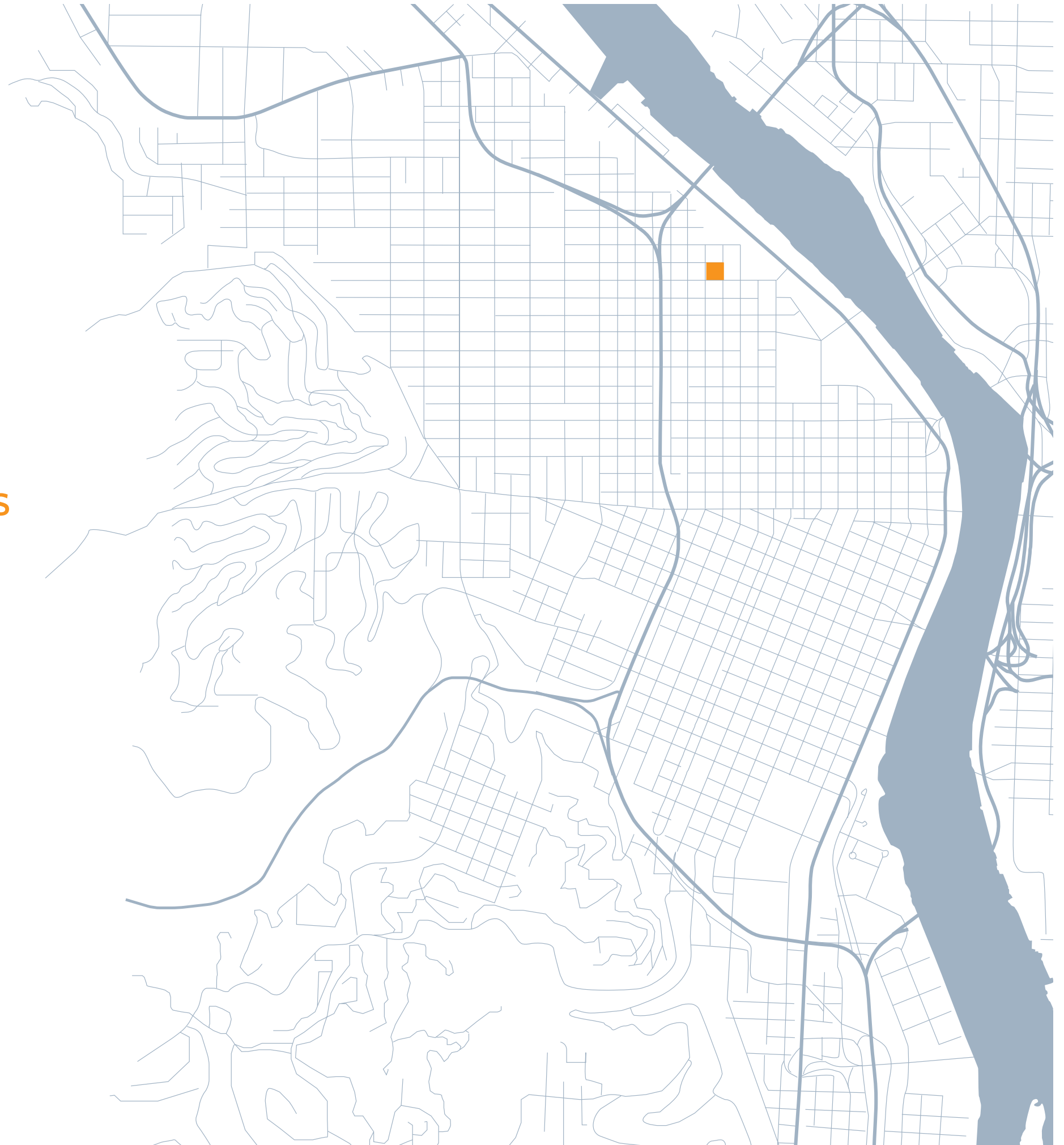


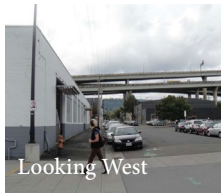
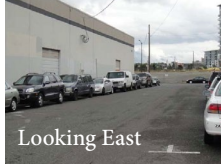






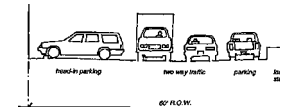



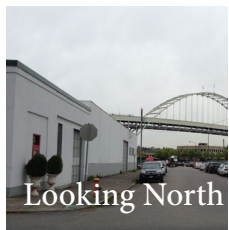





WHAT WE HEARD:

- Coherency
- Quality
- Parking Entry Massing
- NW 12th Avenue Townhomes
- Overall Ground Level
- ADA Ramp



	Street Type	Traffic	R.O.W.	Road width	Sidewalk	Curbline	Parking	Bicycles	Lights	Trees	St. Setbacks
PETTYGROVE Green Street	Special Function St.	Local Service	60' ROW	22' roadway	13' side-walks	bioswales	Options A, B or C	bikes share road	3 lights per block face	Mixed Layer Trees	n/a    
OVERTON Minor Main	(E) Typ. Street	Traffic Access St.	60' ROW	36' roadway	12' side-walks	n/a	allowed both sides	City Bike-way	Twin Ornamental	Uniform Plantings	n/a    
13TH AVE Retail Docks	Special Function St.	Local Service	60' ROW	22' travel lane	dock with 6' clear	n/a	allowed both sides	bicycles share road	Cobra Lights	w/out Street Trees	75' ht w/in 20'     
12TH AVE Buffer/Views	(E) Typ. Street	Local Service	60' ROW	36' roadway	12' side-walks	n/a	allowed both sides	bicycles share road	Twin Ornamental	Mixed Layer Trees	n/a on site    

SITE AND CONTEXT ANALYSIS



LEGEND

- A Warehouse
- B Future Apartment Building
- C Block 17 Development
- D Warehouse
- E Industrial-Use Building
- F The Sitka
- G Residential Mixed-Use



ADJACENT BUILDINGS + FAR

THE OVERTON

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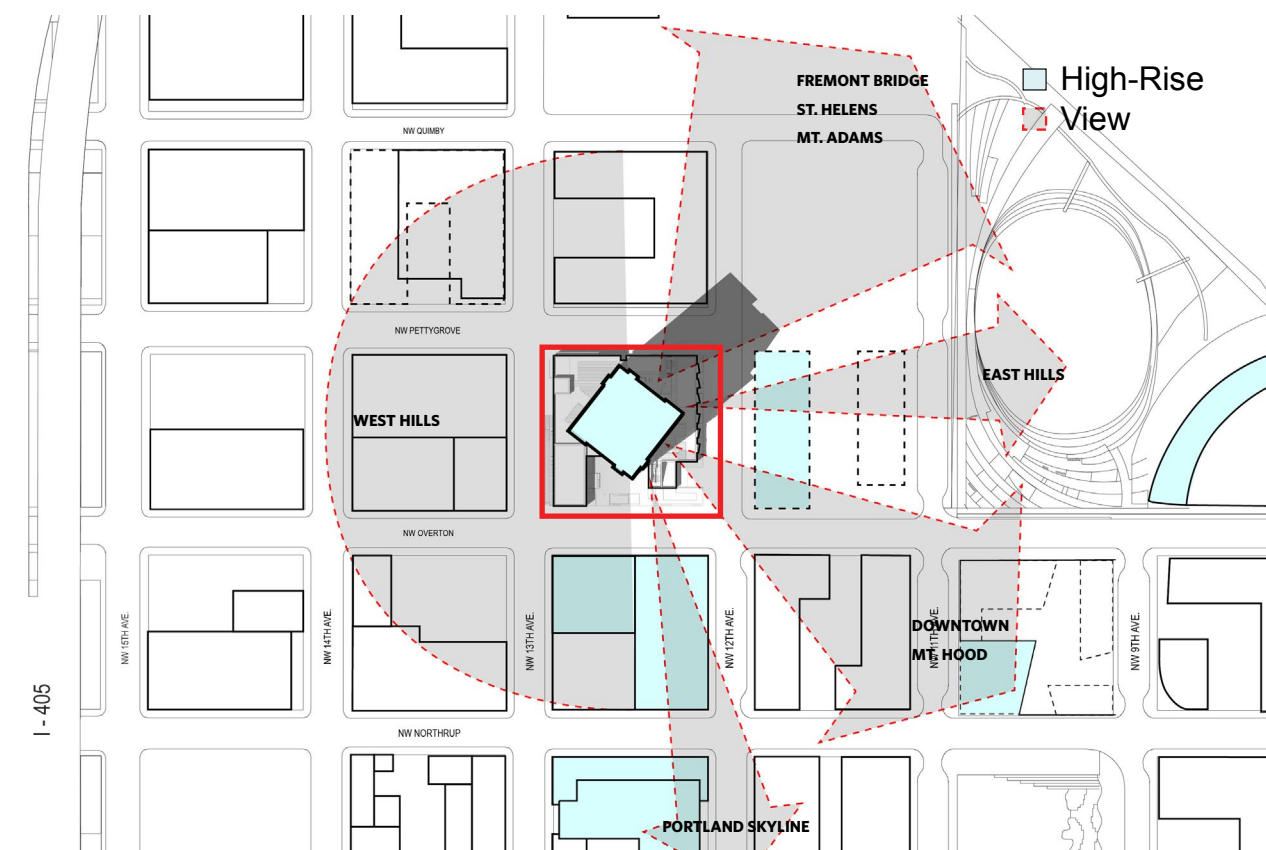
Ankrom Moisan

File No. LU 13-233011 DZM

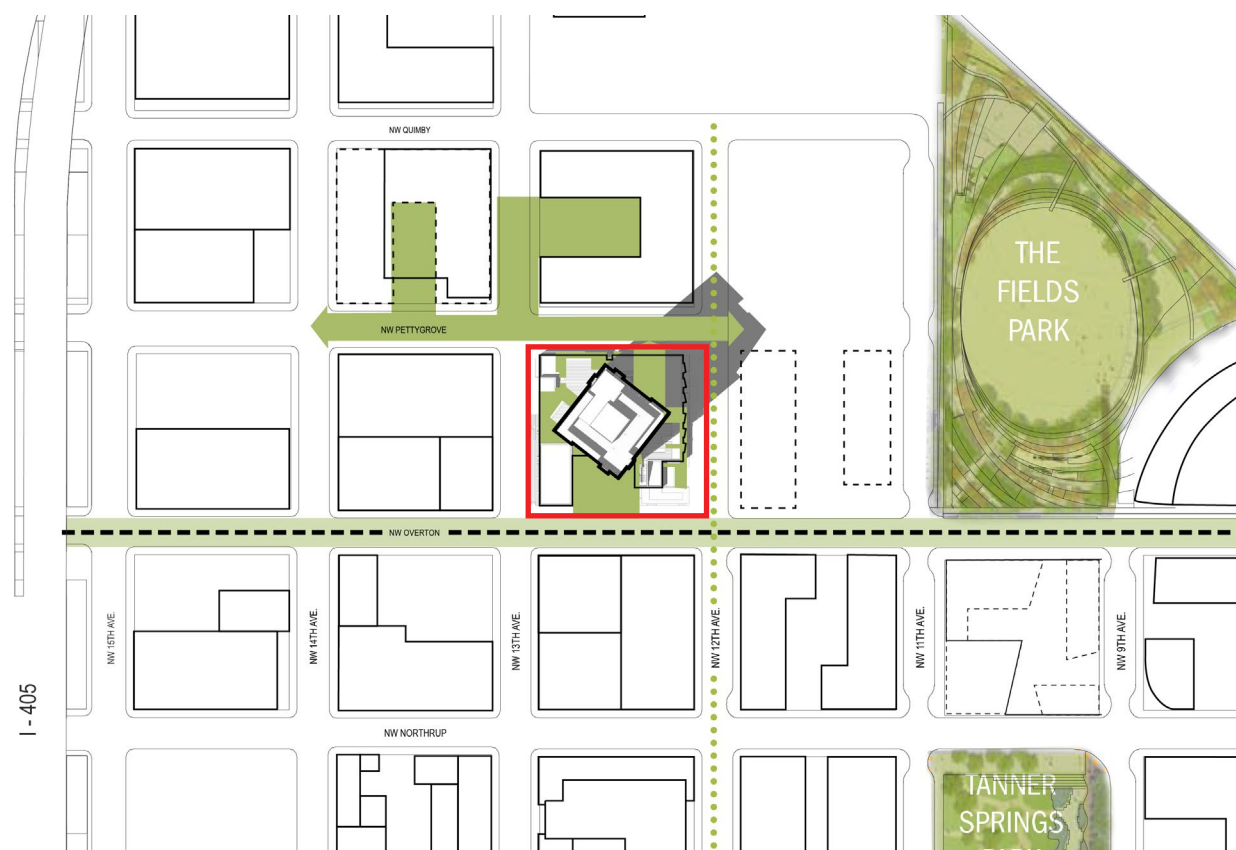
February 20th, 2014



GROUND FLOOR USE DIAGRAM



TOWERS AND VIEWS



RIVER DISTRICT PARK CONNECTIONS



ENTRANCES AND CIRCULATION

SITE CONTEXT

To create a **sense of place** for the residents

To **celebrate the unique context of the Pearl District** and to anticipate future growth of the surrounding sites

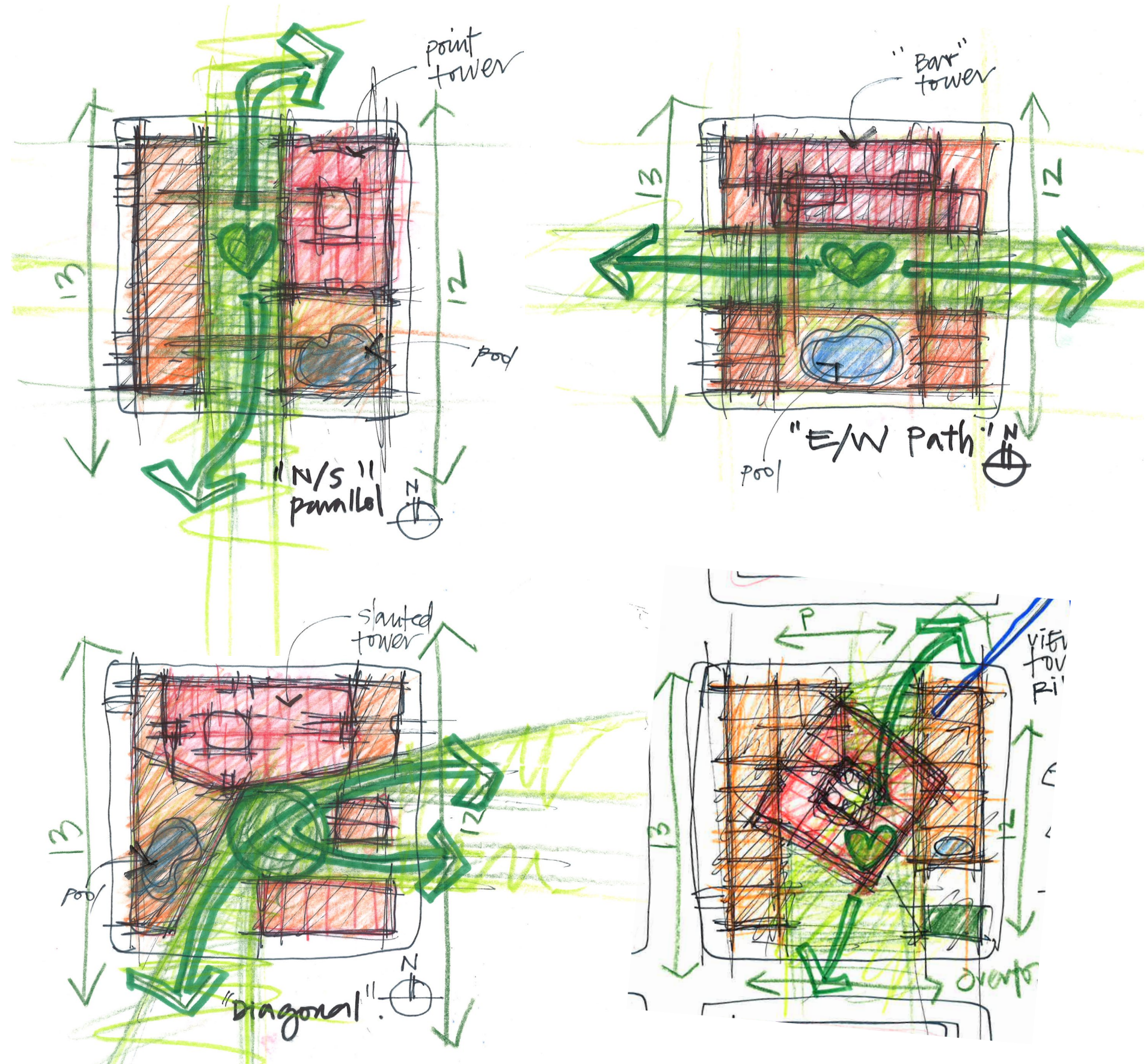
To **maximize views** and **access to daylight** for all residents

To **foster a vibrant streetscape** and ground plane activity

To provide **unrivaled residential amenities** including podium garden and outdoor swimming pool, potentially in a conditioned environment for year round use

To economically **maximize allowable FAR** including bonuses up to 7:1

To provide **below grade parking** for residents



DAR DESIGN EXPLORATIONS

THE OVERTON

ZGF

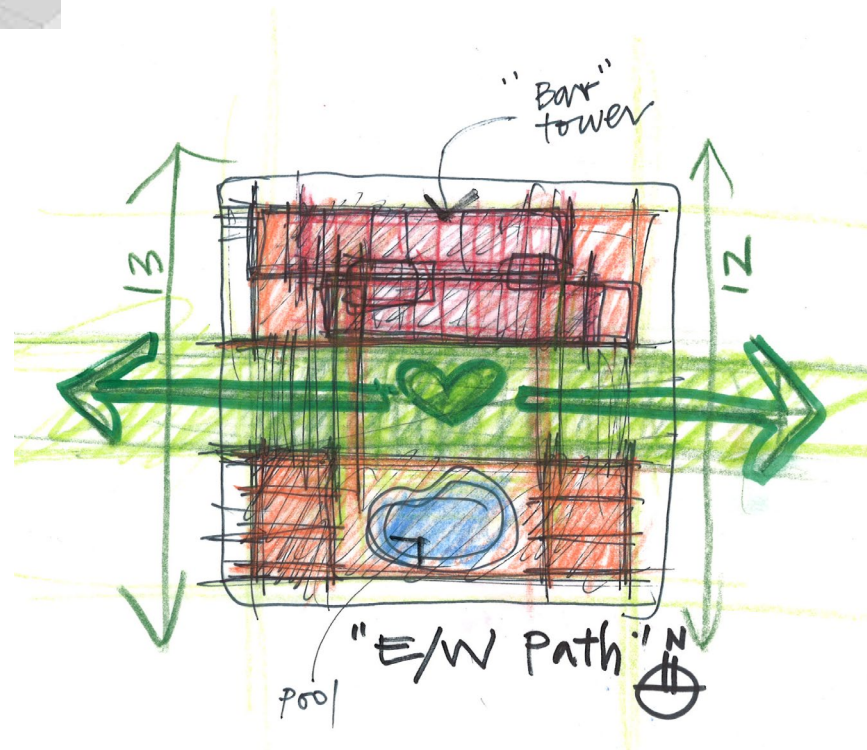
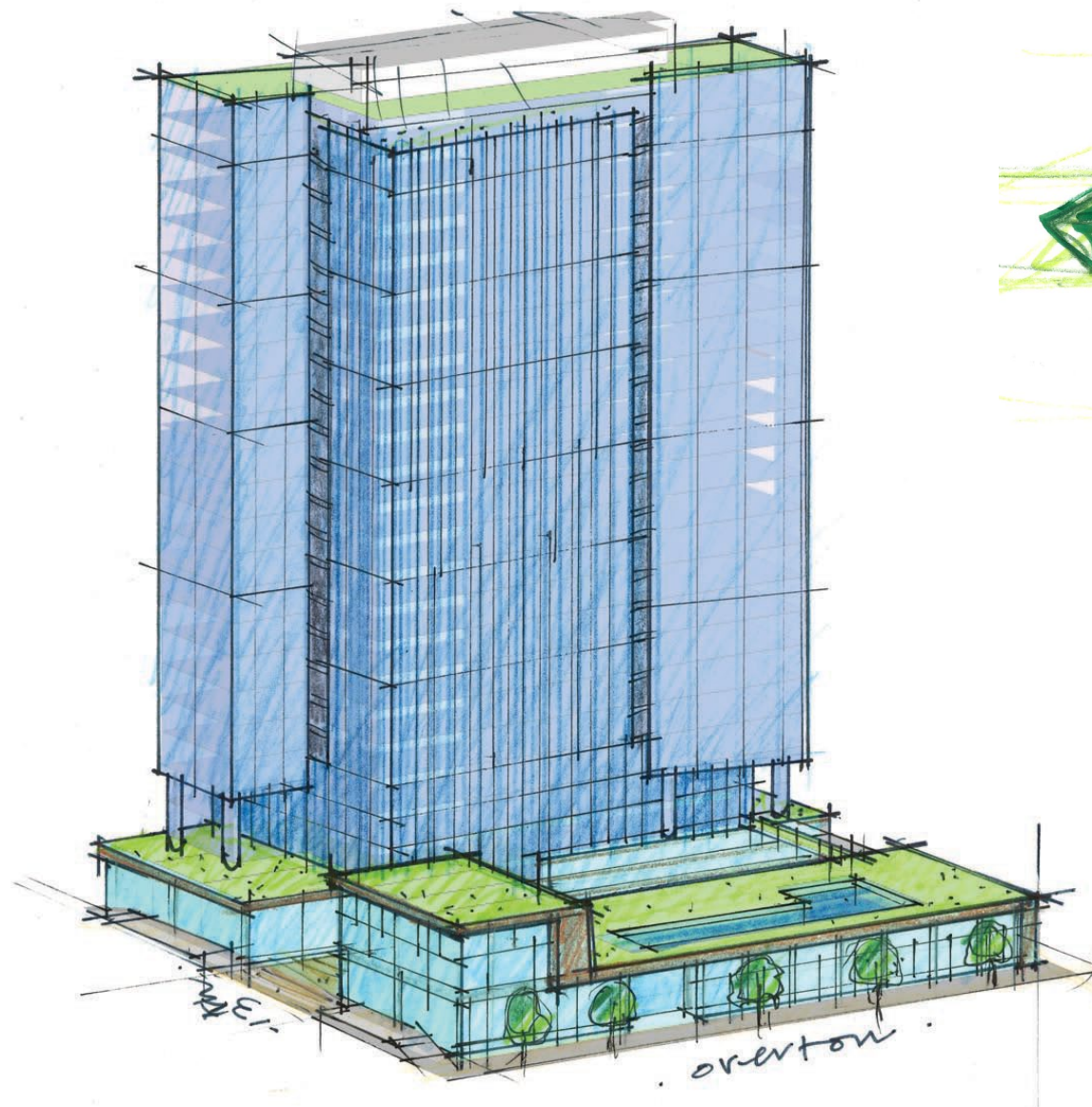
Ankrom Moisan

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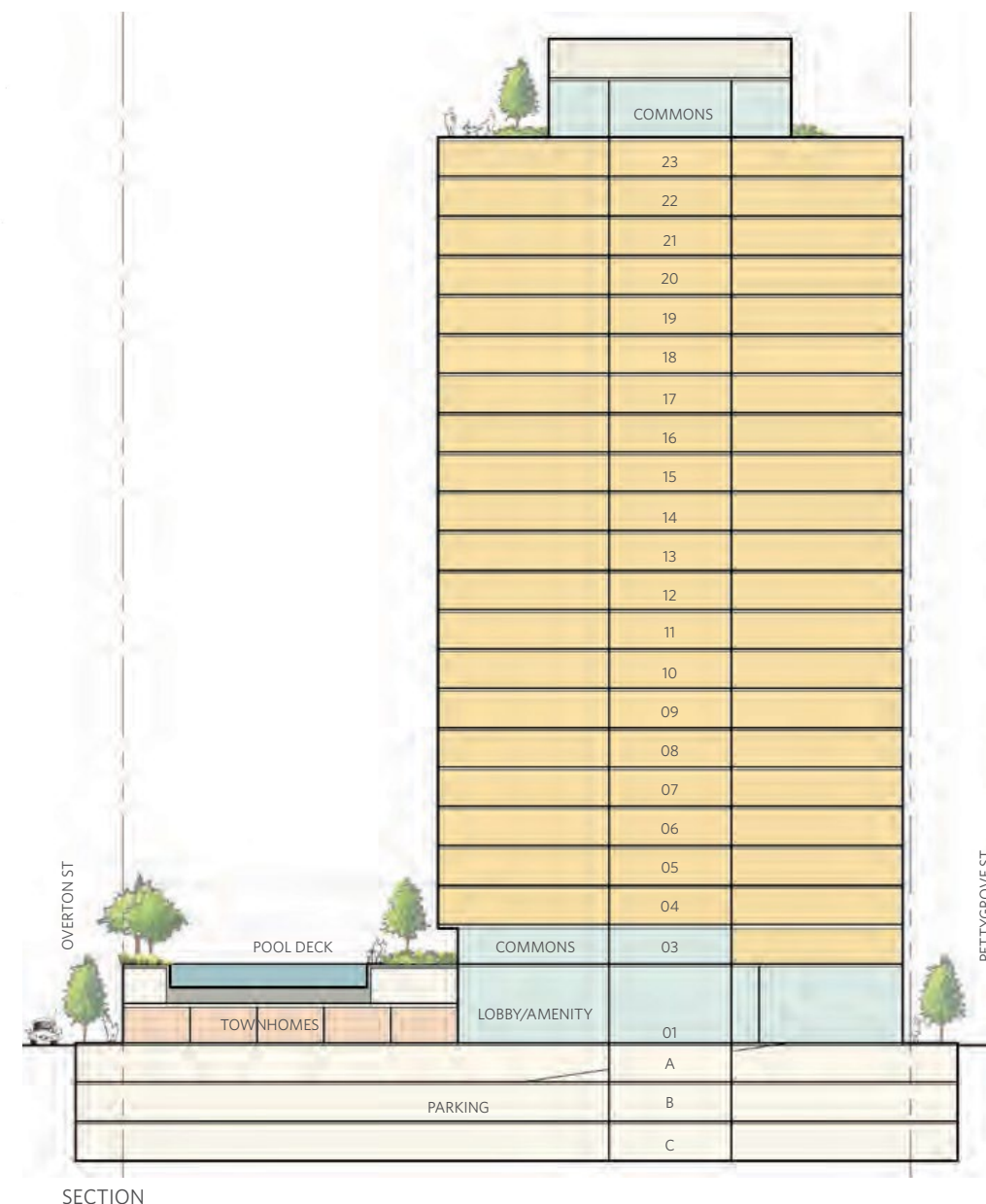
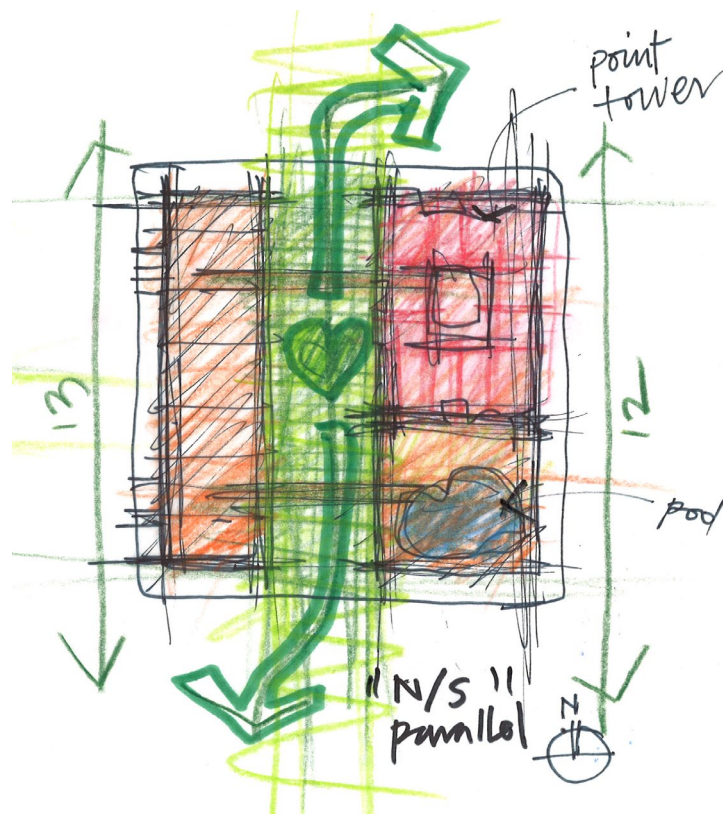
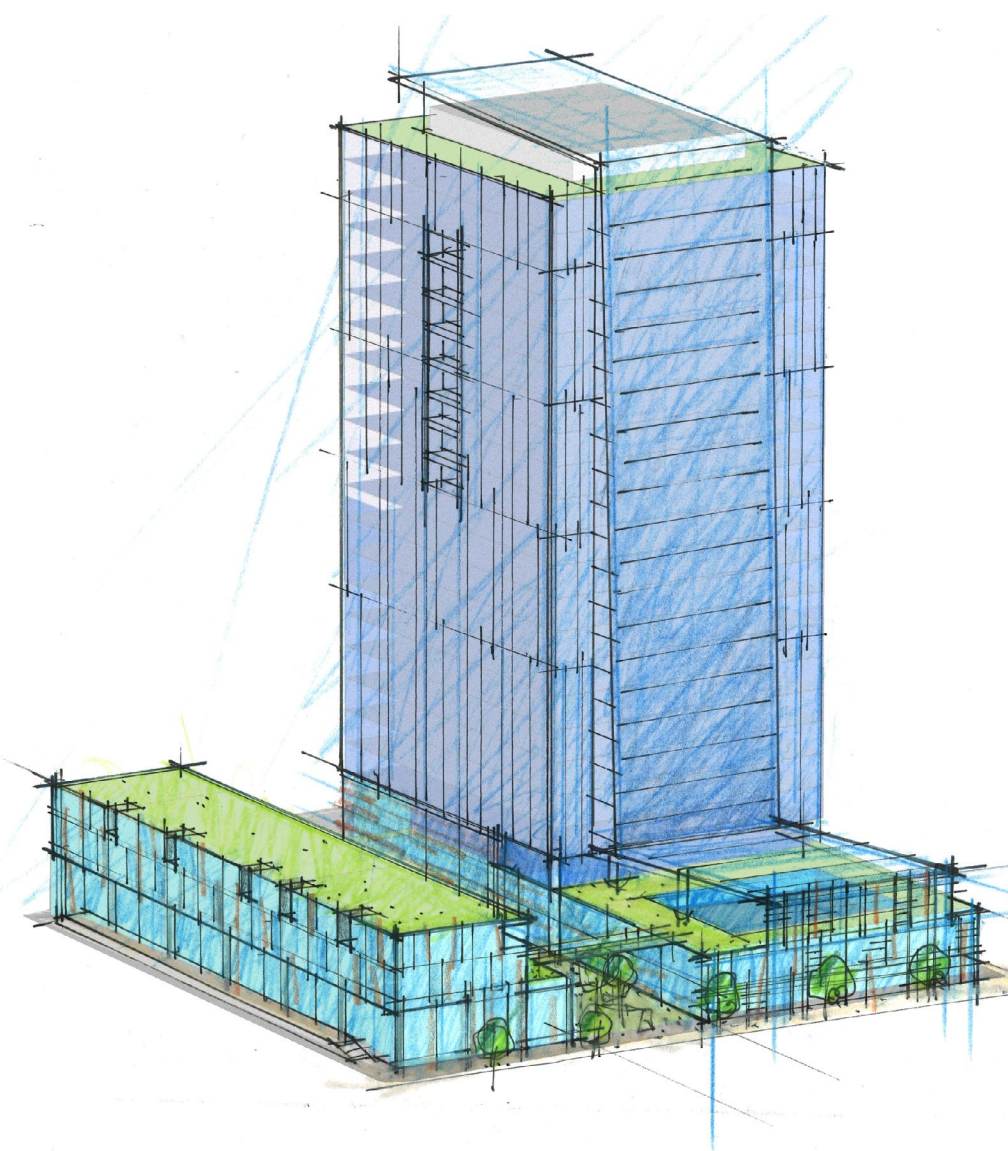
- STOP**
- ✦ All tower units face north and south (daylight and views.)
 - ✦ Low mass on south side of site for maximum daylight penetration into site and tower.
 - ✦ Tower facades (North and South) are too long more than 150' on length.
 - ✦ Tower casts long shadow on properties to the north.
 - ✦ Open space/plaza orients against the grains of the existing context/urban fabric.
 - ✦ Open space/plaza does not get much sunlight/daylight.



DAR DESIGN EXPLORATIONS - BAR TOWER



- STOP**
- + Compact tower shade with all facades less than 120' in length.
 - + Open space/plaza fits within the context/urban fabric.
 - + Open space/plaza has access to sunlight/daylight.
 - Up to 25% of tower units view directly into block 17 units.
 - Tower placement casts long shadow on properties to the north.



DAR DESIGN EXPLORATIONS - POINT TOWER



- STOP

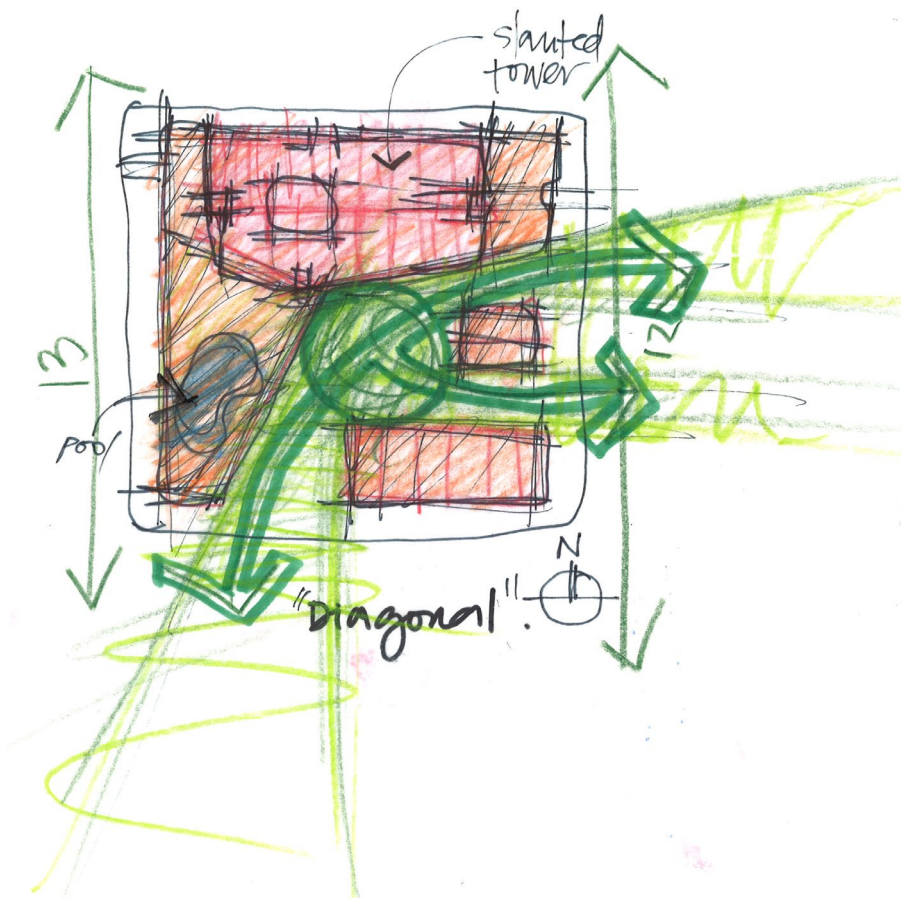
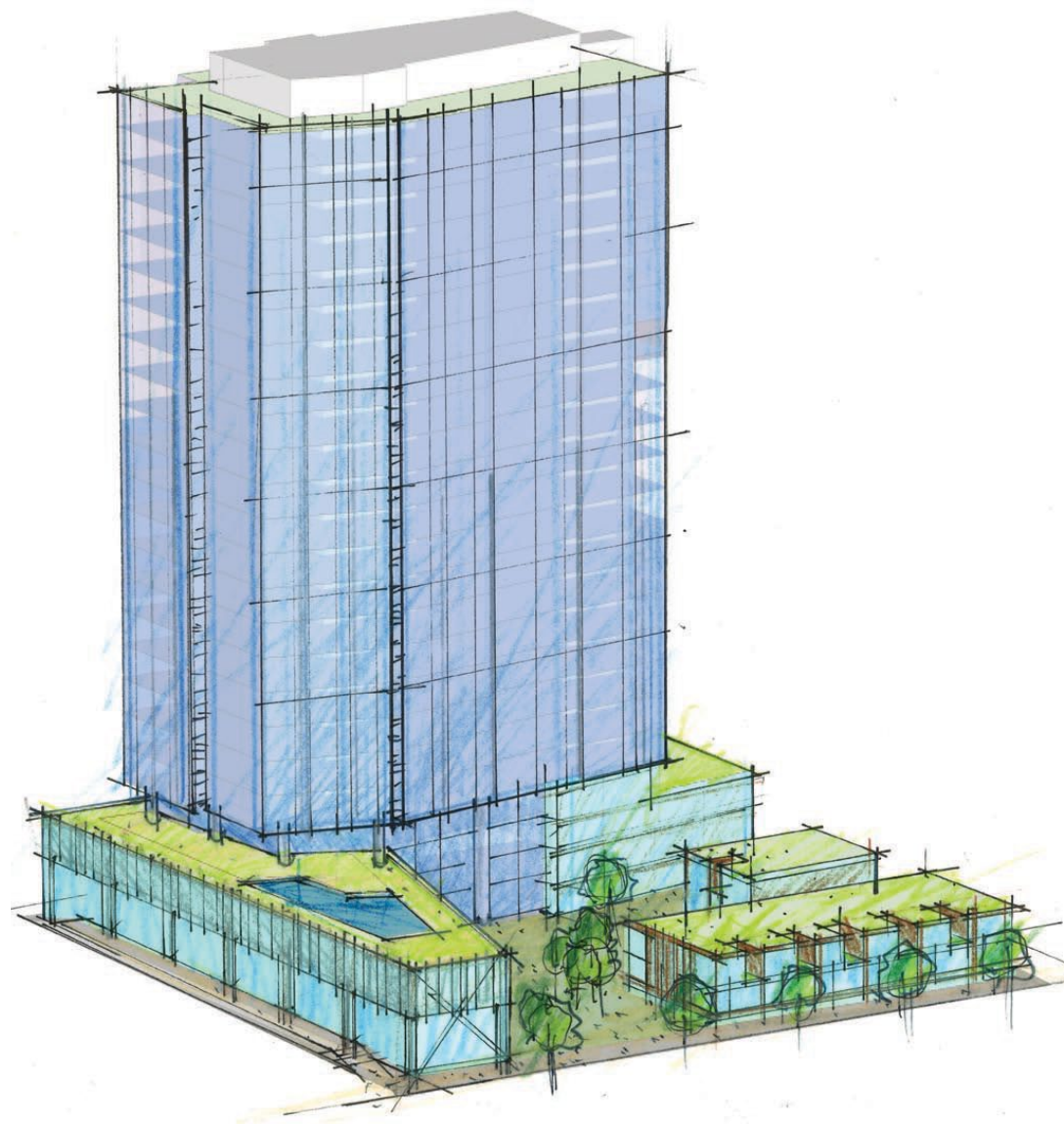
 - ✦ All tower units face north and south (daylight and views.)

✦ Low mass on south side of site for maximum daylight penetration into site and tower.

✦ Open space/plaza has access to sunlight/daylight.
 - ✦ Tower facades (North and South) are too long more than 150' on length.

✦ Tower casts long shadow on properties to the north.

✦ Townhome placements seem suburban.



DAR DESIGN EXPLORATIONS - POINT TOWER

TOWER

PODIUM

SITE

The grand building lobby is centrally located on site with a large welcoming plaza facing south. The lobby and plaza are integral, forming a virtually seamless indoor and outdoor room. Trees and landscaped planters work together to maintain the building lines and form inviting places for respite. The smaller Pettygrove plaza entrance faces north and provides a second pedestrian entry off of the primary green street. This court offers a more private outdoor patio and garden for the townhouse tenants and others to enjoy. Drop off and parking access is from 12th Avenue. Service access is from 13th Avenue.





DAR DESIGN PROPOSAL - CONCEPT MODEL

THE OVERTON

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CLASSIC

Gray and white painted metal panels

- Simple and clean-line, but also potentially dull and static.
- Missed opportunity to integrate color into the design.



INTEGRATED

Metal panels graded in shade from dark to light

- Gradation of tone from dark to light may make the tower appear more slender and uplifting.
- Dark and light tones are unlikely to fall out of fashion.
- Missed opportunity to integrate color into the design.



EARTH AND SKY

Multicolored spandrel glass

- Visually rich and dynamic, but may appear too bold to some.
- Risk that color mix will be dated before the life of the building is complete.



CITY AND RIVER

Gradated colored metal panels

- Mass of tower is broken up by color, making it visually appear more slender.
- Gradation of color will add visual interest to the design.
- Opportunity to express the tower's orientation to the river and the city through color.

DAR DESIGN PROPOSAL - FACADE



UNIFIED

Richly colored metal panel

- Mass of tower is broken up by color, making it appear visually more slender and uplifting.
- A single rich tone that relates to the masonry podium will be selected.
- The mix of materials will appear unified and harmonious, yet offer contrast to provide visual interest to the skyline.



VIEW FROM SOUTHEAST

CURRENT DESIGN

THE OVERTON

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MODEL - VIEW FROM SOUTHEAST



MODEL - VIEW FROM NORTHEAST

CURRENT DESIGN

THE OVERTON

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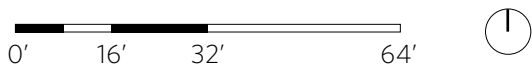
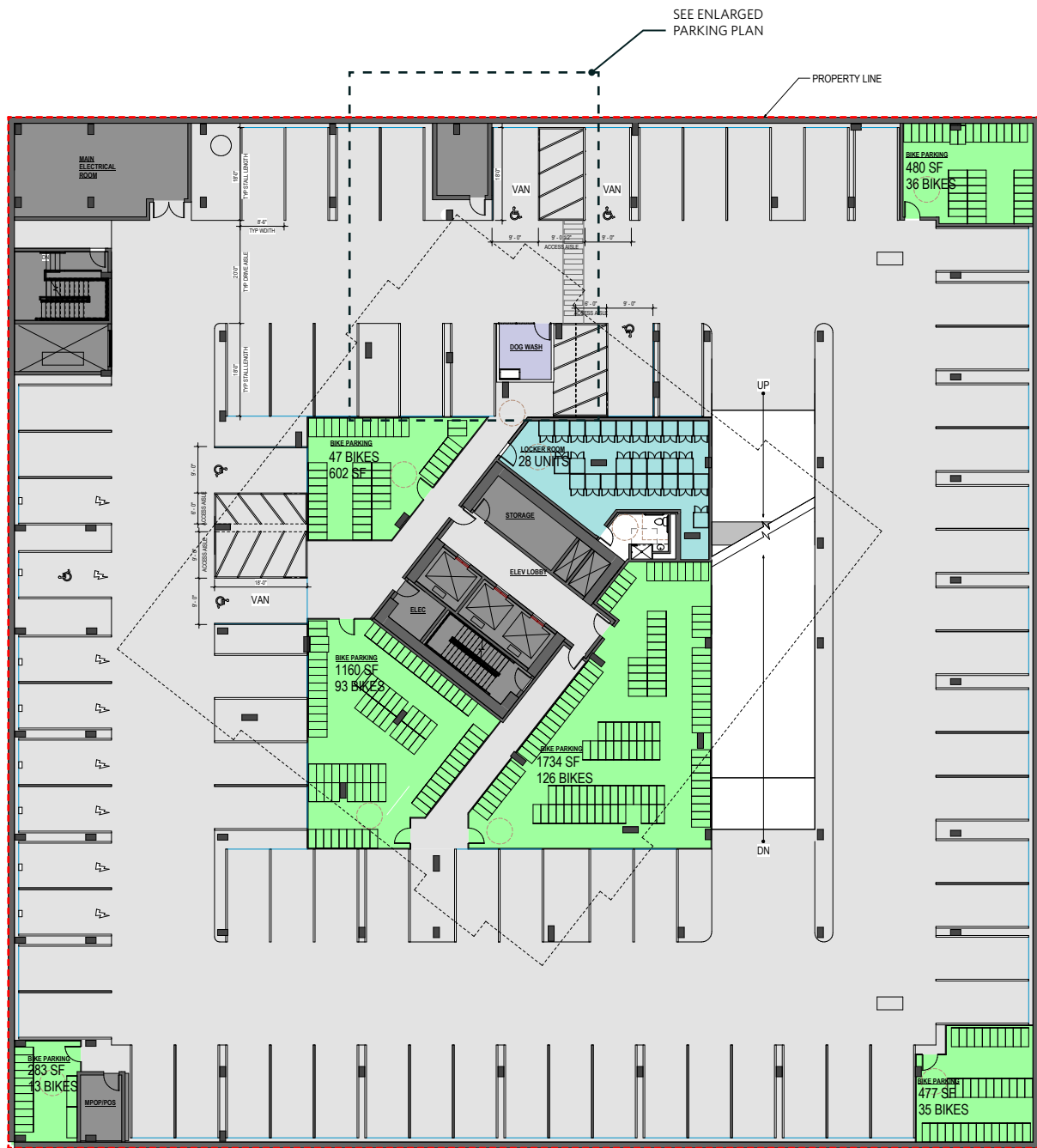
File No. LU 13-233011 DZM

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LEVEL P2 — PARKING



LEVEL P1 — PARKING



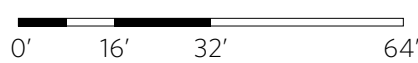
- PROPERTY LINE
- SERVICE SPACE / TENANT STORAGE
- LONG TERM BIKE PARKING

PARKING LEVEL FLOOR PLANS

LEVEL 01 FLOOR PLAN - LOBBY



LEVEL 03- AMENITIES/OUTDOOR



--- PROPERTY LINE

- | | | | |
|---|--|---|---|
| HOUSING UNITS | MAIL / LEASING | CIRCULATION | AMENITY |
| RETAIL | SERVICE | GREEN SPACE | |

LOBBY AND AMENITY LEVEL FLOOR PLANS

THE OVERTON

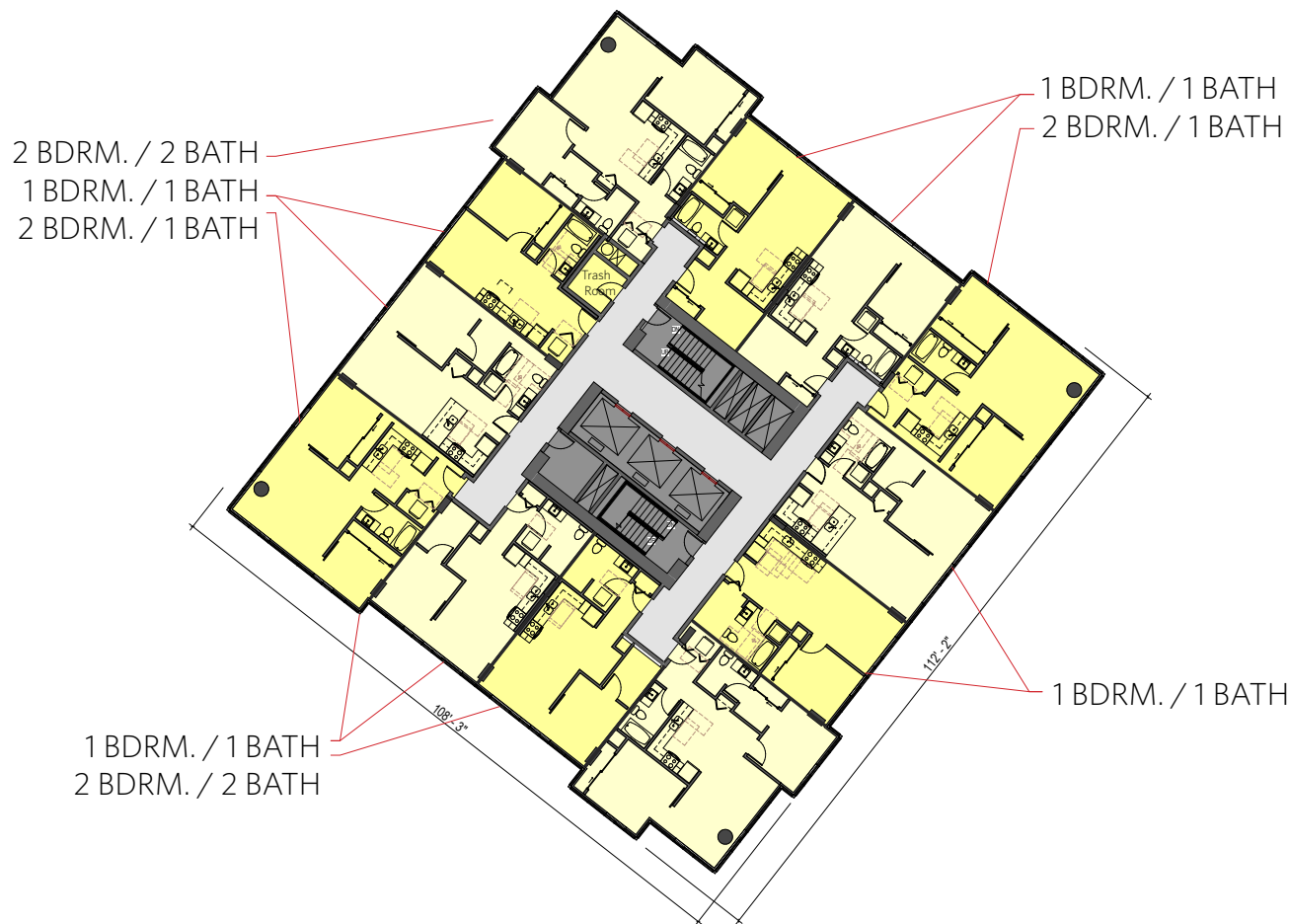
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Ankrom Moisan

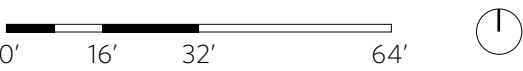
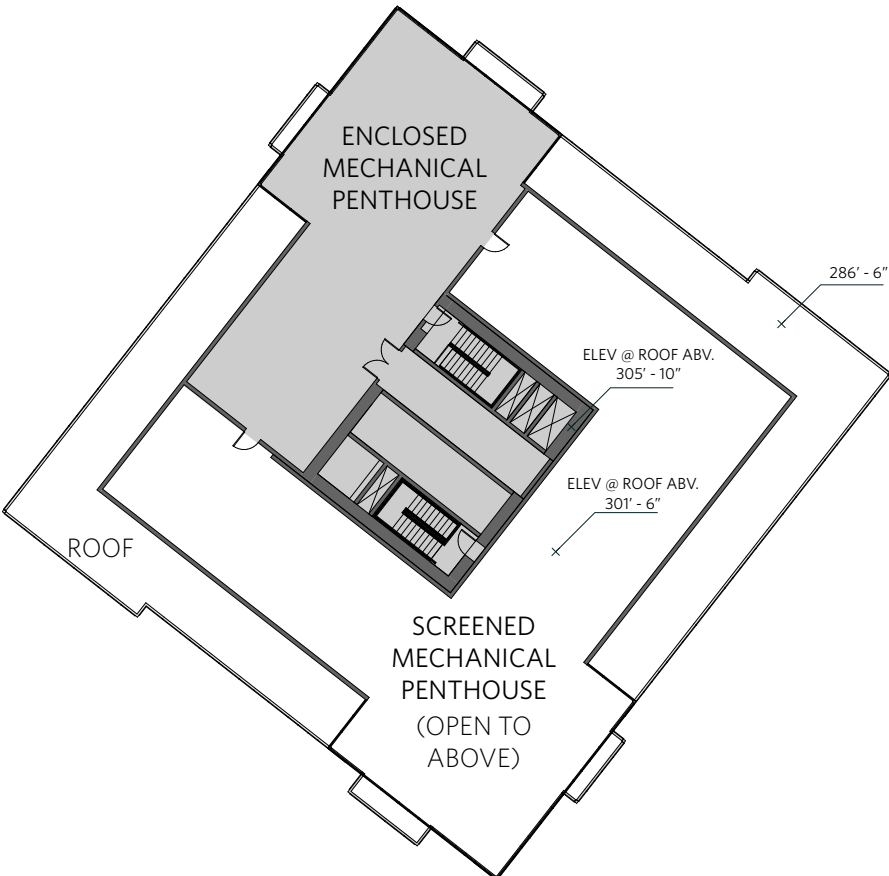
File No. LU 13-233011 DZM

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TYPICAL RESIDENTIAL LEVEL PLAN



MECHANICAL PENTHOUSE/ROOF LEVEL



TYPICAL FLOOR PLANS AT TOWER



TYPICAL RESIDENTIAL LEVEL PLAN

THE OVERTON

ZGF

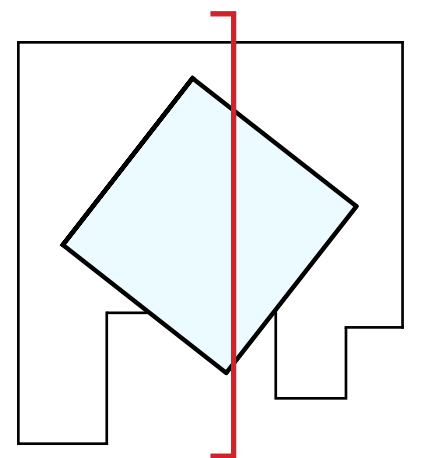
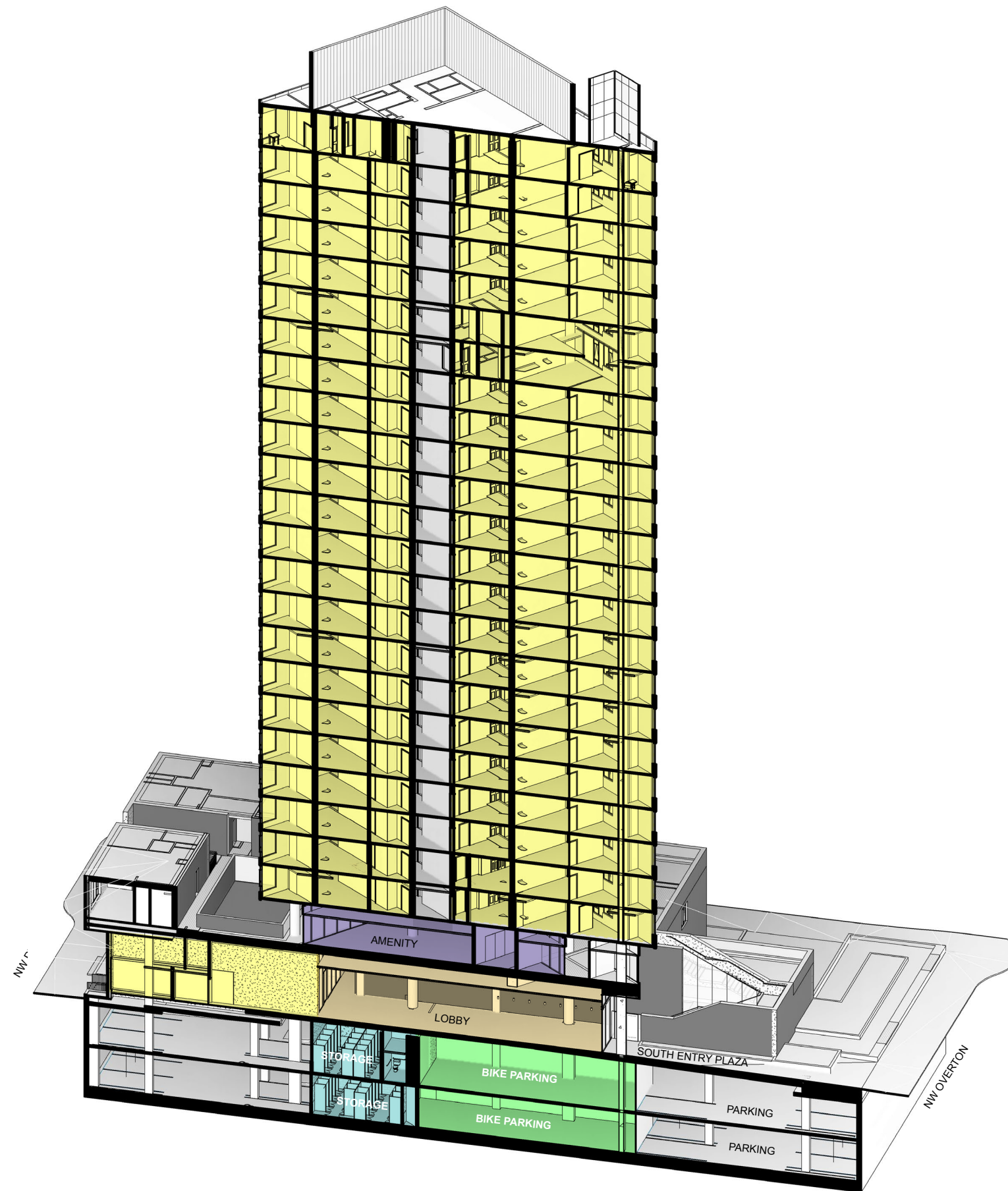
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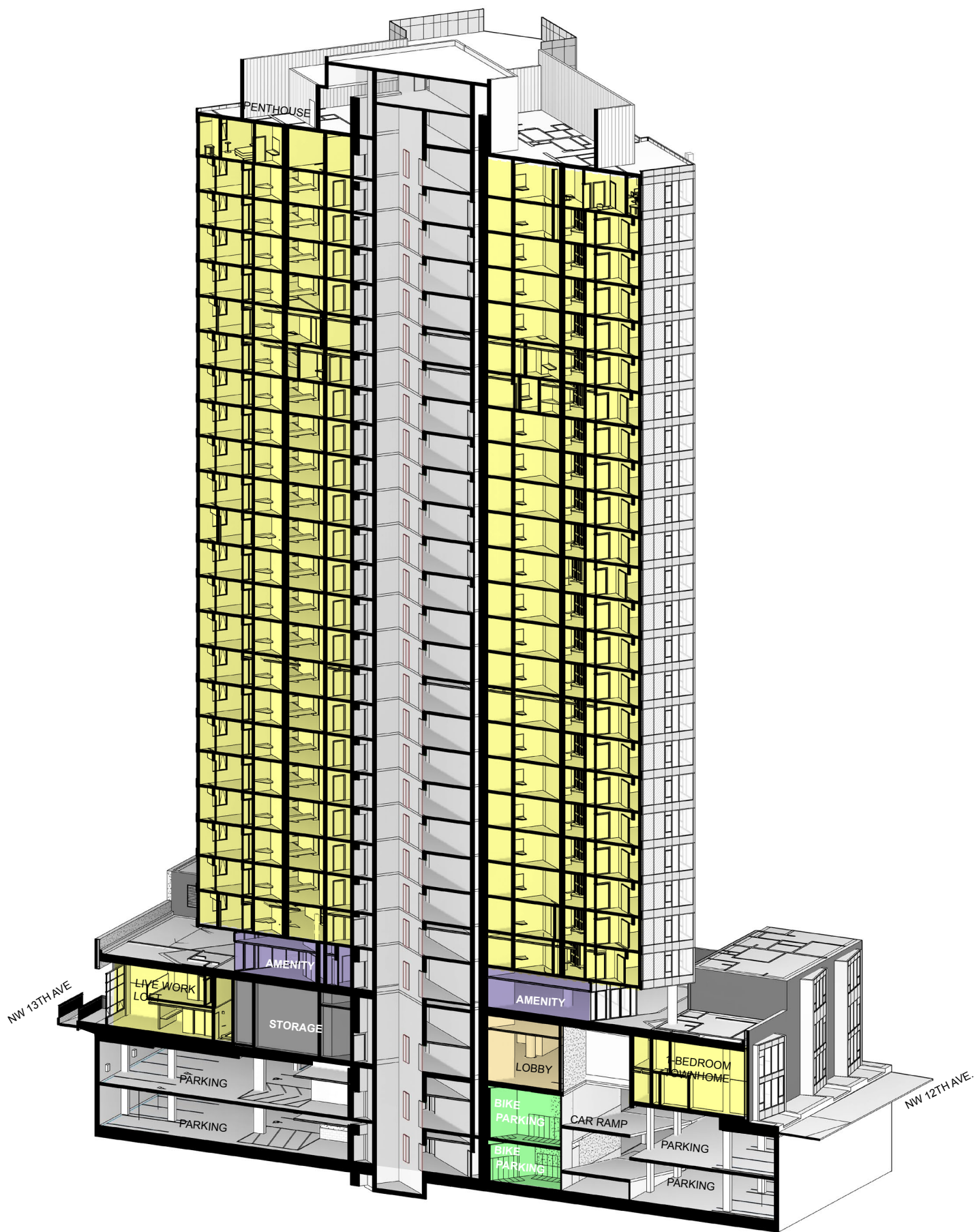
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LEGEND

- Circulation
- Residential
- Leasing
- Lobby
- Amenity
- Storage
- Bike Parking
- Retail



NORTH-SOUTH BUILDING SECTION



LEGEND

- Circulation
- Residential
- Leasing
- Lobby
- Amenity
- Storage
- Bike Parking
- Retail

EAST-WEST BUILDING SECTION

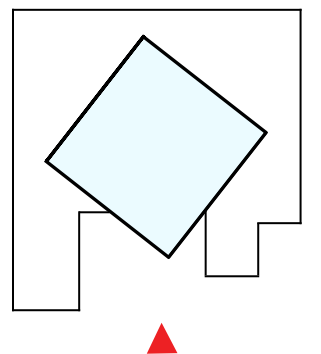
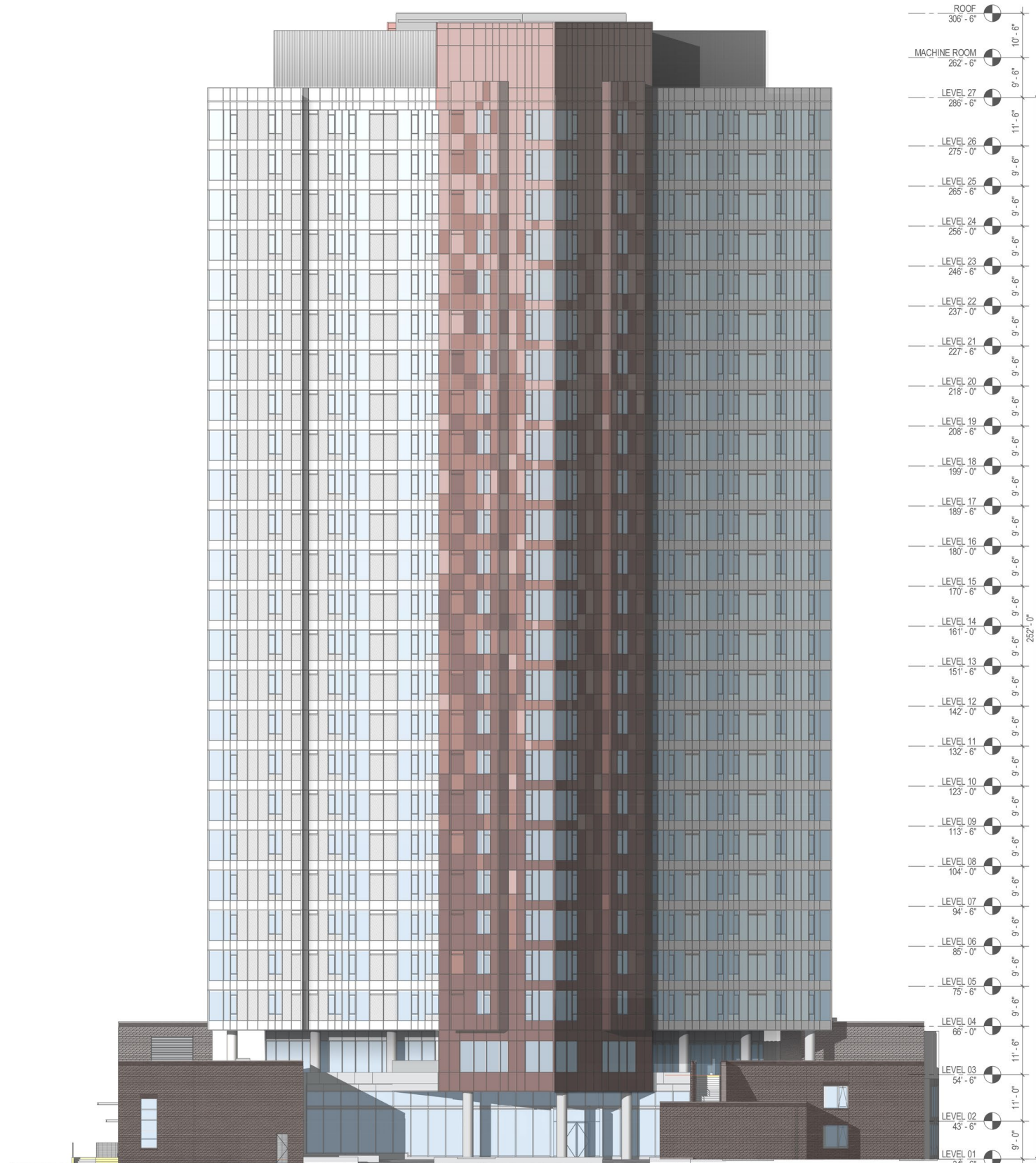
THE OVERTON

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SOUTH BUILDING ELEVATION

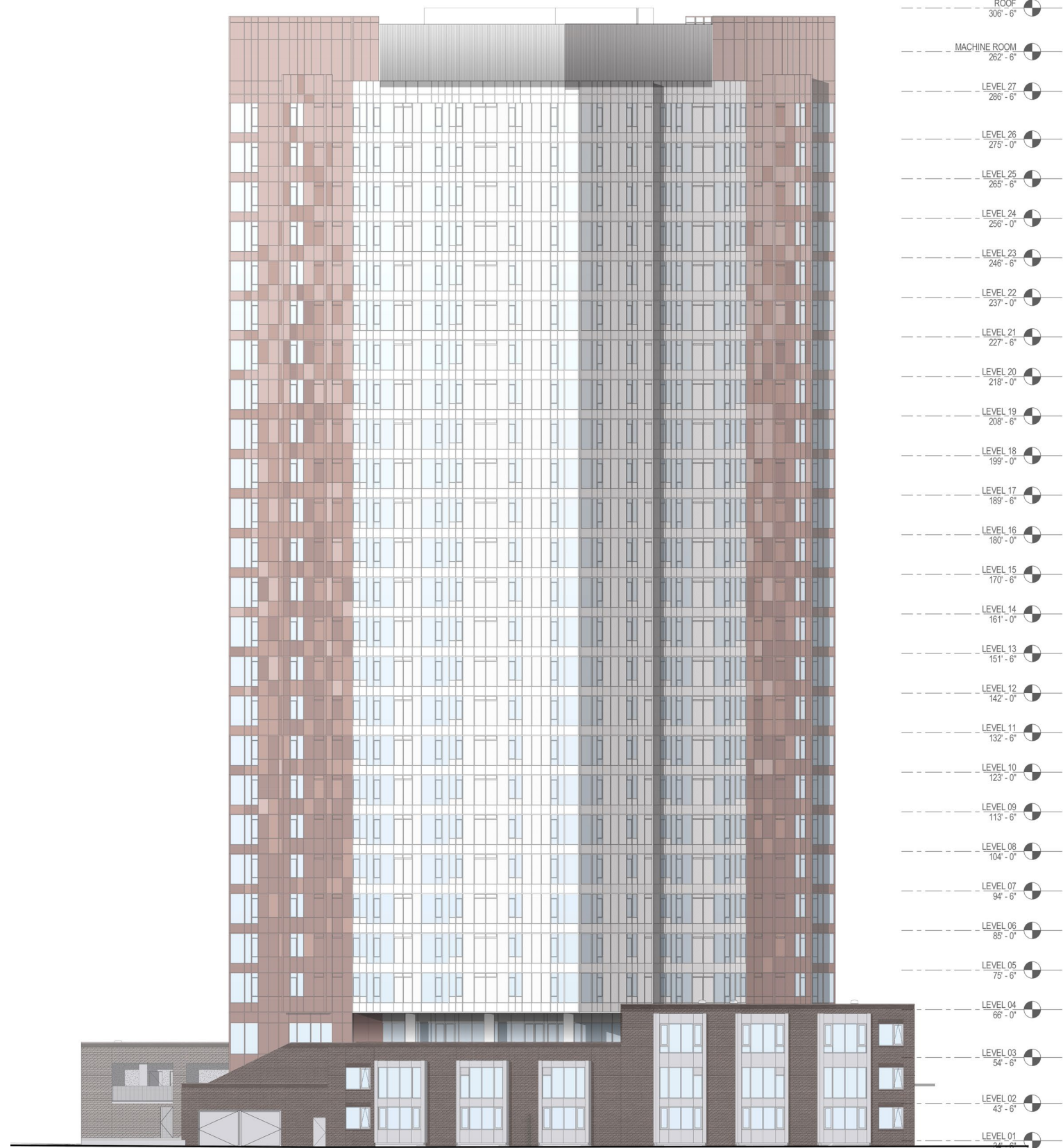
THE OVERTON

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File No. LU 13-233011 DZM

February 20th, 2014

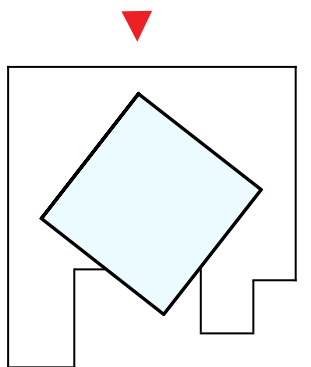
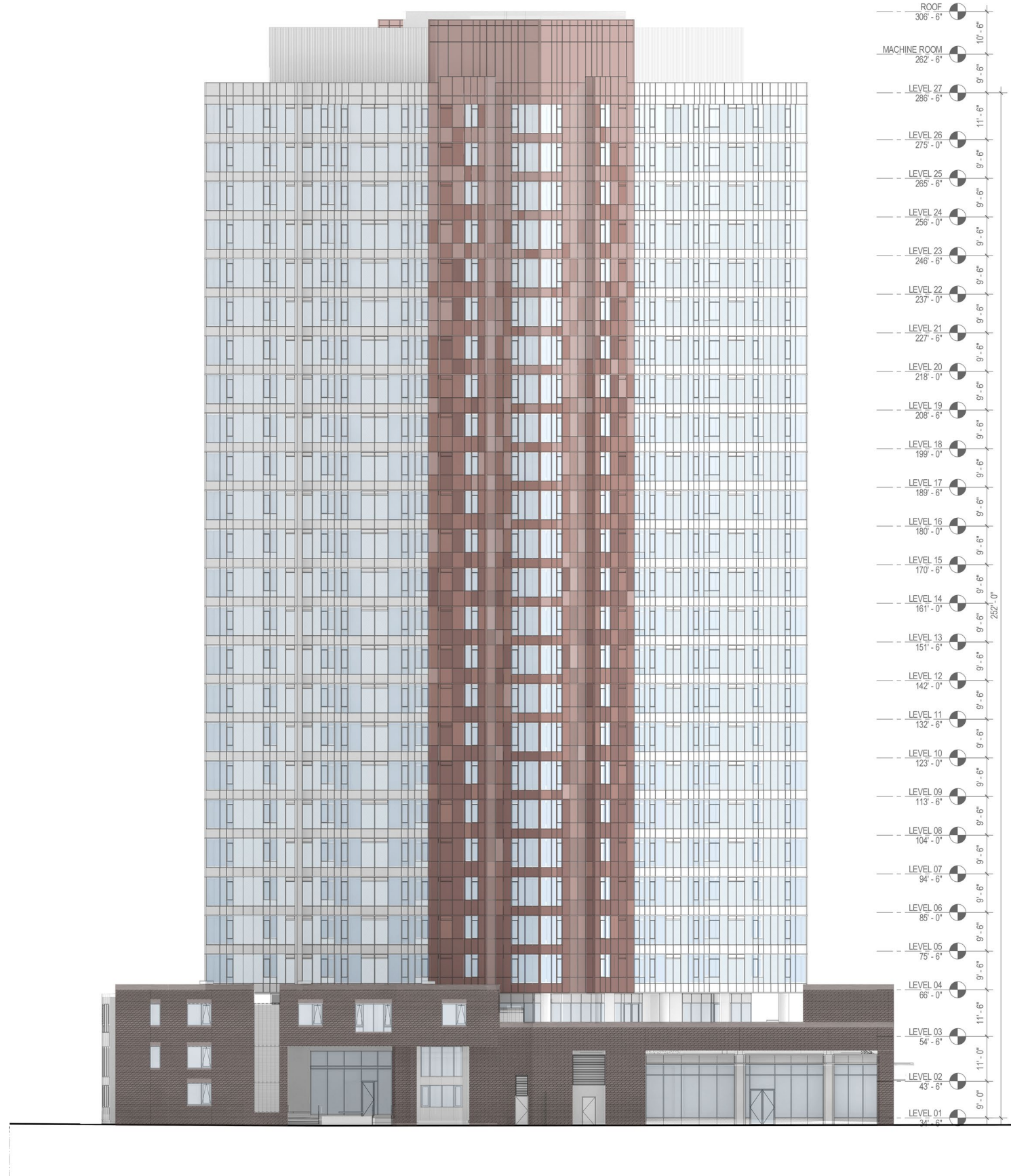


EAST BUILDING ELEVATION

THE OVERTON

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NORTH BUILDING ELEVATION

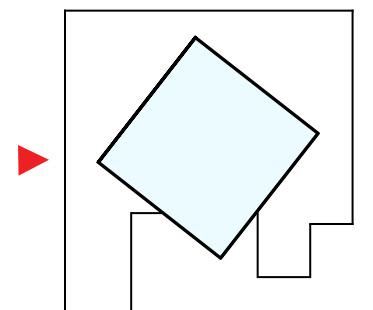
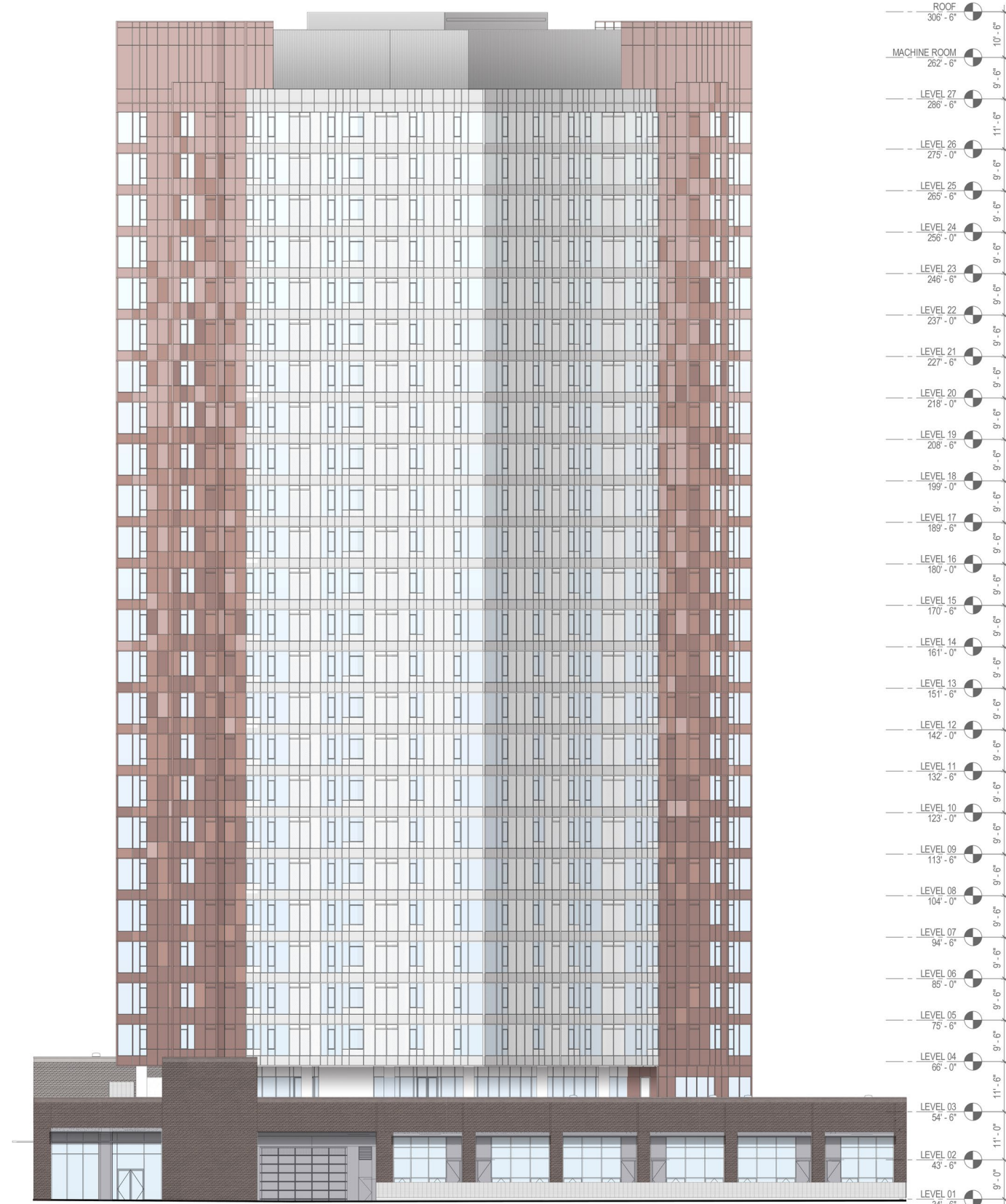
THE OVERTON

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WEST BUILDING ELEVATION

THE OVERTON

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MODEL - VIEW FROM SOUTH

THE OVERTON

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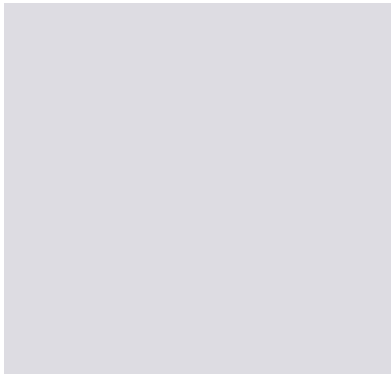
February 20th, 2014



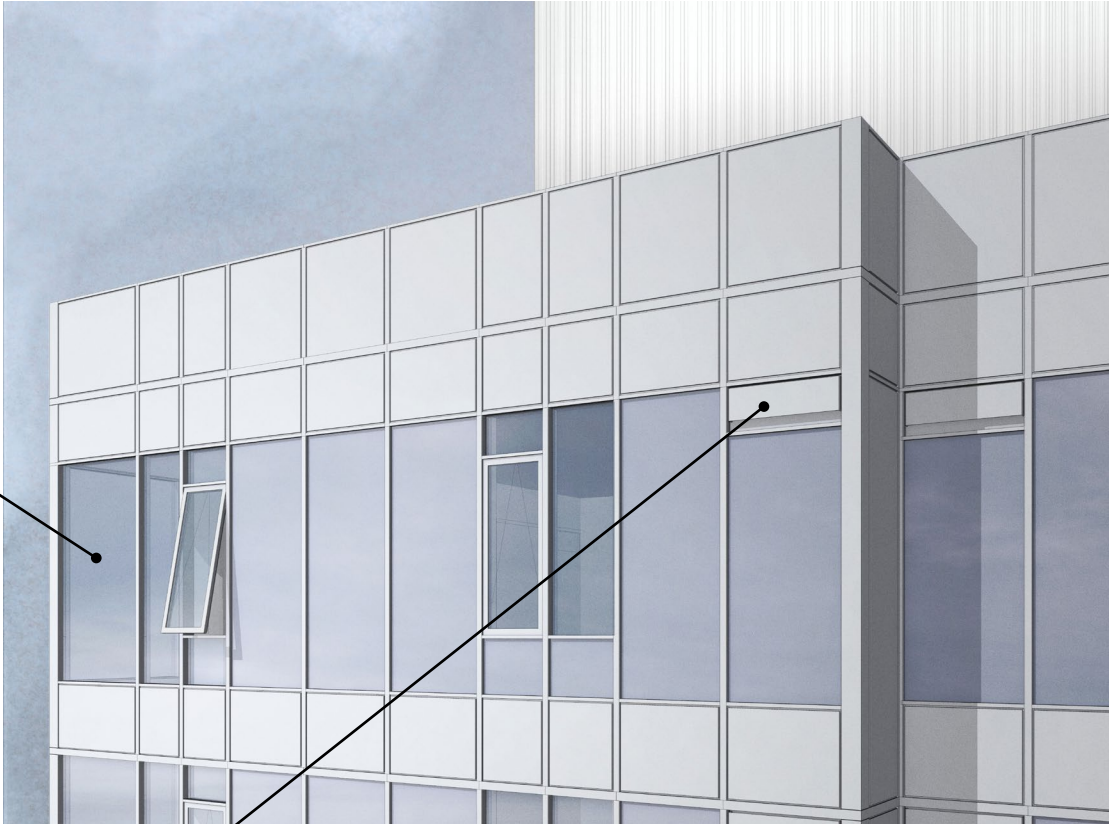
Window Wall System
at body



Vented Metal Panel at
body/corners



Painted Metal Panel at tower
body "Light Grey" to match
PPG "Satin Nickel" or simi-
lar. To be used at slab edge,
louver, and mullion.



MATERIALS - TOWER BODY



Colored metal panel at tower corners (North and South):

TYPE 3:

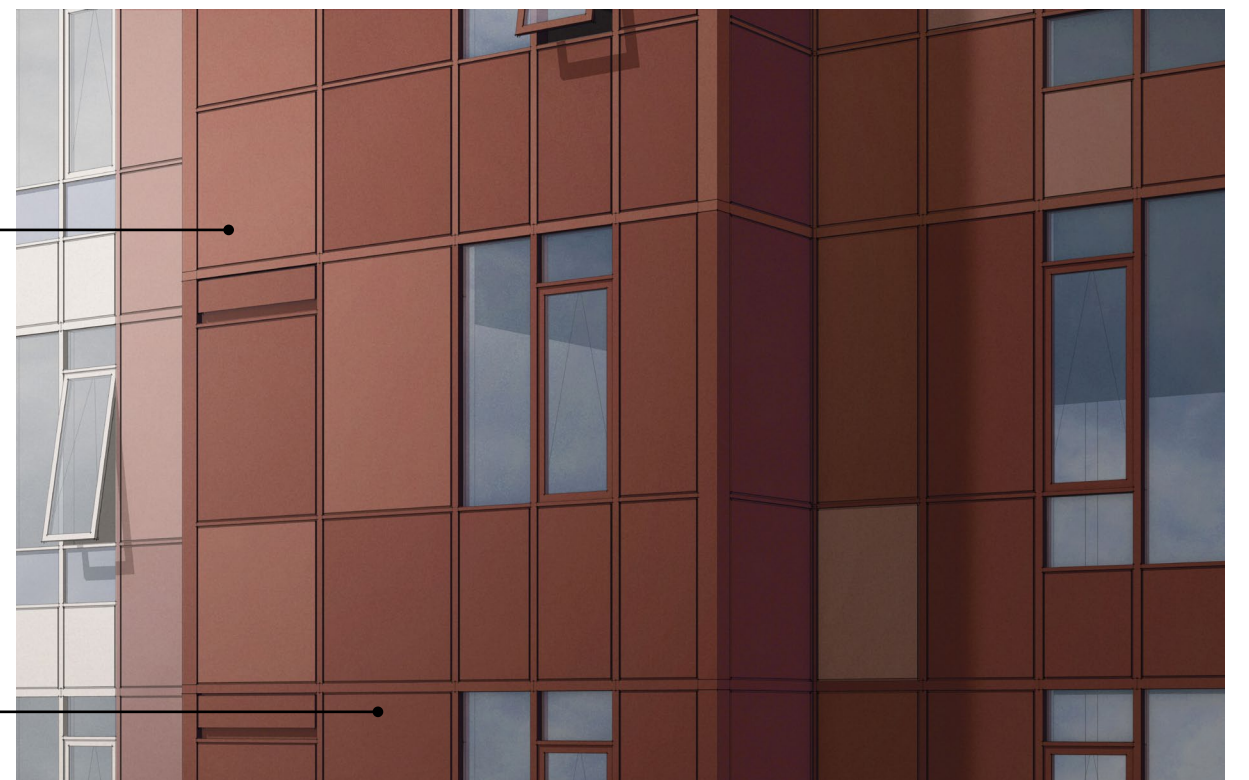
PPG "Bedford Brown" 430-5. To be used at metal panel, metal louver, and metal mullion.

TYPE 2

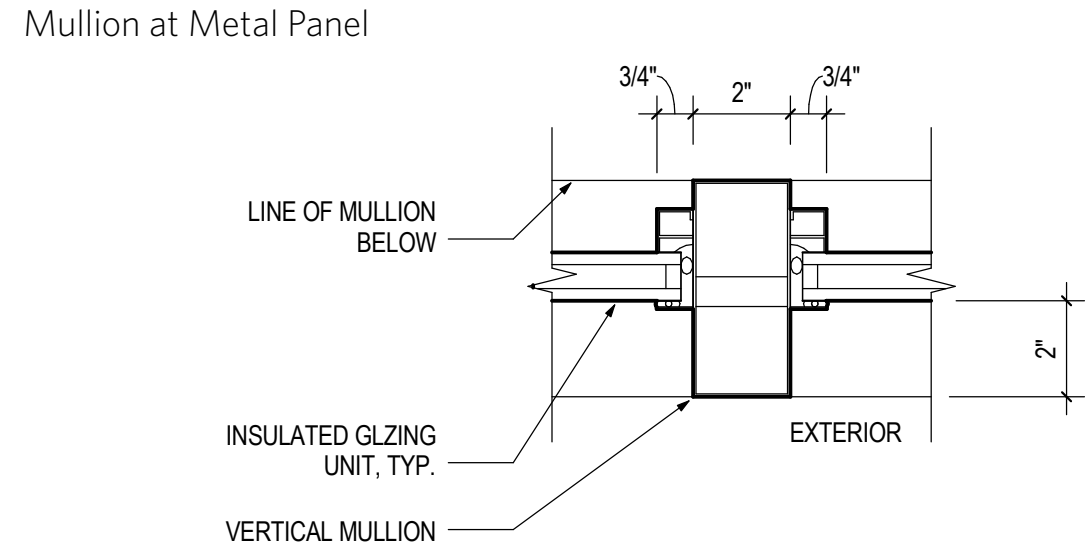
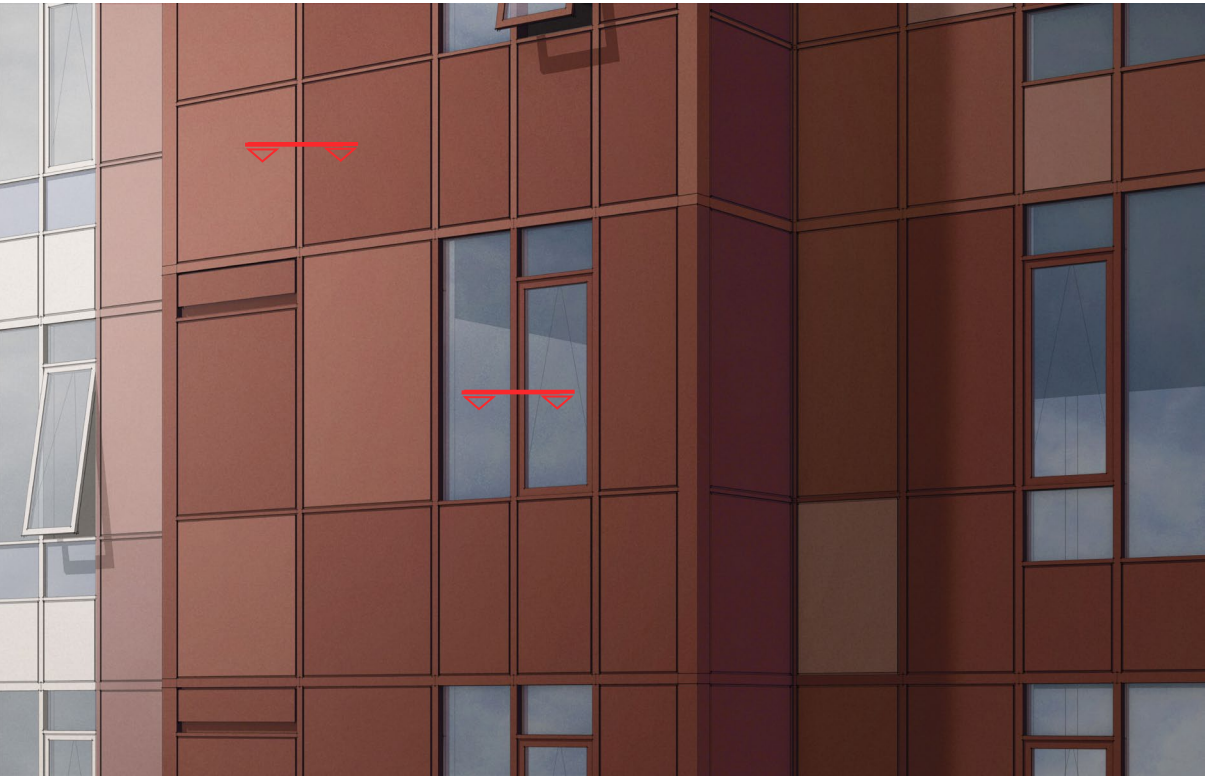
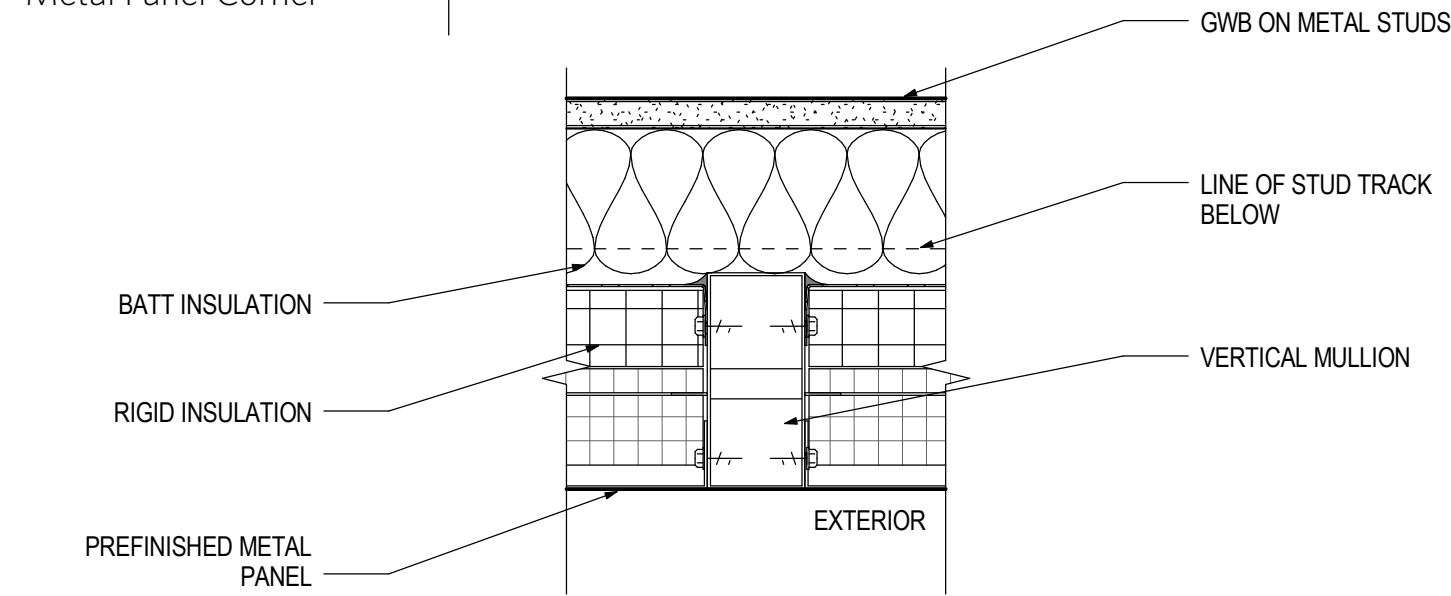
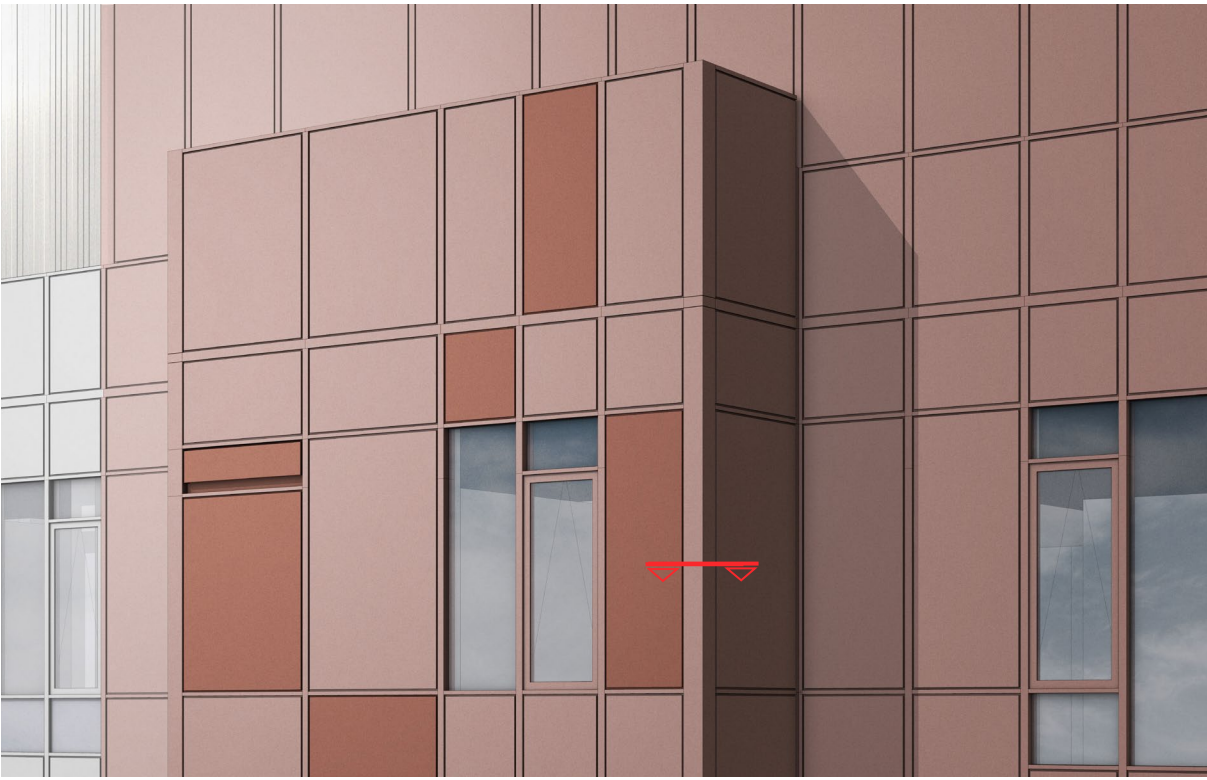
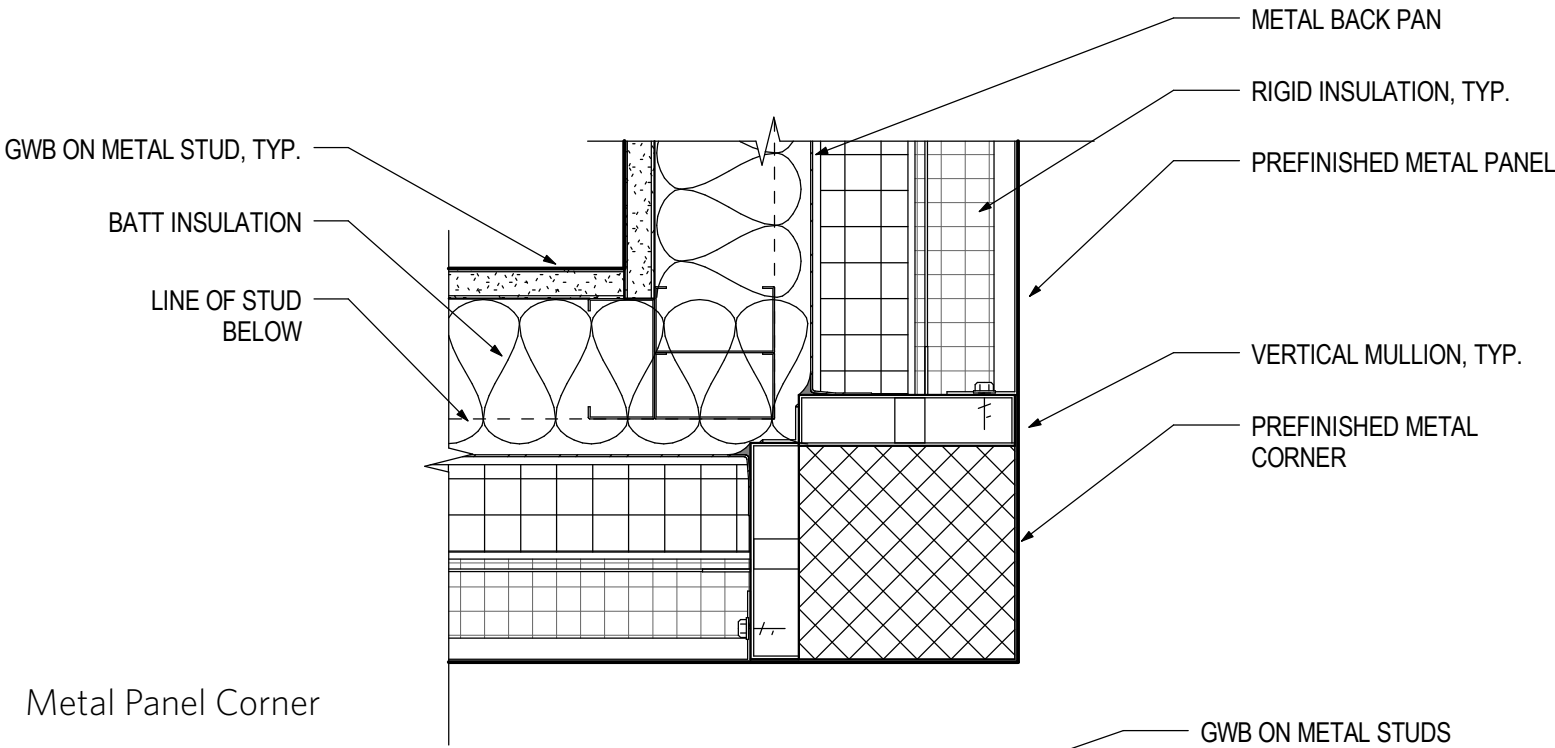
PPG "Raspberry Truffle" 430-6. To be used at metal panel, metal louver, and metal mullion.

TYPE 1

PPG "Warm Mahogany" 430-7. To be used at metal panel, metal louver, and metal mullion.

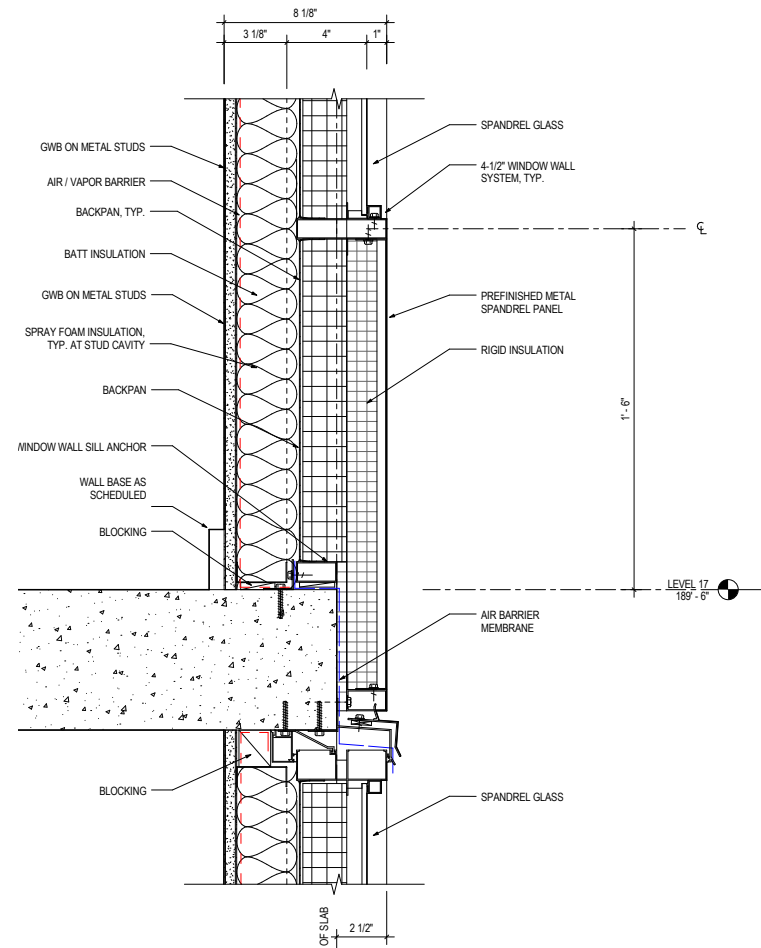


MATERIALS - TOWER CORNERS

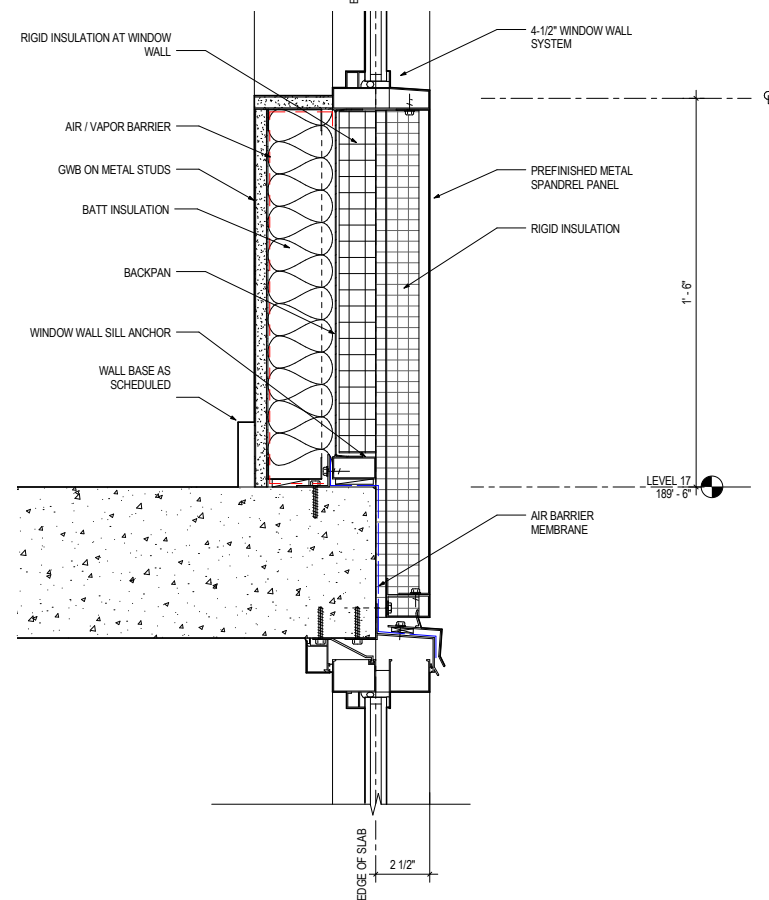


Mullion at Glazing

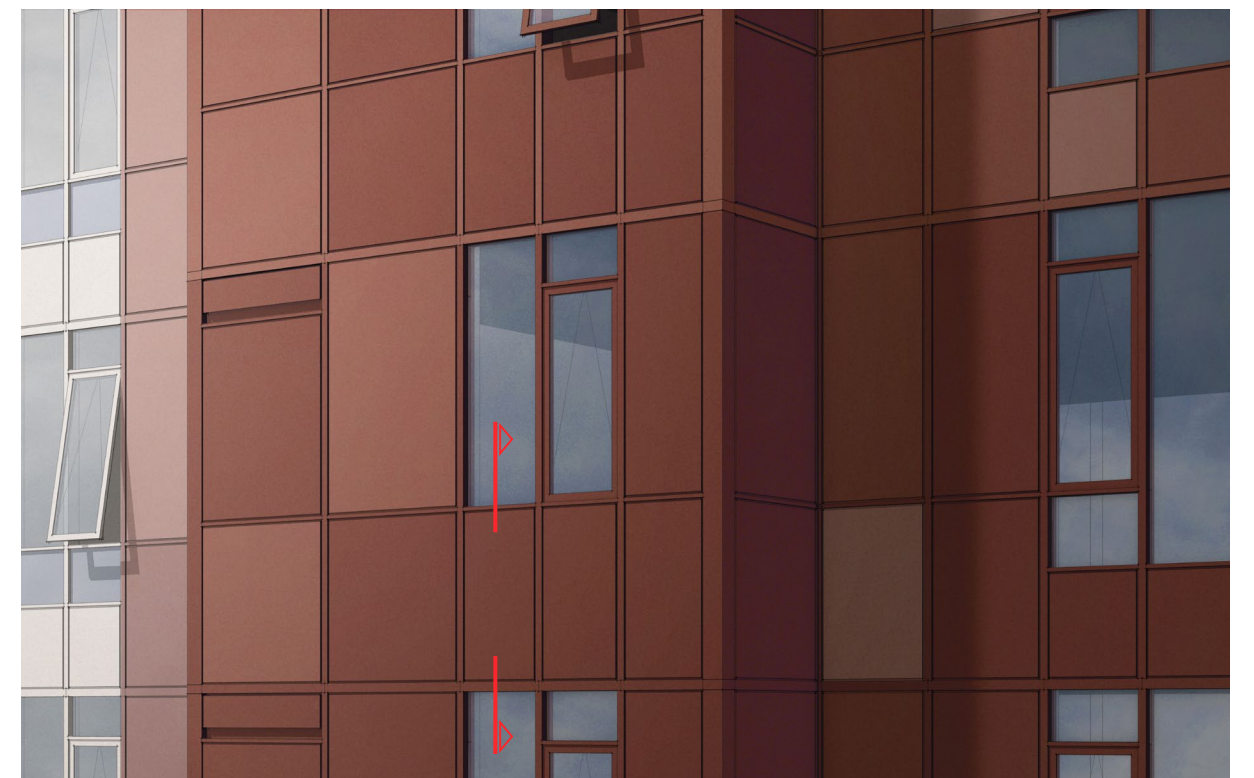
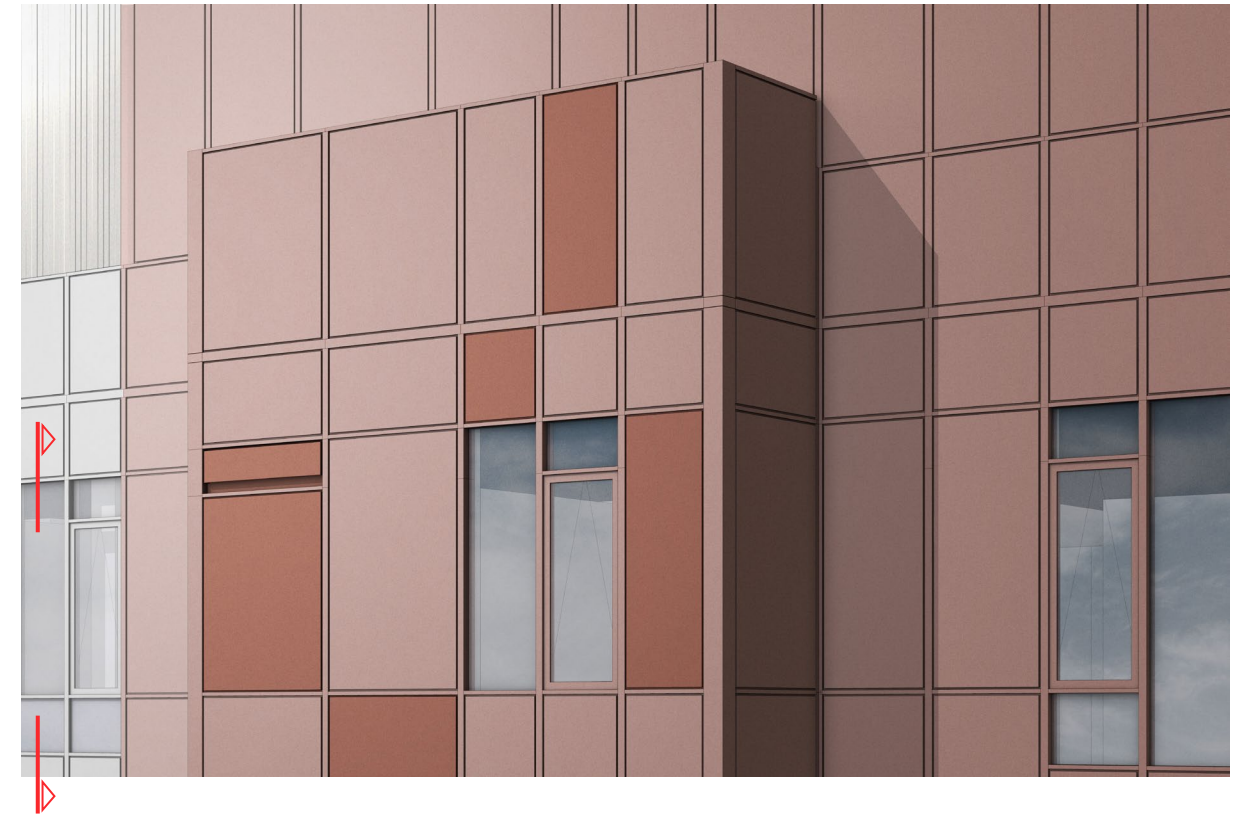
TOWER WINDOW WALL DETAILS



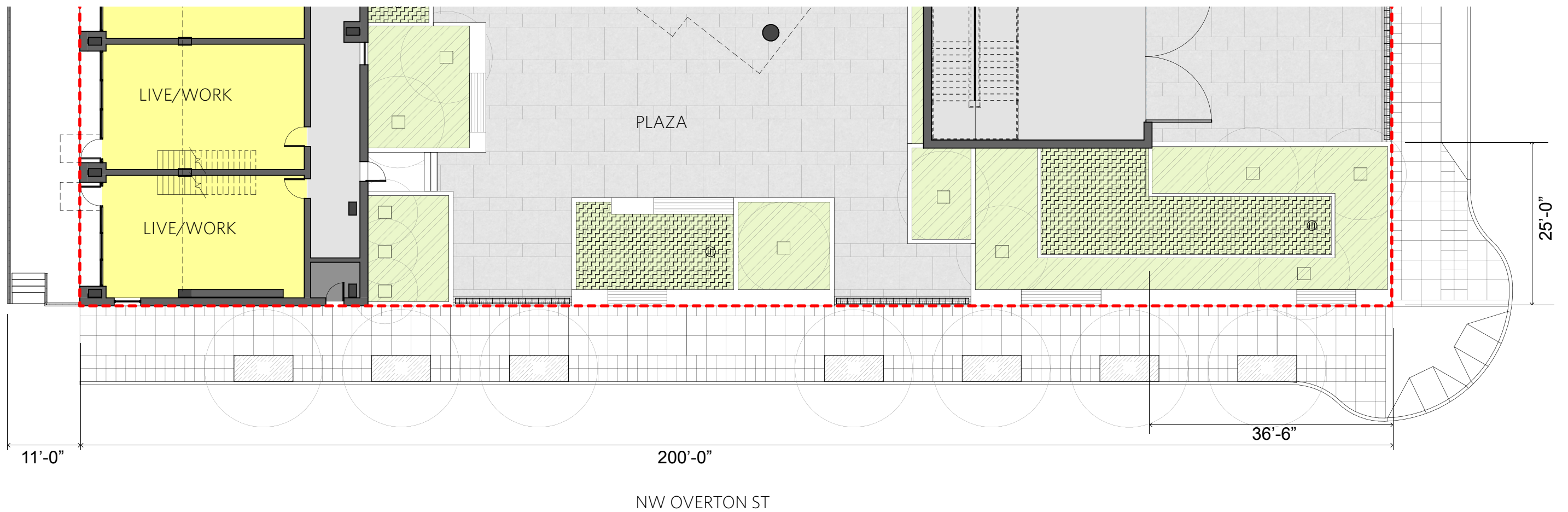
Typ. Metal Panel at Spandrel



Typ. Metal Panel at Glazing



TOWER WINDOW WALL DETAILS

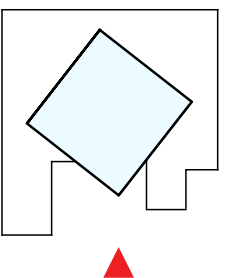


SOUTH PODIUM ELEVATION AND PLAN

THE OVERTON

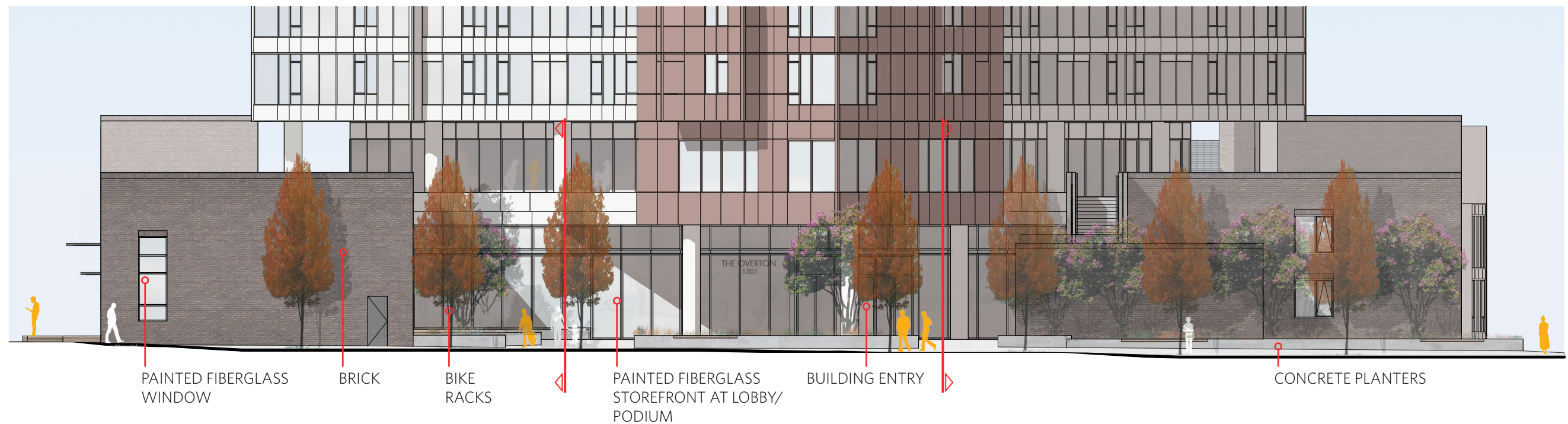
ZGF
ZIMMER GUNDEL FRASCA ARCHITECTS LLP

AM
Ankrom Moisan

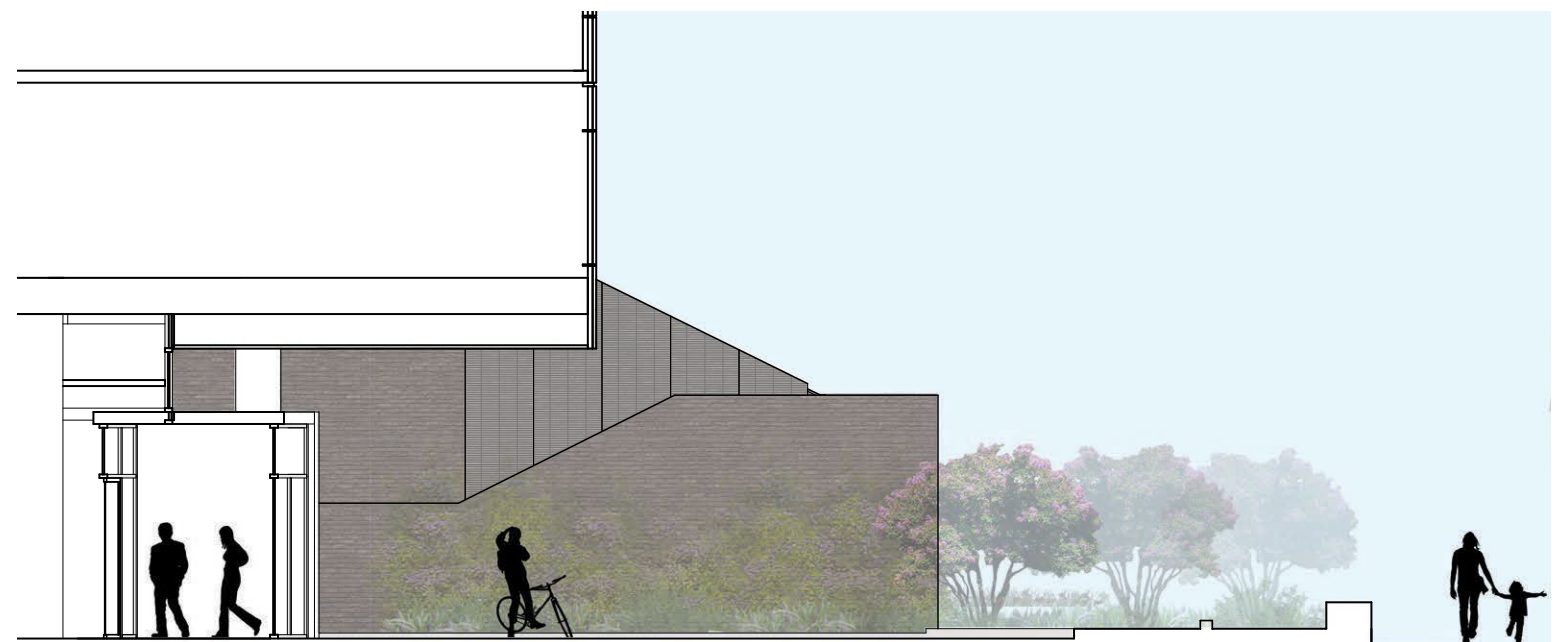


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Plaza Elevation at Live/Work Balconies



Plaza Elevation at Stair 5

SOUTH PODIUM AT OVERTON STREET - MATERIALITY



Painted wiremesh guardrail / screen



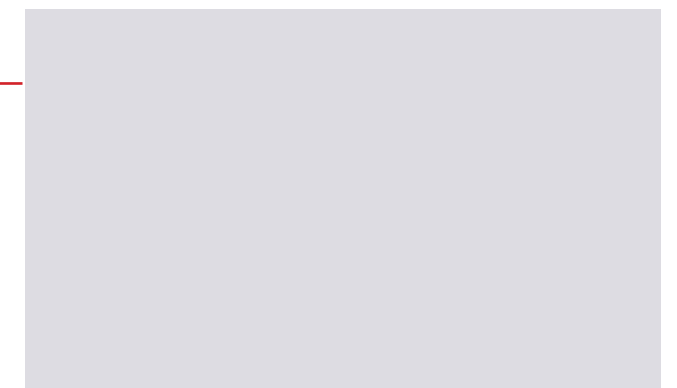
Painted metal at Podium = "Dark Grey" to match PPG "Silverstorm" or similar. To be used at metal mesh guardrails, metal louvers, metal panel, metal doors, and metal canopy.



Clinker Brick

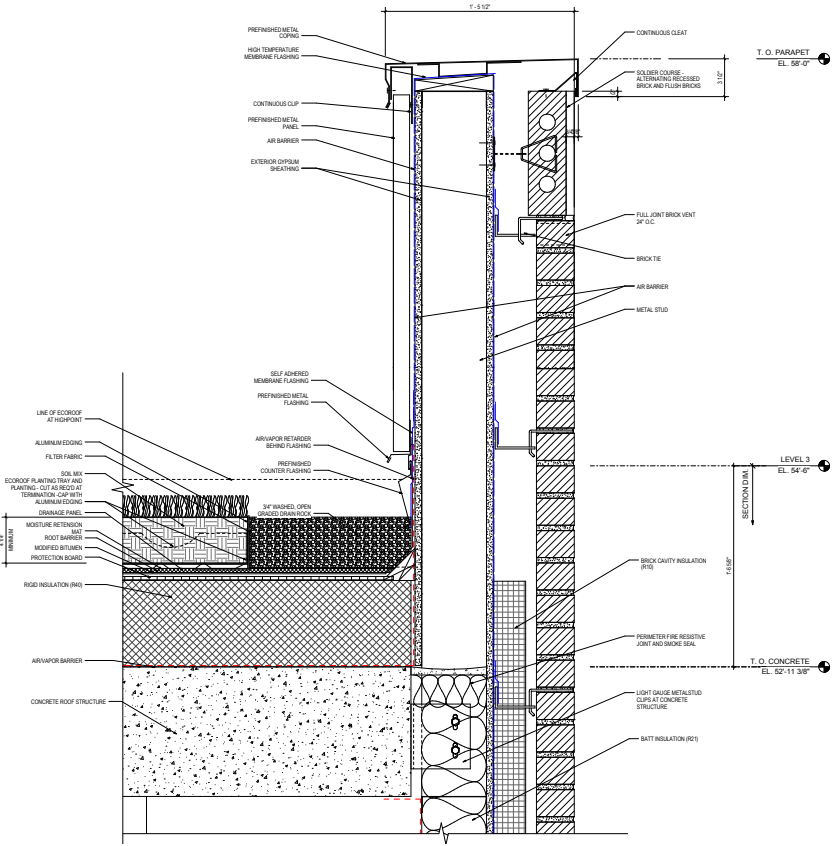


Sandblasted concrete floors and planters with built-in benches

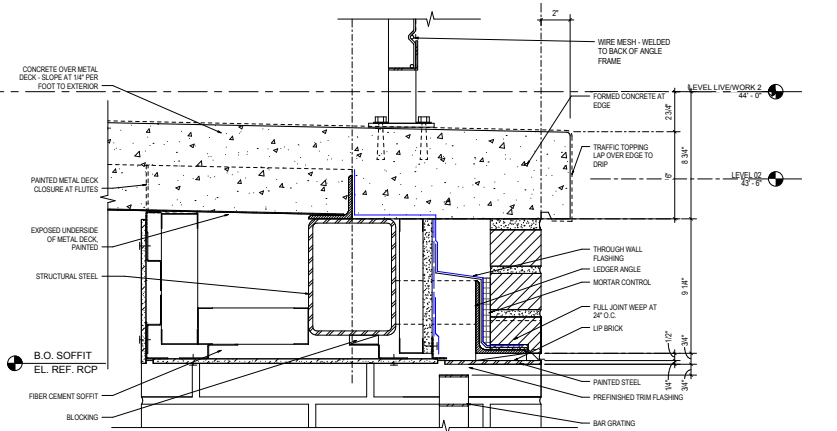


Painted metal panel at tower body "Light Grey" to match PPG "Satin Nickel" or similar. To be used at slab edge, louver, and mullion.

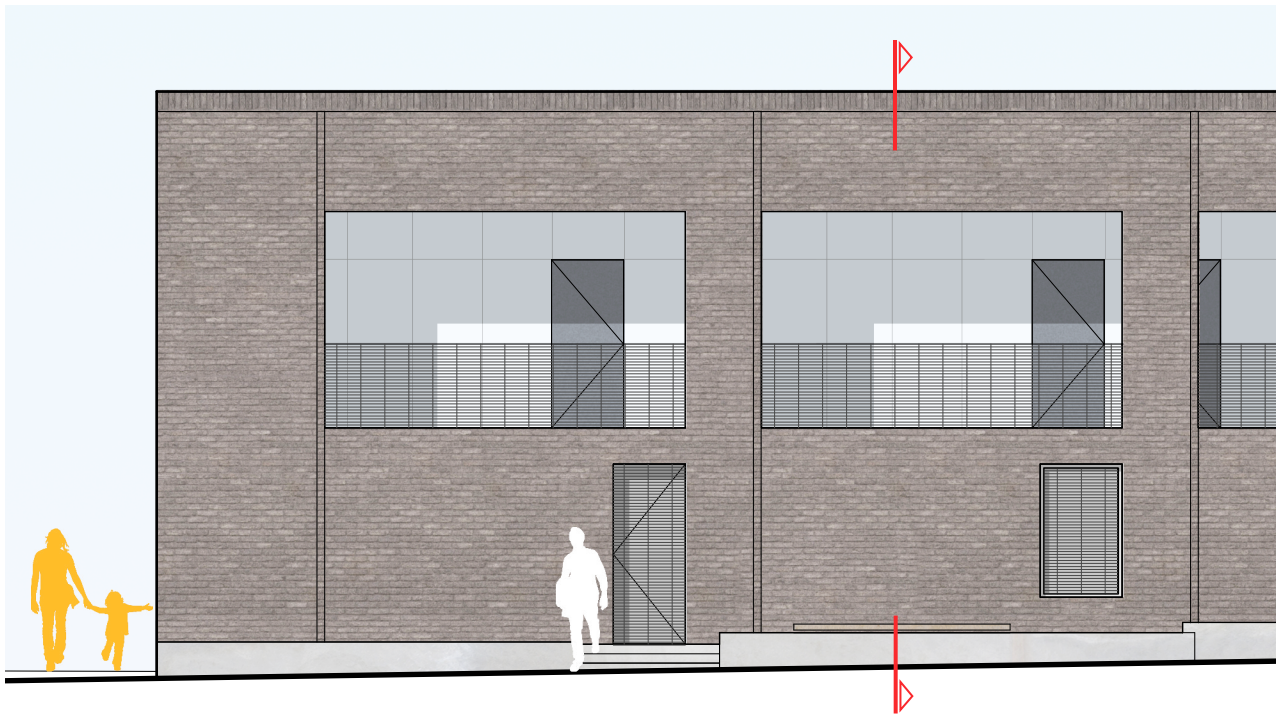
SOUTH PODIUM AT OVERTON STREET - MATERIALITY



Detail - Parapet at Ecoroof



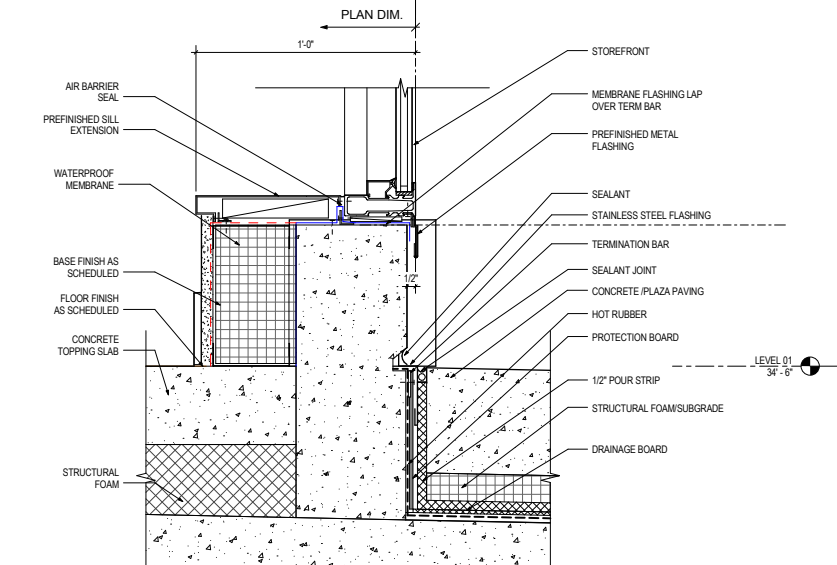
Detail - Live/Work Balcony Sill



Elevation

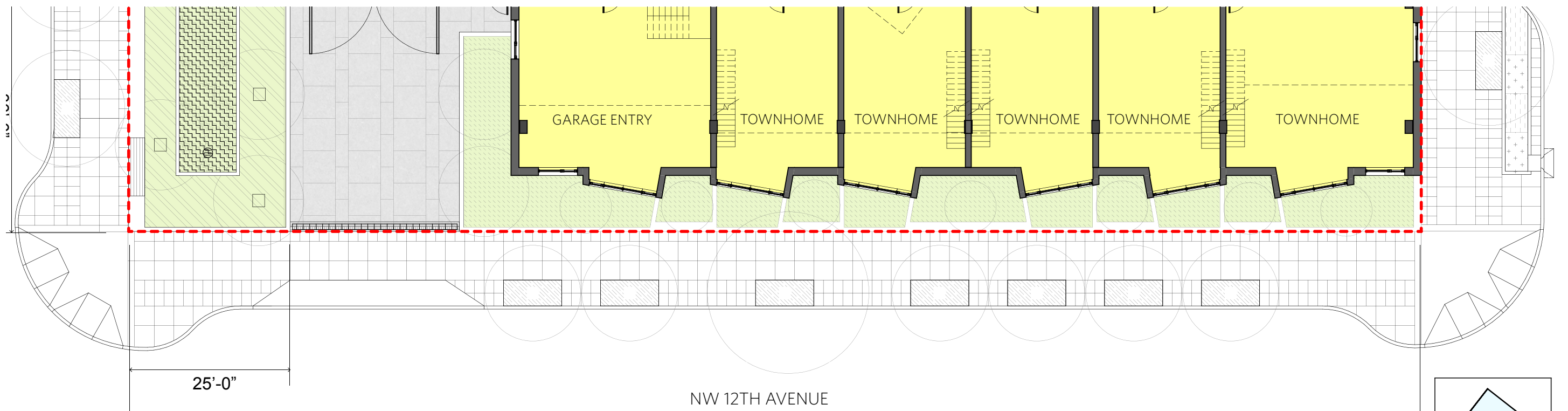


Section at Live/Work Balcony

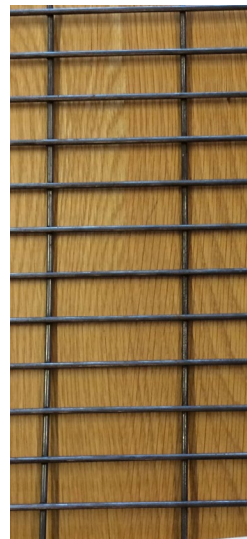
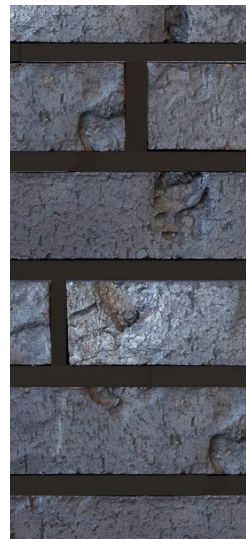
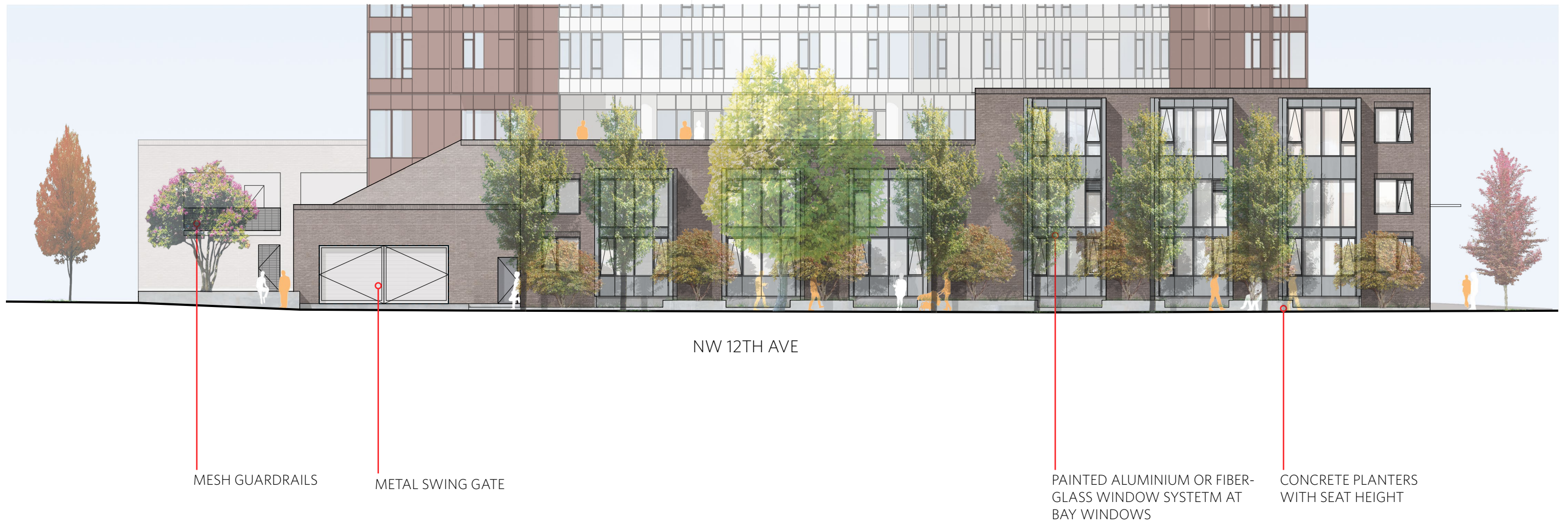


Storefront Sill at South Lobby

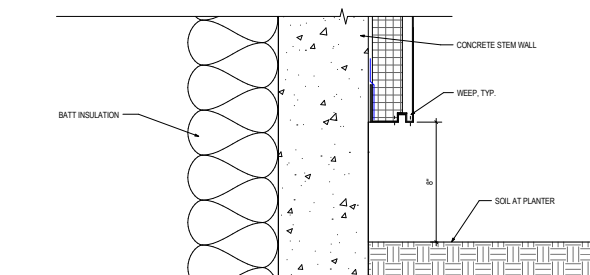
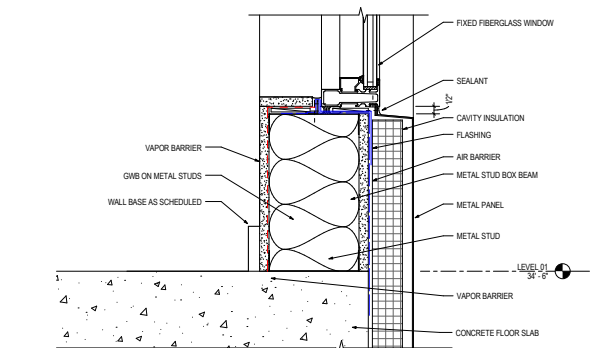
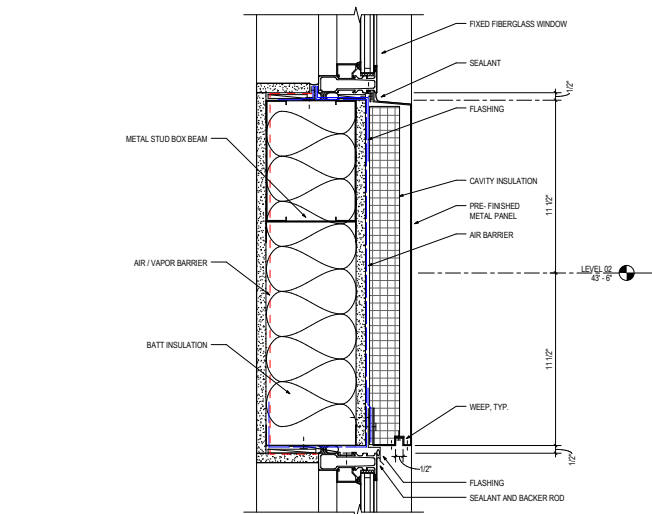
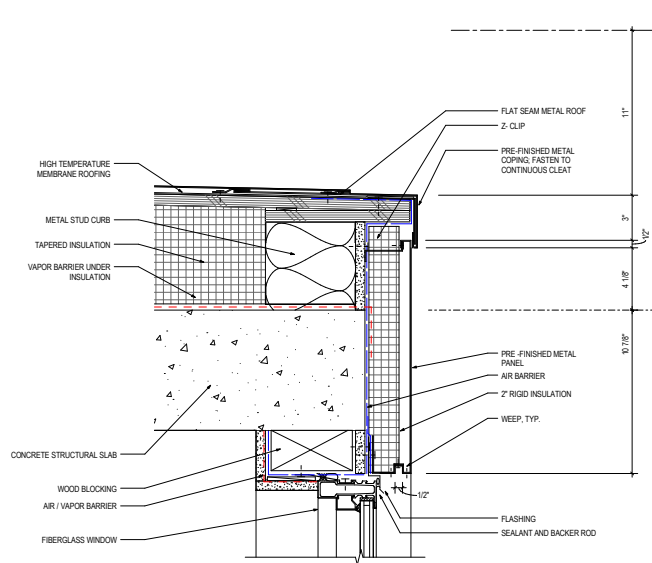
SOUTH PODIUM AT LIVE/WORK BALCONIES



EAST PODIUM AT 12TH AVENUE ELEVATION AND PLAN



EAST PODIUM AT 12TH AVENUE - MATERIALITY



Detail Through Bay Window



Elevation



Section at Townhome Bay Window



View Looking Northwest

EAST PODIUM AT 12TH AVENUE

THE OVERTON

ZGF
ZIMMER GUNDEL TRACCA ARCHITECTS LLP

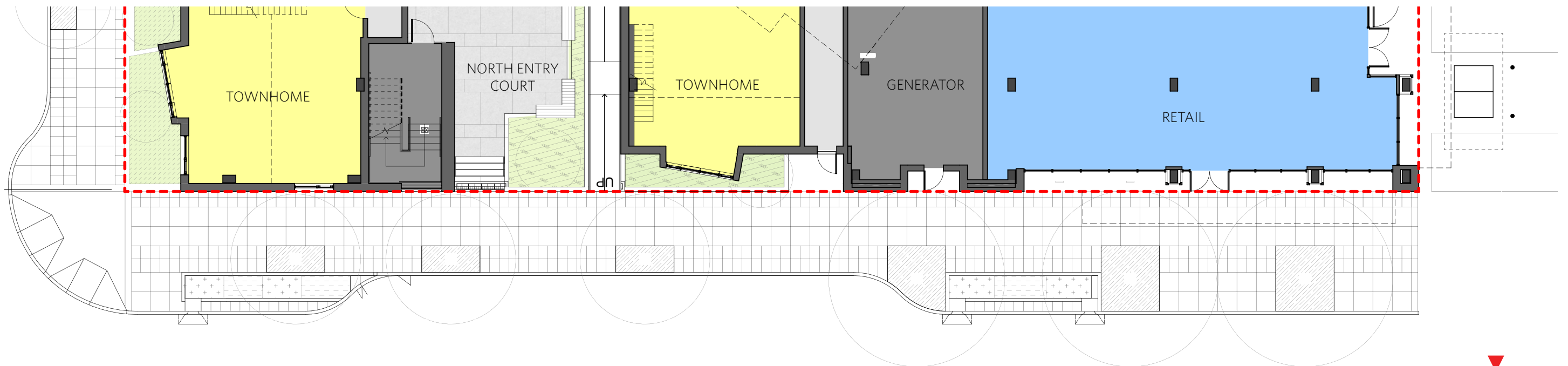
Ankrom Moisan

File No. LU 13-233011 DZM

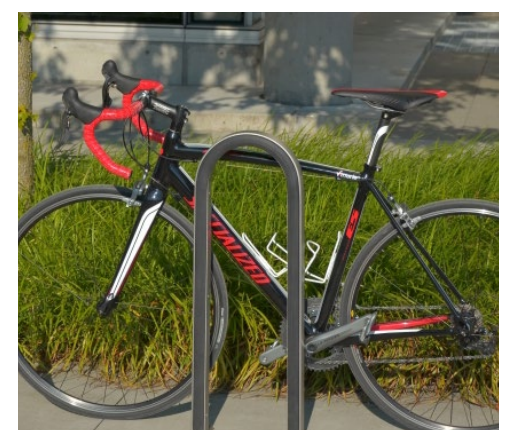
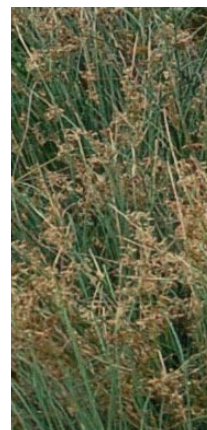
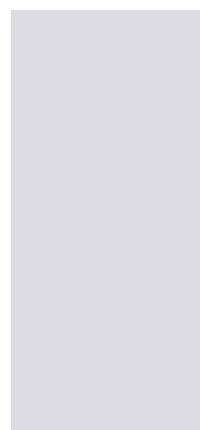
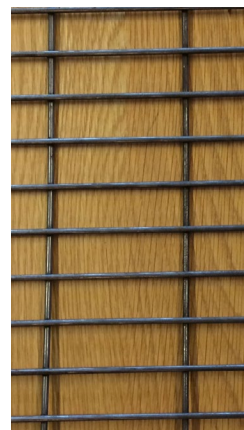
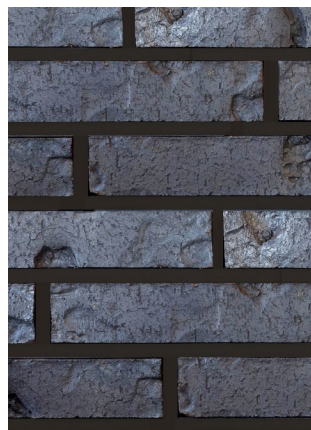
February 20th, 2014



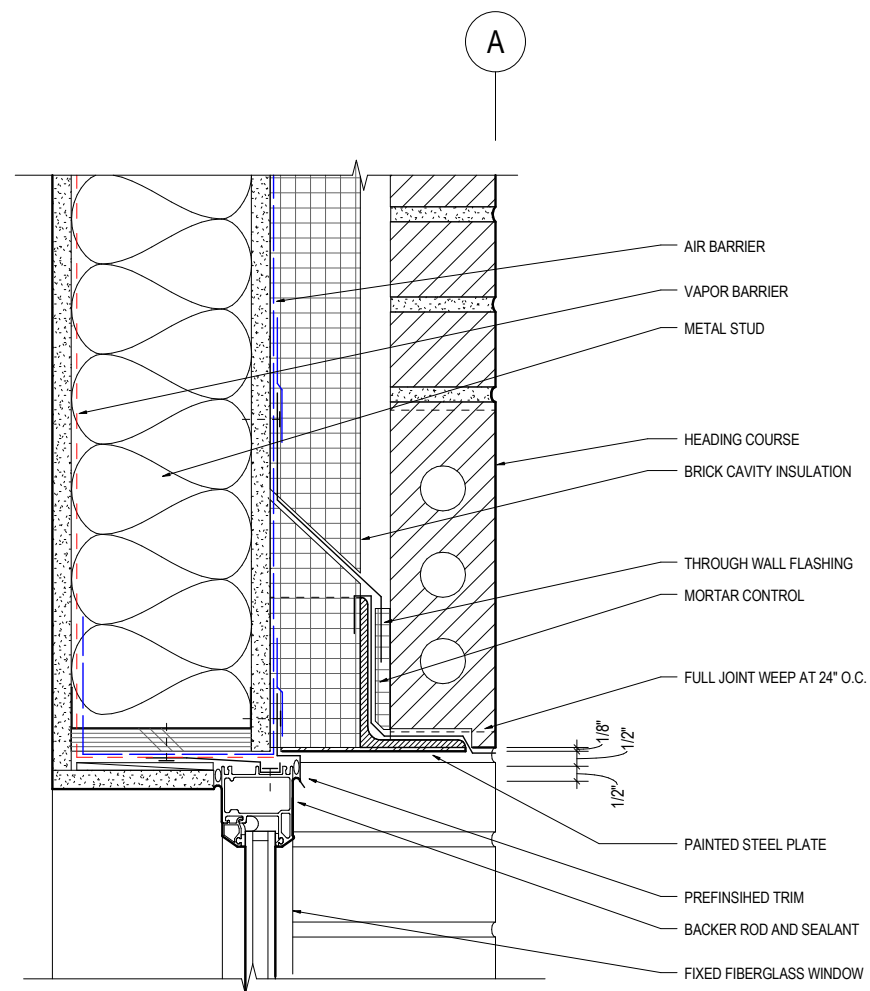
NW PETTYGROVE ST



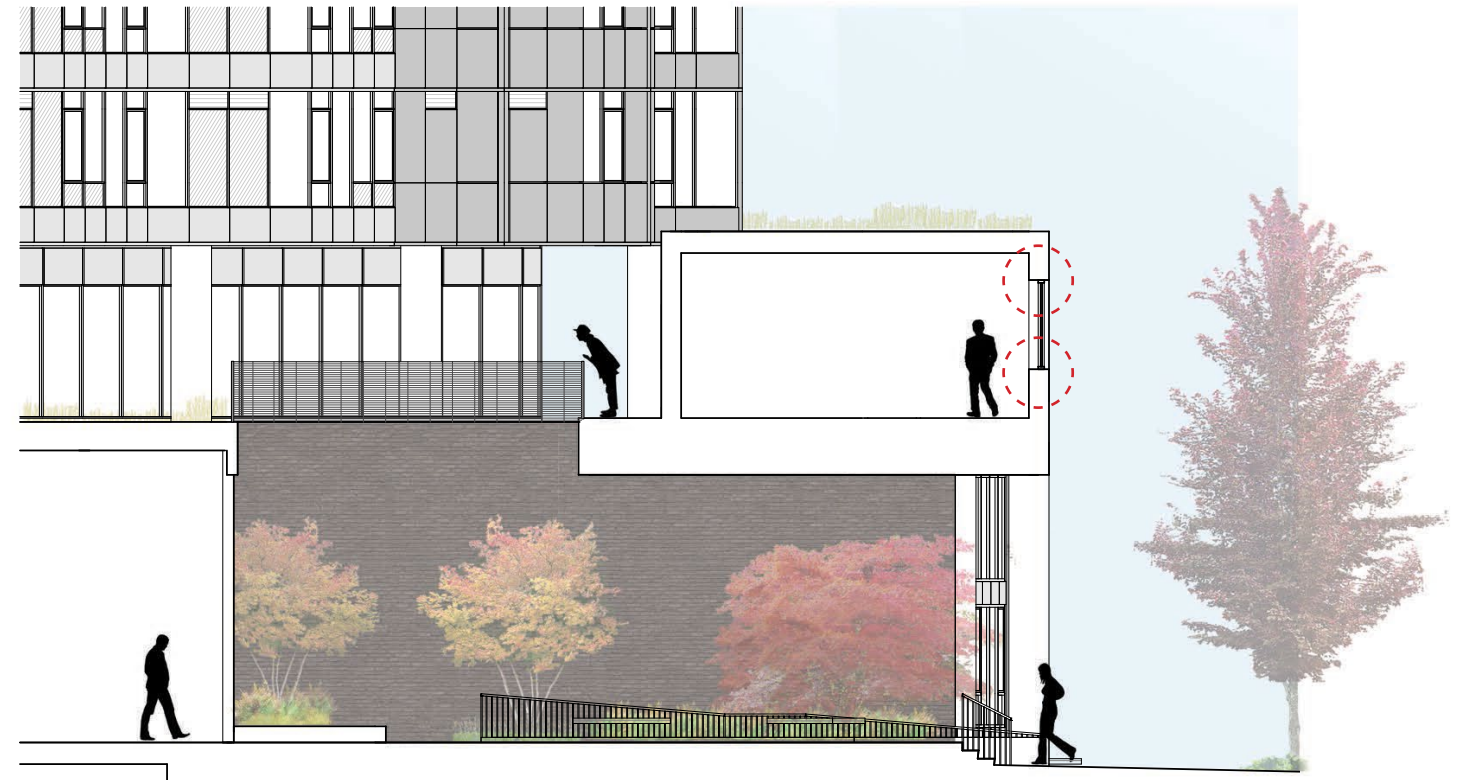
NORTH PODIUM AT PETTYGROVE STREET - ELEVATION AND PLAN



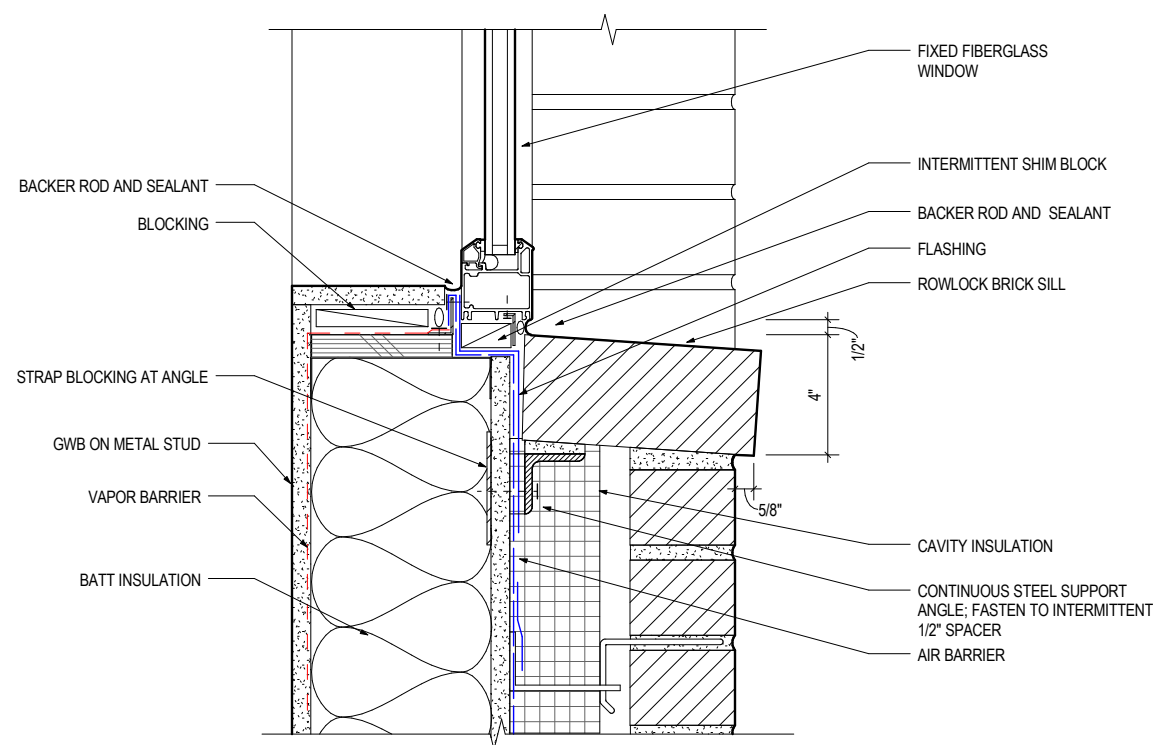
NORTH PODIUM AT PETTYGROVE STREET - MATERIALTY



Detail - Fixed Window Head



Section at North Entry

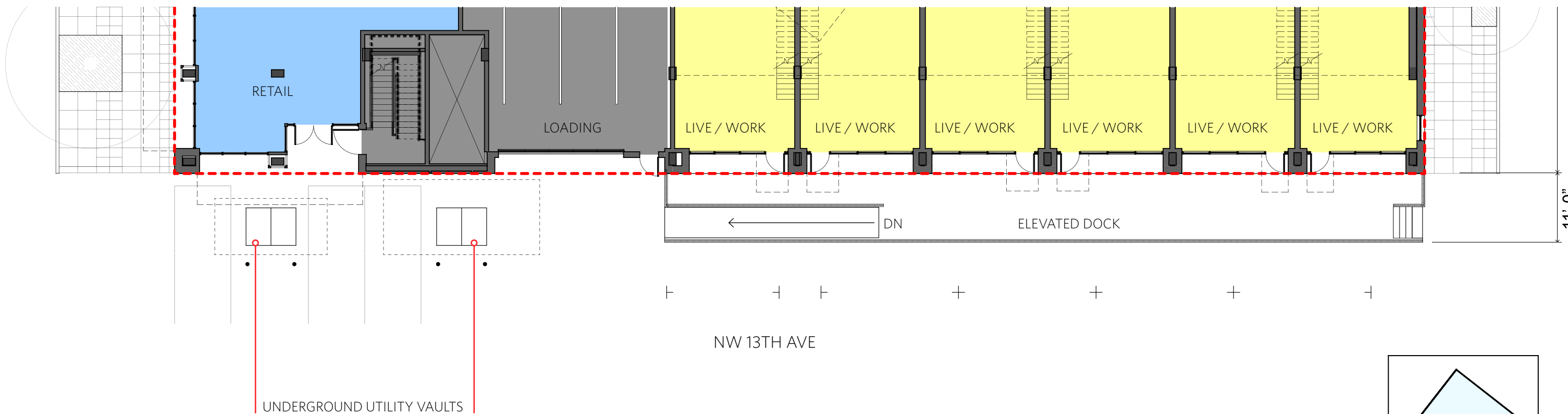


Detail - Fixed Window Sill

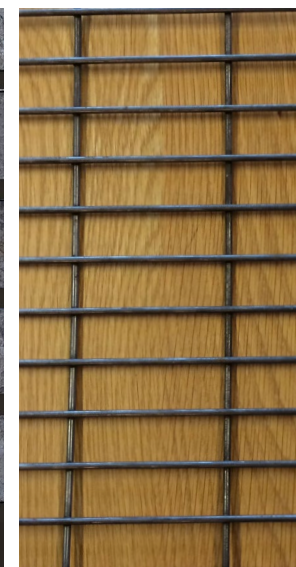
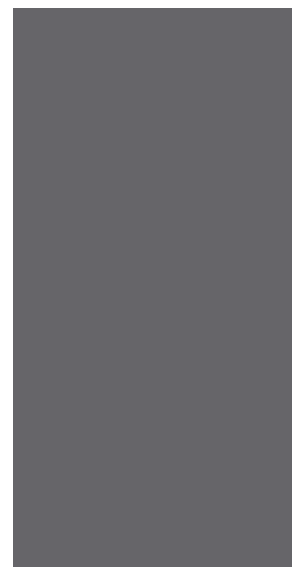
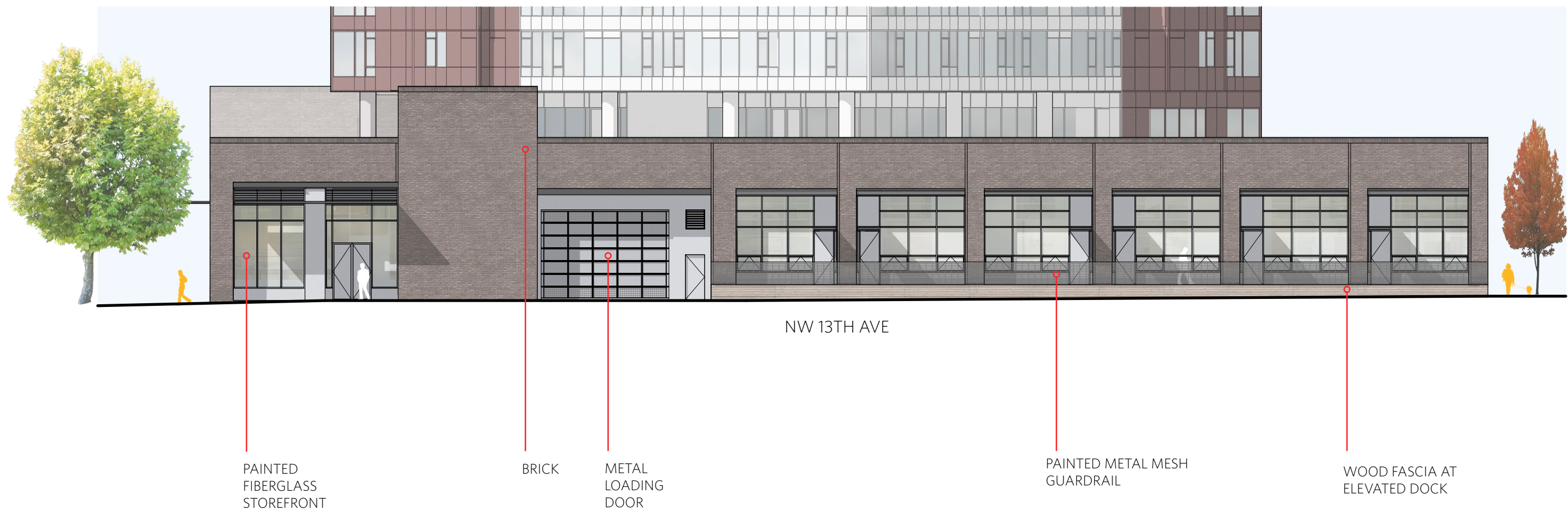


View Looking Southwest

NORTH PODIUM AT PETTYGROVE STREET



WEST PODIUM AT 13TH AVENUE - ELEVATION AND PLAN



WEST PODIUM AT 13TH AVENUE - MATERIALITY



Painted metal mesh guardrail



Painted Metal at Podium = "Dark Grey" to match PPG "Silverstorm" or similar. To be used at metal mesh guardrails, metal louvers, metal panel, metal doors, and metal canopy.



Clinker Brick

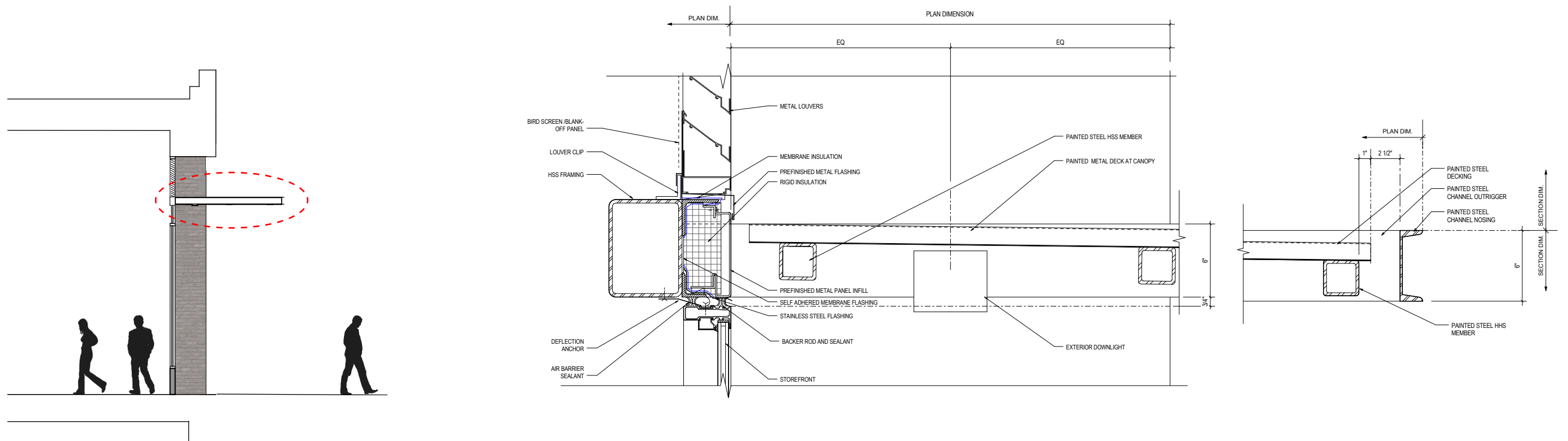


Wood Fascia at elevated dock

WEST PODIUM AT 13TH AVENUE - MATERIALITY



Elevation

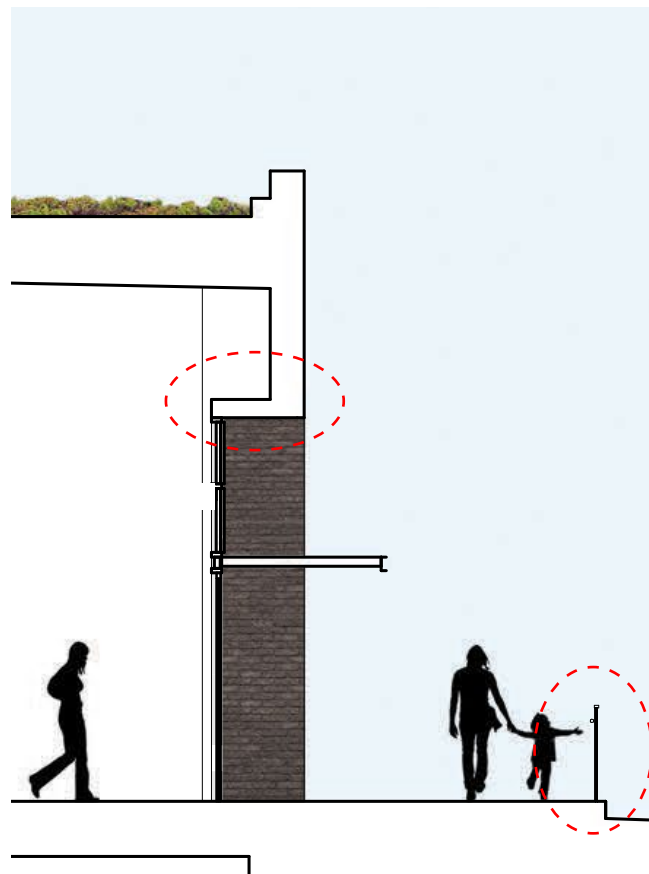


WEST PODIUM AT 13TH AVENUE

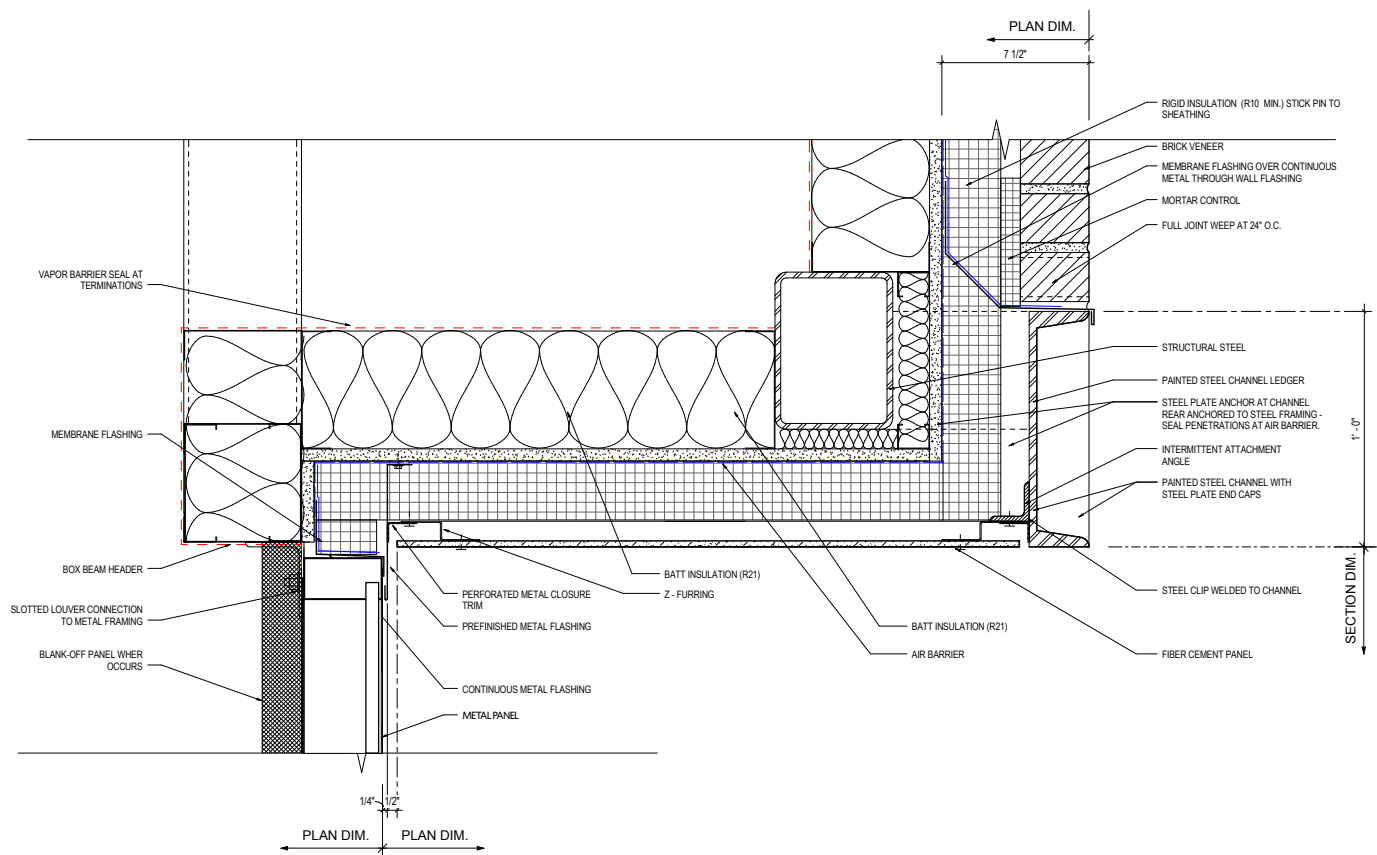


Elevation

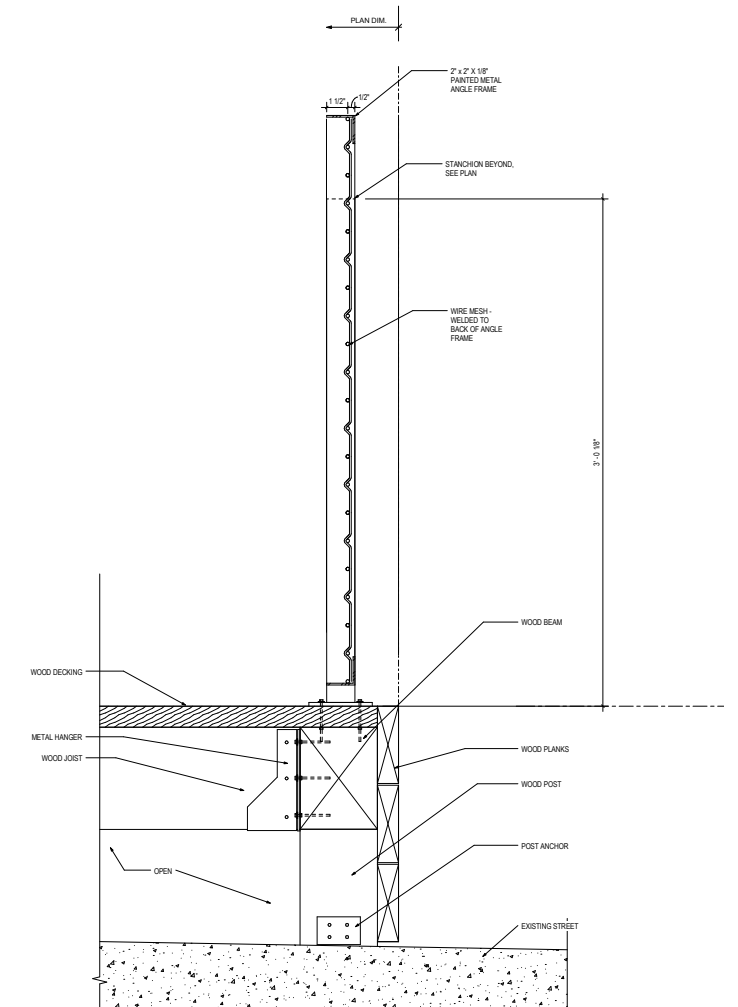
NW 13TH AVE



Section at Live/Work Entry



Detail - Soffit at Retail



Guardrail Detail at Wood Dock

WEST PODIUM AT 13TH AVENUE

THE OVERTON

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February 20th, 2014



STREET LEVEL LANDSCAPE PLAN

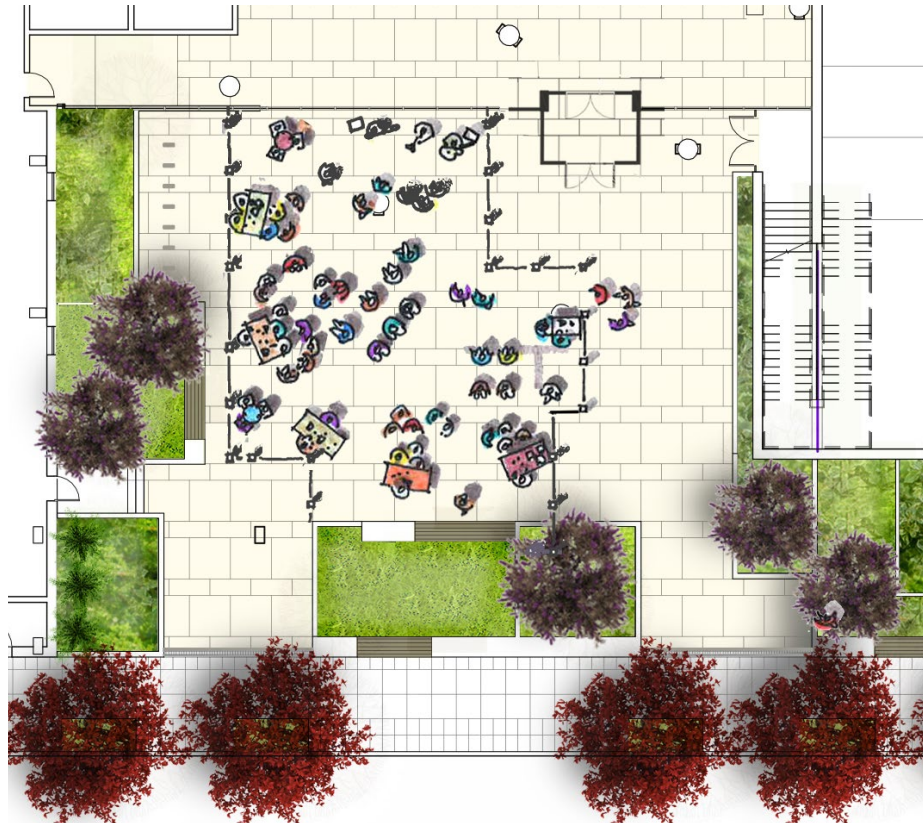
THE OVERTON

ZGF
ZIMMER GUNDEL TRASK ARCHITECTS LLP

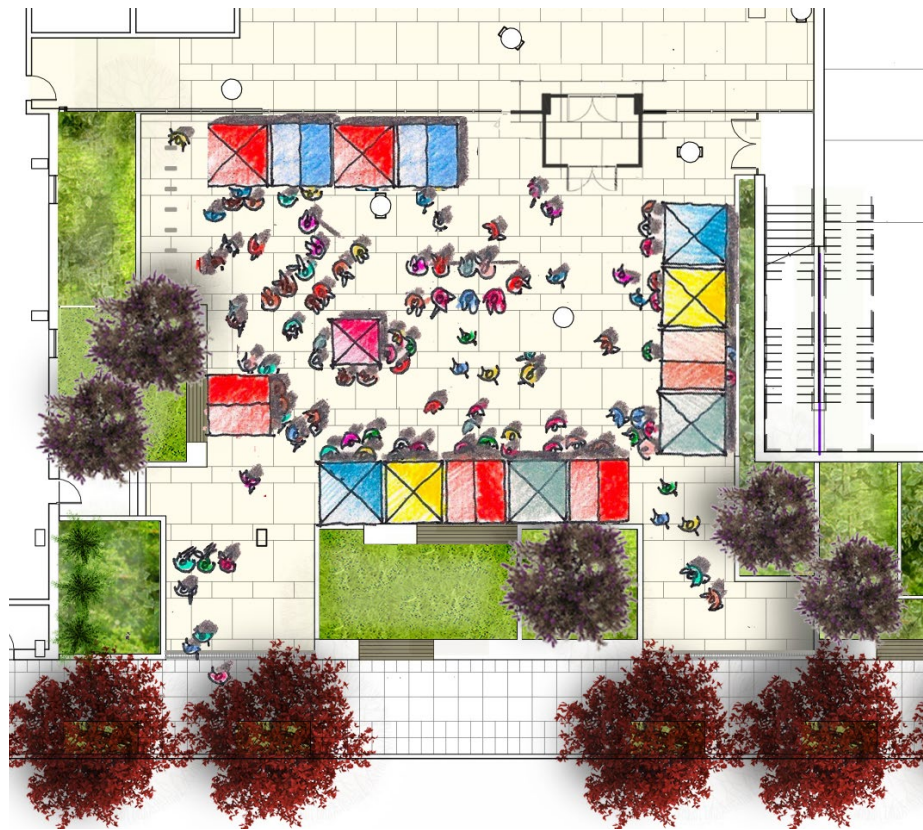
Ankrom Moisan

File No. LU 13-233011 DZM

February 20th, 2014



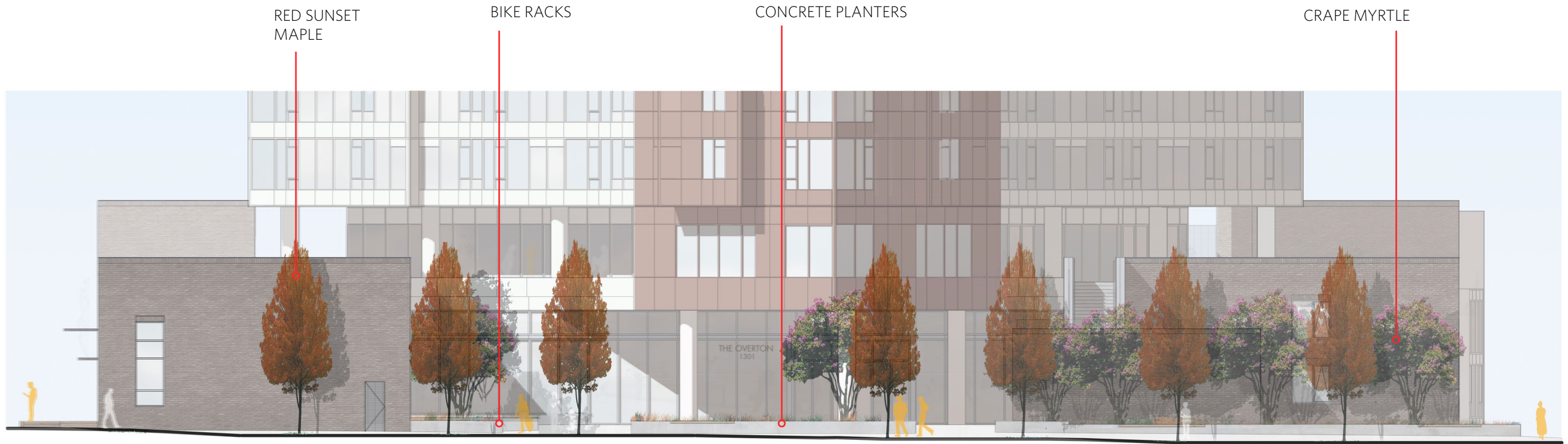
Wine Tasting



Farmer's Market



OVERTON PLAZA SPACE USES

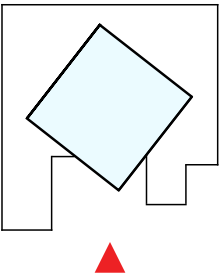


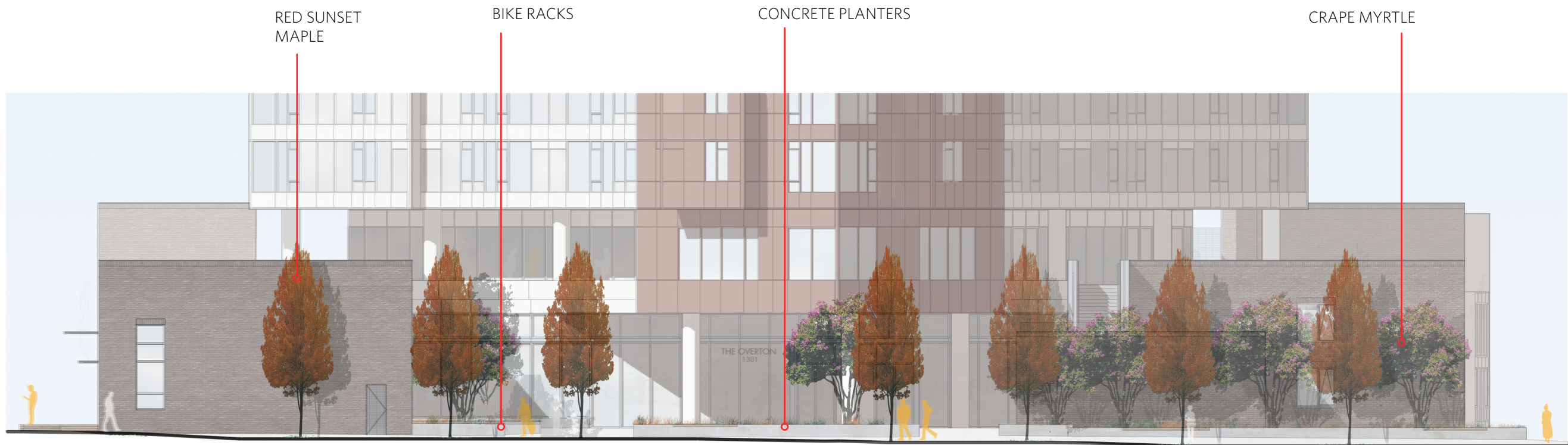
Elevation



Plan

NW OVERTON STREET LANDSCAPE





Elevation



RED MAPLE



RUSH



SLOUGH SEDGE



DOGWOOD



ICE DANCE SEDGE



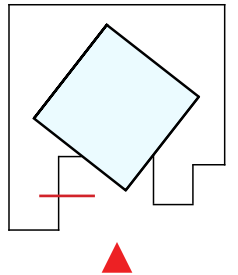
CRAPE MYRTLE



LIRIOPE



Section at Live/Work Balcony



Plantings at NW Overton Street

NW OVERTON STREET LANDSCAPE

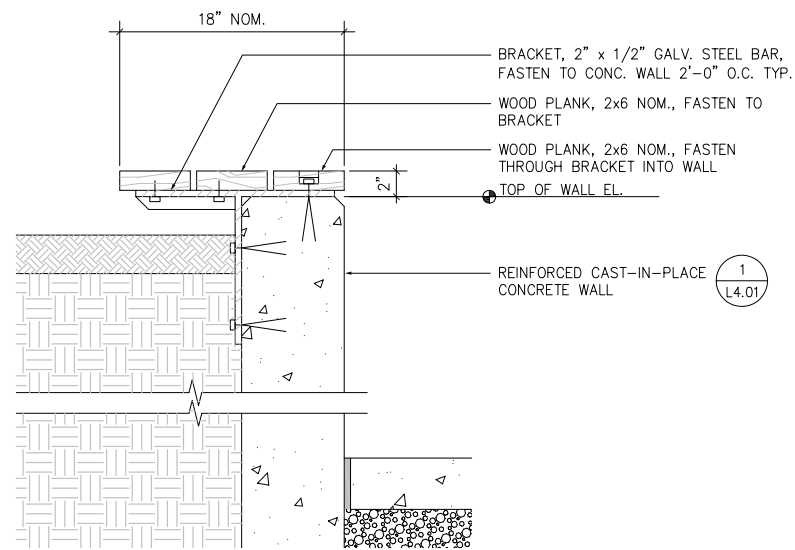
THE OVERTON

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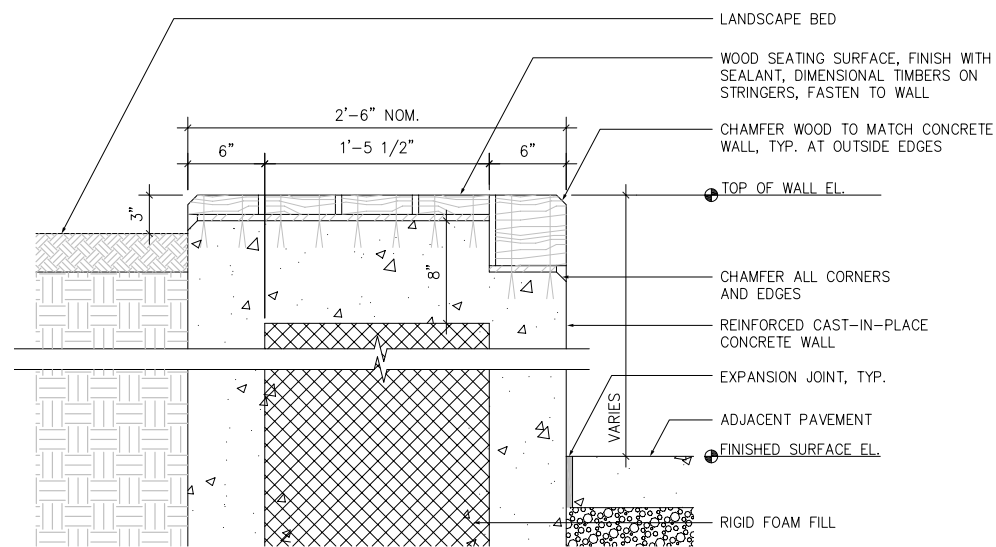
Ankrom Moisan

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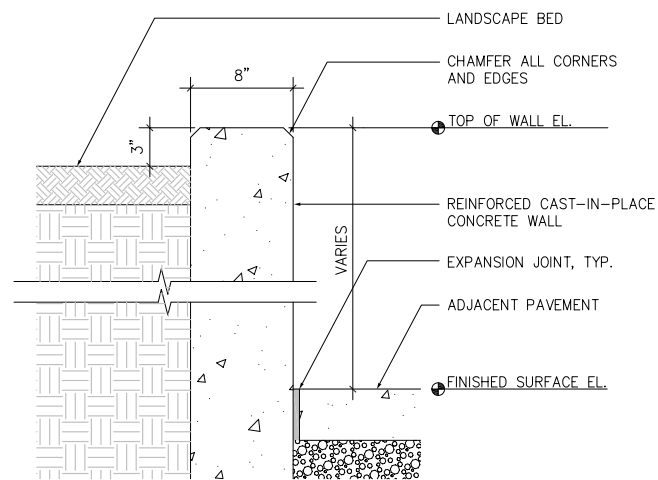
February 20th, 2014



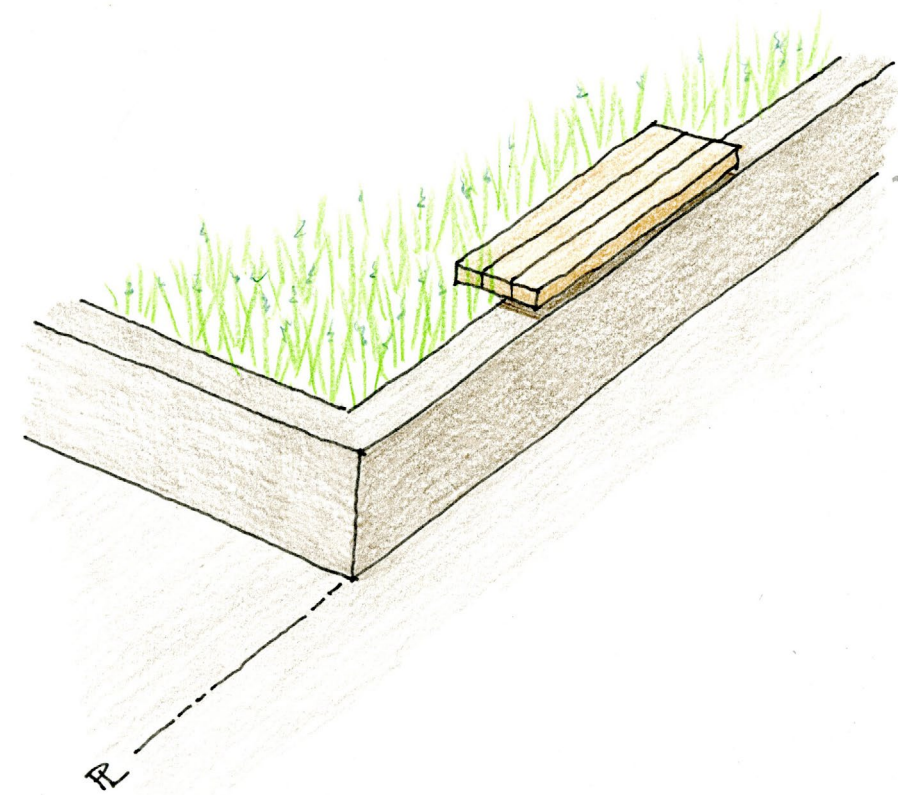
8" Site Wall with Wood Seating



Site Wall with Wood Seating



8" Site Wall



View of Seatwall



View of Plaza Looking Northwest

NW OVERTON STREET LANDSCAPE

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VIEW LOOKING NORTHEAST ALONG OVERTON STREET

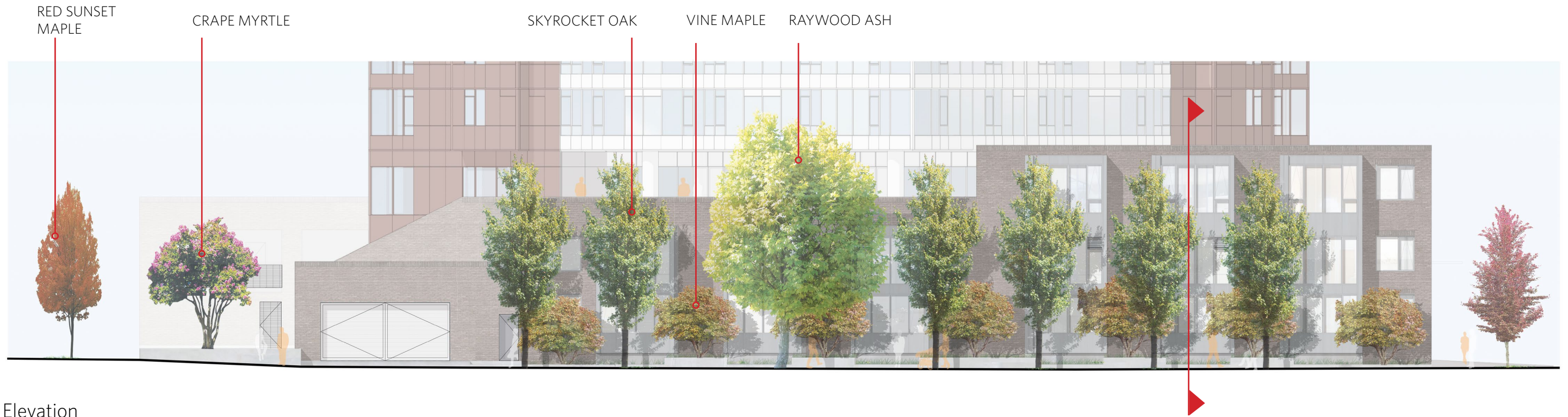
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NW 12TH AVENUE LANDSCAPE

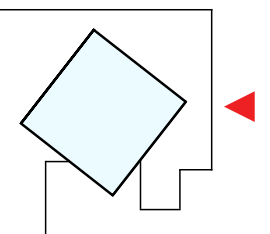
THE OVERTON

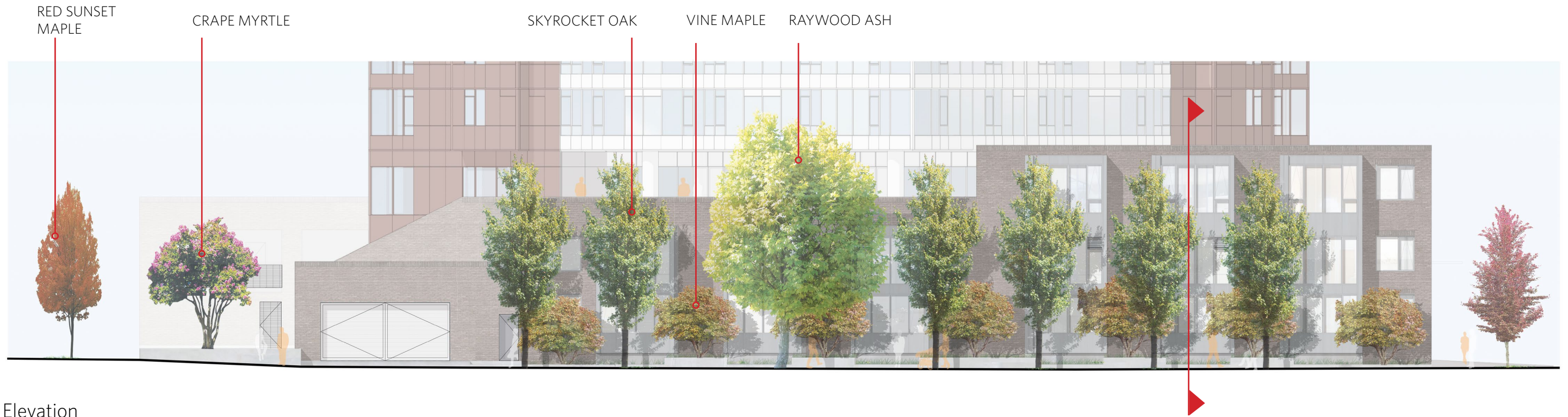
ZGF
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Ankrom Moisan

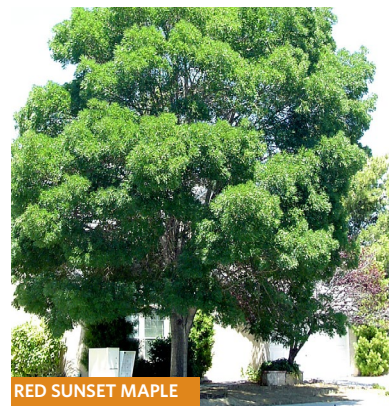
File No. LU 13-233011 DZM

February 20th, 2014



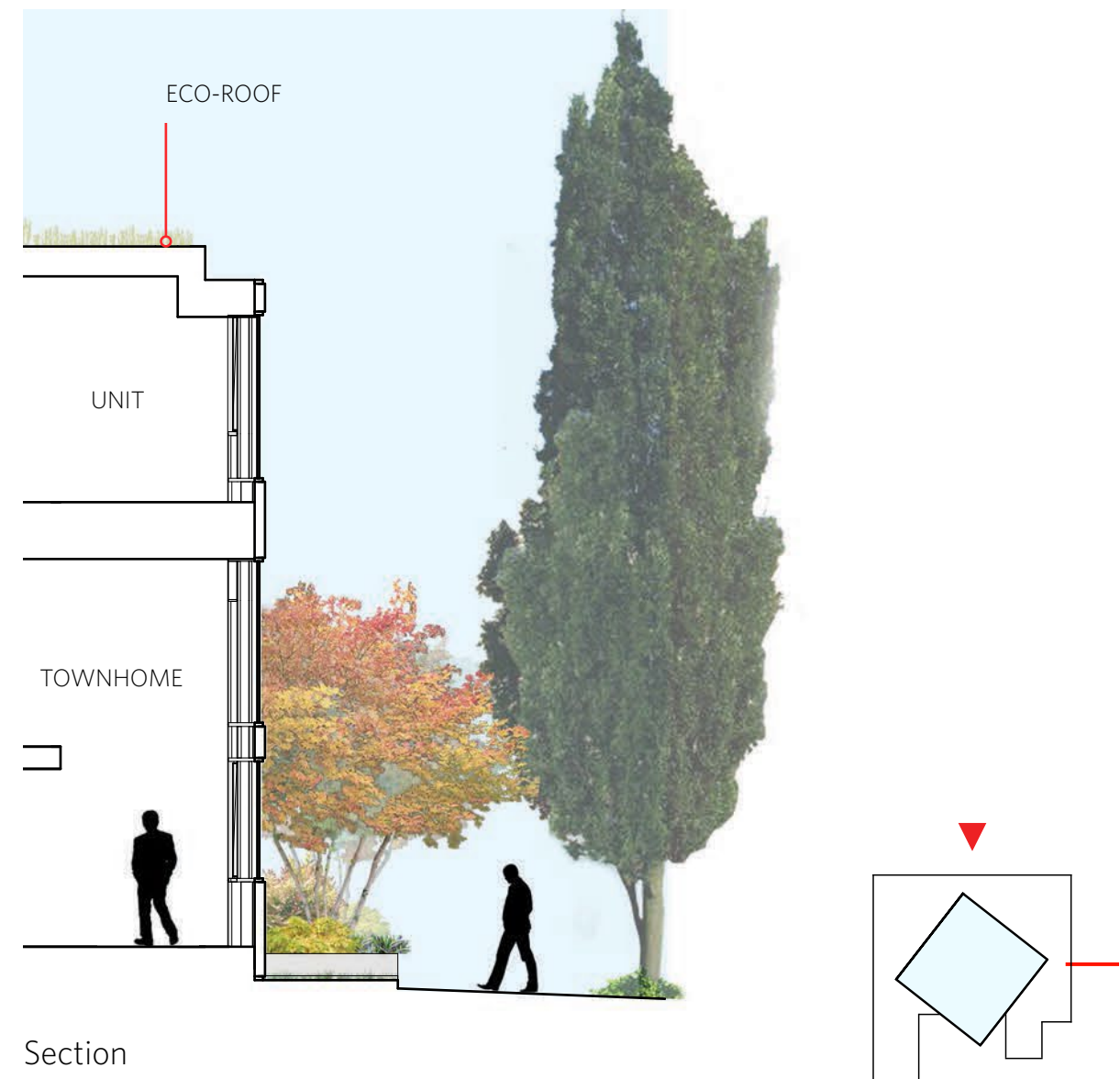


Elevation



Plantings on NW 12th Avenue

NW 12TH AVENUE LANDSCAPE





VIEW LOOKING NORTHWEST ALONG 12TH AVENUE

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February 20th, 2014

RED SUNSET
MAPLE

JAPANESE MAPLE

LONDON
PLANETREE

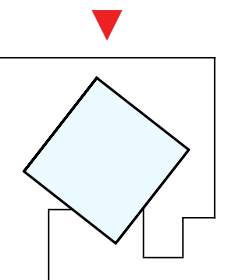


Elevation



NW PETTYGROVE STREET

Plan



NW PETTYGROVE STREET LANDSCAPE

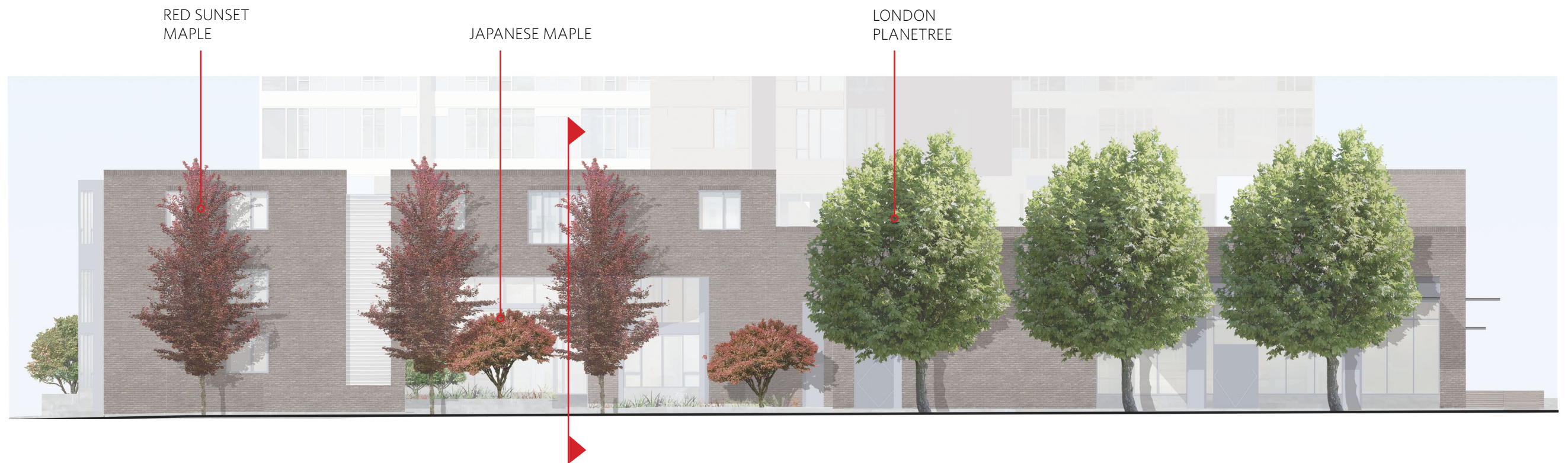
THE OVERTON

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Ankrom Moisan

File No. LU 13-233011 DZM

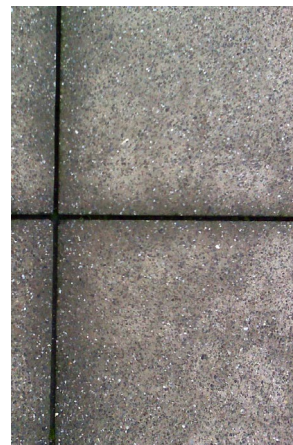
February 20th, 2014



Elevation



OREGON GRAPE



LONDON PLANETREE



RED SUNSET MAPLE



Section

Plantings and pavement at NW Pettygrove Street

NW PETTYGROVE STREET LANDSCAPE

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VIEW LOOKING SOUTHWEST ALONG NW PETTYGROVE STREET

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Extensive Roof Plantings



0' 5' 10' 20'

PODIUM LEVEL LANDSCAPE PLAN

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PODIUM LEVEL 3

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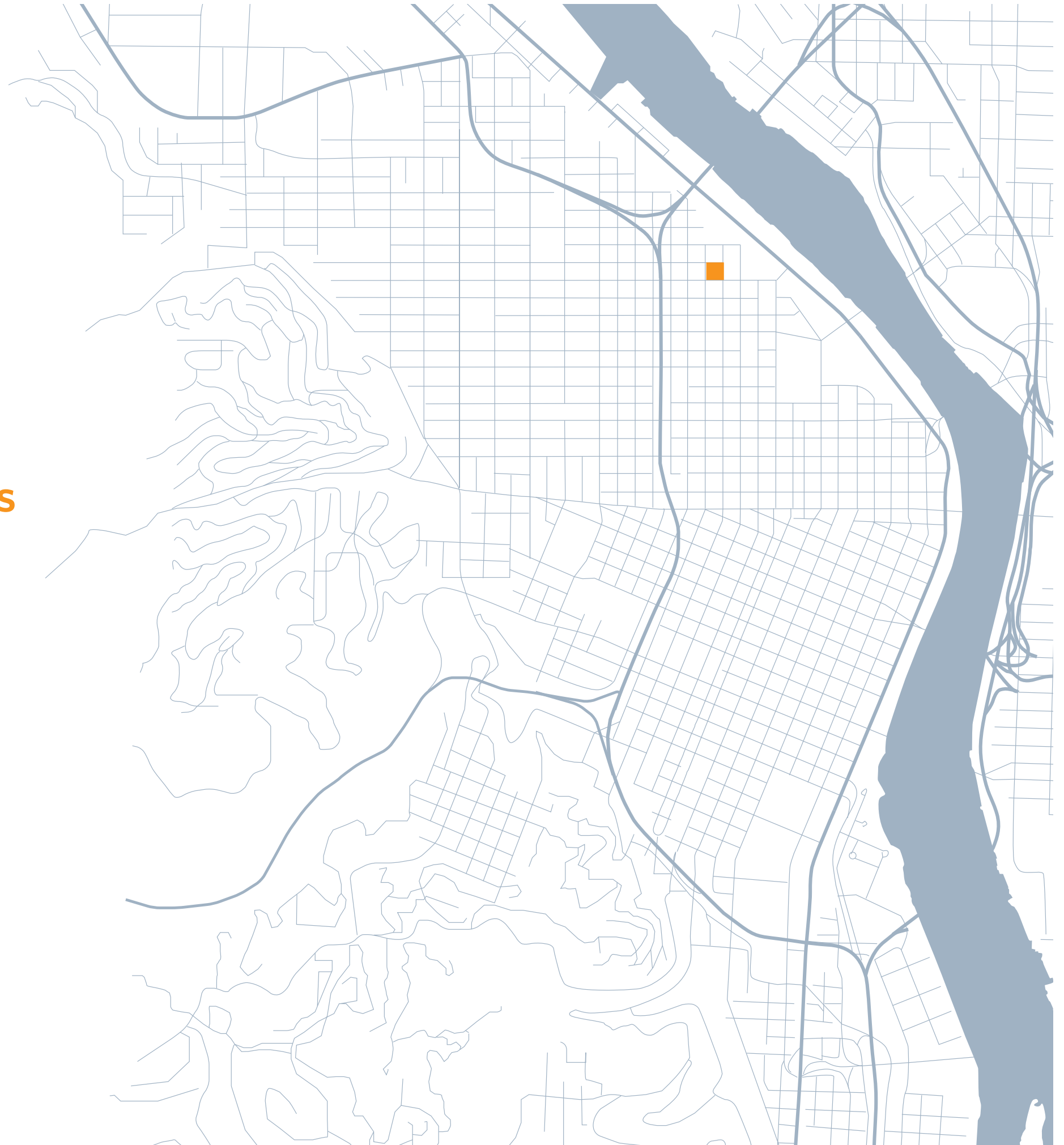
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February 20th, 2014

What we heard:

- Coherency
- Quality
- Parking Entry Massing
- NW Avenue 12th Townhomes
- Overall Ground Level
- ADA Ramp





ADA RAMP AT LEVEL 1

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February 20th, 2014



TOWNHOMES MODIFICATION - PATIO OPTION

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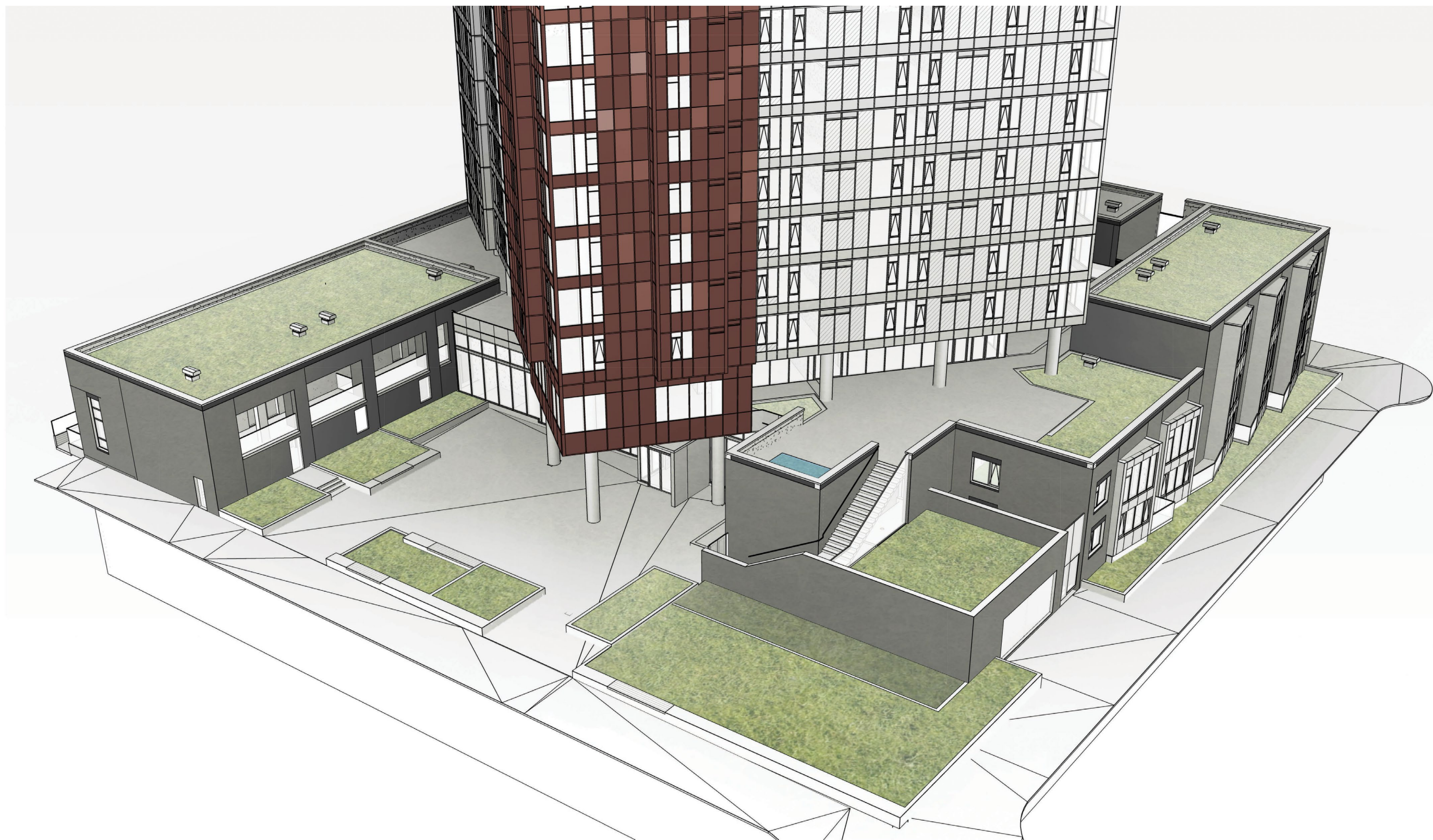
February 20th, 2014



TOWNHOMES MODIFICATION- PATIO OPTION



PARKING ENTRY MODIFICATION- OPTION 1



PARKING ENTRY MODIFICATION- OPTION 1

THE OVERTON

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Elevation at NW Overton Street



PARKING ENTRY MODIFICATION- OPTION 1

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File No. LU 13-233011 DZM

February 20th, 2014



PARKING ENTRY MODIFICATION- OPTION 2

THE OVERTON

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PARKING ENTRY MODIFICATION- OPTION 2

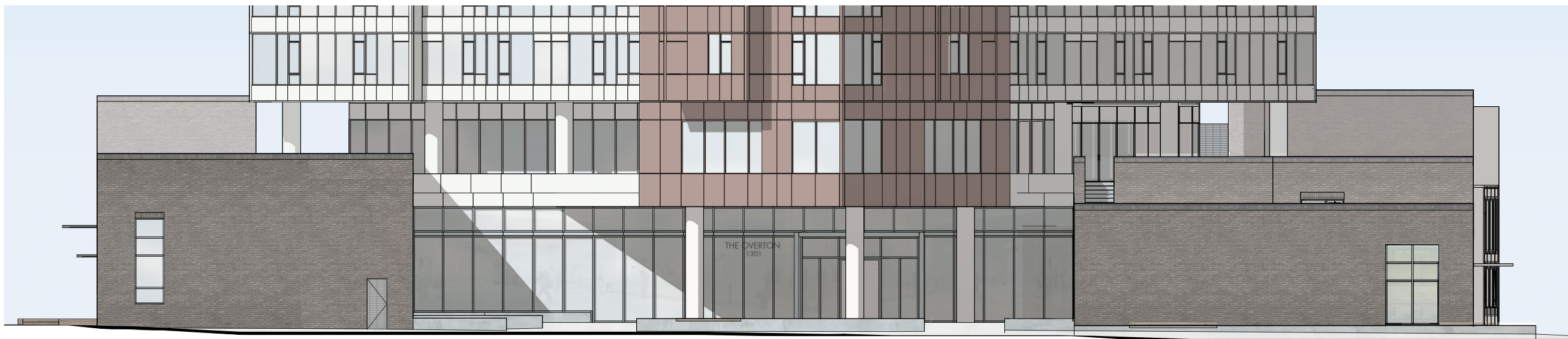
THE OVERTON

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File No. LU 13-233011 DZM

February 20th, 2014



Elevation at NW Overton Street



Elevation at NW 12th Avenue

PARKING ENTRY MODIFICATION- OPTION 2

THE OVERTON

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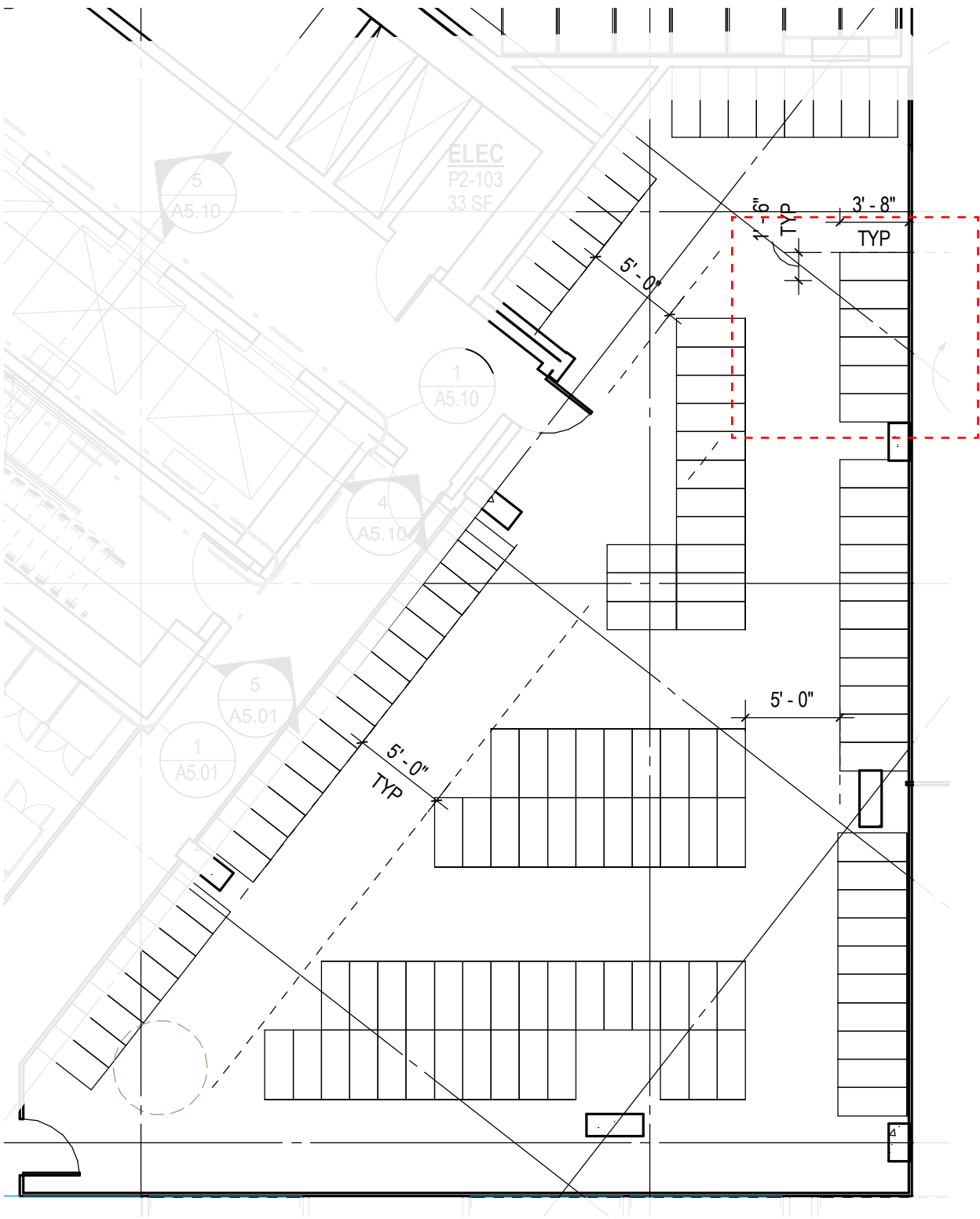
AM
Ankrom Moisan

File No. LU 13-233011 DZM

February 20th, 2014

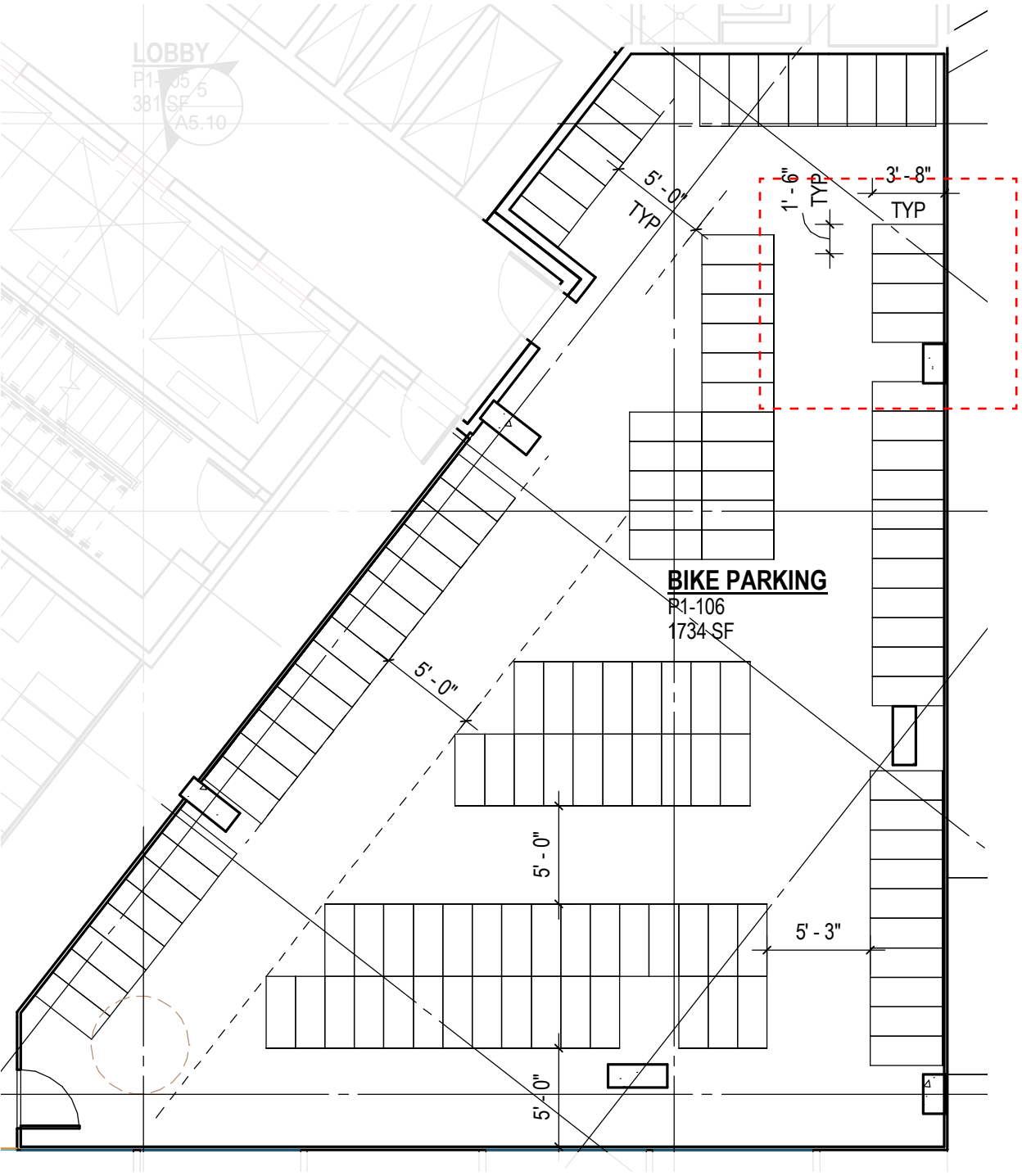
MODIFICATIONS

LEVEL P2



Example P2 Bike Storage 1/8" = 1'-0"
Typical Dimension: 18"x44"
Typical Aisle: 5'-0"

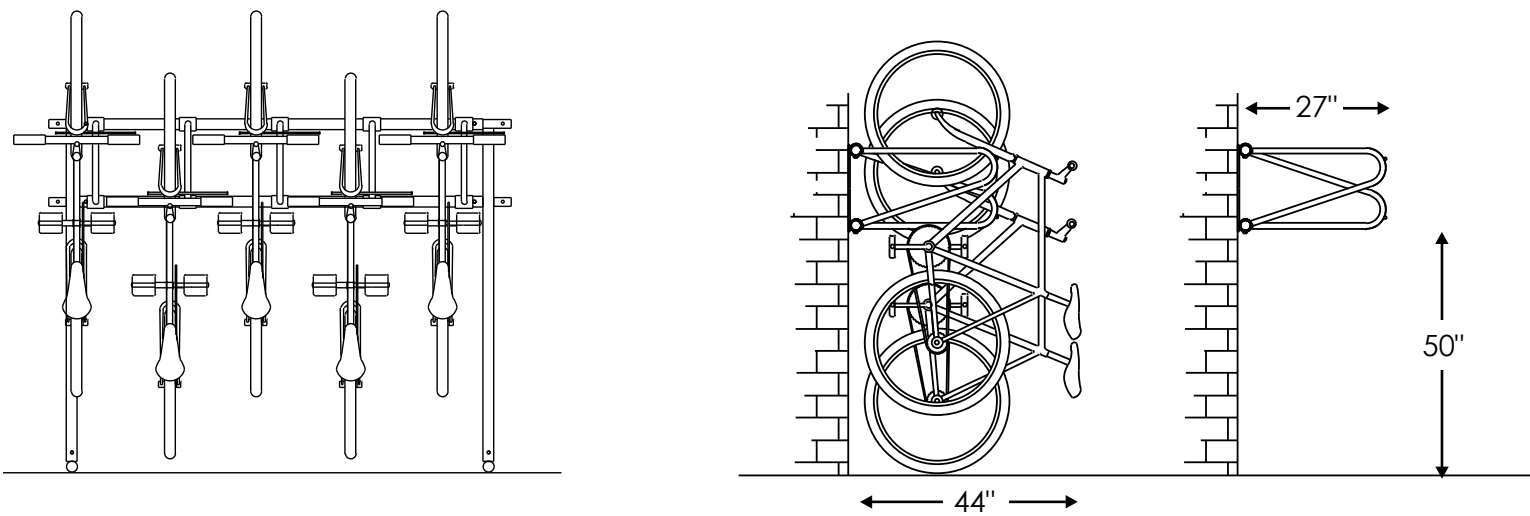
LEVEL P1



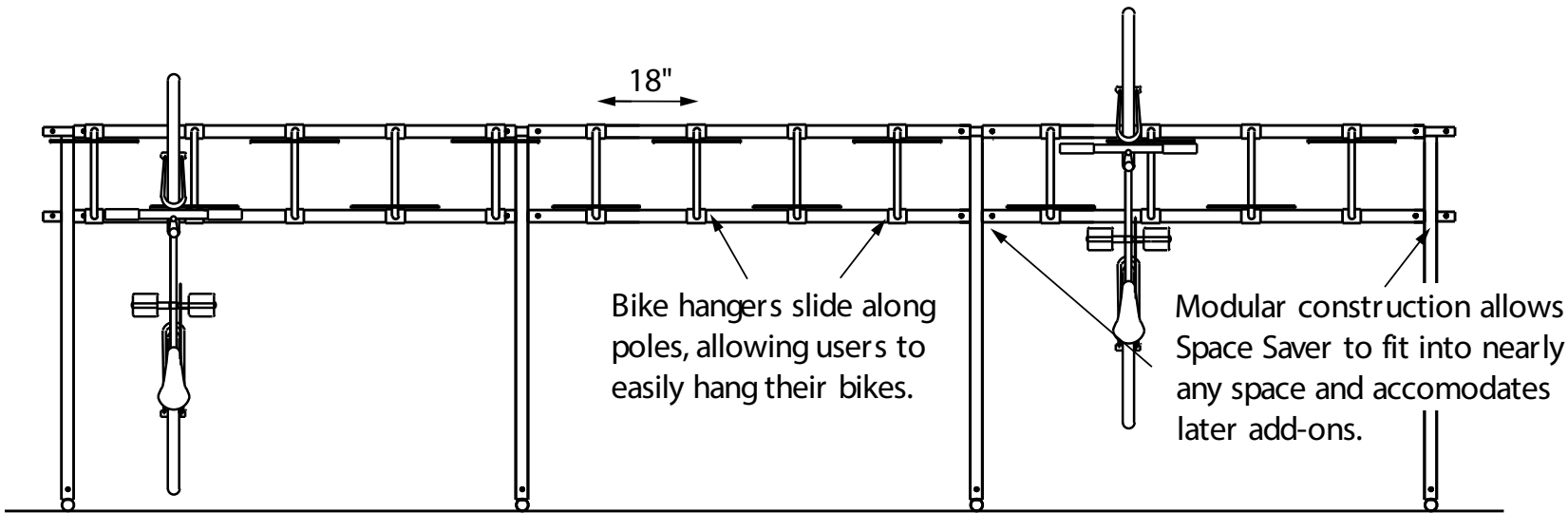
Example P1 Bike Storage 1/8" = 1'-0"
Typical Dimension: 18"x44"
Typical Aisle: 5'-0"

DESIGN MODIFICATIONS - BIKE PARKING

DERO ULTRA SPACE SAVER SPECS



DERO ULTRA SPACE SAVER



DESIGN MODIFICATIONS - BIKE PARKING

FAR AND MASSING SUMARY

MASSING

Total Above Grade Building Area

- 302,434 sf
- 7.56 : 1 FAR

Area Above 100'-0" Height Limit

- 180,501 sf

Bonus FAR required

- 180,501 (area above 100') / 40,000 (site area) = 4.51 FAR

RESIDENTIAL PROGRAM

Below 100'-0" Height Limit

- Square feet attributable to residential = 78,036 sf
- Number of efficient family size 2 bdrm. units = 28 units
- Number of efficient family size 3 bdrm. units = 2 units

Levels 1-10
24,430 sf total
2,400 sf total

BONUS FAR SCENARIO

FAR Bonus Option

- Residential housing bonus (1:1)
- Efficient family unit bonus (2:1)
- Efficient family unit bonus (3:1)
- Locker room bonus (40:1)
- Eco-roof (2:1)

Quantity

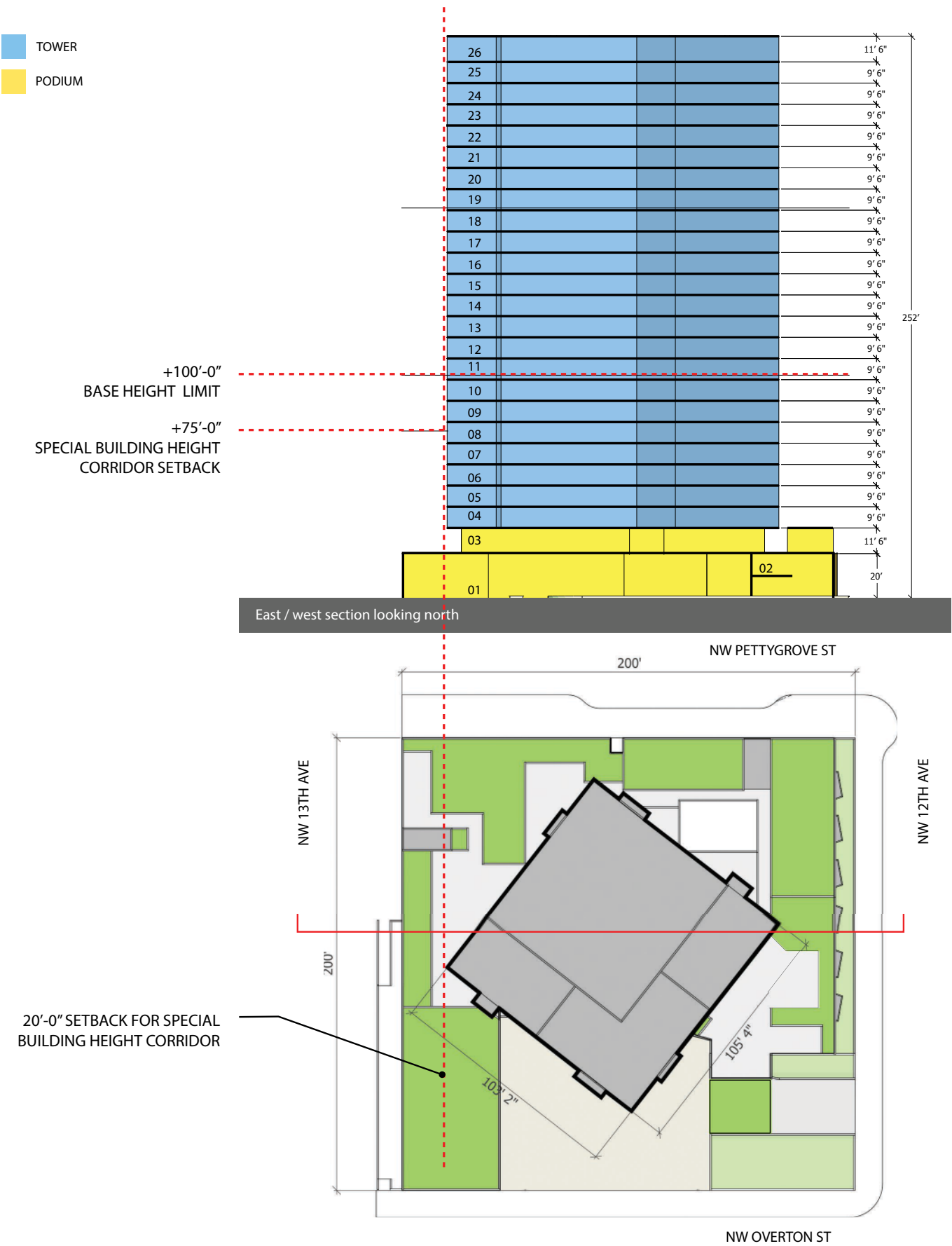
SF Earned

78,036 sf
24,430 sf
2,400 sf
836 sf
12,864 sf

78,036 sf
48,860 sf
7,200 sf
33,440 sf
25,728 sf

TOTAL =

193,264 sf (4.83 FAR)



FAR AND GROUND FLOOR WINDOW AREA SUMMARY

AREA SUMMARY																									
	LIVE / WORK LOFT		1 BDRM TOWNHOME		2 BDRM TOWNHOME		3 BDRM FLAT		1 BDRM FLAT		1 BDRM + DEN		1 BDRM		2 BDRM / 2 BATH		2 BDRM / 1 BATH		3 BDRM			TOTAL UNITS/FLOOR	TOTAL UNIT SF/FLOOR	TOTAL GSF PER FLOOR	
FLOOR	QTY	AVG NSF	QTY	AVG NSF	QTY	AVG NSF	QTY	AVG NSF	QTY	AVG NSF	QTY	AVG NSF	QTY	AVG NSF	QTY	AVG NSF	QTY	AVG NSF	QTY	AVG NSF	TOTAL				
ROOF													2	669	7	1,063						0	0	3,522	
26																						9	8,743	11,061	
25												2	670	6	669	2	940	2	805				12	8,743	11,061
24												2	670	6	669	2	940	2	805				12	8,743	11,061
23												2	670	6	669	2	940	2	805				12	8,743	11,061
22												2	670	6	669	2	940	2	805				12	8,743	11,061
21												2	670	2	669	2	940	2	805				8	8,015	11,061
20			4	894								2	670	2	669	2	940	2	805				12	8,743	11,061
19												2	670	6	669	2	940	2	805				12	8,743	11,061
18												2	670	6	669	2	940	2	805				12	8,743	11,061
17												2	670	6	669	2	940	2	805				12	8,743	11,061
16												2	670	6	669	2	940	2	805				12	8,743	11,061
15												2	670	6	669	2	940	2	805				12	8,743	11,061
14												2	670	6	669	2	940	2	805				12	8,743	11,061
13												2	670	6	669	2	940	2	805				12	8,743	11,061
12												2	670	6	669	2	940	2	805				12	8,743	11,061
11												2	670	6	669	2	940	2	805				12	8,743	11,061
10												2	670	6	669	2	940	2	805				12	8,743	11,061
9												2	670	6	669	2	940	2	805				12	8,743	11,061
8												2	670	6	669	2	940	2	805				12	8,743	11,061
7												2	670	6	669	2	940	2	805				12	8,743	11,061
6												2	670	6	669	2	940	2	805				12	8,743	11,061
5												2	670	6	669	2	940	2	805				12	8,743	11,061
4												2	670	6	669	2	940	2	805				12	8,743	11,061
3							2	1,200	1	675												3	3,075	11,701	
2																						0	0	5,337	
1	6	970	4	980	3	1,340																13	13,760	27,471	
TOTALS	6	970	8	1,874	3	1,340	2	1,200	1	675	44	14,740	126	15,387	51	21,743	44	17,710	0	0	0	285	217,196	302,434	

ABOVE GRADE

TYPE A DISTRIBUTION (2% OR 6 REQUIRED BY CODE)												
TYPE A UNITS INCLUDED IN TOTAL UNIT COUNT ABOVE												
FLOOR	LIVE/WORK	1 BDRM TOWN.	2 BDRM TOWN.	3 BEDROOM FLAT	1 BEDROOM FLAT	1 BDRM + DEN	1 BDRM	2 BDRM/2 BATH	2 BDRM /1BATH	3 BDRM	TOTAL	
15						1	1				2	
9								1			1	
5						1	1				2	
3				1							1	
											6	

Bike Parking Requirements per 33.266.220:

LONG TERM

- 1.5 spaces per residential unit
- 2, or 1 per 12,000 sf of net building area
- + 110% of total required long term spaces to meet locker room FAR bonus

TOTALS long term required = (285 units x 1.5 + 2) = 430 spaces
110% of total long term required = 473 spaces

SHORT TERM

- 1 per 20 residential units
- 2, or 1 per 5,000 sf of net building area

TOTAL short term required = (285 units/20 + 2) = 17 spaces

PARKING		TOTAL GSF
FLOOR	STALLS	BELOW GRADE
P1	76	40,000
P2	157	40,000
TOTAL SPACES	233	80,000

BELOW GRADE

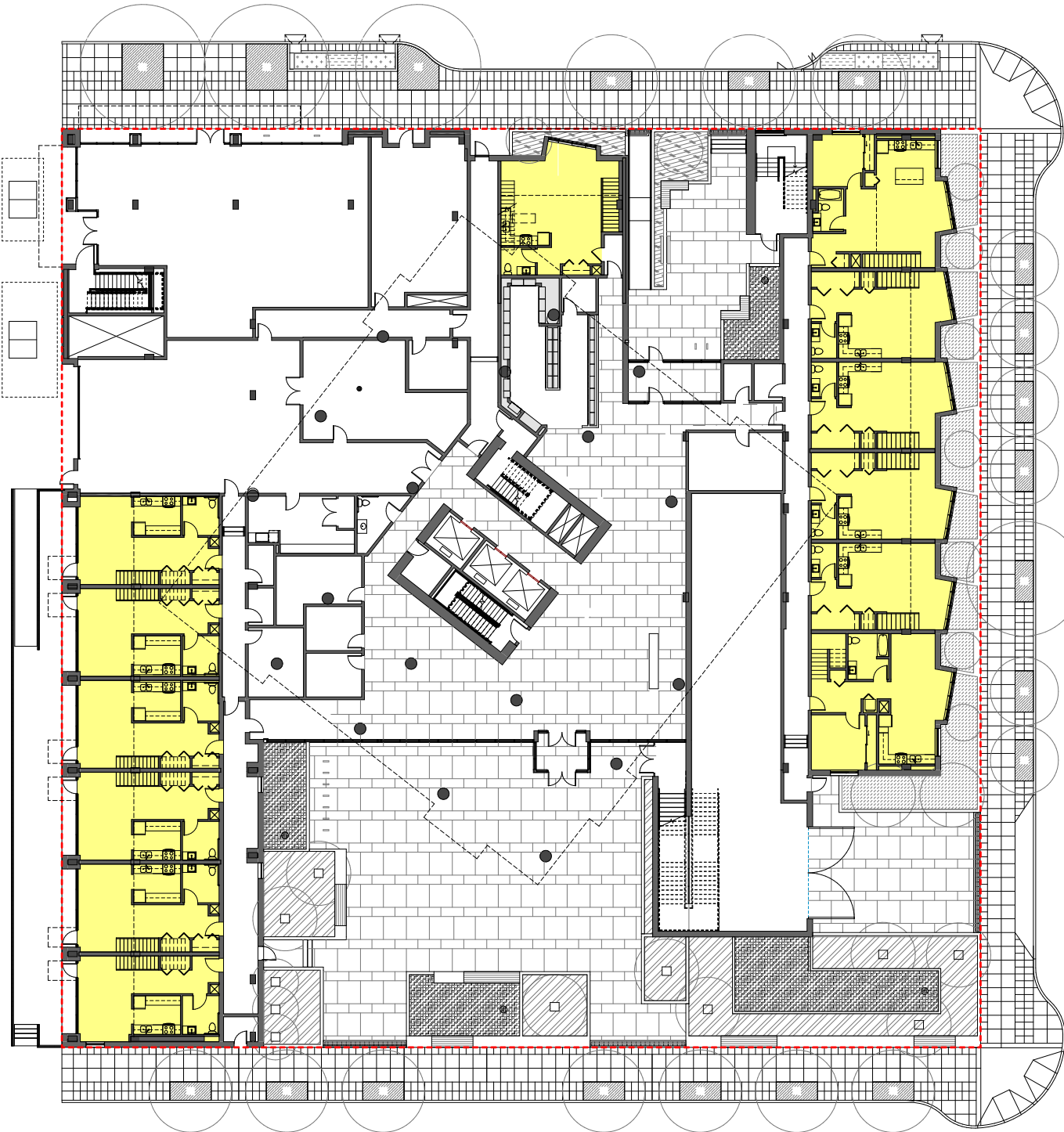
382,434 BUILDING TOTAL

BIKE PARKING		TOTALS
LONG TERM		474
SHORT TERM		17
TOTAL BIKES		491

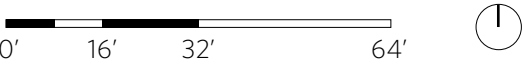
FAR AND GROUND FLOOR WINDOW AREA SUMMARY

RESIDENTIAL HOUSING BONUS (1:1)

LEVEL 1



Total area at Level 1 counted toward bonus = 8,726 sf



LEVEL 2



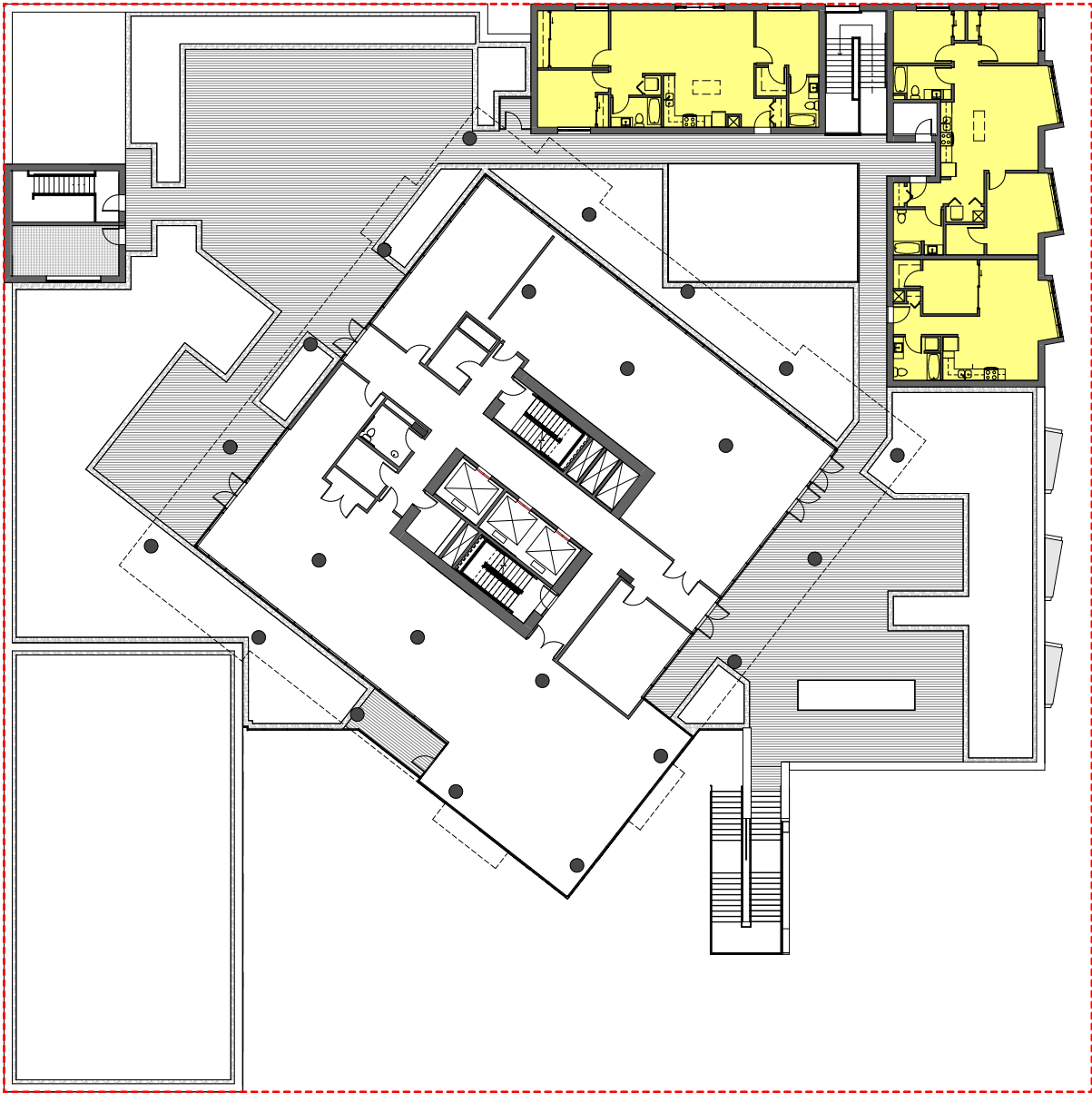
Total area at Level 2 counted toward bonus = 5,034 sf



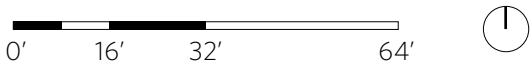
FAR AND GROUND FLOOR WINDOW AREA SUMMARY

RESIDENTIAL HOUSING BONUS (1:1)

LEVEL 3

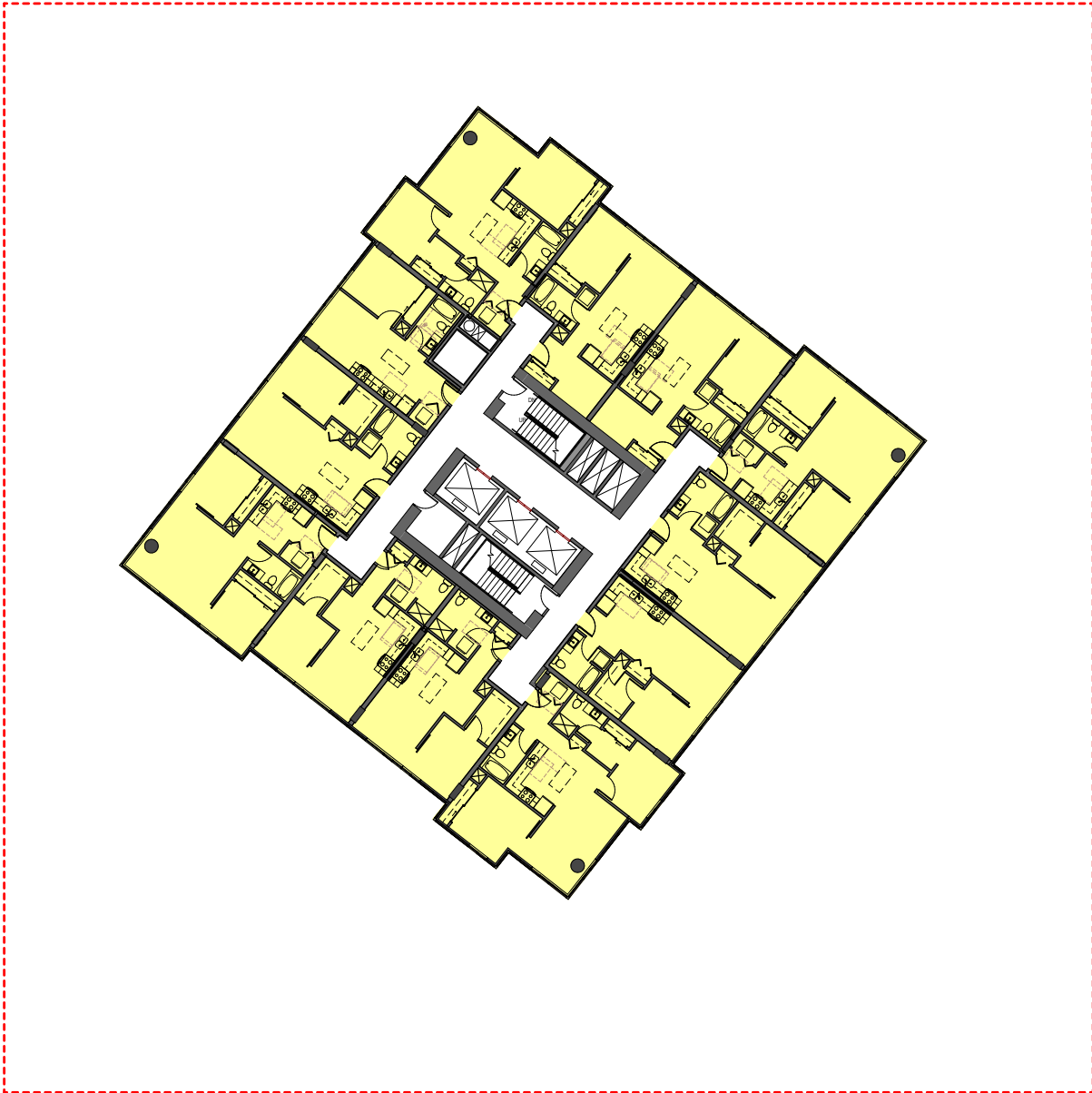


Total area at Level 3 counted toward bonus = 3,075 sf



LEVELS 4-10

(NOTE: LEVEL 10 IS COMPLETELY BELOW 100'-0" BASE HEIGHT LIMIT)



Total area at Leves 4-10 counted toward bonus = 7 floors x 8,743 sf per floor = 61,201 sf

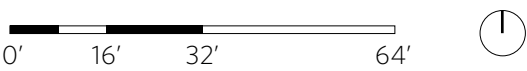
TOTAL RESIDENTIAL AREA, LEVELS 1-10 = 78,036 SF

- PROPERTY LINE
- AREA COUNTED TOWARDS RESIDENTIAL HOUSING BONUS

FAR AND GROUND FLOOR WINDOW AREA SUMMARY

EFFICIENT FAMILY UNIT BONUS (3:1)

LEVEL 3

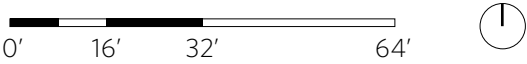
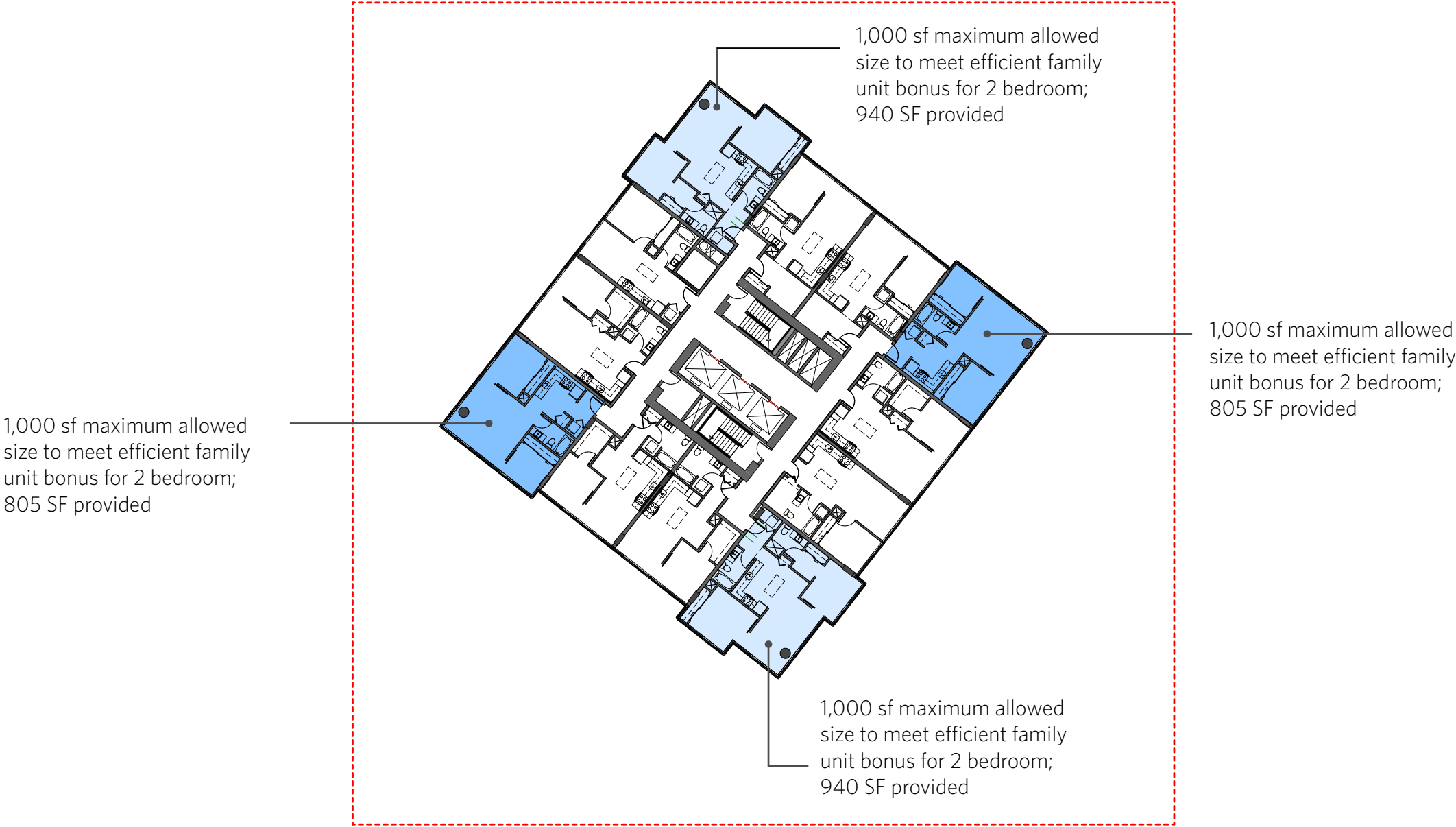


- PLAY AREA
- COMMON ROOM
- PROPERTY LINE
- 3 BEDROOM EFFICIENT FAMILY UNIT

FAR AND GROUND FLOOR WINDOW AREA SUMMARY

EFFICIENT FAMILY UNIT BONUS (2:1)

LEVELS 4-10



- 2 BEDROOM/1 BATH EFFICIENT FAMILY UNIT
- 2 BEDROOM/2 BATH EFFICIENT FAMILY UNIT
- PROPERTY LINE




FAR AND GROUND FLOOR WINDOW AREA SUMMARY

REQUIRED AMOUNTS OF WINDOW AREA

GROUND FLOOR WINDOW STANDARD

33.140.230.B
Ground Floor Windows in the EX Zone

Required amounts of window area. In the EX zone, all exterior walls on the ground level which are 20 feet or closer to a street lot line, sidewalk, plaza, or other public open space or right-of-way must have windows. The windows must be at least 50 percent of the length and 25 percent of the ground level wall area. Ground level wall areas include all exterior wall areas up to 9 feet above the finished grade. The requirement does not apply to the walls of residential units, and does not apply to the walls of parking structures when set back at least 5 feet and landscaped to at least the L2 standard.

- KEY
-  = window area counted towards 33.140.230.B
 -  = Facade area required to meet 33.140.230.B
 -  = Line 9'-0" above grade

NOTE A:
Residential unit, 33.140.230.B does not apply.

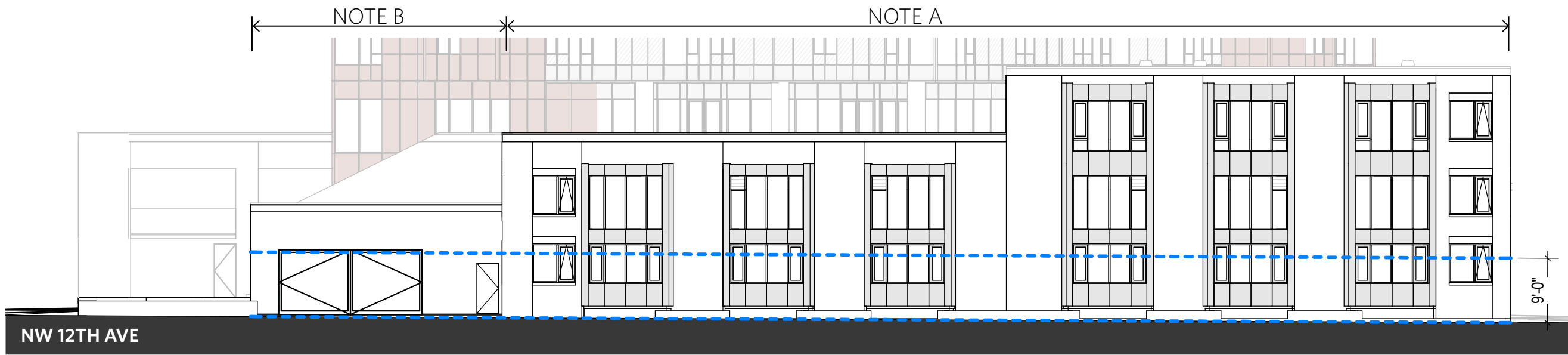
NOTE B:
Parking structure set back 5 feet and landscaped to L2 standard, 33.140.230.B does not apply.

NOTE C:
Live / work units.



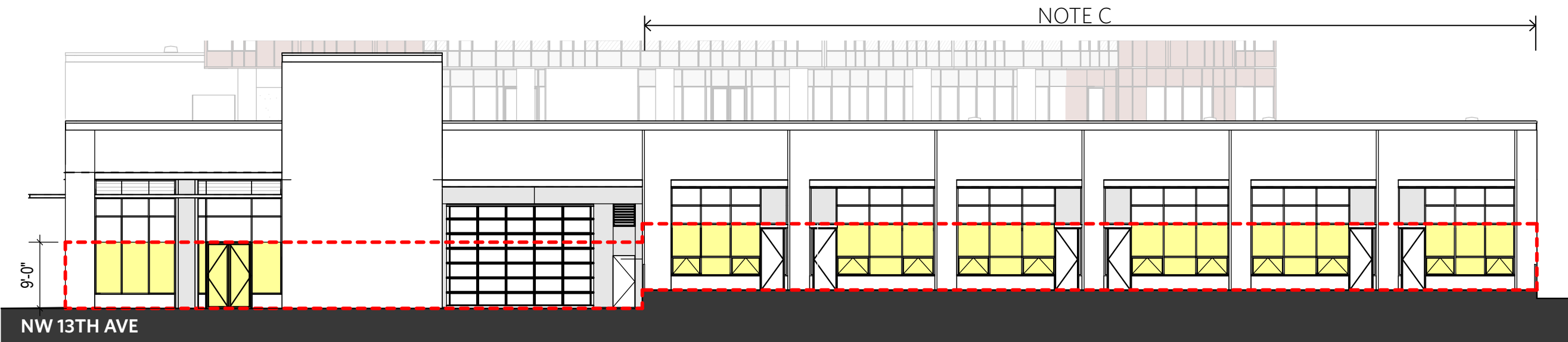
FAR AND GROUND FLOOR WINDOW AREA SUMMARY

REQUIRED AMOUNTS OF WINDOW AREA



33.140.230.B

- Window length required = 0
- Window area required = 0 sf



33.140.230.B

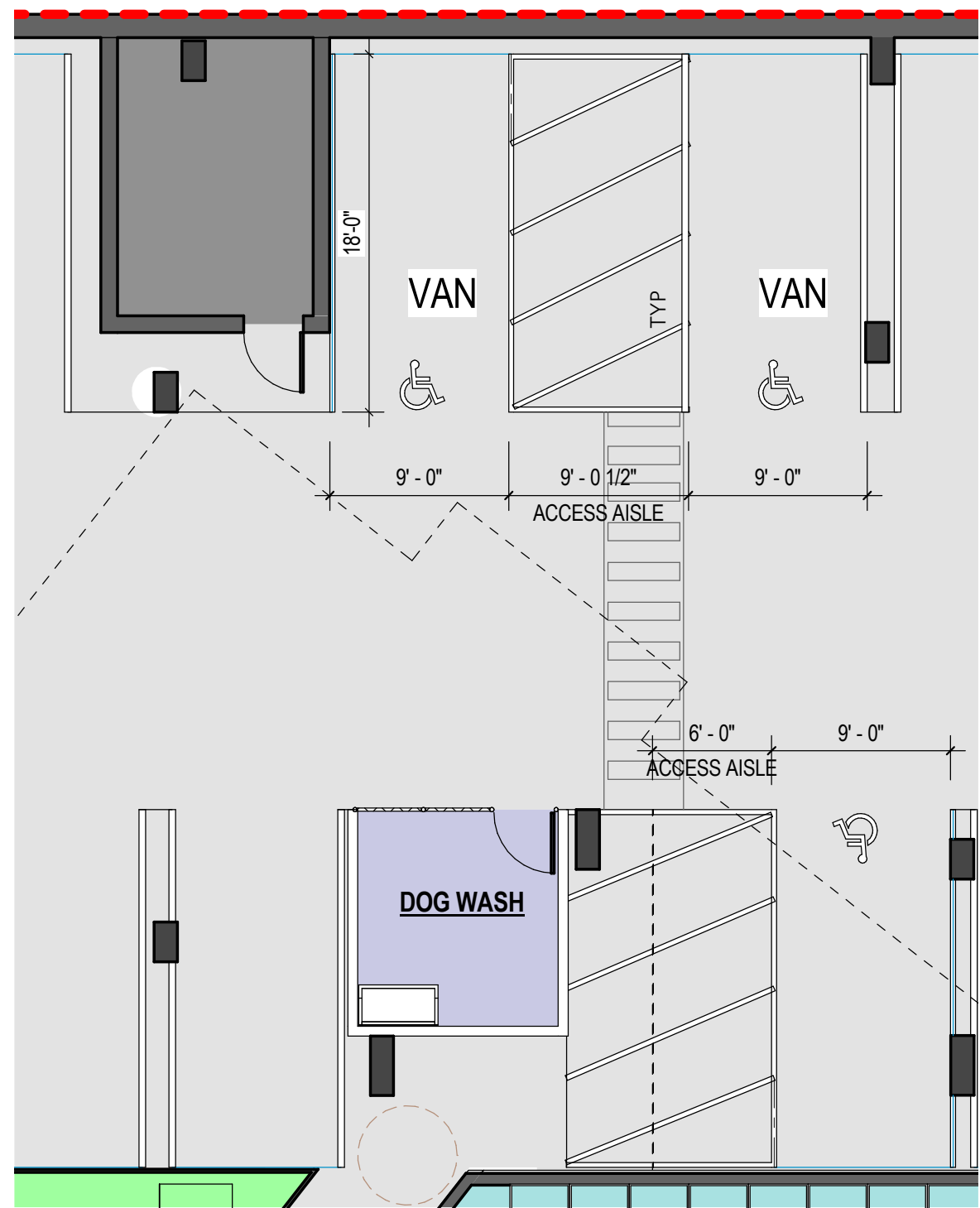
Window length required	= 50% of 200'-0"	= 100'-0"	Window area required = 25% of 1,800 sf =	450 sf
Window length provided		= 100'-0"	Window area provided =	708 sf

Scale: 1/16" = 1'-0"

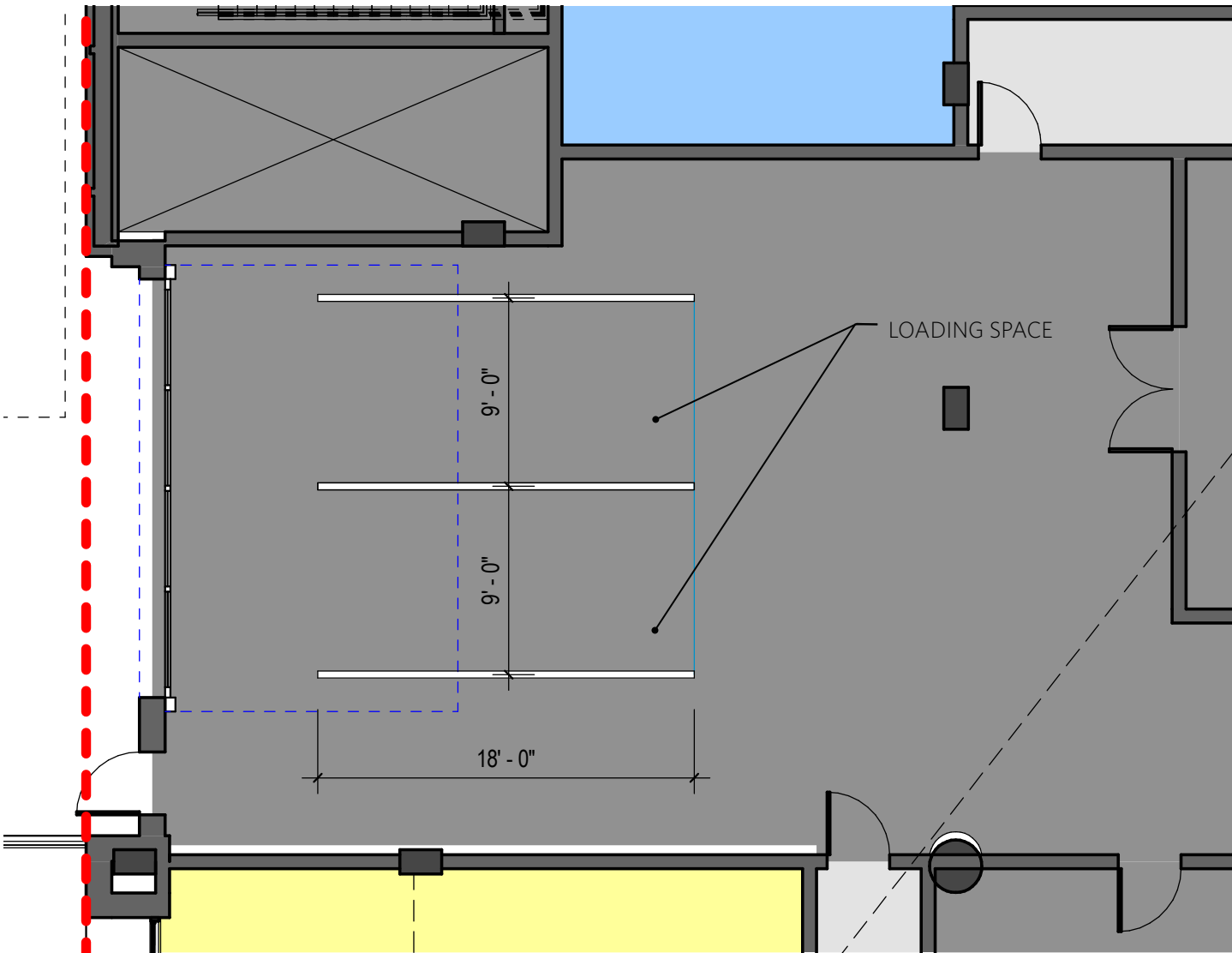
0' 8' 16' 32'

FAR AND GROUND FLOOR WINDOW AREA SUMMARY

ENLARGED PARKING PLAN, TYPICAL



ENLARGED LOADING DOCK PLAN



0' 16' 32' 64'



ENLARGED PLANS

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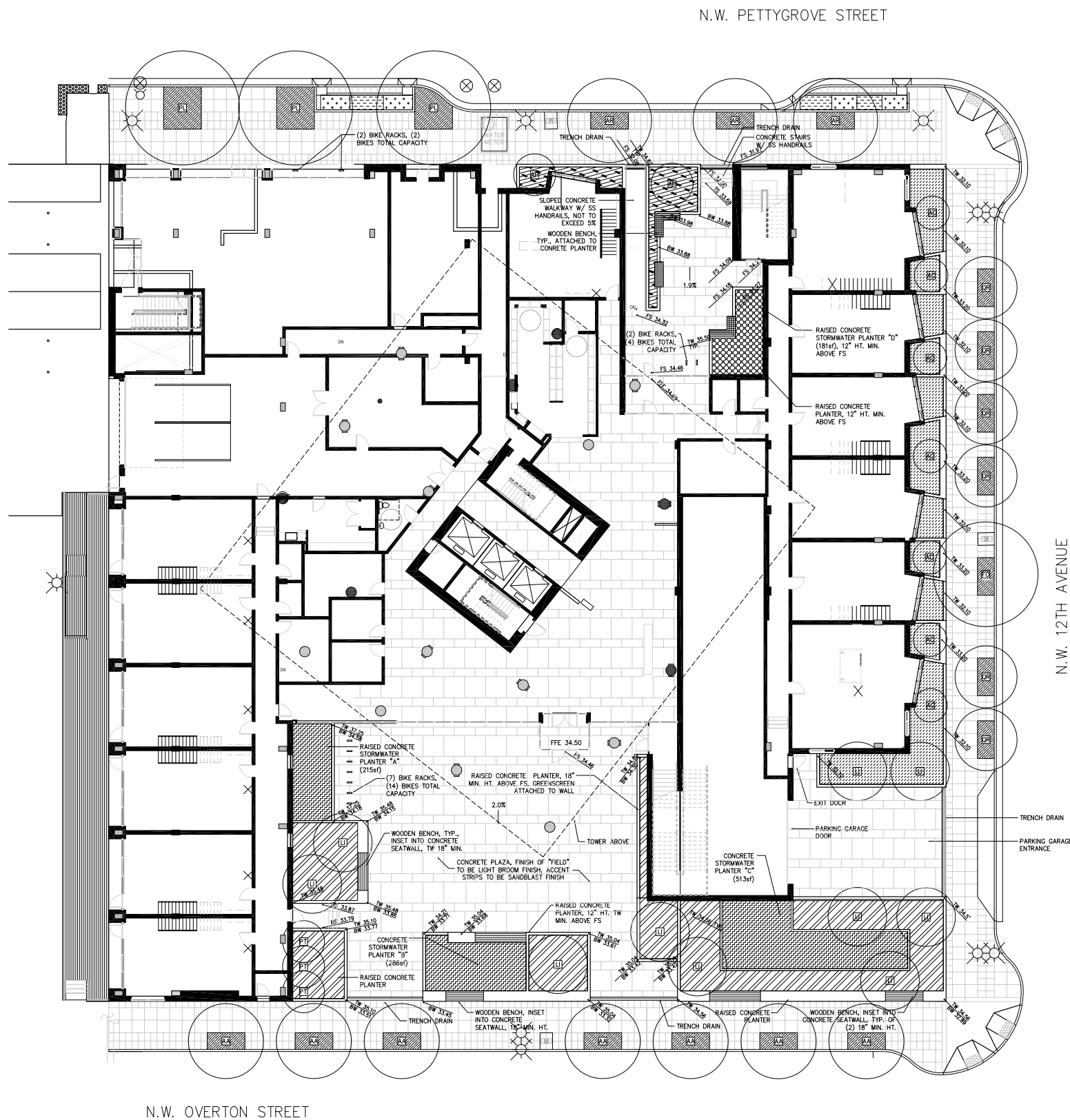
LANDSCAPE









STREET LEVEL PLANTING PLAN

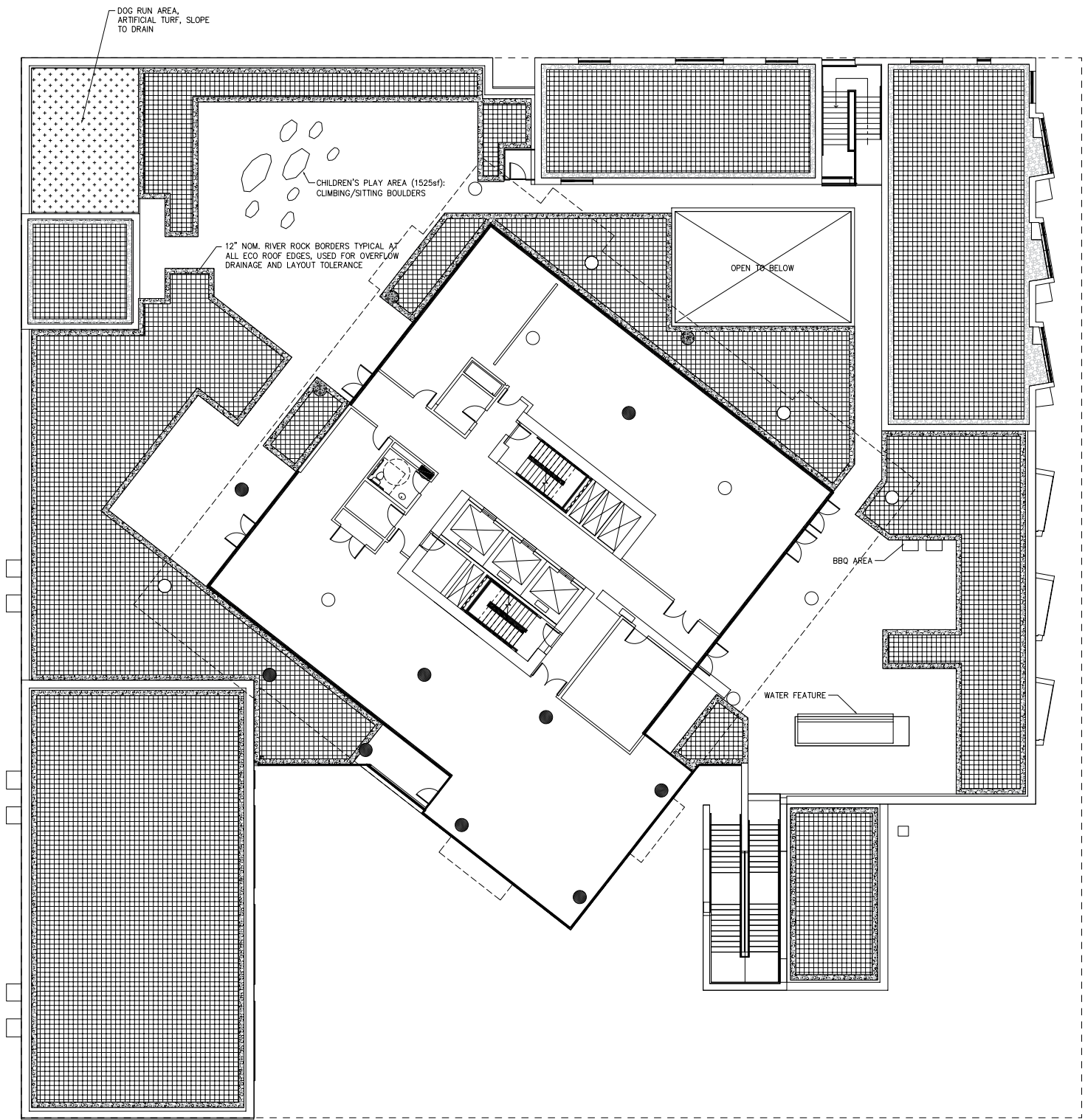
THE OVERTON

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ZIMMER GUNDEL TRACCA ARCHITECTS LLP

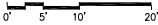
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SYMBOL	CODE	BOTANIC NAME	COMMON NAME	SIZE AND SPACING
TREES				
	AC	ACER ORCINATUM	VINE MAPLE	3.5" CALIPER, B&B
	AP	ACER PALMATUM 'SANGO KAKU'	SANGO KAKU JAPANESE MAPLE	3.5" CALIPER, B&B
	AA	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG RED MAPLE	3.5" CALIPER, B&B
	AR	ACER RUBRUM 'RED SUNSET'	RED SUNSET RED MAPLE	3.5" CALIPER, B&B
	BN	BETULA NIGRA 'HERITAGE'	HERITAGE RIVER BIRCH	3.5" CALIPER, B&B
	BP	BETULA PLATYPHYLLA 'FARGO'	DAKOTA PINNACLE BIRCH	3.5" CALIPER, B&B
	FO	FRAXINUS OXYCARPA 'RAYWOOD'	RAYWOOD ASH	3.5" CALIPER, B&B
	LI	LAGERSTROEMIA INDICA 'RED ROCKET'	RED ROCKET CRAPE MYRTLE	8'-10' HT., MS, B&B
	PL	PLATANUS X ACERIFOLIA	LONDON PLANE TREE	4" CALIPER, B&B
	PT	POPULUS TREMULA 'ERECTA'	SWEDISH COLUMNAR ASPEN	3" CALIPER, B&B
QR	QUERCUS ROBUR 'SKYROCKET'	SKYROCKET OAK	3.5" CALIPER, B&B	
NORTH NATIVE WINTER GARDEN				
	DRW	DRYOPTERIS WALLICHIANA	HIMALAYAN WOOD FERN	1 GALLON, 18" O.C.
	HAM	HAKONECHLOA MACRA 'AUROEOLA'	VARIEGATED HAKONE GRASS	1 GALLON, 18" O.C.
	HAI	HAMAMELIS X INTERMEDIA 'DIANA'	DIANA WITCHHAZEL	5 GALLON, 3 TOTAL
	HOS	HOSTA	HOSTA	1 GALLON, 18" O.C.
	LIS	LIRIOPE SPICATA 'SILVER DRAGON'	SILVER DRAGON LIRIOPE	1 GALL., 12" O.C.
	NAD	NANDINA DOMESTICA 'GULF STREAM'	GULF STREAM NANDINA	2 GALLON, 24" O.C.
	POM	POLYSTICHUM MUNITUM	SWORD FERN	1 GALLON, 24" O.C.
	SAH	SARCOCOCCA HOOKERIANA 'HUMILIS'	SARCOCOCCA	2 GALLON, 18" O.C.
	SPB	SPIRAEA BETULIFOLIA 'TOR'	COMPACT BIRCHLEAF SPIRAEA	2 GALLON, 24" O.C.
	12TH STREET COURTYARDS			
	COB	CORNUS SERICEA 'BAILEY'	RED-TWIG DOGWOOD	3 GALLON, 36" O.C.
	DRW	DRYOPTERIS WALLICHIANA	HIMALAYAN WOOD FERN	1 GALLON, 18" O.C.
	HED	HEBE DECUMBENS	HEBE	2 GALLON, 24" O.C.
	HES	HELIOTRICHON SEMPERVIRENS	BLUE OAT GRASS	1 GALLON, 18" O.C.
	LIM	LIRIOPE MUSCARI	LIRIOPE	1 GALLON, 18" O.C.
	MIS	MISCANTHUS SINENSIS ADAGIO	ADAGIA MAIDEN GRASS	2 GALLON, 24" O.C.
	NAD	NANDINA DOMESTICA 'GULF STREAM'	GULF STREAM NANDINA	2 GALLON, 24" O.C.
	SAH	SARCOCOCCA HOOKERIANA 'HUMILIS'	SARCOCOCCA	2 GALLON, 18" O.C.
	VIO	VIBURNUM OPULUS 'NANUM'	DWARF CRANBERRY BUSH VIBURNUM	3 GALL., 24" O.C.
	STREET TREE PLANTERS			
	MAC	MAHONIA AQUIFOLIUM 'COMPACTA'	COMPACT OREGON GRAPE	2 GALLON, 18" O.C.
OVERTON COURTYARD PLANTERS				
	HAI	HAMAMELIS MOLLIS	CHINESE WITCHHAZEL	5 GALLON, 5 TOTAL
	HYI	HYDRANGEA INTEGRIFOLIA	EVERGREEN CLIMBING HYDRANGEA	5 GAL., 12 TOTAL
	LIM	LIRIOPE MUSCARI	LIRIOPE	1 GALLON, 18" O.C.
	SAH	SARCOCOCCA HOOKERIANA 'HUMILIS'	SARCOCOCCA	2 GALLON, 18" O.C.
	HYI	SCHIZOPHRAGMA HYDRANGEODES 'MOONLIGHT'	JAPANESE HYDRANGEA VINE	5 GAL., 6 TOTAL
NW PETTYGROVE ST. STORMWATER PLANTERS, 166 SF TOTAL AREA (115 HERBACEOUS PLANTS PER 100SF)				
	CAO	CAREX OBNUPTA	SLOUGH SEDGE	1 GALLON, 12" O.C.
	JUP	JUNCUS PATENS	SPREADING RUSH	1 GALLON, 12" O.C.
OVERTON COURTYARD STORMWATER PLANTERS, 877 SF TOTAL AREA (115 HERBACEOUS PLANTS PER 100SF)				
	CAO	CAREX OBNUPTA	SLOUGH SEDGE	1 GALLON, 12" O.C.
	COS	CORNUS SERICEA ARTIC SUN	ARTIC SUN DOGWOOD	5 GALLON, 12 TOTAL
	JUP	JUNCUS PATENS	SPREADING RUSH	1 GALLON, 12" O.C.
NORTH COURTYARD STORMWATER PLANTERS, 181 SF TOTAL AREA (4 SHRUBS & 100 HERBACEOUS PLANTS PER 100SF)				
	CAM	CAREX MORROWII	ICE DANCE SEDGE	1 GALLON, 12" O.C.
	EUJ	EUONYMUS JAPONICUS 'MICROPHYLLUS'	BOXLEAF EUONYMUS	2 GALLON, 24" O.C.
	JUP	JUNCUS PATENS	SPREADING RUSH	1 GALLON, 12" O.C.
NOTES				
1. UNLESS OTHERWISE NOTED, ALL PLANTINGS ARE IRRIGATED BY AUTOMATIC SYSTEM.				
2. PROVIDE PHOTOGRAPHIC DOCUMENTATION OF ALL PROPOSED TREES PRIOR TO DIGGING FOR REVIEW BY ARCHITECT. AT DISCRETION OF ARCHITECT, SELECTION OF TREES MAY BE BASED UPON FIELD INSPECTION AND TAGGING AT NURSERY.				
3. LOCATION OF ALL PLANT MATERIAL IS SUBJECT TO THE FIELD APPROVAL OF THE ARCHITECT.				



PLANT LIST					
SYMBOL	CODE	BOTANIC NAME	COMMON NAME	SIZE AND SPACING	COMMENTS
EAST SIDE TERRACE (INTENSIVE PLANTER AREA)					
	CAK	CALAMAGROSTIS KARL FOERSTER	KARL FOERSTER REED GRASS	1 GALLON, 18" O.C.	
	DEF	DESCHAMPSIA FLEXUOSA	CRINKLED HAIR GRASS	1 GALLON	
	DRE	DRYOPTERIS ERYTHROSORA	AUTUMN FERN	1 GALLON	
	ERC	ERICA CINERA	TWISTED HEATH	1 GALLON, 18" O.C.	
	HEO	HEBE ODORA 'NEW ZEALAND'	NEW ZEALAND GOLDEN HEBE	2 GALLON, 24" O.C.	
	HES	HELIOTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	1 GALLON, 18" O.C.	
	LAA	LAVANDULA ANGUSTIFOLIA 'BUENA VISTA'	BUENA VISTA ENGLISH LAVENDER	2 GALLON, 24" O.C.	
	MOC	MOLINIA CAERULEA 'DAUERSTRAUL'	PURPLE MOOR GRASS	2 GALLON	
	NAT	NASSELLA TENUISSIMA	MEXICAN FEATHER GRASS	1 GALLON, 18" O.C.	
	NAD	NANDINA DOMESTICA 'GULF STREAM'	GULF STREAM NANDINA	2 GALLON, 24" O.C.	
	NAT	NASSELLA TENUISSIMA	MEXICAN FEATHER GRASS	1 GALLON, 18" O.C.	
	SPJ	SPIREA JAPONICA 'MAGIC CARPET'	MAGIC CARPET SPIREA	2 GALLON, 24" O.C.	
NORTH SIDE TERRACE, SHADE ZONE (INTENSIVE PLANT AREA)					
	DRW	DRYOPTERIS WALLICHIANA	HIMALAYAN WOOD FERN	1 GALLON, 18" O.C.	
	HAM	HAKONECHLOA MACRA 'AUREOLA'	VARIEGATED HAKONE GRASS	1 GALLON, 18" O.C.	
	HAI	HAMAMELIS X INTERMEDIA 'DIANA'	DIANA WITCHHAZEL	5 GALLON, 3 TOTAL	
	HOS	HOSTA	HOSTA	1 GALLON, 18" O.C.	
	LIS	LIRIOPE SPICATA 'SILVER DRAGON'	SILVER DRAGON LIRIOPE	1 GALL., 12" O.C.	
	NAD	NANDINA DOMESTICA 'GULF STREAM'	GULF STREAM NANDINA	2 GALLON, 24" O.C.	
	POM	POLYSTICHUM MUNITUM	SWORD FERN	1 GALLON, 24" O.C.	
	SAH	SARCOCOCCA HOOKERIANA 'HUMILIS'	SARCOCOCCA	2 GALLON, 18" O.C.	
	SPB	SPIRAEA BETULIFOLIA 'TOR'	COMPACT BIRCHLEAF SPIRAEA	2 GALLON, 24" O.C.	
EXTENSIVE GREEN ROOF					
		DESCHAMPSIA CESPITOSA	TUFTED HAIRGRASS	4" POT, 6" O.C.	
		FESTUCA GLAUCA	BLUE FESCUE	4" POT, 6" O.C.	
		POLYPODIUM GLYRRHIZA	LICORICE FERN	4" POT, 6" O.C.	
		SEDUM ALBUM	WHITE STONECROP	4" POT, 6" O.C.	
		SEDUM DIVERGENS	PACIFIC STONECROP	4" POT, 6" O.C.	
		SEDUM ELLACOMBIANUM	ELLACOMBIANUM STONECROP	4" POT, 6" O.C.	
		SEDUM KAMTSCHATICUM	KIRINSO STONECROP	4" POT, 6" O.C.	
		SEDUM OREGANUM	OREGON STONECROP	4" POT, 6" O.C.	
		SEDUM REFLEXUM	YELLOW STONECROP	4" POT, 6" O.C.	
		SEDUM SEXANGULAR	TASTELESS STONECROP	4" POT, 6" O.C.	
		SEDUM SPURIUM	TWO-ROW STONECROP	4" POT, 6" O.C.	
		SEDUM TETRACTINUM	CORAL REEF STONECROP	4" POT, 6" O.C.	
		POLYPODIUM GLYRRHIZA	LICORICE FERN	4" POT, 6" O.C.	



PODIUM LEVEL PLANTING PLAN

DAR COMPARISONS

DAR SUBMITTAL



CURRENT PROPOSAL



LEVEL 1 PLAN

THE OVERTON

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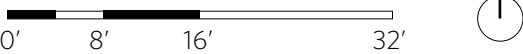
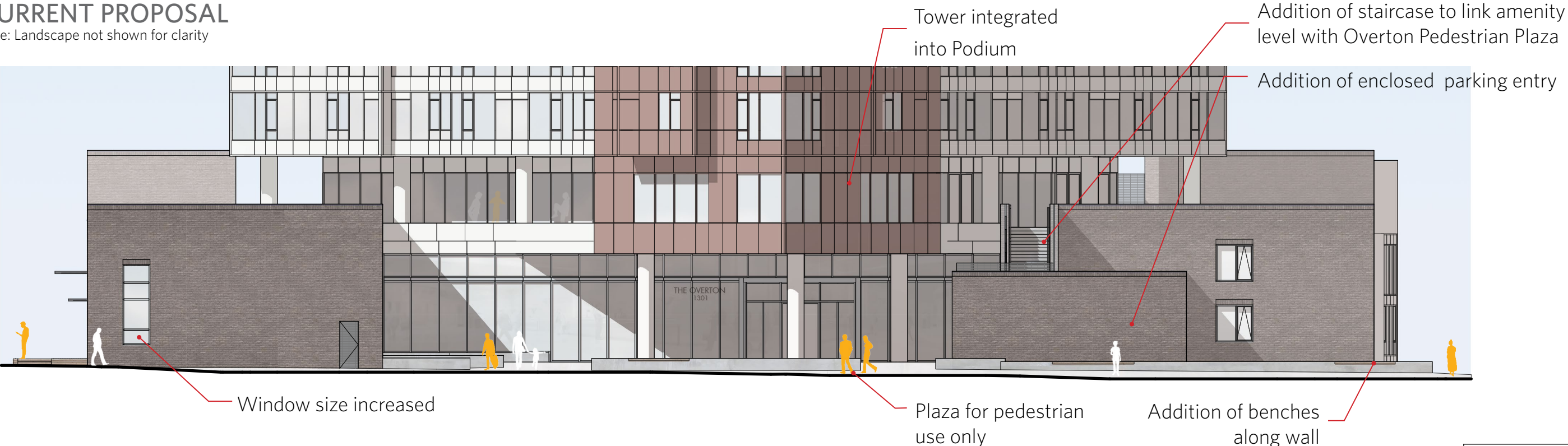
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DAR SUBMITTAL



CURRENT PROPOSAL

Note: Landscape not shown for clarity



NW OVERTON ELEVATION

DAR SUBMITTAL



CURRENT PROPOSAL

Note: Landscape not shown for clarity

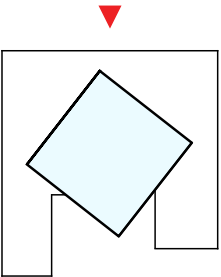
Windows added
at residential
units



0' 8' 16' 32'



Glazing area
increased at retail



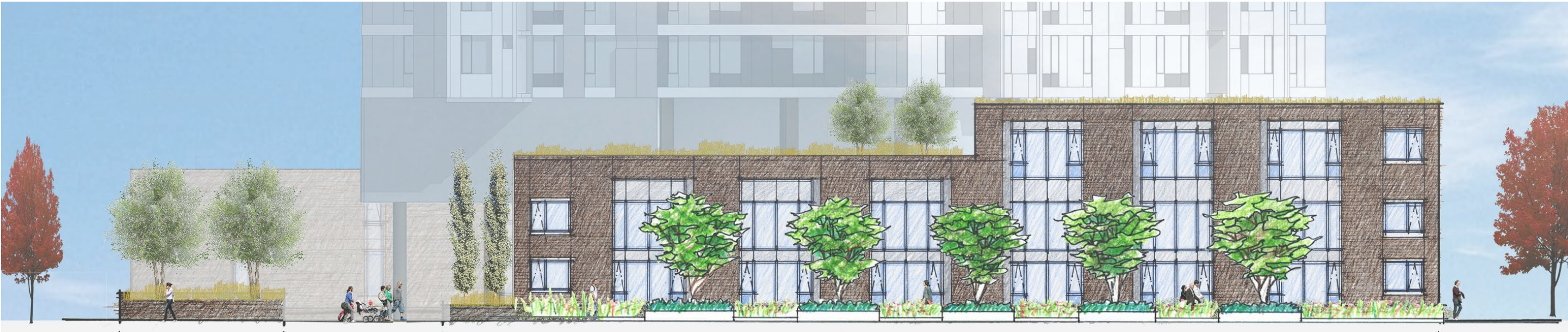
NW PETTYGROVE ELEVATION

THE OVERTON

ZGF

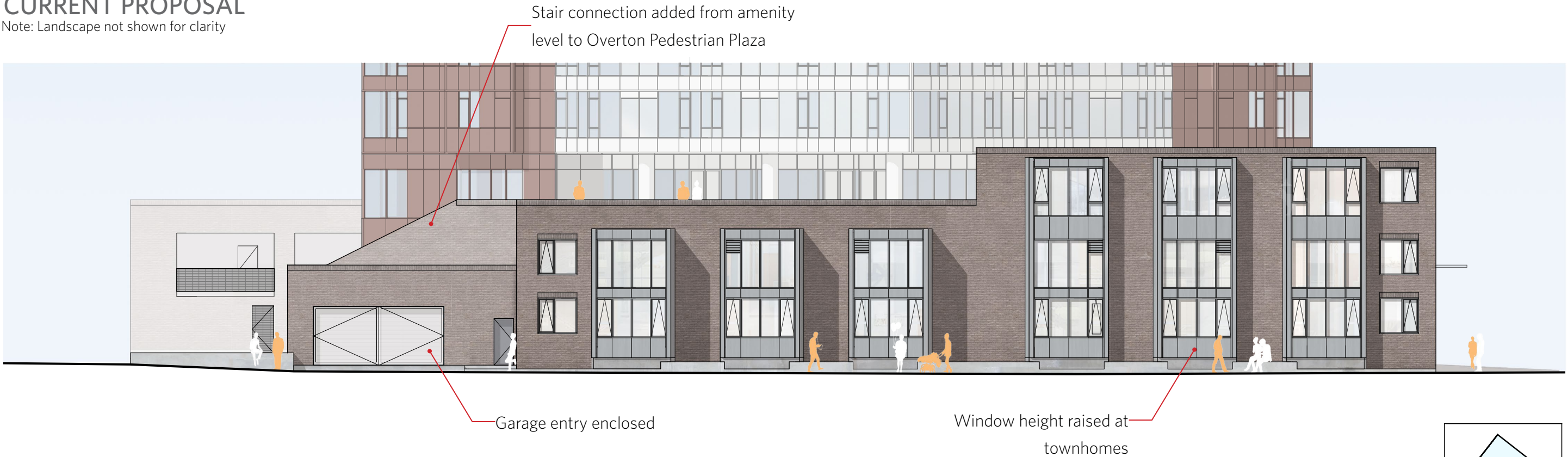
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DAR SUBMITTAL



CURRENT PROPOSAL

Note: Landscape not shown for clarity



0' 8' 16' 32'



NW 12TH AVENUE ELEVATION

THE OVERTON

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Ankrom Moisan

DAR SUBMITTAL



CURRENT PROPOSAL

Note: Landscape not shown for clarity



NW 13TH AVENUE ELEVATION

DAR SUBMITTAL

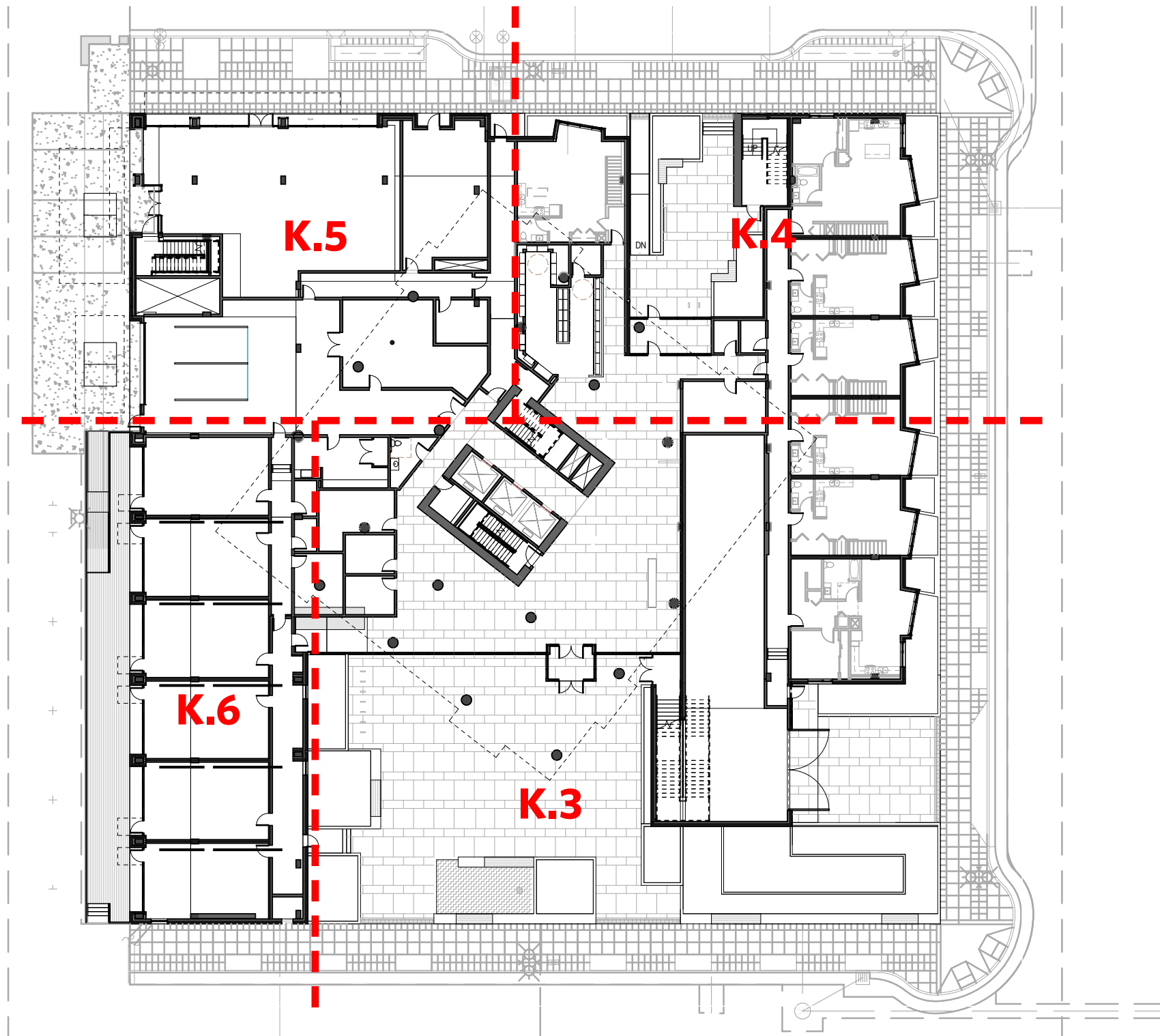


CURRENT PROPOSAL



3D VIEWS FROM SOUTHEAST

LIGHTING



LEVEL 1 EXTERIOR LIGHTING PLAN - OVERALL

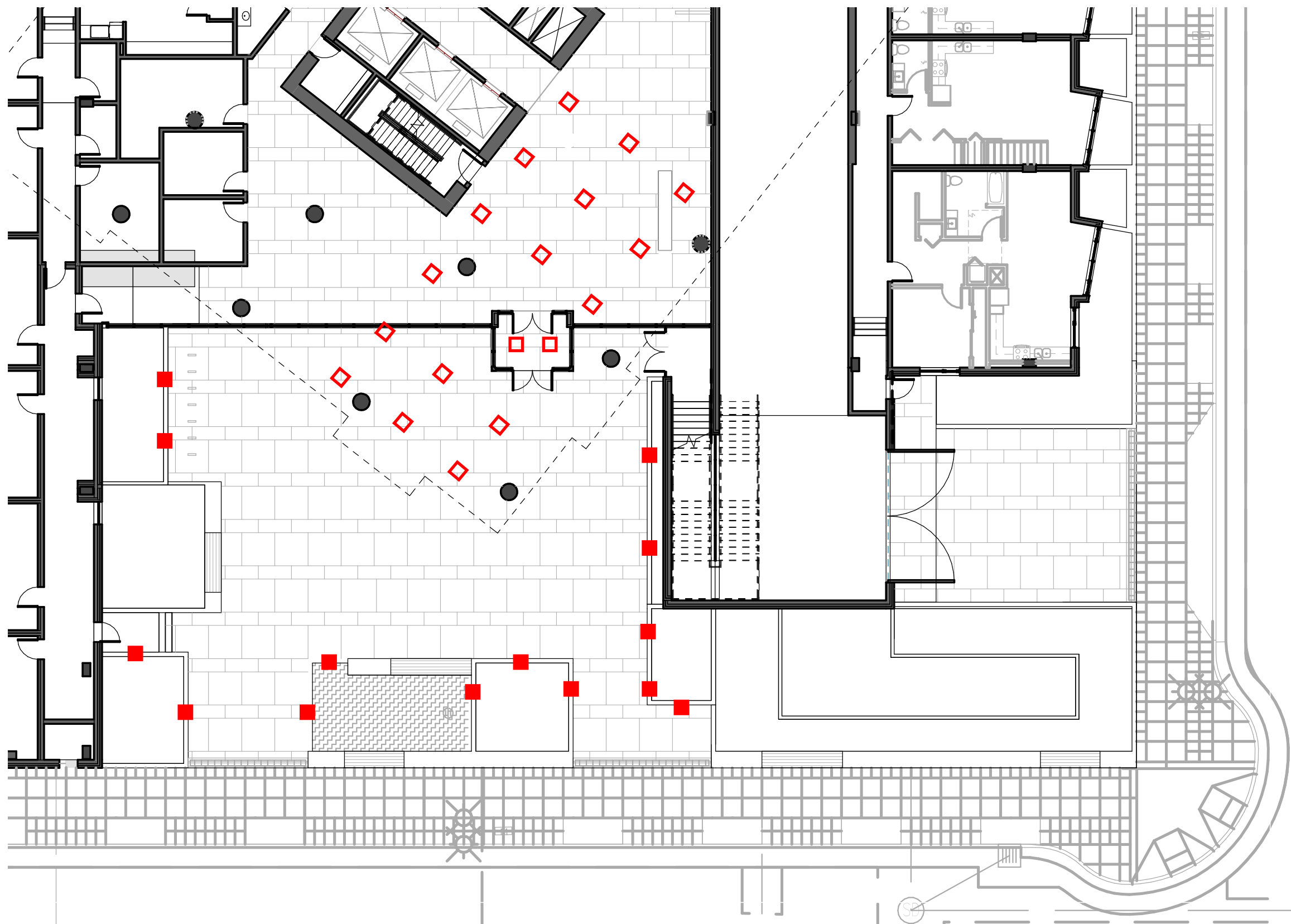
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File No. LU 13-233011 DZM

February 20th, 2014











LUMINAIRE SCHEDULE

- S1  SQUARE SURFACE DOWNLIGHT
- S2  LINEAR SURFACE DOWNLIGHT
- S3  SQUARE RECESSED WALL MOUNTED
- S4  ROUND SURFACE DOWNLIGHT

PARTIAL LEVEL 1 EXTERIOR LIGHTING PLAN



LUMINAIRE SCHEDULE

- | | | | |
|---|----|---|------------------------------------|
|  | S1 |  | SQUARE
SURFACE
DOWNLIGHT |
|  | S2 |  | LINEAR
SURFACE
DOWNLIGHT |
|  | S3 |  | SQUARE
RECESSED
WALL MOUNTED |
|  | S4 |  | ROUND
SURFACE
DOWNLIGHT |

PARTIAL LEVEL 1 EXTERIOR LIGHTING PLAN

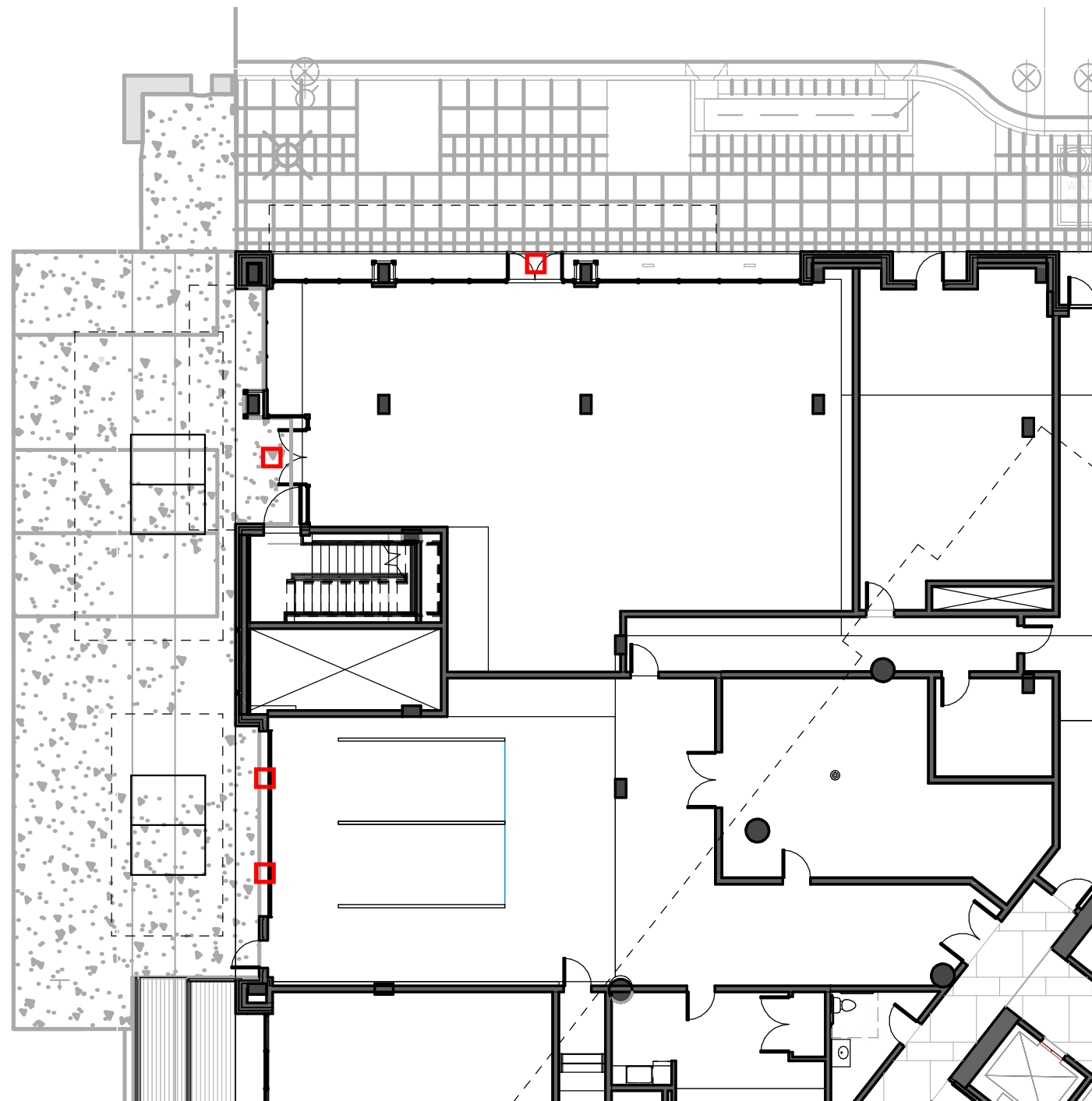
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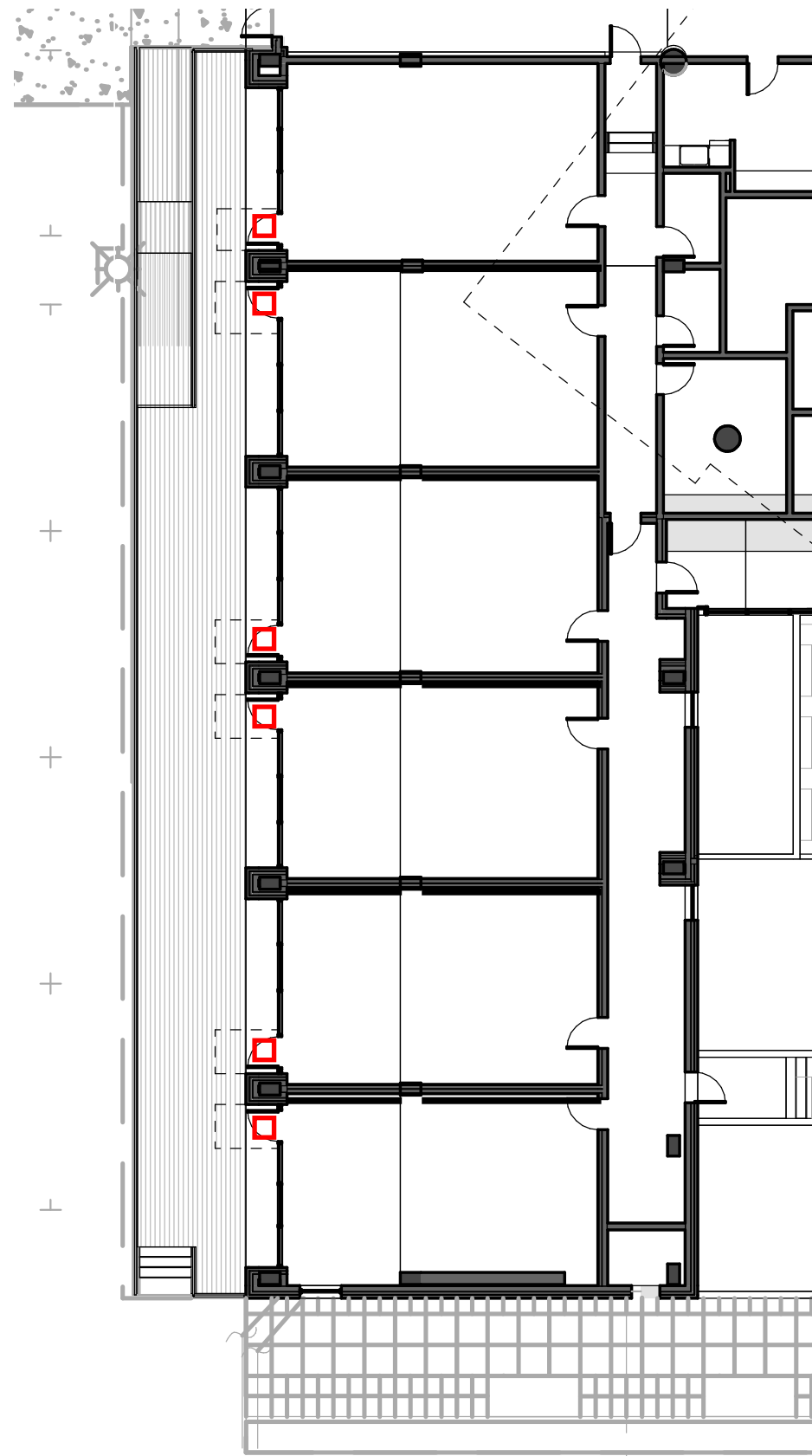
File No. LU 13-233011 DZM

February 20th, 2014











LUMINAIRE SCHEDULE

- | | | | |
|---|----|---|------------------------------------|
|  | S1 |  | SQUARE
SURFACE
DOWNLIGHT |
|  | S2 |  | LINEAR
SURFACE
DOWNLIGHT |
|  | S3 |  | SQUARE
RECESSED
WALL MOUNTED |
|  | S4 |  | ROUND
SURFACE
DOWNLIGHT |



LUMINAIRE SCHEDULE

- | | | | |
|---|----|---|------------------------------------|
|  | S1 |  | SQUARE
SURFACE
DOWNLIGHT |
|  | S2 |  | LINEAR
SURFACE
DOWNLIGHT |
|  | S3 |  | SQUARE
RECESSED
WALL MOUNTED |
|  | S4 |  | ROUND
SURFACE
DOWNLIGHT |

PARTIAL LEVEL 1 EXTERIOR LIGHTING PLAN

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