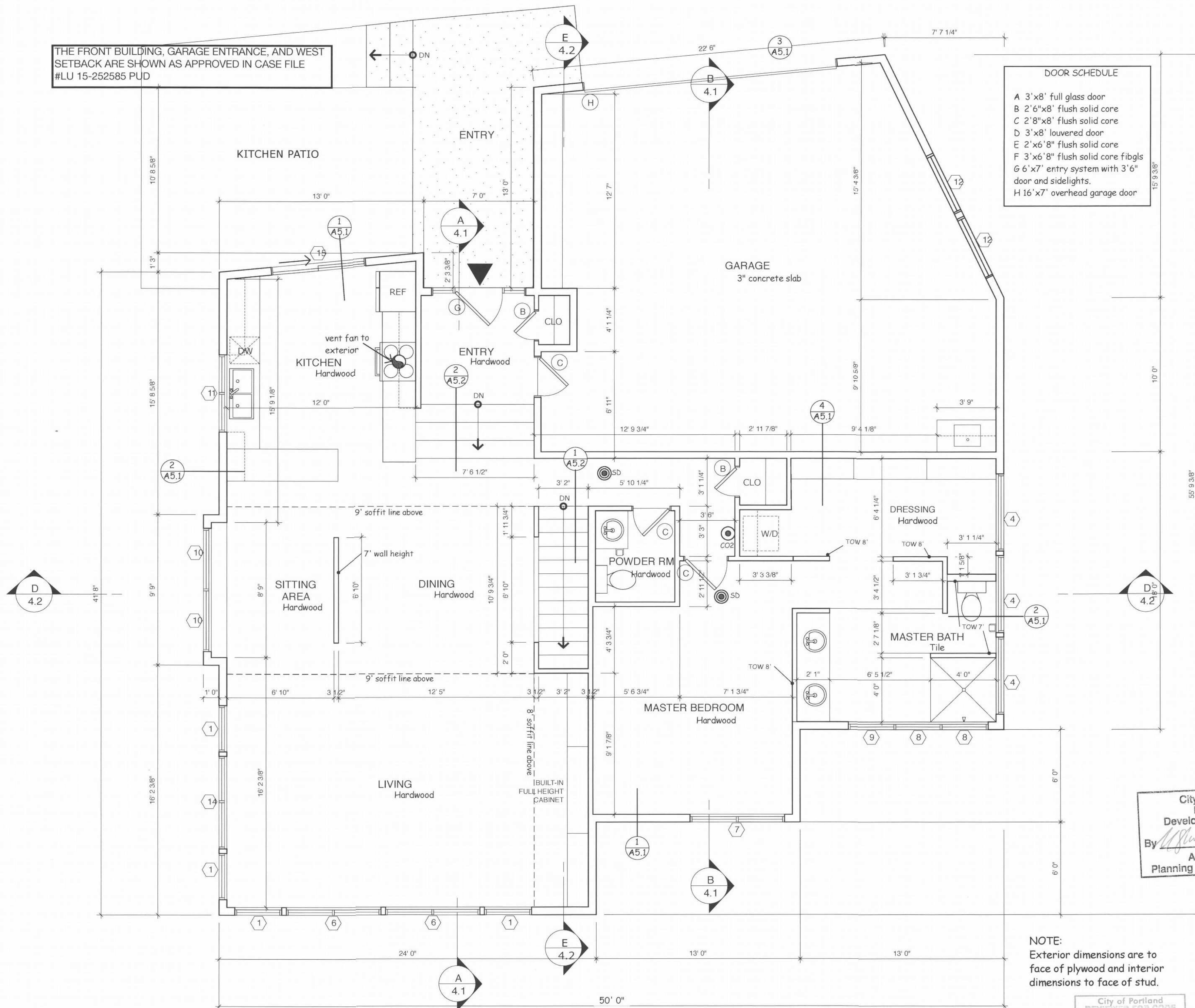


THE FRONT BUILDING, GARAGE ENTRANCE, AND WEST
SETBACK ARE SHOWN AS APPROVED IN CASE FILE
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LOWER LEVEL FLOOR PLAN

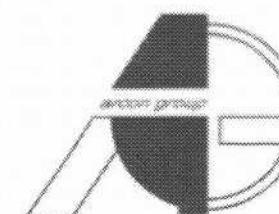
SCALE: 1/4" = 1'-0"

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DOOR SCHEDULE

A 3'x8' full glass door
B 2'6"x8' flush solid core
C 2'8"x8' flush solid core
D 3'x8' louvered door
E 2'x6'8" flush solid core
F 3'x6'8" flush solid core fiberglass
G 6'x7' entry system with 3'6"
door and sidelights.
H 16'x7' overhead garage door



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MAIN LEVEL FLOOR PLAN

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By [Signature] Date 8/9/16

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Planning and Zoning Review

NOTE:
Exterior dimensions are to
face of plywood and interior
dimensions to face of stud.

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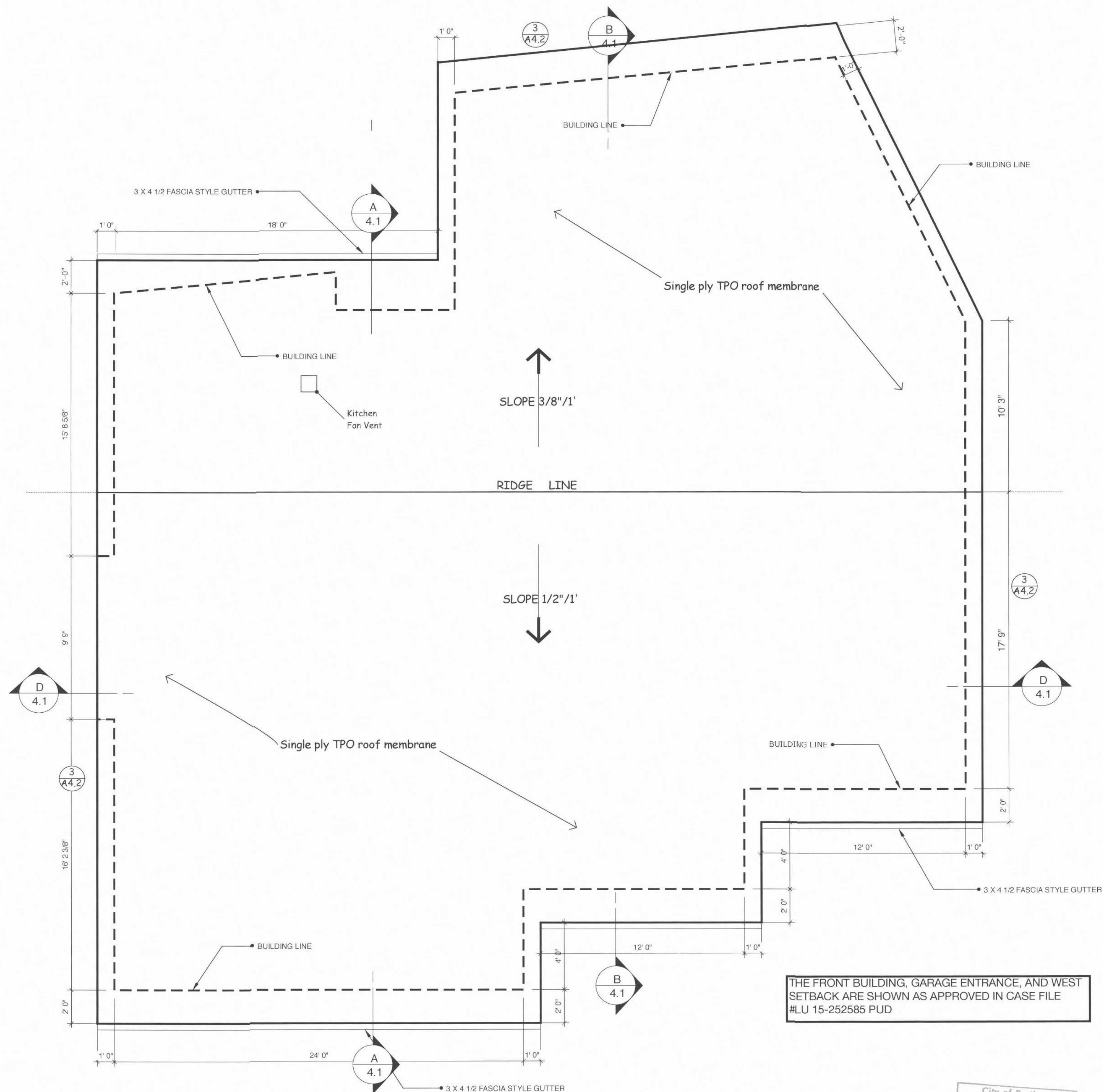


ROOF PLAN

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ROOF PLAN

SCALE: 1/4" = 1'-0"

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ELEVATIONS
SOUTH & EAST

ALTA MIRA RESIDENCE
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1/5/15 PUD
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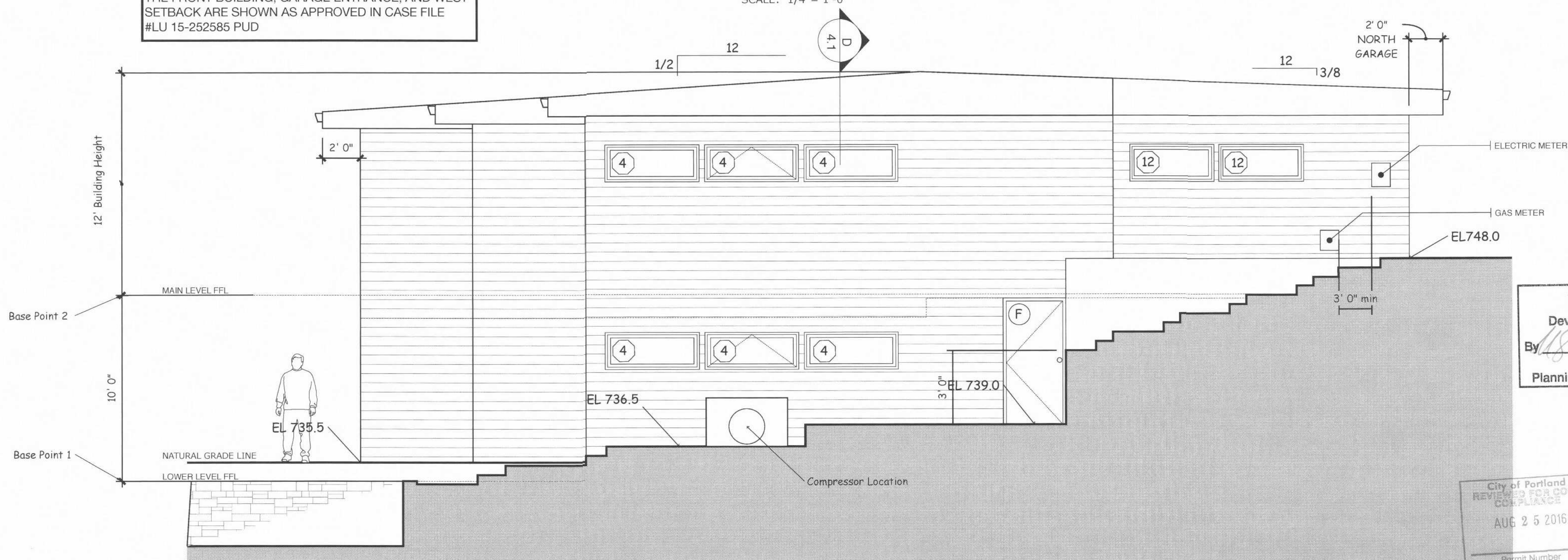
A3.1



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

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EAST ELEVATION

SCALE: 1/4" = 1'-0"



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ELEVATIONS
NORTH & WEST

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LOT 9 Alta Mira Subdivision

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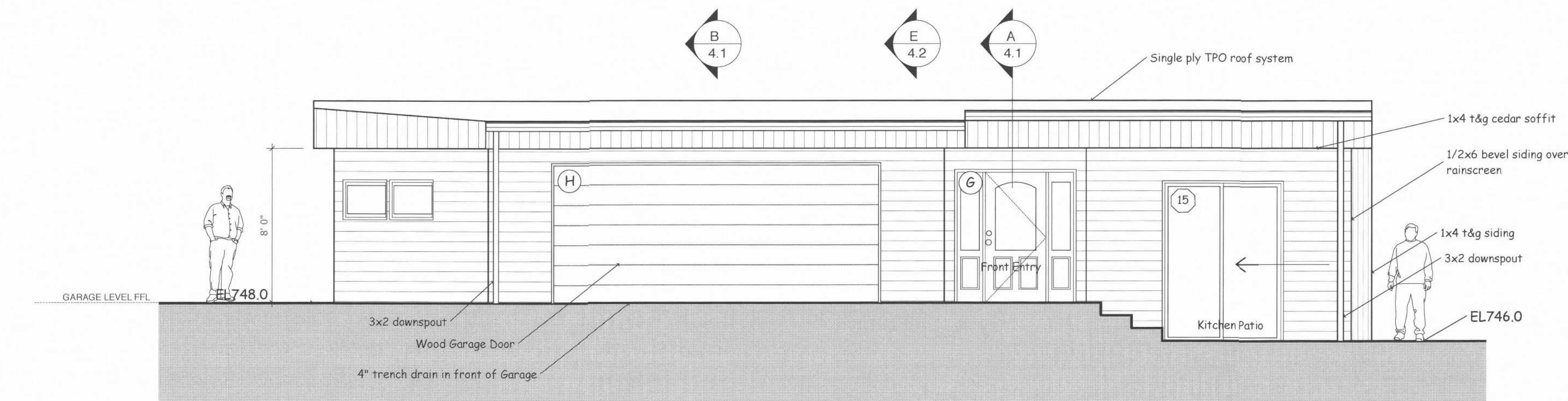
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Base Point 2
Base Point 1
LOWER LEVEL FFL

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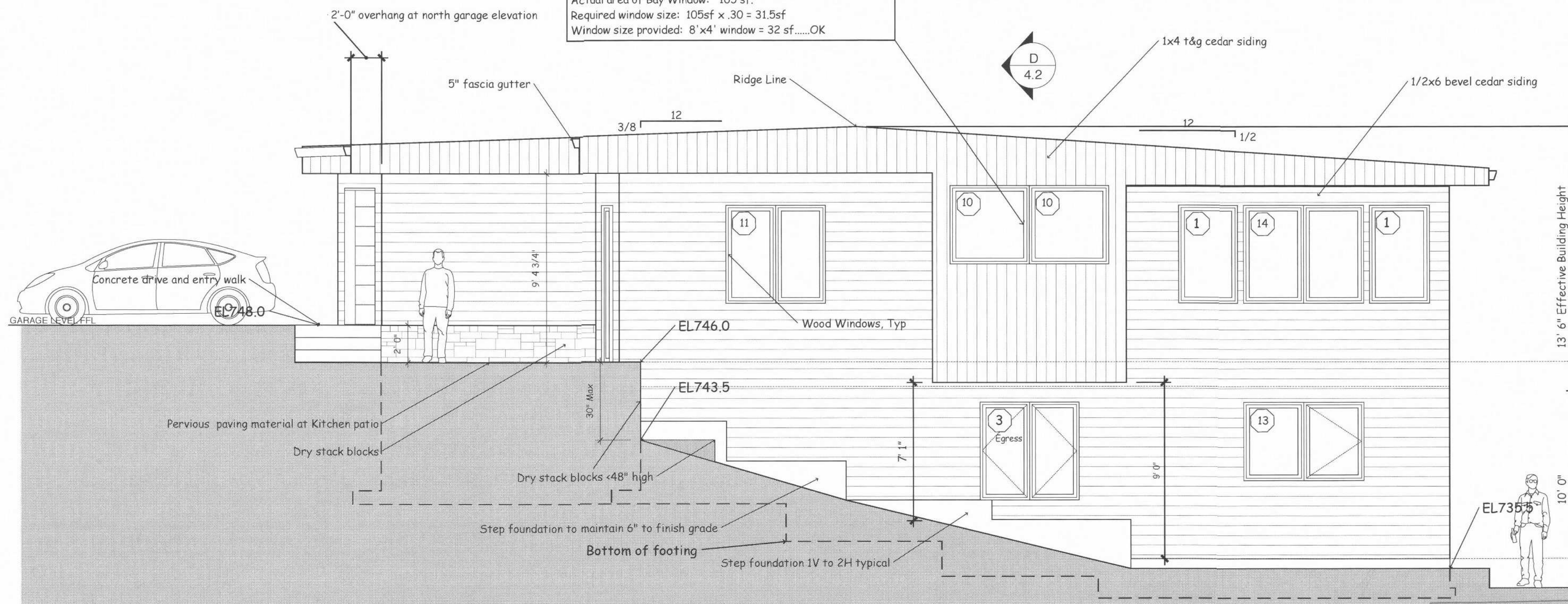


NORTH ELEVATION

SCALE: 1/4" = 1'-0"

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BAY WINDOW NOTE:
Elevation at Bay Window: 732sf. x 30% allowable area = 219 sf.
Actual area of Bay Window: 105 sf.
Required window size: 105sf x .30 = 31.5sf
Window size provided: 8' x 4' window = 32 sf.....OK



WEST ELEVATION

SCALE: 1/4" = 1'-0"



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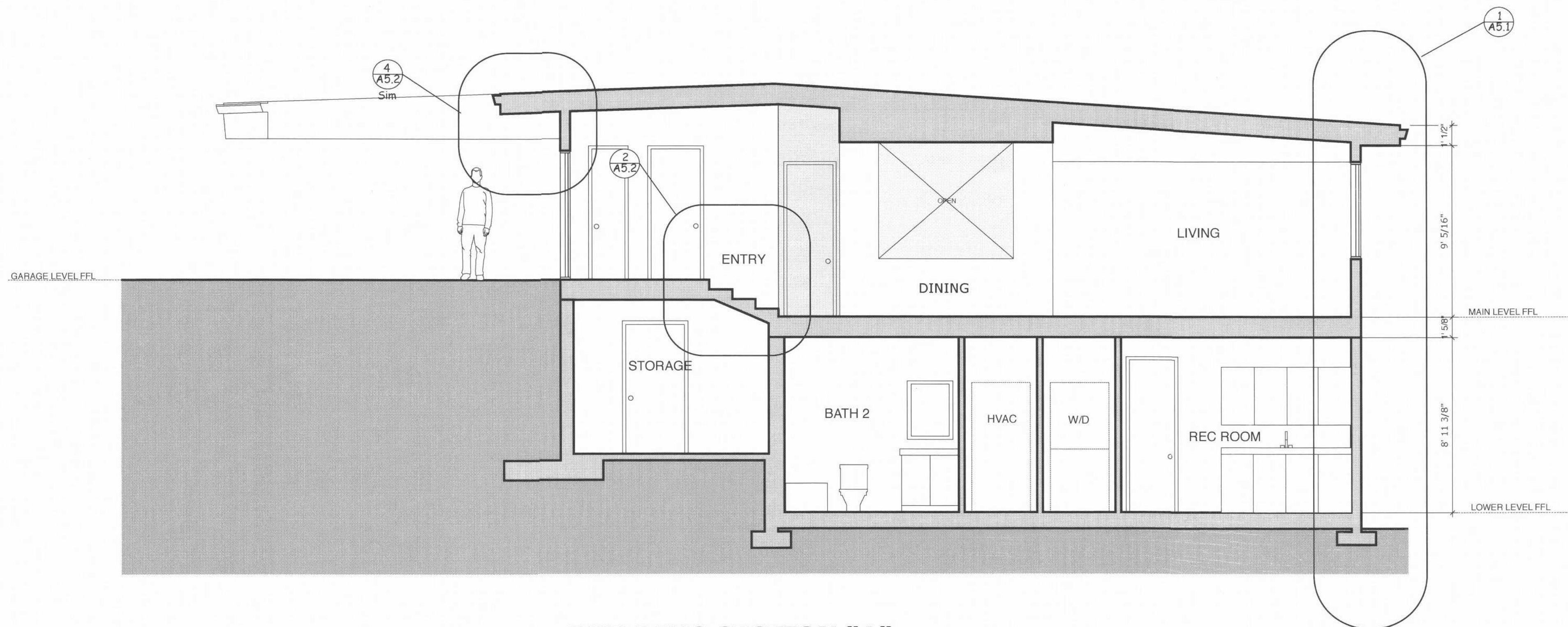


SECTIONS
A & B

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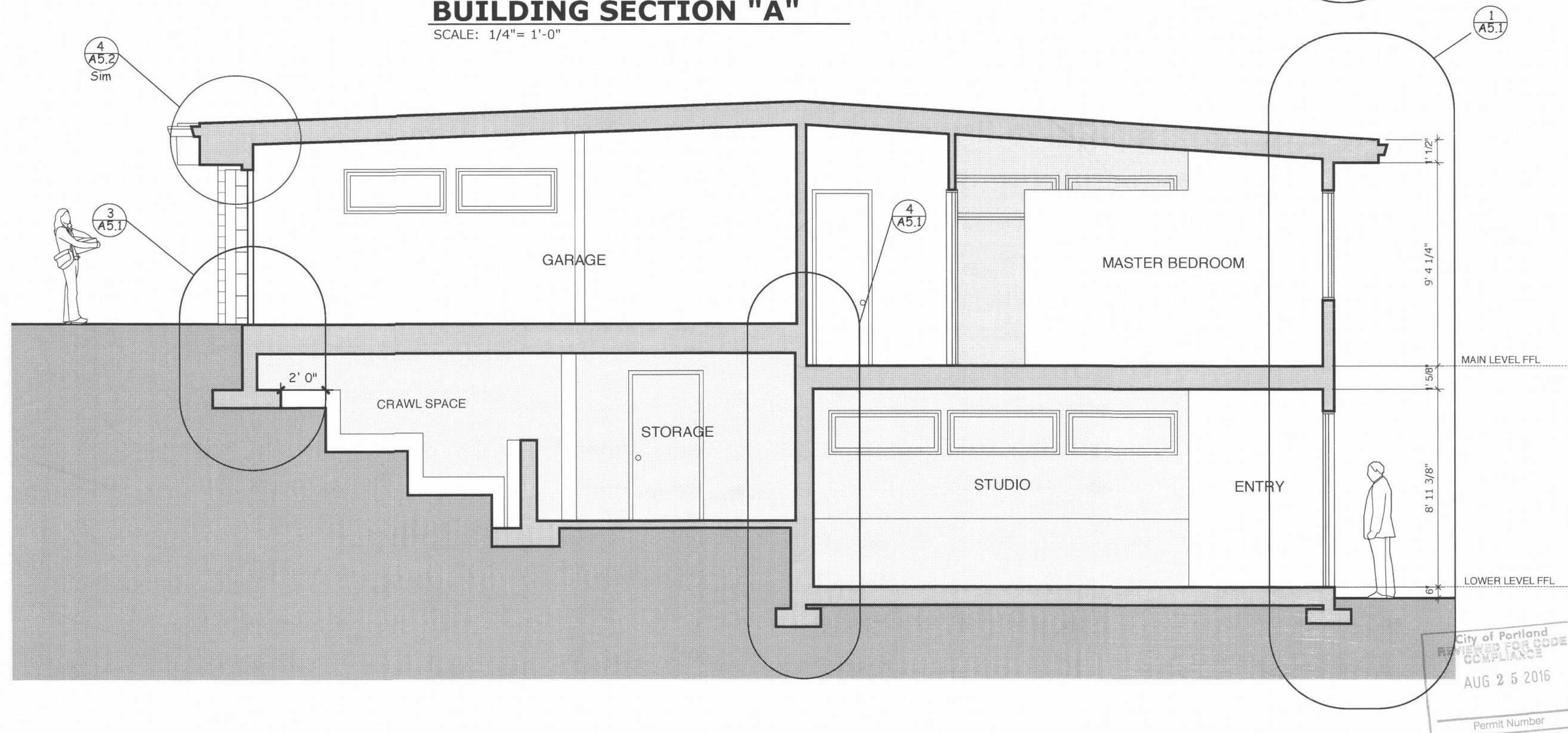
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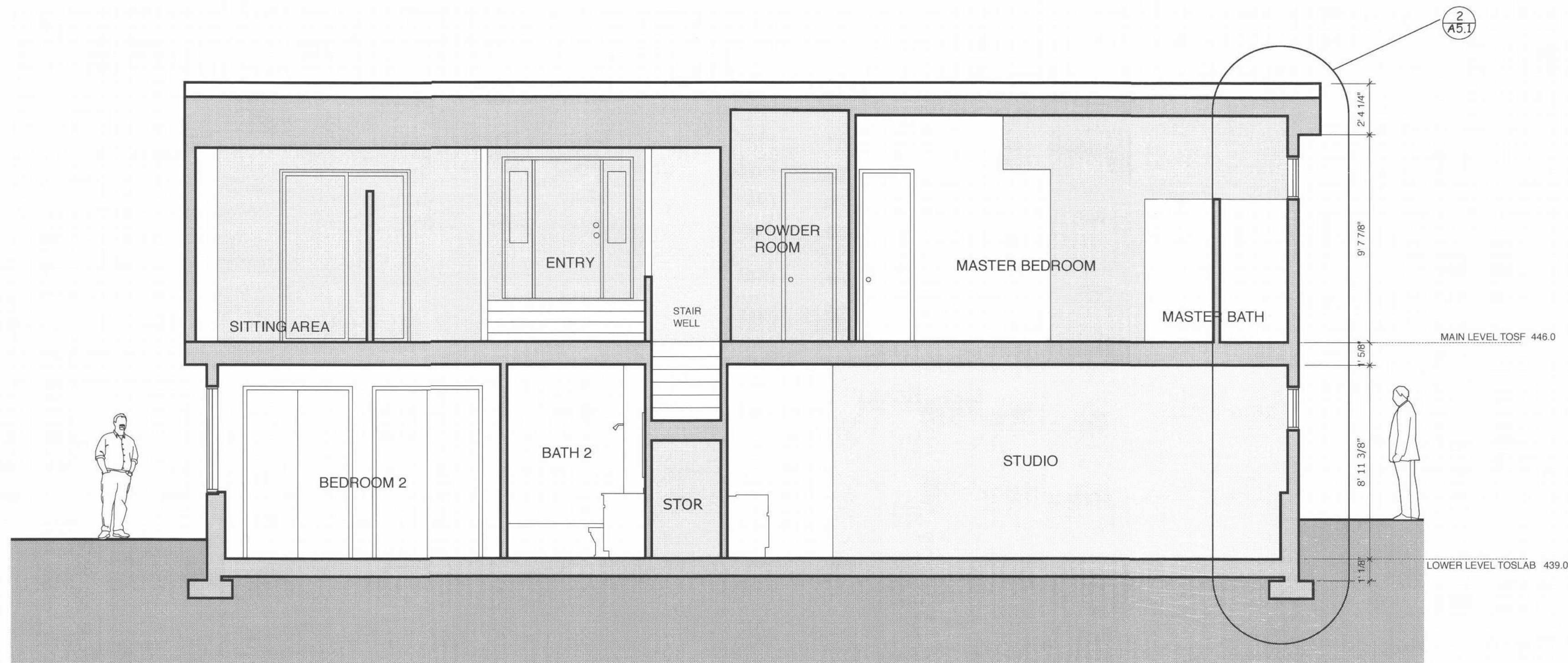
BUILDING SECTION "A"

SCALE: 1/4" = 1'-0"



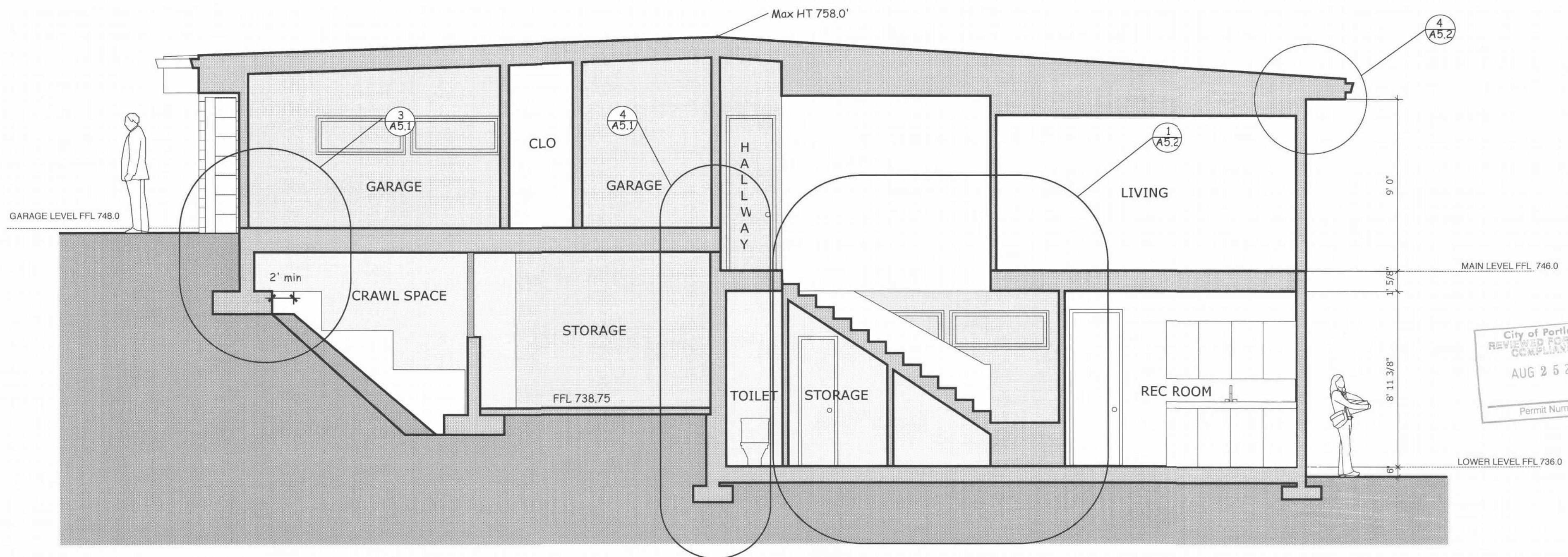
BUILDING SECTION "B"

SCALE: 1/4" = 1'-0"



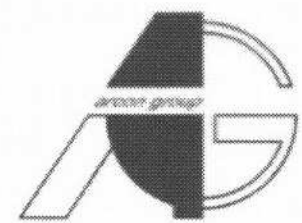
BUILDING SECTION "D"

SCALE: 1/4" = 1'-0"



BUILDING SECTION "E"

SCALE: 1/4" = 1'-0"



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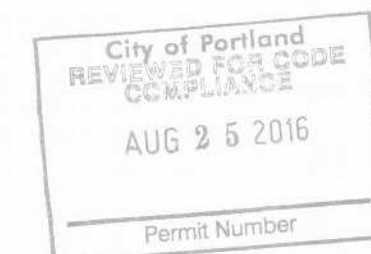


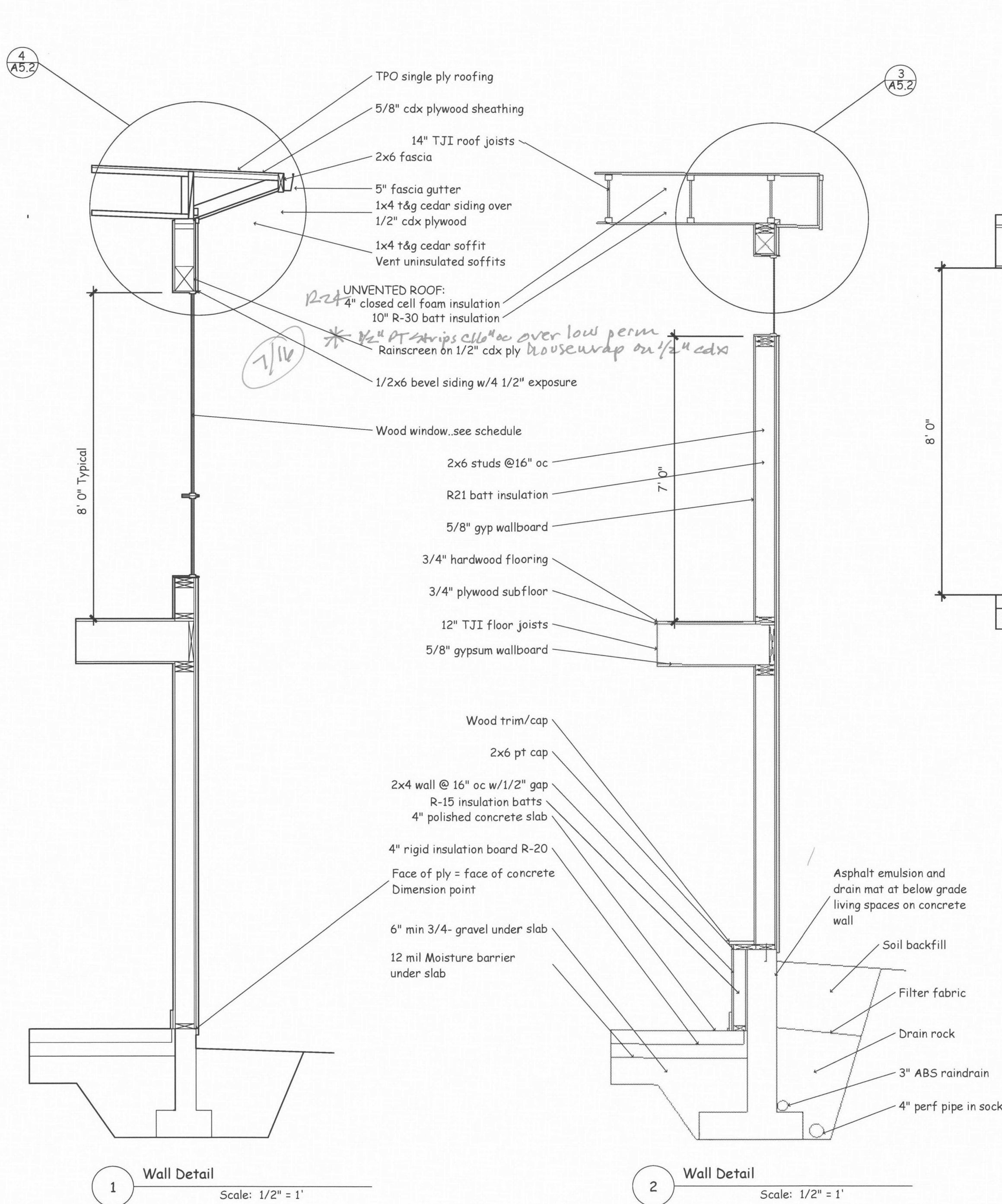
**SECTIONS
D & E**

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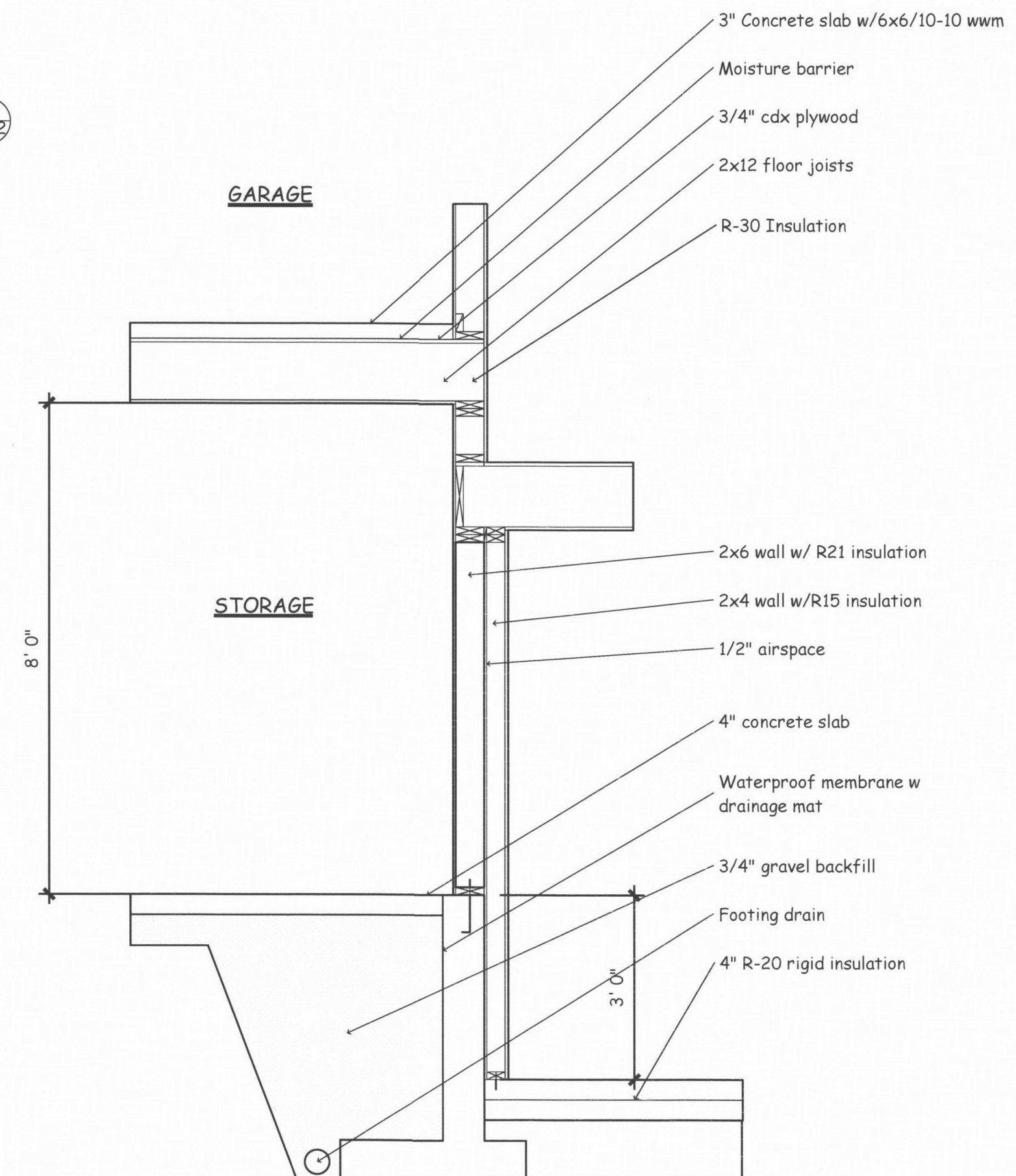




1 Wall Detail
Scale: 1/2" = 1'

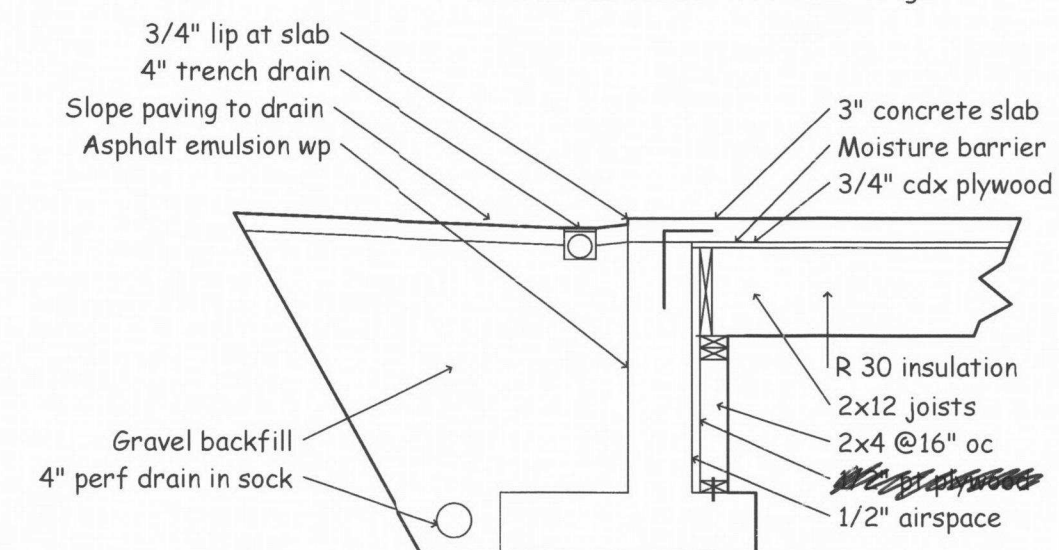
NOTE: See also structural drawings

2 Wall Detail
Scale: 1/2" = 1'



4 Wall Detail
Scale: 1/2" = 1'

NOTE: See also structural drawings



3 Footing Detail
Scale: 1/2" = 1'

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REGISTERED ARCHITECT
2621
CHRISTOPHER H. THELEN
PORTLAND, OREGON
STATE OF OREGON

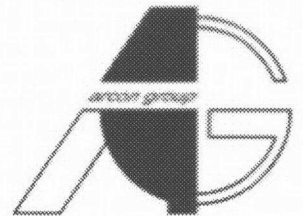
WALL SECTIONS

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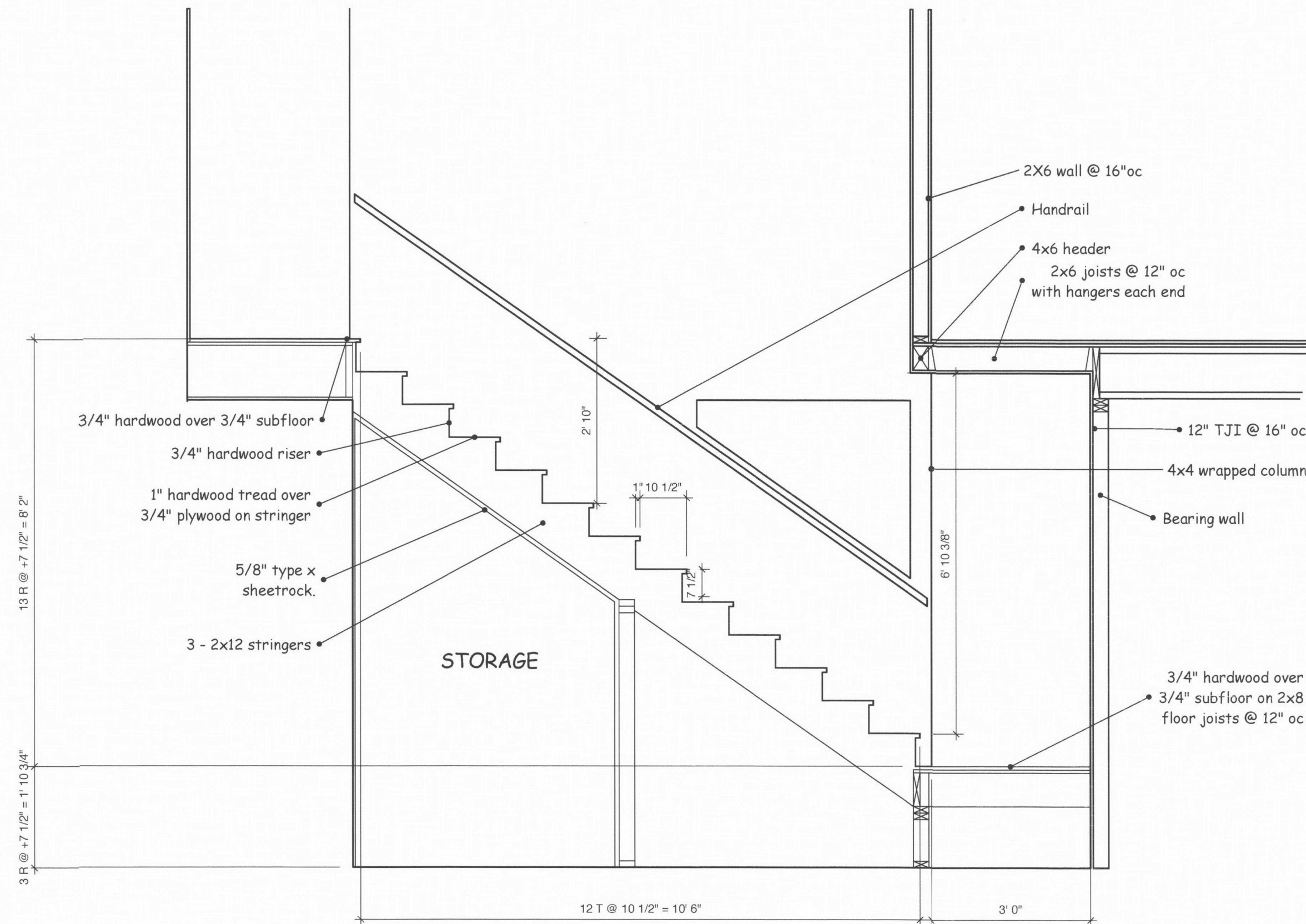


DETAILS

ALTA MIRA RESIDENCE
LOT 9 Alta Mira Subdivision

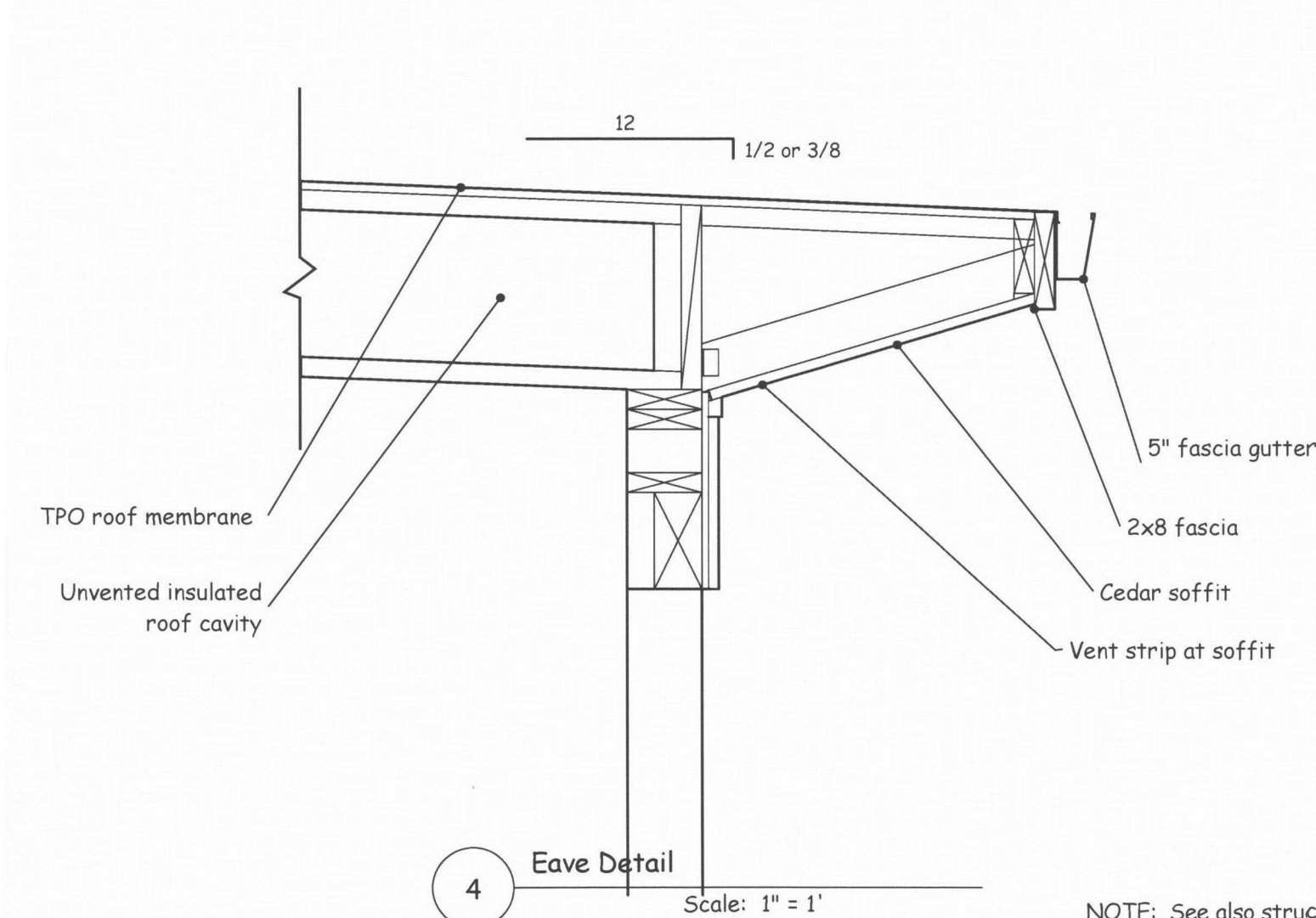
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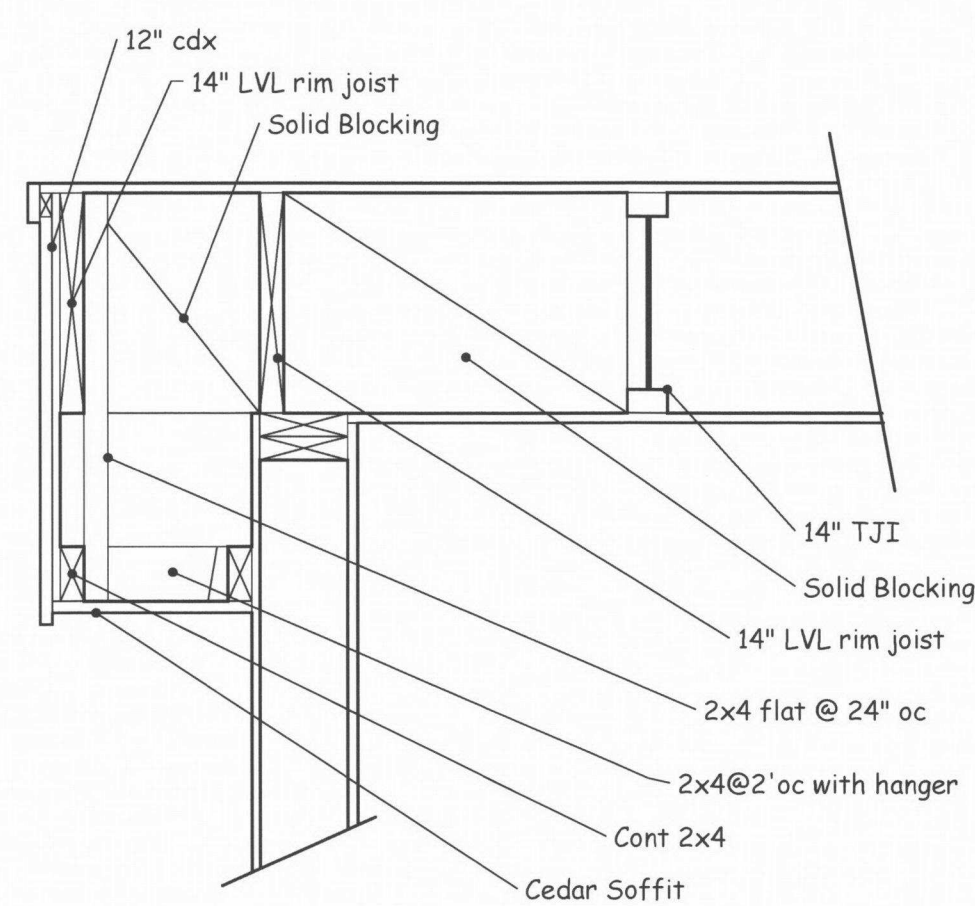
1 Main Stairway Detail
Scale: 1/2" = 1'

NOTE: See also structural drawings

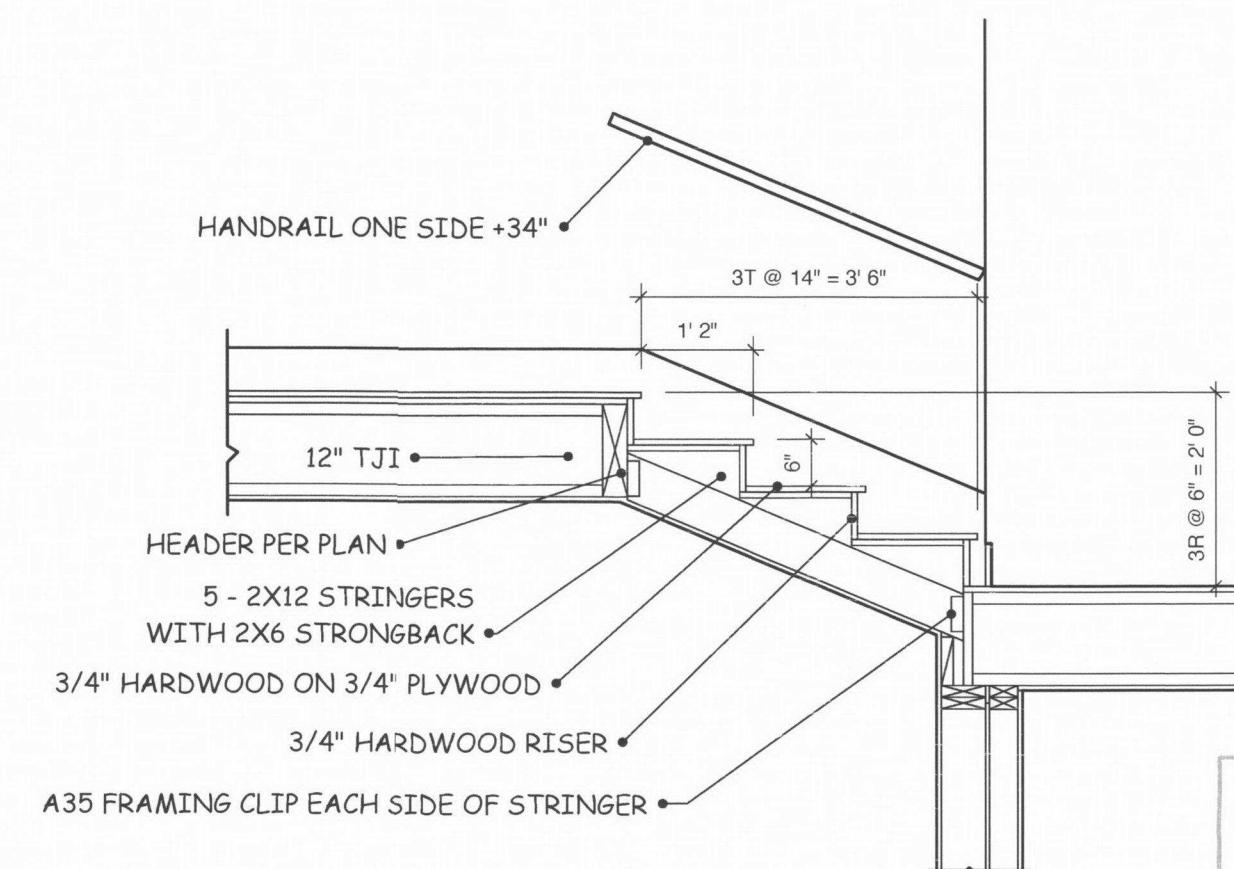


4 Eave Detail
Scale: 1" = 1'

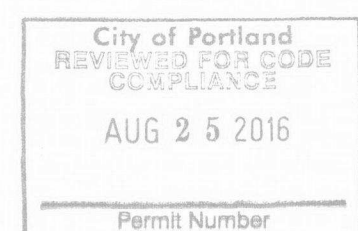
NOTE: See also structural drawings

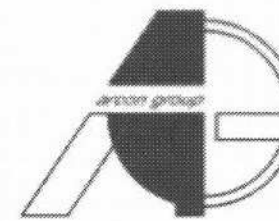


3 Barge Detail
Scale: 1" = 1'



2 Entry Stairway Detail
Scale: 1/2" = 1'





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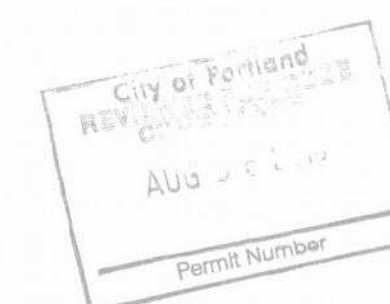
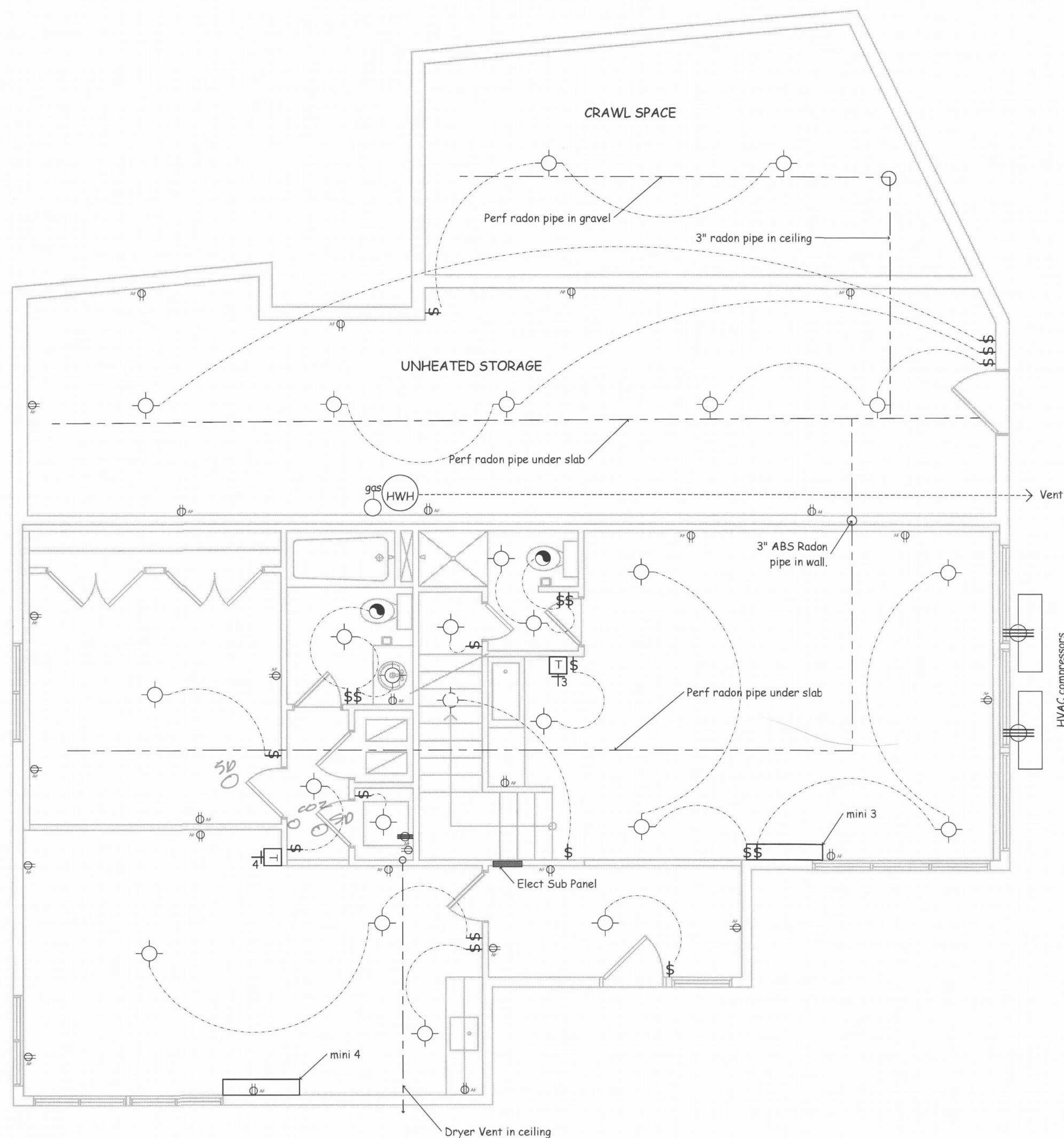


LOWER LEVEL
LIGHTING & POWER

ALTA MIRA RESIDENCE
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LOWER LEVEL LIGHTING & POWER PLAN
SCALE: 1/4" = 1'-0"



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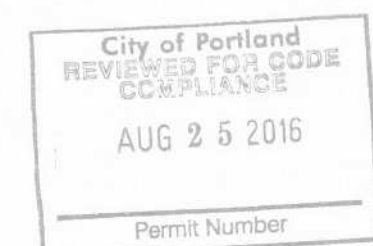
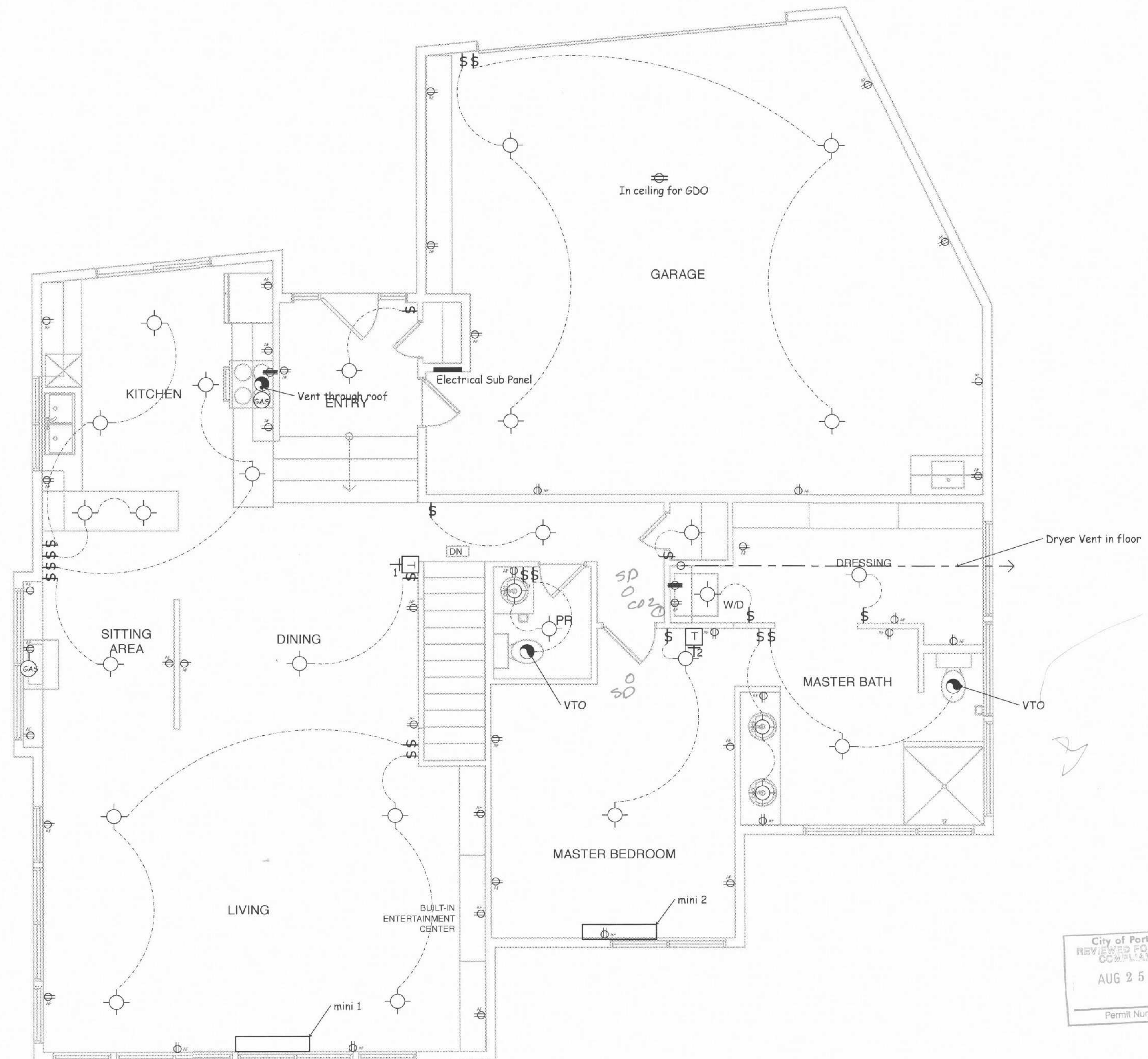


MAIN LEVEL
LIGHTING & POWER

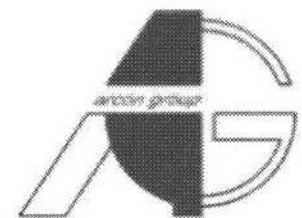
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MAIN LEVEL LIGHTING & POWER PLAN
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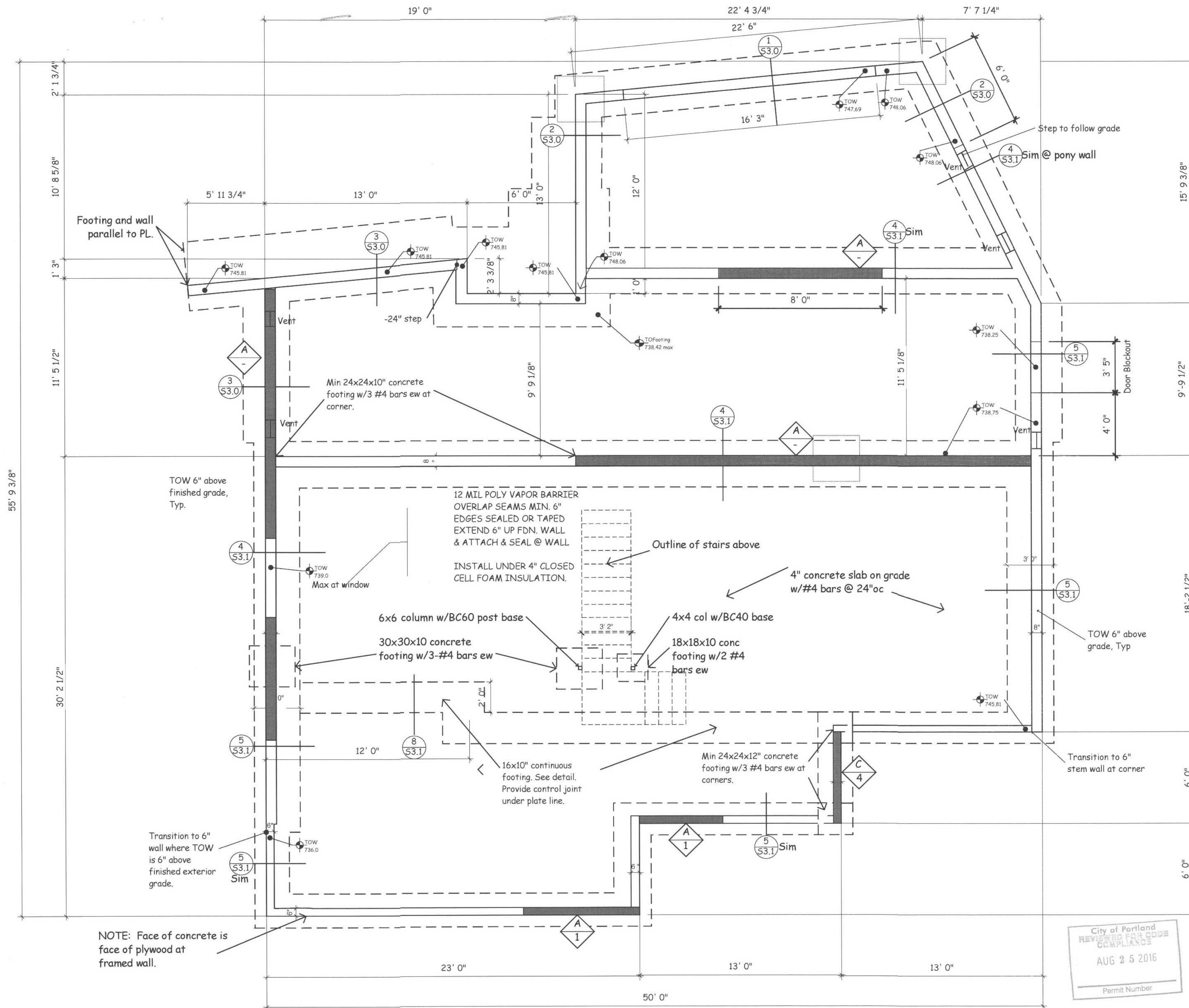
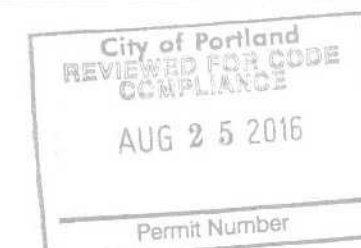


FOUNDATION PLAN

ALTA MIRA RESIDENCE
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FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

S1.0



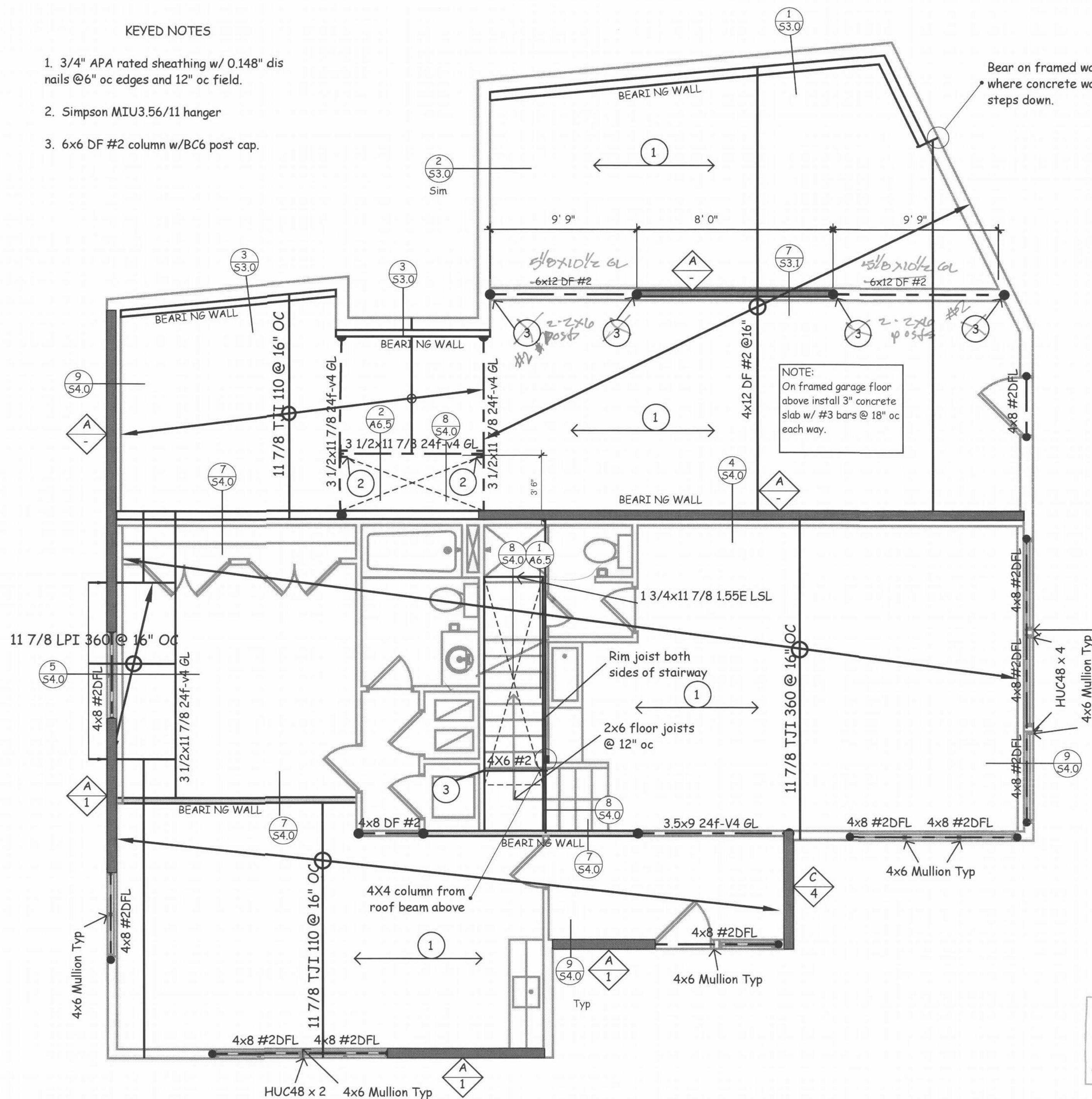
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1. 3/4" APA rated sheathing w/ 0.148" dis nails @6" oc edges and 12" oc field.
2. Simpson MIU3.56/11 hanger
3. 6x6 DF #2 column w/BC6 post cap.



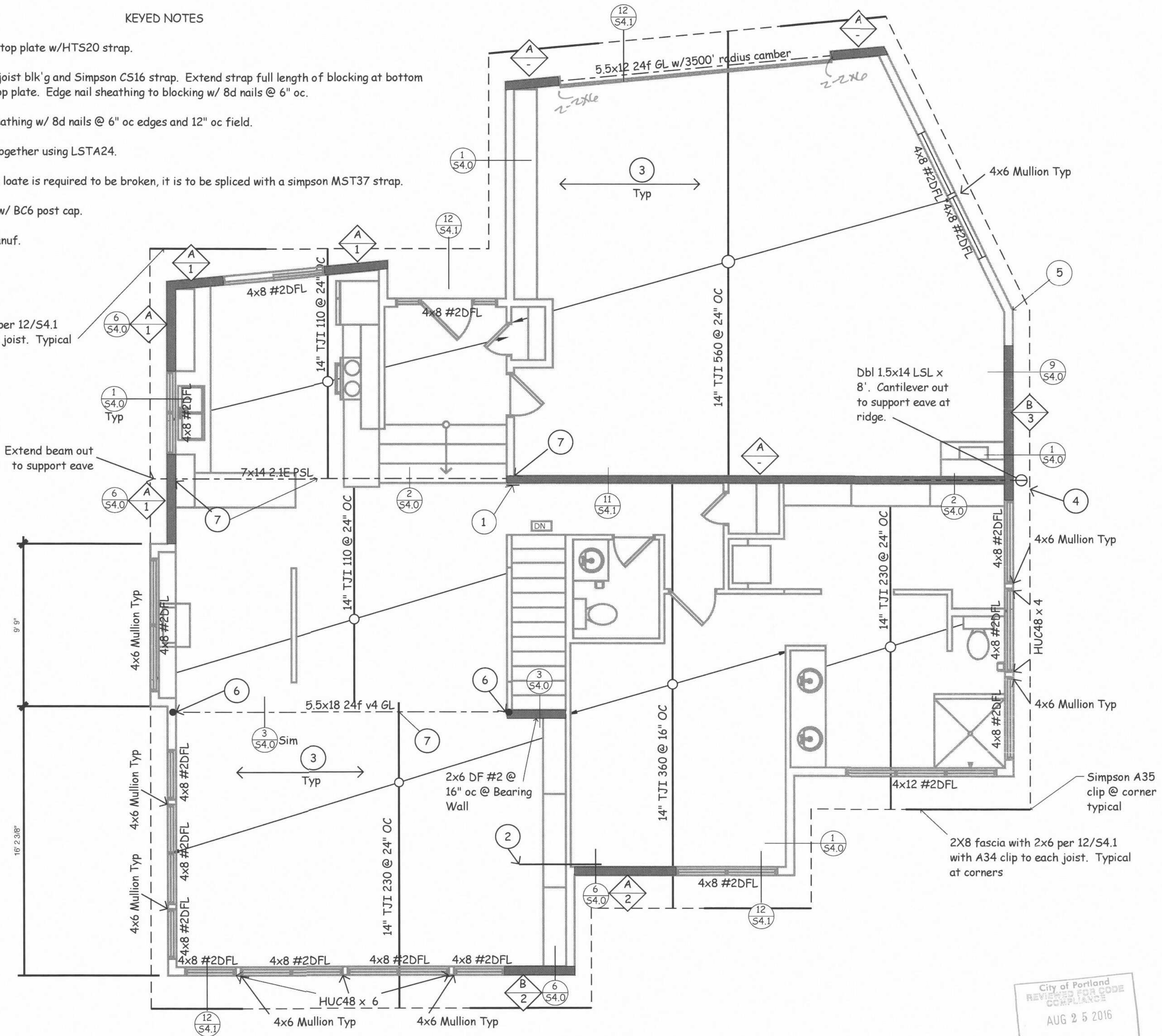
SCALE: 1/4" = 1'-0"

KEYED NOTES

1. Attach beam to dbl top plate w/HTS20 strap.
2. Block and strap w/ joist blk'g and Simpson CS16 strap. Extend strap full length of blocking at bottom and 24" min onto dbl top plate. Edge nail sheathing to blocking w/ 8d nails @ 6" oc.
3. 5/8" APA rated sheathing w/ 8d nails @ 6" oc edges and 12" oc field.
4. Strap top of joist together using LSTA24.
5. Where a double top plate is required to be broken, it is to be spliced with a simpson MST37 strap.
6. 6x6 DF #2 column w/ BC6 post cap.
7. Hanger per joist manuf.

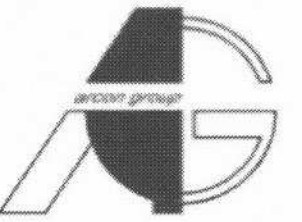
2X8 fascia with 2x6 per 12/S4.1 with A34 clip to each joist. Typical at corners

Extend beam out to support eave



ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"



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ROOF FRAMING

ALTA MIRA RESIDENCE
LOT 9 Alta Mira Subdivision

DRAWN BY
AOC4
CHT

ISSUE
6/15/15 PERMIT SET

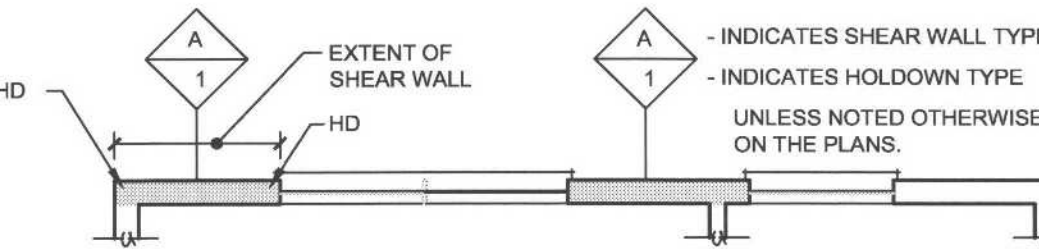


S2.1

Shear Wall Legend

SEE SCHEDULED INFORMATION FOR EACH APPLICABLE SYMBOL SHOWN.

ONE HOLDOWN IS ALWAYS TO BE LOCATED AT EACH END OF EACH SHEAR WALL AS INDICATED BELOW ("HD") UNLESS NOTED OTHERWISE. HOLDOWNS MAY OR MAY NOT BE INDICATED BY A DOT (AS SHOWN BELOW) ON THE PLANS.



CONCRETE SPECIFICATIONS

CONCRETE (CAST IN PLACE):					
1.	ALL CONCRETE SHALL BE NORMAL WEIGHT AND SHALL HAVE THE FOLLOWING PROPERTIES:				
	DESCRIPTION	28 DAY STRENGTH	MAX WATER / CEMENT RATIO	ENTRAINED AIR	OTHER
	FOOTINGS	3000 PSI	0.50	2% +/- 1.5%	
	RETAINING / EXTERIOR WALLS	3000 PSI	0.50	6% +/- 1.5%	
	INTERIOR SLAB-ON-GRADE	3000 PSI	0.50	N/A	FLY ASH
	EXTERIOR SLAB-ON-GRADE	3000 PSI	0.43	6% +/- 1.5%	FLY ASH
2.	#####				
3.	CONCRETE CYLINDER AND TESTING SHALL CONFORM TO ASTM SPECIFICATIONS.				
4.	CONCRETE, FORMS, MIXING, PLACING AND CURING SHALL CONFORM TO ACI MANUAL OF CONCRETE PRACTICE, LATEST EDITION, AND SPECIFICATIONS.				
5.	CONCRETE SHALL BE PLACED IN ONE CONTINUOUS OPERATION.				
6.	ALL BOLTS AND OR RODS IN CONCRETE SHALL CONFORM TO ASTM SPECIFICATION F1554 GRADE 36 (UNLESS NOTED OTHERWISE ON DRAWINGS) AND SHALL BE OF THE SIZE INDICATED ON THE DRAWINGS.				
7.	ANCHOR RODS ARE TO BE LOCATED BY MEANS OF A TEMPLATE. DO NOT HAND SET OR WET SET.				
8.	REINFORCING BARS TO BE ASTM A706 GRADE 60.				

HOLDOWN SCHEDULE

	HOLDOWN	ATTACHMENT TO FRAMING MEMBER	MINIMUM FRAMING MEMBER SIZE	ATTACHMENT TO FOUNDATION UNO ON PLANS OR DETAILS	COMMENTS
-	NONE REQUIRED				
1	SIMPSON HTT4 (CAPACITY = 4235 LBS)	(18) 16d x 2 1/2" NAILS	(2) 2x STUDS	USE SIMPSON SSTB24L INTO STEM WALL. OR USE 3/4" DIA HOLDOWN ANCHOR EMBED 5" INTO FTG W/ 3/4" x 1 1/2" x 1 1/2" PL WASHER WHEN NO STEM WALL OCCURS. (MINIMUM FOOTING SIZE IS 18" WIDE x 10" DEEP)	PROVIDE #4 DOWEL W/ STANDARD HOOK @ EACH HOLDOWN LOCATION
2	SIMPSON MST37	(11) 16d NAILS @ TOP & BOTTOM. (CENTER STRAP ON FLOOR CAVITY (22) TOTAL NAILS)	(2) 2x STUDS		
3	SIMPSON MST48	(17) 16d NAILS @ TOP & BOTTOM. (CENTER STRAP ON FLOOR CAVITY (34) TOTAL NAILS)	(2) 2x STUDS		
4	SIMPSON HDU8 (CAPACITY = 7720 LBS)	(20) SIMPSON SDS 1/2" DIA x 2 1/2" WOOD SCREWS	(3) 2x STUDS	3/4" DIA HOLDOWN ANCHOR EMBED 6" INTO FTG W/ 3/4" x 2 1/2" x 2 1/2" PL WASHER. (MINIMUM FOOTING SIZE IS 18" WIDE x 12" DEEP)	PROVIDE #5 DOWEL W/ STANDARD HOOK @ EACH HOLDOWN LOCATION

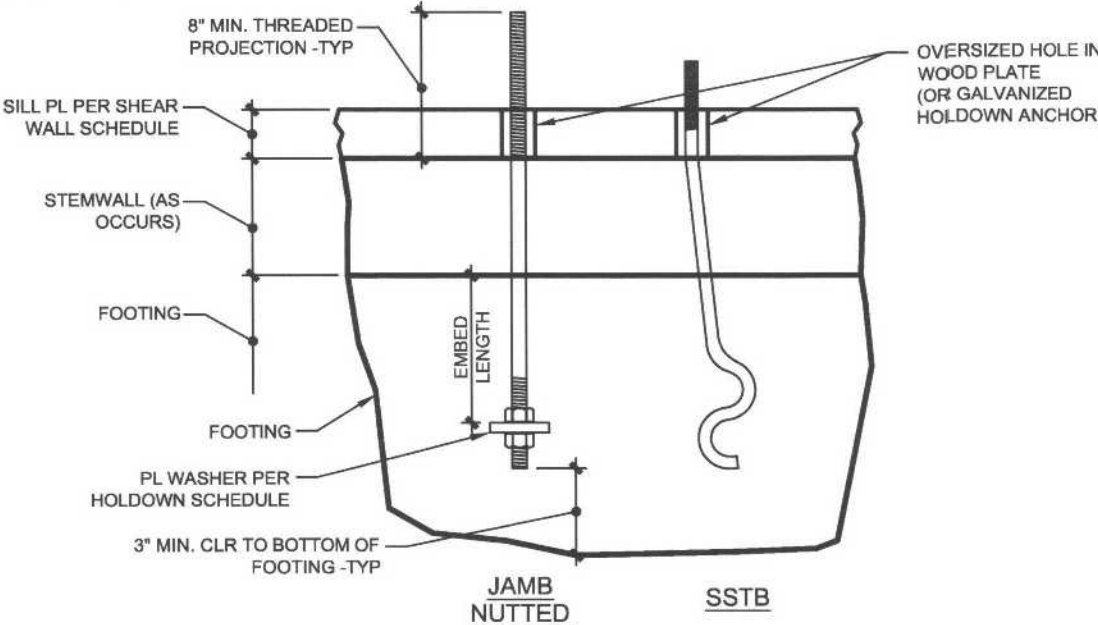
HOLDOWN GENERAL NOTES:

1. NAIL HOLDOWN MEMBERS W/ (2) ROWS OF 16d @ 6" OC STAGGERED FULL HEIGHT (TYP.)
2. ALL HOLDOWNS AND ANCHORS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
3. NAILS ARE TO BE COMMON NAILS UNLESS NOTED OTHERWISE.
4. HOLDOWNS OCCUR @ EACH END OF WALL.

HOLDOWN SCHEDULE NOTES:

1. HOLDOWN ANCHOR TO BE ASTM F1554 GRADE 36, A36 OR A307 UNO.
2. NUTS FOR HOLDOWN ANCHOR SHALL BE STANDARD HEX NUTS TYPE ASTM A563-A.
3. WASHER FOR HOLDOWN ANCHOR SHALL BE ASTM F844. PROVIDE WASHER BETWEEN ALL NUTS AND PLATE WASHER.
4. HOLDOWN ANCHOR SHALL NOT BE IN CONTACT W/ PRESSURE TREATED (PT) WOOD. PT WOOD PLATES SHALL HAVE OVERSIZED HOLES - 1/4" MINIMUM & 3/4" MAXIMUM LARGER THAN HOLDOWN ANCHOR SIZE. AS AN ALTERNATE, THE HOLDOWN ANCHOR SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A653.

HOLDOWN ANCHOR EMBEDMENT DETAIL



Shear Wall Schedule

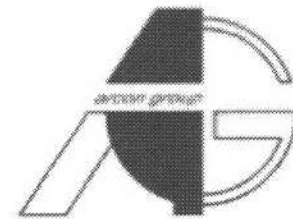
	Sheathing - Nailing	Sole Plate Conn. To Rim Joist	Rim Joist Conn. To Dbl. Top Plate	Mud Sill Plate and Anchor Bolts (See note 6)	Comments
A	7/16" APA RATED SHT'G (1) SIDE W/8d NAILS @ 6" O.C. EDGES & 12" O.C. FIELD	16d COMMON @ 6" O.C.	16d TOE NAILS @ 8" O.C. & SIMPSON LTP4 @ 48" O.C.	2x SILL PL. W/ 1/2" Ø A.B. @ 48" O.C. (EMBED 7")	SEE NOTE 10, & 11 BELOW
B	7/16" APA RATED SHT'G (1) SIDE W/8d NAILS @ 4" O.C. EDGES & 12" O.C. FIELD	16d COMMON @ 4" O.C.	16d TOE NAILS @ 8" O.C. & SIMPSON LTP4 @ 32" O.C.	2x SILL PL. W/ 1/2" Ø A.B. @ 32" O.C. (EMBED 7")	SEE NOTE 10, & 11 BELOW
C	7/16" APA RATED SHT'G (1) SIDES W/8d NAILS @ 2" O.C. EDGES & 12" O.C. FIELD	16d COMMON @ 4" O.C. & SIMPSON LTP4 @ 24" O.C.	16d TOE NAILS @ 8" O.C. & SIMPSON LTP4 @ 12" O.C.	3x SILL PL. W/ 1/2" Ø A.B. @ 24" O.C. (EMBED 7")	SEE NOTE 9, 10, & 12 BELOW

SHEAR WALL GENERAL NOTES: (APPLY TO ALL SHEAR WALLS)

1. IF A.B. SPACING IS GREATER THAN SHEAR WALL LENGTH INSTALL (1) A.B. WITHIN 12" OF EACH END AS PER OSSC SECTION 2308.6.
2. SHEAR WALL FRAMING IS TO BE 16" O.C. UNLESS NOTED OR DETAILED OTHERWISE.
3. SHEAR WALLS ARE TO BE BLOCKED AT ALL PANEL EDGES UNLESS NOTED OR DETAILED OTHERWISE.
4. ALL NAILS STATED ARE COMMON NAILS UNLESS NOTED OTHERWISE. 8d GALVANIZED BOX NAILS SHALL BE SUBSTITUTED FOR THE 8d COMMON NAILS INTO P.T. SILL PL.
8d = 0.131 x 2 1/2"
16d = 0.162 x 3 1/2"
5. LTP4 PLATES SHALL BE INSTALLED W/(12) 8d COMMON NAILS.
6. ANCHOR BOLTS SHALL BE GALVANIZED & SHALL HAVE A 1/4"x3"x3" GALVANIZED PL WASHER BETWEEN THE SILL PL & NUT. ANCHOR BOLTS SHALL BE PLACED SO THAT THE EDGE OF THE PL WASHER IS 1/2" MAX FROM THE SHEATHED FACE OF THE WALL. WHERE SHEATHING IS APPLIED TO BOTH FACES, ALTERNATE ANCHOR BOLTS - PENETRATIONS GREATER THAN 4" WIDE x 4" TALL IN THE SHEATHING OF SHEAR WALLS SHALL NOT OCCUR UNLESS APPROVED BY ENGINEER. PENETRATIONS SMALLER THAN 4" WIDE & 4" TALL SHALL BE BLOCKED ABOVE & BELOW (STUD-STUD) & EDGE NAILED.

SHEAR WALL SPECIFIC NOTES:

9. FRAMING AT ADJOINING PANEL EDGES SHALL BE 3" NOMINAL OR GREATER & NAILS SHALL BE STAGGERED. (DBL. 2x ARE ACCEPTABLE W/16d @ 4" O.C. STAGGERED).
10. FRAMING AT ALL ADJOINING PANEL EDGES & SOLE PLATES RECEIVING EDGE NAILING ON BOTH SIDES SHALL BE 3" NOMINAL OR GREATER AND NAILS SHALL BE STAGGERED. (DBL. 2x ARE ACCEPTABLE W/16d @ 4" O.C. STAGGERED) OFFSET SHT'G JOINTS TO FALL ON DIFFERENT DOUBLE STUDS.
11. SIMPSON LTP4 CLIPS @ SOLE PLATE CONNECTION TO RIM JOIST ARE NOT REQUIRED IF UPPER WALL SHEATHING IS CONTINUOUS & DIRECTLY EDGE NAILED TO RIM JOIST.
12. SIMPSON LTP4 CLIPS @ RIM JOIST CONNECTION TO DBL. TOP PLATE ARE NOT REQUIRED IF LOWER WALL SHEATHING IS CONTINUOUS & DIRECTLY EDGE NAILED TO RIM JOIST.
13. SIMPSON LTP4 CLIPS @ RIM JOIST CONNECTION TO DBL. TOP PLATE SHALL BE PLACED AT 24" O.C. IF LOWER WALL SHEATHING IS CONTINUOUS & DIRECTLY EDGE NAILED TO RIM JOIST.



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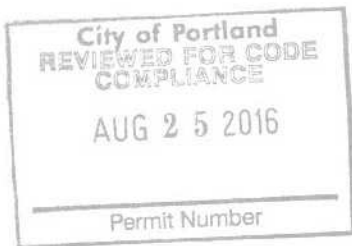


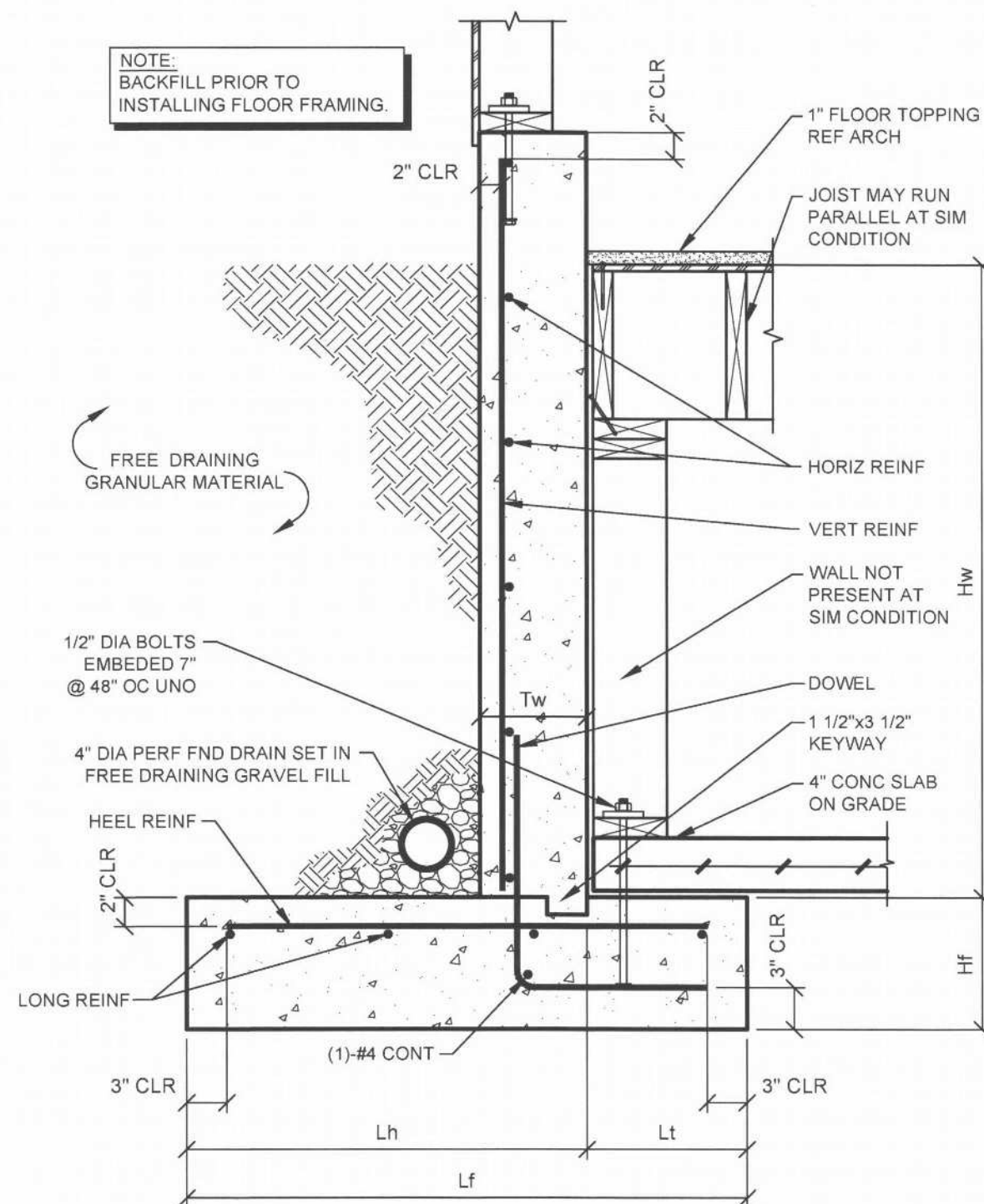
STRUCTURAL NOTES

ALTA MIRA RESIDENCE
LOT 9 Alta Mira Subdivision

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CHT

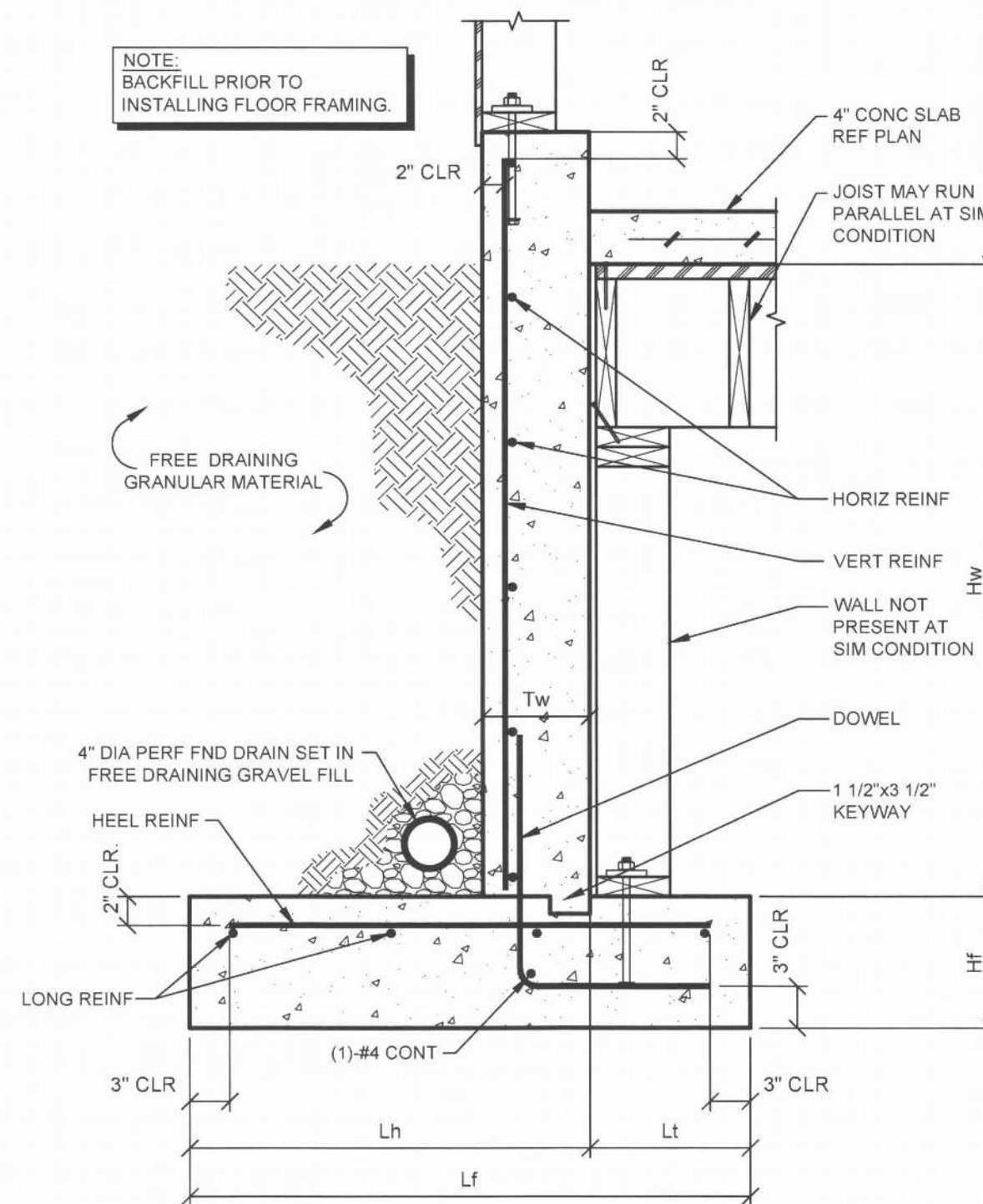
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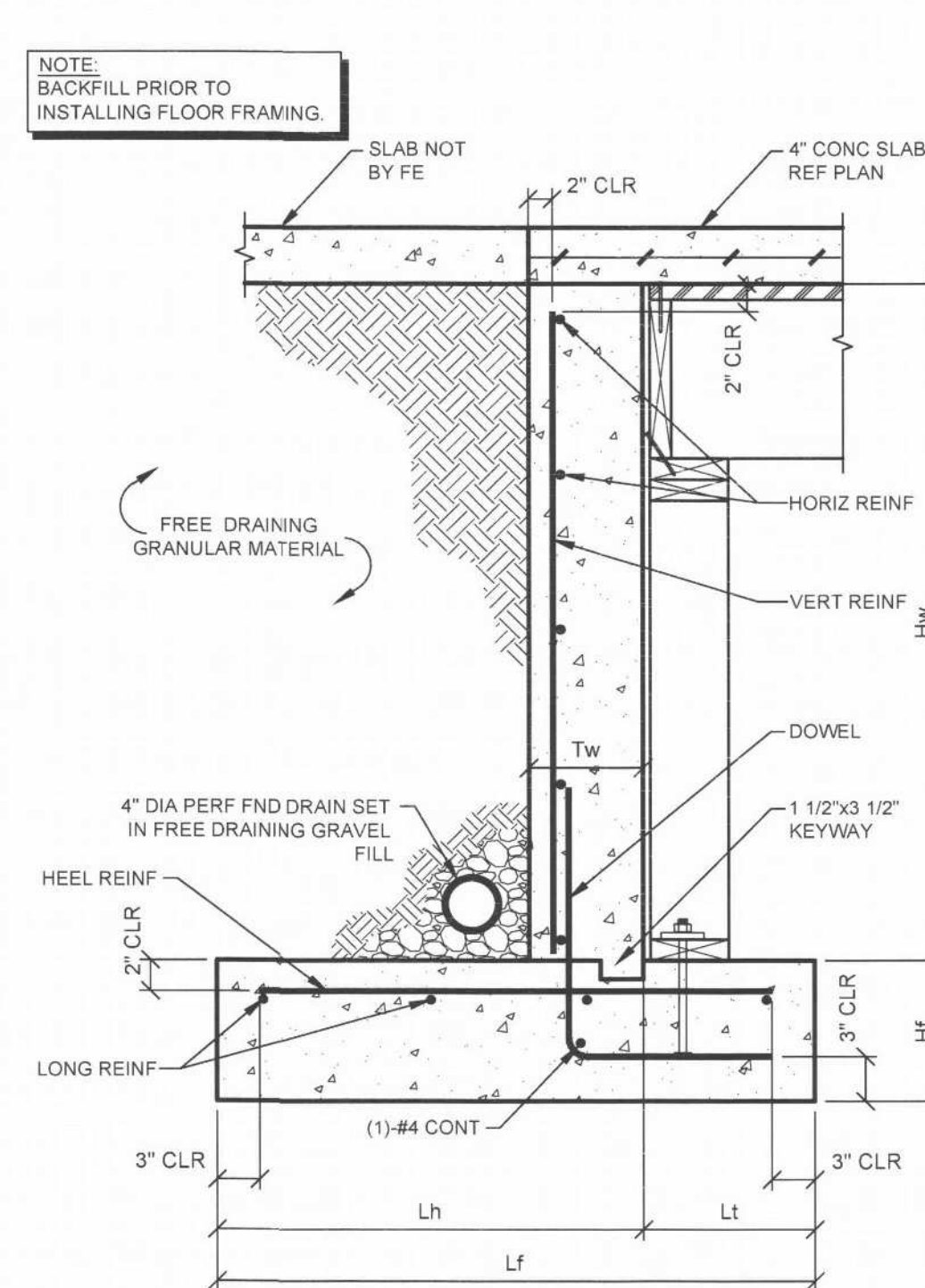
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Dimensions						Wall Reinforcing			Footing Reinf.	
Hw	Hf	Tw	Lh	Lt	Lf	VERT.	HORIZ.	DOWELS	HEEL	LONG
4'-0"	10"	8"	1'-3"	1'-3"	2'-6"	#4 @ 18"	#4 @ 12"	#4 @ 18"	#4 @ 18"	#4 @ 12"
6'-0"	10"	8"	2'-3"	1'-0"	3'-3"	#4 @ 18"	#4 @ 12"	#4 @ 18"	#4 @ 18"	#4 @ 12"
8'-0"	12"	8"	2'-3"	1'-9"	4'-0"	#4 @ 15"	#5 @ 15"	#5 @ 15"	#5 @ 15"	#5 @ 12"
10'-0"	12"	8"	3'-3"	2'-3"	5'-6"	#5 @ 18"	#5 @ 15"	#5 @ 9"	#5 @ 9"	#5 @ 12"

E.F.P. = 30
PASSIVE = 150
C.O.F. = 0.45
FC = 3000 psi @ 28 DAYS
FY = 60000 psi (GRADE 60)
SOIL BEARING = 2000 psf



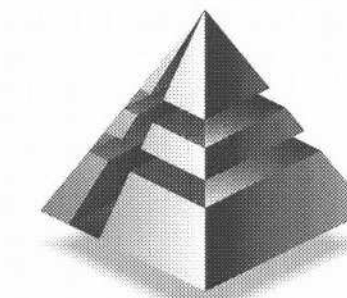
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10'-0"	14"	8"	4'-9"	2'-3"	7'-0"	#5 @ 16"	#5 @ 15"	#5 @ 8"	#5 @ 8"	#5 @ 12"

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Retaining Wall Schedule										
Dimensions						Wall Reinforcing			Footing Reinf.	
Hw	Hf	Tw	Lh	Lt	Lf	VERT.	HORIZ.	DOWELS	HEEL	LONG
4'-0"	10"	8"	1'-0"	1'-3"	2'-3"	#4 @ 18"	#4 @ 12"	#4 @ 18"	#4 @ 18"	#4 @ 12"
6'-0"	10"	8"	2'-3"	1'-6"	3'-9"	#4 @ 16"	#4 @ 12"	#4 @ 16"	#4 @ 16"	#4 @ 12"
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ALTA MIRA
RESIDENCE

LOT 9 ALTA MIRA SUBDIVISION

PERMIT SET

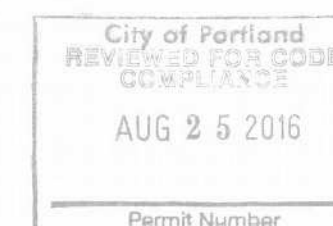
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DESIGNER: TN
DRAWN BY: DM
PROJECT NO: 15-T070
DATE: 06/05/2015
SCALE: AS SHOWN

SHEET TITLE:
DETAILS

SHEET NUMBER:

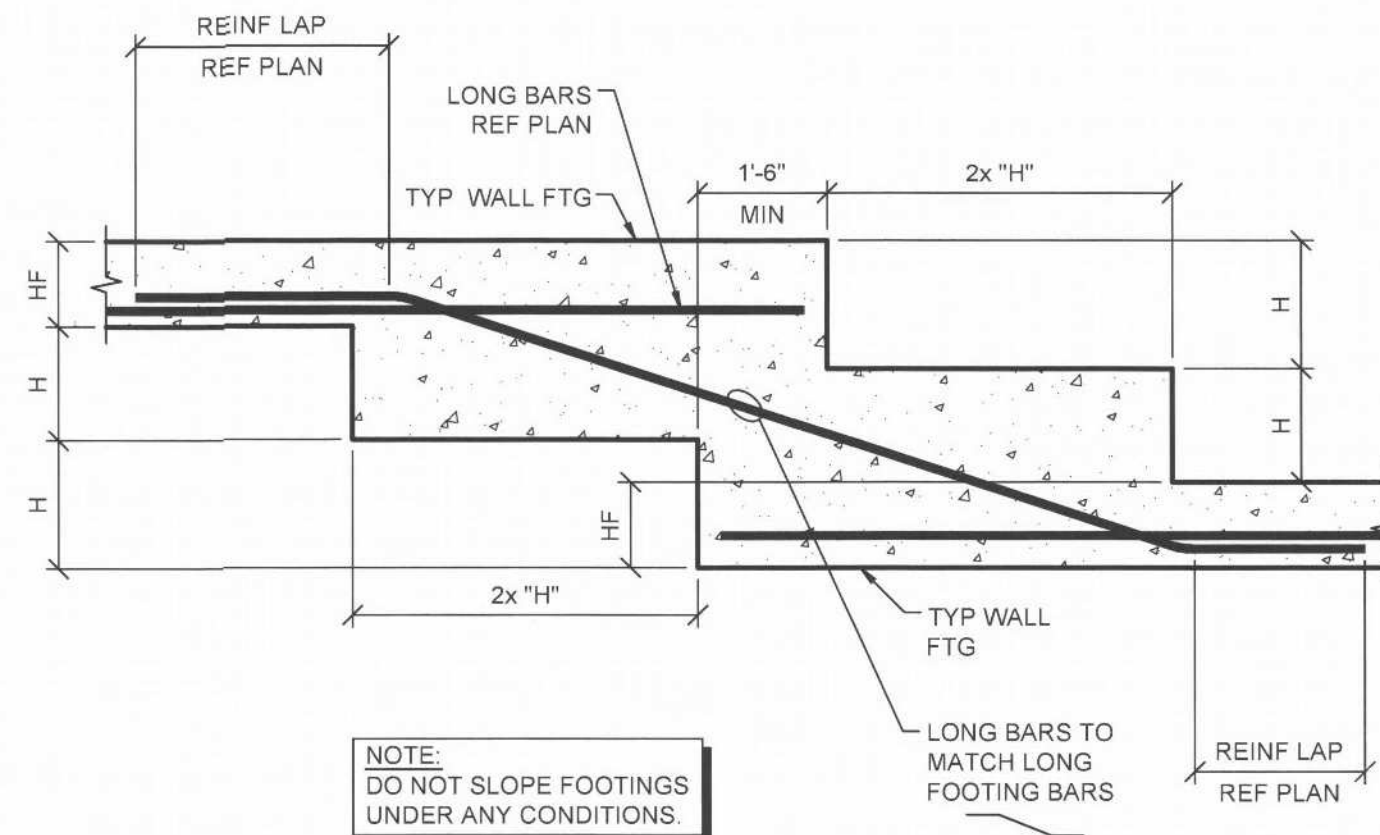
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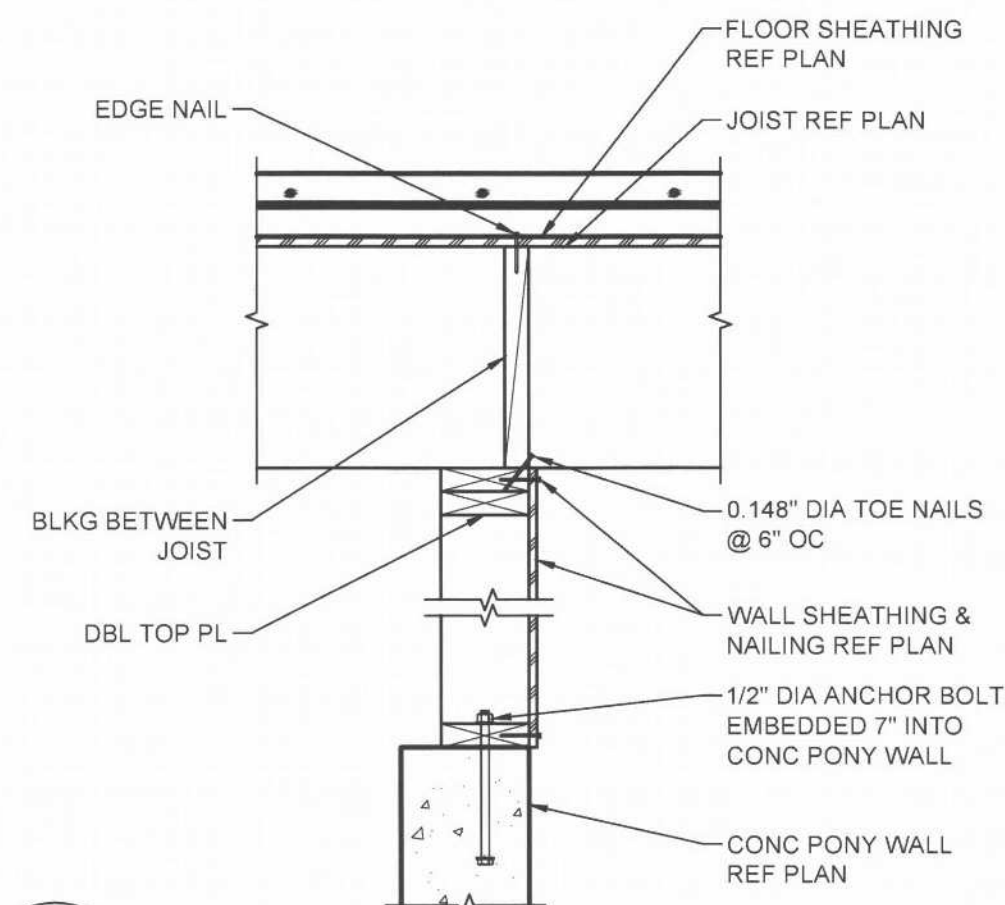
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RETAINING WALL DETAIL
SCALE: 1" = 1'-0"
15-T070

2
S3.0
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15-T070

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SCALE: 1" = 1'-0"
15-T070

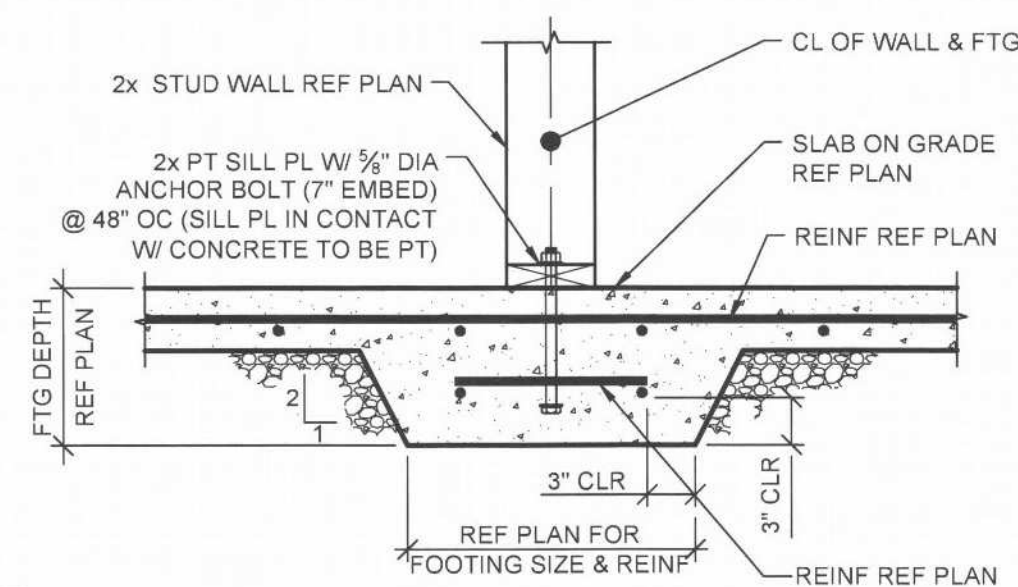


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STEPPED FOOTING
SCALE: 1" = 1'-0"
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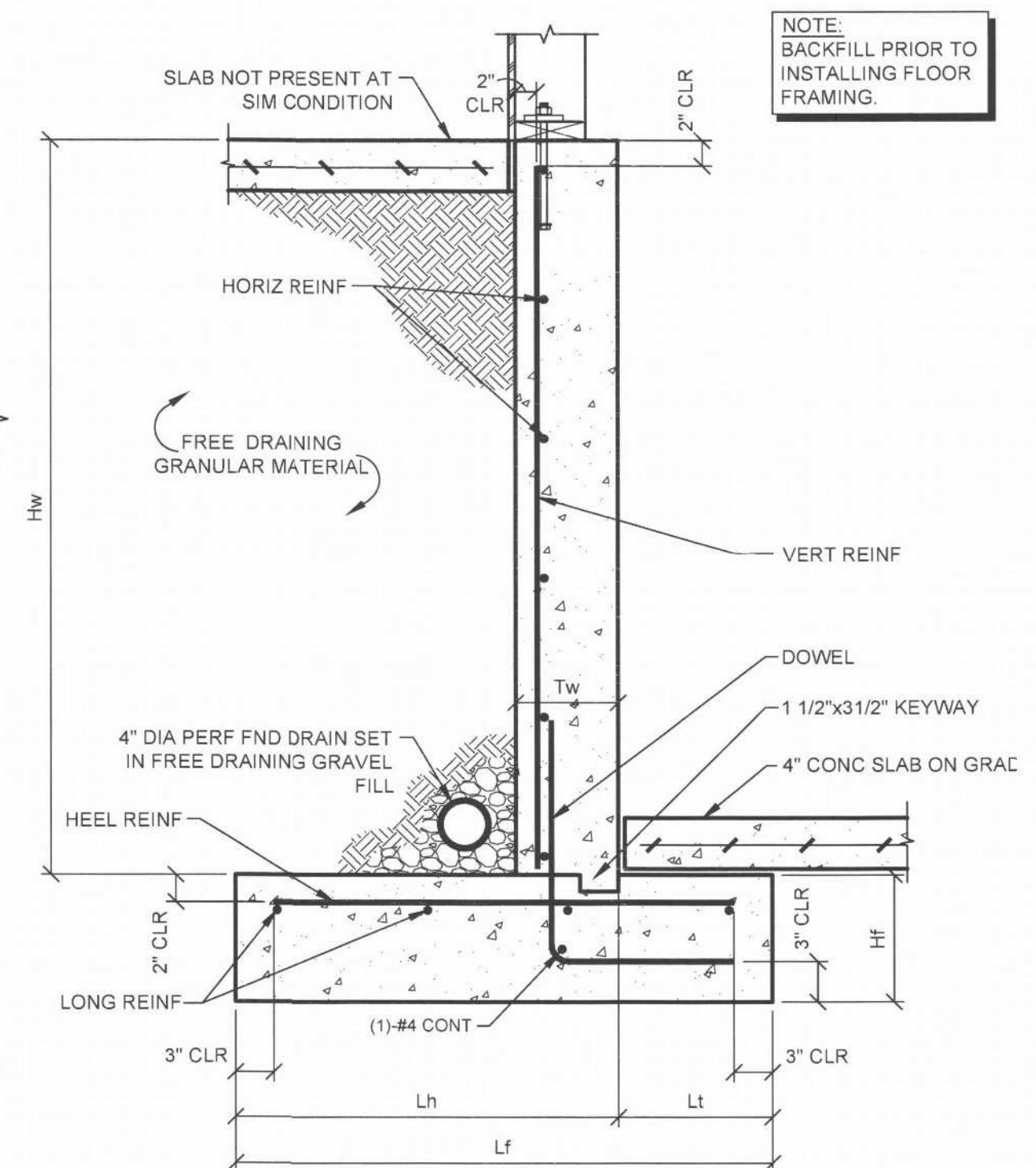


7
S3.1
PONY WALL DETAIL
SCALE: 1" = 1'-0"
15-T070

CONTRACTOR'S OPTION:
REPLACE CAST-IN-PLACE ANCHOR BOLT WITH:
5/8" DIA A307 THREADED ROD, EPOXY EMBED 5" MINIMUM
(SIMPSON SET-XP OR HILTI RE 500 SD)



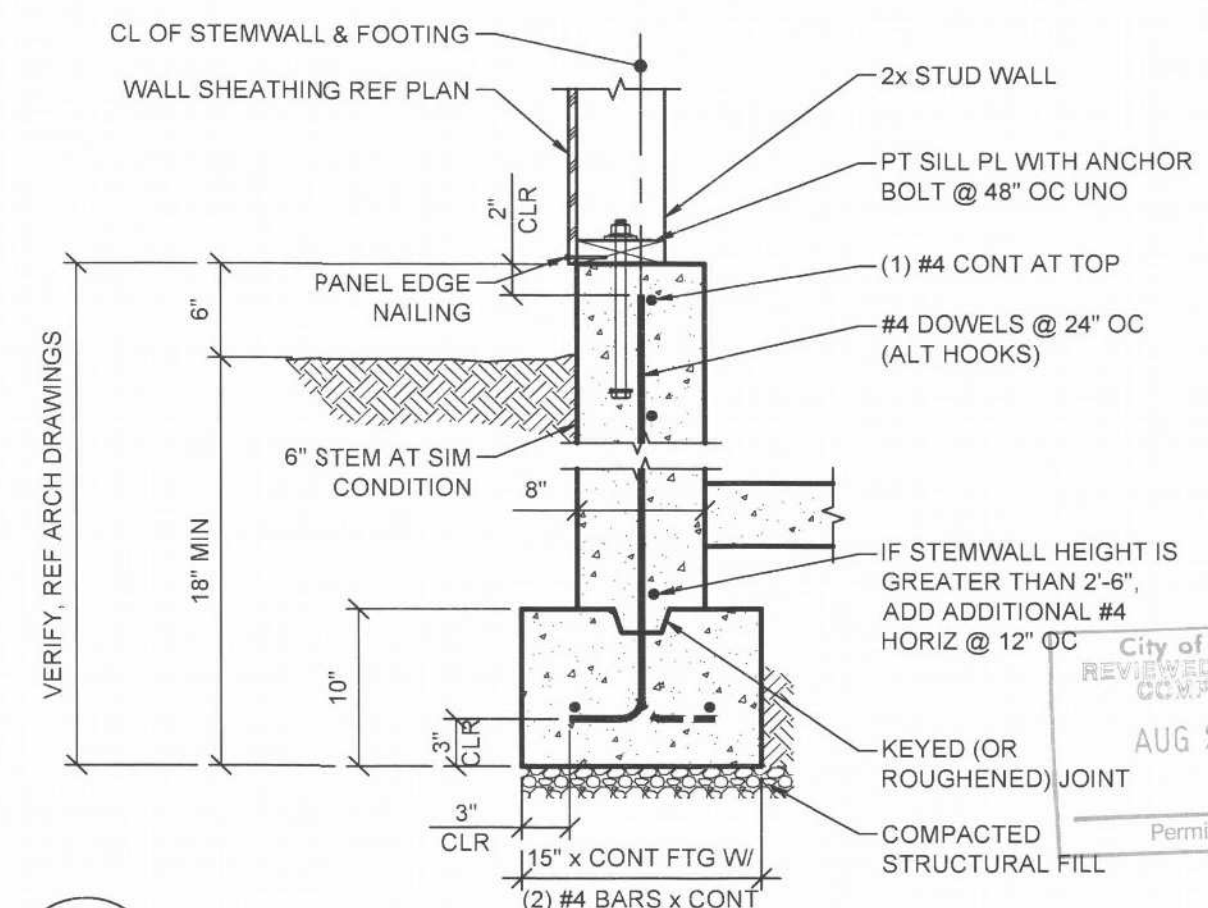
8
S3.1
INTERIOR WALL TO THICKENED SLAB
SCALE: 1" = 1'-0"
15-T070



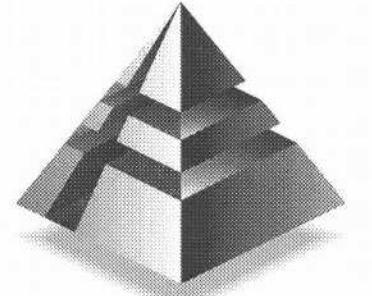
Retaining Wall Schedule										
Dimensions						Wall Reinforcing			Footing Reinf.	
Hw	Hf	Tw	Lh	Lt	Lf	VERT.	HORIZ.	DOWELS	HEEL	LONG
4'-0"	10"	8"	1'-0"	1'-3"	2'-3"	#4 @ 18"	#4 @ 12"	#4 @ 18"	#4 @ 18"	#4 @ 12"
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8'-0"	14"	8"	2'-6"	2'-3"	4'-9"	#4 @ 15"	#5 @ 15"	#5 @ 15"	#5 @ 15"	#5 @ 12"
10'-0"	14"	8"	4'-9"	2'-3"	7'-0"	#5 @ 16"	#5 @ 15"	#5 @ 8"	#5 @ 8"	#5 @ 12"

E.F.P. = 30
PASSIVE = 150
C.O.F. = 0.45
FC = 3000 psi @ 28 DAYS
FY = 60000 psi (GRADE 60)
SOIL BEARING = 2000 psf

4
S3.1
RETAINING WALL DETAIL
SCALE: 1" = 1'-0"
15-T070



5
S3.1
STEM WALL SECTION
SCALE: 1" = 1'-0"
15-T070

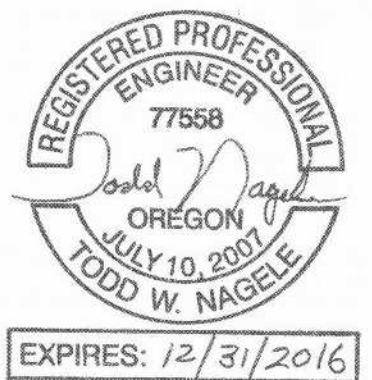


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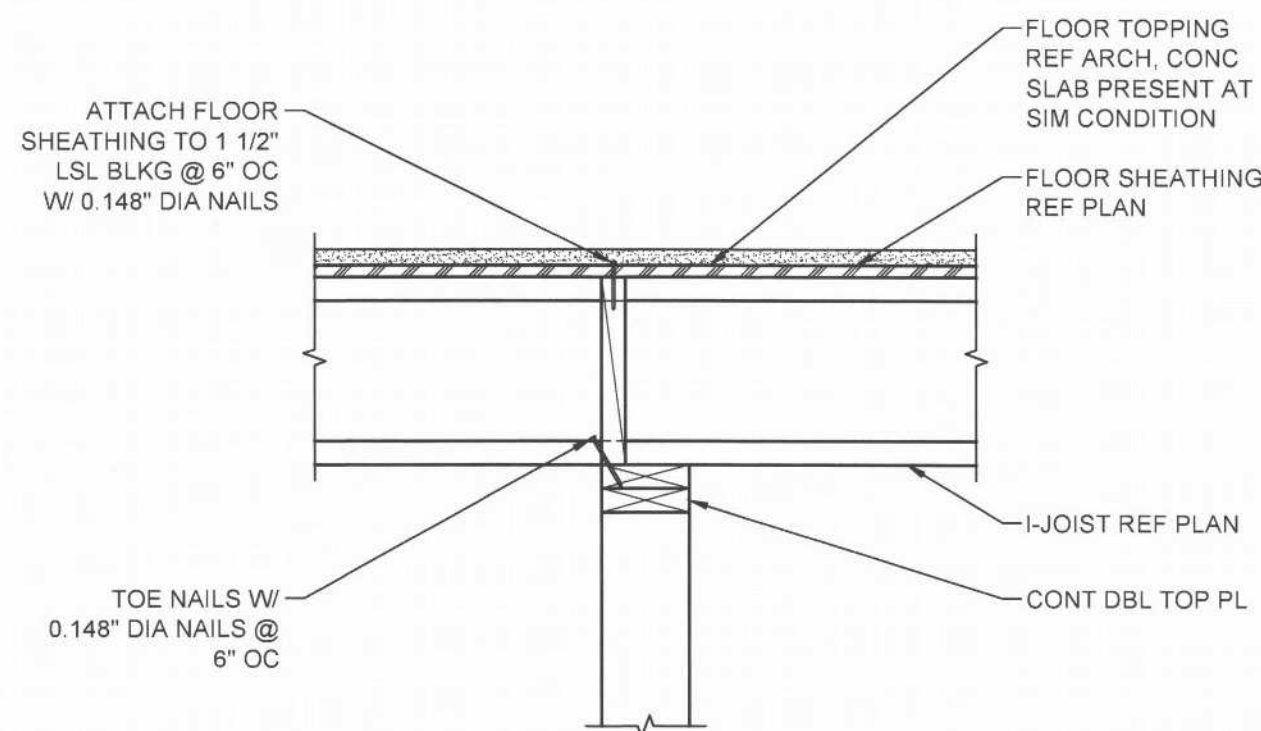
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DESIGNER:	TN	
DRAWN BY:	DM	
PROJECT NO:	15-T070	
DATE:	06/05/2015	
SCALE:	AS SHOWN	

SHEET TITLE:
DETAILS

SHEET NUMBER:

S3.1

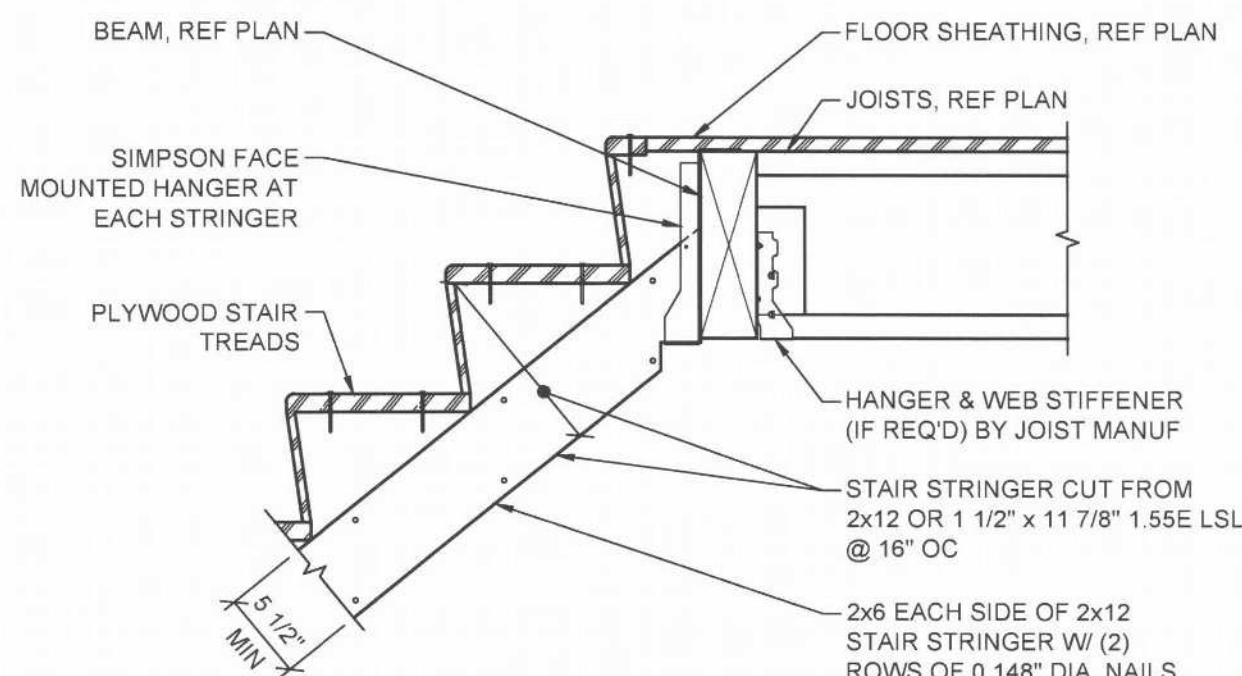


7 MID-SPAN JOIST BEARING

S4.0 SCALE: 1" = 1'-0" 15-T070

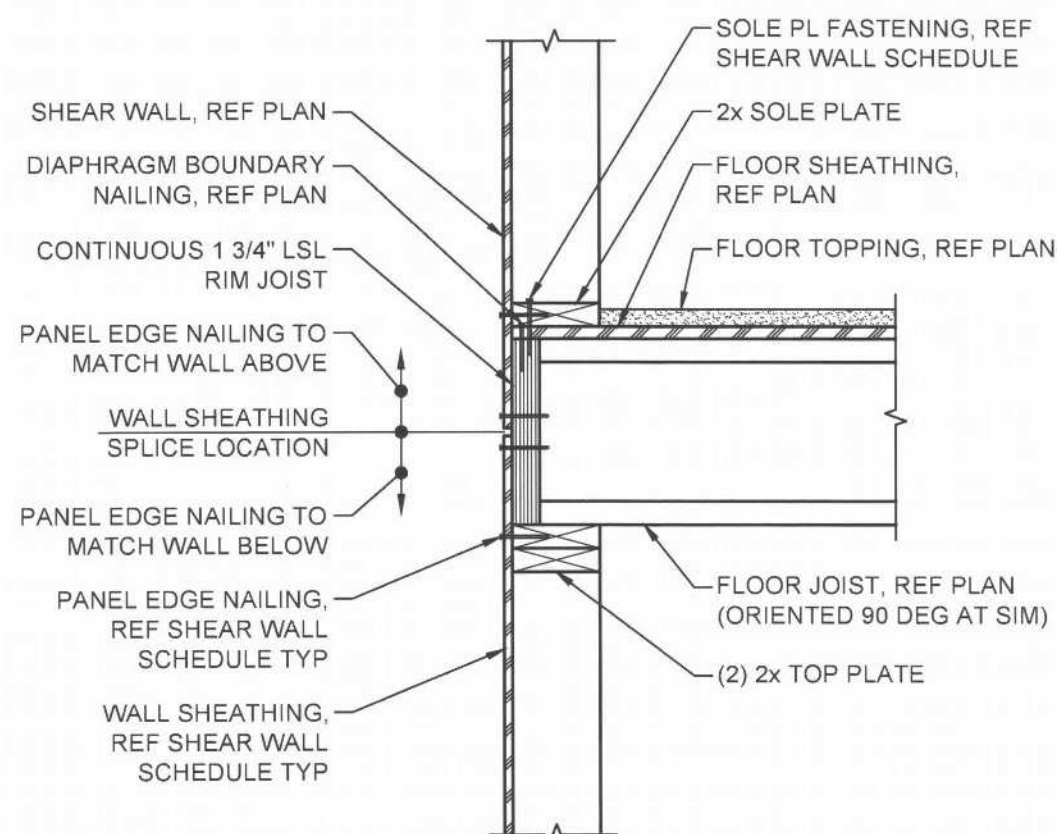
NOTE:
REFER TO ARCH FOR:
1. STAIR DIMENSIONS
2. NOSING REQUIREMENTS
3. STAIR FINISHES
4. RISER & TREAD DIMENSIONS

NOTE:
HANGERS SHALL BE:
HU210-3 AT CENTER STRINGERS
HUC210-2 AT OUTER STRINGERS



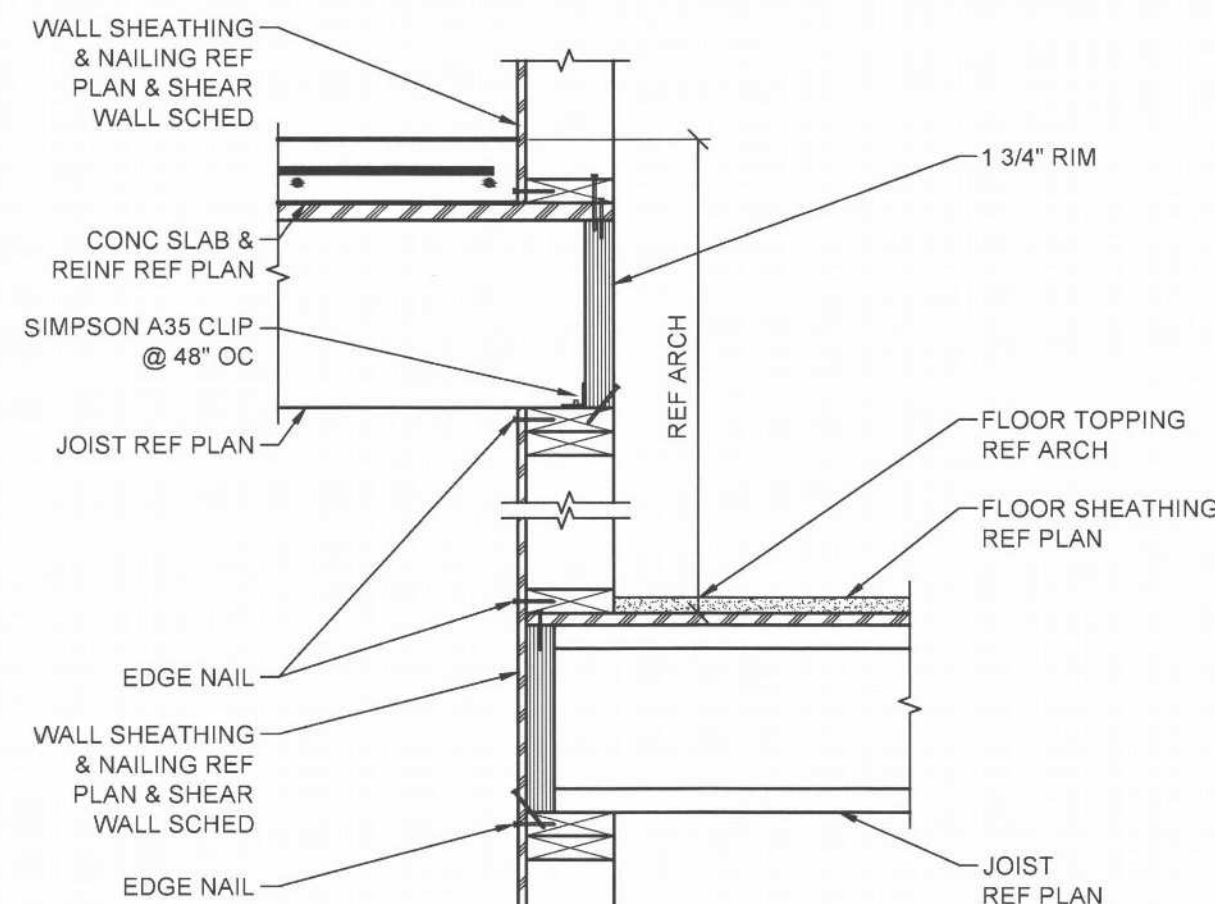
8 WOOD STAIR STRINGER TO BEAM

S4.0 SCALE: 1" = 1'-0" 15-T070



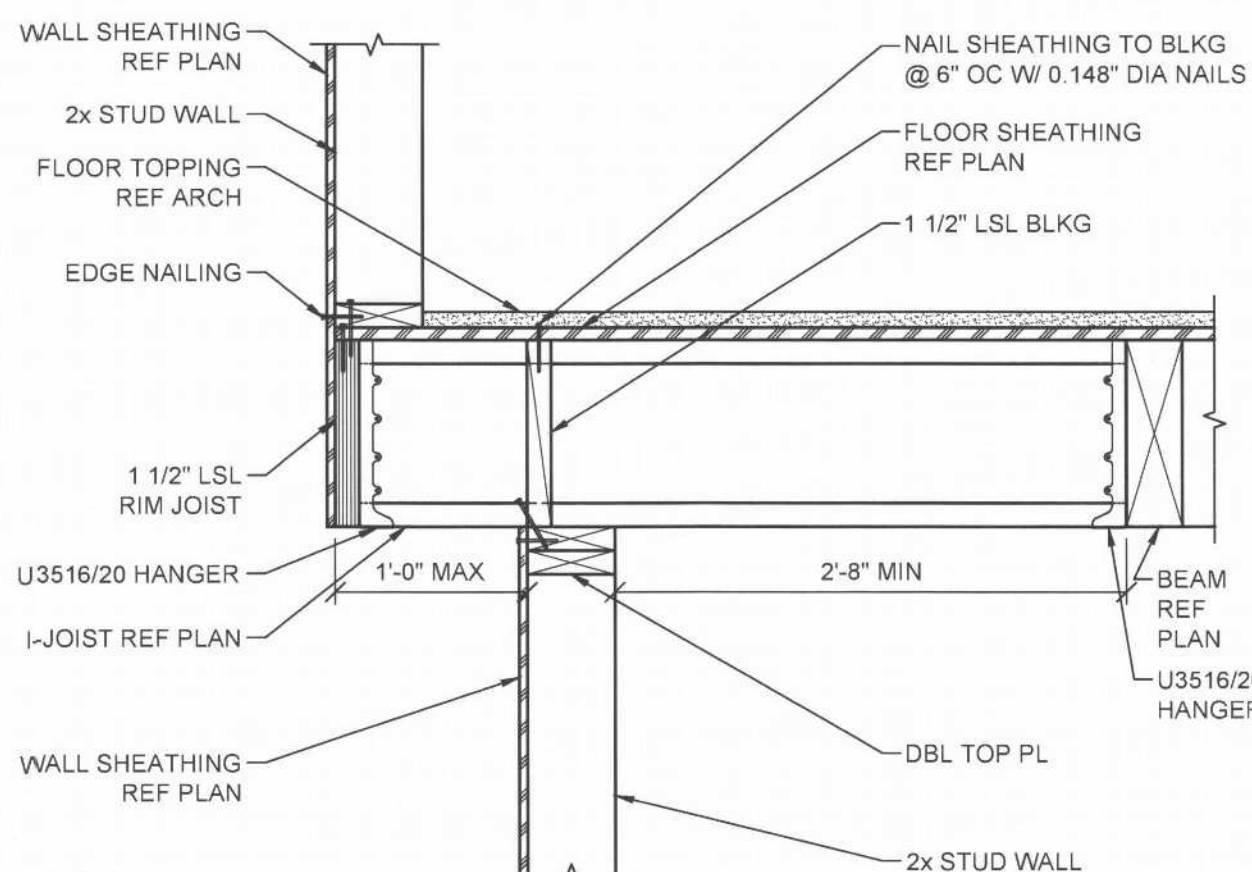
9 EXTERIOR SHEAR WALL - SHEATHING ONE SIDE

S4.0 SCALE: 1" = 1'-0" 15-T070



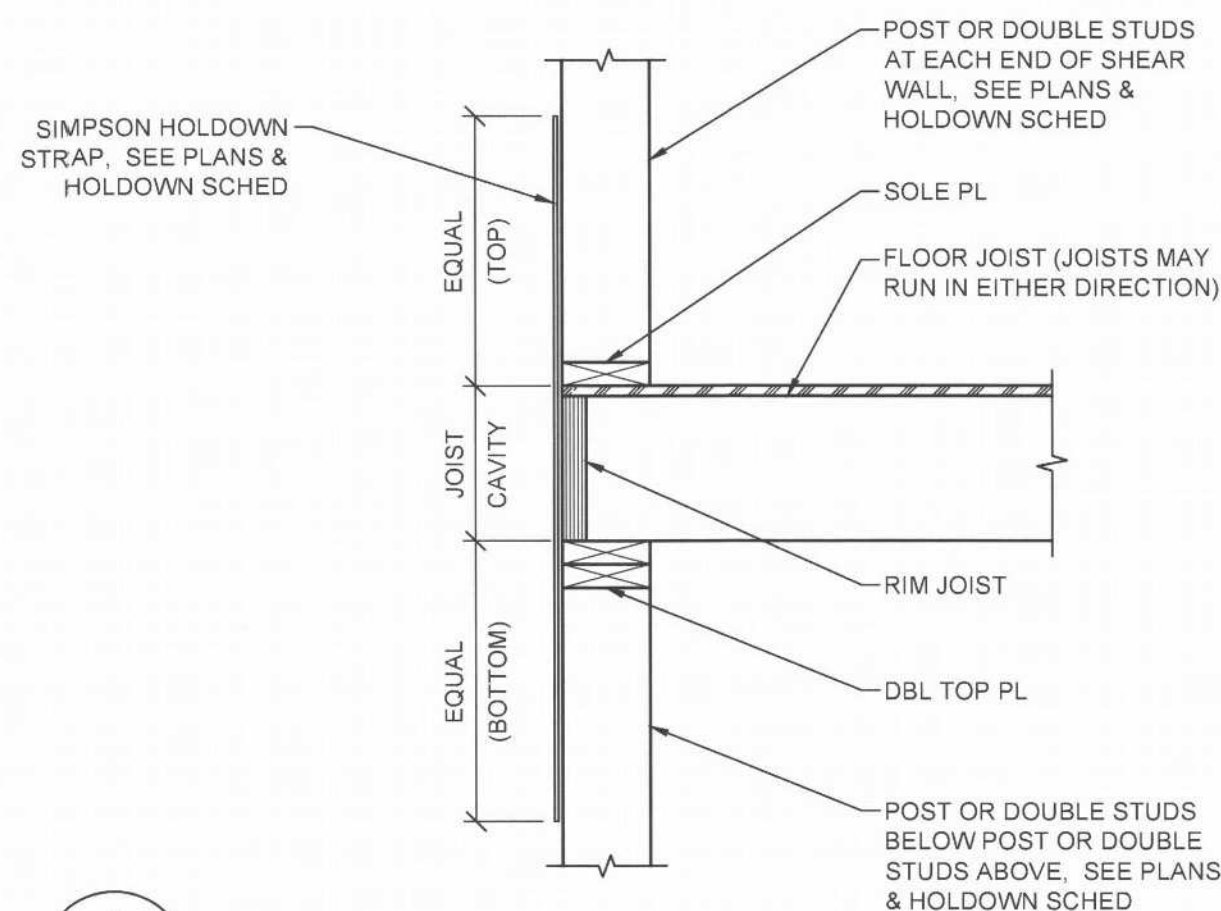
4 WALL SECTION DETAIL

S4.0 SCALE: 1" = 1'-0" 15-T070



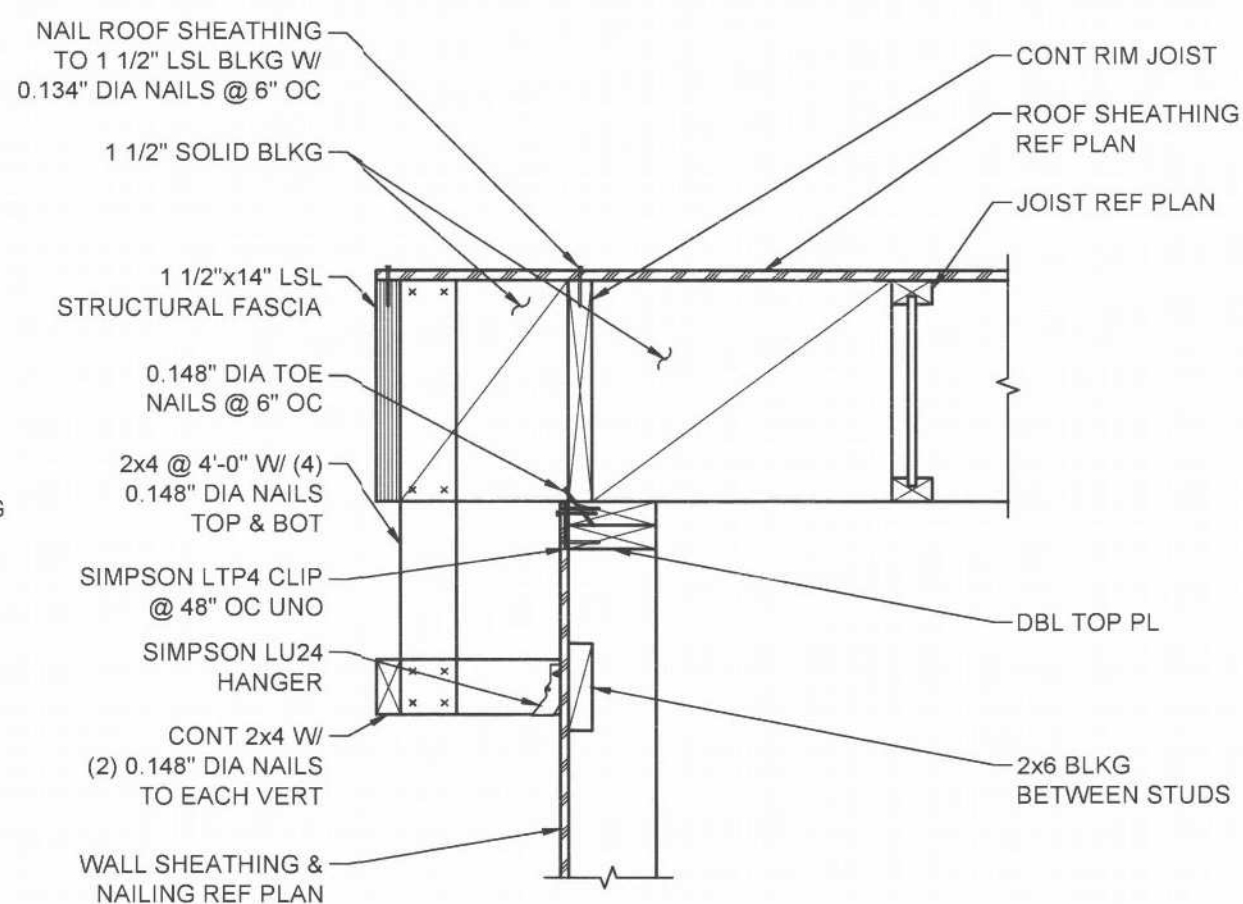
5 CANTILEVERED FLOOR JOIST

S4.0 SCALE: 1" = 1'-0" 15-T070



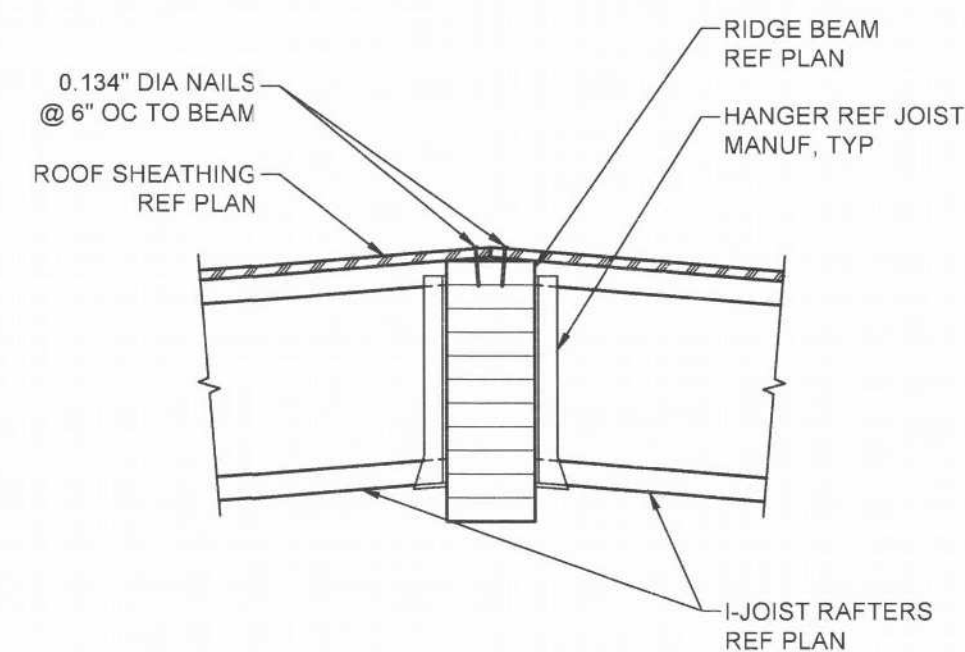
6 WALL SECTION DETAIL

S4.0 SCALE: 1" = 1'-0" 15-T070



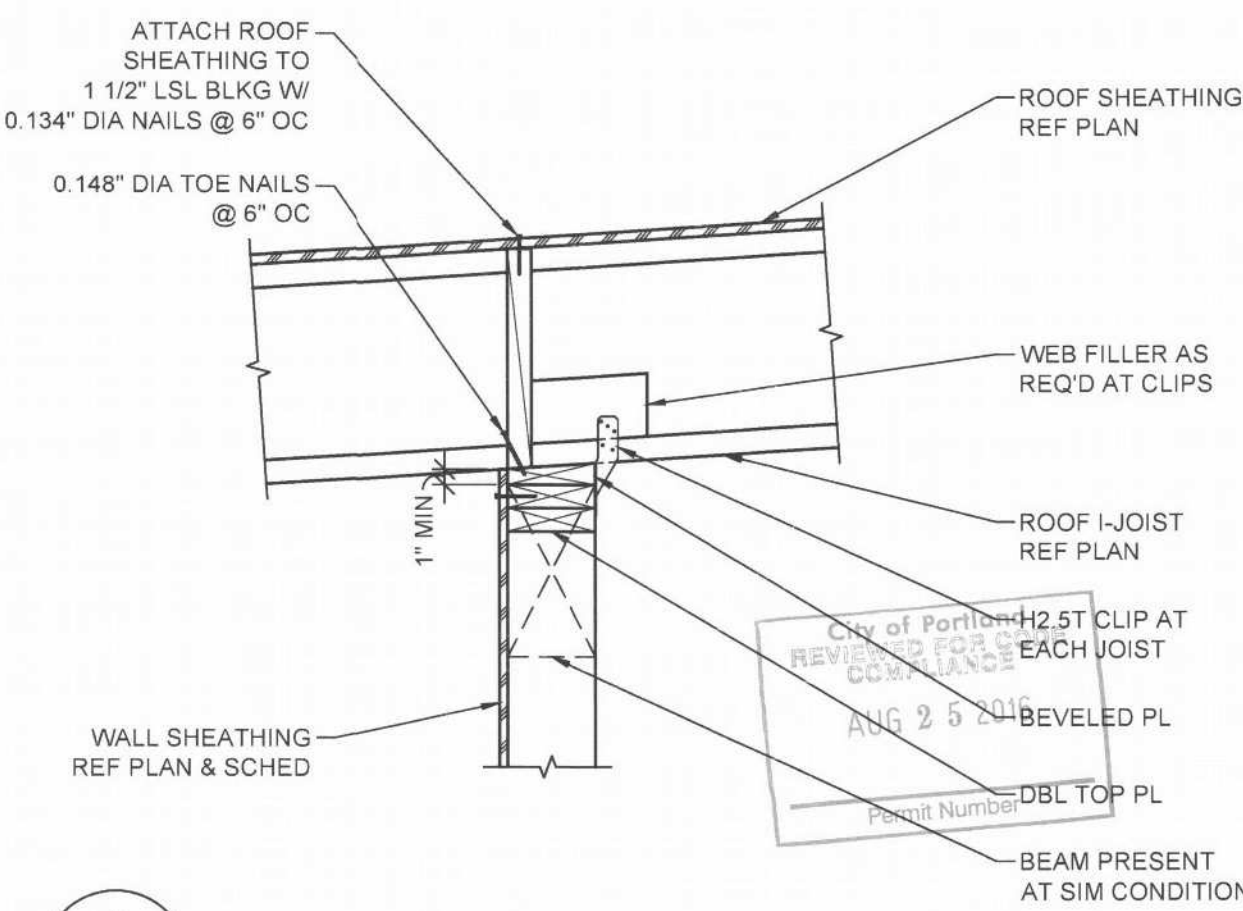
1 EVE DETAIL

S4.0 SCALE: 1" = 1'-0" 15-T070



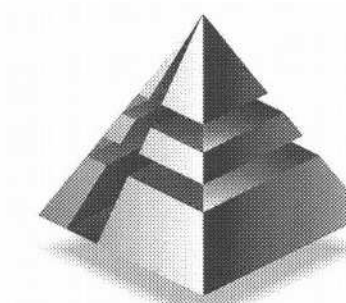
2 ROOF RIDGE BEAM DETAIL

S4.0 SCALE: 1" = 1'-0" 15-T070



3 JOIST WALL DETAIL

S4.0 SCALE: 1" = 1'-0" 15-T070



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EXPIRES: 12/31/2016

ALTA MIRA RESIDENCE

LOT 9 ALTA MIRA SUBDIVISION

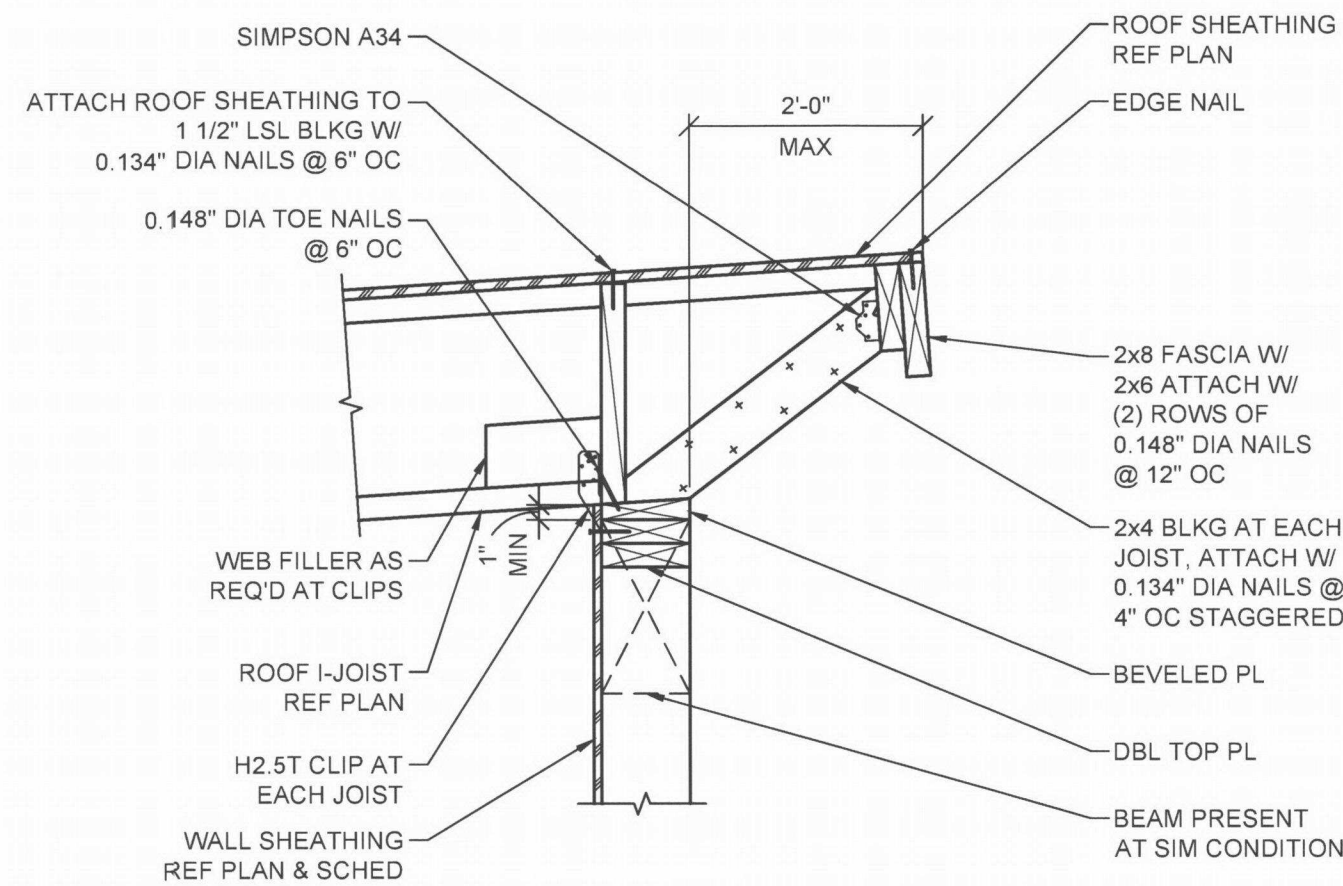
PERMIT SET

REV	DATE	ISSUE TITLE
PROJECT MANAGER:	TN	
DESIGNER:	TN	
DRAWN BY:	DM	
PROJECT NO:	15-T070	
DATE:	06/05/2015	
SCALE:	AS SHOWN	

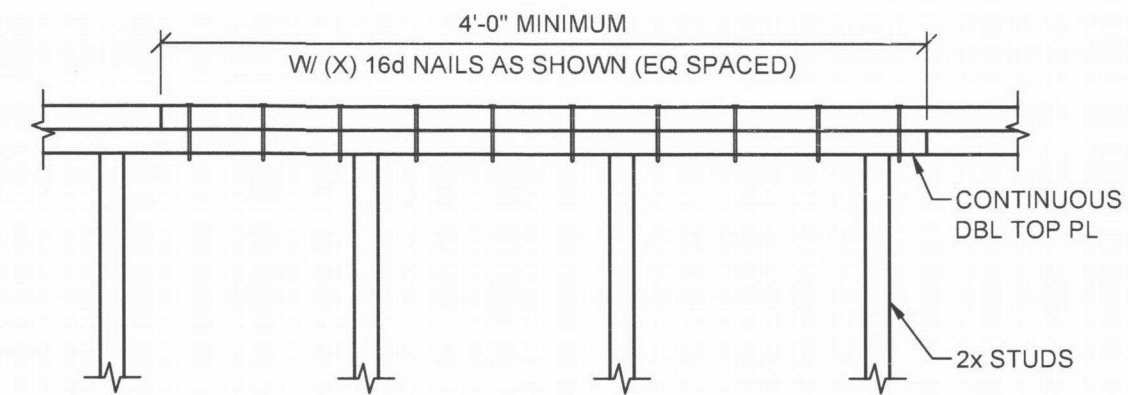
SHEET TITLE:
DETAILS

SHEET NUMBER:

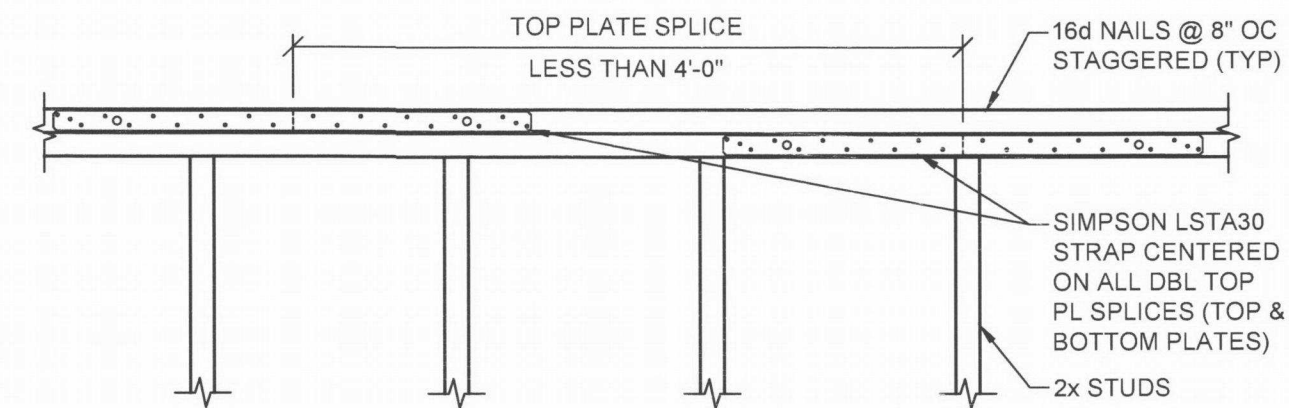
S4.0



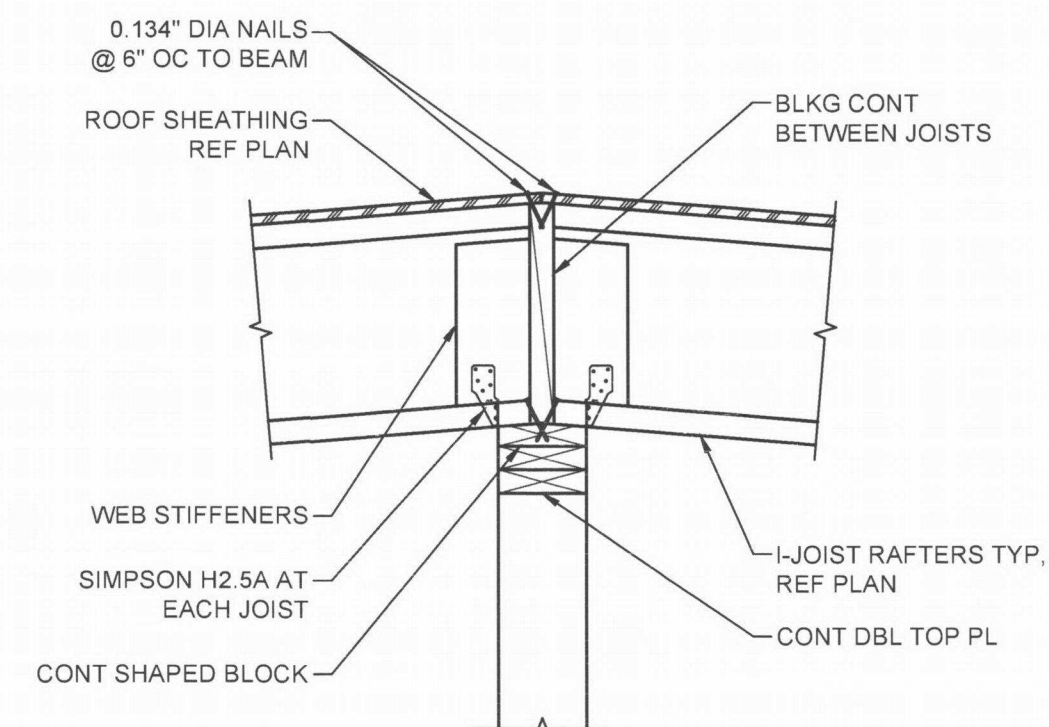
12 JOIST WALL DETAIL
S4.0 SCALE: 1" = 1'-0"
15-T070



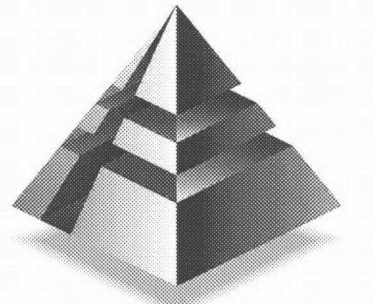
10A DOUBLE TOP PL SPLICE - NAILED
S4.1 SCALE: 1" = 1'-0"
15-T070



10B DOUBLE TOP PL SPLICE - STRAP
S4.1 SCALE: 1" = 1'-0"
15-T070



11 ROOF RIDGE BEAM DETAIL
S4.1 SCALE: 1" = 1'-0"
15-T070



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EXPIRES: 12/31/2016

ALTA MIRA
RESIDENCE

LOT 9 ALTA MIRA SUBDIVISION

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SHEET TITLE:
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SHEET NUMBER:

S4.1

