

BLOCK 8L MIXED-USE

DESIGN REVIEW

LU 14-211555 *(LU 14-190952 PREVIOUS)*



12.01.2014



Ankrom Moisan

GERDING EDLEN

BLOCK 8L MIXED-USE DESIGN REVIEW

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12.01.2014

LU 14-211555

GERDING EDLEN DEVELOPMENT

ANKROM MOISAN ARCHITECTS, INC.

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1882 HISTORICAL ILLUSTRATION OF SITE



NORTHERN PACIFIC RAILROAD AND OREGON RAILWAY AND
NAVIGATION COMPANY'S OFFICES, PORTLAND, OREGON.

DEVELOPER

Gerding Edlen Development

ARCHITECT

Ankrom Moisan Architects, Inc.

GENERAL CONTRACTOR

R&H Construction

CIVIL ENGINEER

MGH Associates

STRUCTURAL

DCI Engineers

LANDSCAPE

Lango Hansen Landscape Architects

12.01.2014
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GERDING EDLEN DEVELOPMENT
ANKROM MOISAN ARCHITECTS, INC.

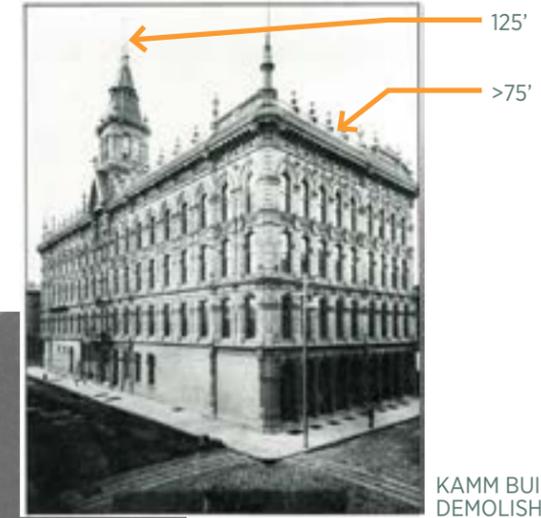
VICINITY MAP

HISTORICAL DISTRICT MAPS

SKIDMORE OLD TOWN NATIONAL LANDMARK DISTRICT



LANDMARK BUILDING HEIGHTS & BUILDING DEVELOPMENT TIMELINE: HISTORIC - PRESENT

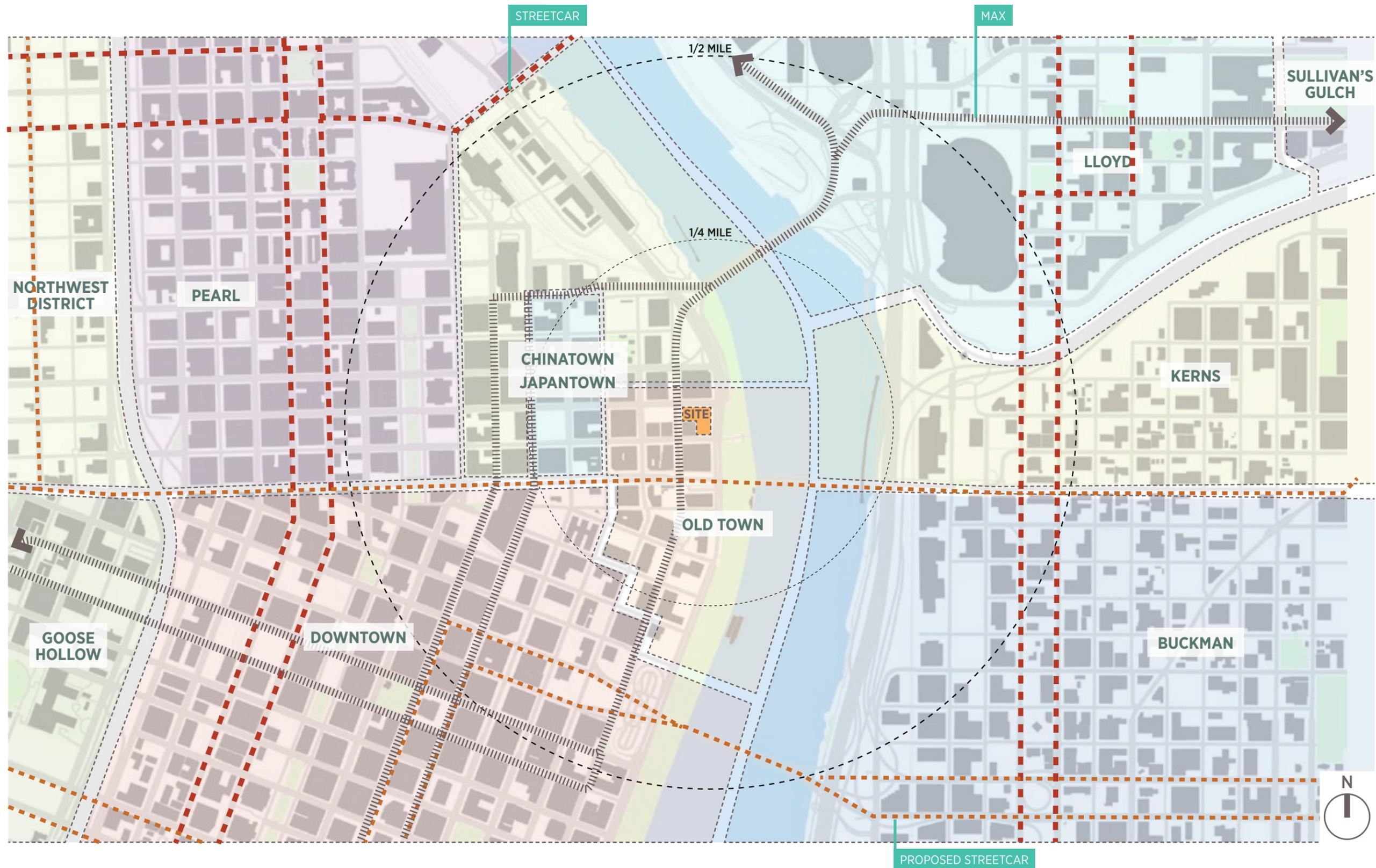


KAMM BUILDING - DEMOLISHED 1948

- BUILDINGS ON NATIONAL REGISTER OF HISTORIC BUILDINGS
- CONTRIBUTING STRUCTURES
- 1970-1990
- 1990-2004
- 2005-PRESENT
- LANDMARK BUILDINGS AS DESIGNATED BY THE CITY OF PORTLAND'S BUREAU OF PLANNING AND SUSTAINABILITY AT WWW.PORTLANDOREGON.GOV
- HIGHEST LANDMARK BUILDING IN THE DISTRICT - NEW MARKET WEST



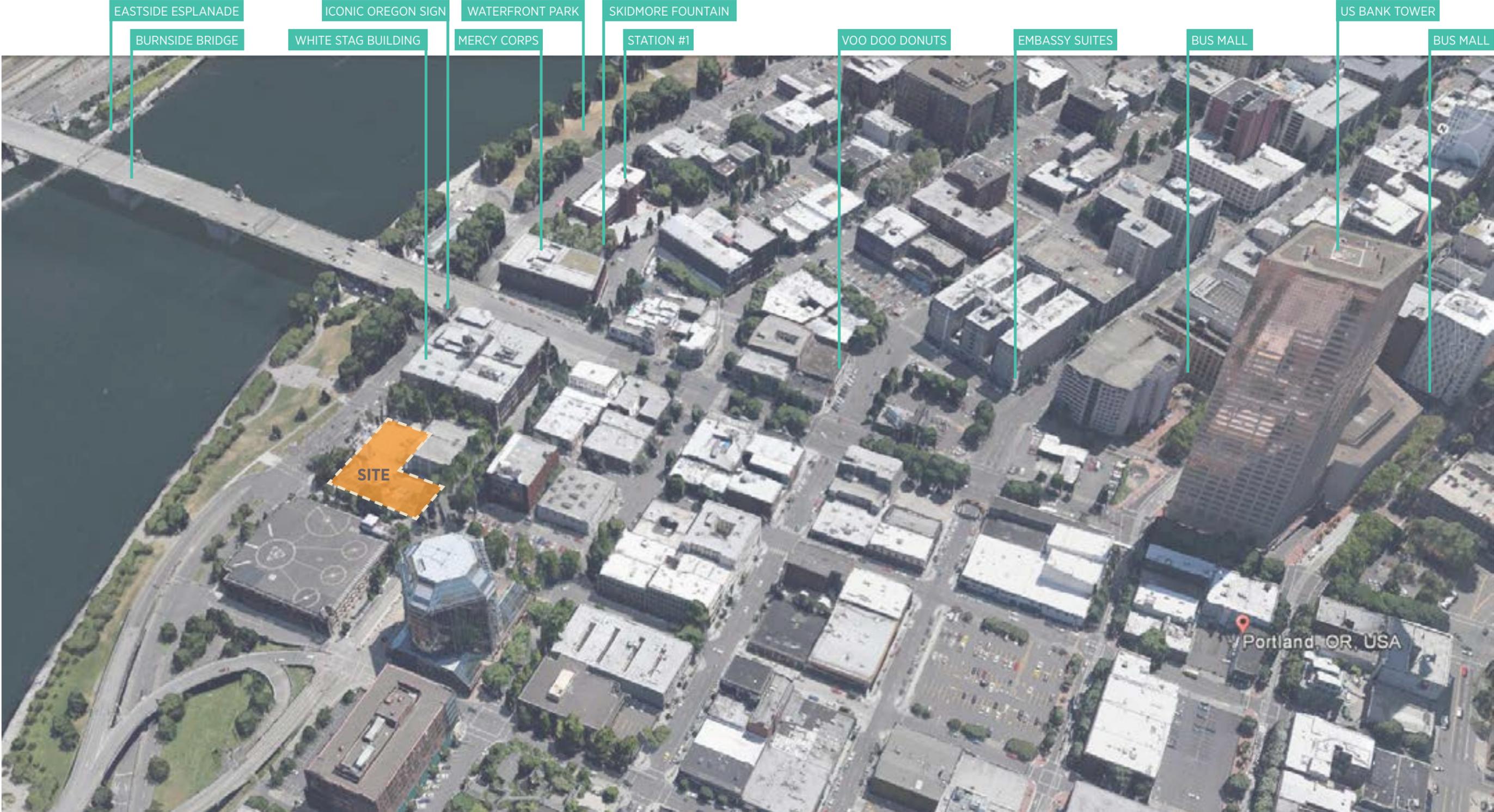
BOUNDARY OF OLD TOWN/SKIDMORE HISTORIC DISTRICT



SITE CONTEXT PHOTOGRAPHS
CITY OVERVIEW FROM NORTH



SITE CONTEXT PHOTOGRAPHS
CITY OVERVIEW FROM SOUTH



PROJECT OVERVIEW / LOCATION

ZONING SUMMARY

PROJECT LOCATION

Project Address:	60 NW Davis St. Portland, OR 97209
Parent Tax Lot #:	R140322 (North half of Block 8), COUCHS ADD, BLOCK 8, LOT 5&8, 6&7 EXC PT IN ST
Child 1 Tax Lot #:	R644284 (middle lot, SW corner of Block 8), COUCHS ADD, BLOCK 8, LOT 4 TL 202
Child 2 Tax Lot #:	R644201 (corner lot, SW corner of Block 8), COUCHS ADD, BLOCK 8, LOT 1 TL 201

PROPERTY INFORMATION

Lot Size:	29,100 sq. ft.
Building Footprint:	19,900 sq. ft.
Building GSF:	119,708 sq. ft.
Base Zone:	CX (Central Commercial)
Overlay:	d (Design)
Plan District:	Central City
Sub-District:	River District
Urban Renewal Area:	Downtown Waterfront
Historic:	Skidmore/Old Town

BASE ZONE DEVELOPMENT STANDARDS

FAR:	4:1		
Max Coverage:	No limit		
Max Height:	75 ft.		
Setbacks:	NW Naito Pkwy	0 min.	0 max.
	NW Couch St	0 min.	0 max.
	NW Davis St	0 min.	0 max.
	NW First Ave	0 min.	10 ft. max.
	Rear	11 ft. & 16 ft. min.*	0 max.

**Per easement agreement with adjacent property easement is for light, air, and access*

Min. Landscape Area:	None
Ground Floor Window Standards:	Yes
Pedestrian Requirements:	Yes

PARKING AND LOADING REGULATIONS

Distance to Transit Stop:	144 ft. from middle of block on Davis Street Old Town/Chinatown MAX Station
Loading Requirements:	(2) loading spaces – Standard A (1 provided on site)
Parking Min:	None
Bike Parking:	SEE C.68

PROJECT DESIGN DEVELOPMENT HISTORY
FOCUSED TOPICS OF CHANGE FROM DESIGN REVIEW #01



SITING

- The building has increased in width into the pedestrian alley.
- A change in the stormwater and landscape design in the alley space in response to this increase.
- Loading is being maintained on site.
- The grove continues to be designed and worked through with BES and PBOT with promising progress.
- The sixth level steps back 8'-6" from the fifth on all sides.

BUILDING MATERIALS

- There is no Hardi in the project. Level 6 is stucco.
- Stucco has been removed from the ground floor.
- Metal panel at the entry bays.

WINDOWS

- Change in level 6 units allowing the window configuration to align with the level 5 windows.
- The level 5 brick insets have been replaced with windows.
- The ground floor fiberglass windows have been detailed to give a strong "layering" and "stepping" effect.

SIGNAGE

- The corner sign has been redesigned.
- The marquee sign lighting has changed.

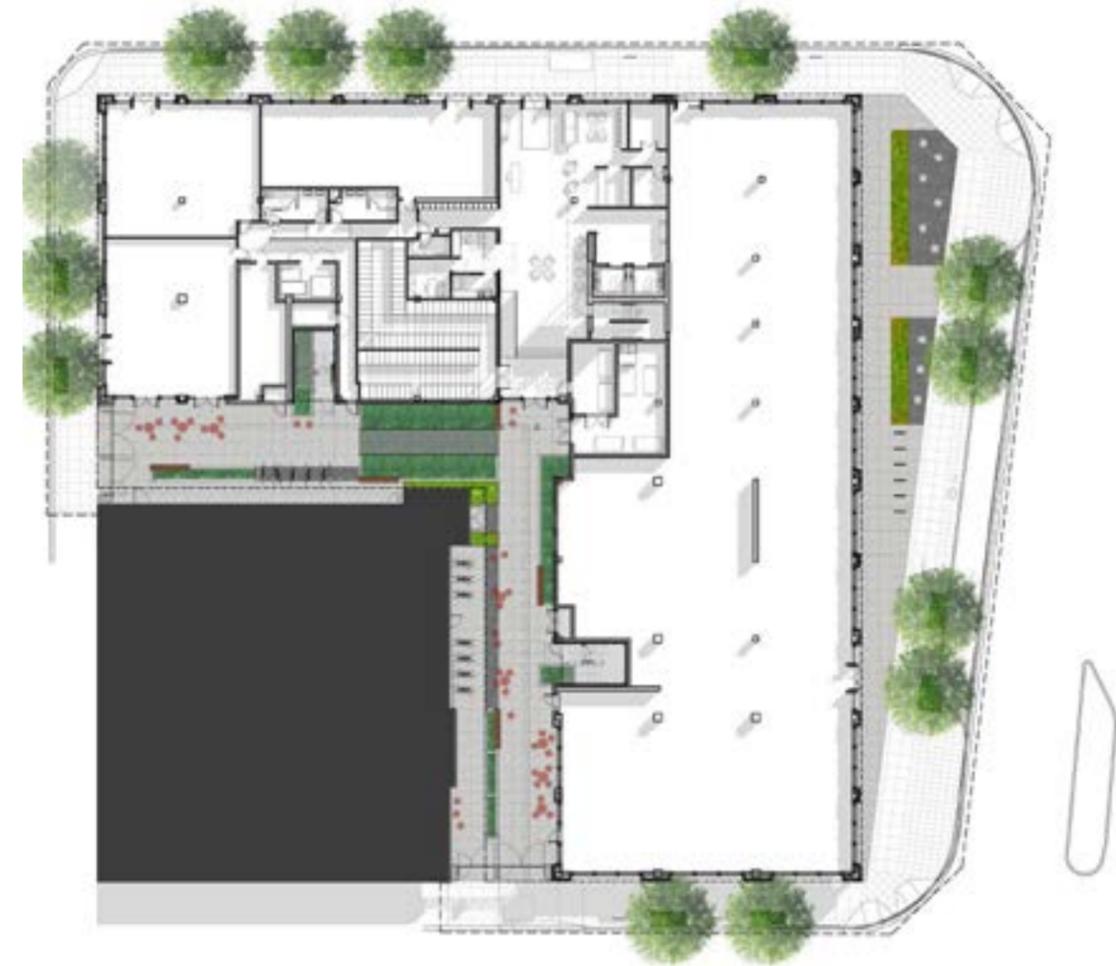
PROJECT DESIGN DEVELOPMENT HISTORY

SITING

Design Review
Submission 1



Design Review
Submission 3



KEY ELEMENTS OF CHANGE

Design Changes

- The building has extended in width at the alley by 4 feet.
- The sixth level sets back 8'-6" from the fifth level on all sides.
- The stormwater planters on Naito have been removed and their removal has been approved in conversations with BES.
- The grove is in the process of being detailed in conjunction with BES and Water. There is preliminary buy off on the concept from both agencies.
- The cobblestone "threshold" has been removed at the entry to the pedestrian alley.
- There continues to be one on site loading space. PBOT, PGE and the design team are actively working through the details of this, but have a good faith agreement that this will work for all parties.

Design Review
Submission 1



Design Review
Submission 3



KEY ELEMENTS OF CHANGE

Design Changes

- Level six has a stucco skin. This will match the color of the brick.
- The wood at the underside of the entry canopies is Doug Fir harvested from Oregon.
- A dark metal panel has been specified at the entry bays where stucco was in DR #01.
- There is no stucco at the ground floor. The typical ground floor bay is a combination of brick, heavy gauge formed metal, concrete, and fiberglass.
- The eco-roof has been reallocated to cover the eastern bar of the building and is no longer in various locations.

PROJECT DESIGN DEVELOPMENT HISTORY

WINDOWS

Design Review
Submission 1



Design Review
Submission 3



KEY ELEMENTS OF CHANGE

Design Changes

- There is a direct alignment of windows from the fifth to the sixth floor.
- All windows on levels 2-6 have a heavy gauge metal sill.
- Windows have replaced where there were brick insets on both the west and south ends of the building at level 5.
- The fiberglass storefront windows at the ground floor have been designed with various trim pieces and "stepping" of materials to get a layered, recessing effect.

Design Review
Submission 1



Design Review
Submission 3



KEY ELEMENTS OF CHANGE

Design Changes

- The corner blade sign has been redesigned to fit in with the feel already established by the standard retail blade sign.
- The marquee sign lighting has been minimized.
- The marquee signs are painted - a condition that these will stay as painted if/when changes occur will be met.

CONCEPT

RENDERING / AERIAL VIEW LOOKING SOUTHWEST





CONCEPT

RENDERING / NW DAVIS AND NW NAITO PARKWAY





CONCEPT

RENDERING / UNIVERSITY OF OREGON MAIN ENTRY ALONG NAITO





CONCEPT

RENDERING / OFFICE & RESIDENTIAL MAIN ENTRY ALONG DAVIS





CONCEPT

RENDERING / VIEW TO BUILDING FROM MAX STATION





CONCEPT

RENDERING / PEDESTRIAN ALLEY ENTRY ALONG 1ST (OPEN)





CONCEPT

RENDERING / PEDESTRIAN ALLEY ENTRY ALONG COUCH (OPEN)





CONCEPT

RENDERING / PEDESTRIAN ALLEY LOOKING NORTH FROM COUCH





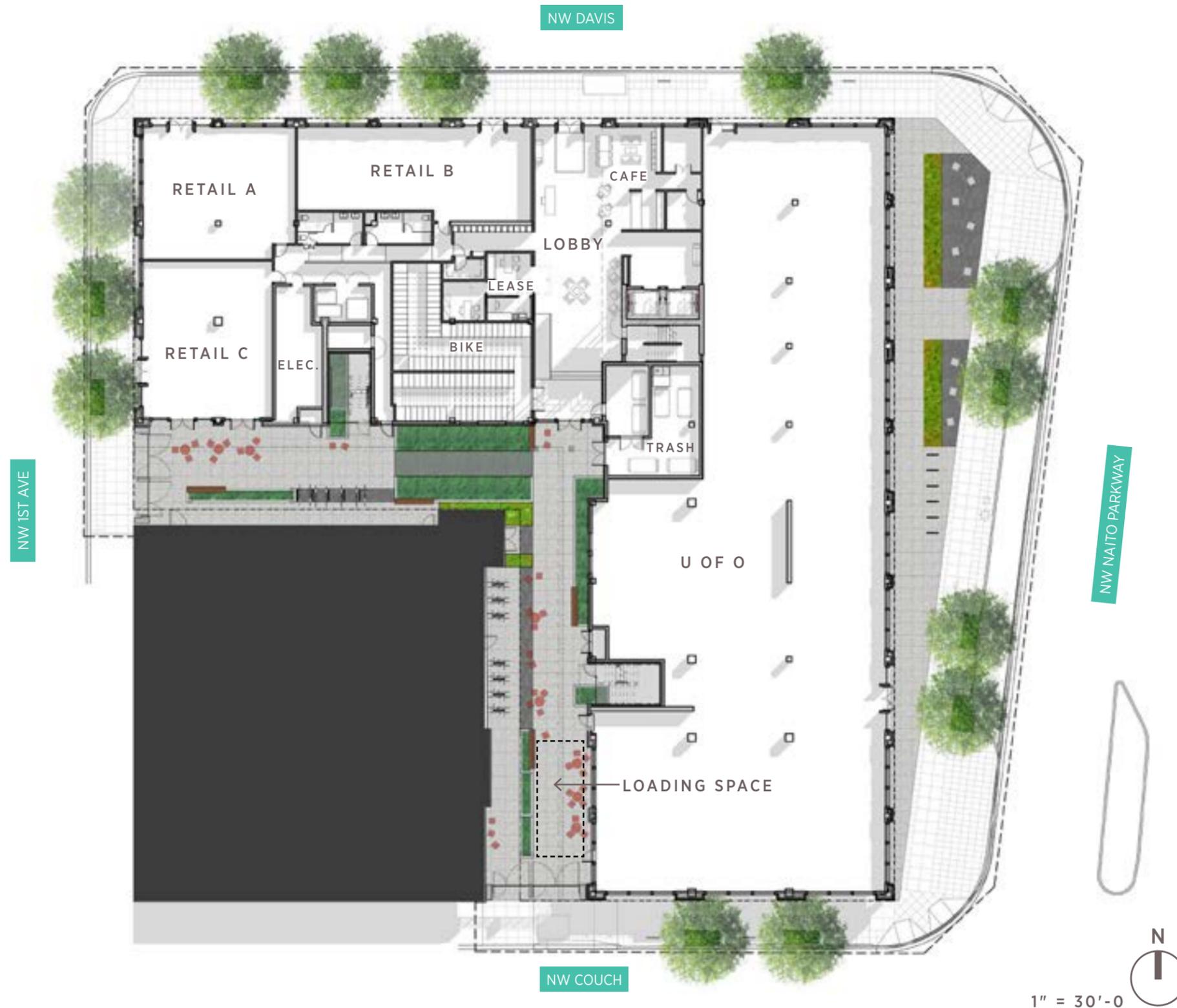
CONCEPT

RENDERING / TYPICAL PUNCHED OPENING





CONCEPT
GROUND FLOOR PLAN



SITE DESCRIPTION

Located in the heart of the historic Old town/Chinatown neighborhood, the site has a rich history. The original building on the site was built in the late 1800s as the headquarters for the Northern Pacific Railroad and Oregon Railway and Navigation Company. The original cast iron building was demolished in the 1930's, and the site is now currently being used as a surface parking lot. This three-quarter block site of Block 8 has been the focus of many studies in the past ten years. The project proposes a vibrant, healthy, sustainable, mixed-use community

that will contain ground floor active use including the flexibility for a dining establishment, three floors of office, and two floors of workforce housing. The housing will consist of approximately 65 units of workforce housing averaging 440 net square feet per unit. The office is designed to attract creative professionals, by creating a flexible, dynamic office space. In addition to a building lobby and support spaces, a pedestrian alley is proposed to activate the ground floor uses.

CENTRAL CITY PLAN DISTRICT
DEVELOPMENT STANDARDS: CHAPTER 33.510

33.510.200 FLOOR AREA RATIO

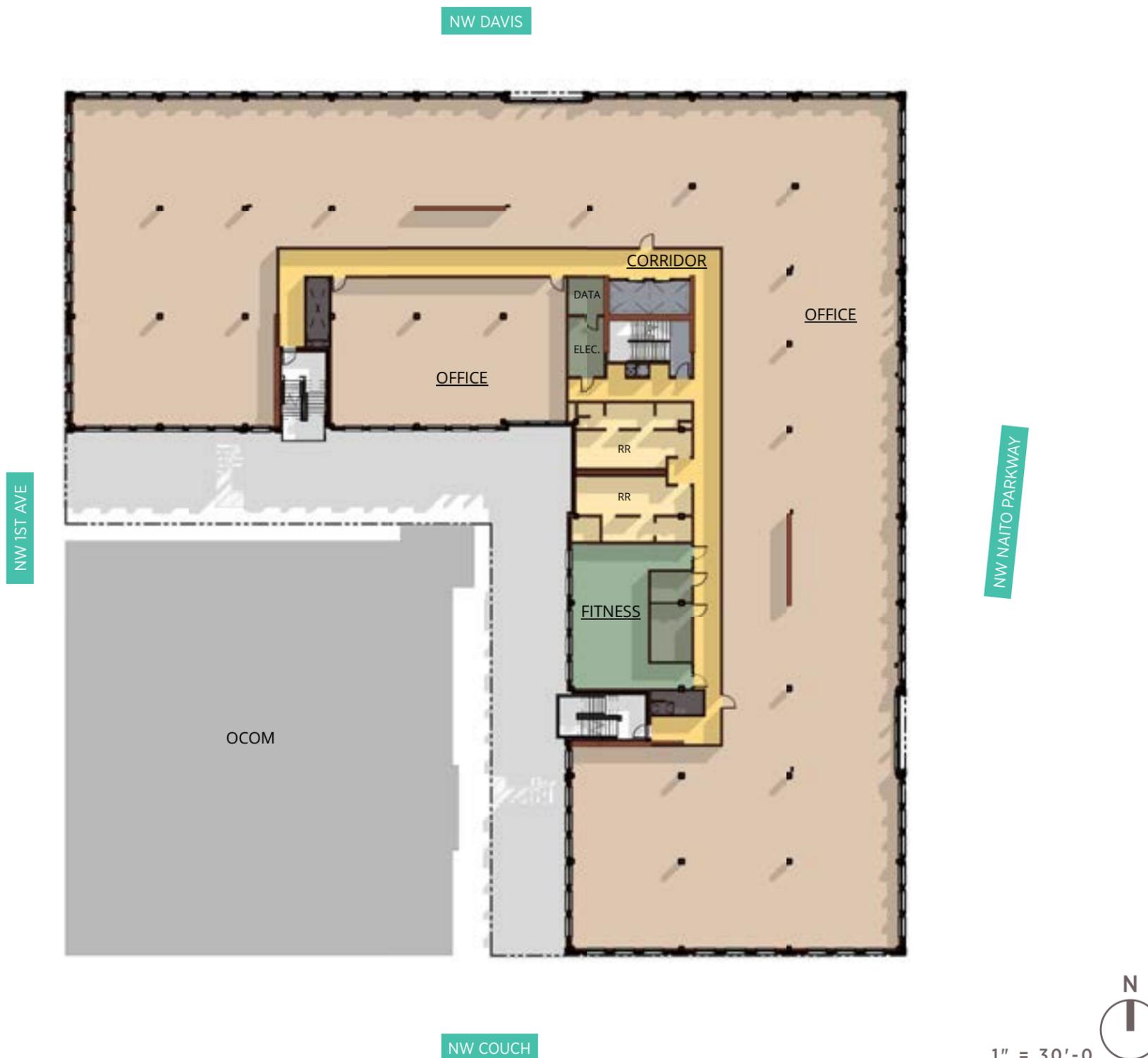
- **Map 510-2 indicates a Maximum FAR of 4:1**
- **33.510.210.C1.2 Residential Bonus Option:** For each square foot of floor area developed and committed as housing, a bonus of 1 square foot of additional floor area is earned, up to an additional floor area ratio of 2:1.

PROPOSED

Site area = 29,100 sf
 Maximum FAR of 4:1 = 116,400 sf
 With residential bonus option of FAR 2:1 add 58,200 sf
 Resulting in available FAR of 6:1 = 174,600 sf
 Proposed building area = 141,138 sf < 174,600 sf available

CONCEPT

LEVEL 02 FLOOR PLAN



SITE AREA	29,100 sf
FAR OF 4:1	116,400 sf
WITH RESIDENTIAL BONUS OPTION OF FAR 2:1 ADD	58,200 sf
RESULTING IN AVAILABLE FAR OF 6:1	174,600 sf

FLOORS 1-4	
GROUND FLOOR	24,723 sf
SECOND FLOOR	24,723 sf
THIRD FLOOR	24,723 sf
FOURTH FLOOR	24,723 sf
TOTAL FLOORS 1-4	97,848 sf

RESIDENTIAL FLOORS	
FIFTH FLOOR	24,375 sf
SIXTH FLOOR	18,915 sf
TOTAL RESIDENTIAL FLOORS 5-6	43,290 sf

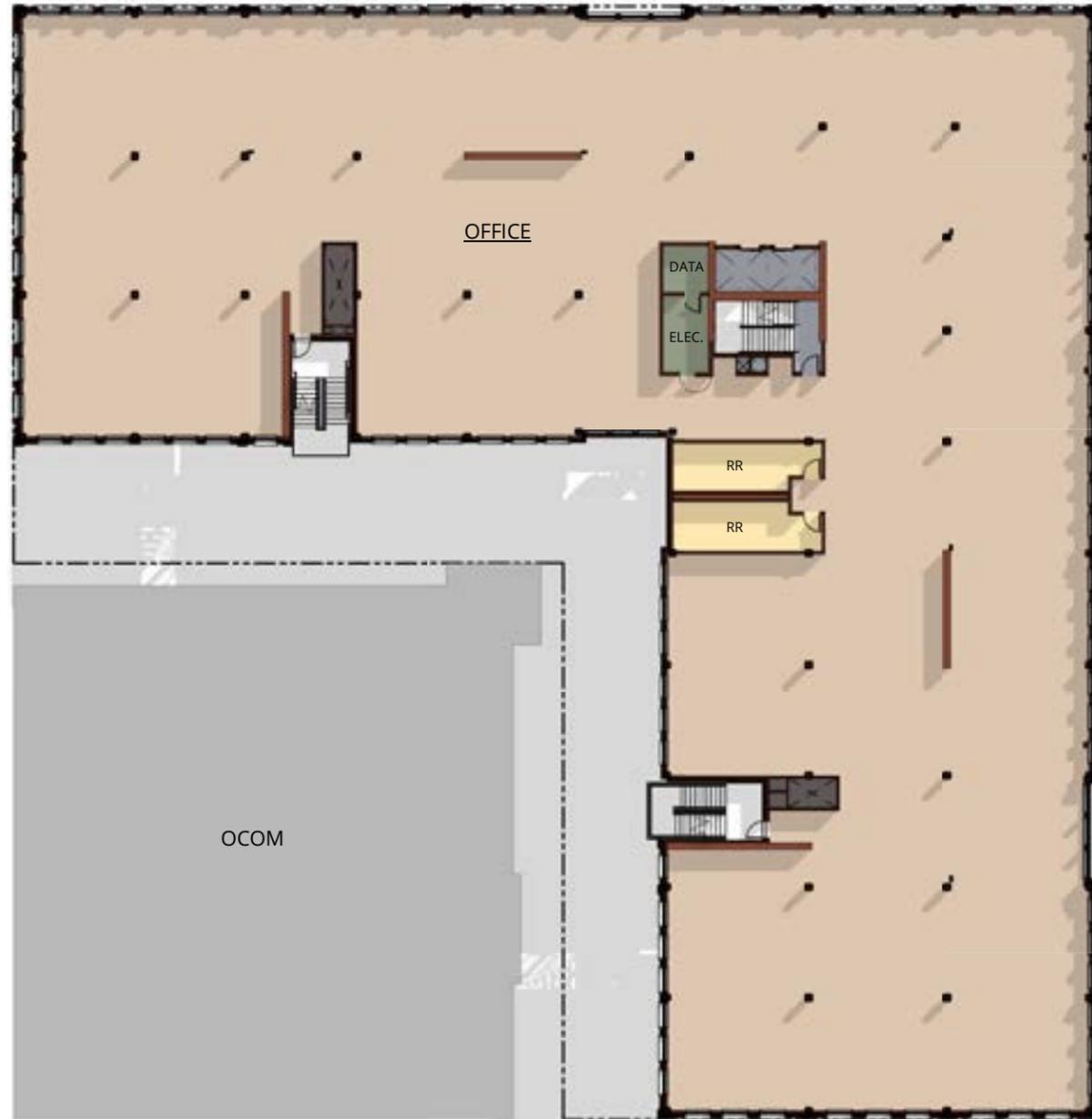
TOTAL	141,138 sf
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PROPOSED BUILDING AREA = 141,138 sf < 174,600 sf AVAILABLE

CONCEPT

LEVELS 03-04 FLOOR PLAN

NW DAVIS



NW NAITO PARKWAY

NW 1ST AVE

NW COUCH



CONCEPT
LEVEL 05 FLOOR PLAN

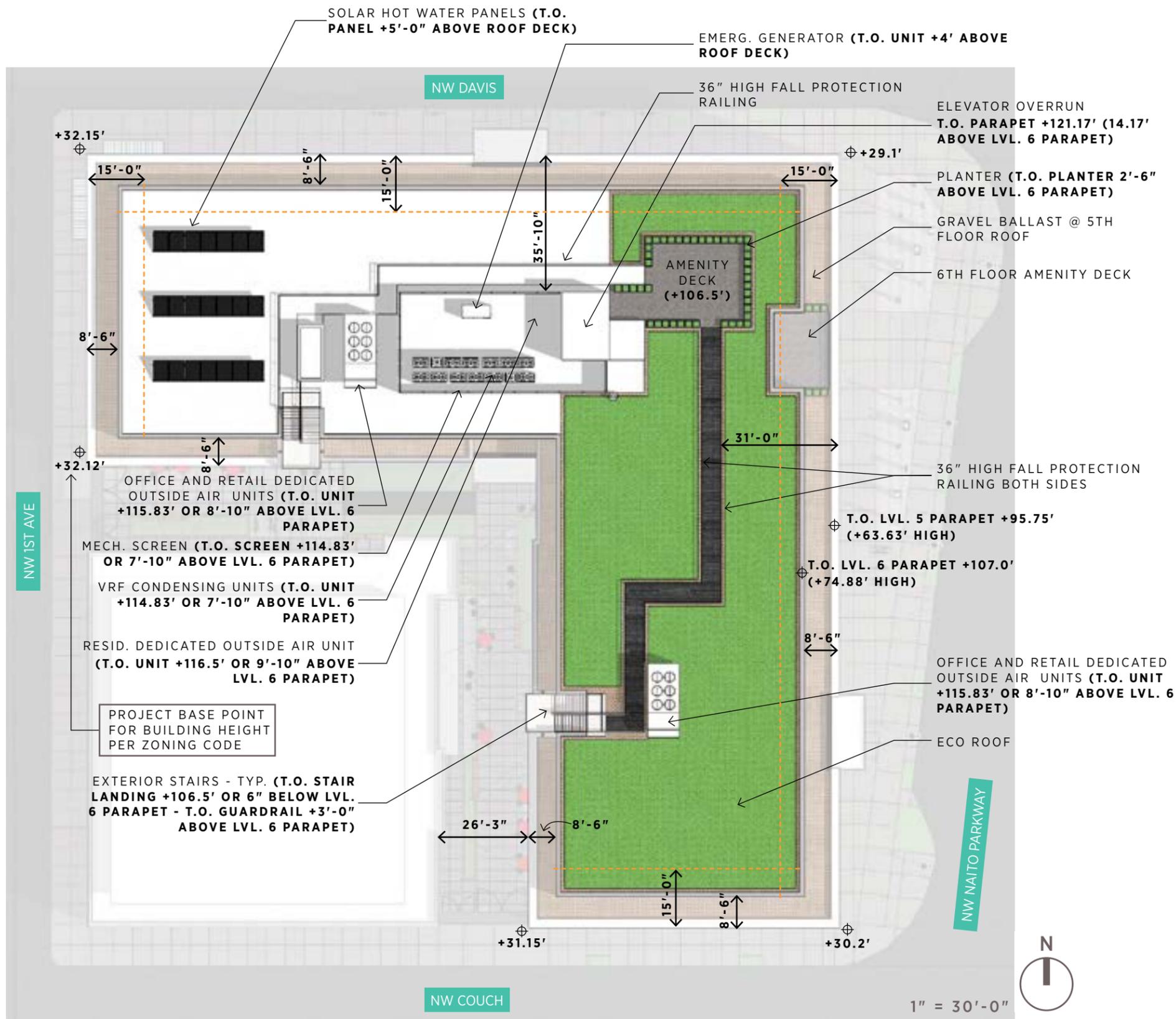


CONCEPT

LEVEL 06 FLOOR PLAN



**CONCEPT
ROOF PLAN**



GROSS ROOF AREA (6TH FLOOR ROOF ONLY)	17,007 sf
ALLOWABLE MECHANICAL AREA (10% OF ROOF)	1,701 sf
TOTAL AREA OF MECH. UNITS + SCREENED AREAS	1,648 sf*
% OF GROSS ROOF AREA	9.6%

* this includes the area of a potential future restaurant tenant kitchen MUA unit.

TITLE 33 COMMERCIAL ZONES CHAPTER 33.130

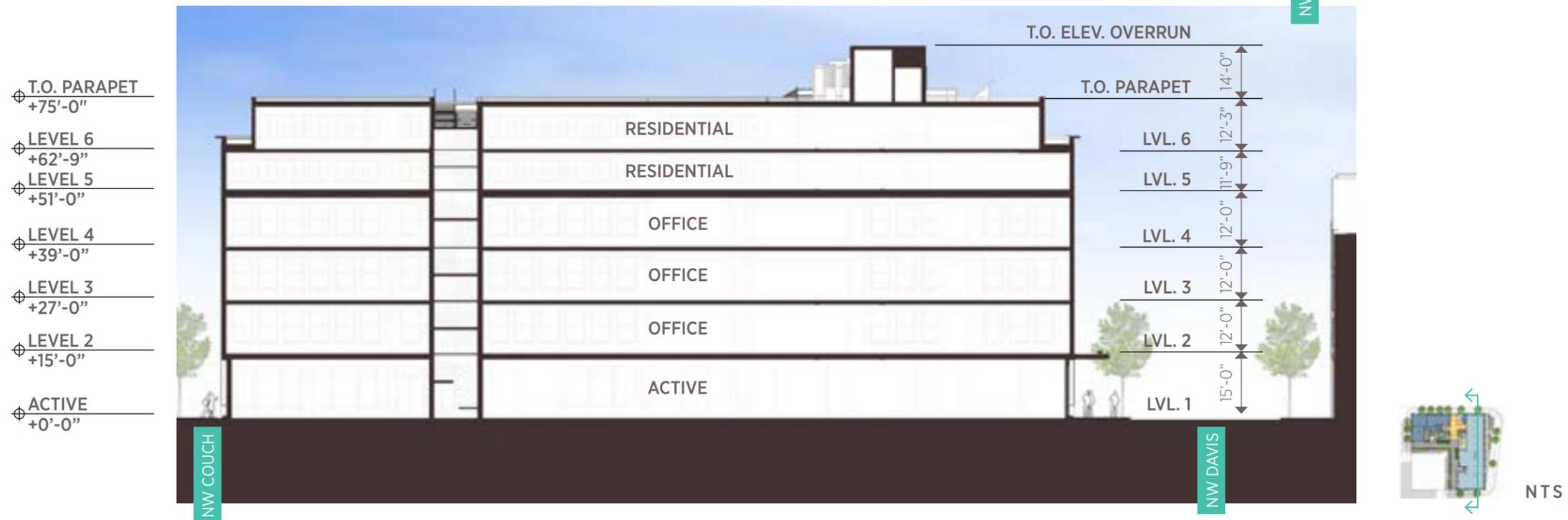
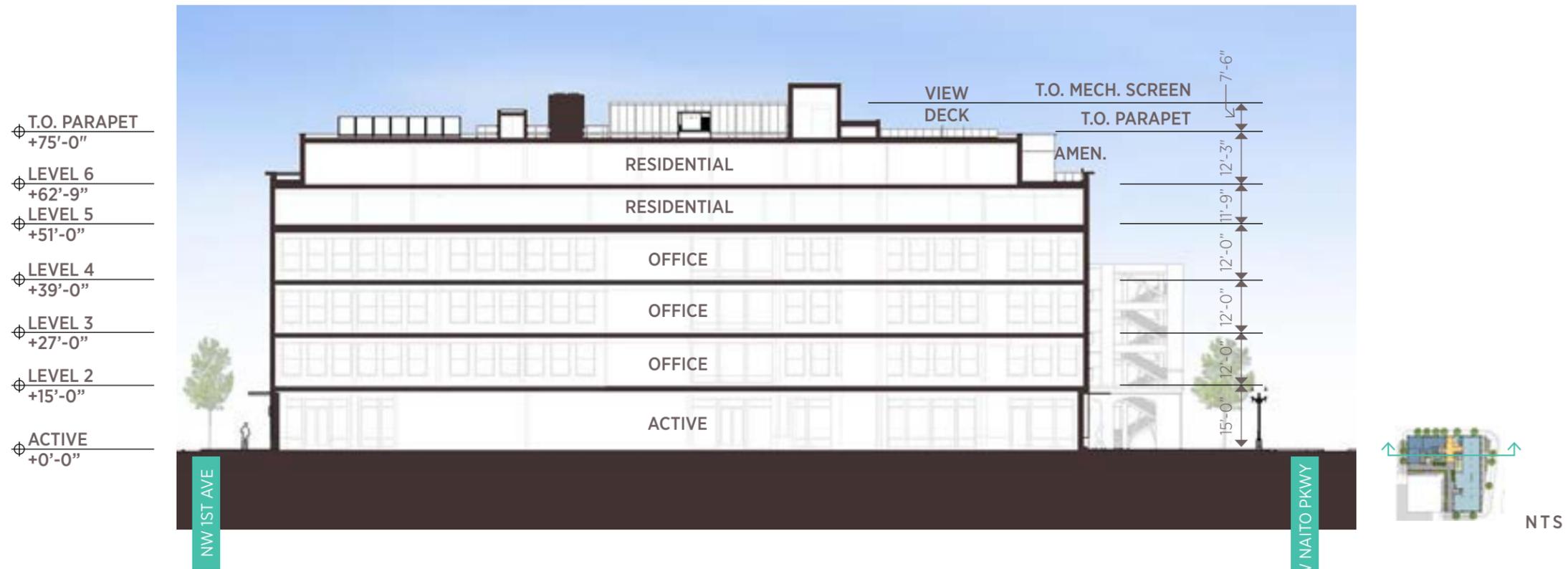
33.130.210B HEIGHT STANDARD

1. Projections allowed. Chimneys, flag poles, satellite receiving dishes, and other items similar with a width, depth, or diameter of 5 feet or less may rise 10 feet above the height limit, or 5 feet above the highest point of the roof, whichever is greater. If they are greater than 5 feet in width, depth, or diameter, they are subject to the height limit.

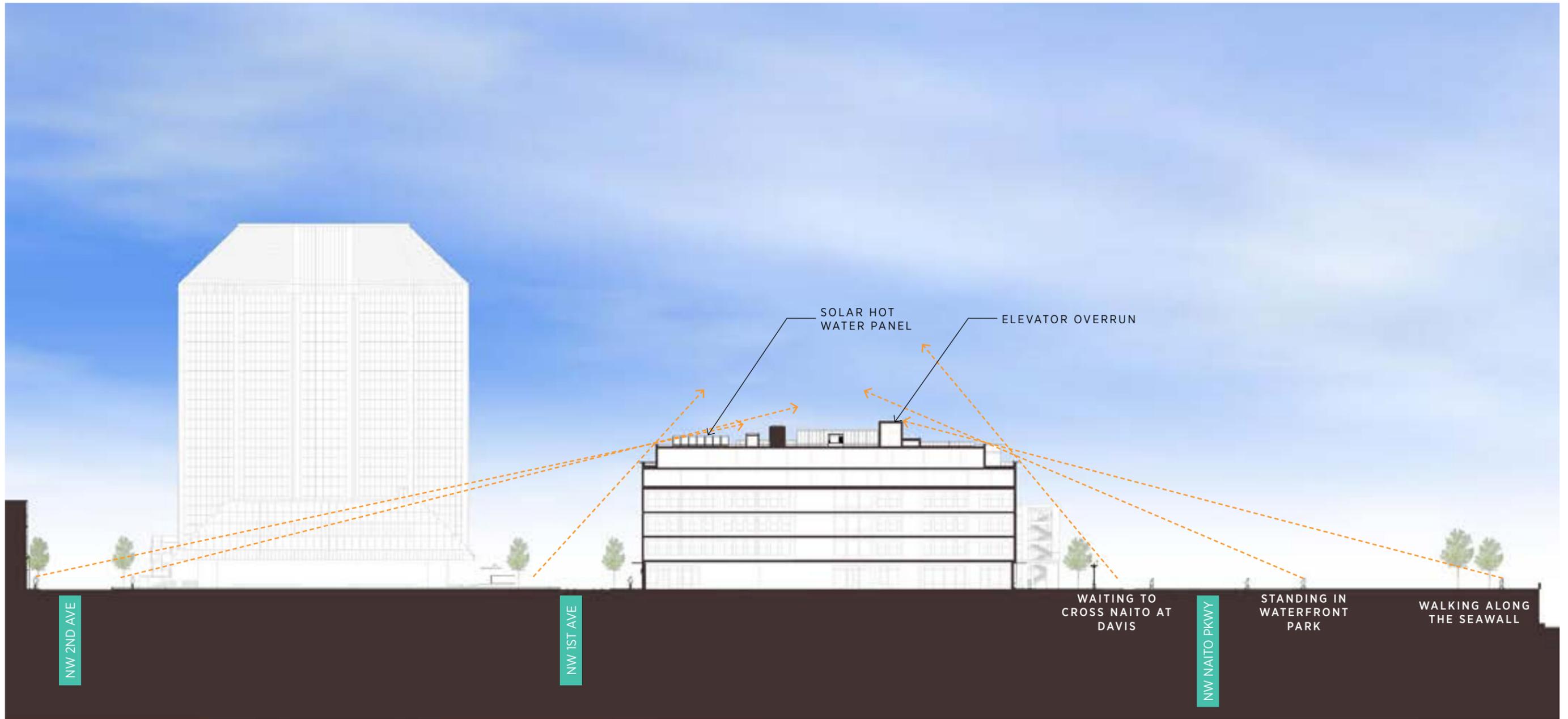
2. Roof top access and mechanical equipment. All rooftop mechanical equipment and enclosures of stairwells that provide rooftop access must be set back at least 15 feet from all roof edges that are parallel to street lot lines. Rooftop elevator mechanical equipment may extend up to 16 feet above the height limit. Stairwell enclosures, and other rooftop mechanical equipment which cumulatively covers no more than 10 percent of the roof area may extend 10 feet above the height limit.

CONCEPT

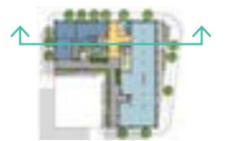
BUILDING SECTIONS



BUILDING SECTION - EAST/WEST - VIEW ANGLES

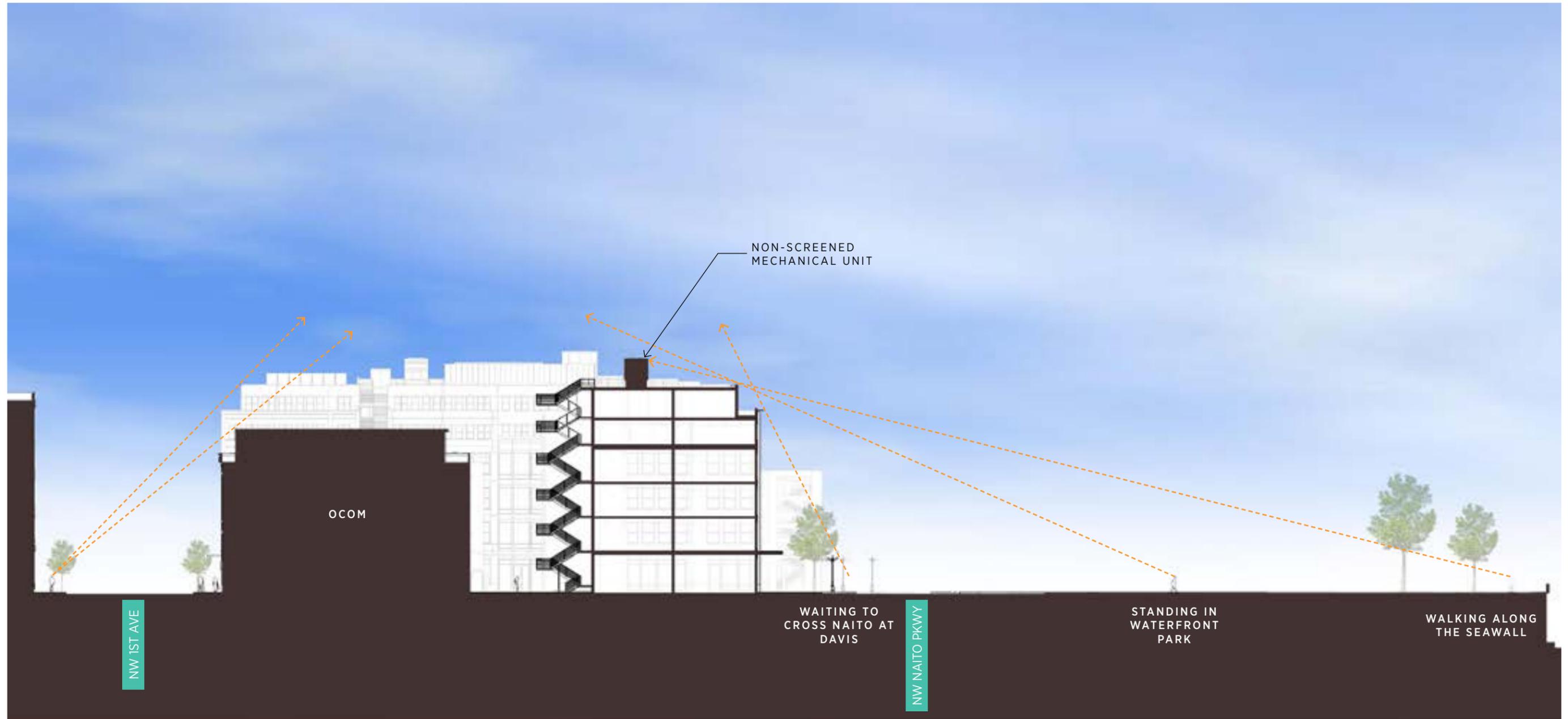


NTS



CONCEPT

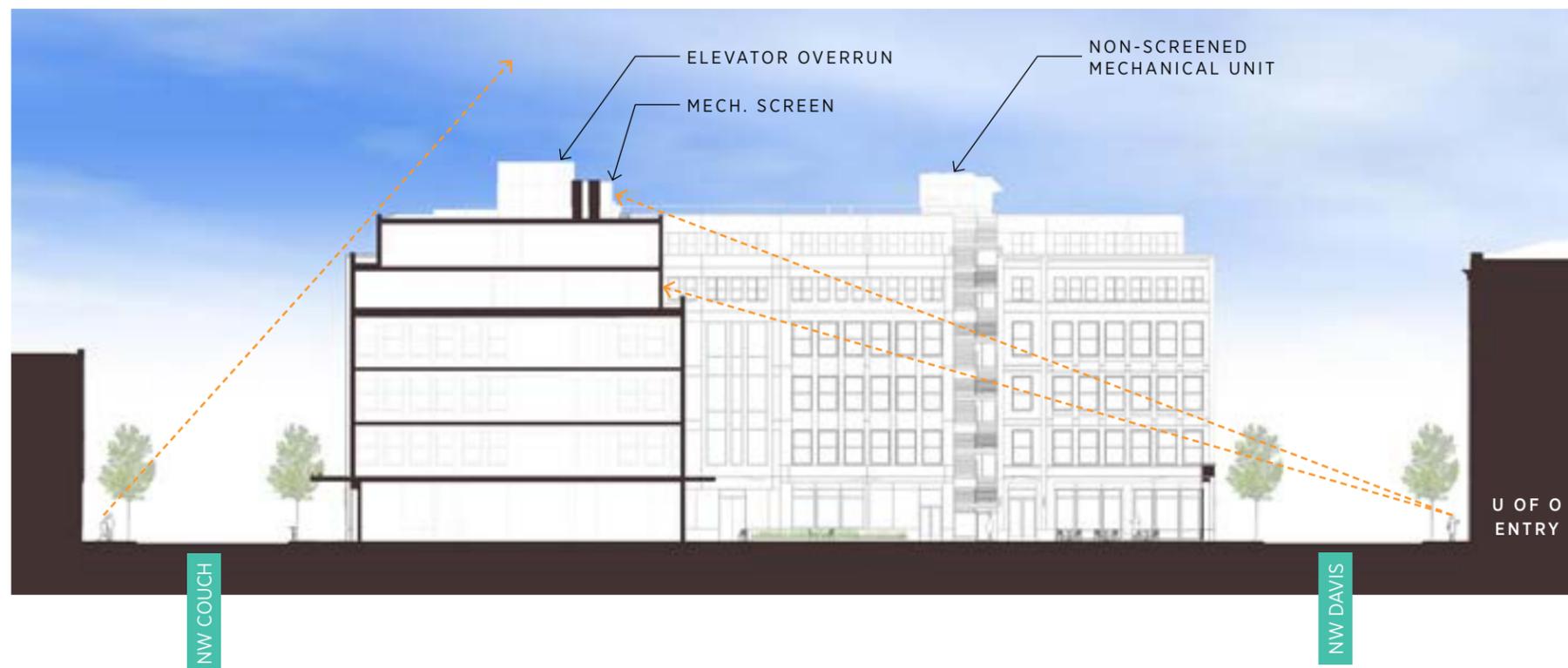
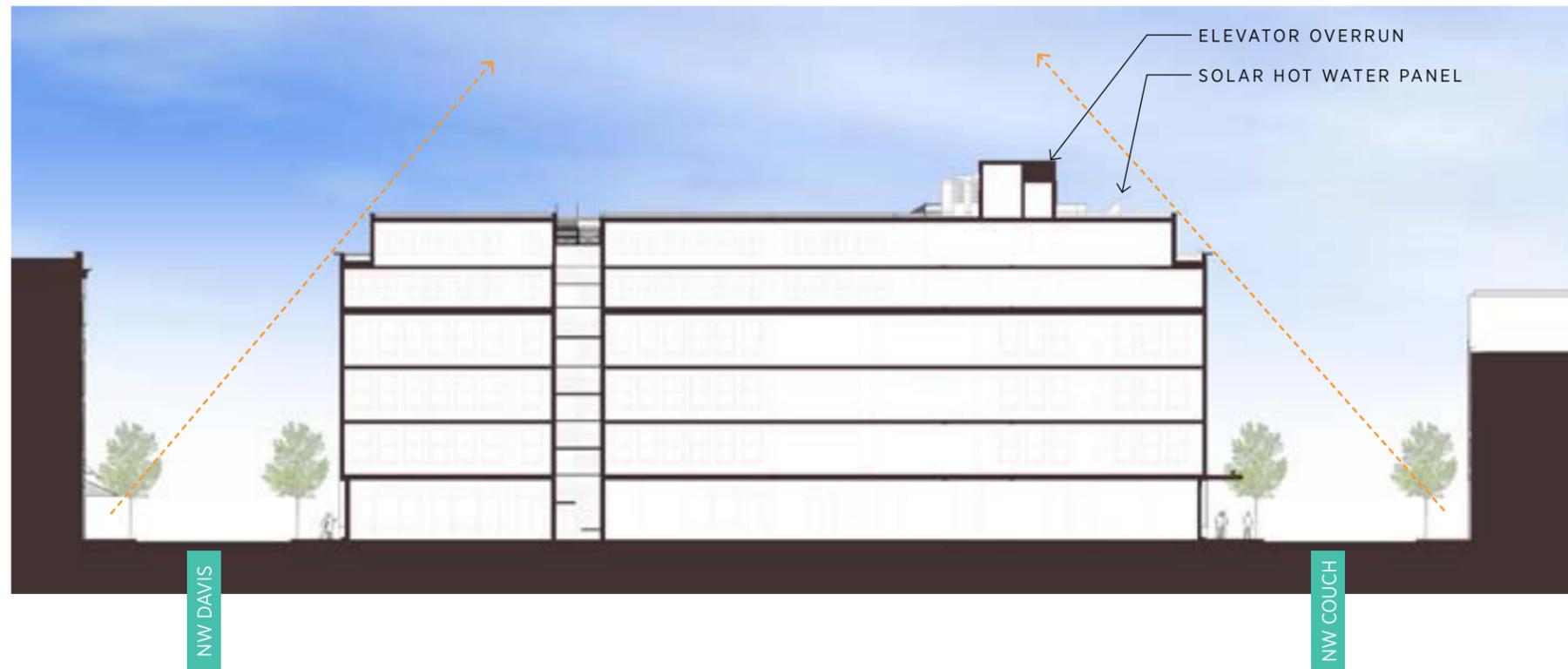
BUILDING SECTION - EAST/WEST - VIEW ANGLES



NTS



BUILDING SECTION - NORTH/SOUTH - VIEW ANGLES



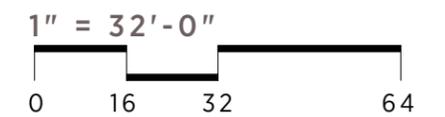
NTS

NTS

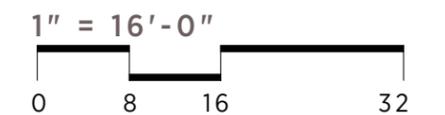
U OF O
ENTRY

CONCEPT
BUILDING ELEVATIONS

EAST ELEVATION IN CONTEXT AT NW NAITO PARKWAY



EAST ELEVATION AT NW NAITO PARKWAY



CONCEPT
BUILDING ELEVATIONS

NORTH ELEVATION IN CONTEXT AT NW DAVIS

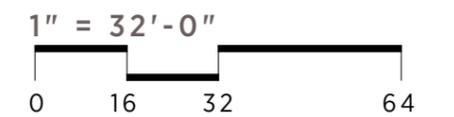


WATERFRONT
PARK

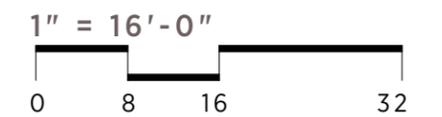
NW NAITO PKWY

NW 1ST AVE

PARKING LOT

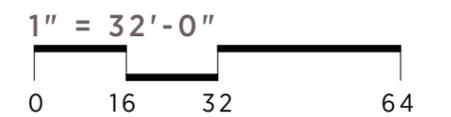


NORTH ELEVATION AT NW DAVIS

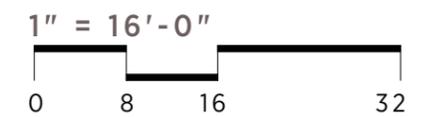
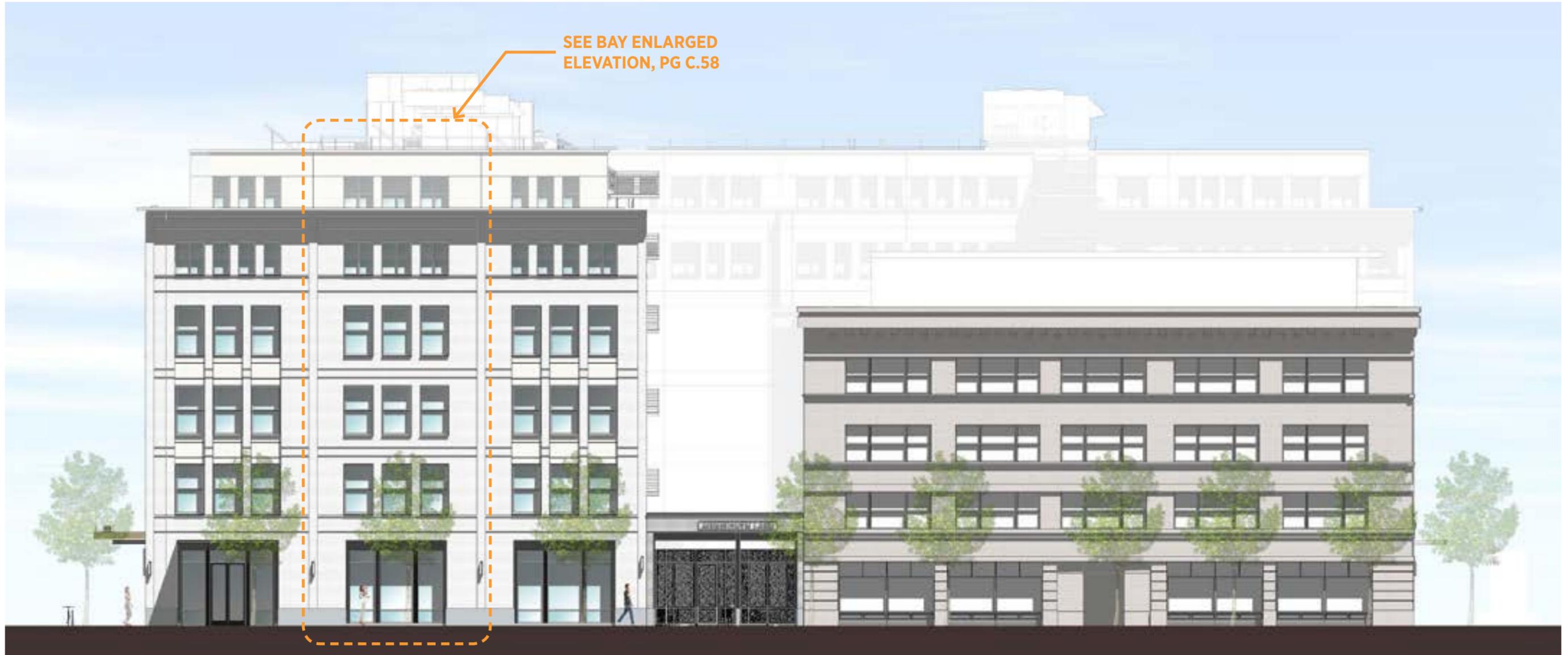


CONCEPT
BUILDING ELEVATIONS

WEST ELEVATION IN CONTEXT AT NW 1ST AVE.



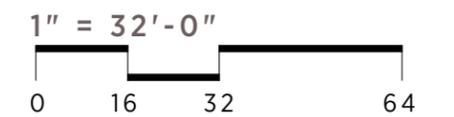
WEST ELEVATION AT NW 1ST AVE.



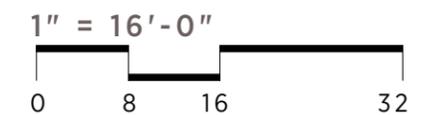
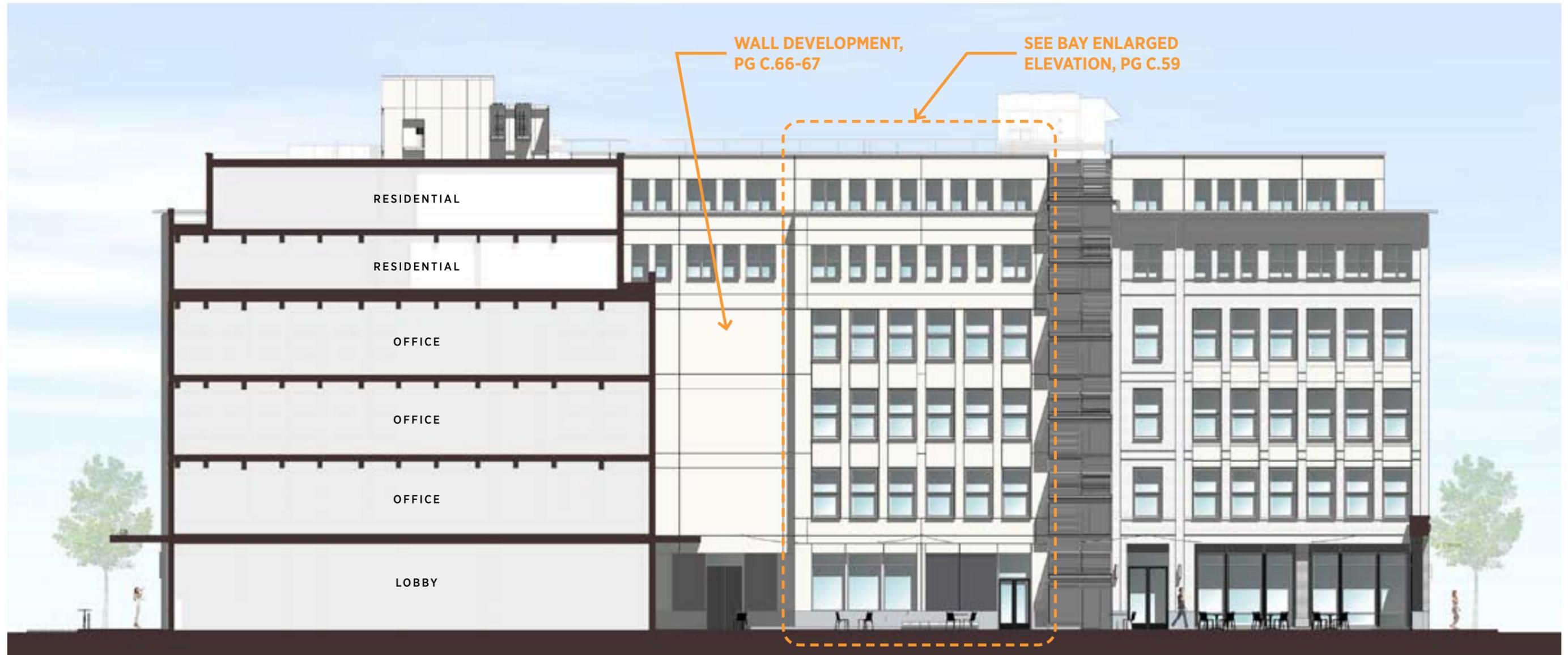
CONCEPT

BUILDING ELEVATIONS

WEST ELEVATION IN CONTEXT AT PEDESTRIAN ALLEY



WEST ELEVATION AT PEDESTRIAN ALLEY



CONCEPT

BUILDING ELEVATIONS

SOUTH ELEVATION IN CONTEXT AT NW COUCH

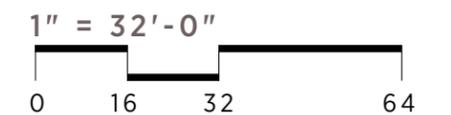


FLEISCHNER
BLOCK

NW 1ST AVE

NW NAITO PKWY

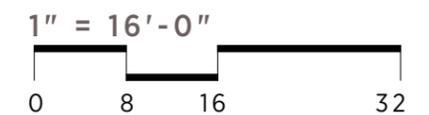
WATERFRONT
PARK



SOUTH ELEVATION AT NW COUCH



SEE GATE ENLARGED
ELEVATION, PG C.61



CONCEPT
BUILDING ELEVATIONS

SOUTH ELEVATION IN CONTEXT AT PEDESTRIAN ALLEY

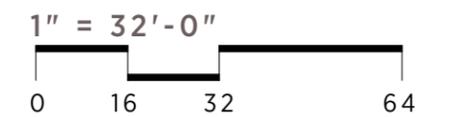


PARKING LOT

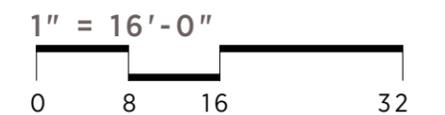
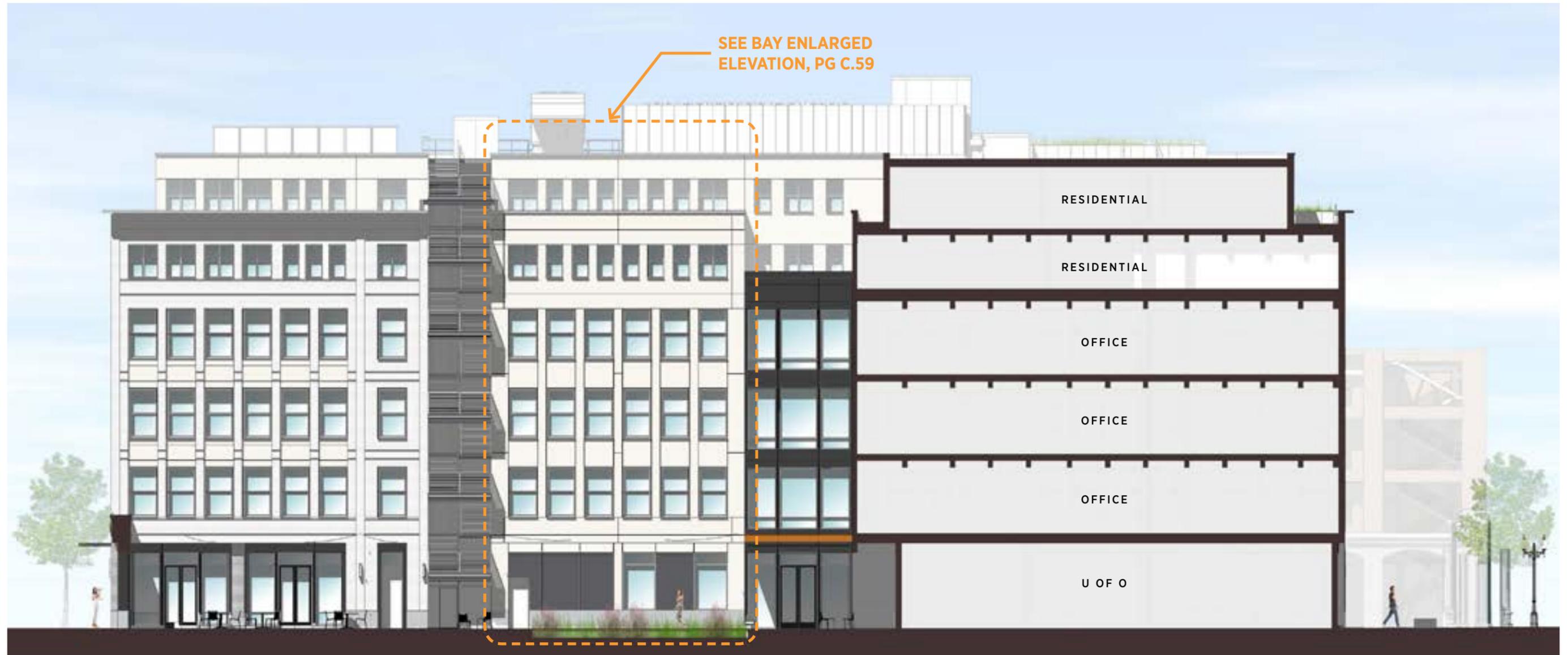
NW 1ST AVE

NW NAITO PKWY

WATERFRONT PARK



SOUTH ELEVATION AT PEDESTRIAN ALLEY



CONCEPT
MATERIALS



BRICK VENEER:
MUTUAL MATERIALS - ASPEN



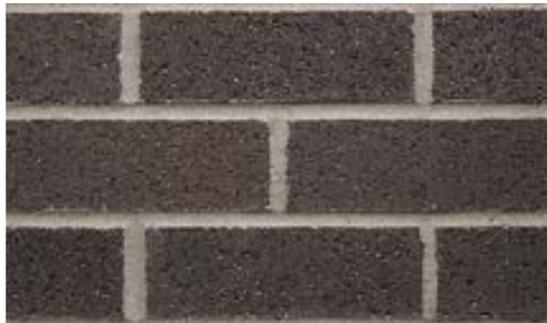
CONCRETE BASE



FIBERGLASS WINDOW:
BLACK



COLOR 1:
PAINTED METAL WINDOW FLASHING - DARK BRONZE



BRICK VENEER:
MUTUAL MATERIALS - EBONY



TONGUE AND GROOVE WOOD AT UNDERSIDE OF
CANOPIES - NATIVE OREGON SPECIES



FIBERGLASS WINDOWS:
WHITE



COLOR 2:
PAINTED METAL AT MAIN CANOPY AND SHADOW
LINE AT CORNICE - BLACK



FORMED METAL - COLOR 1:
EBONY



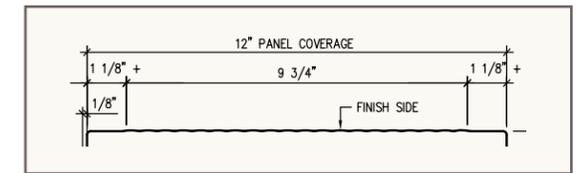
COLOR 3:
RUST



STUCCO - COLOR 1:
MATCH BRICK COLOR

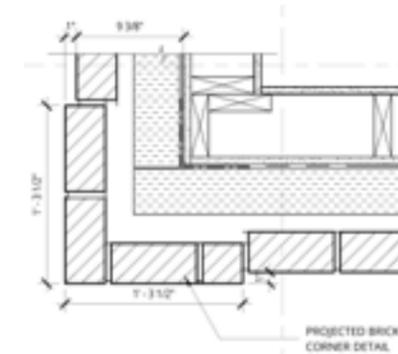
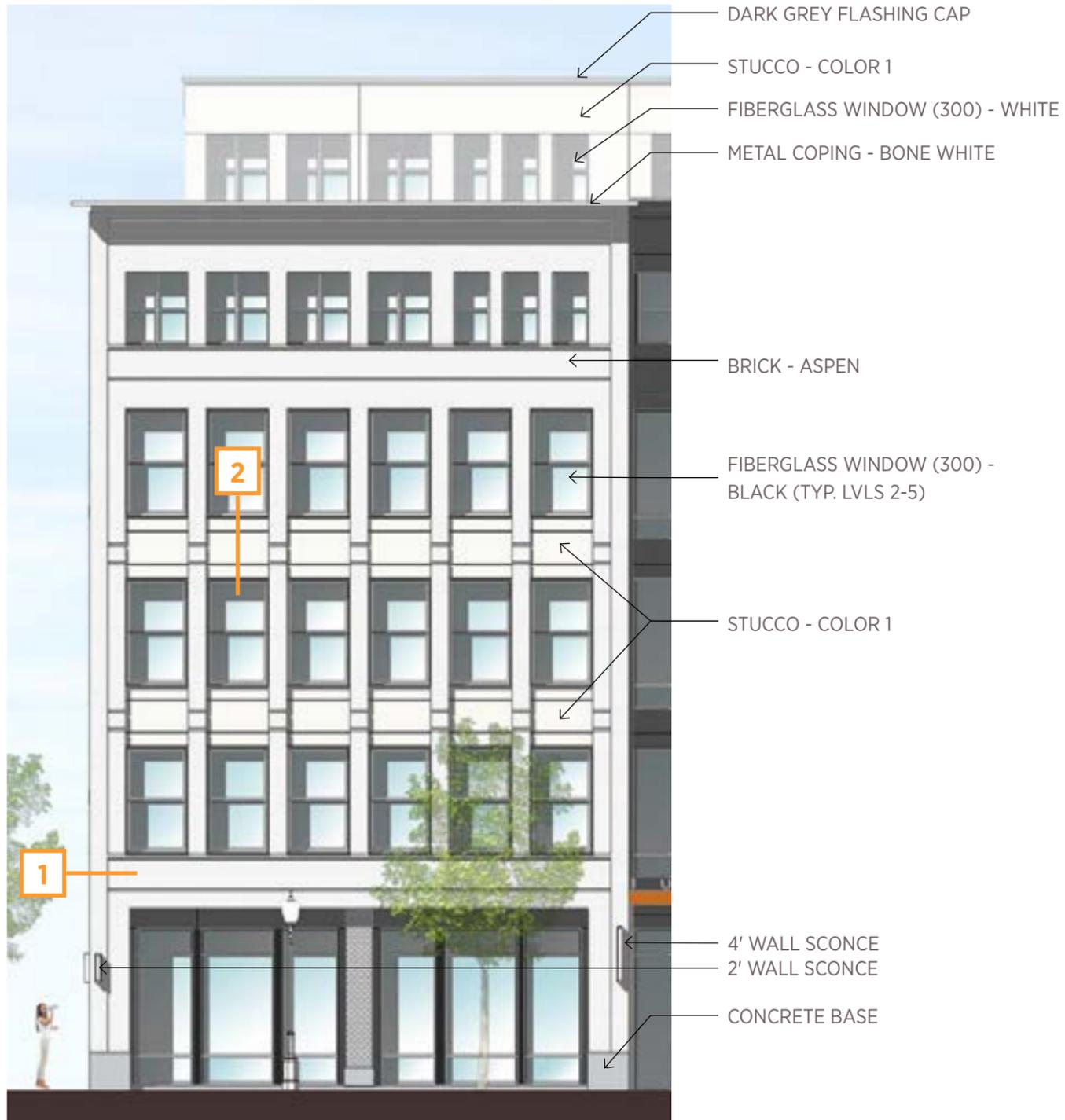


STUCCO - COLOR 2:
LONDON FOG

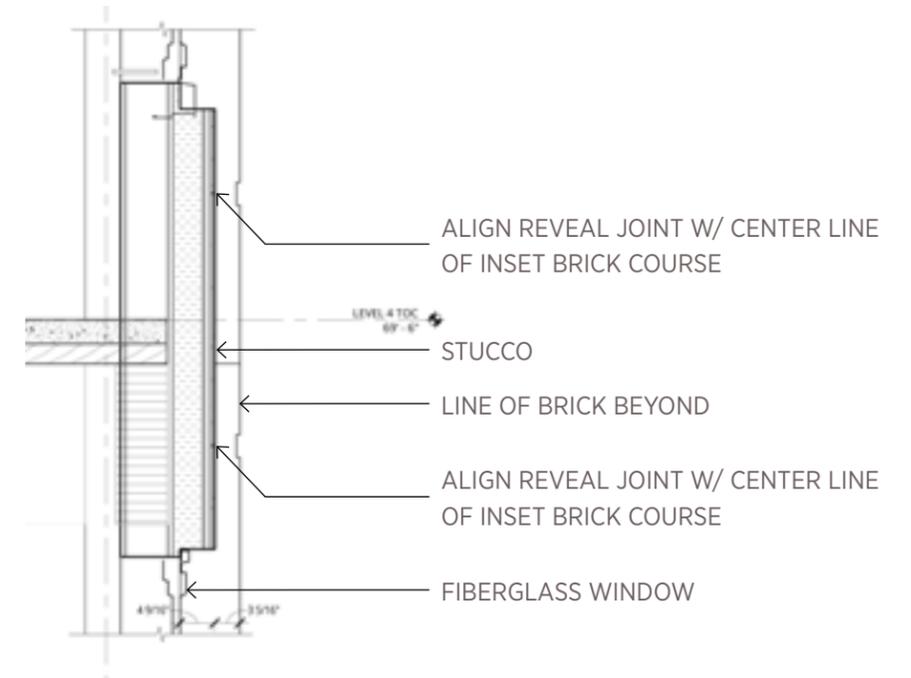


MECHANICAL SCREEN PANEL:
ASCOT WHITE

ENLARGED CORNER



1 TYPICAL BRICK CORNER

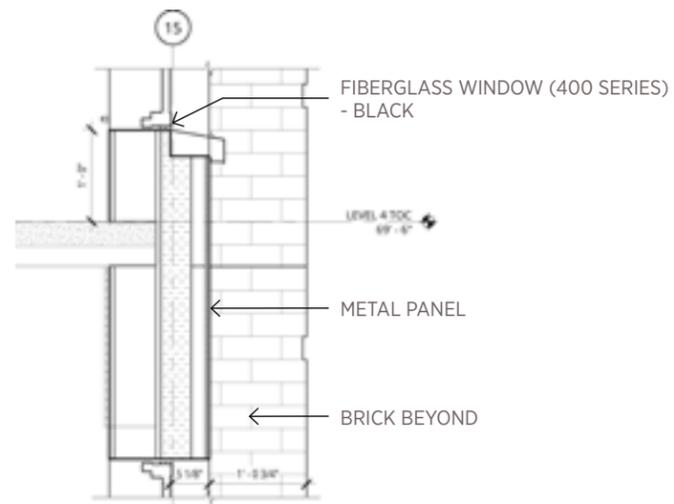


2 STUCCO INFILL PANEL AT BRICK

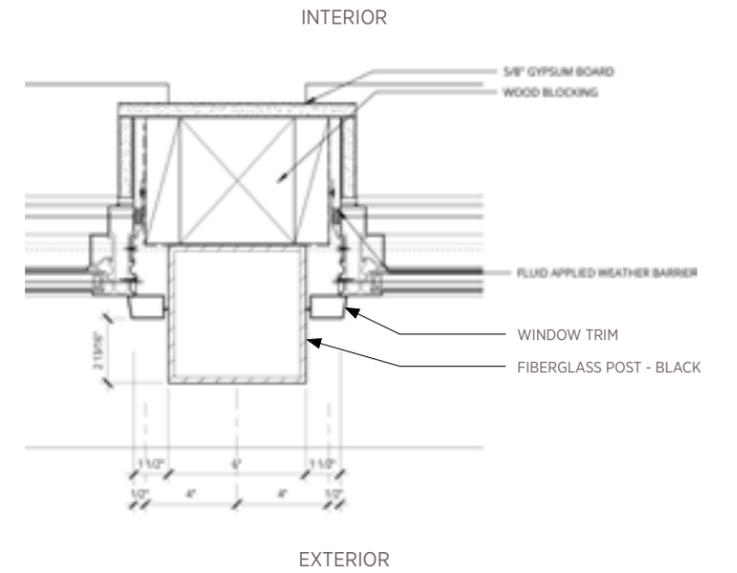
CONCEPT

ENLARGED ELEVATIONS / TYPICAL DETAILS

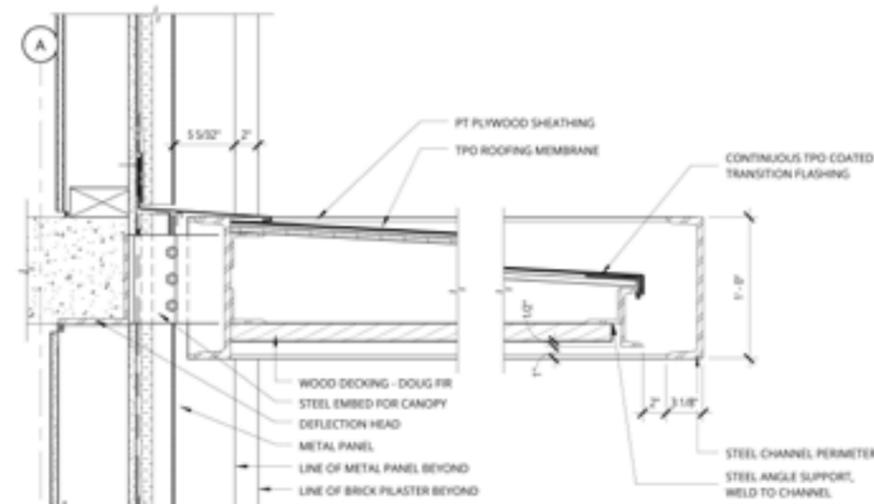
ENLARGED ENTRY BAY



1 METAL PANEL SECTION

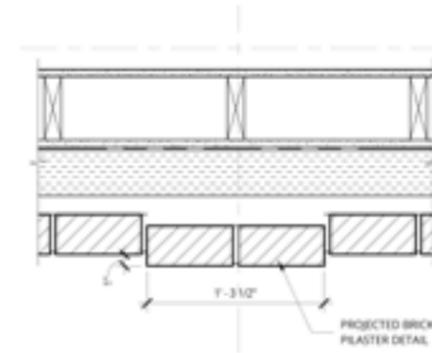


3 INTERMEDIATE JAMB

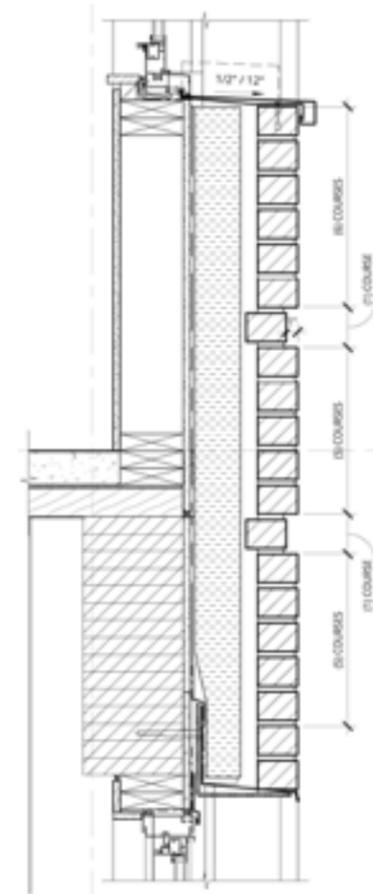


2 ENTRY CANOPY SECTION

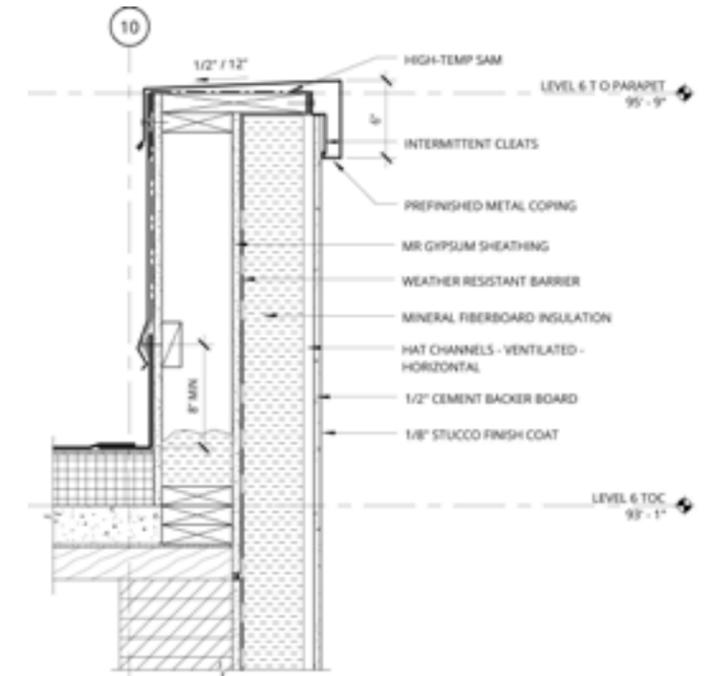
ENLARGED BAY



1 BRICK PILASTER PLAN



2 BRICK SECTION DETAIL

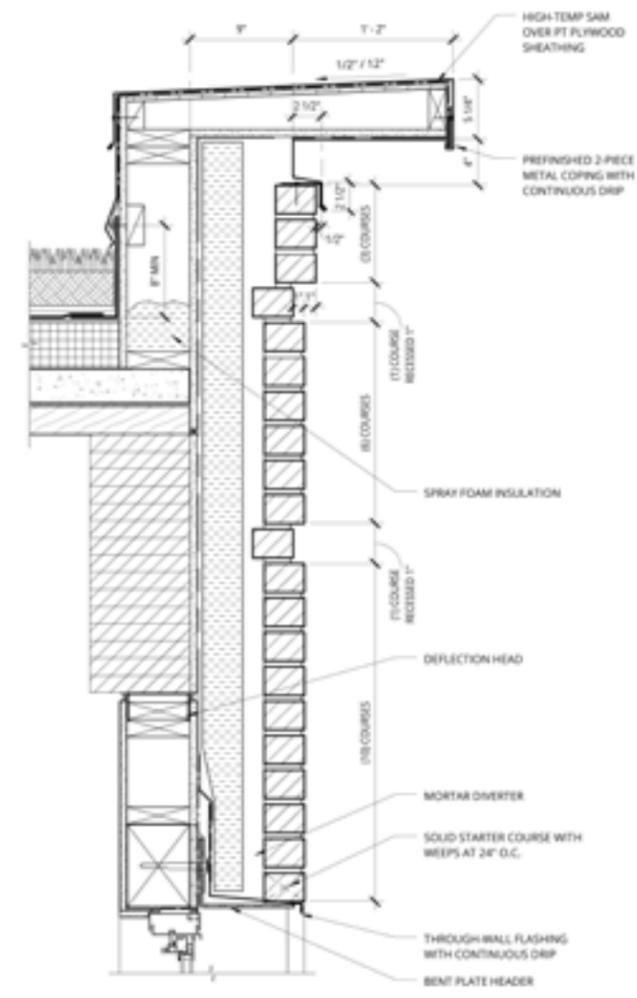


3 STUCCO PARAPET

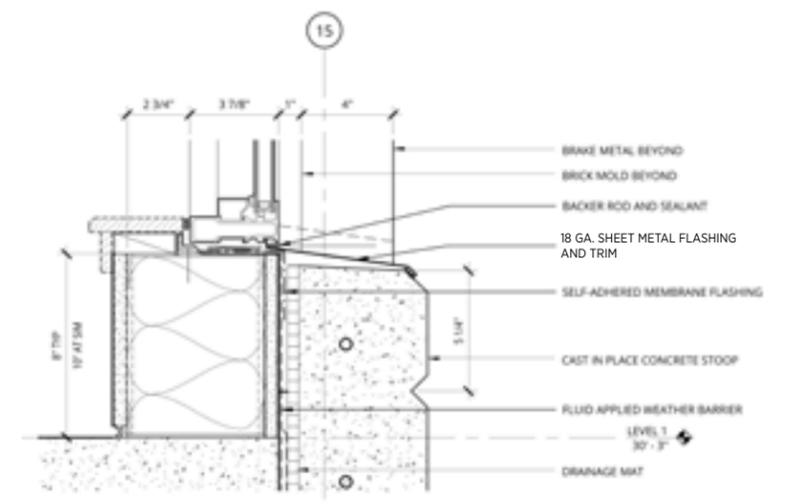
CONCEPT

ENLARGED ELEVATIONS / TYPICAL DETAILS

ENLARGED BAY

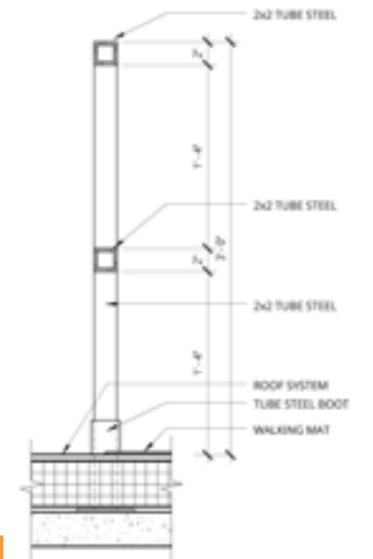
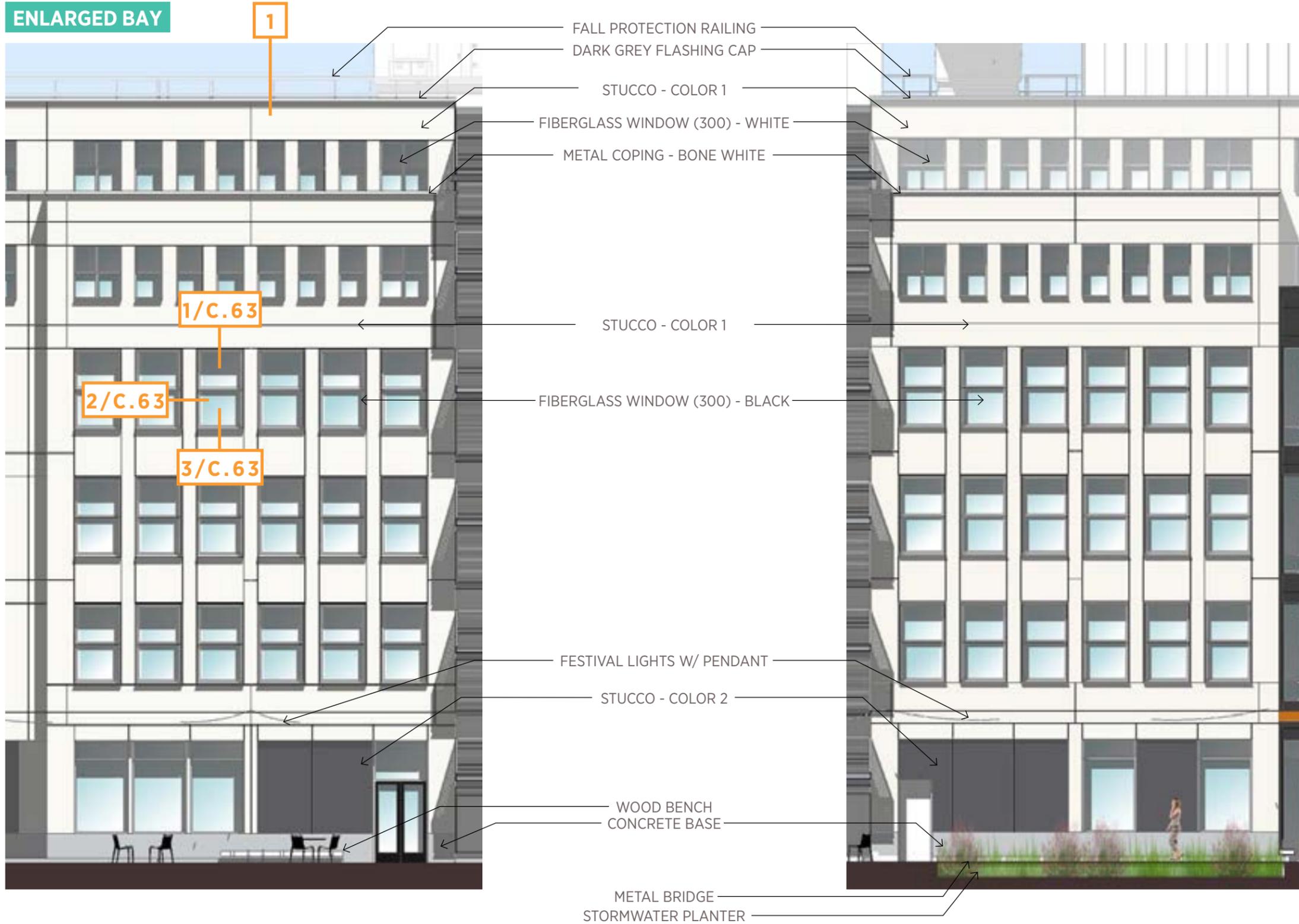


1 TYPICAL BRICK PARAPET SECTION



2 TYPICAL STOREFRONT SILL

ENLARGED BAY

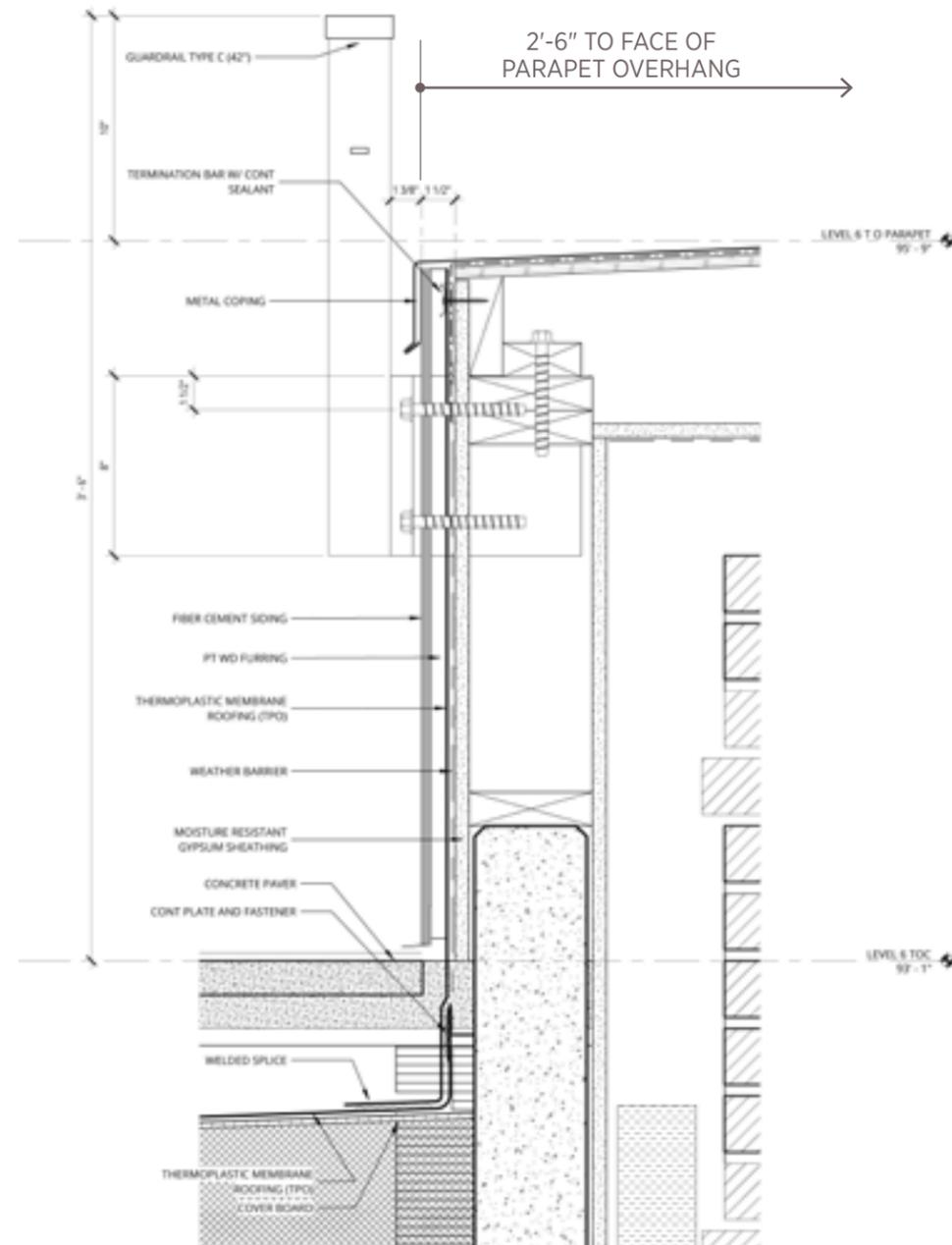


1 FALL PROTECTION RAILING

CONCEPT

ENLARGED ELEVATIONS / TYPICAL DETAILS

ENLARGED ENTRY BAY



2 RAILING AT LEVEL 6

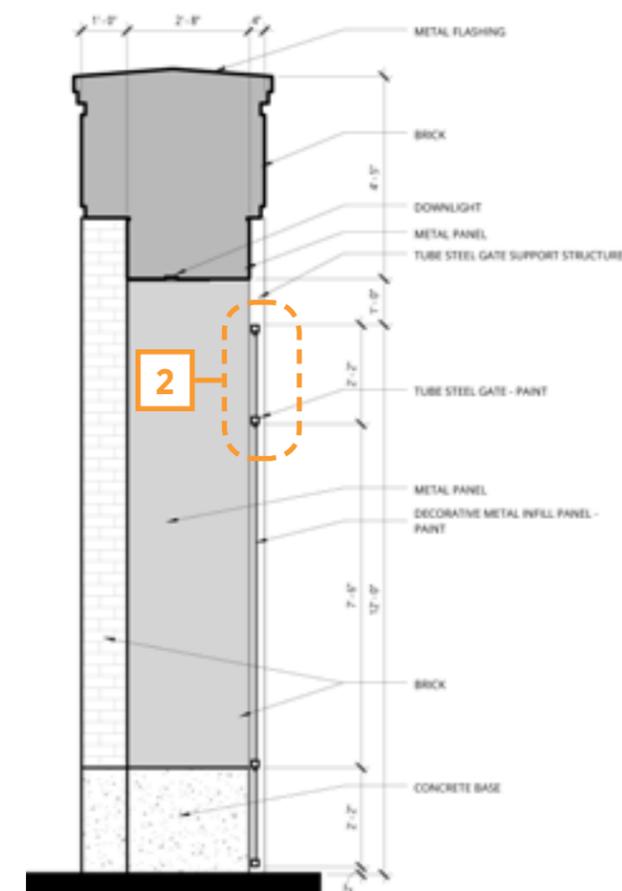
PEDESTRIAN ALLEY GATE ENLARGED ELEVATION / TYPICAL DETAILS



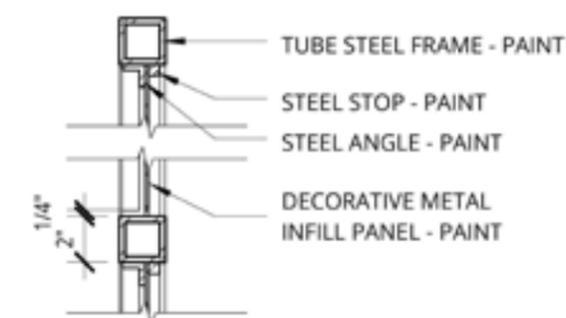
1



GATE PANEL - STEEL DECORATIVE INFILL PANEL - SHOWN FOR CONCEPT ONLY. FINAL PANEL DESIGN TO BE DESIGNED IN CONJUNCTION WITH AN ARTIST AND APPROVED THROUGH A TYPE II STAFF LEVEL REVIEW.



1 GATE SECTION

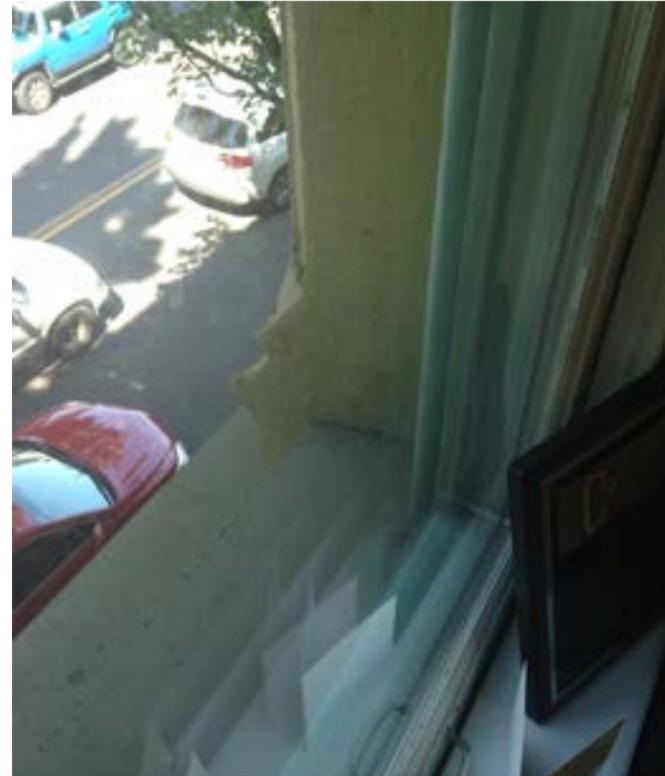


2 GATE SECTION DETAIL

CONCEPT

WINDOWS - IMAGES OF PRECEDENTS AND PROPOSED

UP HIGH PRECEDENT CAST IRON BUILDING WINDOWS FROM THE DISTRICT



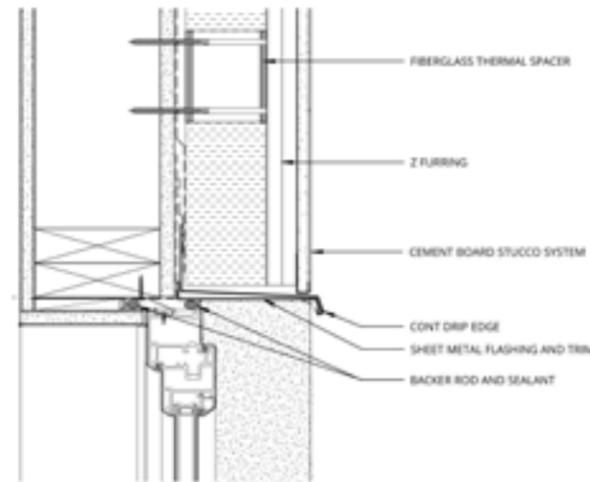
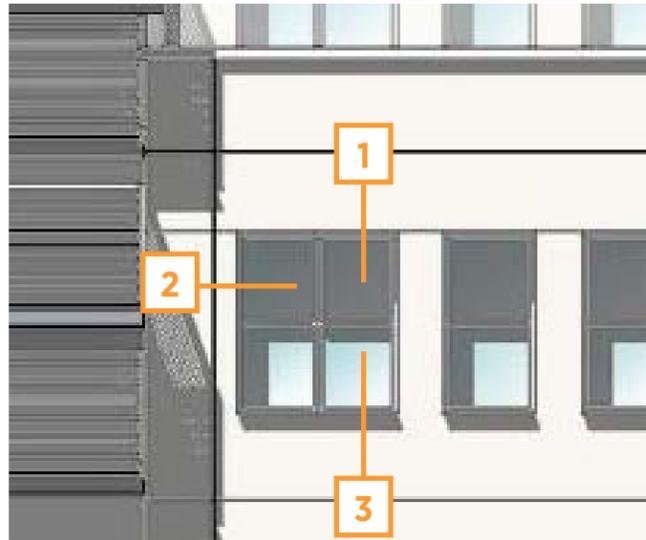
PROPOSED WINDOWS



FIBERGLASS CASCADIA 300 SERIES AT TYPICAL FLOORS

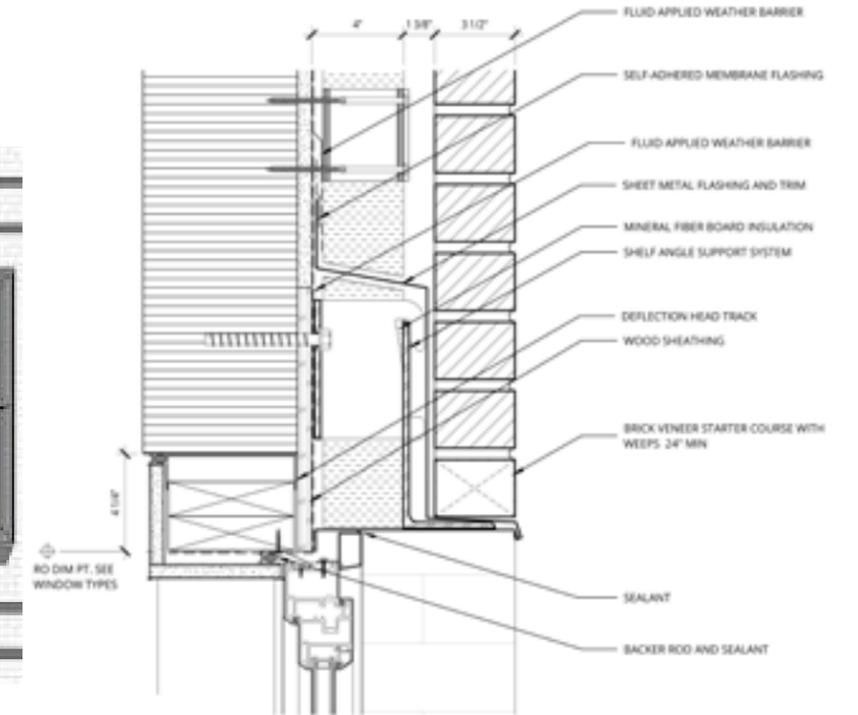
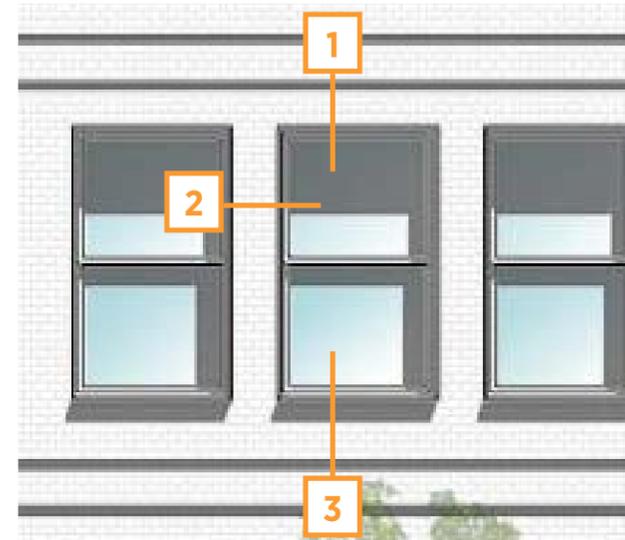
ENLARGED ELEVATIONS / TYPICAL DETAILS

WINDOW AT STUCCO

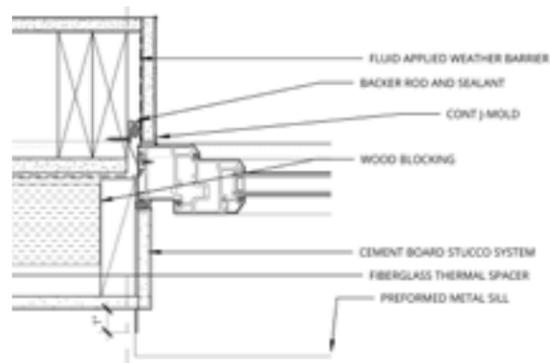


1 WINDOW HEAD AT STUCCO

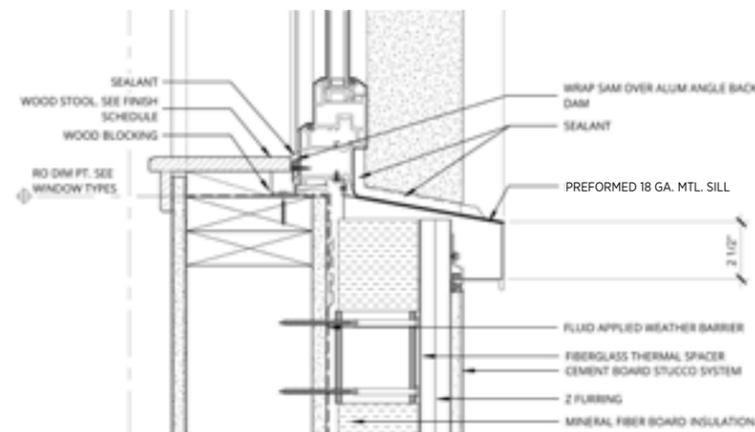
WINDOW AT BRICK



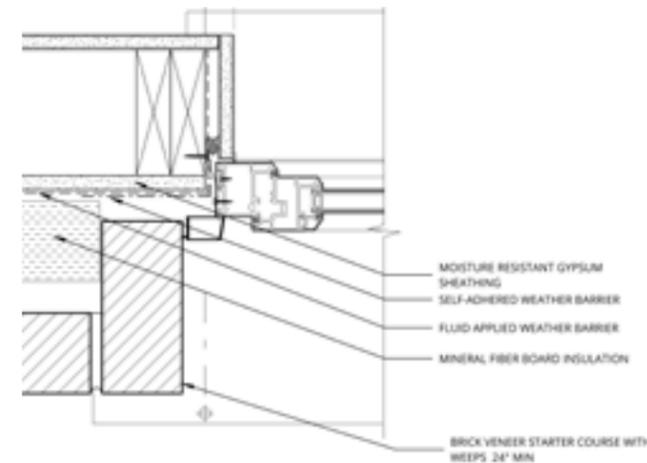
1 WINDOW HEAD AT BRICK



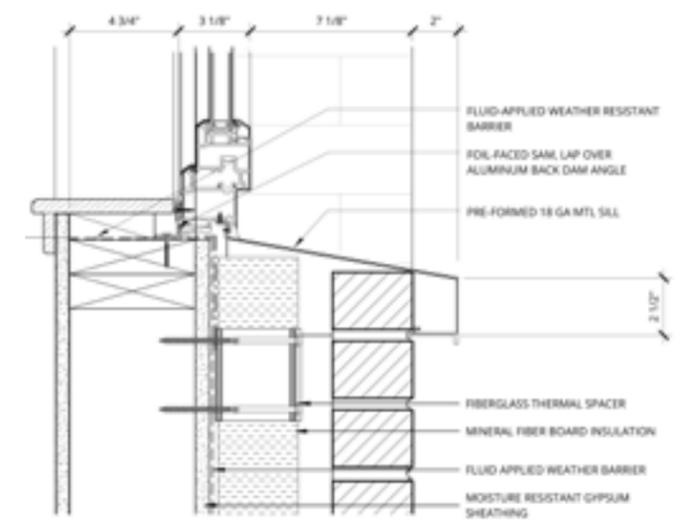
2 WINDOW JAMB AT STUCCO



3 WINDOW SILL AT STUCCO



2 WINDOW JAMB AT BRICK



3 WINDOW SILL AT BRICK

CONCEPT

WINDOWS - IMAGES OF PRECEDENTS AND PROPOSED AT GROUND FLOOR

GROUND FLOOR PRECEDENT CAST IRON BUILDING WINDOWS FROM THE DISTRICT



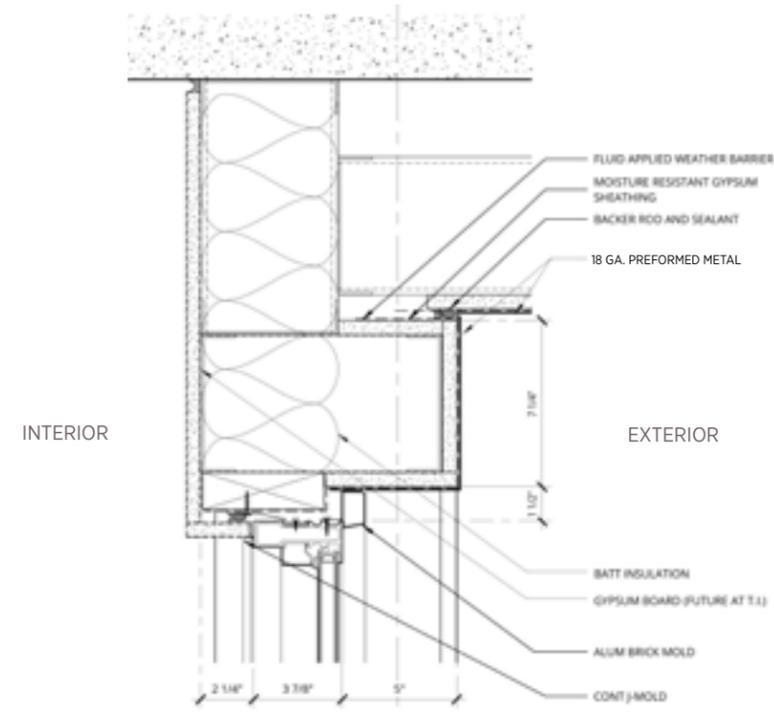
PROPOSED WINDOWS



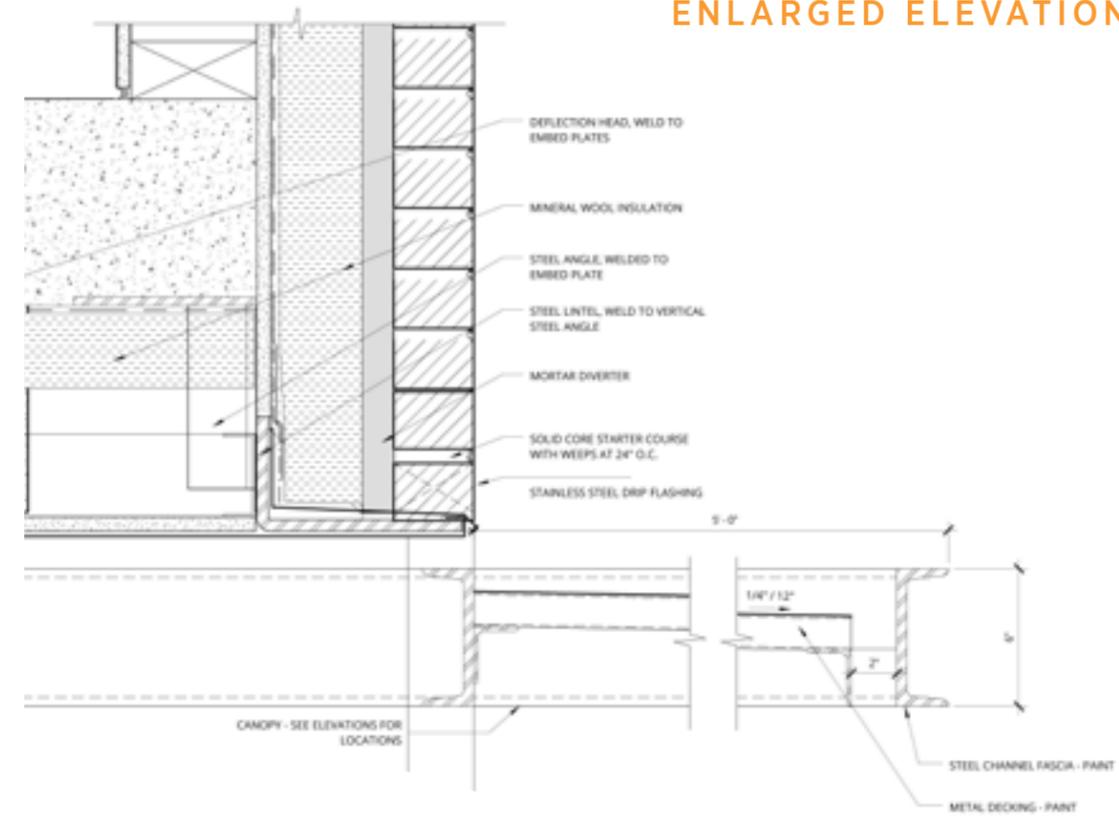
FIBERGLASS CASCADIA 400 SERIES AT GROUND FLOOR



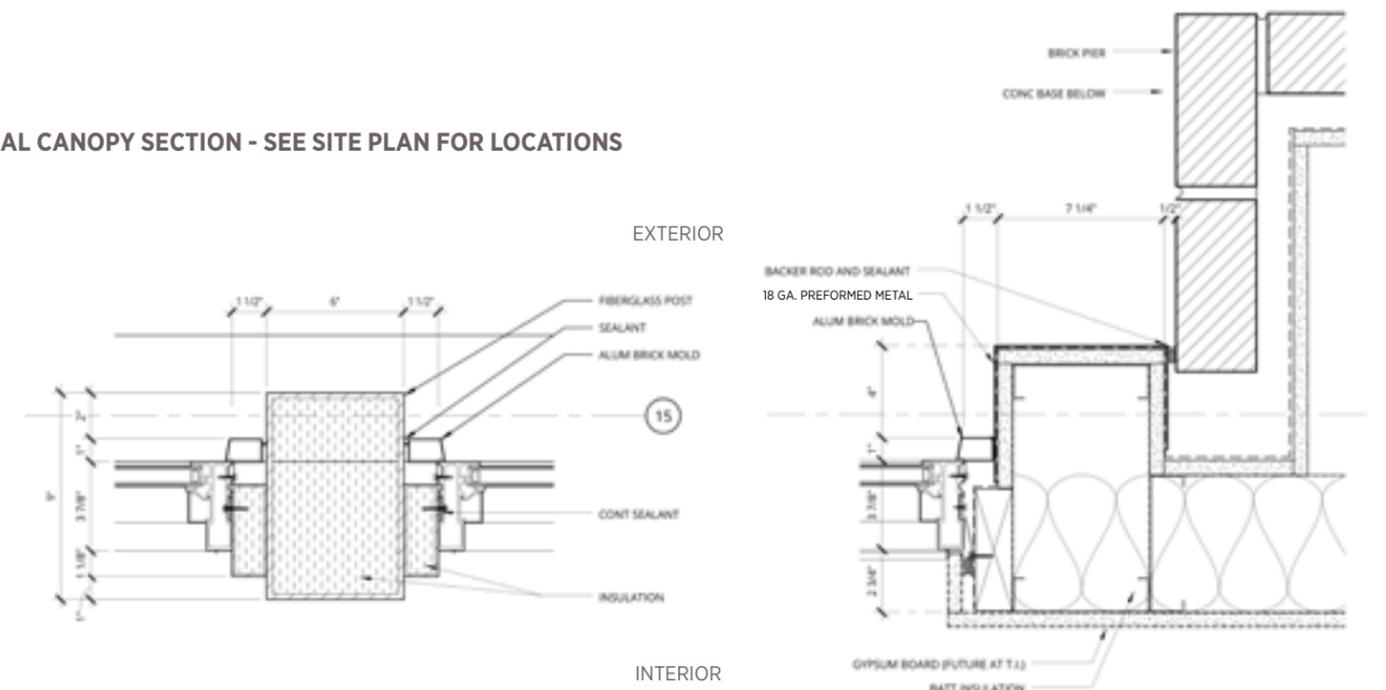
WINDOW AT GROUND FLOOR



1 STOREFRONT HEAD



1A TYPICAL CANOPY SECTION - SEE SITE PLAN FOR LOCATIONS



2 STOREFRONT INTERMEDIATE JAMB

3 STOREFRONT BRICK JAMB

CONCEPT

INTERIOR WALL DEVELOPMENT - PRECEDENT IMAGES



NEW MARKET THEATER



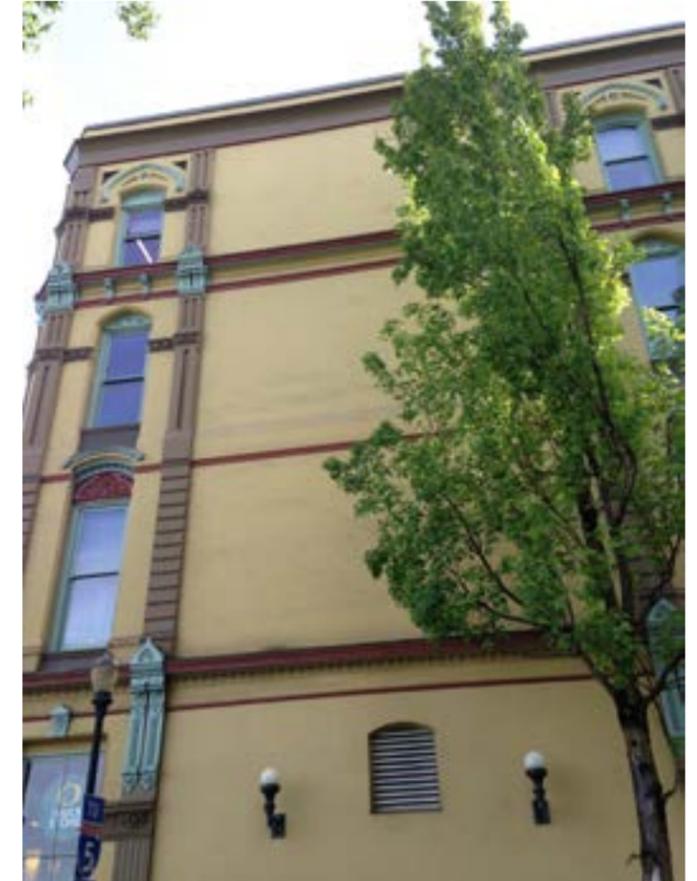
ASH AND 1ST (SOUTH OF NEW MARKET THEATER)



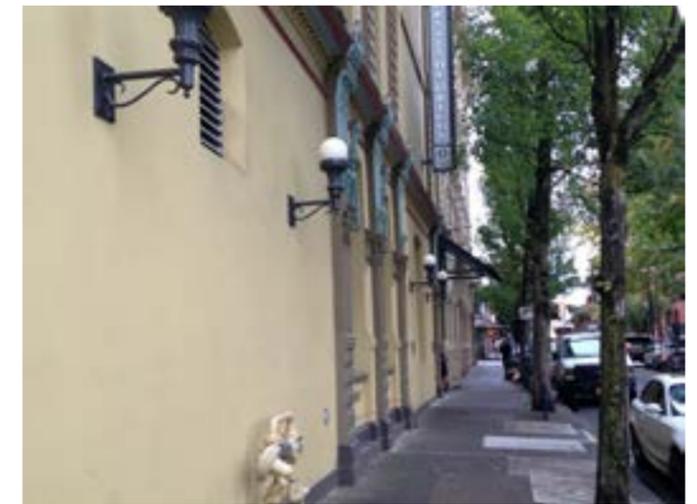
MERCHANT BLOCK - DAVIS AND 2ND



MERCHANT BLOCK - DAVIS AND 2ND



BICKEL BLOCK - COUCH AND NAITO



BICKEL BLOCK - COUCH AND NAITO



LYNDON MUSOLF MANOR - DAVIS AND 2ND

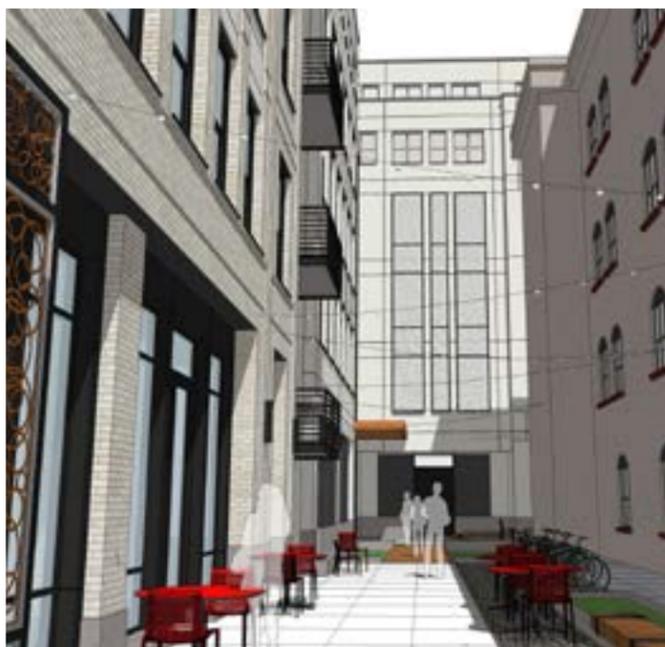
01 VERTICAL STEEL DECORATIVE PANELS



02 PAINTED WALL GRAPHIC



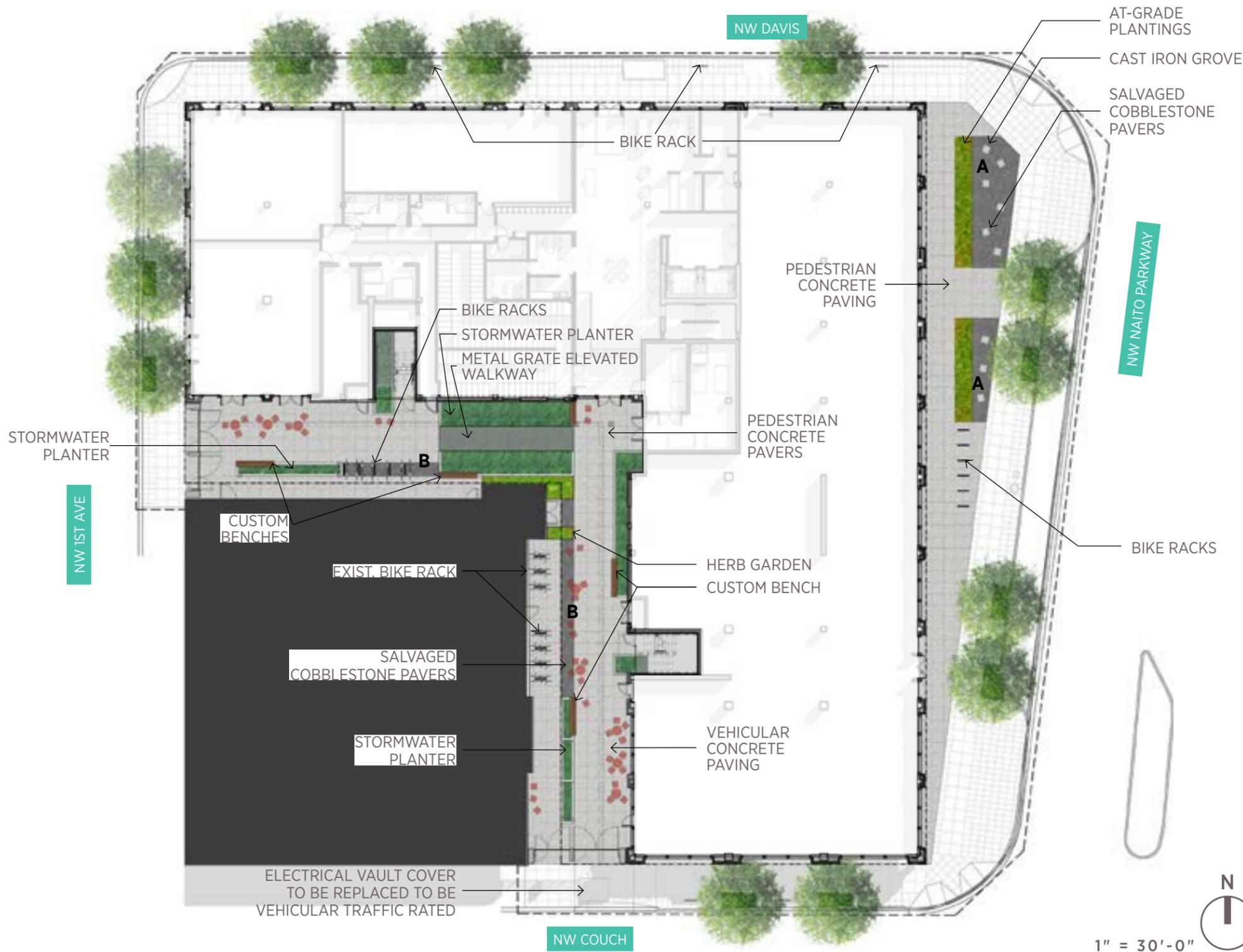
03 SIMPLE WALL - PREFERRED DIRECTION



After DR hearing number 02, we did a series of investigations to look into what might be done with the blank wall in line with the east/west axis coming into the alley space off 1st. We had a number of discussions and also looked again at cast iron building precedents from the district. The design team feels a well proportioned, blank wall is actually needed in this location to soften the activity

already present in the alley space and the surrounding building facades. The "simple" wall acts as a back drop against which the vibrant pedestrian activity of the alley space is seen and experienced. It was deemed that the investigations into adding interest at this location were not in keeping with the overall look and feel of the well established building vocabulary.

CONCEPT
LANDSCAPE PLAN



**PARKING AND LOADING STANDARDS:
CHAPTER 33.266**

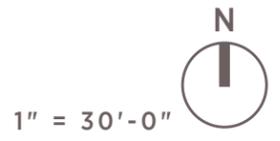
	PROPOSED USE - QUANTITY	AUTOMOBILE PARKING SPACES	SHORT TERM BIKE REQUIRED	LONG TERM BIKE REQUIRED
RESIDENTIAL	65 UNITS	NO MIN.	(2) OR 1 PER 20 UNITS 4 SHORT TERM REQUIRED	1.5 PER UNIT 98 LONG TERM REQUIRED
RETAIL SALES & SERVICE	4,845 SQ. FT.		(2) OR 1 PER 5,000 SQ. FT. 2 SHORT TERM REQUIRED	(2) OR 1 PER 12,000 SQ. FT. 2 LONG TERM REQUIRED (TO BE INCLUDED IN LEASE SPACE)
OFFICES	62,813 SQ. FT.		(2) OR 1 PER 40,000 SQ. FT. 2 SHORT TERM REQUIRED	(2) OR 1 PER 10,000 SQ. FT. 7 LONG TERM REQUIRED (TO BE INCLUDED IN LEASE SPACE)
COLLEGES	11,840 SQ. FT.		(2) OR 1 PER 10,000 SQ. FT. OF NET BLDG. AREA OR PER CU OR IMP REVIEW 2 SHORT TERM REQUIRED	(2) OR 1 PER 20,000 SQ. FT. OF NET BLDG. AREA OR PER CU OR IMP REVIEW NO LONG TERM REQUIRED
TOTAL PROPOSED		NO PARKING STALLS REQ.	10 SHORT TERM REQUIRED 32 SHORT TERM PROPOSED	107 LONG TERM REQUIRED 98 LONG TERM PROPOSED

NOTE: LONG TERM BIKE PARKING

Per Figure 266-11 in Chapter 33.266, bike parking space requirements are 2'x6'. In order to maximize bike parking spaces at the ground floor while still maintaining all other functions, we are requesting the 2' be reduced to 18" if the bike racks are staggered on the wall, a minimum of 6".

SPECIALTY PAVING AREAS:

A (R.O.W.)	517 S.F.
B (SITE)	251 S.F.
TOTAL	768 S.F.





SCUPPER



BIKE RACK



HANGING LIGHTS



ELEVATED WALKWAY



STORMWATER INLET



MOVEABLE TABLES AND CHAIRS

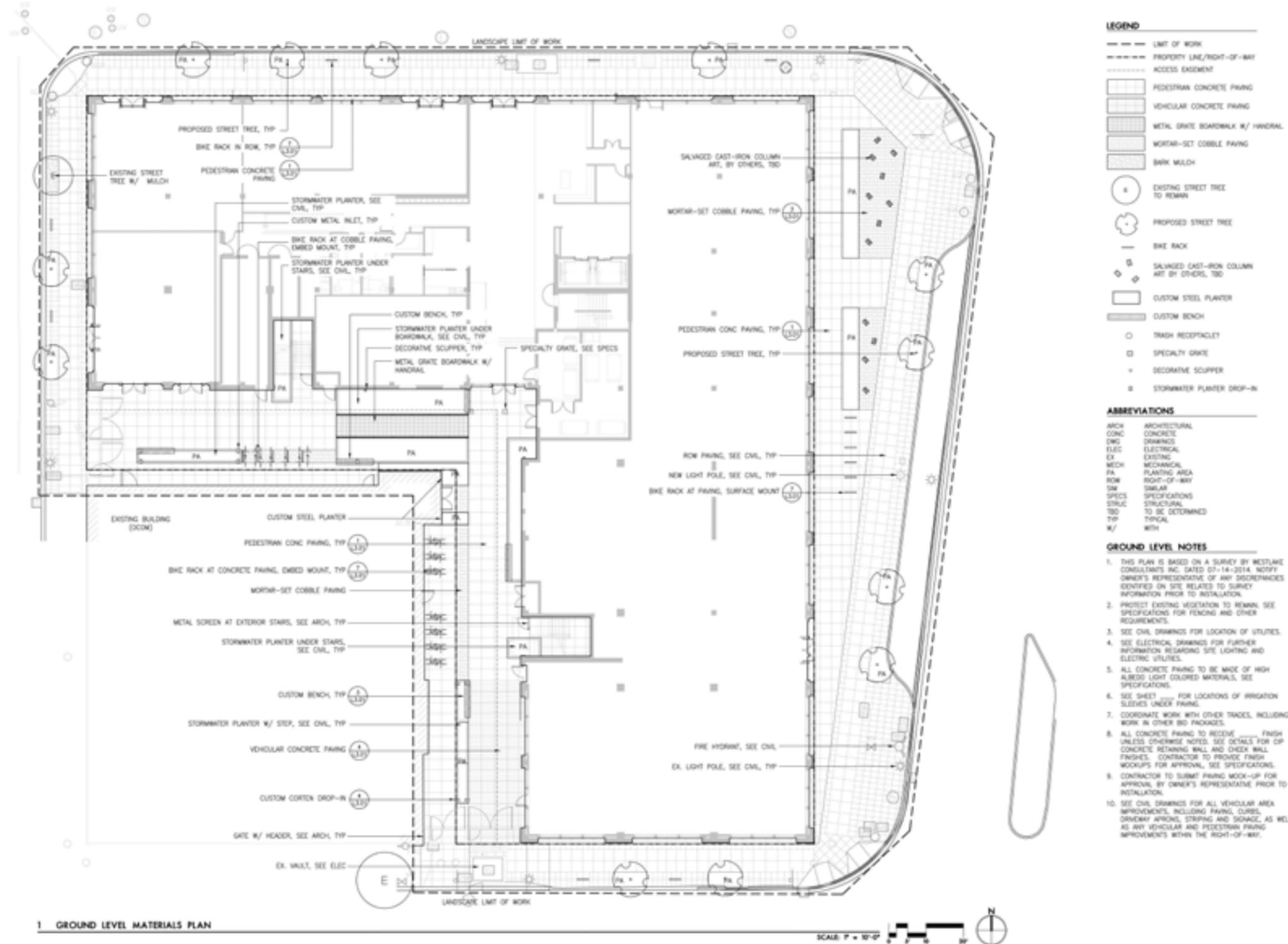


LINEAR TIMBER BENCH



COBBLE PAVING

CONCEPT
LANDSCAPE PLANTING PLAN



CONCEPT

LANDSCAPE PLANT IMAGES



VINE MAPLE



IRIS



SMALL-FRUITED BULRUSH



LIRIOPE



KATSURA



SKYROCKET OAK



WESTERN SWORD FERN



TUFTED HAIR GRASS



COMMON RUSH



CAST IRON PLANT



RED-TWIG DOGWOOD



LOW OREGON GRAPE



LICORICE FERN



PACHYSANDRA



EMERALD SUNSHINE ELM



EUROPEAN HORNBEAM

CONCEPT
SITE LIGHTING - SITE PLAN

SOFFIT/STAIRWELL WALLGRAZE



Wallgraze Selux M60 fixture mounted underneath the soffit washes the facade with light. Same fixture used beneath landing washes backwall of stairs with light.

WALL SCONCES



Align X3 wall sconces at 2' tall and 4' tall wrap around the building.

STAIRWELL LANDINGS



Selux M60 LED mounted beneath the stair landings to illuminate the ascending and descending trends.

ART UPLIGHT



The small wet listed Lightvault ingrade LED from Kim Lighting will provide the uplight for the artwork.

CATENARY PENDANTS



Atlantic catenary from Ligman suspended along the same support cables as the Catenary Cafe Lights.

CATENARY CAFE LIGHTS

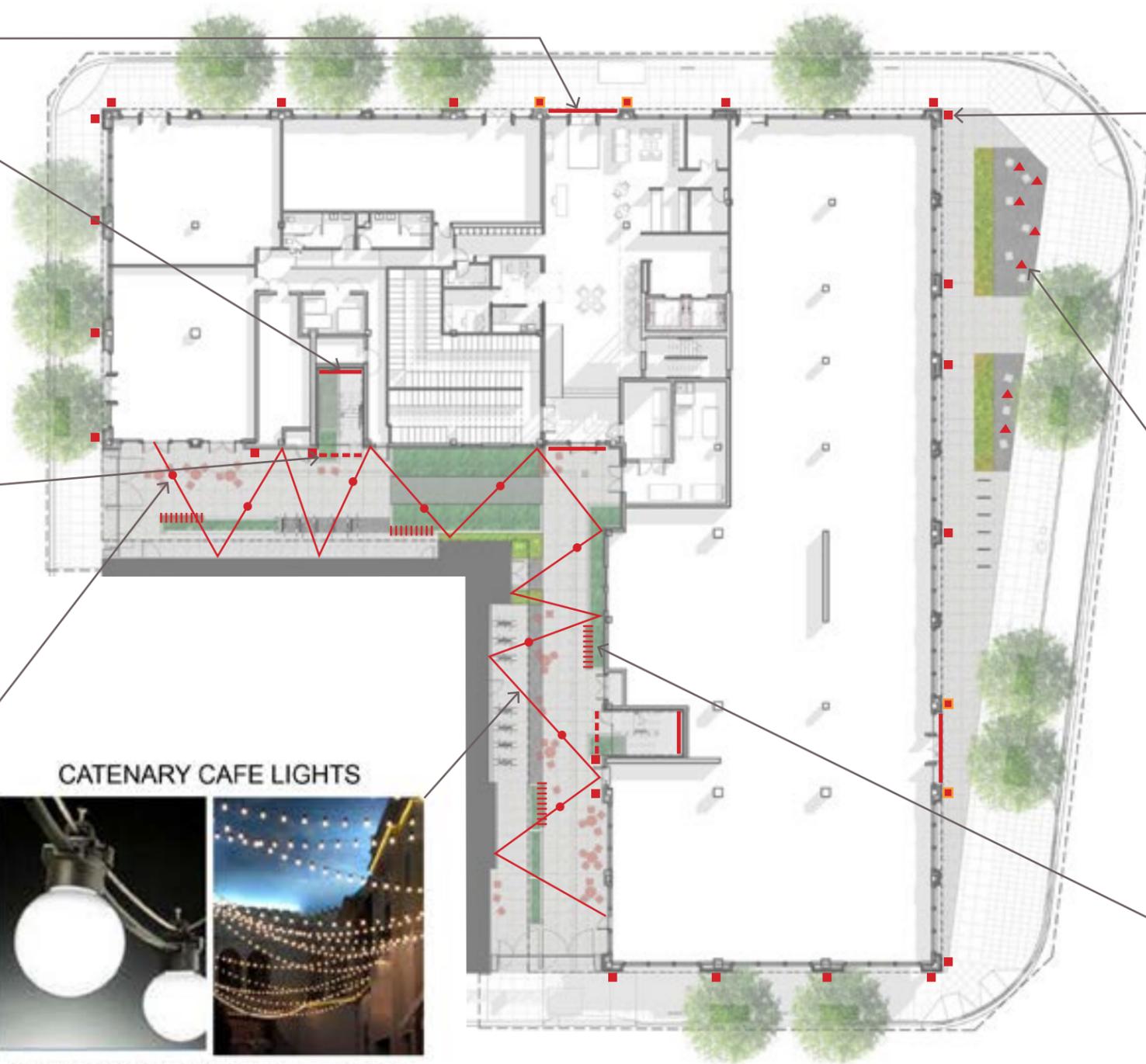


Cafe lights from American Lighting along catenary cables provide sparkle to the courtyard area.

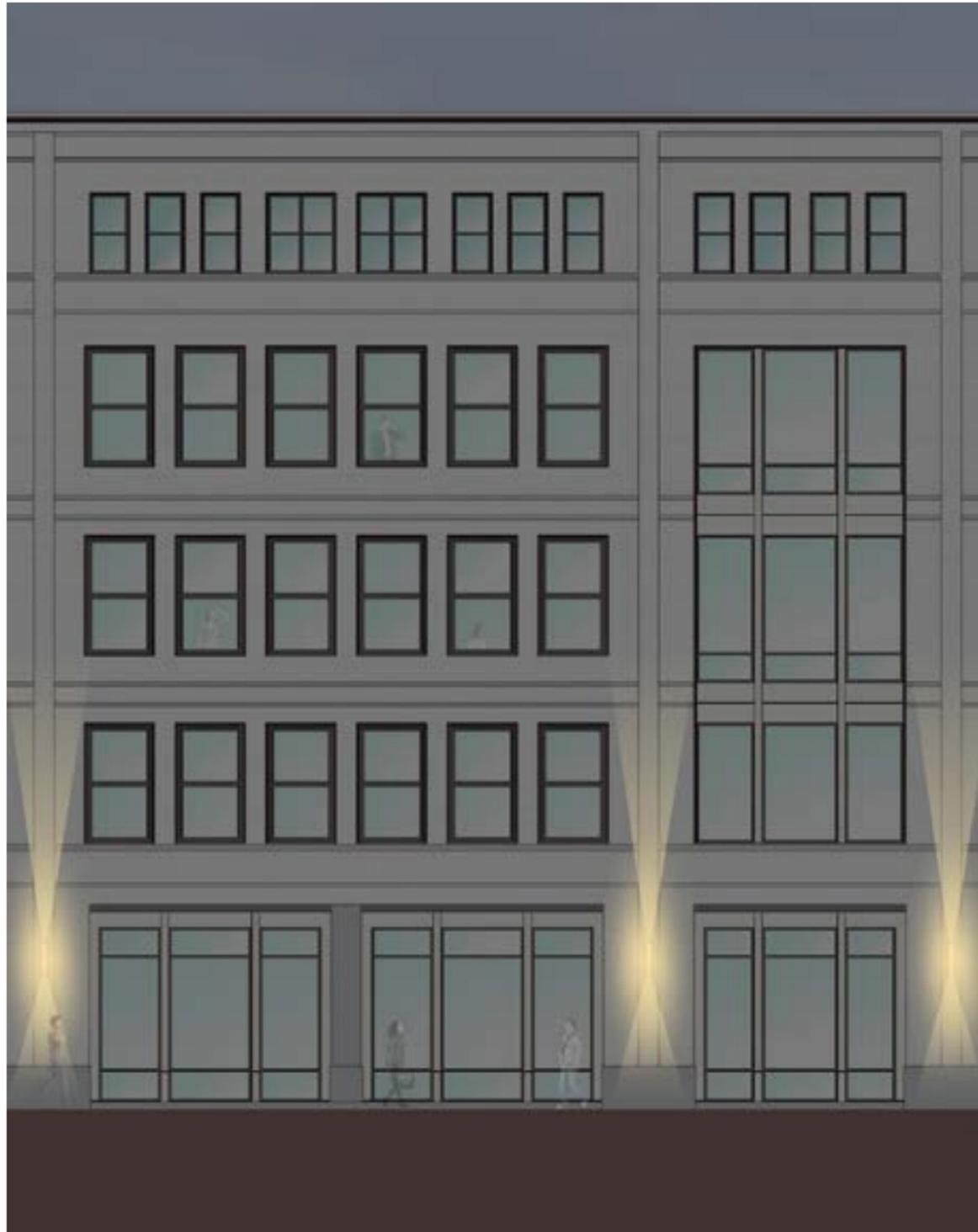
BENCH LIGHTING



Integrated beneath bench the Tivoli wet listed LED fixture illuminates the ground.



CONCEPT
SITE LIGHTING



Typical bay lighting scheme



The Cast Iron Grove at night



Typical column light



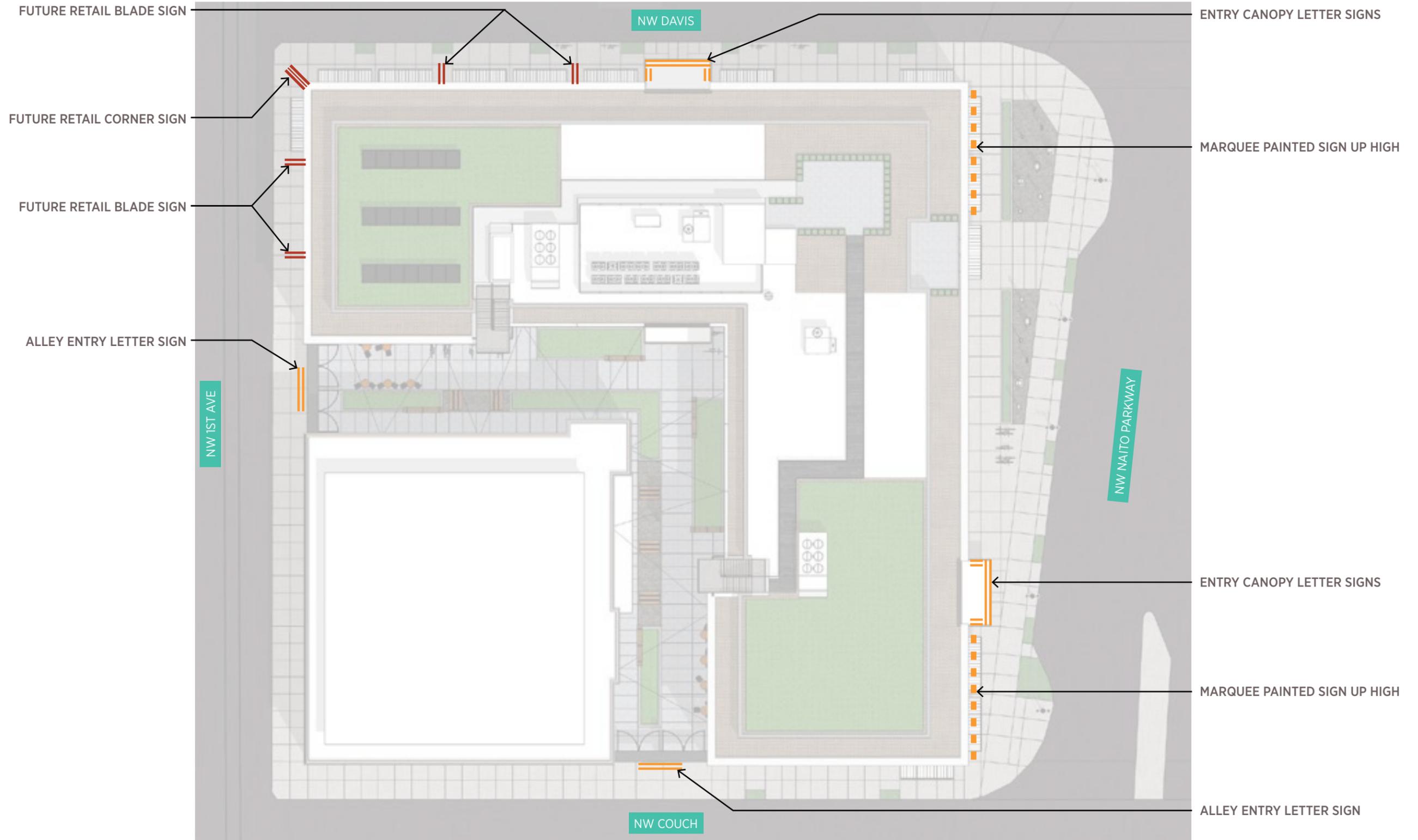
Typical lights at entry

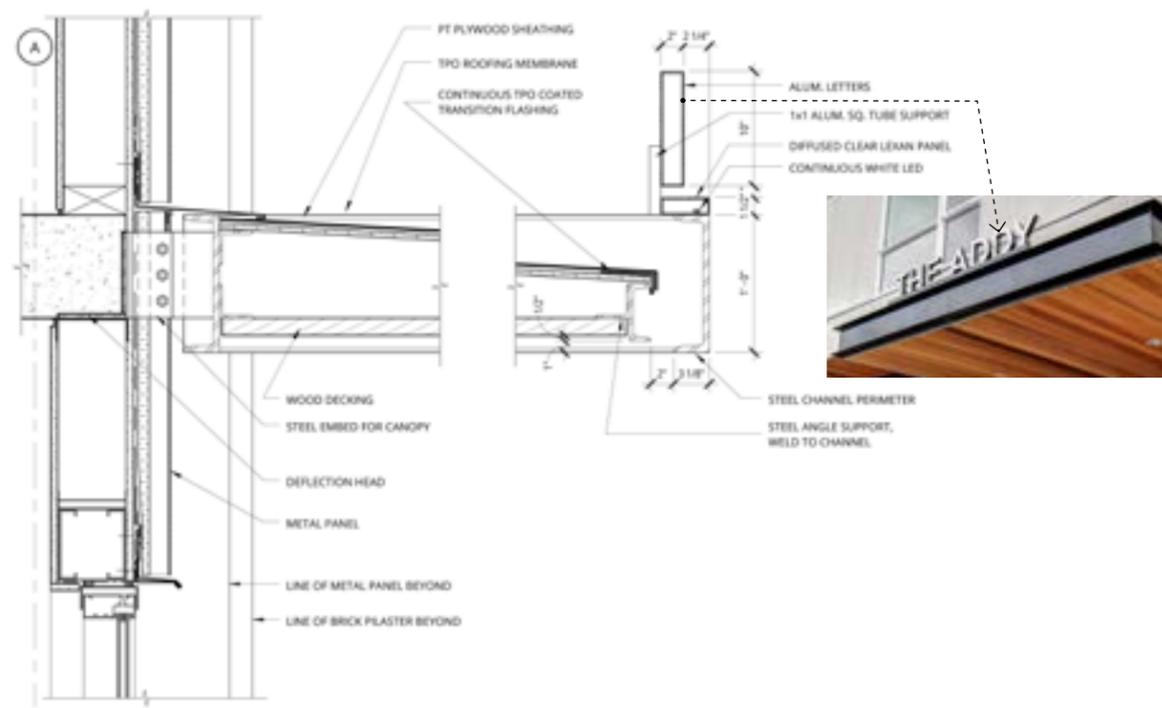


Catenary Cafe lightst with pendants in pedestrian alley

CONCEPT

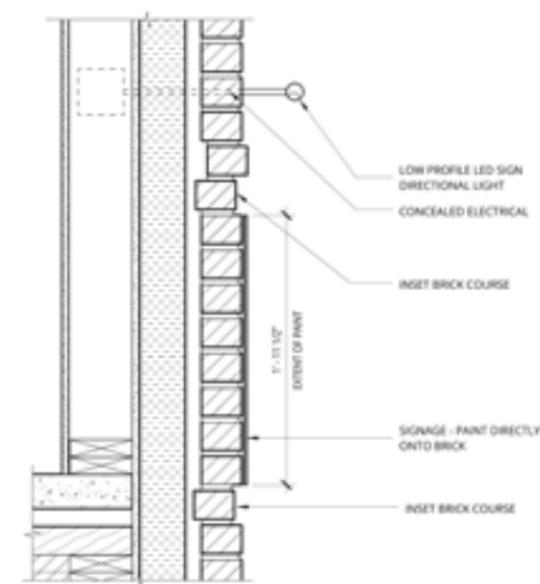
SITE PLAN - SIGN LOCATIONS





1 ENTRY CANOPY SECTION W/ SIGNAGE LETTERS

FUTURE UPPER MARQUEE SIGN

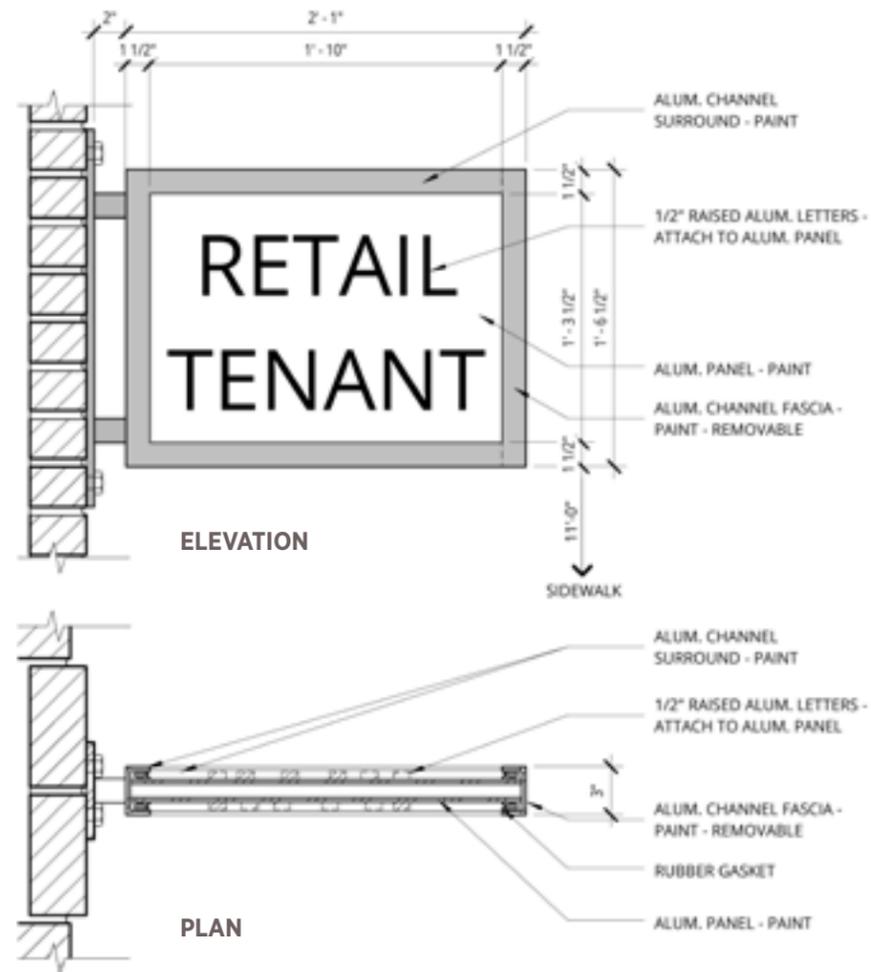


2 FUTURE UPPER MARQUEE SIGN SECTION

**CONCEPT
SIGNAGE**



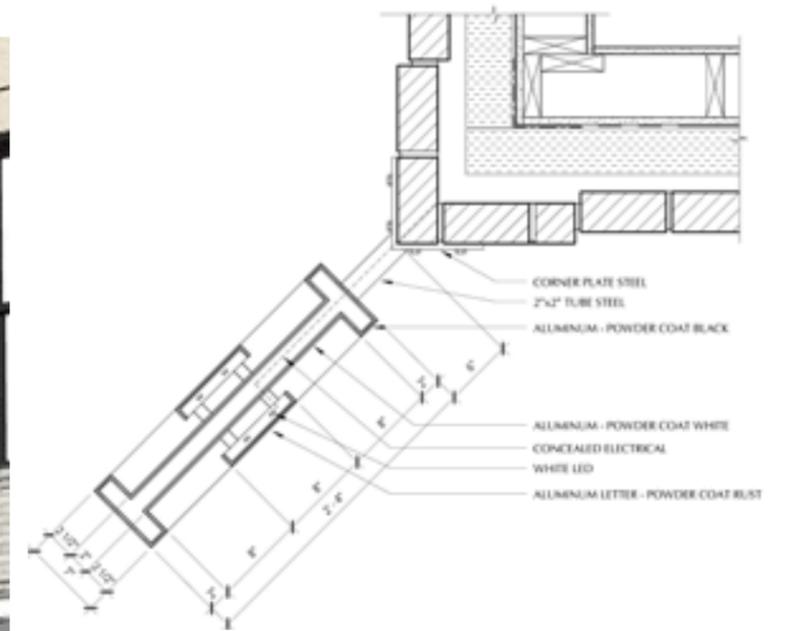
FUTURE RETAIL BLADE SIGN



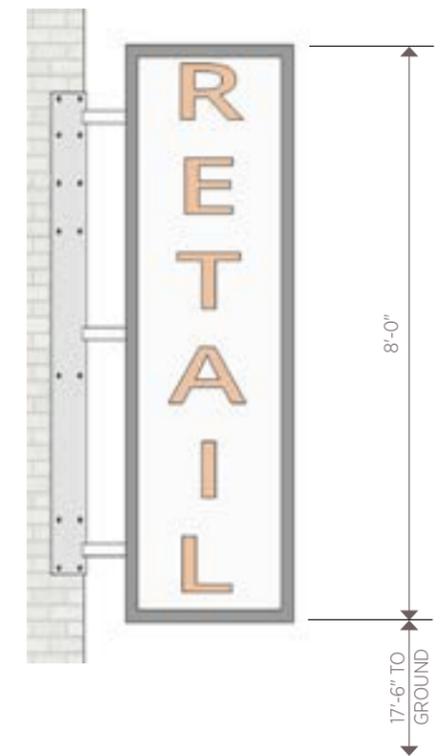
FUTURE RETAIL BLADE SIGN PLAN/ELEVATION



FUTURE CORNER PROJECTING SIGN

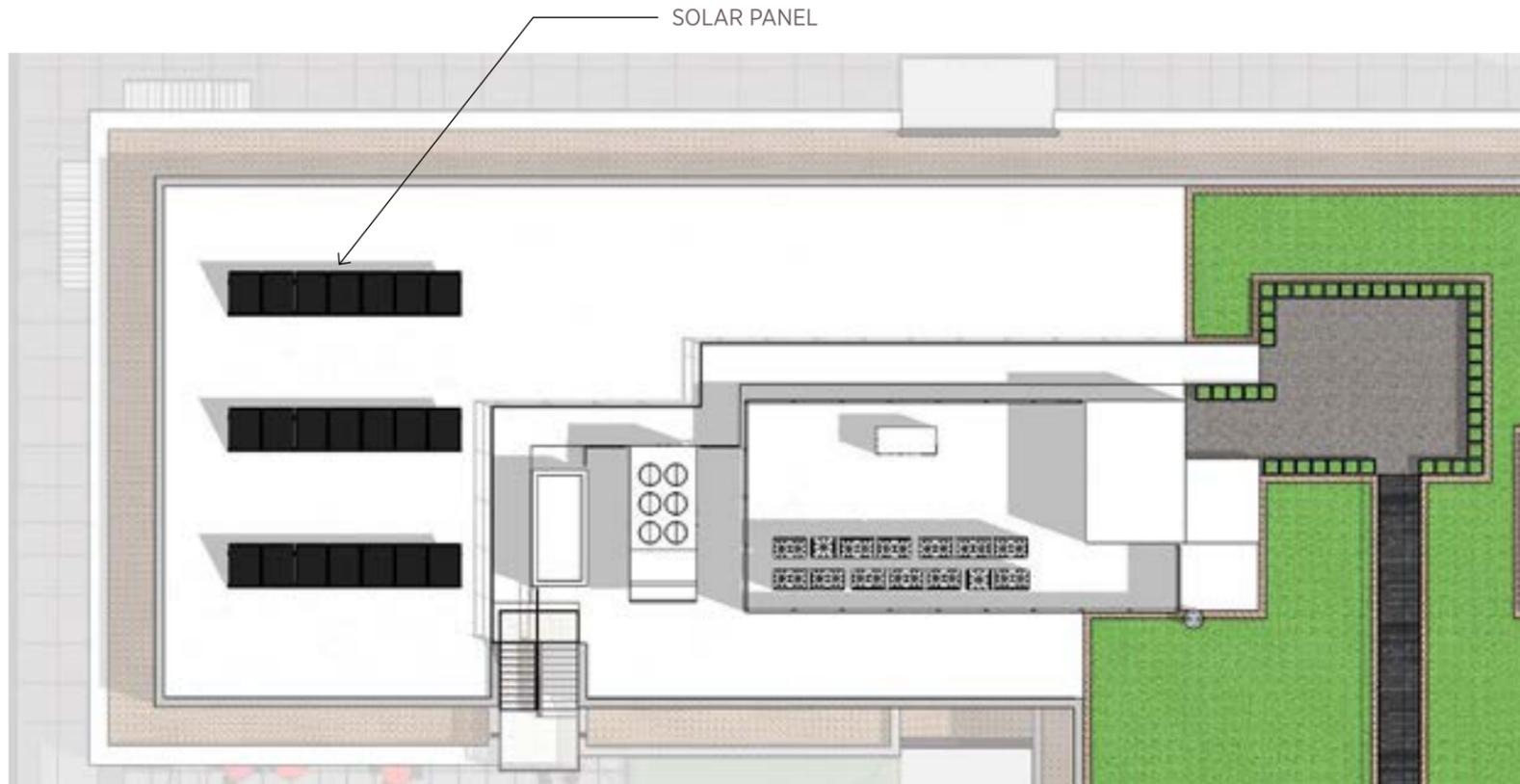


FUTURE CORNER PROJECTING SIGN PLAN

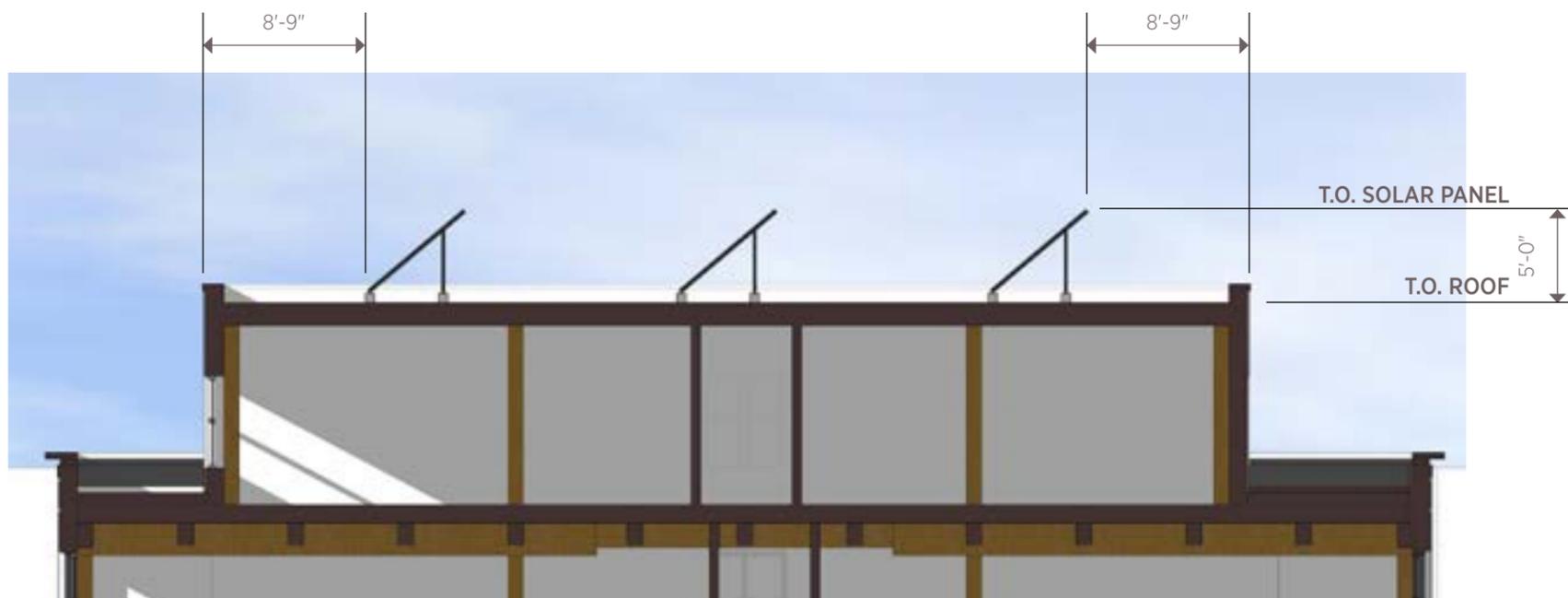


FUTURE CORNER PROJECTING SIGN ELEVATION

CONCEPT
SOLAR HOT WATER



NORTHWEST CORNER ROOF PLAN



SECTION AT SOLAR HOT WATER PANELS



ROOF MOUNTED SOLAR HOT WATER PANELS EXAMPLE

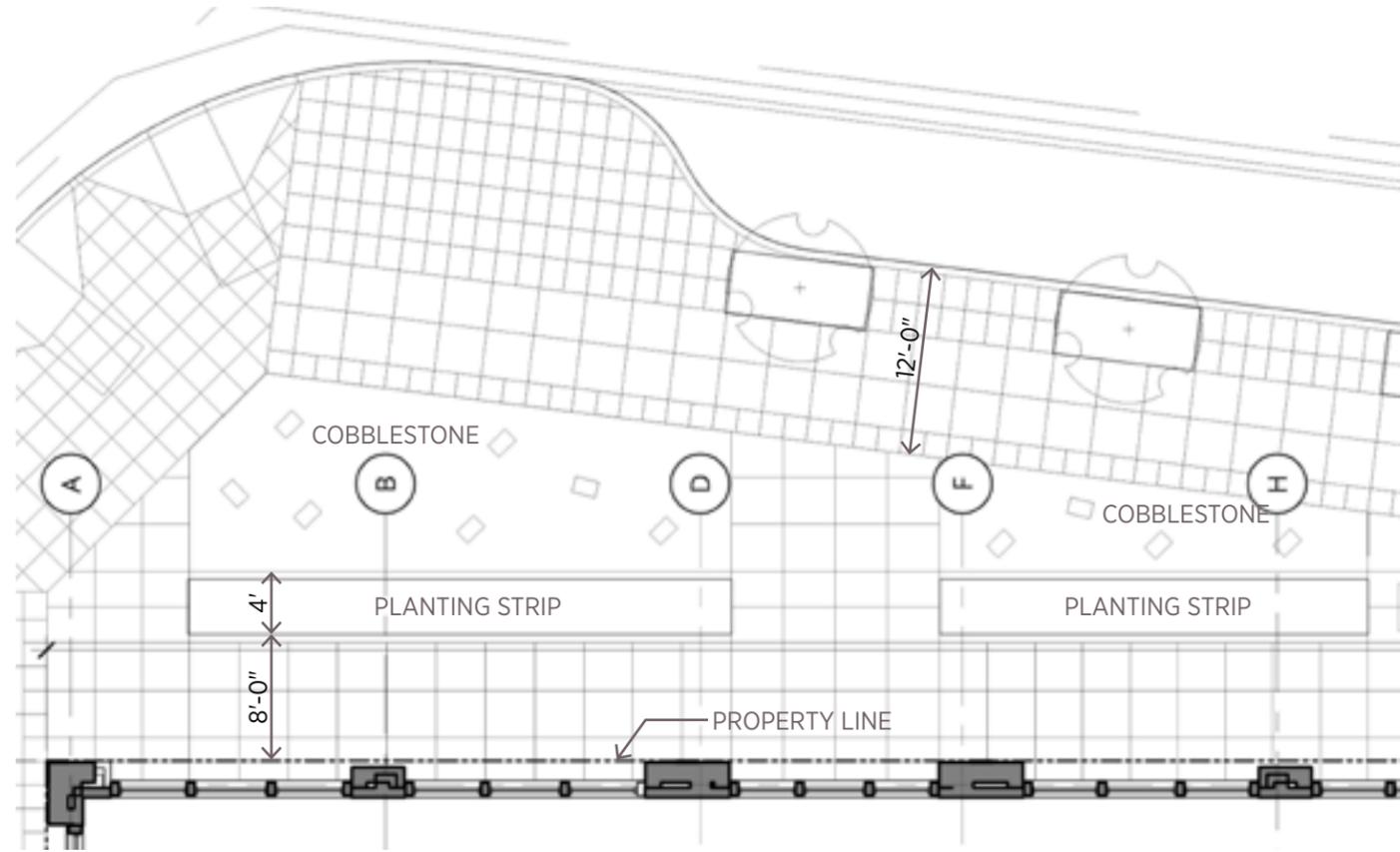
SPEC SERIES 96-106 RATINGS (SOLAR DAYS)			
Capacity (Gallons)	G001 406 96	G001 408 102	G001 410 108
Collection Number	3010196C	30101102C	30101108C
# of PVTs	36.9	40.7	44.5
R (BPT)	36.8	42.0	32.8
C (BPT)	26.7	38.8	44.7
I (BPT)	20.9	24.5	30.1
S (BPT)	12.0	14.6	18.2

TECHNICAL SPECIFICATIONS			
	G001 406	G001 408	G001 410
Gross Area	26.94 sq ft	32.21 sq ft	40.15 sq ft
Net Area	24.91 sq ft	29.61 sq ft	36.3 sq ft
Dry Weight	19 lbs	22 lbs	27 lbs
Wind Capacity	6.8 psf	12.2 psf	6.8 psf
Maximum Operating Pressure	100 psi (10.34 bar)		
Recommended Design Flow (gpm/ft ² net)	0.8 gpm/ft ²	1.0 gpm/ft ²	1.25 gpm/ft ²
Recommended Design Flow (gpm)	0.7 gpm	0.8 gpm	1.0 gpm
Wind Speed Certification	69 mph (31.5 m/s)		

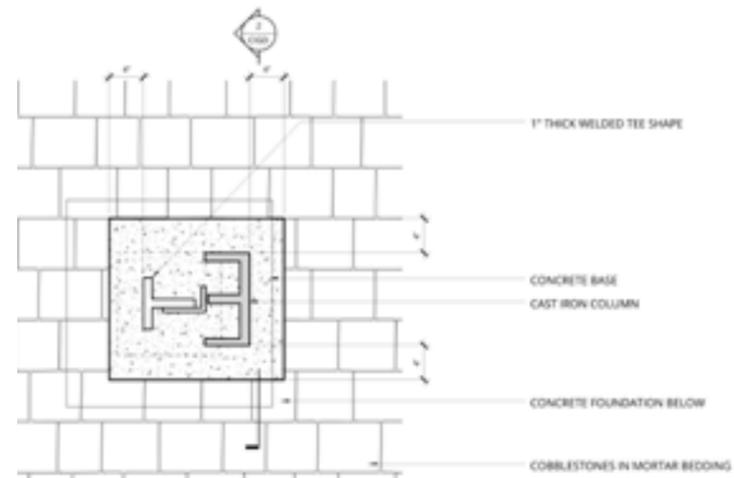
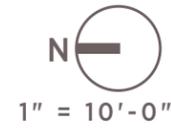
heliodyne
SOLAR HOT WATER

CONCEPT

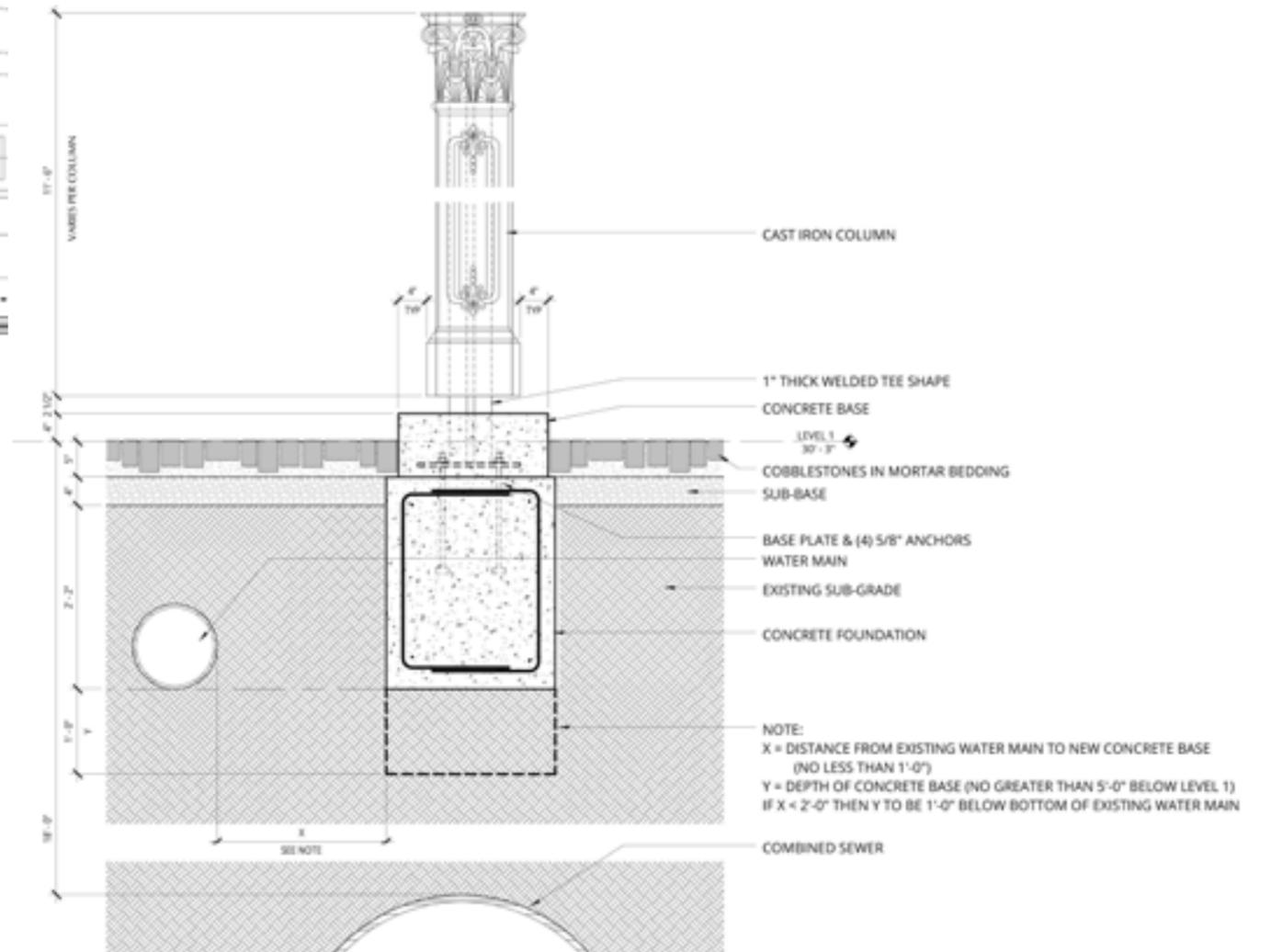
THE GROVE - PLAN AND DETAILS



GROVE PLAN - SHOWN FOR CONCEPT ONLY. FINAL LAYOUT TO BE DESIGNED IN CONJUNCTION WITH BES, WATER, AND AN ARTIST AND APPROVED THROUGH A TYPE II STAFF LEVEL REVIEW. APPLICANT TO POTHOLE THE WATER LINE TO VERIFY DEPTH AND LOCATION.

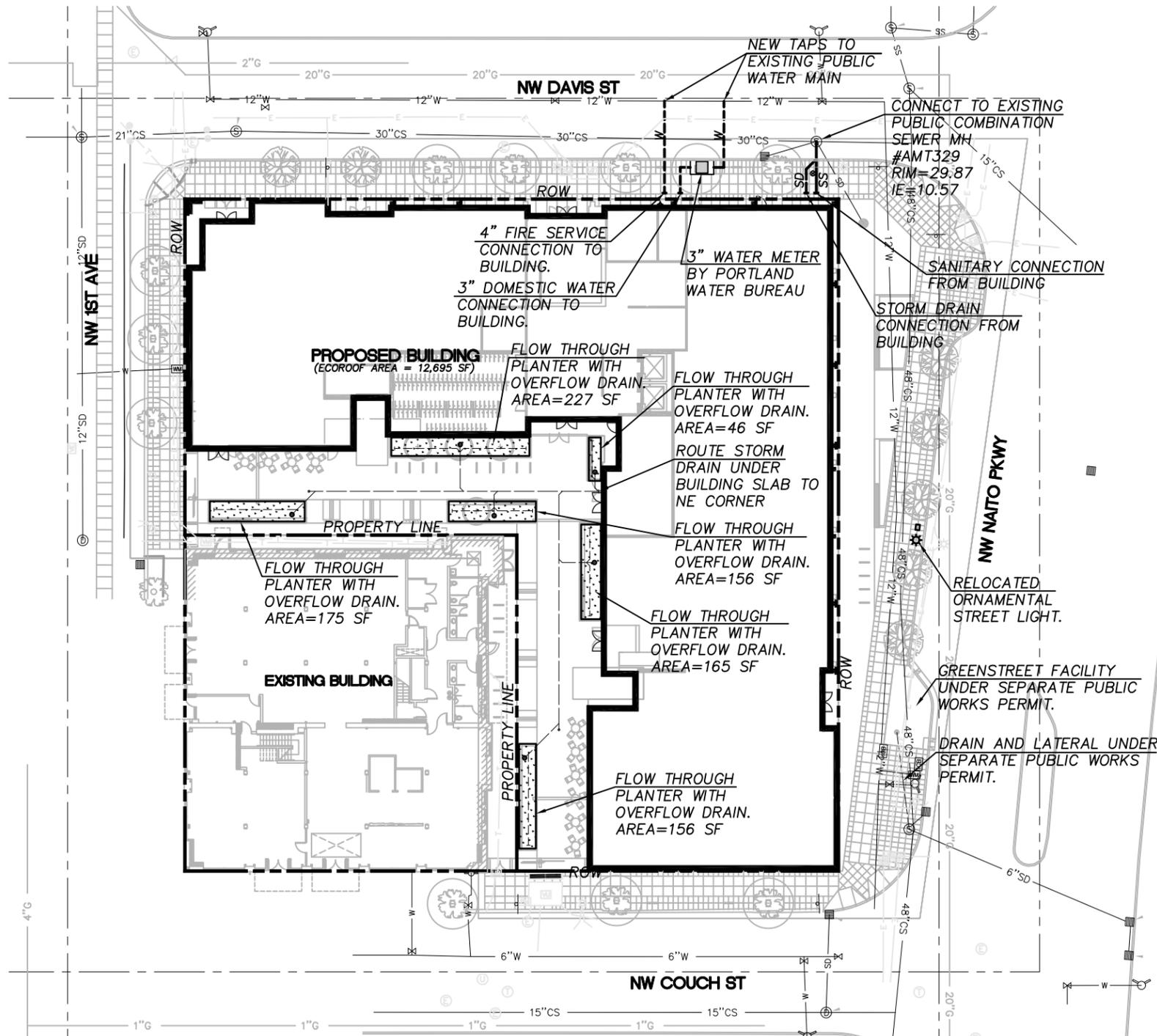


TYPICAL COLUMN BASE PLAN DETAIL



TYPICAL COLUMN SECTION

CONCEPT
STORMWATER PLAN

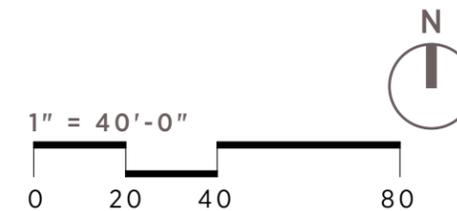


STORMWATER NARRATIVE

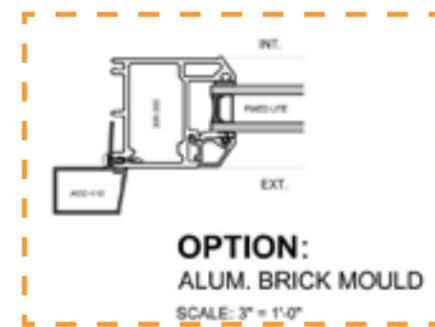
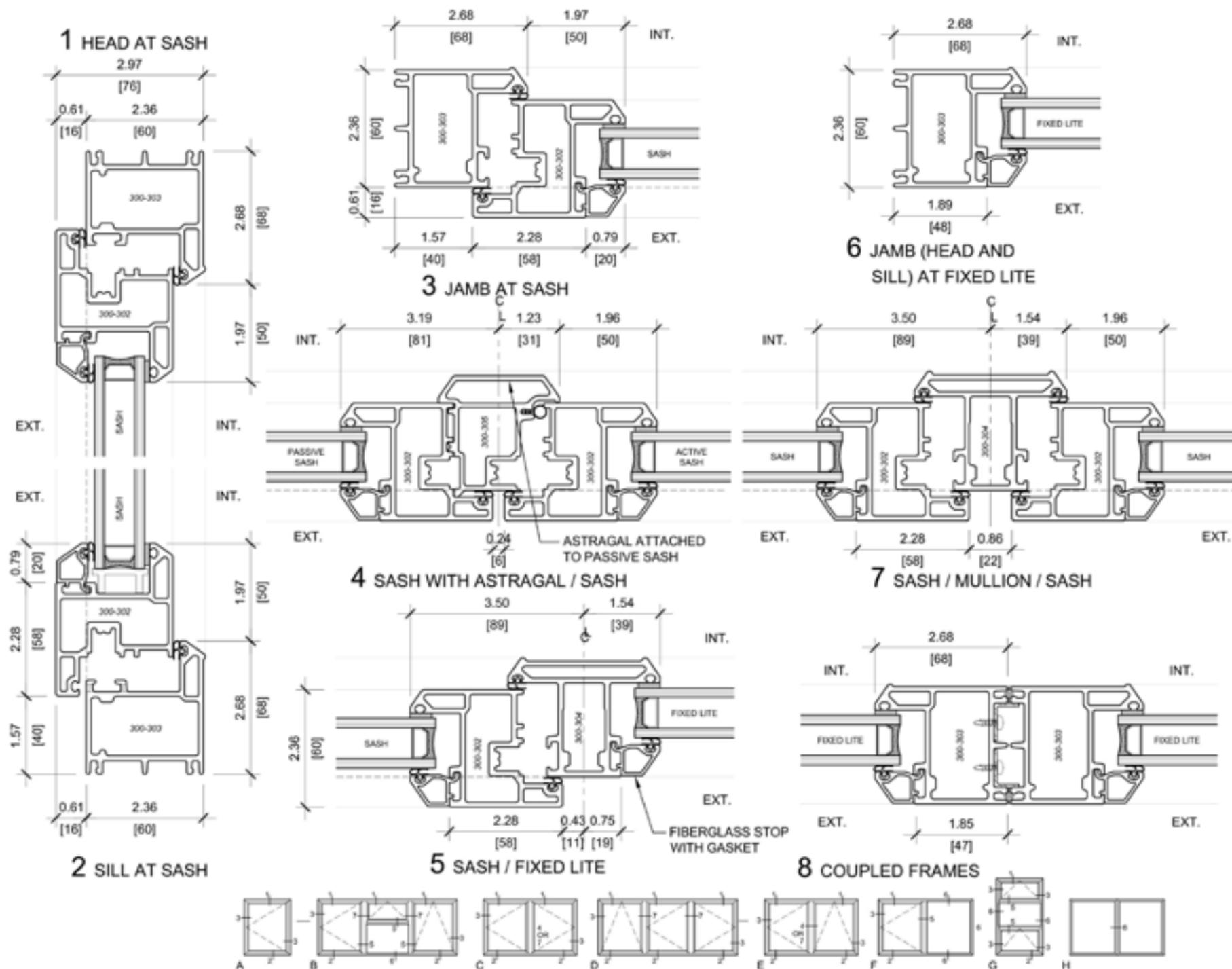
WATER QUALITY AND WATER QUANTITY
WATER QUALITY AND WATER QUANTITY ARE MET WITH A COMBINATION OF ECOROOF (12,695 SF) AND STORMWATER FLOW THROUGH PLANTERS (925 SF). THE STORMWATER FLOW THROUGH PLANTERS WILL TREAT ROOF AREA THAT IS NOT ECOROOF AND THE RUNOFF FROM THE COURTYARD.

DISPOSAL
INFILTRATION IS NOT FEASIBLE ON THIS SITE DUE TO CONTAMINATED SOILS. THERE IS NO STORM-ONLY SYSTEM AVAILABLE TO THE SITE. THE PROJECT WILL FALL UNDER CATEGORY 4 OF THE STORMWATER DISPOSAL HEIRARCHY WITH A CONNECTION TO THE PUBLIC COMBINED SEWER SYSTEM IN NW DAVIS.

PUBLIC STREET IMPROVEMENTS
THE CURB ON NW NAITO PARKWAY WILL BE SHIFTED TO PROVIDE ON STREET PARKING. A GREENSTREET FLOW THROUGH PLANTER WILL BE LOCATED AT THE SOUTH END OF NW NAITO PARKWAY AND WILL MANAGE STORMWATER RUNOFF FROM ALL NEWLY CONSTRUCTED IMPERVIOUS AREA ON NW NAITO PARKWAY. THE EXISTING CURB LOCATION ON NW FIRST, NW DAVIS, AND NW COUCH WILL REMAIN AND THEREFORE STORMWATER MANAGEMENT IS NOT REQUIRED.



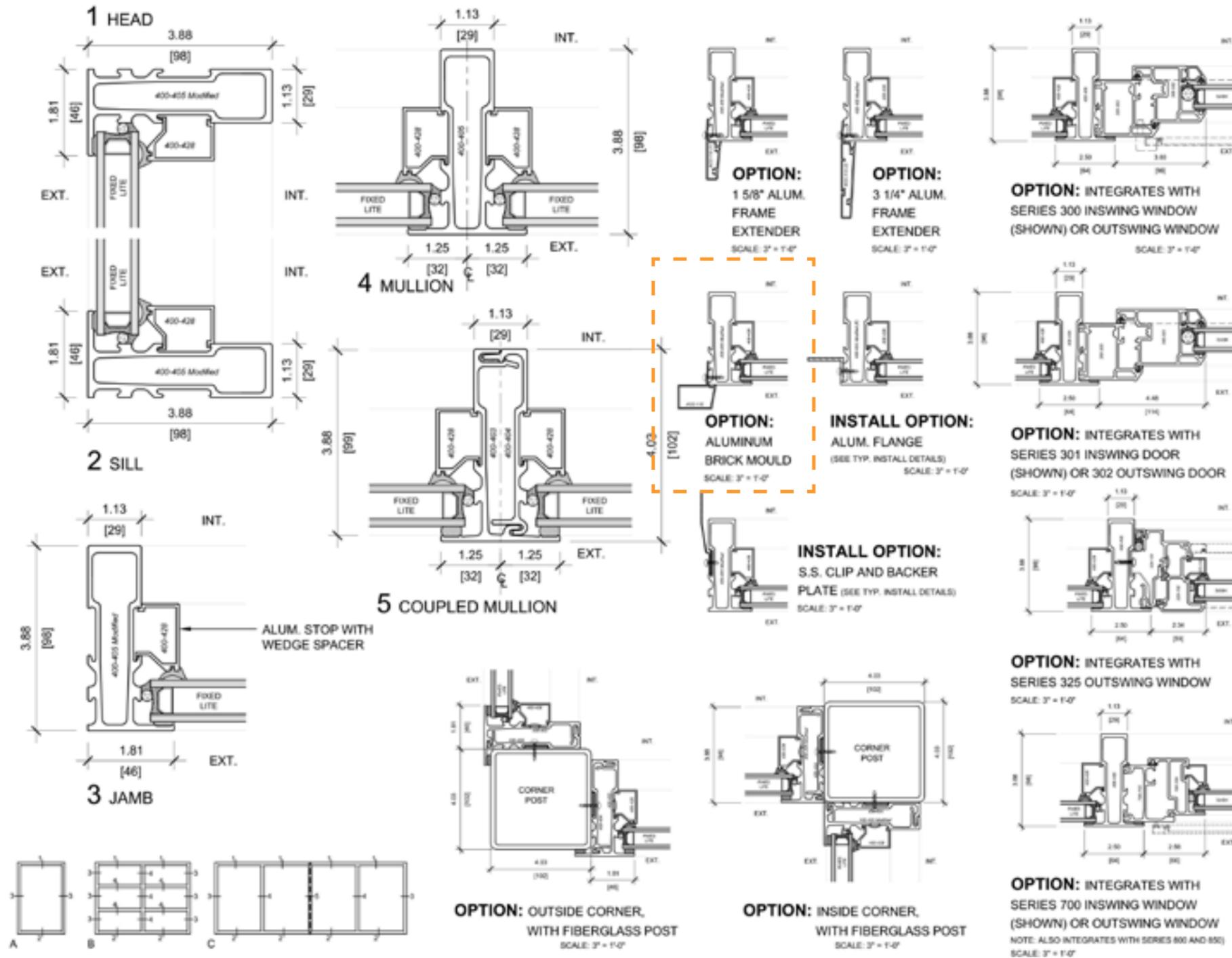
FIBERGLASS WINDOW CUT SHEET



CONCEPT

WINDOW MANUFACTURER'S CUTSHEETS

FIBERGLASS STOREFRONT WINDOW SYSTEM CUT SHEET



IN GRADE UPLIGHT AT CAST IRON GROVE



Lightvault® LTV8FF
Flat Frame
1/15/14 • kl_lv8ff_spec.pdf

Type:
Job:
Fixture Catalog number:

Optional Features:

Approvals:

Lens Ring Distribution Source Color Temp. Voltage

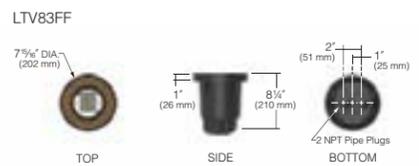
Lens Options: Ordered separately from fixture. See page 3.
CAUTION: Options must be installed at factory.
Opening component module on site will void warranty.

Date:
Page: 1 of 3

Ordering Example: LTV81FF/SP/36L5KUV/SR/HL/RCA81

Specifications

Pour Box rough-in housing ships separately and as a quick-ship if requested.



LIGHT DISTRIBUTIONS:

LTV81FF, LTV82FF, LTV83FF



HOUSING: Pour Box rough-in housing for installation below grade. High temperature UV resistant thermal plastic, 3/16" minimum wall, black. Includes a splice box with molded plastic splice cover and silicone gasket. Three 1" NPT in bottom for through wiring on LTV81 and LTV82. Two 1" NPT in bottom for through wiring on LTV83. 107 cu. in. splice area for LTV81. 52 cu. in. splice area for LTV82. 24 cu. in. splice area for LTV83. Housing supplied with protective aluminum debris shield mask with orientation label for proper installation alignment for clean and easy installation in concrete pad or soil. Ships separately and as a quick-ship if requested.

COMPONENT MODULE: One-piece impregnated cast bronze, fully sealed component module secured to the face trims from the underside. A high temperature, IP67 sealed cable extends from the component module to the splice box inside the housing. The fully assembled component module is secured to the housing with (4) 1/4"-20 tamper-resistant high grade stainless steel fasteners.

FACE TRIM: One-piece cast bronze lens ring fastened to the component module from the underside shall provide a flat surface.

OPTICAL MODULES: Spot (SP), Narrow Flood (NF), and Wall Wash (WW) optical modules are adjustable up to 15° utilizing a Bluetooth enabled motor assembly.

BLUETOOTH: Integral Bluetooth module used to adjust optics and dim fixture to desired setting when paired with KIM LTV8 Remote App via cellular/tablet device. Fully qualified Bluetooth 1.1, 1.2, 2.0, 2.1. Bluetooth v2.0+EDR compatible with Android devices running Android Gingerbread API level 9 forward. Bluetooth 4.0 LE compatible with iOS devices - iPhone 4S and later, 5th generation iPod touch, the iPad Mini and the 3rd generation and later of the full size iPad with iOS 5 or later. Bluetooth Apps are available for Apple iOS and Google Android mobile devices and are downloadable via the internet at Apple App Store or Google Play.

LENS: Clear 5/16" thick tempered glass lens and silicone gasket is retained securely within the component module.

OPTIONS: Slip Resistant Lens (SR), Hex Cell Louver (HL), Prismatic Lens (PL), Rebar Cage Anchor (RCA8x). See page 3 for details.

ELECTRICAL EQUIPMENT: All electronic components are UL and CSA recognized and mounted directly to the component module for maximum heat dissipation and modularity. Driver is IP67 with -30°C minimum temperature rating.

DRIVE-OVER DURABILITY: When installed in concrete, fixture will withstand drive-over by vehicles weighing up to 10,000 lb.

CERTIFICATION: (UL1598, UL8750).

U.S. Patents Pending.



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UNDER BENCH LED TAPE LIGHTS

CAT: _____ FEET: _____
TYPE: _____ PROJECT: _____

TIVOTAPE™ OUTDOOR SB
STANDARD BRIGHTNESS
Static IP68 LED tape light strip emits sharp, pure color for unique effects in outdoor niche, cove and architectural applications



FEATURES

- Flexible flat conductor strip with closely spaced LEDs encased in rectangular IP68 molded jacket allows for wide range of installation possibilities
- Ideal for exterior cove, under-bar/cabinet, landscape lighting accents
- Sold per foot manufactured in continuous lengths and shipped manufactured to specified lengths with factory attached end preps
- Max continuous lengths: up to 22' per run
- Smooth 0% to 100% range dimming capability with commercially available 0V-10V dimming protocol or MLV (magnetic) and ELV (electronic) low voltage dimming control. (See page 4)

SPECIFICATIONS

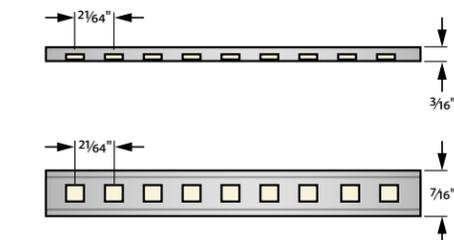
TIVOTAPE SB 3.0 WATT OUTDOOR TAPELIGHT	EFFICACY LM/WT	CRI	LM/FT	WT/FT
Delux Warm White 2400°K	55.00	75.7	165	3.0
Delux Warm White 2700°K	47.34	79.4	142	3.0
Warm White 3000°K	49.00	80.5	147	3.0
Neutral White 3500°K	57.34	79.8	172	3.0

Items in bold denote Title 24 High efficacy rating. Measurements are based on 24V DC power design calculations will vary based on power supply and run lengths

LED DATA	WATTAGE	LED LIFE* / COLOR TEMP	VIEWING ANGLE
Tivotape SB 3.0 Outdoor Tapelight	0.085W per LED	40,000 hrs Delux Warm White 2400°K +/-100°K Delux Warm White 2700°K +/-100°K Warm White 3000°K +/-100°K Neutral White 3500°K +/-100°K	120°

*LEDs operate at 70% of LED manufacturers maximum current spec rating

PROFILES



- Spacing—LED spacing: 2 1/8" OC
- LEDs—36 LEDs per foot
- Mounting—Includes installation-ready 3M tape adhesive for simplified installation directly to mounting channel or application surface
- Installation—Optional clear Polycarbonate and Aluminum Channels (for damp weather protected areas only) may be used separately or with decorative, protective covers
- End Preps—Factory attached end preps available (see Page 2)
- Field Trimmable—2" cuttable sections (See page 3 for cut zones)
- Power Supply—Listed Class II 24V DC power supply required
- Listing—cETLus listed file #400B134
- Compliance—ROHS compliant
- Warranty—3 year warranty



TIVOTAPE SB 3.0 OUTDOOR TAPELIGHT ORDER SPECIFICATION GUIDE

EXAMPLE: TPL-SB-3.0-O-24-C-24

PRODUCT CODE	INTENSITY	WATTAGE	INSTALL	LED COLOR	CONTINUOUS	VOLTAGE	REQUIRED POWER SUPPLY
TPL - SB - 3.0 - O -					C	24	PSU
Tivotape™ SB-Standard Brightness	3.0=3.0 watts per foot	O=Outdoor IP66	24 = Delux Warm White (2400°K +/-100°K) 27 = Delux Warm White (2700°K +/-100°K) 30 = Warm White (3000°K +/-100°K) 35 = Neutral White (3500°K +/-100°K)	C = Continuous	24=24V DC	See power supply & dimmer selection guide on page 4	

REQUIRED POWER SUPPLY OPTIONS

- ADN120-1-4-24-D
 - ADN240-2-4-24-D
 - ADN320-3-4-24-D
 - JTH100-1-4-24-D
 - JTH100-1-4-24-D
 - JT300-3-4-24-D
 - JTH300-3-4-24-D
 - MT100-1-4-24-D
 - MW120-1-4-24-D
- See power supply specifications for more information

OPTIONAL DIMMERS

- N-600
 - NH-600
 - N-1000
 - NH-1000
 - DIM-OT-1-4-D
- See power dimming specifications for more information



CONCEPT

LIGHTING MANUFACTURER'S CUTSHEETS

SUSPENDED PENDANT



LUMINAIRE SPECIFICATION

Head Office: Tel: 503-645-0500
7144 NW Progress Ct Fax: 503-645-8100
Hillsboro, Oregon 97124
www.ligmanlightingusa.com

IP55 : Suitable for Wet Locations
IK07 : Impact Resistant (Vandal Resistant)



UAA-95091

Atlantic medium shade pendant LED

A pendant luminaire with a small and medium size shade decorative lantern and symmetrical light distribution using energy saving compact fluorescent as well as metal halide and high pressure sodium lamps. Developed to compliment the Atlantic wall light, Atlantic bollard and Atlantic pillar light. Designed for lighting entrances, retail outlets, malls and showrooms. Painted galvanized steel pendant rod, low copper content die cast housing with high corrosion resistance. Stainless steel screws. Durable silicone rubber gasket and opal glass diffuser. Housing is treated with a chemical chromated protection before powder coating, ensuring high corrosion resistance. Integral control gear.

Physical Data

Diameter: 19.69"
Height: 38.86"/39.37"
Weight: 17.8 lbs

Lamp

41w - 1875lm - White - LED ©

LED Color (Please Specify)

W27 - 2700K
 W30 - 3000K
 W40 - 4000K

Voltage (Please Specify)

120V
 277V
 Other _____

Options (Please Specify)

Color (Please Specify)

01-Black - RAL 9011
 03-White - RAL 9003
 05-Matt Silver - RAL 9006
 06-Bronze - RAL 6014
 02- Dark Grey - RAL 7043
 04 - Metallic Silver - RAL 9006
 07- Custom - RAL _____

Shade Style

(1) Swept Shade (2) Straight Shade

Top Style

(1) Dome (2) Cone Top

Cage - A90621

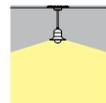
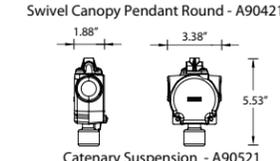
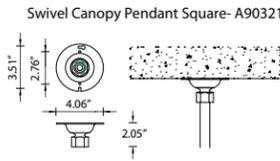
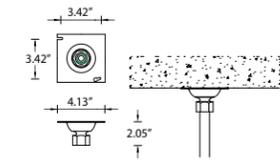
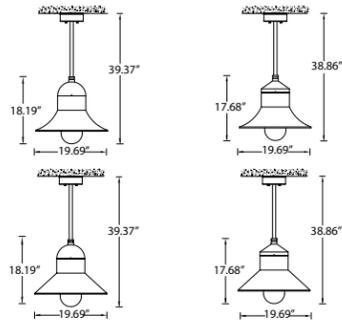
Swivel Canopy Pendant Square - A90321

Swivel Canopy Pendant Round - A90421

Catenary Suspension - A90521

50w LED COB

90w LED COB



Ordering Example : UAA - 95091 - White- 41w - 120v - Options

PROJECT: _____ DATE: _____

TYPE: _____ QUANTITY: _____ NOTE: _____

Ligman Lighting USA reserves the right to change specifications without prior notice, please contact factory for latest information. Due to the continual improvements in LED technology data and components may change without notice.



SLOT LIGHT FOR STAIR LANDINGS

M60 LED

Linear LED Direct Surface, Pendant & Wall



Project: _____
Type: _____ Qty: _____

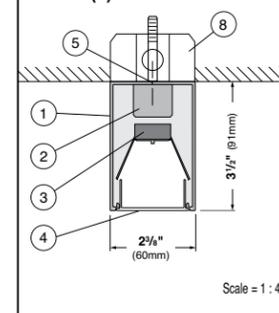
L60 Series	1L35 Light Engine	CCT	LW Shielding	Mounting	Nominal Length	Finish	Voltage

Options

Series	Light Engine	CCT	Shielding	Mounting	Nominal Length	Finish	Voltage	Options
L60 M60 Direct Linear LED Multi-Mount Form	1L35 Single Linear LED	27 2700K 30 3000K 35 3500K 40 4000K	LW LED optimized white lens	C Cable S Swivel Stem RS Rigid Stem W Wall Mount F Surface Mount	01 1 ft. 02 2 ft. 03 3 ft. 04 4 ft. 05 5 ft. 06 6 ft. 07 7 ft. 08 8 ft. RUN Create Run Runs can be pre-configured using various combinations in 1/4" steps, starting at 8ft.	WH White BK Black SV Silver SP Specify Premium Color	120 277	DM ¹ Dimming (0-10V) Linear DML ¹ Dimming (0-10V) Logarithmic DCE ¹ Lutron Eco-System Dimming CCR DC3 ¹ Lutron 3-Wire Dimming CCR DMD ¹ Digital Addressable (DALI) Dimming DL Damp Location

¹ Consult factory for less than 2 ft. fixture length.

Surface (F)



1. **Housing** - Continuous, 6063-T6 extruded aluminum profile up to 12 feet long. Joined with Connector Plus Joining System for ease of installation and to ensure a uniform appearance. For use in insulated ceilings, designed for direct contact with thermal insulation.

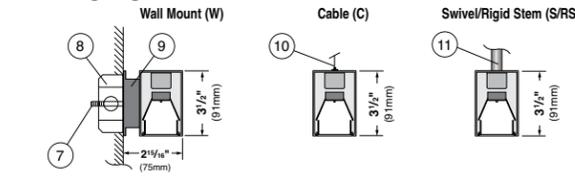
2. **Driver** - Electronic Class 2 driver, universal for 120/277V, high efficiency, PFC-0.95, soft start. Lutron A-Series (DC3/DCE), 0-10V Linear (DM) and 0-10V Logarithmic (DML) or DALI (DMD) dimming may be specified as well.

3. **LED Light Engine** - High efficiency LED light engine equipped with brand-name LEDs, available in 2700K, 3000K, 3500K, or 4000K. CCT tolerance within a 3-step MacAdam ellipse.

4. **Shielding** - LED Optimized white acrylic diffuser lens.

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FAX (845) 834-1401
www.selux.us
L60U-041-01 (ss+Q4)

Mounting Diagrams



5. **Ø 7/8" Feed Hole** - Drilled at factory. See p. 3 for details.

6. **Ø 9/32" Mounting Hole** - (not shown) Drilled at factory. See p. 3 for details. Mounting hardware supplied and installed by others.

7. **Ø 1/4" Threaded Rod and Mounting Hardware** - To anchor End Cap Support Bracket/Wall Bracket, supplied and installed by others.

8. **Outlet Box** - Supplied and installed by others. Use 2" x 4" outlet box.

9. **Wall Bracket** - 4" square aluminum wall bracket provided. See layout pages for details.

10. **1/16" Aircraft Cable Suspension** - Supplied with chrome gripper for easy adjustment. 48" max suspension from ceiling to top of luminaire.

11. **5/8" Steel Swivel Stem or Rigid Stem Suspension** - Swivel Stem provides 30° swivel rotation and can be

cut in field; Rigid Stem can not be cut in field. 48" max suspension from ceiling to top of luminaire.

Linear Runs - Continuous run configurations are available in 1/4" steps, starting at 8ft. Round up length to nearest nominal foot to generate order code. Suspension points might not be symmetrical for certain run length. Please consult factory if symmetrical suspension locations are required.

Interior Luminaire Finish - Selux utilizes a high quality Polyester Powder Coating. All Selux luminaires are finished in our Tiger Drylac certified facility and undergo a five stage intensive pretreatment process where product is thoroughly cleaned, phosphated, and sealed. Selux powder coated products provide excellent salt and humidity resistance as well as ultra violet resistance for color retention. All products are tested in accordance with test specifications for coatings from ASTM and PCI.

Standard interior colors are White (WH), Black (BK), and Silver (SV).

Selux premium colors (SP) are available, please specify from your Selux color selection guide.

5 Year Limited LED Luminaire Warranty - Selux offers a 5 Year Limited Warranty to the original purchaser that the M60 LED luminaire shall be free from defects in material and workmanship for up to five (5) years from date of shipment. This limited warranty covers the fixture, LED driver and LED light engine when installed and operated according to Selux instructions. Fixture suitable for ambient temperature of 35° C (95° F). For details and exclusions, see "Selux Terms and Condition of Sale."

Listings and Ratings: Tested to IESNA LM-79-08 and LM-80 test standards at 25° C ambient temperature.



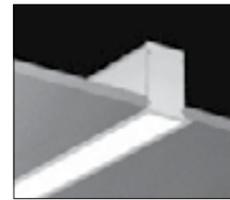
For DoE Lighting Facts labels, see p.2

RECESSED SLOT AT BUILDING ENTRIES

M60 LED

Recessed Linear LED Flanged Extrusion





Project: _____
 Type: _____ Qty: _____

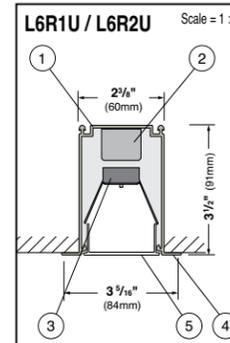
Series	Light Engine	CCT	Shielding	Mounting	Nominal Length	Finish	Voltage
- 1L35	-	-	- LW	-	-	-	-

Options

Series	Light Engine	CCT	Shielding	Mounting	Nominal Length	Finish	Voltage	Options		
L6R1U M60 Recessed Linear LED Flanged Extrusion	1L35 Single Linear LED	27	2700K	LW LED optimized white lens	SH Suspension Clips	WH White	120	DM ¹ Dimming (0-10V) Linear		
		30	3000K		02 2 ft.				BK Black	DML ¹ Dimming (0-10V) Logarithmic
		35	3500K		03 3 ft.				SV Silver	DCE ¹ Lutron Eco-System Dimming CCR
		40	4000K		04 4 ft.				SP Specify Premium Color	DC3 ¹ Lutron 3-Wire Dimming CCR
L6R2U M60 Recessed Linear LED Flush End (Flanged Extrusion / Flangeless Endcaps) (L6R2U not to be used with T-Bar ceiling)				RC ^{2,3} Rotating Crossbars	05 5 ft.			DMD ¹ Digital Addressable (DALI) Dimming		
				06 6 ft.			CCEA ⁴ Chicago Plenum			
				07 7 ft.			EMN ¹ Battery Pack			
				08 8 ft.			TB T-Bar Length (used for RUN only)			
			PM Perimeter Mount				DL Damp Location			
				RUN Create Run						

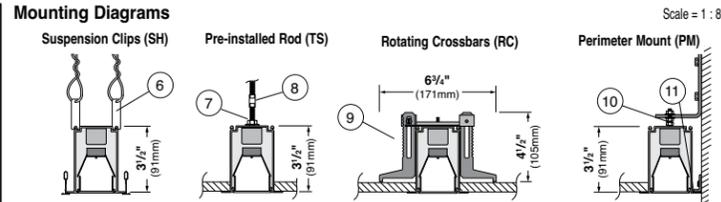
RUNs can be pre-configured using various combinations in 1/4" steps, starting at 8ft.

¹ Consult factory for less than 2 ft. fixture length. ² 3 ft. minimum when using with DM, DML, DMD, or EMN. ³ RC mounting not available for 1' length. ⁴ Not available in combination with EMN.



- Housing** - Continuous, 6063-T6 extruded aluminum profile up to 12 feet long. Joined with Connector Plus Joining System for ease of installation and to ensure a uniform appearance. For use in insulated ceilings, designed for direct contact with thermal insulation.
- Driver** - Electronic Class 2 driver, universal for 120V/277V, high efficiency, PFC>0.95, soft start. Lutron A-Series (DC3/DCE), 0-10V Linear (DM) and 0-10V Logarithmic (DML) or DALI (DMD) dimming may be specified as well.
- LED Light Engine** - High efficacy LED light engine equipped with brand-name LEDs, available in 2700K, 3000K, 3500K or 4000K. CCT tolerance within a 3-step MacAdam ellipse.

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 FAX (845) 834-1401
 www.selux.us
 L6RJ-U0414-01 (ss+3.4)



- Flange** - 9/16" (14mm) wide flange runs full lengths of both sides and is part of the main extruded body. Specify continuous flange (L6R1U) or flush end (L6R2U). Flush end not to be used with T-Bar ceiling.
- Shielding** - LED Optimized white acrylic diffuser lens.
- Spring Steel Suspension Clips** - Supplied two places, located nominally every 4 ft. Support wires supplied and installed by others.
- Pre-installed 1" 1/4-20 Studs** - Attached to fixture, see p.3 for location details.
- Coupling & Threaded Rod to Structure** - Supplied and installed by others.
- Rotating Crossbar** - For inaccessible ceilings, adjustable for ceiling thicknesses from 1/4" to 2". Supplied, (2-3) per fixture.
- Steel Wall Bracket & 1/4-20 Rod** - Supplied, (2-3) per fixture, see p.3 for location details. (Fasteners to wall and wall anchors by others.)
- Aluminum Wall Bracket** - Secured to wall (fasteners and wall anchors by others) and runs entire length of fixture. Also supplied for width of fixtures when supplied with continuous flange. Allows for 1/8" gap between flange and wall to create shadow line allowing for unevenness of wall. See p.3 for location details.
- Flex Whip** - (not shown) Standard and dimming wiring. See p.4 for details.
- Stand-by Battery Pack** - (not shown) Mounted on top of and accessible through fixture housing. See p.4 for details.
- Linear Runs** - Continuous run configurations are available in 1/4" steps, starting at 8ft. Round up length to nearest nominal foot to generate order code. Suspension points might not be symmetrical for certain run length. Please consult factory if symmetrical suspension locations are required.
- Interior Luminaire Finish** - Selux utilizes a high quality Polyester Powder Coating. All Selux luminaires are finished in our Tiger Drylac certified facility and undergo a five stage intensive pretreatment process where product is thoroughly cleaned, phosphated, and sealed. Selux powder coated products provide excellent salt and humidity resistance as well as ultra violet resistance for color retention. All products are tested in accordance with test specifications for coat-
- 5 Year Limited LED Luminaire Warranty** - Selux offers a 5 Year Limited Warranty to the original purchaser that the M60 LED luminaire shall be free from defects in material and workmanship for up to five (5) years from date of shipment. This limited warranty covers the fixture, LED driver and LED light engine when installed and operated according to Selux instructions. Fixture suitable for ambient temperature of 35° C (95° F). For details, see "Selux Terms and Condition of Sale."
- Listings and Ratings:** Tested to IESNA LM-79-08 and LM-80 test standards at 25° C ambient temperature.

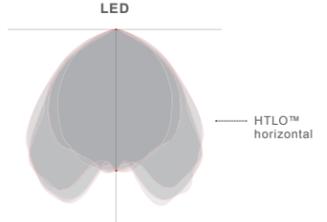
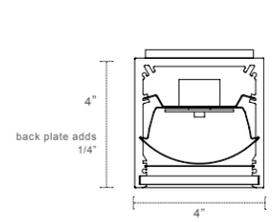
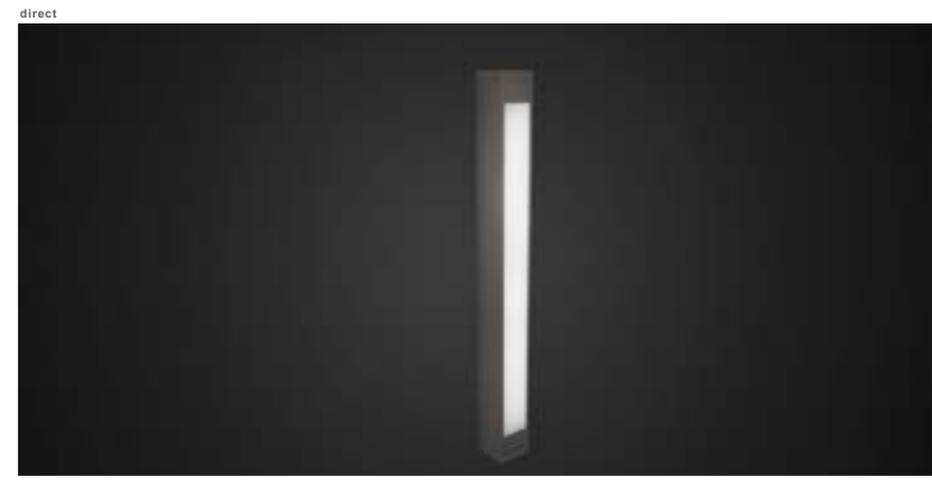
Union Made Affiliated with IBEW Local 363 | NRTL Listed for Damp Location (i.e. UL, CSA) | For IC and Non-IC Construction

In a continuing effort to offer the best product possible, we reserve the right to change, without notice, specifications or materials that in our opinion will the function of the product. Specification sheets found at www.selux.us are the most recent versions and supercede all other printed or electronic ver-



SURFACE MOUNTED WALL SCNCE

X4 | aire⁴



LED	1 board in cross
per foot	watts/ft lumens/ft
LL	2 120
LS	5 600

specifications subject to change - lumens at 4000K

Available Light Platforms:



Available Mounting:



CONCEPT

LIGHTING MANUFACTURER'S CUTSHEETS

FUTURE MARQUEE SIGN LIGHT

HINKLEY & R.

HINKLEY LIGHTING, INC.
35200 PIN OAK PARKWAY • AVON LAKE, OHIO 44012
(PH) 440.853.3303 (FX) 440.853.3333
HINKLEYLIGHTING.COM | FREDRICK&ROMO.COM



NEXUS SM. T SIGN LIGHT 15450BZ
BRONZE

WIDTH:	19.3"
HEIGHT:	4.5"
WEIGHT:	1.6 LBS
MATERIAL:	ALUMINUM
SOCKET:	2-4.50W LED *INCLUDED
NOTES:	6.8VA 470 LUMENS. LINEAR HEAD ROTATES 360 DEGREES FOR PRECISE ADJUSTMENTS. COMPATIBLE WITH ANY 12VAC TRANSFORMER.
LEADWIRE:	48.0"
VOLTAGE:	120V
UPC:	640665154504

AT HINKLEY, WE EMBRACE THE DESIGN PHILOSOPHY THAT YOU CAN MERGE TOGETHER THE LIGHTING, FURNITURE,
ART, COLORS AND ACCESSORIES YOU LOVE INTO A BEAUTIFUL ENVIRONMENT THAT DEFINES YOUR OWN PERSONAL
STYLE. WE HOPE YOU WILL BE INSPIRED BY OUR COMMITMENT TO KEEP YOUR 'LIFE AGLOW.'

lifeAGLOW®

ROOF MECHANICAL - DEDICATED OUTSIDE AIR



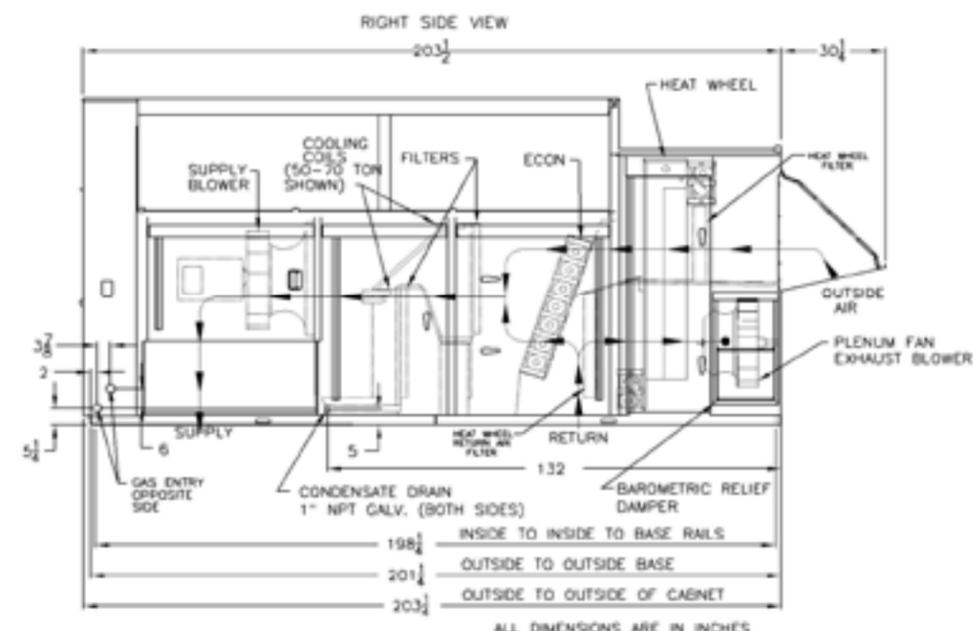
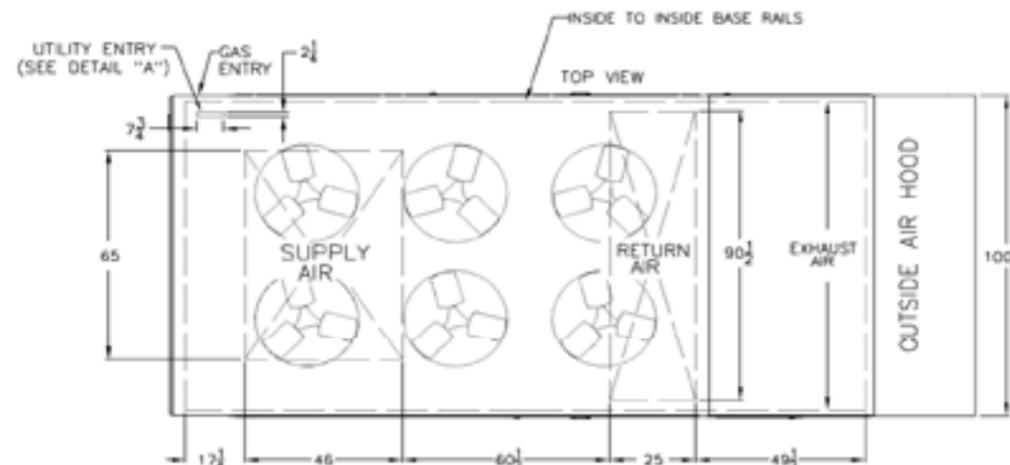
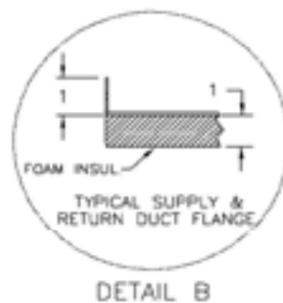
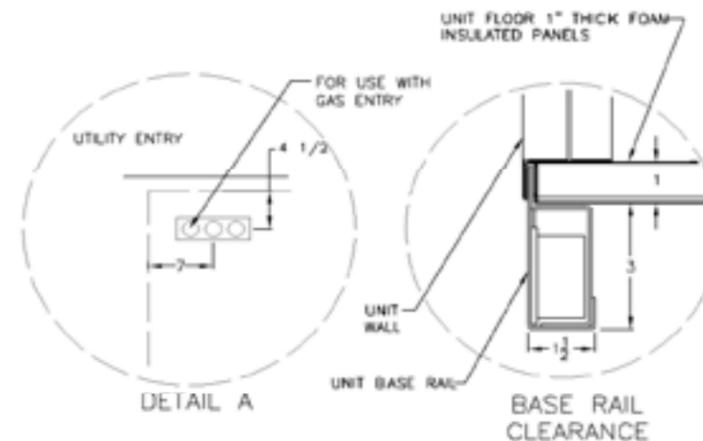
RN UNITS 26-70 TON

WITH ECONOMIZER AND HEAT WHEEL RETURN AIR FILTER WITH POWER EXHAUST

CLEARANCES	
LOCATION	UNIT SIZE
RETURN AIR BACK	26-70 TON
VENT SIDE FRONT	48
LEFT SIDE	48
RIGHT SIDE	70
TOP	UNOBSTRUCTED

NOTE: RIGHT AND LEFT SIDE UNIT CLEARANCES ARE INTERCHANGEABLE ON UNITS THAT DO NOT HAVE THE HYDRONIC HEATING OPTION. (UNITS WITH HYDRONIC HEAT MUST HAVE 70" RIGHT SIDE ACCESS FOR SERVICE.)

NOTE: 26-40 TON UNITS INCLUDES A SINGLE COOLING COIL. 50-70 TON UNIT INCLUDE TWO COOLING COILS.



RND-00107M NEW 02/11/14 JRL

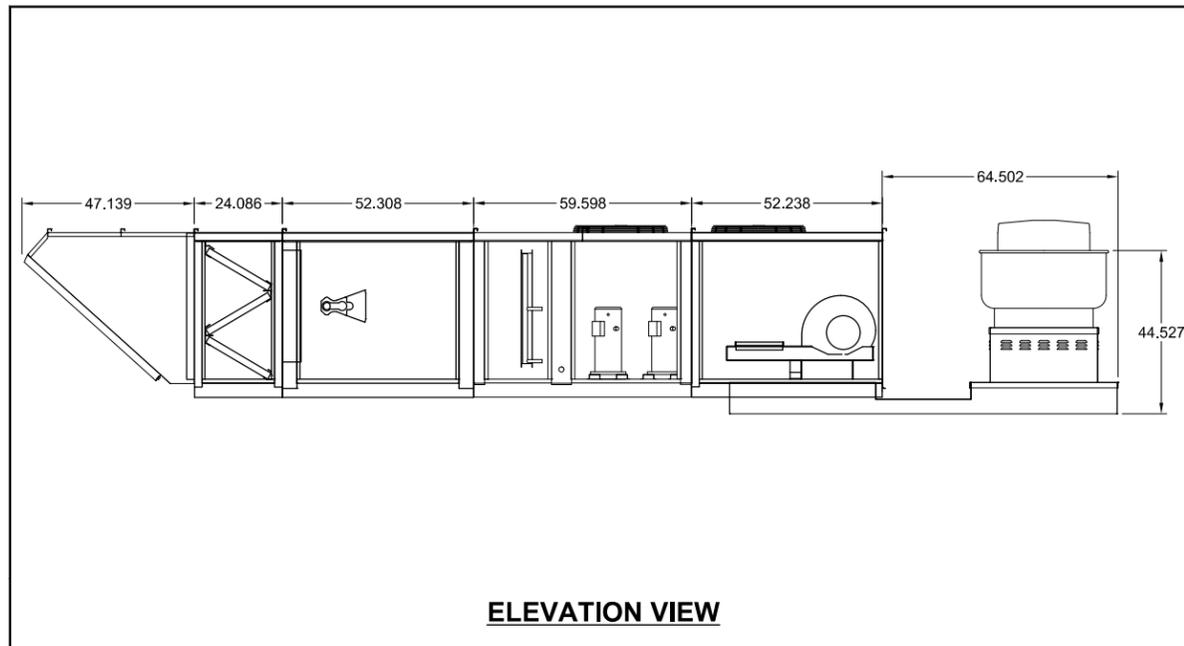
ALL DIMENSIONS ARE IN INCHES

CONCEPT

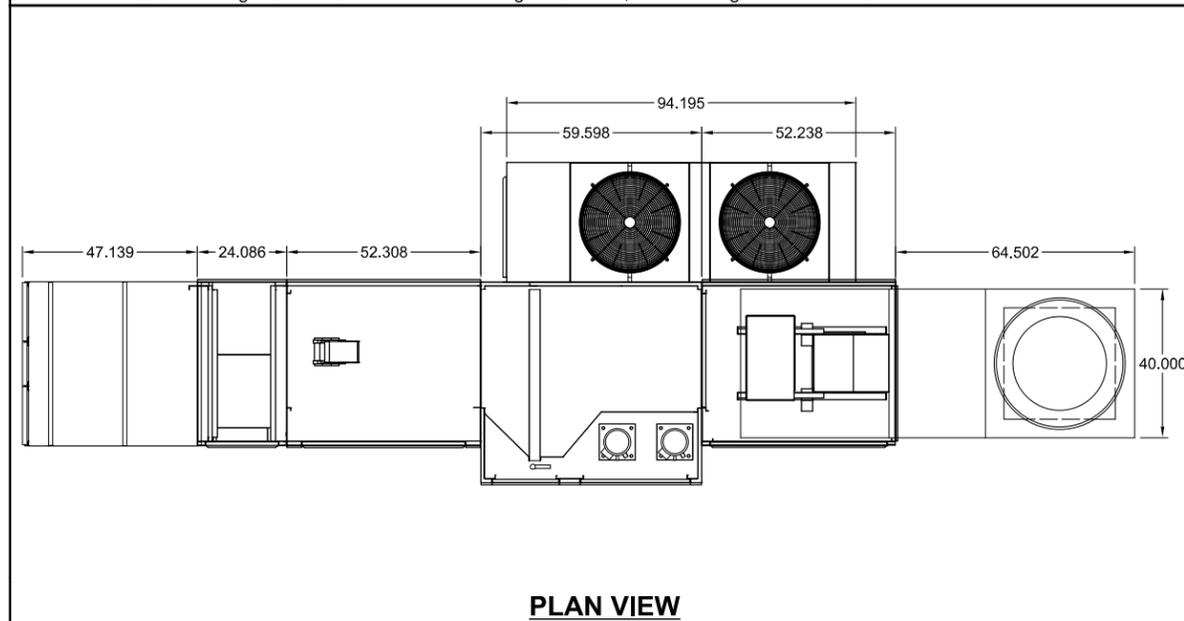
MANUFACTURER'S CUTSHEETS

**ROOF MECHANICAL - KITCHEN
MAKEUP AND AIR EXHAUST**

DGX-112-H22

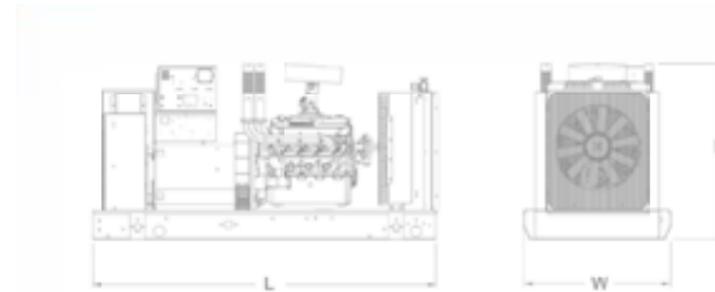


* Standard configuration for unit access is on the right-hand side, when looking into the unit intake in the direction of airflow.



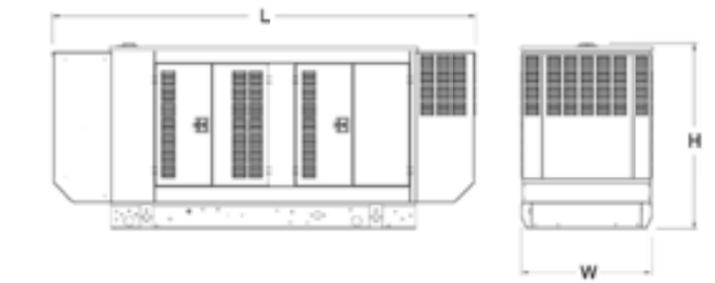
* Standard configuration for unit access is on the right-hand side, when looking into the unit intake in the direction of airflow.

ROOF MECHANICAL - GENERATOR



OPEN SET (Includes Exhaust Flex)

L x W x H in (mm)	94.2 (2394) x 40 (1016) x 47.5 (1206)
Weight lbs (kg)	2064 (936.2)
Sound Level (dBA*)	83.5



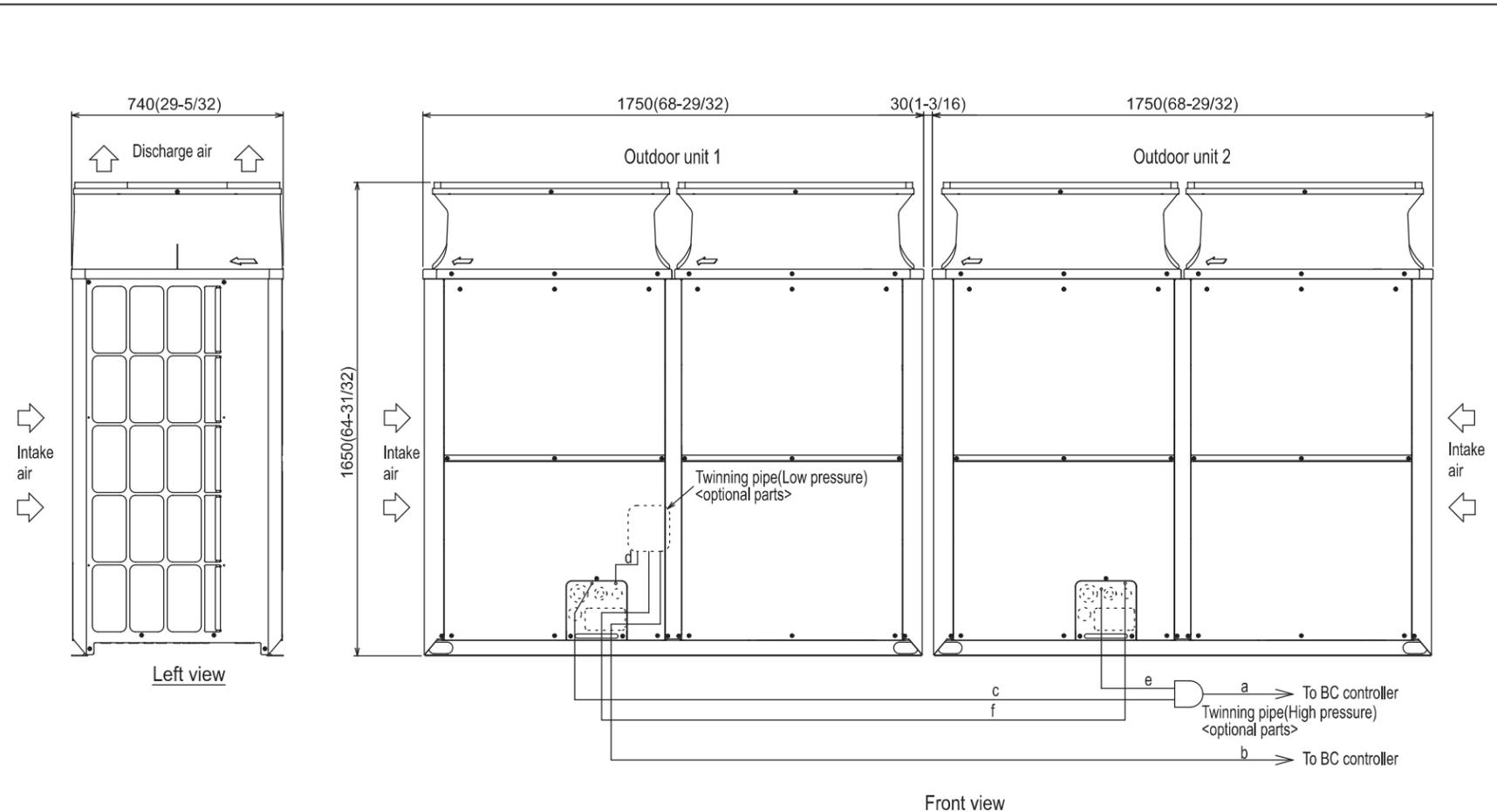
LEVEL 1 ACOUSTIC ENCLOSURE

L x W x H in (mm)	129.42 (3287.2) x 40.46 (1027.8) x 56.18 (1427)
Weight lbs (kg)	Steel: 2798 (1269.2) Aluminum: 2355 (1068)
Sound Level (dBA*)	74.8

*All measurements are approximate and for estimation purposes only. Sound levels measured at 23 ft (7 m) and does not account for ambient site conditions.

ROOF MECHANICAL - VRF ROOF TOP UNITS - A

Specifications are subject to change without notice.
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Outdoor Unit: PURY-P288YSKMU-A (-BS) – DIMENSIONS

Twinning pipe connection size

Package unit name	PURY-P240YSKMU-A(-BS)	PURY-P264YSKMU-A(-BS)	PURY-P288YSKMU-A(-BS)
Component unit name	Outdoor unit 1	PURY-P120YKMU-A(-BS)	PURY-P144YKMU-A(-BS)
	Outdoor unit 2	PURY-P120YKMU-A(-BS)	PURY-P144YKMU-A(-BS)
Outdoor Twinning Kit(optional parts)	CMY-R100XLCBK		
BC controller-Twinning pipe	High pressure	a	ø28.58(1-1/8)
	Low pressure	b	ø34.93(1-3/8)

	Unit model	P240		P264		P288			
		Component unit model	P120	P120	P144	P120	P144	P144	
Twinning Kit -Outdoor unit	High pressure	c	ø19.05(3/4)	e	ø19.05(3/4)	c	ø22.2(7/8)	e	ø22.2(7/8)
	Low pressure	d	- (Note 5)	f	ø28.58(1-1/8)	d	- (Note 5)	f	ø28.58(1-1/8)

- Note 1. Connect the pipes as shown in the figure above. Refer to the table above for the pipe size.
 2. Twinning pipe (High pressure) should not be tilted more than 15 degrees from the horizontal plane.
 Be sure to see the Installation Manual for details of Twinning pipe installation.
 3. The pipe section before the Twinning pipe (section "a" in the figure) must have at least 500mm(19-11/16) of straight section
 (*including the straight pipe that is supplied with the Twinning pipe).
 4. Only use the Twinning pipe by Mitsubishi (optional parts).
 5. Connect the outdoor unit 1 with the Twinning pipe (Low pressure) (section "d" in the figure).

Unit : mm(in.)

PORTLAND
OFFICE
6720 MACADAM
SUITE 100
PORTLAND, OR
9 7 2 1 9
503.245.7100

SEATTLE
OFFICE
117 S. MAIN
SUITE 400
SEATTLE, WA
9 8 1 0 4
206.576.1600