



City of Portland, Oregon - Bureau of Development Services

1900 SW Fourth Avenue • Portland, Oregon 97201 • 503-823-7300 • www.portlandoregon.gov/bds



Permit Revision Application and Submittal Requirements

A Permit Revision is required when there are proposed changes to the project after the permit has been issued. This may arise due to discrepancies between the city-approved permit drawings and actual field conditions, or the customer has changed their mind about an aspect of the project. In all cases, a revision to the existing permit must be submitted, reviewed and approved.

Applicants will provide:

☒ A copy of this application

☒ Three (3) sets of plans that clearly reflect the proposed change(s).

Drawings and calculations must be stamped and signed by the Architect and/or the Engineer of Record, if applicable.

☒ One (1) copy of the original city approved permit drawings. (NOTE: If your project has an assigned process manager please contact them regarding submittal of the revision).

☐ Two (2) sets of calculations, if applicable

☐ Inspector's correction notice, if revision is due to an inspection correction

☐ Revision fee (paid at time of submittal)

Contact Information:

Contact name Jim Bauman

Address 2235 NE 32ND Ave

City Portland State OR Zip Code 97212

Phone 503-816-5499 Email Jim.Bauman@CH2M.COM

Value of proposed revision \$100 Issued permit # 14-105233 -RS

Description of revision Change Roof Drain outfall from splash pads to drywell

Fees:

The Permit Revisions are subject to fees associated with plan review, processing and any increase in project value. Additional fees may apply if adding plumbing fixtures.

The Bureau of Development Services fee schedule is available under the fees tab on the BDS web site at: www.portlandoregon.gov/bds. Fees are updated annually on July 1st.

Helpful Information:

Bureau of Development Services
City of Portland, Oregon
1900 SW 4th Avenue, Portland, OR 97201
www.portlandoregon.gov/bds

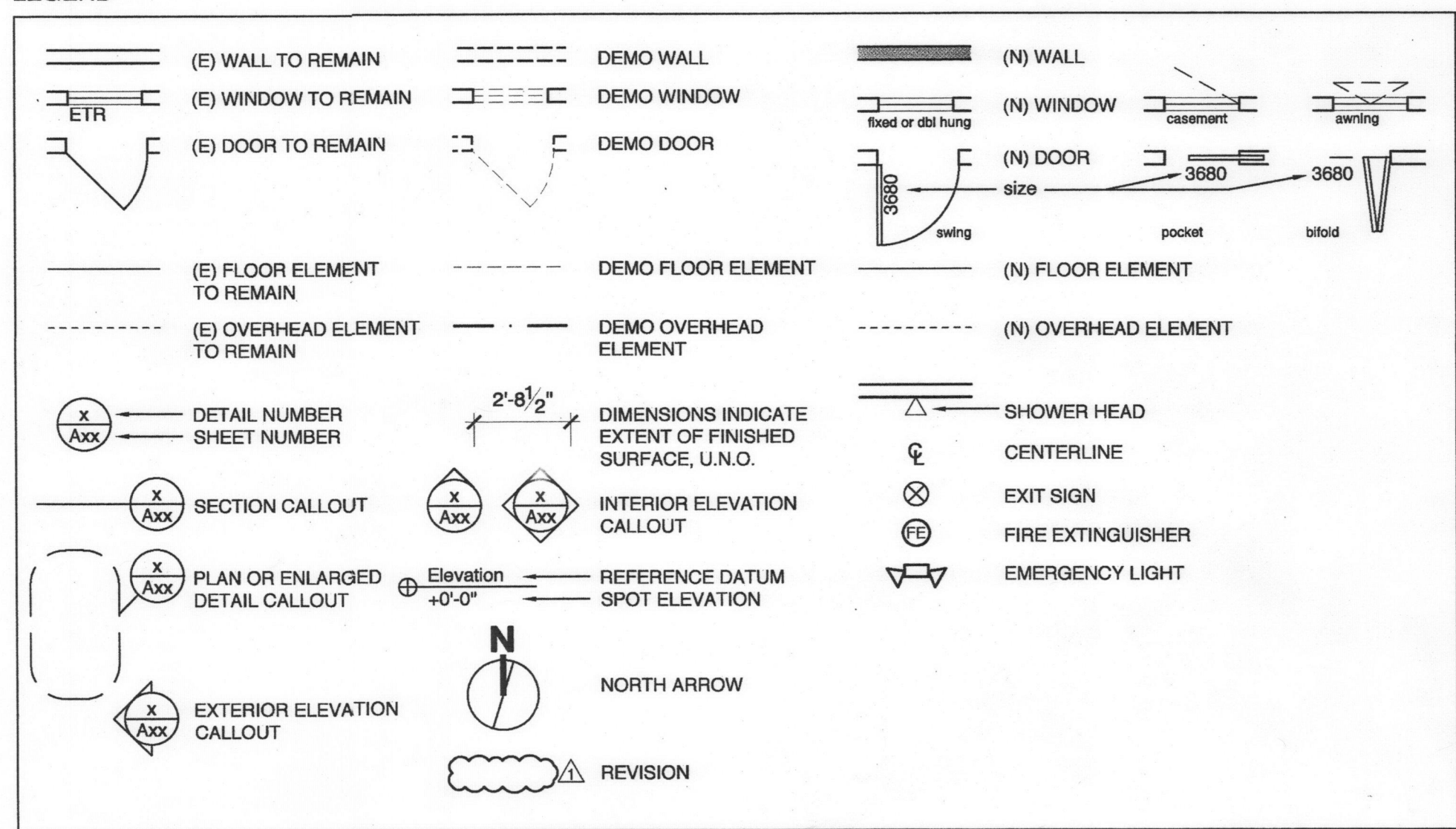
Submit your plans in person to:

Development Services Center (DSC), First Floor,
Tuesday - Friday:
7:30 am - 12:00 pm
Closed Mondays

Important Telephone Numbers:

BDS main number503-823-7300
DSC automated information line503-823-7310
Building code information503-823-1456
BDS 24 hour inspection request line503-823-7000
Residential information for
one and two family dwelling503-823-7388
General Permit Processing and
Fee Estimate info503-823-7357
City of Portland TTY503-823-6868

LEGEND



ABBREVIATIONS

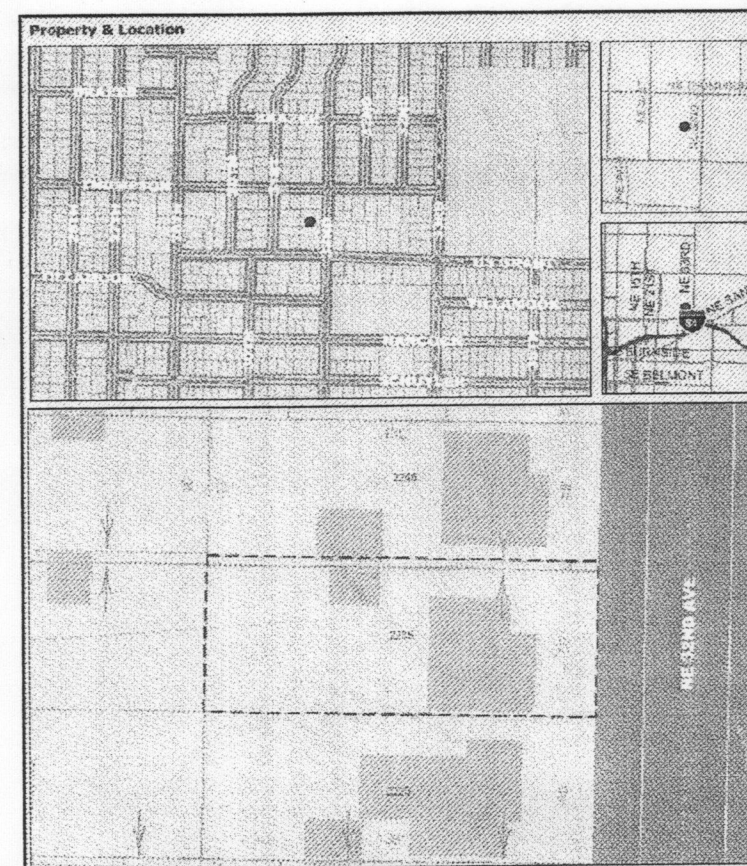
ABV	ABOVE	MECH	MECHANICAL
@	AT	MED	MEDIUM
BLKG	BLOCKING	MFR, MFR.	MANUFACTURER
BO, B.O.	BOTTOM OF	MI	MIRROR
BTWN	BETWEEN	MTL	METAL
CAB	CABINET, CABINETS	(N)	NEW
CEN	CENTER	N.T.S.	NOT TO SCALE
C.L., CL	CENTERLINE	OFCI	OWNER-FURNISHED, CONTRACTOR-INSTALLED
CLR	CLEAR	OFOI	OWNER-FURNISHED, OWNER-INSTALLED
COL	COLUMN	OPP	OPPOSITE
CONC	CONCRETE	PLUM	PLUMBING
COORD	COORDINATE	PLYWD	PLYWOOD
DIA	DIAMETER	PT	PRESSURE TREATED
DIM(S)	DIMENSION(S)	PTD	PAINTED
DN	DOWN	PWR	POWER
DS	DOWN SPOUT	QTY	QUANTITY
DWG	DRAWING	REF	REFRIGERATOR
(E)	EXISTING	REQ'D	REQUIRED
EA, EA.	EACH	REQT(S)	REQUIREMENT(S)
ELEC	ELECTRICAL	SCHED	SCHEDULE
EL, ELEV	ELEVATION	SHT	SHEET
EQ, EQ.	EQUAL	SIM	SIMILAR
ETR	EXISTING TO REMAIN	SOG, S.O.G.	SLAB ON GRADE
EXT	EXTERIOR	SS, S.S.	STAINLESS STEEL
FD	FLOOR DRAIN	STL	STEEL
FIXT	FIXTURE	STRUCT	STRUCTURAL
FO, F.O.	FACE OF	TO, T.O.	TOP OF
FRMG	FRAMING	TYP	TYPICAL
GYP BD	GYPSON BOARD	UNO, U.NO.	UNLESS NOTED OTHERWISE
HDWD	HARDWOOD	W	WOOD
HGT	HEIGHT		
INT	INTERIOR		

GENERAL NOTES

- Visit the site to verify existing conditions. Existing concealed conditions and connections are based upon information taken from limited field investigations. Contractor shall make required adjustments to system components as necessitated by actual field conditions at no additional cost to owner. Do not scale from drawings. Report any discrepancies between the drawings and actual field conditions to the architect in writing before construction begins or when discovered and prior to covering with new work.
- Contractor shall insure all work is in conformance with all applicable building codes.
- Contractor shall be responsible for cutting, fitting, or patching required to complete the work or to make its parts fit together properly.
- Contractor shall keep the job free of debris and make final cleanup to the satisfaction of the owner. Contractor shall be responsible for removal of all construction debris from project site and shall provide dumpsters etc. as required. Remove all debris on a daily basis.
- Contractor shall be responsible for the protection of all existing buildings and other installations that are to remain intact while performing the specified work. Provide & maintain fire extinguishers on project site during construction.

PROJECT DATA

ADDRESS: 2235 NE 32ND AVE, PORTLAND, OR 97212
PROPERTY ID: R147814
FOOTPRINT: 1,015 GSF
ZONING: R-5, RESIDENTIAL
LOT SIZE: 6PL PL, 760 SF



SCOPE

REPLACE EXISTING GARAGE W/ NEW 16' x 36" GARAGE.

SHEET INDEX

A00	COVER, INDEX, LEGEND, ABBRVS & SITE PLAN
A01	FLOOR PLAN
A02	BUILDING ELEVATIONS
A03	DETAILS
S0.0	STRUCTURAL NOTES
S1.0	STRUCTURAL PLANS
S2.0	STRUCTURAL DETAILS

LAND USE DECISION

LU 13-227133 AD approved 12-19-2013

REVISIONS

PERMIT SET

Bauman Garage

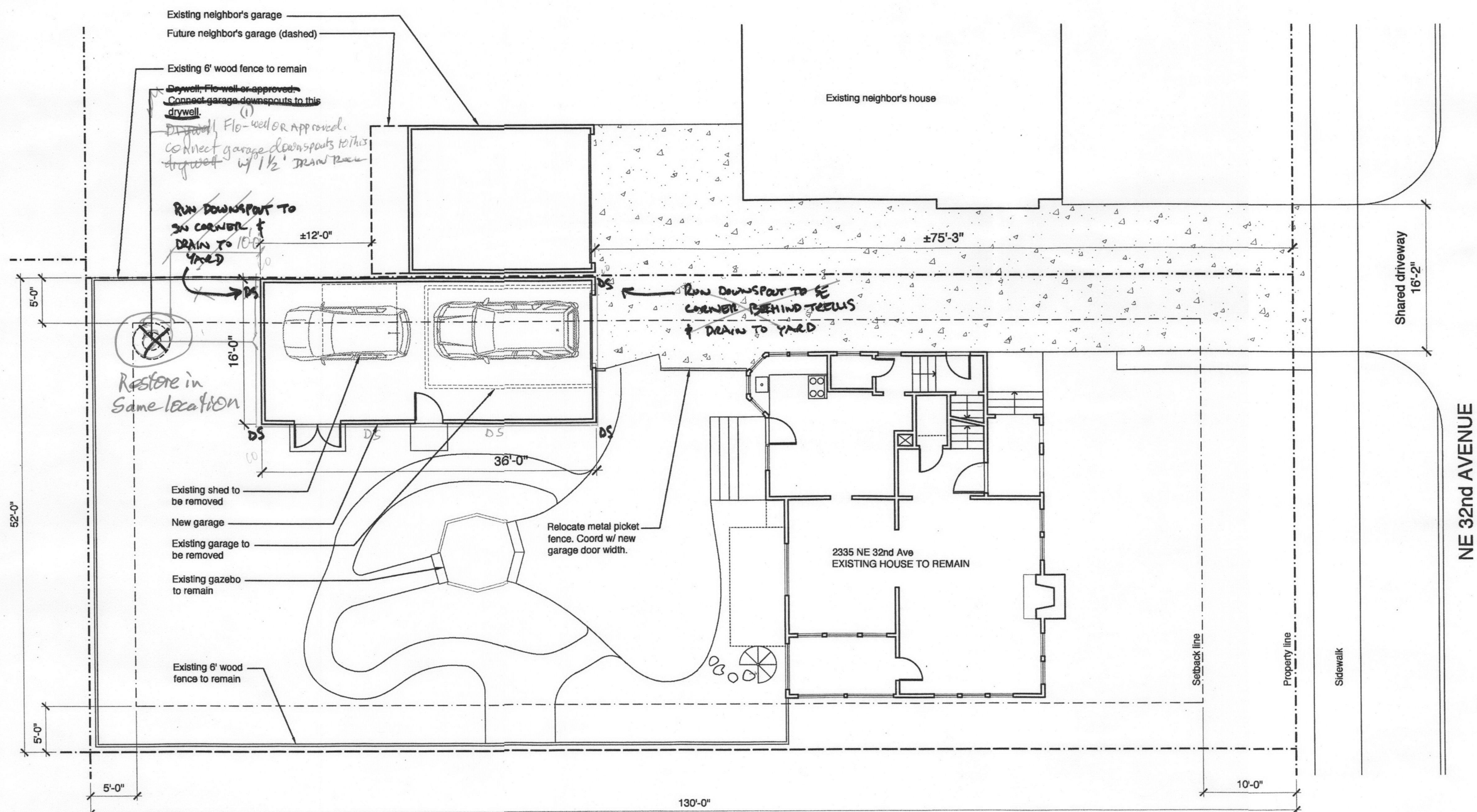
2235 NE 32nd Avenue
Portland, OR 97212



Cover, Index, Legend
Abbr & Win Sched

A00

N.T.S.



PUBLIC RIGHT-OF-WAY IS NOT APPROVED AS PART OF THIS BUILDING PERMIT

City of Portland
Bureau of Development Services
By [Signature] 1/15/14
Approved by Planning and Zoning Review

STORMWATER FACILITY EVALUATION REQUIRED AT TIME OF INSPECTION. CALL 503-823-7000 TO SCHEDULE THE FOLLOWING: 487
☒ EXCAVATION REVIEW OF SUBGRADE DRAINAGE MATERIALS AND PIPING DATE COMPLETED: 1/15/14
☒ REVIEW OF SOIL MEDIUM, FACILITY SURFACE, INLET/OUTLET/OVERFLOW PIPING, OK TO COVER. DATE COMPLETED: 1/15/14
☐ VEGETATION WORK DATE COMPLETED: 1/15/14

BDS COMBINATION INSPECTOR APPROVAL REQUIRED FOR DOWNSPOUTS AND PRIVATE STORMWATER PIPING OUTSIDE OF STORM FACILITIES.

DEMOLITION NOTES

- REMOVE ALL EXISTING CONSTRUCTIONS AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS, INCLUDING BUT NOT LIMITED TO, ITEMS SHOWN ON THE PLANS WITH DASHED LINES. NECESSARY DISCONNECTS & ALTERATIONS TO EXISTING MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INCLUDED. WHERE CONTRACTOR IS DESIGNATED TO MAKE REMOVALS, DISPOSAL OF MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR. VERIFY WITH OWNER, THE DISPOSAL AND REMOVAL OF ANY COMPONENTS OF SALVAGEABLE VALUE.
- WHERE APPLICABLE, LEVEL ALL (E) FLOORS AS REQ'D TO RECEIVE (N) FLOOR FINISHES. INSTALL REQ'D TRANSITION PIECES BETWEEN VARIOUS FLOOR FINISHES SUITABLE FOR CONDITIONS & ACCEPTABLE TO THE OWNER. MATCH EXISTING WHEREVER POSSIBLE.
- PATCH (E) WALLS TO REMAIN (GYPSUM DRYWALL OR PLASTER) TO MATCH EXISTING OF SUFFICIENT THICKNESS TO MAINTAIN UNIFORM WALL THICKNESS.
- PATCH ALL FINISHES TO MATCH EXISTING. VERIFY MATCH OF (N) FINISH MATERIALS TO EXISTING IN COLOR, TEXTURE, THICKNESS, CUT, ETC... TO SATISFACTION OF OWNER PRIOR TO INSTALLATIONS.