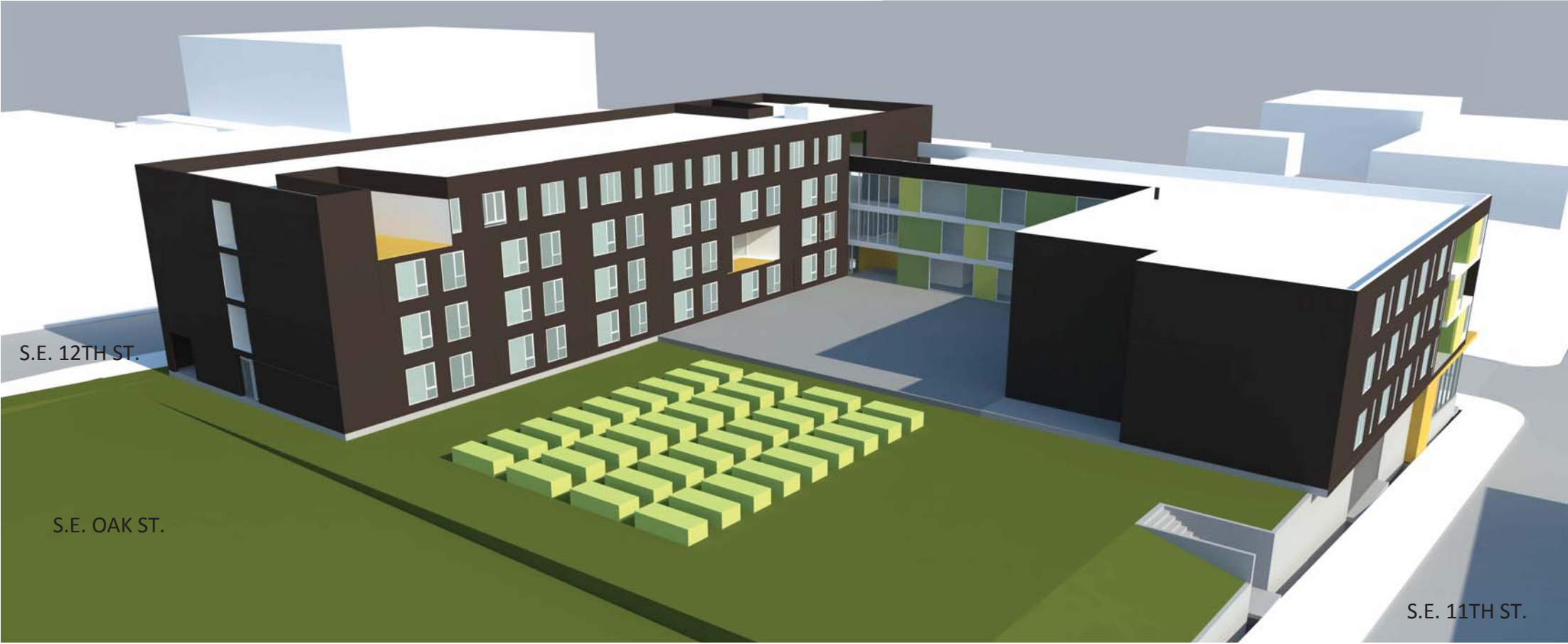


ST. FRANCIS PARK APARTMENTS

PROJECT TEAM

OWNER	GENERAL CONTRACTOR	CIVIL	LANDSCAPE	ARCHITECTURAL	STRUCTURAL	MECHANICAL	PLUMBING	ELECTRICAL
Saint Francis Park Limited Partnership c/o Saint Francis Park GP LLC 2740 SE Powell BLVD., #7 Portland, Oregon 97202 Contact: Trell Anderson Signature:	Onell Walsh Community Builders (OWCB) 2905 SW First Avenue Portland, Oregon 97201 Ph: 503.219.2924 Fax: 503.274.7676 Contact: Dan Snow Signature:	KPFF 111 SW Fifth Ave, Suite 2500 Portland, Oregon 97204 Ph: 503.227.3251 Fax: 503.274.4681 Contact: Josh Lightgale Signature:	lango.hansen, Landscape Arch, PC 1100 NW Glisan Street, #35 Portland, Oregon 97209 Ph: 503.295.2437 Fax: 503.295.2439 Contact: Jane Hansen Signature:	MWA Architects 70 NW Couch Street, Suite 401 Portland, Oregon 97209 Ph: 503.973.5151 Fax: 503.973.5060 Contact: Bill Lanning, Project Manager Signature:	ABHT 1640 NW Johnson St Portland, OR 97209 Ph: 503.243.6682 Fax: 503.243.6682 Contact: Clifton J. Ambrose, P.E., S.E. Principle	Interface Engineering 708 SW Third Ave, Suite 400 Portland, Oregon 97204 Ph: 503.382.2266 Fax: 503.382.2262 Contact: Andrew Lasse	Interface Engineering 708 SW Third Ave, Suite 400 Portland, Oregon 97204 Ph: 503.382.2266 Fax: 503.382.2262 Contact: Carrie Gailbreath	Interface Engineering 708 SW Third Ave, Suite 400 Portland, Oregon 97204 Ph: 503.382.2266 Fax: 503.382.2262 Contact: Arie Goe



ST. FRANCIS PARK APARTMENTS

PRELIMINARY

REVISION NO	DATE



ST. FRANCIS
PARK
APARTMENTS

1136 SE OAK STREET PORTLAND,
OR 97214

HUD PROJECT NUMBER:
126-SH005
ISSUANCE
SCHEMATIC DESIGN
DATE
10/21/2014
SCALE
1/2" = 1'-0"
PROJECT NUMBER
201414.00
DRAWN BY
Author
DRAWING TITLE

TEAM - PROJECT
IMAGES

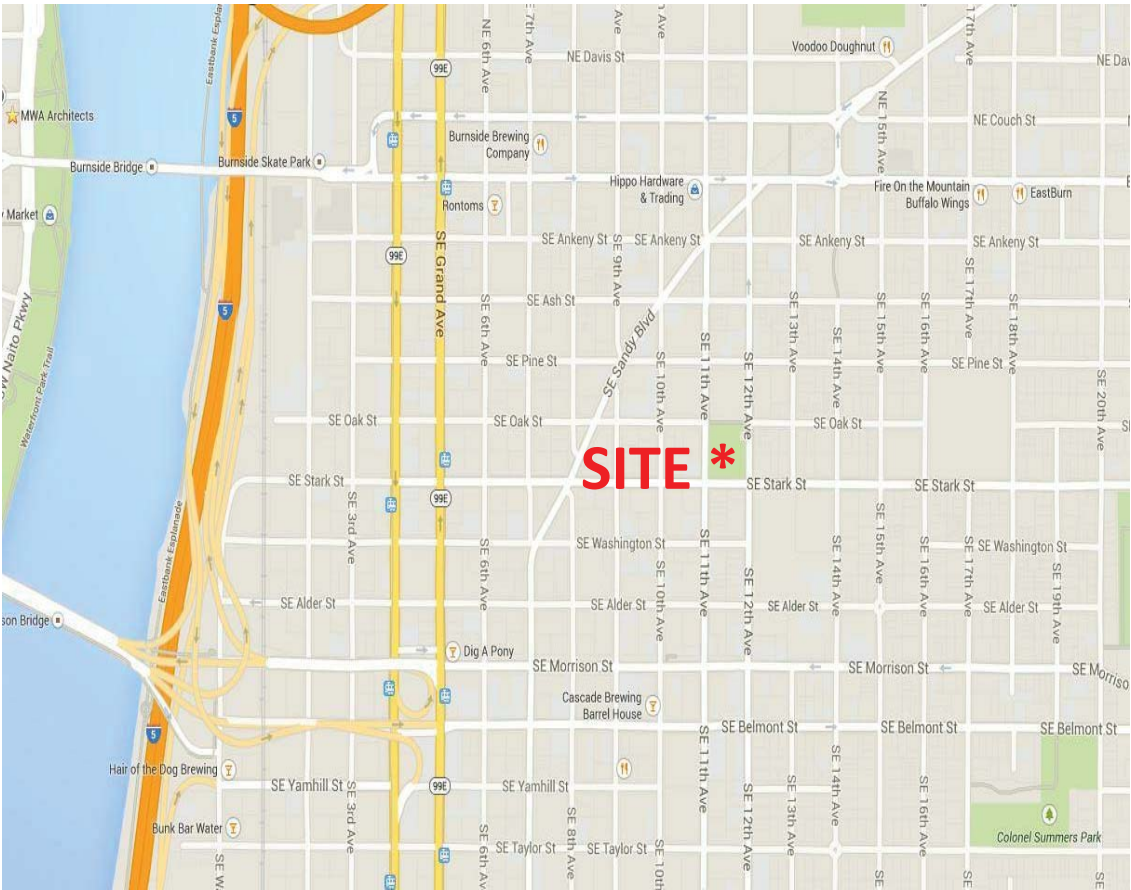
SHEET NUMBER

A0.01B

SUPERBLOCK AERIAL PHOTO: NTS



VICINITY MAP:NTS



1136 S.E. OAK STREET
PORTLAND, OR 97214

PROPOSED PROJECT SITE
LOCATED AT SE 12TH AND
STARK STREET

PRELIMINARY

REVISION NO	DATE





CONTEXT KEY

- PROJECT SITE
- HOUSING
- INDUSTRIAL
- CIVIC/INSTITUTE



Simple forms, large punched openings located where they need to be



Flat street face



CENTRAL EASTSIDE CONTEXT



Industrial windows





Corrugated metal siding



Box rib metal siding

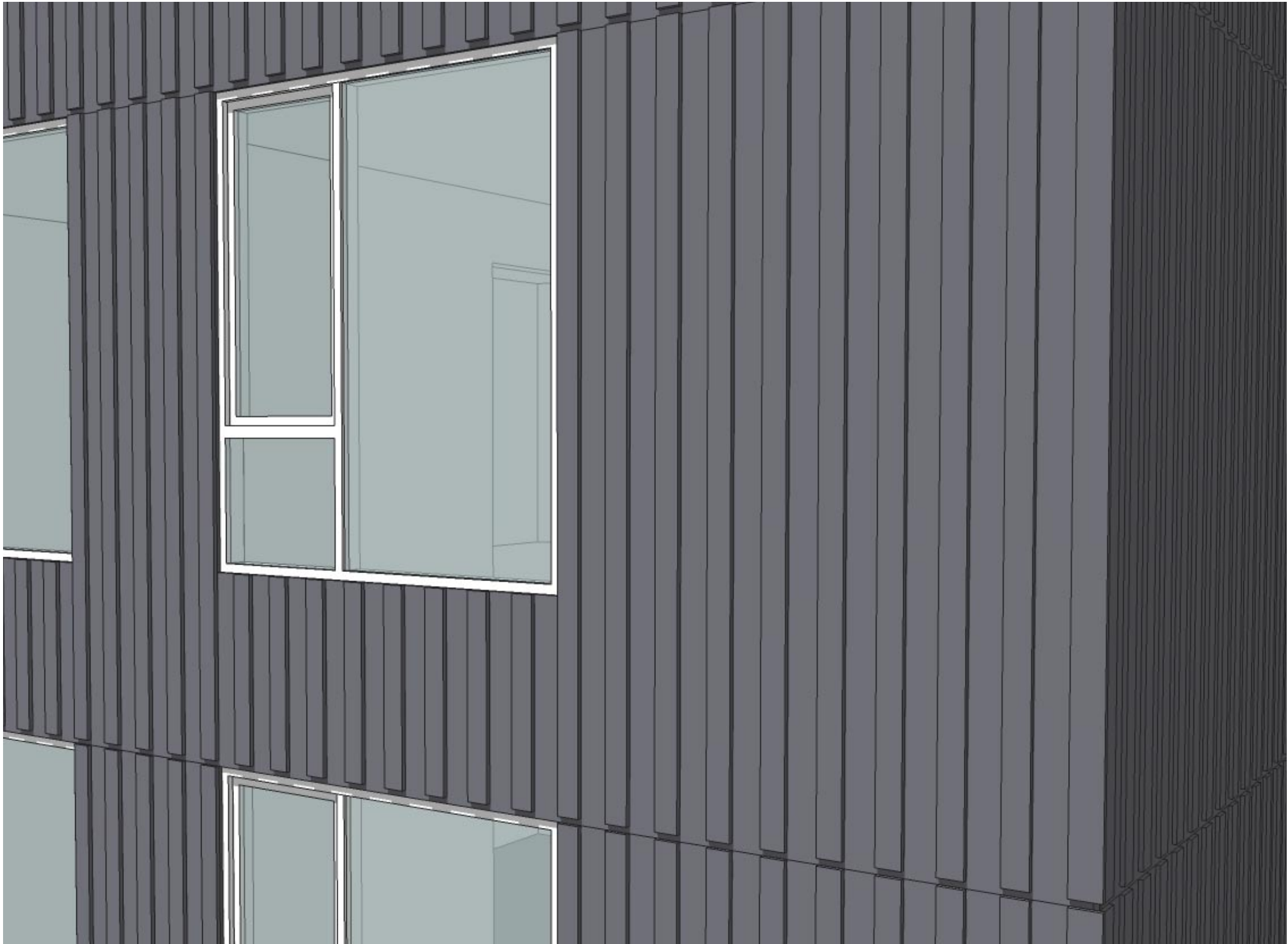


Flat street face with simple protrusions



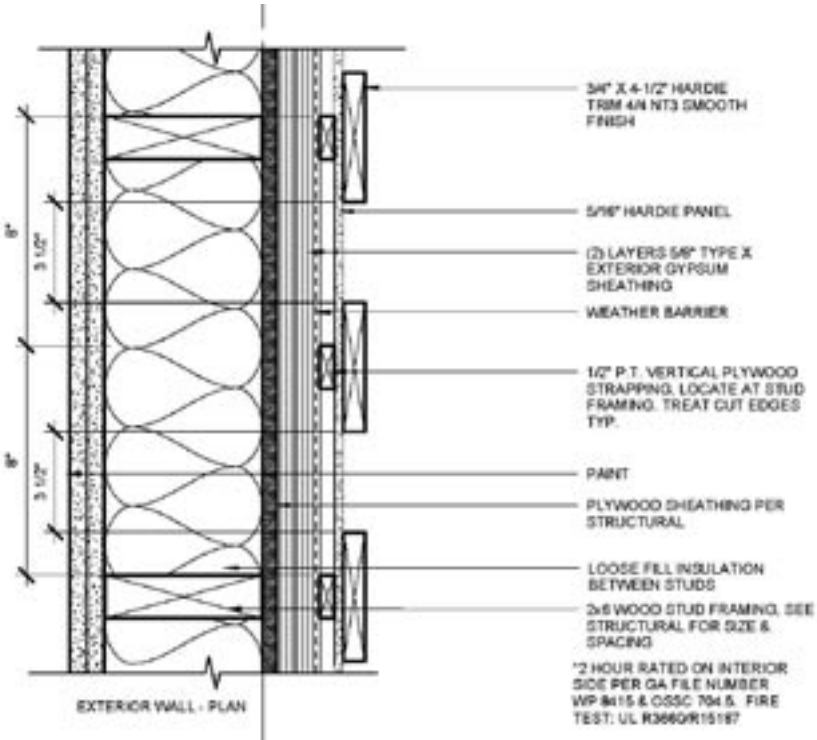
Textural contrast



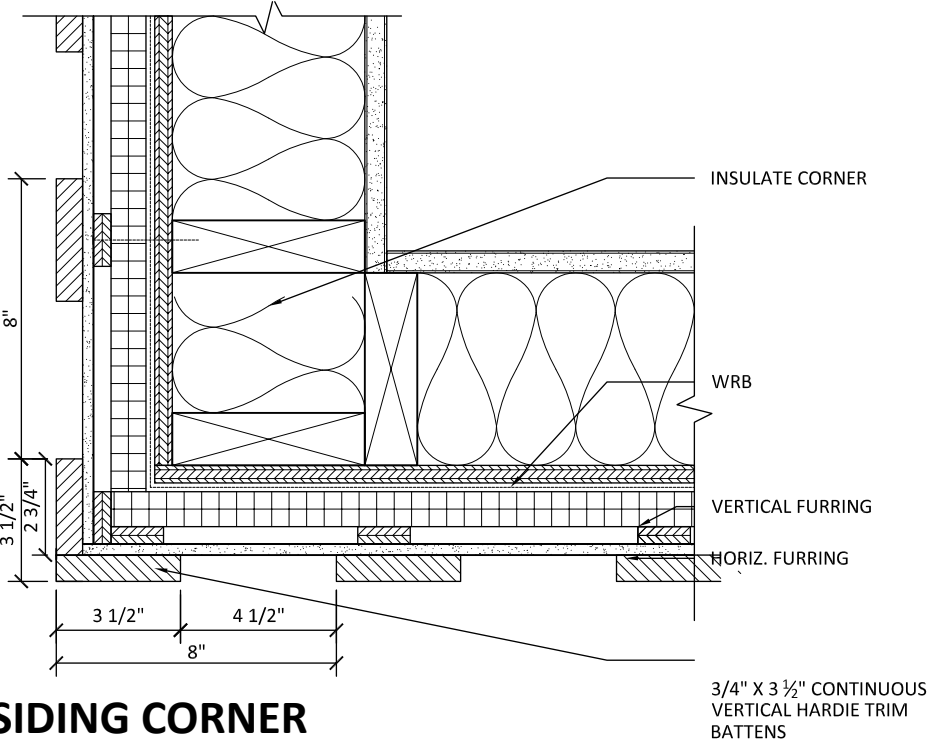


TYPICAL SIDING:

- Hardie panel with Hardie battens
- Corner trims are tight and clean
- Batten acts as jamb trim at windows
- Textural Contrast



TYPICAL SIDING



SIDING CORNER

PRELIMINARY

- LEGEND
- OVERHEAD
- DOOR
- KEYNOTE
- DOOR TAG
- ROOM TAG
(OPTIONAL NAME / NUMBER / SQUARE FOOTAGE)
- WALLTYPE TAG
- ACCESSIBLE UNIT
- LOCATION OF DRAFT STOP: DRAFT STOP
CONSTRUCTION TO BE 5/8" TYPE X GYPSUM
BOARD OR 1/2" PLYWOOD. PROVIDE 1/2"
PLYWOOD 22"x30" CLEAR ACCESS DOOR WITH
SPRING HINGES AND LATCH.

- SHEET GENERAL NOTES
1. FIELD VERIFY DIMENSIONS.
2. DIMENSIONS ARE TO GRID, FACE OF STUD, CONCRETE, CMU, AND
CENTERLINE OF PARTY
WALLS, COLUMNS, DOORS AND WINDOWS, U.N.O.
3. SEE UNIT PLANS FOR ADDITIONAL WALL TYPE, UNIT DOOR TYPE, AND
DIMENSION
INFORMATION.
4. SEE ENLARGED ELEVATIONS AND WINDOW SCHEDULE A6.00 FOR WINDOW
TYPES.
5. SEE ELEVATIONS AND STOREFRONT SCHEDULE A6.01 FOR STOREFRONT
TYPES.
6. MECHANICAL, ELECTRICAL, AND PLUMBING SUBCONTRACTORS TO COMPLY
W/ FIRE
BLOCKING AND FIRE STOPPING REQUIREMENTS AT ALL PENETRATIONS OF
RATED WALL
AND FLOOR/CEILING ASSEMBLIES.
7. NOT ALL KEYNOTES OR LEGEND SYMBOLS USED ON EVERY SHEET.
8. ALL GLAZING NOT IN UNITS WILL BE STOREFRONT GLAZING
- KEYNOTES
- SYMBOL

REVISION NO	DATE

ST. FRANCIS
PARK
APARTMENTS

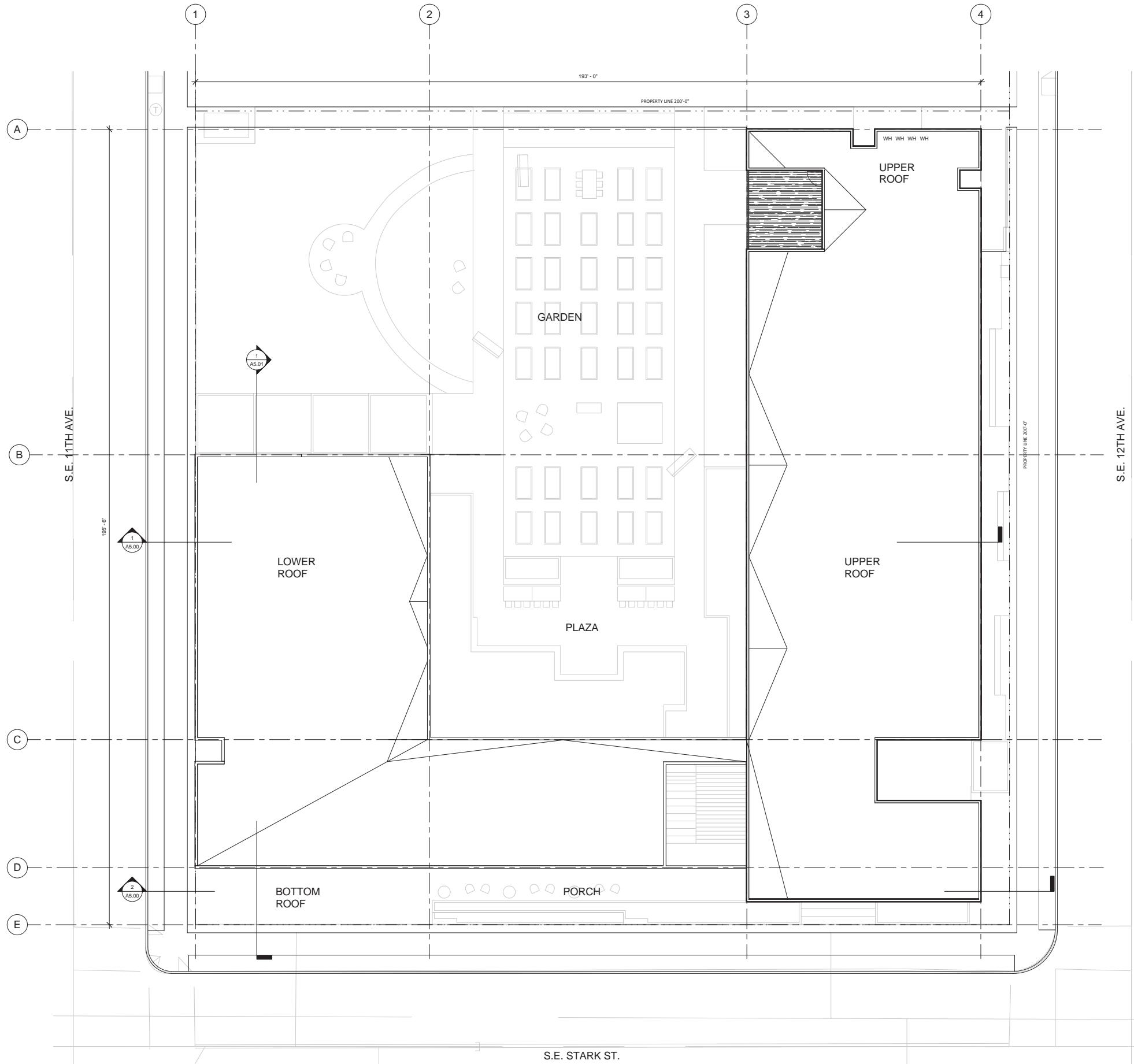
1136 SE OAK STREET PORTLAND,
OR 97214

HUD PROJECT NUMBER:
126-SH005
ISSUANCE
SCHEMATIC DESIGN
DATE
10/21/2014
SCALE
As indicated
PROJECT NUMBER
201414.00
DRAWN BY
IF
DRAWING TITLE

SITE PLAN

SHEET NUMBER


A1.10




000 SITE PLAN
1" = 10'-0"

PRELIMINARY


LEGEND




OVERHEAD



DOOR



KEYNOTE




DOOR TAG

Room
name


101

150 SF


ROOM TAG
(OPTIONAL NAME / NUMBER / SQUARE FOOTAGE)



WALLTYPE TAG



ACCESSIBLE UNIT



LOCATION OF DRAFT STOP. DRAFT STOP
CONSTRUCTION TO BE 5/8" TYPE X GYPSUM
BOARD OR 1/2" PLYWOOD. PROVIDE 1/2"
PLYWOOD 22"x30" CLEAR ACCESS DOOR WITH
SPRING HINGES AND LATCH.

SHEET GENERAL NOTES

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5. SEE ELEVATIONS AND STOREFRONT SCHEDULE A6.01 FOR STOREFRONT
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RATED WALL
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7. NOT ALL KEYNOTES OR LEGEND SYMBOLS USED ON EVERY SHEET.

8. ALL GLAZING NOT IN UNITS WILL BE STOREFRONT GLAZING

KEYNOTES

1

WOOD PANEL WALL

2

18 X 24 STRUCRURAL COLUMN

3

STOREFRONT GLAZING, TYP.

4

STAIR

5

TOILET

6

CABINET AND SINK


7

KITCHENETTE

8

TABLES AND CHAIRS

SYMBOL



REVISION NO	DATE

ST. FRANCIS
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1136 SE OAK STREET PORTLAND,
OR 97214

HUD PROJECT NUMBER:
126-SH005

ISSUANCE
SCHEMATIC DESIGN

DATE
10/21/2014

SCALE
As indicated

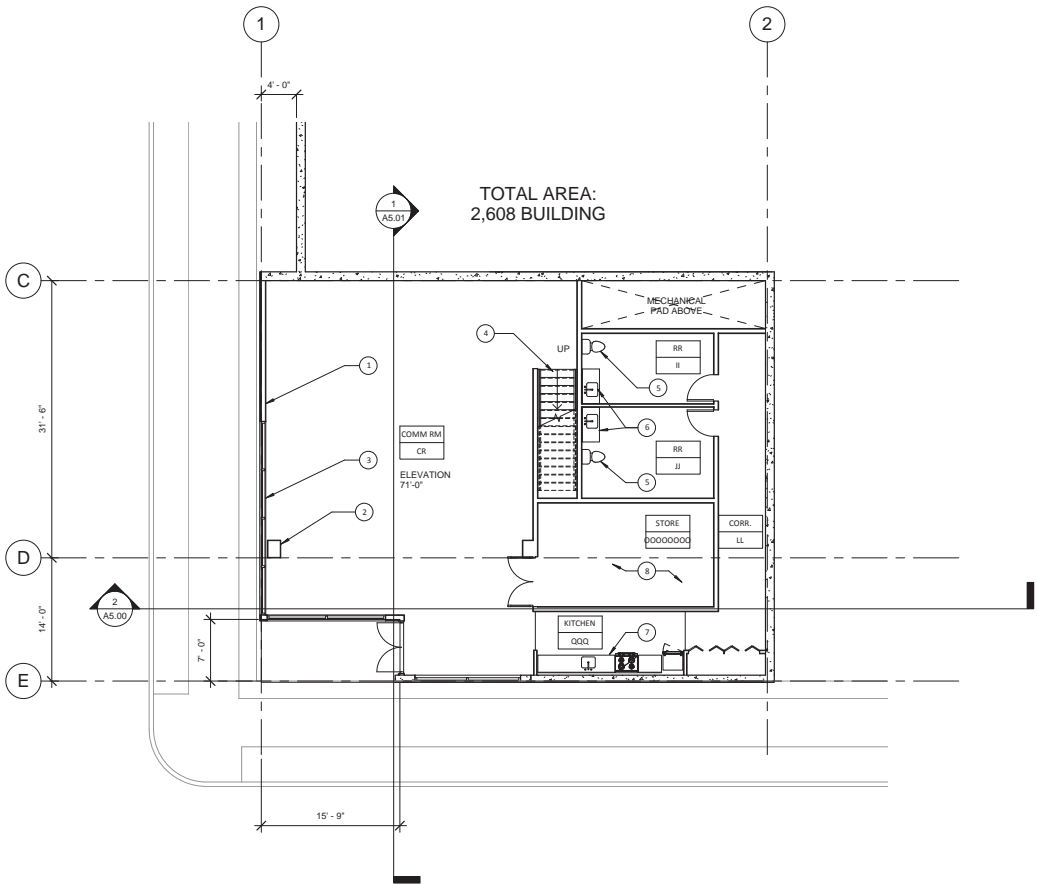
PROJECT NUMBER
201414.00

DRAWN BY
IF

DRAWING TITLE
COMMUNITY
ROOM PLAN

SHEET NUMBER

A1.25



010 COMMUNITY ROOM
1/8" = 1'-0"

PRELIMINARY

- LEGEND**
- OVERHEAD
- DOOR
- KEYNOTE
- DOOR TAG
- ROOM TAG
(OPTIONAL NAME / NUMBER / SQUARE FOOTAGE)
- WALLTYPE TAG
- ACCESSIBLE UNIT
- LOCATION OF DRAFT STOP: DRAFT STOP
CONSTRUCTION TO BE 5/8" TYPE X GYPSUM
BOARD OR 1/2" PLYWOOD, PROVIDE 1/2"
PLYWOOD 22"x30" CLEAR ACCESS DOOR WITH
SPRING HINGES AND LATCH.

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8. ALL GLAZING NOT IN UNITS WILL BE STOREFRONT GLAZING

- KEYNOTES**
- 1 STAIR
- 2 GLAZE
- 3 CASEWORK
- 4 MECH / ELEC
- 5 COILING DOOR
- 6 COLUMN
- 7 CONCRETE FOUNDATION WALL
- 8 PARKING BUMPER
- 9 BIKE SPACE
- 10 BENCH
- 11 PLANTER
- 12 SIDEWALK
- 13 BENCH SEATING

REVISION NO	DATE

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PARK
APARTMENTS

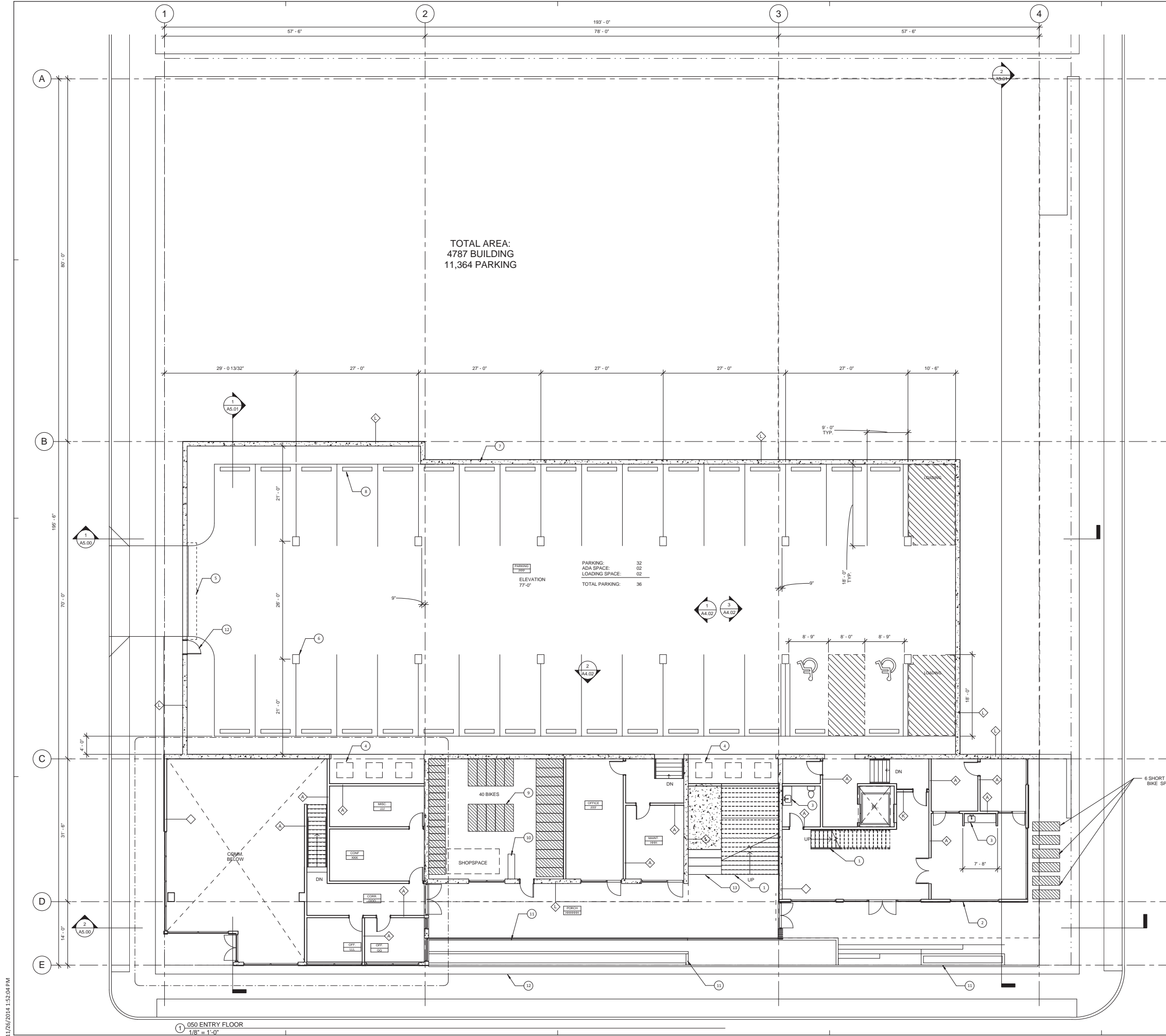
1136 SE OAK STREET PORTLAND,
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HUD PROJECT NUMBER:
126-SH005
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SCHEMATIC DESIGN
DATE
10/21/2014
SCALE
As indicated
PROJECT NUMBER
201414.00
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IF
DRAWING TITLE

ENTRY LEVEL PLAN

SHEET NUMBER

A1.75



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PRELIMINARY

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1136 SE OAK STREET PORTLAND,
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HUD PROJECT NUMBER:
126-SH005
ISSUANCE
SCHEMATIC DESIGN
DATE
10/21/2014
SCALE
As indicated
PROJECT NUMBER
201414.00
DRAWN BY
IF
DRAWING TITLE
FIRST FLOOR PLAN

SHEET NUMBER

A2.01

LEGEND

	OVERHEAD
	DOOR
	KEYNOTE
	DOOR TAG
	ROOM TAG (OPTIONAL NAME / NUMBER / SQUARE FOOTAGE)
	WALLTYPE TAG
	ACCESSIBLE UNIT
	LOCATION OF DRAFT STOP. DRAFT STOP CONSTRUCTION TO BE 5/8" TYPE 'X' GYPSUM BOARD OR 1/2" PLYWOOD. PROVIDE 1/2" PLYWOOD 22"x30" CLEAR ACCESS DOOR WITH SPRING HINGES AND LATCH.

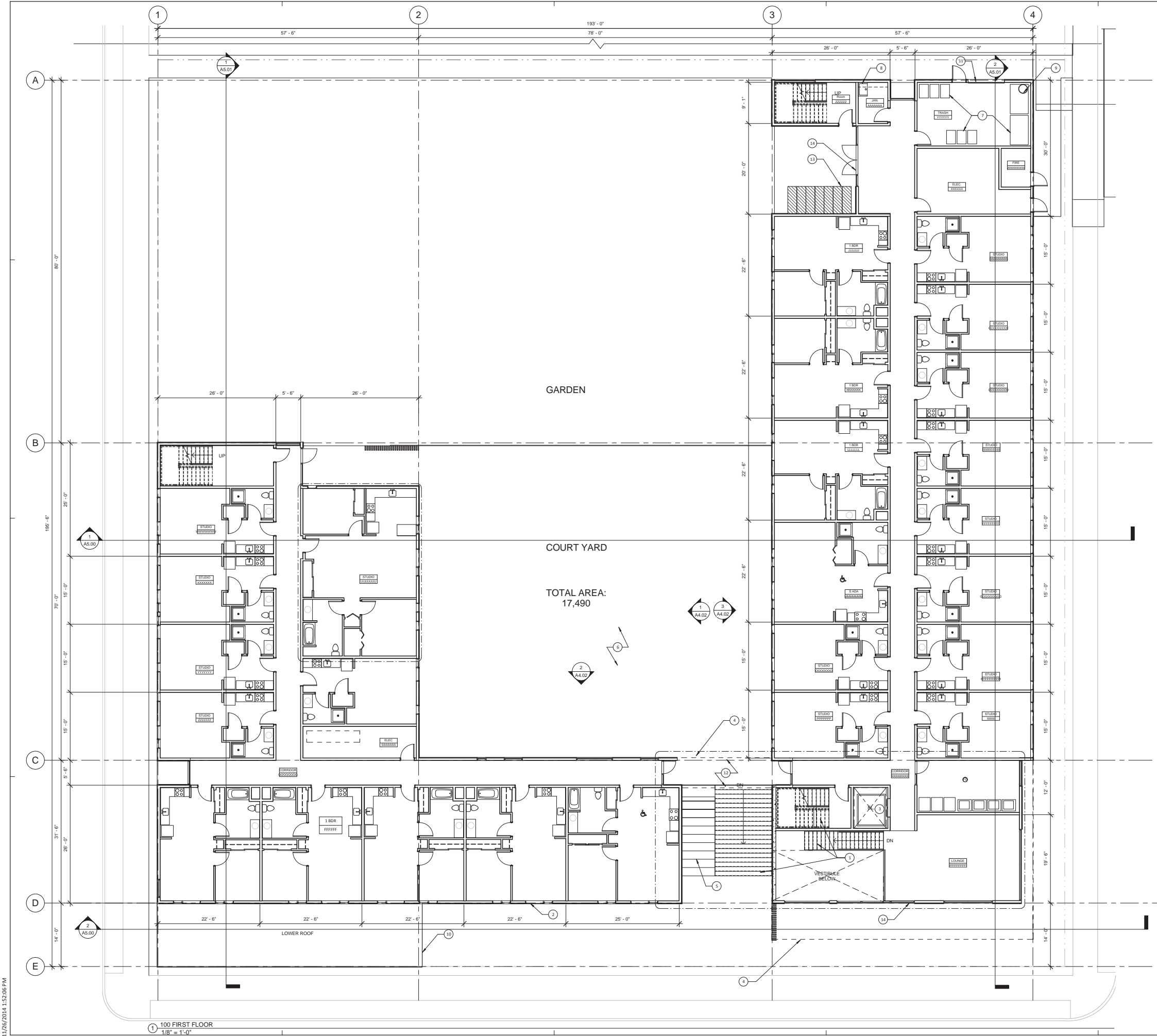
SHEET GENERAL NOTES

1. FIELD VERIFY DIMENSIONS.
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5. SEE ELEVATIONS AND STOREFRONT SCHEDULE A6.01 FOR STOREFRONT TYPES.
6. MECHANICAL, ELECTRICAL, AND PLUMBING SUBCONTRACTORS TO COMPLY W/ FIRE BLOCKING AND FIRE STOPPING REQUIREMENTS AT ALL PENETRATIONS OF RATED WALL AND FLOOR/CEILING ASSEMBLIES.
7. NOT ALL KEYNOTES OR LEGEND SYMBOLS USED ON EVERY SHEET.
8. ALL GLAZING NOT IN UNITS WILL BE STOREFRONT GLAZING

KEYNOTES

- 1 STAIR
- 2 GLAZING
- 3 ELEVATOR
- 4 OVERHEAD
- 5 SITE FEATURE
- 6 COURTYARD
- 7 DUMPSTER/RECYCLE
- 8 MOP SINK
- 9 TRASH CHUTE
- 10 BUILDING BELOW
- 11 OVERHEAD DOOR
- 12 LOGGIA
- 13 BIKE SPACE
- 14

SYMBOL



11/26/2014 1:52:06 PM

100 FIRST FLOOR
1/8" = 1'-0"

PRELIMINARY

LEGEND

OVERHEAD

DOOR

KEYNOTE

DOOR TAG

ROOM TAG
(OPTIONAL NAME / NUMBER / SQUARE FOOTAGE)

WALLTYPE TAG

ACCESSIBLE UNIT

LOCATION OF DRAFT STOP: DRAFT STOP
CONSTRUCTION TO BE 5/8" TYPE X GYPSUM
BOARD OR 1/2" PLYWOOD. PROVIDE 1/2"
PLYWOOD 22"x30" CLEAR ACCESS DOOR WITH
SPRING HINGES AND LATCH.

SHEET GENERAL NOTES

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TYPES.

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W/ FIRE
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RATED WALL
AND FLOOR/CEILING ASSEMBLIES.

7. NOT ALL KEYNOTES OR LEGEND SYMBOLS USED ON EVERY SHEET.

8. ALL GLAZING NOT IN UNITS WILL BE STOREFRONT GLAZING

KEYNOTES

1 STAIR
2 GLAZING, TYP.
3 ELEVATOR
4 INTERIOR GLAZING
5 DOOR, TYP.
6 JAN / MOP SINK
7 BALCONY
8 STOREFRONT GLAZING,
TYP.

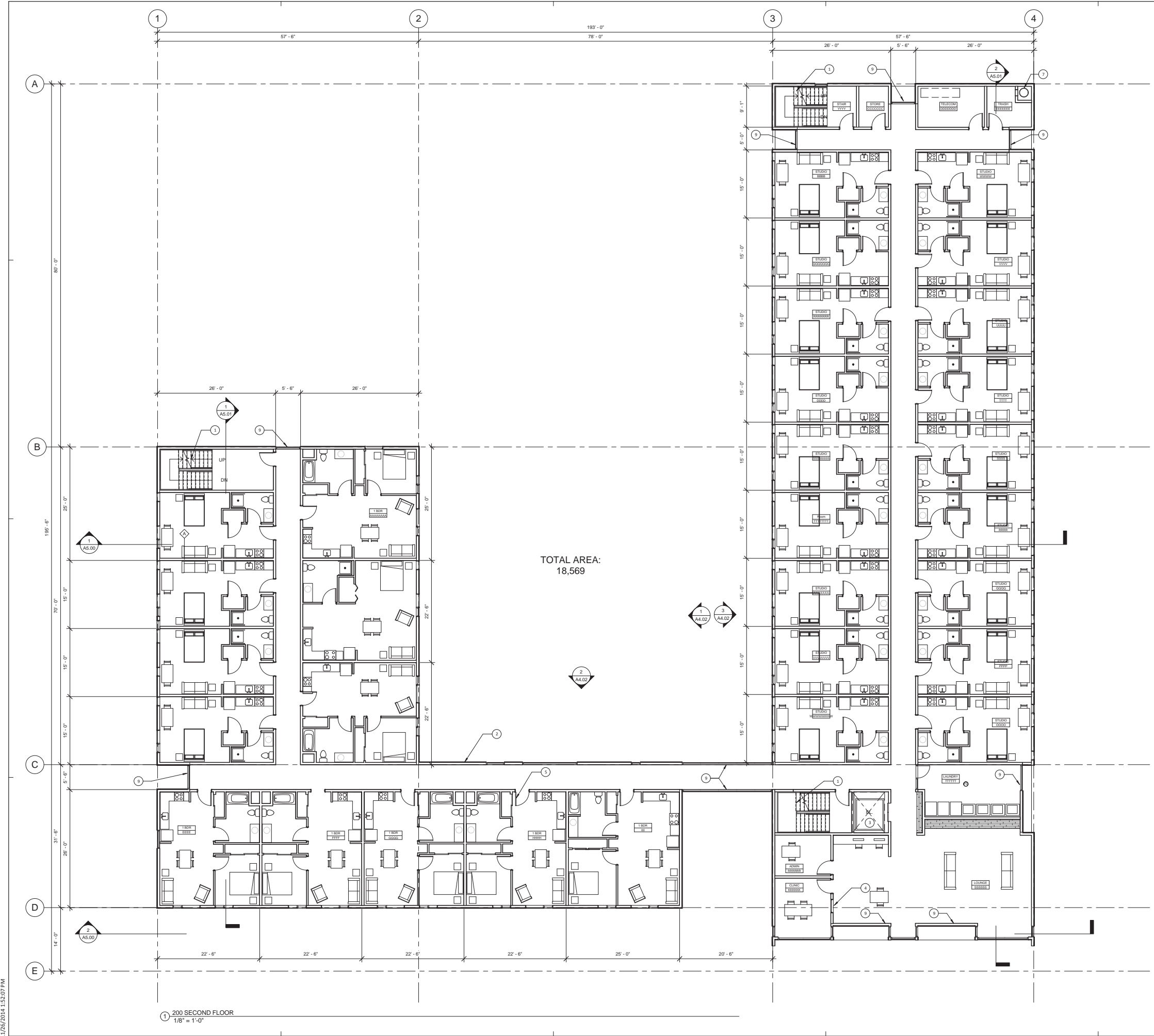
REVISION NO	DATE

ST. FRANCIS
PARK
APARTMENTS

1136 SE OAK STREET PORTLAND,
OR 97214

HUD PROJECT NUMBER:
126-SH005
ISSUANCE
SCHEMATIC DESIGN
DATE
10/21/2014
SCALE
As indicated
PROJECT NUMBER
201414.00
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IF
DRAWING TITLE
SECOND FLOOR
PLAN
SHEET NUMBER

A2.02



11/26/2014 1:52:07 PM

200 SECOND FLOOR
1/8" = 1'-0"

LEGEND

OVERHEAD

DOOR

KEYNOTE

DOOR TAG

ROOM TAG
(OPTIONAL NAME / NUMBER / SQUARE FOOTAGE)

WALLTYPE TAG

ACCESSIBLE UNIT

LOCATION OF DRAFT STOP, DRAFT STOP CONSTRUCTION TO BE 5/8" TYPE X GYPSUM BOARD OR 1/2" PLYWOOD, 22"x30" CLEAR ACCESS DOOR WITH SPRING HINGES AND LATCH.

SHEET GENERAL NOTES

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KEYNOTES

1 STAIR

2 GLAZING, TYP.

3 ELEVATOR

4 INTERIOR GLAZING

5 DOOR, TYP.

6 JAN / MOP SINK

7 BALCONY

8 STOREFRONT GLAZING, TYP.

9

REVISION NO	DATE

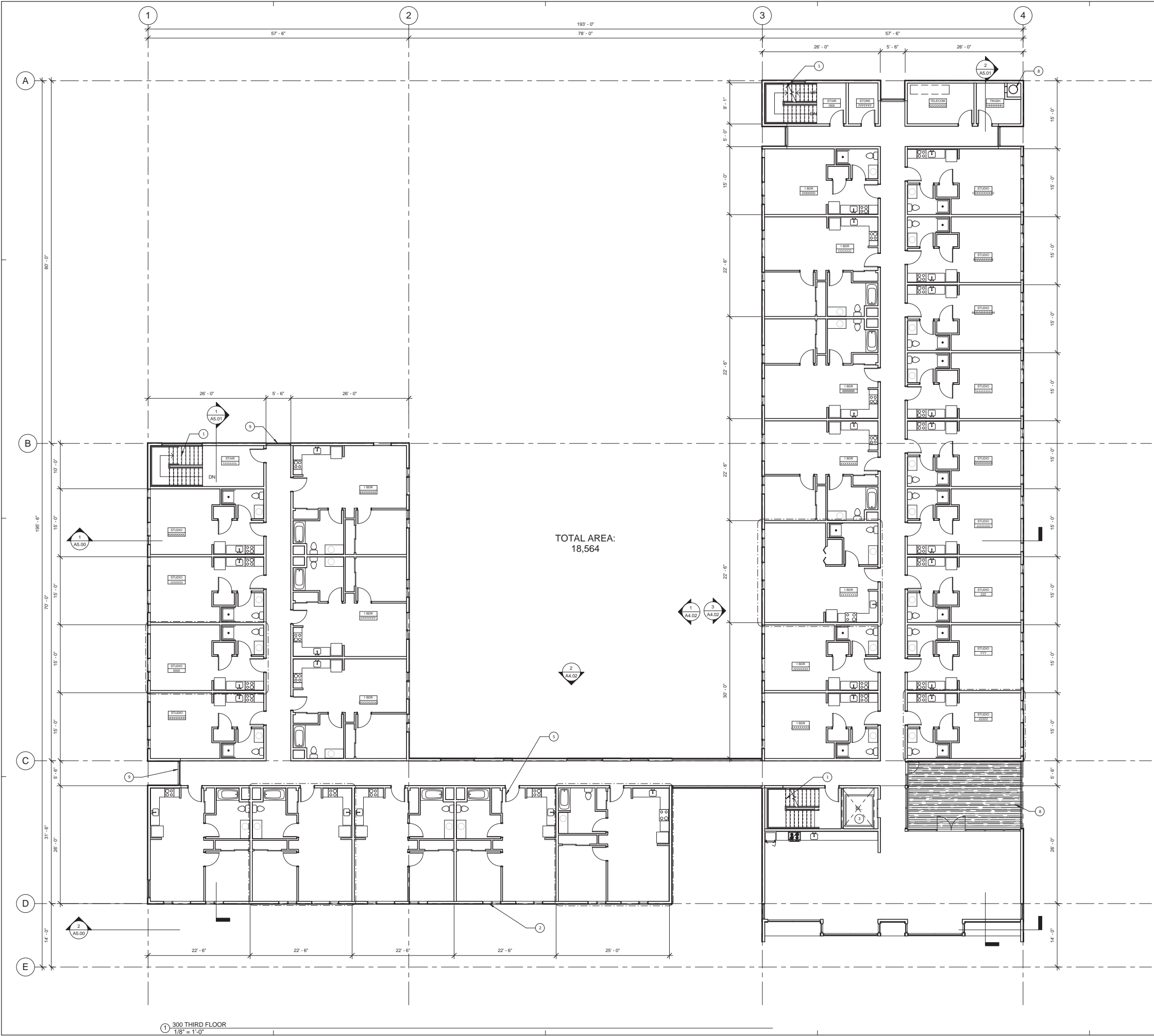
ST. FRANCIS
PARK
APARTMENTS

1136 SE OAK STREET PORTLAND,
OR 97214

HUD PROJECT NUMBER:
126-SH005
ISSUANCE
SCHEMATIC DESIGN
DATE
10/21/2014
SCALE
As indicated
PROJECT NUMBER
201414.00
DRAWN BY
IF
DRAWING TITLE
THIRD FLOOR PLAN

SHEET NUMBER

A2.03

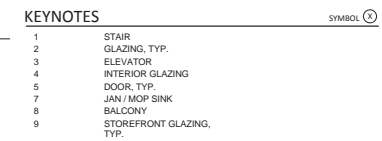




1136 SE OAK STREET PORTLAND,
OR 97214

FOURTH FLOOR
PLAN

A2.04



ROOF

① 400 FOURTH FLOOR
1/8" = 1'-0"

11/26/2014 1:52:10 PM

PRELIMINARY

LEGEND

	OVERHEAD
	DOOR
	KEYNOTE
	DOOR TAG
	ROOM TAG (OPTIONAL NAME / NUMBER / SQUARE FOOTAGE)
	WALLTYPE TAG
	ACCESSIBLE UNIT
	LOCATION OF DRAFT STOP: DRAFT STOP CONSTRUCTION TO BE 5/8" TYPE X GYPSUM BOARD OR 1/2" PLYWOOD. PROVIDE 1/2" PLYWOOD 22"x30" CLEAR ACCESS DOOR WITH SPRING HINGES AND LATCH.

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8. ALL GLAZING NOT IN UNITS WILL BE STOREFRONT GLAZING

KEYNOTES SYMBOL ①

REVISION NO	DATE

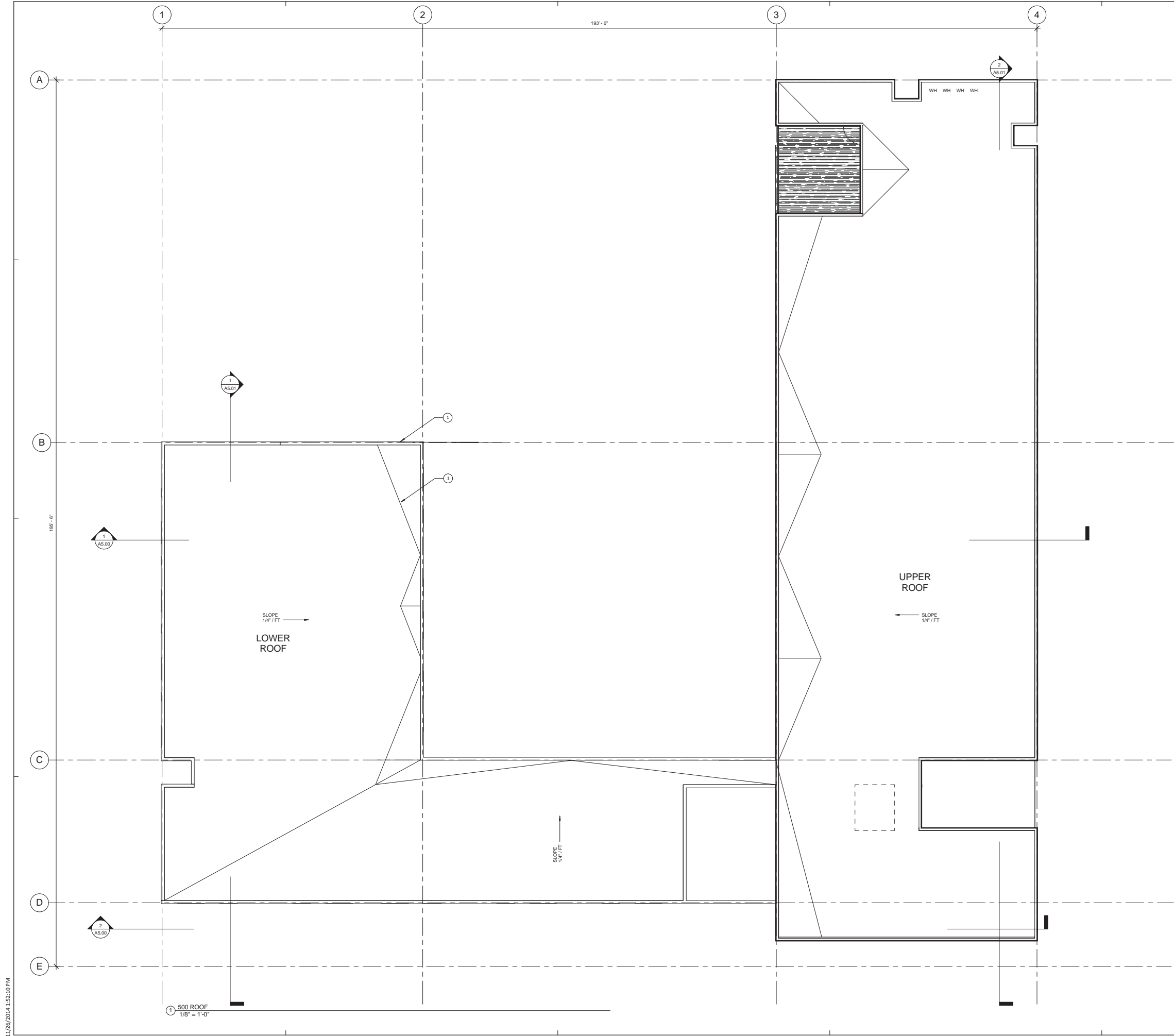
ST. FRANCIS
PARK
APARTMENTS

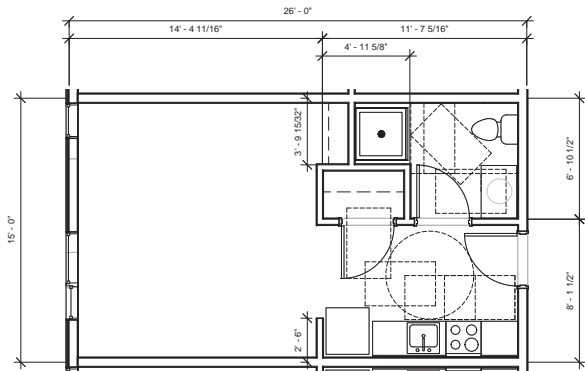
1136 SE OAK STREET PORTLAND,
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ISSUANCE
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DATE
10/21/2014
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201414.00
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IF
DRAWING TITLE
ROOF PLAN

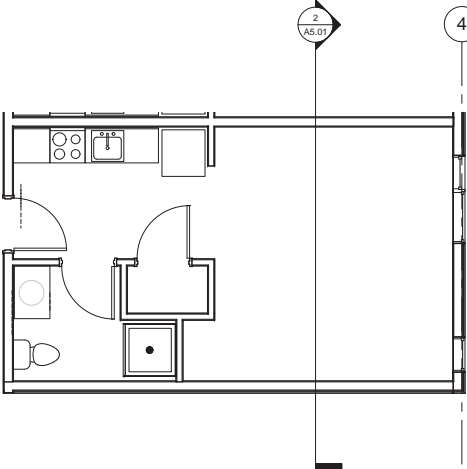
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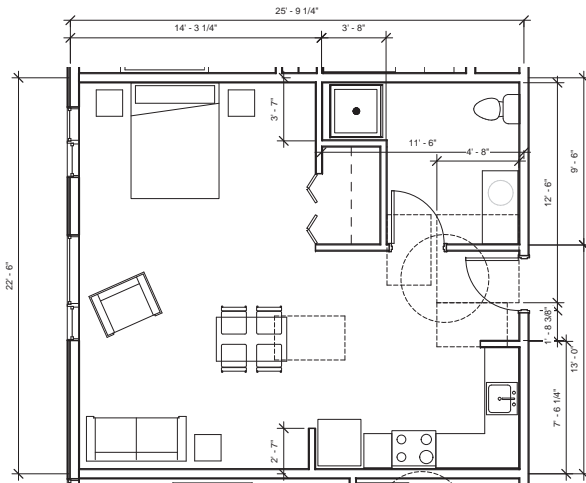




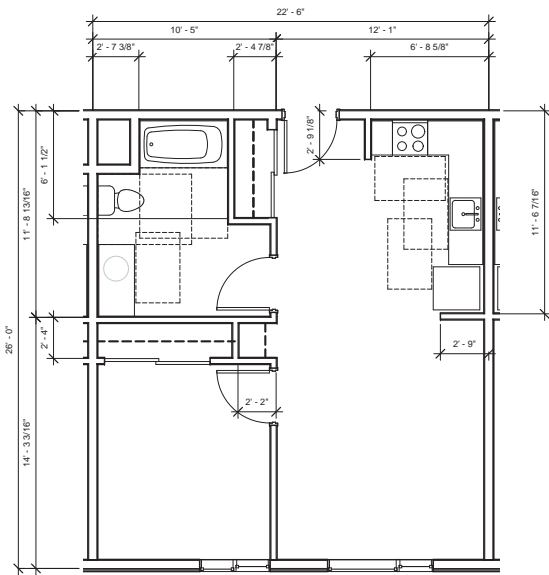
1 STUDIO
1/4" = 1'-0"



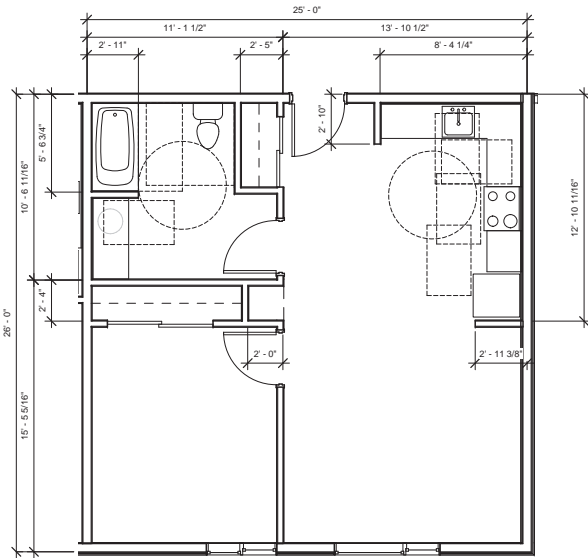
2 STUDIO W/ CHASE
1/4" = 1'-0"



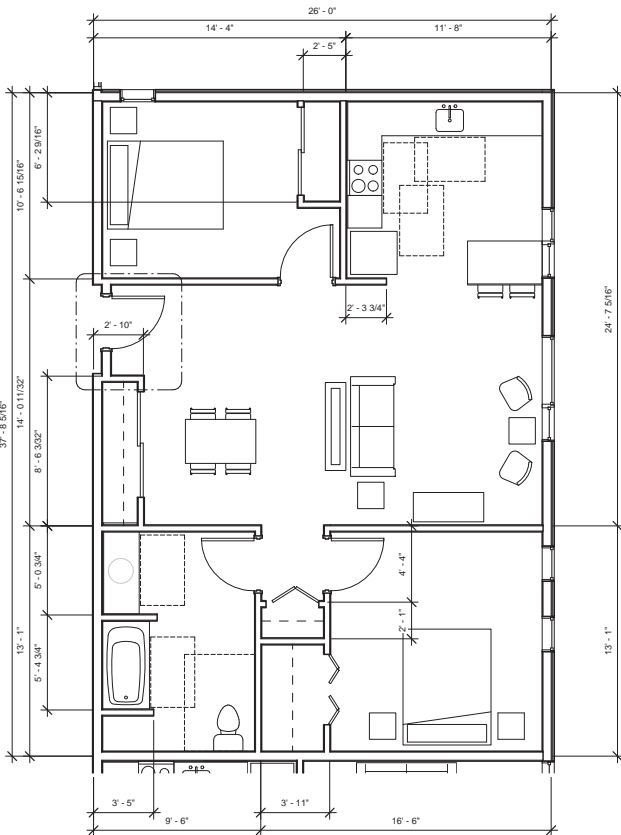
3 STUDIO ADA
1/4" = 1'-0"



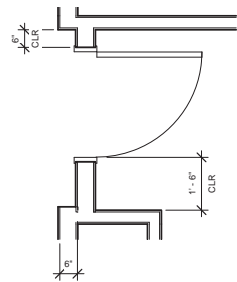
4 1 BEDROOM
1/4" = 1'-0"



5 1 BEDROOM ADA
1/4" = 1'-0"



6 2 BEDROOM MANAGER
1/4" = 1'-0"



7 TYPICAL UNIT ENTRY
1/2" = 1'-0"



8 STUDIO PERSPECTIVE

LEGEND

- OVERHEAD
- DOOR
- KEYNOTE
- DOOR TAG
- ROOM TAG (OPTIONAL NAME / NUMBER / SQUARE FOOTAGE)
- WALLTYPE TAG
- ACCESSIBLE UNIT
- LOCATION OF DRAFT STOP: DRAFT STOP CONSTRUCTION TO BE 5/8" TYPE X GYPSUM BOARD OR 1/2" PLYWOOD, PROVIDE 1/2" PLYWOOD 22"x30" CLEAR ACCESS DOOR WITH SPRING HINGES AND LATCH.

SHEET GENERAL NOTES

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- DIMENSIONS ARE TO GRID, FACE OF STUD, CONCRETE, CMU, AND CENTERLINE OF PARTY WALLS, COLUMNS, DOORS AND WINDOWS, U.N.O.
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- SEE ELEVATIONS AND STOREFRONT SCHEDULE A6.01 FOR STOREFRONT TYPES.
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- NOT ALL KEYNOTES OR LEGEND SYMBOLS USED ON EVERY SHEET.
- ALL GLAZING NOT IN UNITS WILL BE STOREFRONT GLAZING.

KEYNOTES SYMBOL ①

REVISION NO	DATE

**ST. FRANCIS
PARK
APARTMENTS**

1136 SE OAK STREET PORTLAND,
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HUD PROJECT NUMBER:
126-SH005
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Author
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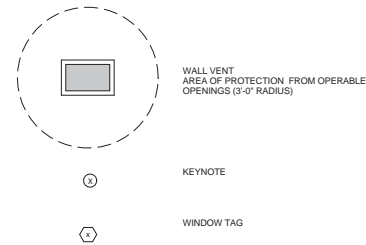
**ENLARGED UNIT
PLANS**

SHEET NUMBER

A3.00

PRELIMINARY

LEGEND



SHEET GENERAL NOTES

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2. DIMENSIONS ARE TO GRID, FACE OF STUD, CONCRETE, CMJ, AND CENTERLINE OF PARTY WALLS, COLUMNS, DOORS AND WINDOWS, U.N.O.
3. SEE UNIT PLANS FOR ADDITIONAL WALL TYPE, UNIT DOOR TYPE, AND DIMENSION INFORMATION.
4. PROVIDE TRIPLE GLAZED WINDOWS PER SPECIFICATIONS ON THE WEST AND NORTH ELEVATIONS. PROVIDE DOUBLE GLAZED WINDOWS PER SPECIFICATIONS ON THE EAST AND SOUTH ELEVATIONS.
5. SEE ENLARGED ELEVATIONS AND WINDOW SCHEDULE A6.01 FOR WINDOW TYPES.
6. SEE ELEVATIONS AND STOREFRONT SCHEDULE A6.01 FOR STOREFRONT TYPES.
7. MECHANICAL, ELECTRICAL, AND PLUMBING SUBCONTRACTORS TO COMPLY W/ FIRE BLOCKING AND FIRE STOPPING REQUIREMENTS AT ALL PENETRATIONS OF RATED WALL AND FLOOR/CEILING ASSEMBLIES.
8. NOT ALL KEYNOTES OR LEGEND SYMBOLS USED ON EVERY SHEET.

KEYNOTES

- | SYMBOL | KEYNOTE |
|--------|--|
| 1 | VINYL WINDOW, TYP. IN UNITS |
| 2 | STOREFRONT GLAZING AT NON-UNIT LOCATIONS |
| 3 | HARDI BATTEN SYSTEM. SEE WALLTYPES P-Q-R ON A6.002 |
| 4 | COMPOSITE PANEL SYSTEM |
| 5 | RAILING |
| 6 | LARGE SCALE COMPOSITE PANEL |
| 7 | METAL PANEL WRAP - 22 GA |
| 8 | LANDSCAPE FEATURE |
| 9 | LATTICE |
| 10 | COLING DOOR |
| 11 | EXPOSED CONCRETE |
| 12 | 2' EXPOSURE HARDI PANEL SYSTEM |
| 13 | FIN WALL WITH EXPANSION JOINT |

REVISION NO DATE

ST. FRANCIS PARK APARTMENTS

1136 SE OAK STREET PORTLAND, OR 97214

HUD PROJECT NUMBER:
126-SH005
ISSUANCE
SCHEMATIC DESIGN

DATE
10/21/2014

SCALE
As indicated

PROJECT NUMBER
201414.00

DRAWN BY
IF

DRAWING TITLE

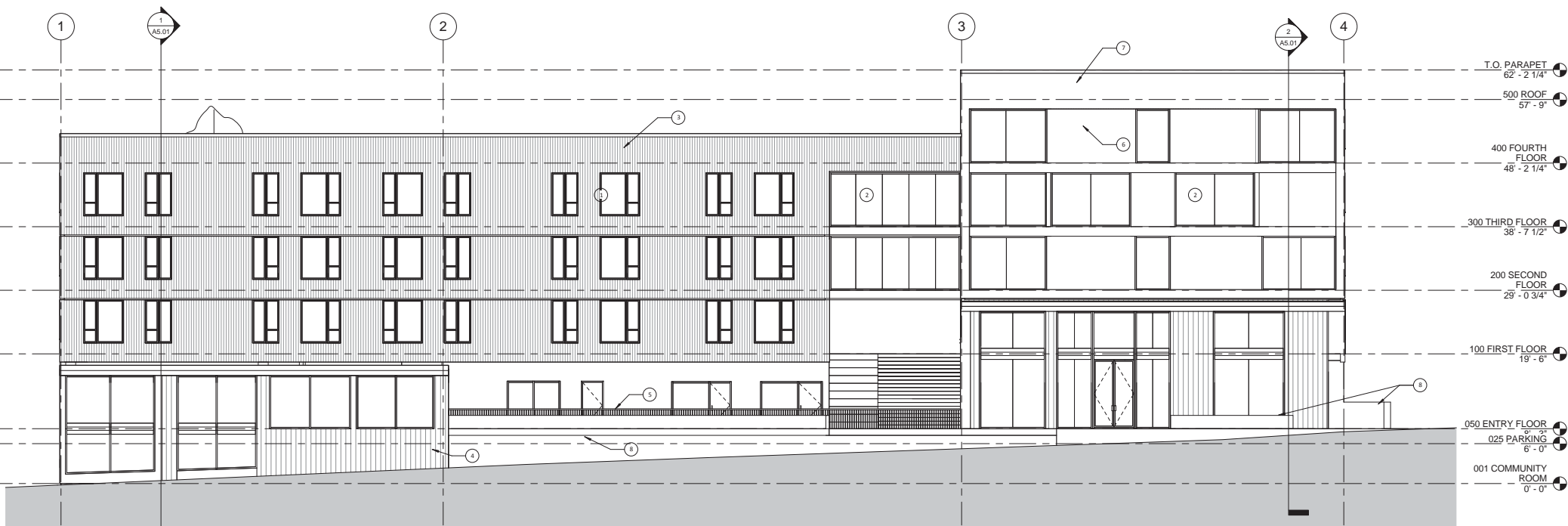
ELEVATIONS

SHEET NUMBER

A4.00



2 EAST ELEVATION
1/8" = 1'-0"

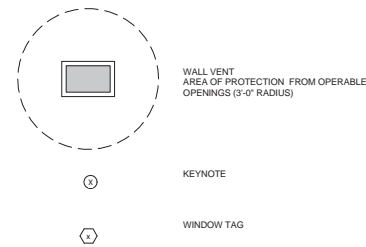


1 SOUTH ELEVATION
1/8" = 1'-0"

11/24/2014 9:17:50 AM

PRELIMINARY

LEGEND



SHEET GENERAL NOTES

1. FIELD VERIFY DIMENSIONS.
2. DIMENSIONS ARE TO GRID, FACE OF STUD, CONCRETE, CMU, AND CENTERLINE OF PARTY WALLS, COLUMNS, DOORS AND WINDOWS, U.N.O.
3. SEE UNIT PLANS FOR ADDITIONAL WALL TYPE, UNIT DOOR TYPE, AND DIMENSION INFORMATION.
4. PROVIDE TRIPLE GLAZED WINDOWS PER SPECIFICATIONS ON THE WEST AND NORTH ELEVATIONS. PROVIDE DOUBLE GLAZED WINDOWS PER SPECIFICATIONS ON THE EAST AND SOUTH ELEVATIONS.
5. SEE ENLARGED ELEVATIONS AND WINDOW SCHEDULE A6.01 FOR WINDOW TYPES.
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7. MECHANICAL, ELECTRICAL, AND PLUMBING SUBCONTRACTORS TO COMPLY W/ FIRE BLOCKING AND FIRE STOPPING REQUIREMENTS AT ALL PENETRATIONS OF RATED WALL AND FLOOR/CEILING ASSEMBLIES.
8. NOT ALL KEYNOTES OR LEGEND SYMBOLS USED ON EVERY SHEET.

KEYNOTES

- 1 VINYL WINDOW, TYP. IN UNITS
- 2 STOREFRONT GLAZING AT NON-UNIT LOCATIONS
- 3 HARDI BATTEN SYSTEM. SEE WALLTYPES P-Q-R ON A6.002
- 4 COMPOSITE PANEL SYSTEM
- 5 RAILING
- 6 LARGE SCALE COMPOSITE PANEL
- 7 METAL PANEL WRAP - 22 GA
- 8 LANDSCAPE FEATURE
- 9 LATTICE
- 10 COILING DOOR
- 11 EXPOSED CONCRETE
- 12 2' EXPOSURE HARDI PANEL SYSTEM
- 13 FIN WALL WITH EXPANSION JOINT

REVISION NO DATE

ST. FRANCIS PARK APARTMENTS

1136 SE OAK STREET PORTLAND, OR 97214

HUD PROJECT NUMBER:
126-SH005
ISSUANCE
SCHEMATIC DESIGN

DATE
10/21/2014

SCALE
As indicated

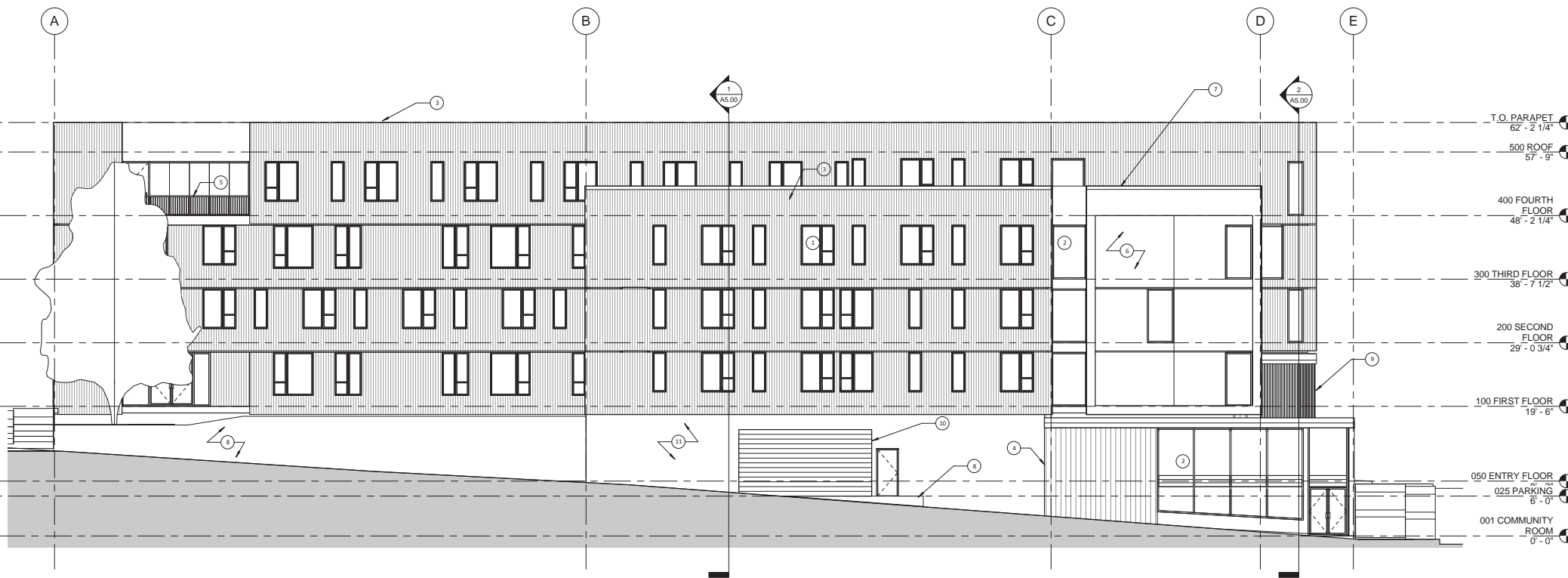
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201414.00

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IF

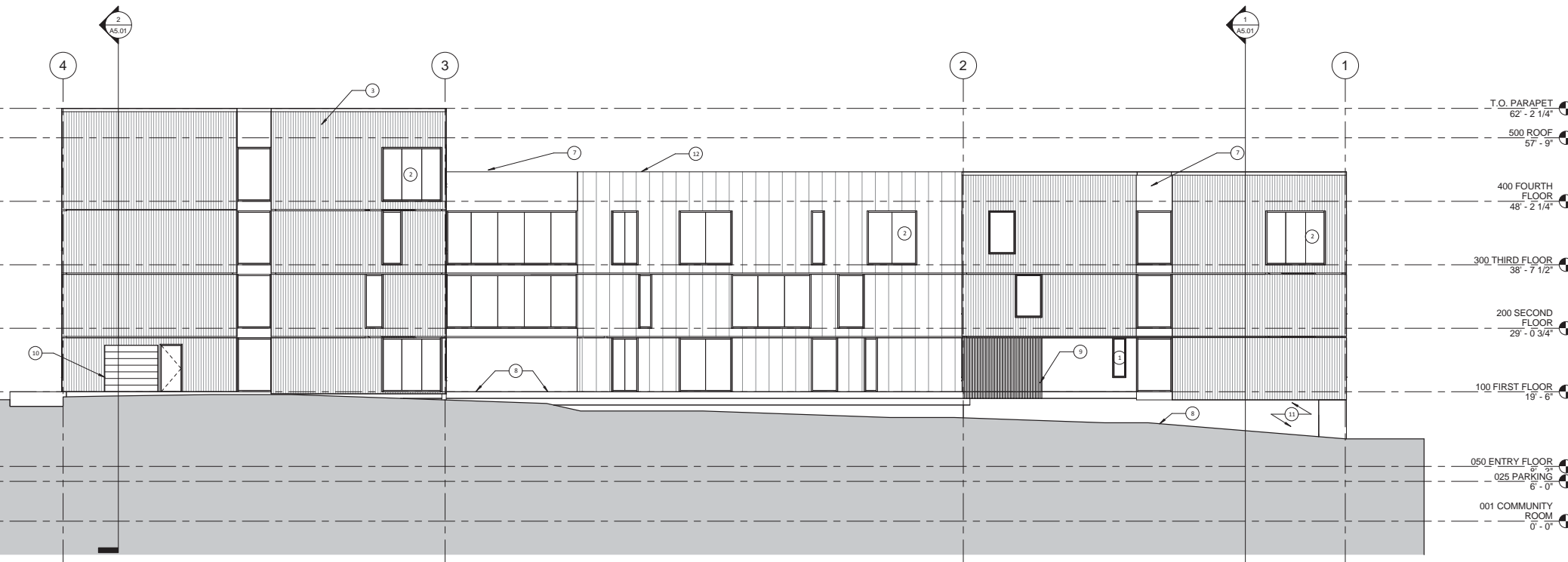
DRAWING TITLE
ELEVATIONS

SHEET NUMBER

A4.01



2 WEST ELEVATION
1/8" = 1'-0"



1 NORTH ELEVATION
1/8" = 1'-0"

PRELIMINARY

REVISION NO	DATE

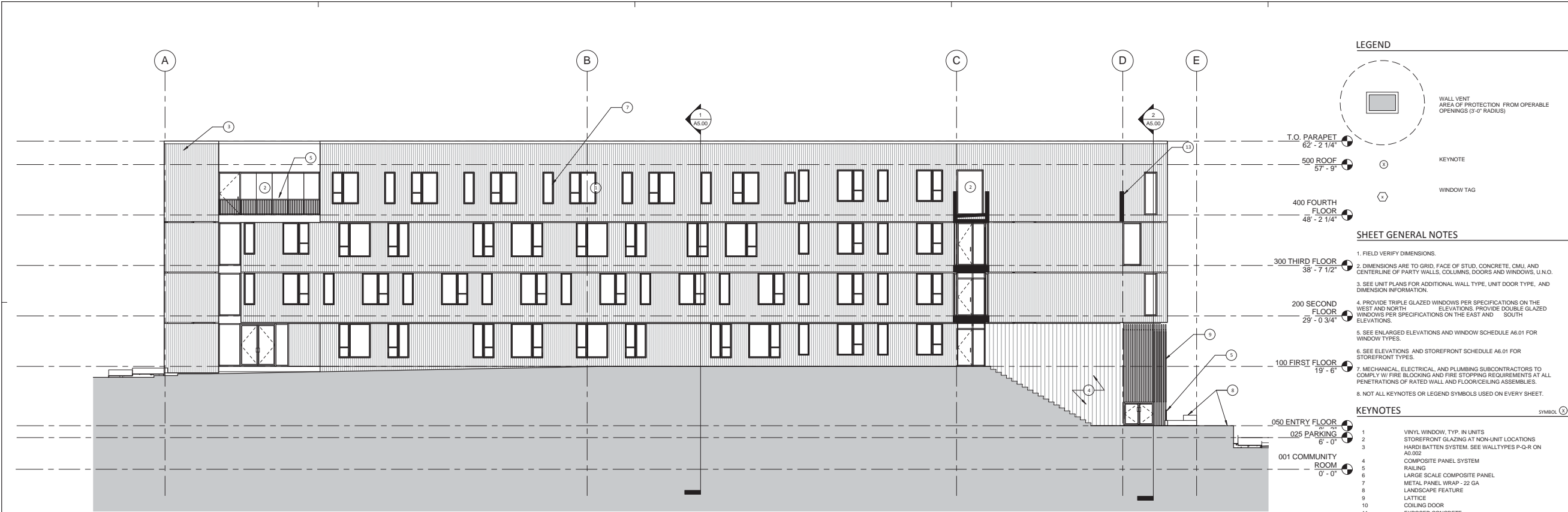
ST. FRANCIS
PARK
APARTMENTS

1136 SE OAK STREET PORTLAND,
OR 97214

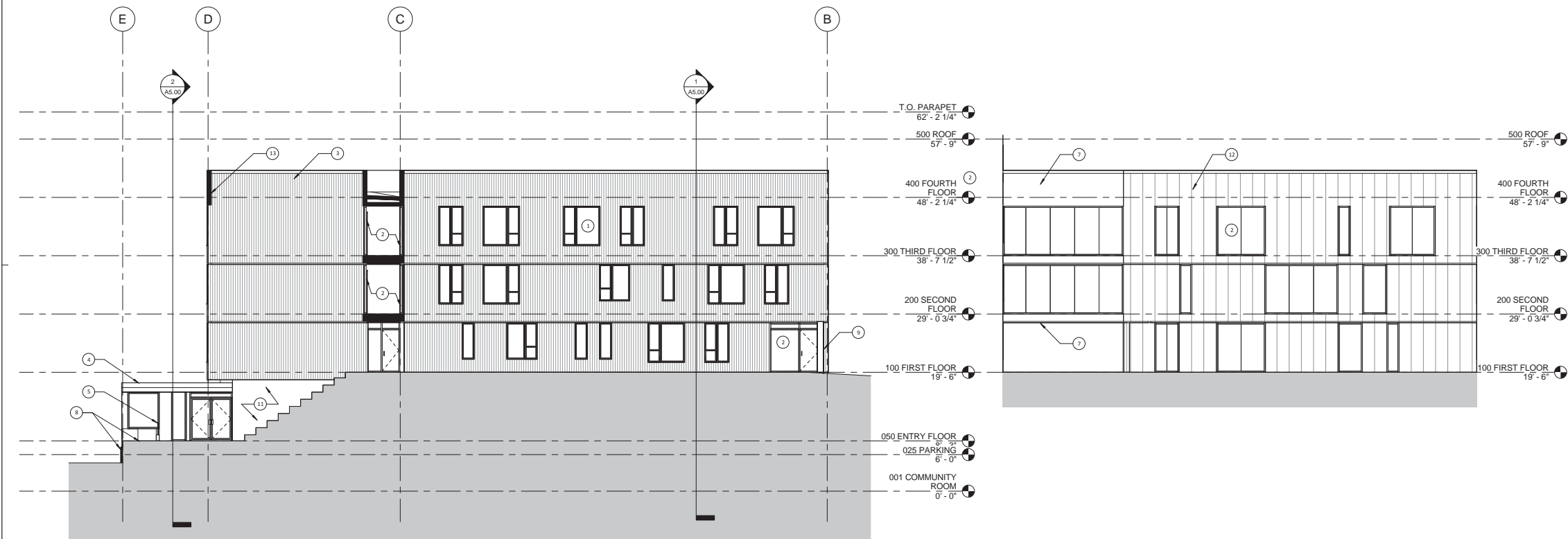
HUD PROJECT NUMBER:
126-SH005
ISSUANCE
SCHEMATIC DESIGN
DATE
10/21/2014
SCALE
As indicated
PROJECT NUMBER
201414.00
DRAWN BY
Author
DRAWING TITLE
ELEVATIONS

SHEET NUMBER

A4.02



③ COURTYARD WEST
1/8" = 1'-0"



① COURTYARD EAST
1/8" = 1'-0"

② COURTYARD SOUTH
1/8" = 1'-0"

11/24/2014 9:17:59 AM

PRELIMINARY

LEGEND	
	KEYNOTE
	DOOR TAG
	ROOM TAG (OPTIONAL NAME / NUMBER / SQUARE FOOTAGE)
	WALLTYPE TAG
	ACCESSIBLE UNIT

- SHEET GENERAL NOTES**
- FIELD VERIFY DIMENSIONS.
 - DIMENSIONS ARE TO GRID, FACE OF STUD, CONCRETE, CMU, AND CENTERLINE OF PARTY WALLS, COLUMNS, DOORS AND WINDOWS, U.N.O.
 - SEE UNIT PLANS FOR ADDITIONAL WALL TYPE, UNIT DOOR TYPE, AND DIMENSION INFORMATION.
 - SEE ENLARGED ELEVATIONS AND WINDOW SCHEDULE A6.00 FOR WINDOW TYPES.
 - SEE ELEVATIONS AND STOREFRONT SCHEDULE A6.01 FOR STOREFRONT TYPES.
 - MECHANICAL, ELECTRICAL, AND PLUMBING SUBCONTRACTORS TO COMPLY W/ FIRE BLOCKING AND FIRE STOPPING REQUIREMENTS AT ALL PENETRATIONS OF RATED WALL AND FLOOR/CEILING ASSEMBLIES.
 - NOT ALL KEYNOTES OR LEGEND SYMBOLS USED ON EVERY SHEET
- KEYNOTES** SYMBOL

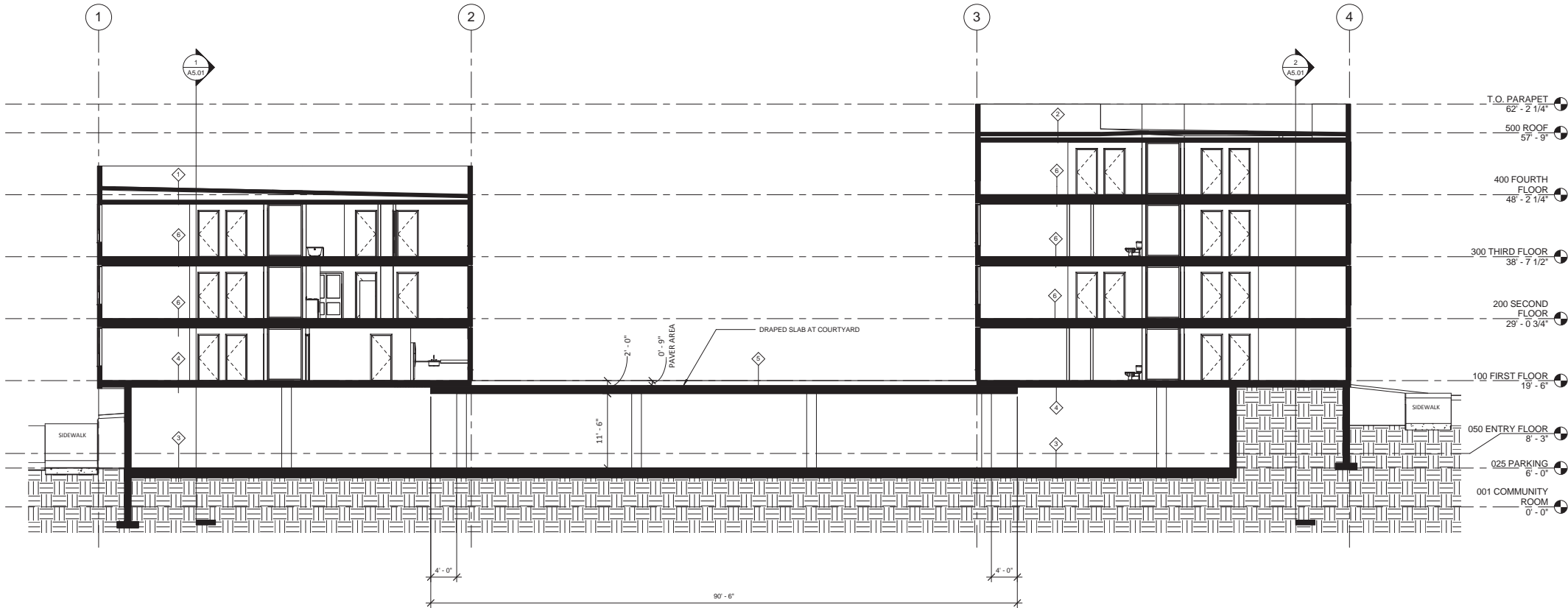
REVISION NO	DATE

ST. FRANCIS
PARK
APARTMENTS

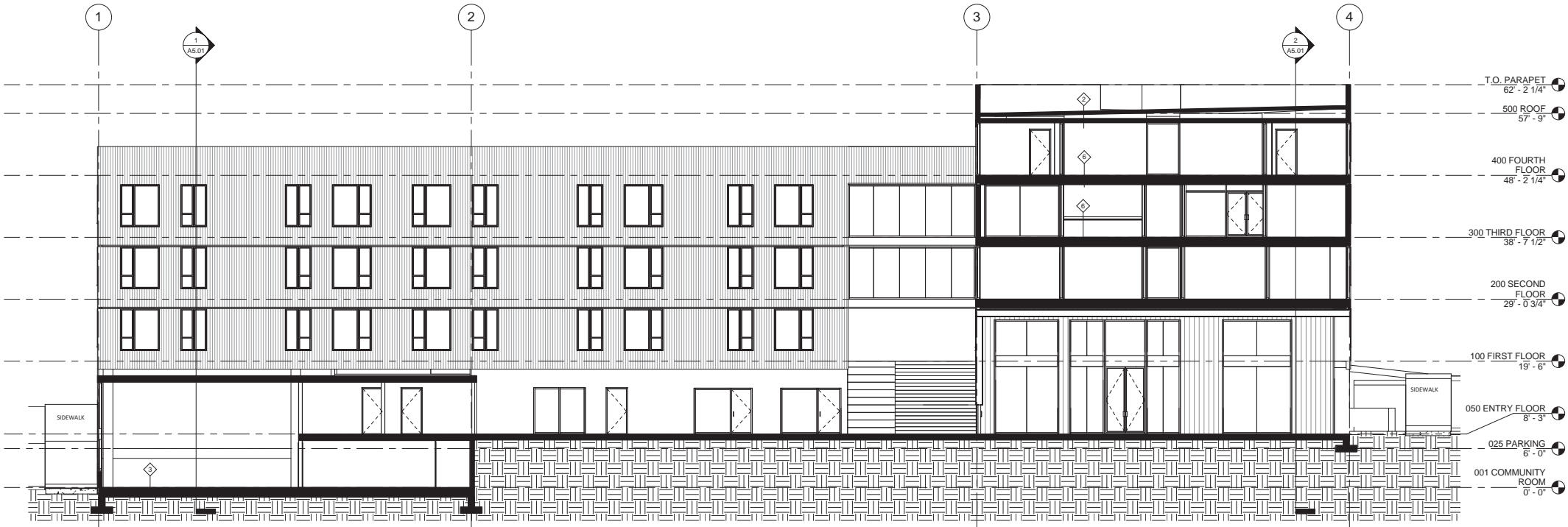
1136 SE OAK STREET PORTLAND,
OR 97214

HUD PROJECT NUMBER:
126-SH005
ISSUANCE
SCHEMATIC DESIGN
DATE
10/21/2014
SCALE
As indicated
PROJECT NUMBER
201414.00
DRAWN BY
IF
DRAWING TITLE
BUILDING
SECTIONS
SHEET NUMBER

A5.00



1 EW COURTYARD SECTION
1/8" = 1'-0"



2 EW PORCH SECTION
1/8" = 1'-0"

PRELIMINARY

LEGEND

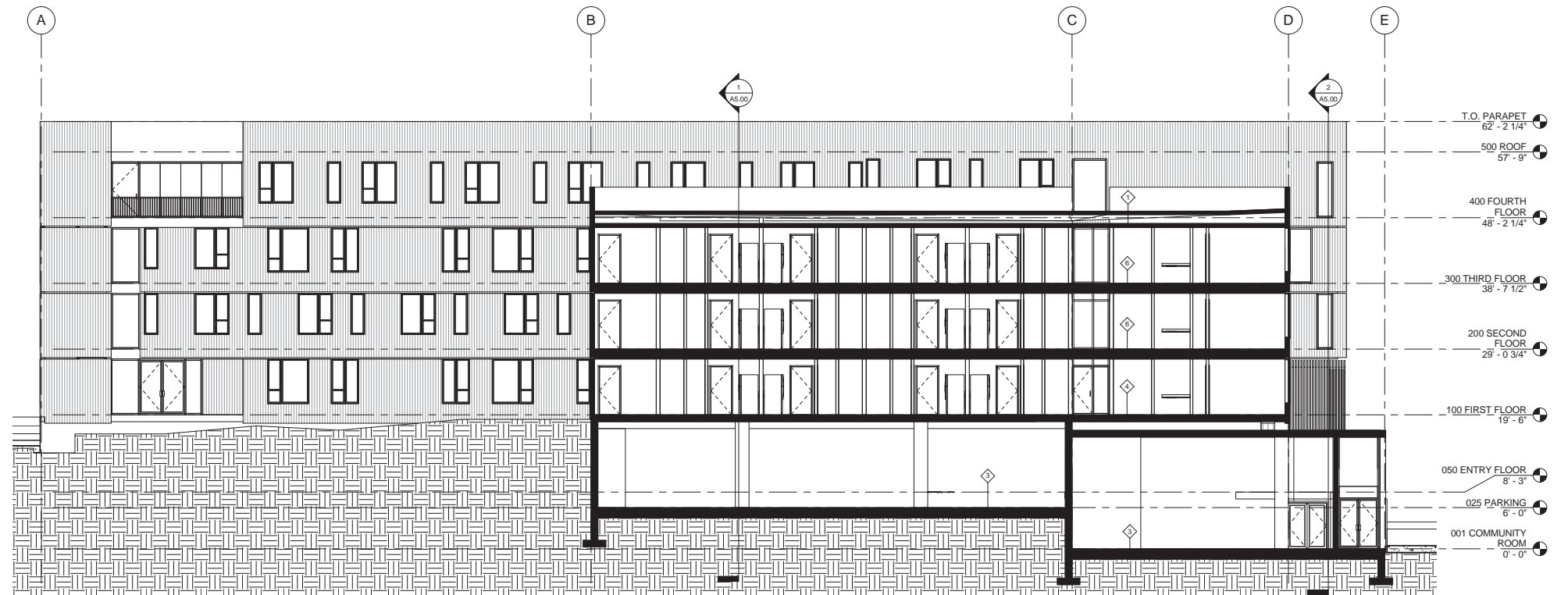
Ⓢ	KEYNOTE
101	DOOR TAG
Room name 101 150 SF	ROOM TAG (OPTIONAL NAME / NUMBER / SQUARE FOOTAGE)
11	WALLTYPE TAG
♿	ACCESSIBLE UNIT

SHEET GENERAL NOTES

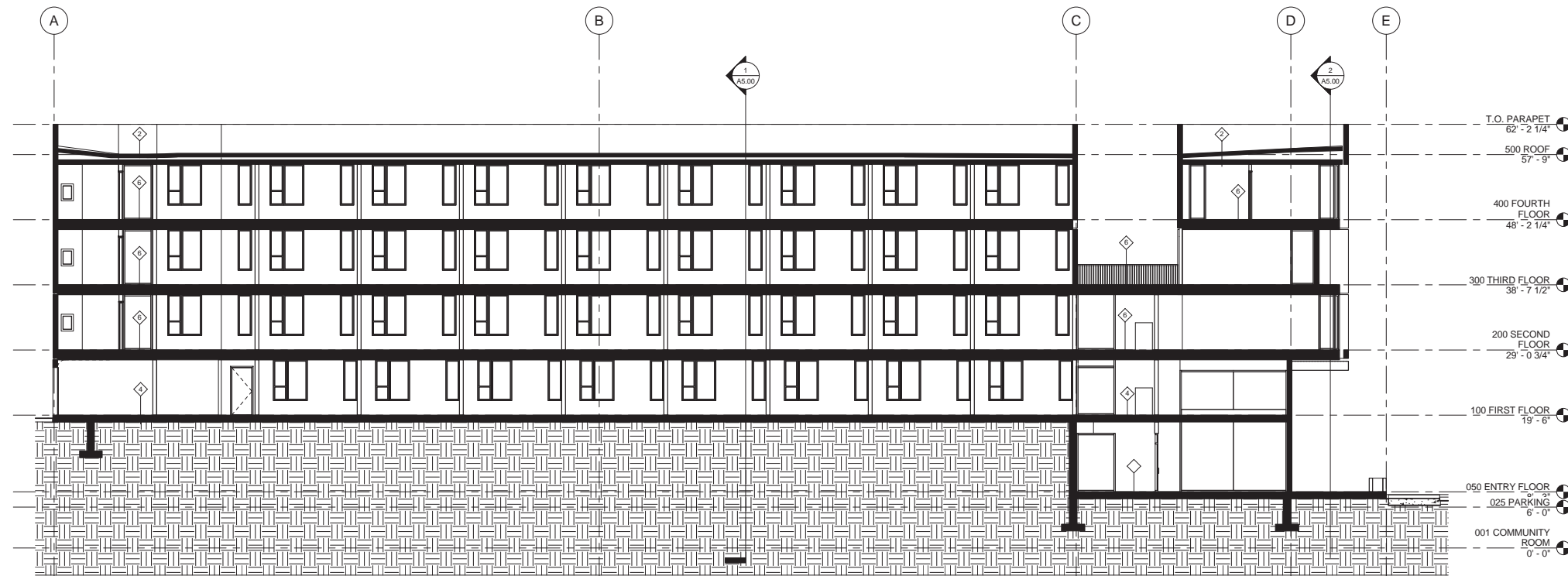
1. FIELD VERIFY DIMENSIONS.
2. DIMENSIONS ARE TO GRID, FACE OF STUD, CONCRETE, CMU, AND CENTERLINE OF PARTY WALLS, COLUMNS, DOORS AND WINDOWS, U.N.O.
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6. MECHANICAL, ELECTRICAL, AND PLUMBING SUBCONTRACTORS TO COMPLY W/ FIRE BLOCKING AND FIRE STOPPING REQUIREMENTS AT ALL PENETRATIONS OF RATED WALL AND FLOOR/CEILING ASSEMBLIES.
7. NOT ALL KEYNOTES OR LEGEND SYMBOLS USED ON EVERY SHEET

KEYNOTES SYMBOL Ⓢ

REVISION NO	DATE



1 NS COMMUNITY ROOM SECTION
1/8" = 1'-0"



2 NS MAIN ENTRY SECTION
1/8" = 1'-0"

ST. FRANCIS PARK APARTMENTS

1136 SE OAK STREET PORTLAND, OR 97214

HUD PROJECT NUMBER:
126-SH005
ISSUANCE
SCHEMATIC DESIGN
DATE
10/21/2014
SCALE
As indicated
PROJECT NUMBER
201414.00
DRAWN BY
Author
DRAWING TITLE

BUILDING SECTIONS

SHEET NUMBER

A5.01

ST. FRANCIS PARK
APARTMENTS

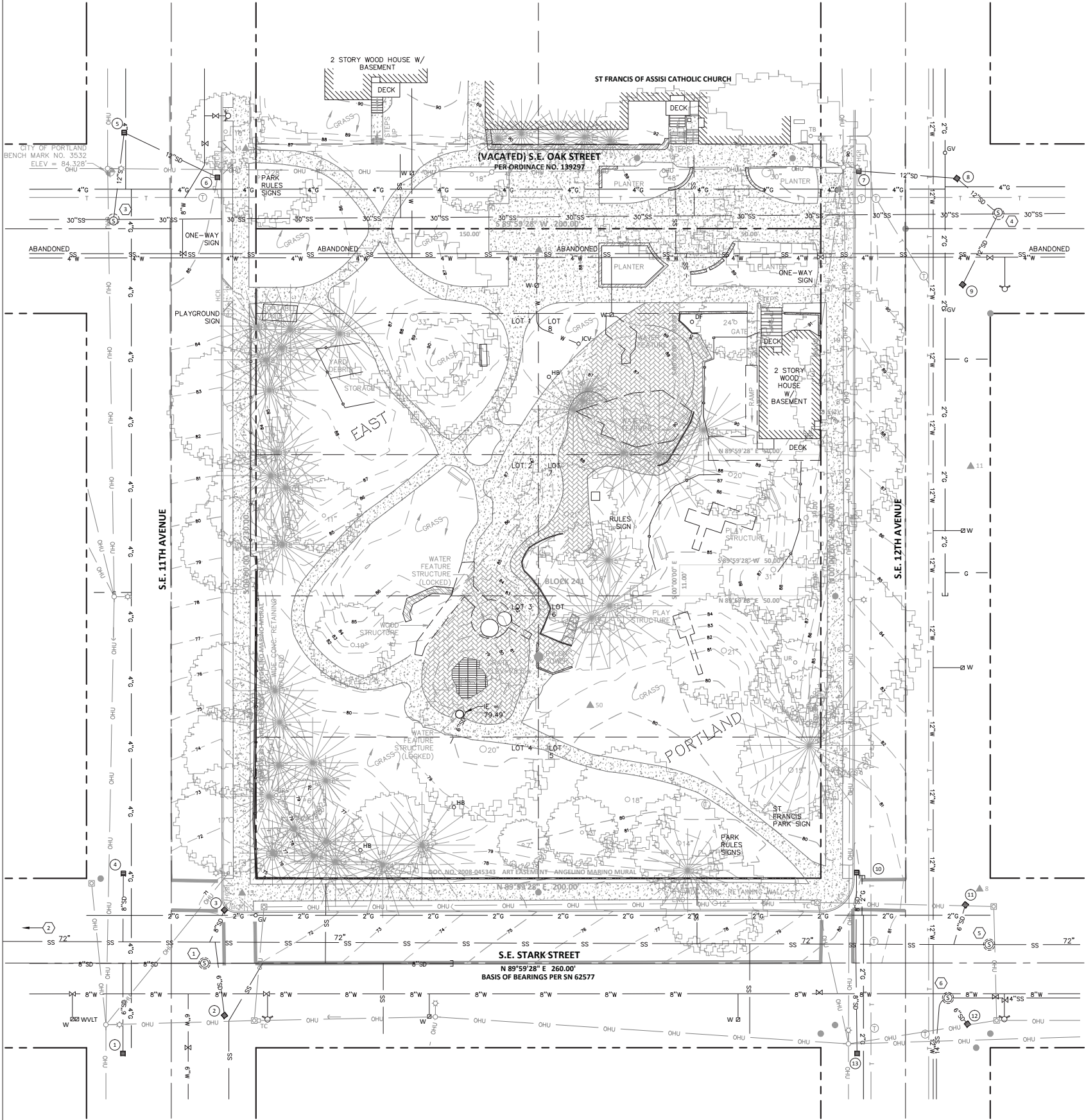
1136 SE OAK STREET
PORTLAND, OR 97214

ISSUANCE
SCHEMATIC DESIGN
DATE
10.24.14
SCALE
1" = 10'
PROJECT NUMBER
201414.00
DRAWN BY

DRAWING TITLE
EXISTING
CONDITIONS

SHEET NUMBER

C1



LEGEND:

	BUILDING OUTLINE WITH DOOR
	WALL
	CONCRETE SURFACE
	ASPHALT SURFACE
	CURB LINE
	EDGE OF ASPHALT
	RIGHT-OF-WAY LINE
	LOT LINE
	PROPERTY LINE
	WOOD FENCE
	ELECTRIC LINE
	TELECOMMUNICATIONS LINE
	STORM LINE
	SANITARY SEWER LINE
	WATER LINE
	GAS LINE
	OVERHEAD UTILITY LINES
	UNDERGROUND LINE PER AS-BUILT
	SIGN
	BENCH
	HANDICAP RAMP
	ELECTRICAL METER
	ELECTRICAL CABINET
	GUY ANCHOR
	LUMINAIRE
	POWER POLE
	POWER POLE/OVERHEAD LIGHT
	OVERHEAD LIGHT
	GAS VALVE
	SANITARY MANHOLE WITH STRUCTURE
	STORM MANHOLE WITH STRUCTURE
	CATCH BASIN
	AREA DRAIN
	SANITARY/STORM CLEAN OUT
	SANITARY/STORM STRUCTURE #
	TELECOMMUNICATIONS MANHOLE
	TELECOMMUNICATIONS BOX
	TRAFFIC SIGNAL POLE
	TRAFFIC CABINET
	WATER VALVE
	FIRE HYDRANT
	WATER METER
	WATER VAULT
	HOSE BIB
	IRRIGATION CONTROL VALVE
	DRINKING FOUNTAIN
	UNKNOWN UTILITY RISER
	TRASH CAN
	DECIDUOUS TREE
	PERIMETER REPRESENTS DRIPLINE
	CONIFEROUS TREE
	PERIMETER REPRESENTS DRIPLINE
	MONUMENT
	PROJECT CONTROL POINT
	BENCHMARK

PROJECT CONTROL:

STATION	DESCRIPTION	NORTHING	EASTING	ELEVATION
8	1-1/8" BRASS CAP "KPFF CONTROL"	9999.30	19487.44	80.84'
11	MAG NAIL W/ WASHER "KPFF CONTROL"	10148.99	19484.30	87.48'
12	MAG NAIL W/ WASHER "KPFF CONTROL"	10247.00	19437.79	89.99'
13	MAG NAIL W/ WASHER "KPFF CONTROL"	10225.53	19331.41	87.66'
14	MAG NAIL W/ WASHER "KPFF CONTROL"	10261.52	19227.58	85.58'
15	MAG NAIL	9997.85	19226.32	71.21'
50	5/8" IR W/ RED PLASTIC CAP "KPFF CONTROL"	10064.31	19349.59	80.37'

NOTES:

- 1) VERTICAL DATUM: CITY OF PORTLAND
BENCHMARK: 2 INCH BRASS DISK AT THE NORTHWEST QUADRANT OF THE INTERSECTION OF SE 11TH AVENUE AND SE OAK STREET
BENCHMARK NO. 3532 ELEVATION = 84.328'
- 2) BASIS OF BEARINGS FOR THIS SURVEY IS THE CENTER LINE OF SE STARK STREET AS NORTH 89°59'28" EAST AS ESTABLISHED FROM FOUND MONUMENTS, PER SURVEY NO. 62577.
- 3) BOUNDARY AND EASEMENTS SHOWN HEREON ARE BASED ON:

PRELIMINARY TITLE REPORT ORDER NO. 20140090769-FTPOR01 BY FIDELITY NATIONAL TITLE COMPANY OF OREGON, EFFECTIVE DATE FEBRUARY 14, 2014

PRELIMINARY TITLE REPORT ORDER NO. 20140090763-FTPOR01 BY FIDELITY NATIONAL TITLE COMPANY OF OREGON, EFFECTIVE DATE FEBRUARY 19, 2014

PRELIMINARY TITLE REPORT ORDER NO. 20140090774-FTPOR01 BY FIDELITY NATIONAL TITLE COMPANY OF OREGON, EFFECTIVE DATE FEBRUARY 19, 2014
- 4) UTILITY LOCATIONS SHOWN ARE PER FIELD LOCATED UTILITY PAINT MARKS & REFERENCE MAPS MADE AVAILABLE BY THE VARIOUS UTILITY PROVIDERS. UNLESS INDICATED, DEPTHS OF UTILITY LINES ARE NOT AVAILABLE. ALL UTILITY LOCATIONS SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.

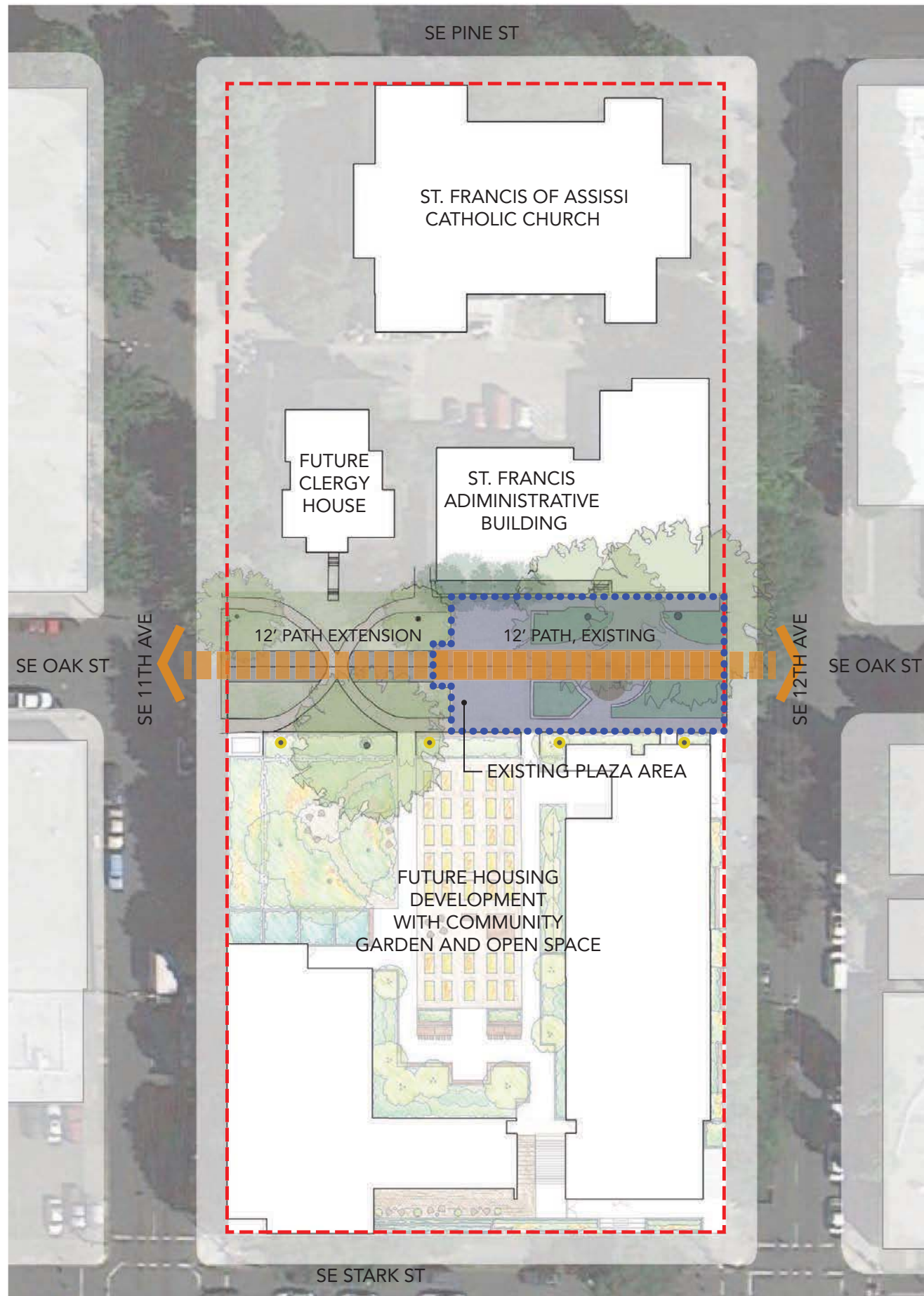
STORM TABLE:

- | | |
|----|---|
| 1 | CATCH BASIN
RIM = 70.27'
IE 6" IN (E) = 68.82'
IE 8" OUT (W) = 59.73' |
| 2 | CATCH BASIN
RIM = 70.84'
IE 6" OUT (N) = 68.64' |
| 3 | CATCH BASIN
RIM = 70.73'
IE 8" OUT (SW) = 67.98' |
| 4 | CATCH BASIN
RIM = 70.15'
IE 8" OUT (S) = 68.65' |
| 5 | CATCH BASIN
RIM = 84.27'
IE 12" IN (SE) = 81.29'
IE 12" OUT (S) = 77.87' |
| 6 | CATCH BASIN
RIM = 85.00'
IE 12" OUT (NW) = 79.80' |
| 7 | CATCH BASIN
RIM = 89.67'
IE 12" OUT (E) = 84.77' |
| 8 | CATCH BASIN
RIM = 90.40'
IE 12 IN (W) = 83.30'
IE 12" OUT (SE) = 82.80' |
| 9 | CATCH BASIN
RIM = 89.66'
IE 12" OUT (NE) = 86.01' |
| 10 | CATCH BASIN
RIM = 79.67'
IE 8" OUT (S) = 77.32' |
| 11 | CATCH BASIN
RIM = 80.34'
IE 6" OUT (S) = 78.49' |
| 12 | CATCH BASIN
RIM = 80.52'
IE 8" OUT (NW) = 78.77' |
| 13 | CATCH BASIN
RIM = 80.43'
IE 8" OUT (N) = 78.63' |

SANITARY TABLE:

- | | |
|---|--|
| 1 | COMBINATION MANHOLE
RIM = 71.73'
IE 8" IN (E) = 59.83'
IE 8" OUT (W) = 59.73' |
| 2 | COMBINATION MANHOLE
RIM = 66.78'
IE 72" IN (E) = 55.40'
IE 72" OUT (W) = 55.35' |
| 3 | COMBINATION MANHOLE
RIM = 84.58'
IE 30" IN (E) = 68.38'
IE 12" IN (N) = 74.58'
IE 30" OUT (W) = 68.28' |
| 4 | COMBINATION MANHOLE
RIM = 90.79'
IE 12" IN (NW) = 81.29'
IE 12" IN (SW) = 80.79'
IE 30" IN (E) = 73.29'
IE 30" OUT (W) = 73.09' |
| 5 | COMBINATION MANHOLE
RIM = 81.28'
IE 72" IN (E) = 65.85'
IE 72" OUT (W) = 65.81' |
| 6 | COMBINATION MANHOLE
RIM = 81.23'
IE 6" IN (SE) = 77.63'
IE 14" IN (E) = 73.43'
IE 14" OUT (SW) = 73.33' |





SUPERBLOCK ANALYSIS:

REQUIRED: At least 5% of total superblock area to be plaza.

Superblock Area: 92,000sf

5% of Superblock Area: 4600sf

Existing Oak St. Plaza Area: 6300sf

REQUIRED: At least 50% of vacated street area within superblock to be walkway, landscaped area, and/or plaza.

Existing Oak St. Percentage: 100%

REQUIRED: Minimum 12' wide, hardsurfaced and accessible walkway.

Existing Oak St. Path: Hardsurfaced walkway exists on east side of SE Oak St. New 12' permeable and accessible walkway to be installed on west side.

REQUIRED: On-site lighting required so space can be used at night.

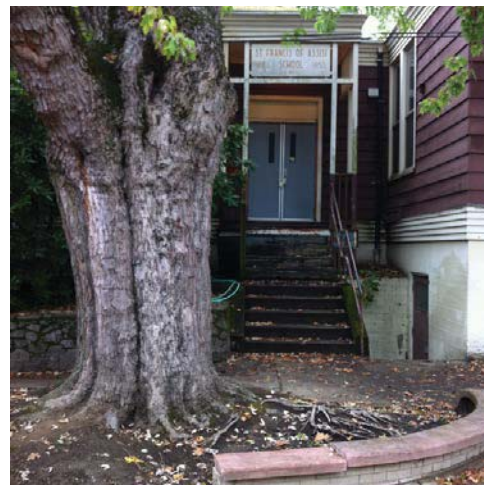
New light poles will be installed on the site of the new housing development, which light SE Oak St.



PARISH BUILDING



ACCESS TO PARISH



LARGE MAPLE AT ENTRANCE



EXISTING CONCRETE



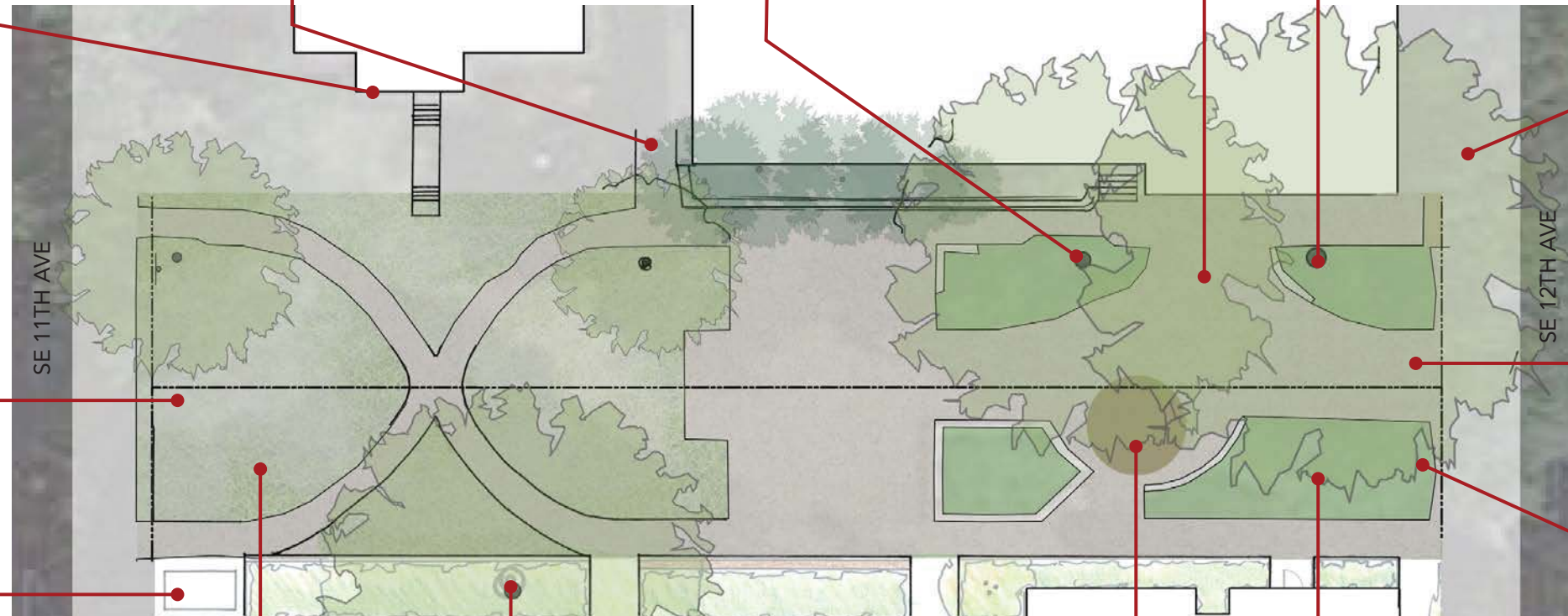
LARGE OAK



UTILITIES



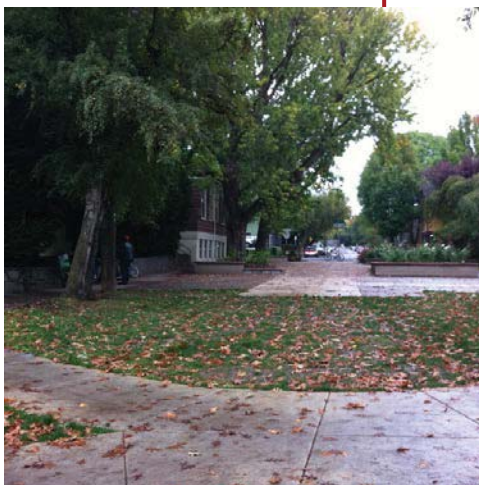
WEST ENTRY



EAST ENTRY



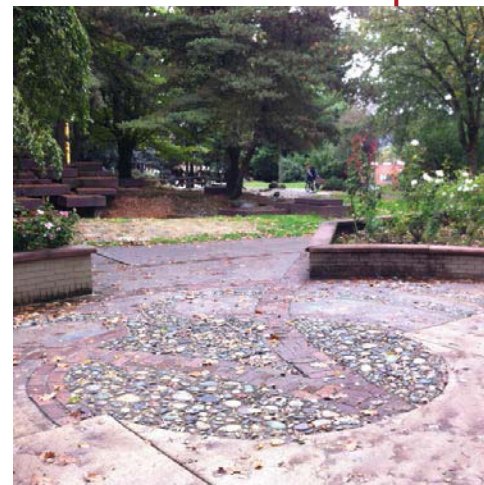
PORTABLE RESTROOMS



GRASS PAVERS



LARGE OAK



MOSAIC



ROSE GARDEN



GARDEN BEDS

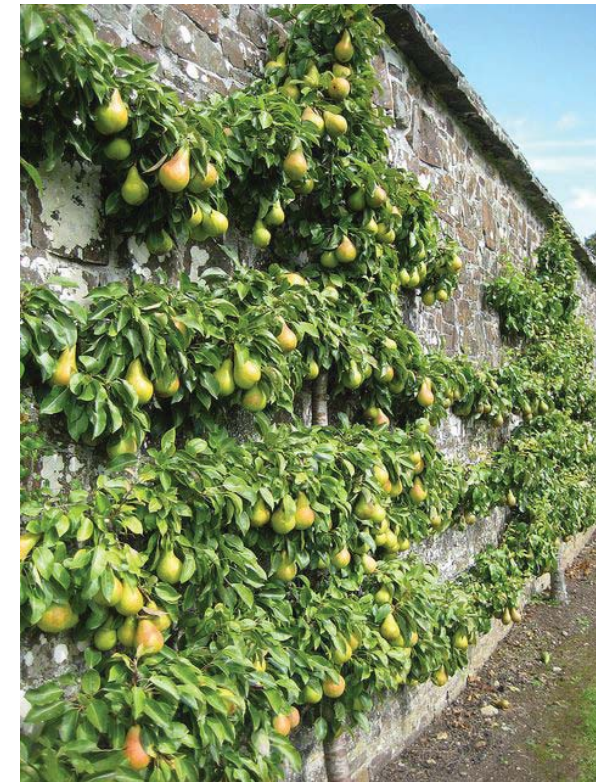
SE OAK ST VACATION - EXISTING CONDITIONS



GARDEN SHED



RAISED BEDS / MOVABLE TABLE AND CHAIRS



ESPALIERED FRUIT TREES



SEATWALL WITH PLANTING



AT-GRADE GARDEN BEDS



GARDEN BEDS WITH SEATING



SEATWALL WITH TABLE

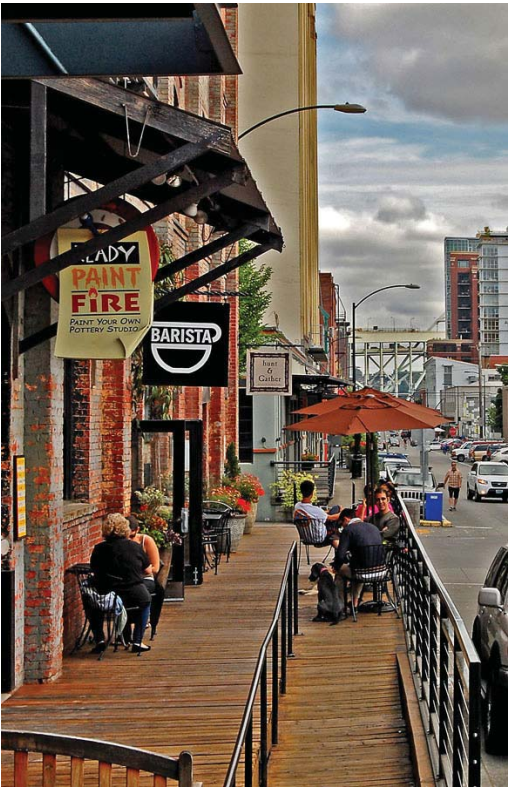
PRECEDENT IMAGES



TERRACED CONCRETE STORMWATER PLANTER



LOOSE FURNITURE IN WOODLAND



WOODEN "PORCH"



CONCRETE STADIUM STEPS

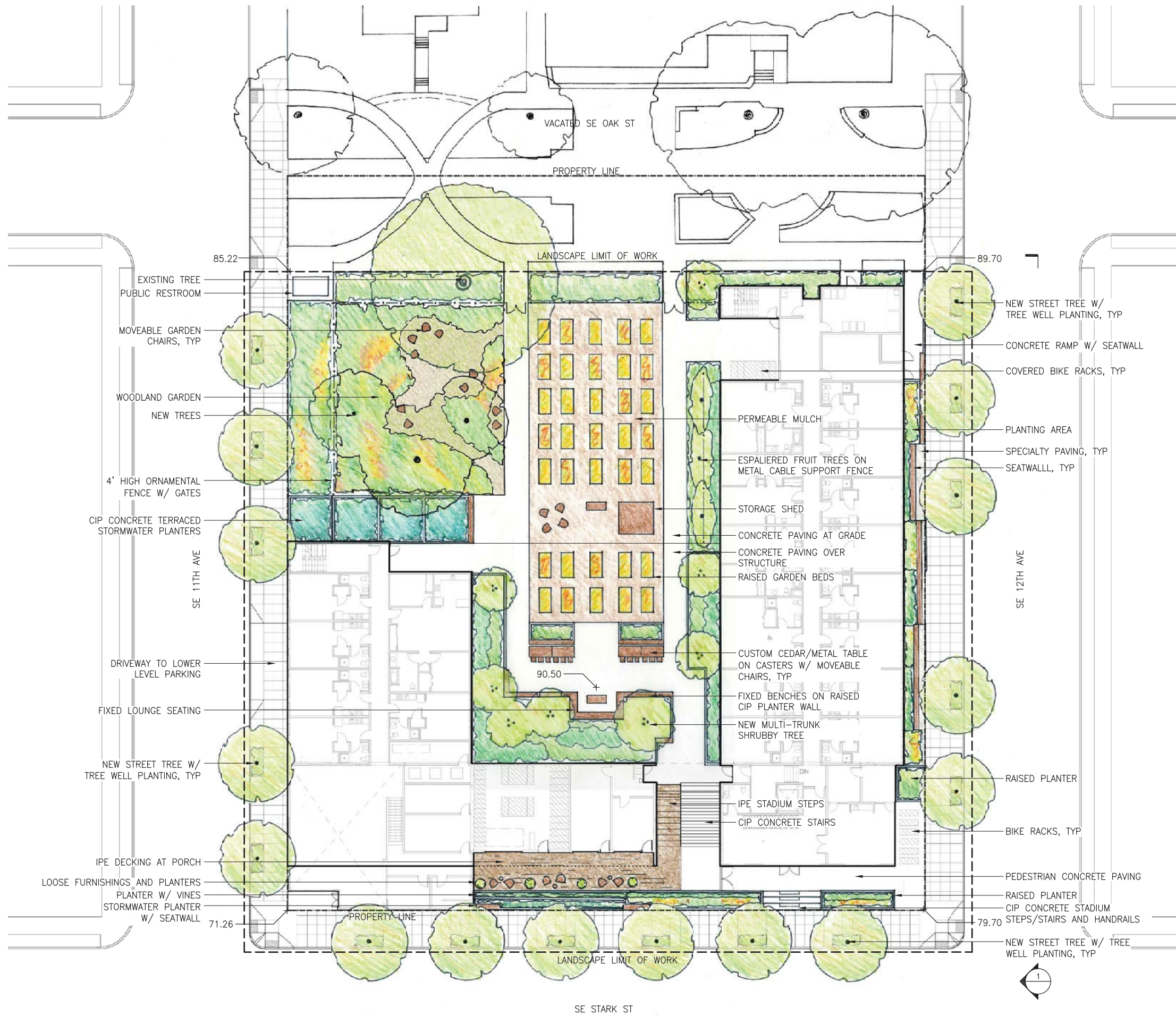


WOODEN STADIUM STEPS

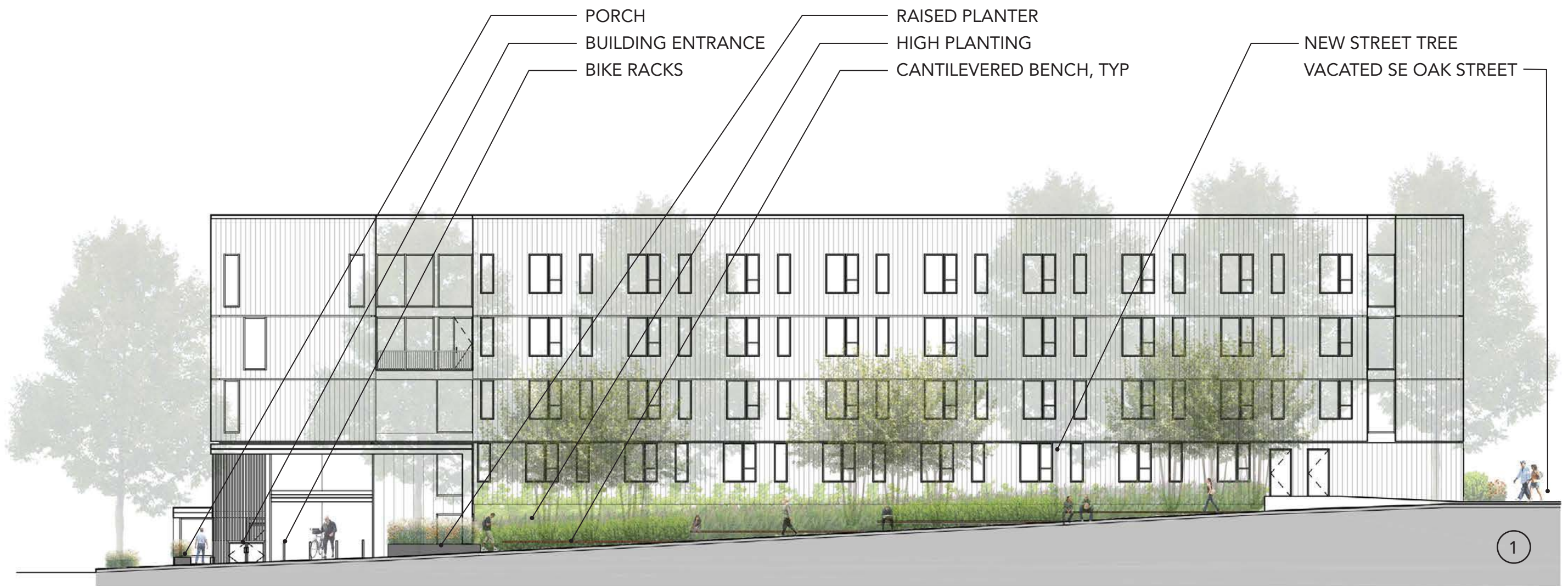


FENCE WITH PLANTING

PRECEDENT IMAGES



LANDSCAPE PLAN



12TH STREET ELEVATION
1/16" = 1'-0"