



VALLASTER CORL  
ARCHITECTS, PC  
711 SW ALDER  
PENTHOUSE SUITE  
PORTLAND, OR 97205  
PHONE : 503.228.0311  
FAX : 503.228.0314  
www.vcarch.com

# JEFFERSON STREET FLATS

## DESIGN ADVICE REQUEST

10-24-12

**DRAWING LIST**

#	SHEET NAME
C1	SITE PLAN
C100	UTILITY PLAN
C200	GRADING PLAN
C3.1	BASEMENT 3
C3.2	BASEMENT 2
C3.3	BASEMENT 1
C3.4	LEVEL 1
C3.5	TYPICAL RESIDENTIAL PLAN
C3.6	ROOF PLAN
C4.1	SOUTH ELEVATION
C4.2	NORTH ELEVATION
C4.3	EAST ELEVATION
C4.4	WEST ELEVATION
C5.1	N - S BUILDING SECTIONS
C5.2	BUILDING SECTIONS
C6.1	ENLARGED ELEVATIONS AND SECTIONS
C7.8	REFLECTED CEILING PLANS
C8.1	MATERIALS AND EXTERIOR LIGHTING
C9.1	VIEW
C9.2	VIEW
C9.3	VIEW
C9.4	VIEW
L1	LANDSCAPE

OWNER :  
MILL CREEK RESIDENTIAL TRUST

PROJECT NAME :  
**GOOSE HOLLOW APARTMENTS**

REVISIONS :

1	

ISSUE DATES :


JOB NO. : 1104  
DRAWN : Author  
CHECKED : Checker  
STATUS : DAR

TITLEBLOCK

**C0**

OWNER :  
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SITE PLAN

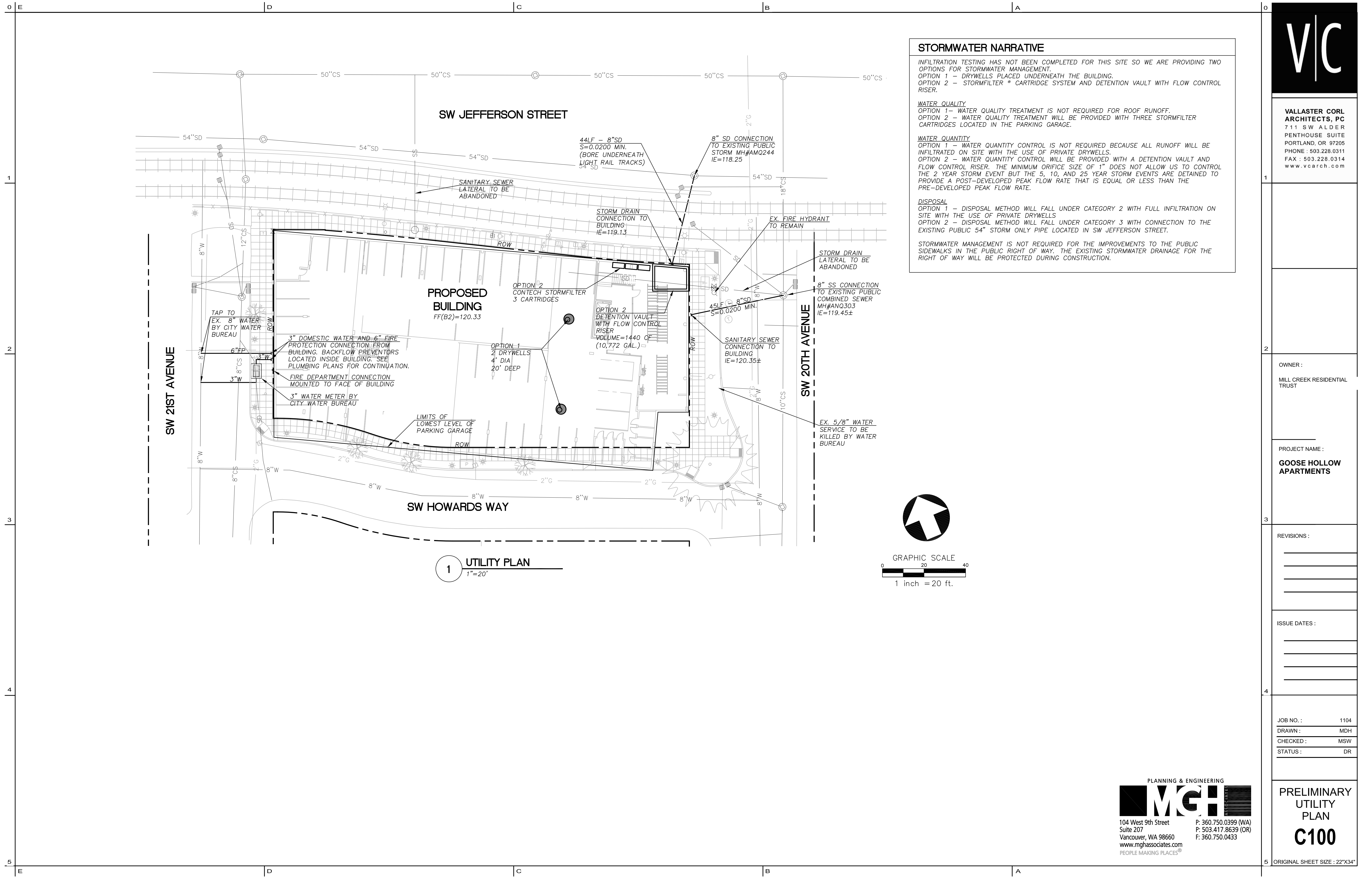
ORIGINAL SHEET SIZE: 22"x34"

EXHIBIT  
**C1**

LU 11-108266 DZM AD



1 SITE PLAN  
 SCALE: 1" = 10'-0"



**STORMWATER NARRATIVE**

INFILTRATION TESTING HAS NOT BEEN COMPLETED FOR THIS SITE SO WE ARE PROVIDING TWO OPTIONS FOR STORMWATER MANAGEMENT.  
**OPTION 1 - DRYWELLS PLACED UNDERNEATH THE BUILDING.**  
**OPTION 2 - STORMFILTER \* CARTRIDGE SYSTEM AND DETENTION VAULT WITH FLOW CONTROL RISER.**

**WATER QUALITY**  
**OPTION 1 - WATER QUALITY TREATMENT IS NOT REQUIRED FOR ROOF RUNOFF.**  
**OPTION 2 - WATER QUALITY TREATMENT WILL BE PROVIDED WITH THREE STORMFILTER CARTRIDGES LOCATED IN THE PARKING GARAGE.**

**WATER QUANTITY**  
**OPTION 1 - WATER QUANTITY CONTROL IS NOT REQUIRED BECAUSE ALL RUNOFF WILL BE INFILTRATED ON SITE WITH THE USE OF PRIVATE DRYWELLS.**  
**OPTION 2 - WATER QUANTITY CONTROL WILL BE PROVIDED WITH A DETENTION VAULT AND FLOW CONTROL RISER. THE MINIMUM ORIFICE SIZE OF 1" DOES NOT ALLOW US TO CONTROL THE 2 YEAR STORM EVENT BUT THE 5, 10, AND 25 YEAR STORM EVENTS ARE DETAINED TO PROVIDE A POST-DEVELOPED PEAK FLOW RATE THAT IS EQUAL OR LESS THAN THE PRE-DEVELOPED PEAK FLOW RATE.**

**DISPOSAL**  
**OPTION 1 - DISPOSAL METHOD WILL FALL UNDER CATEGORY 2 WITH FULL INFILTRATION ON SITE WITH THE USE OF PRIVATE DRYWELLS.**  
**OPTION 2 - DISPOSAL METHOD WILL FALL UNDER CATEGORY 3 WITH CONNECTION TO THE EXISTING PUBLIC 54" STORM ONLY PIPE LOCATED IN SW JEFFERSON STREET.**

STORMWATER MANAGEMENT IS NOT REQUIRED FOR THE IMPROVEMENTS TO THE PUBLIC SIDEWALKS IN THE PUBLIC RIGHT OF WAY. THE EXISTING STORMWATER DRAINAGE FOR THE RIGHT OF WAY WILL BE PROTECTED DURING CONSTRUCTION.



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**PRELIMINARY UTILITY PLAN**  
**C100**



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SHEET LEGEND	
	EXISTING CONTOUR
	SAWCUT
TC=XXX.XX	GRADE AT TOP OF CURB
TP=XXX.XX	GRADE AT TOP OF PAVEMENT
TW=XXX.XX	GRADE AT TOP OF WALL
G=XXX.XX	GRADE AT GUTTER
TC(E)=XXX.XX	GRADE AT TOP OF EXISTING CURB
TP(E)=XXX.XX	GRADE AT TOP OF EXISTING PAVEMENT
G(E)=XXX.XX	GRADE AT EXISTING GUTTER
	SLOPE ARROW
	CONCRETE SIDEWALK

SHEET NOTES	
1.	ALL SURFACES SHALL HAVE A MINIMUM 2.0% SLOPE UNLESS OTHERWISE NOTED ON PLANS.



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**1 GRADING PLAN**  
 1"=10'

**GRADING PLAN**  
**C200**



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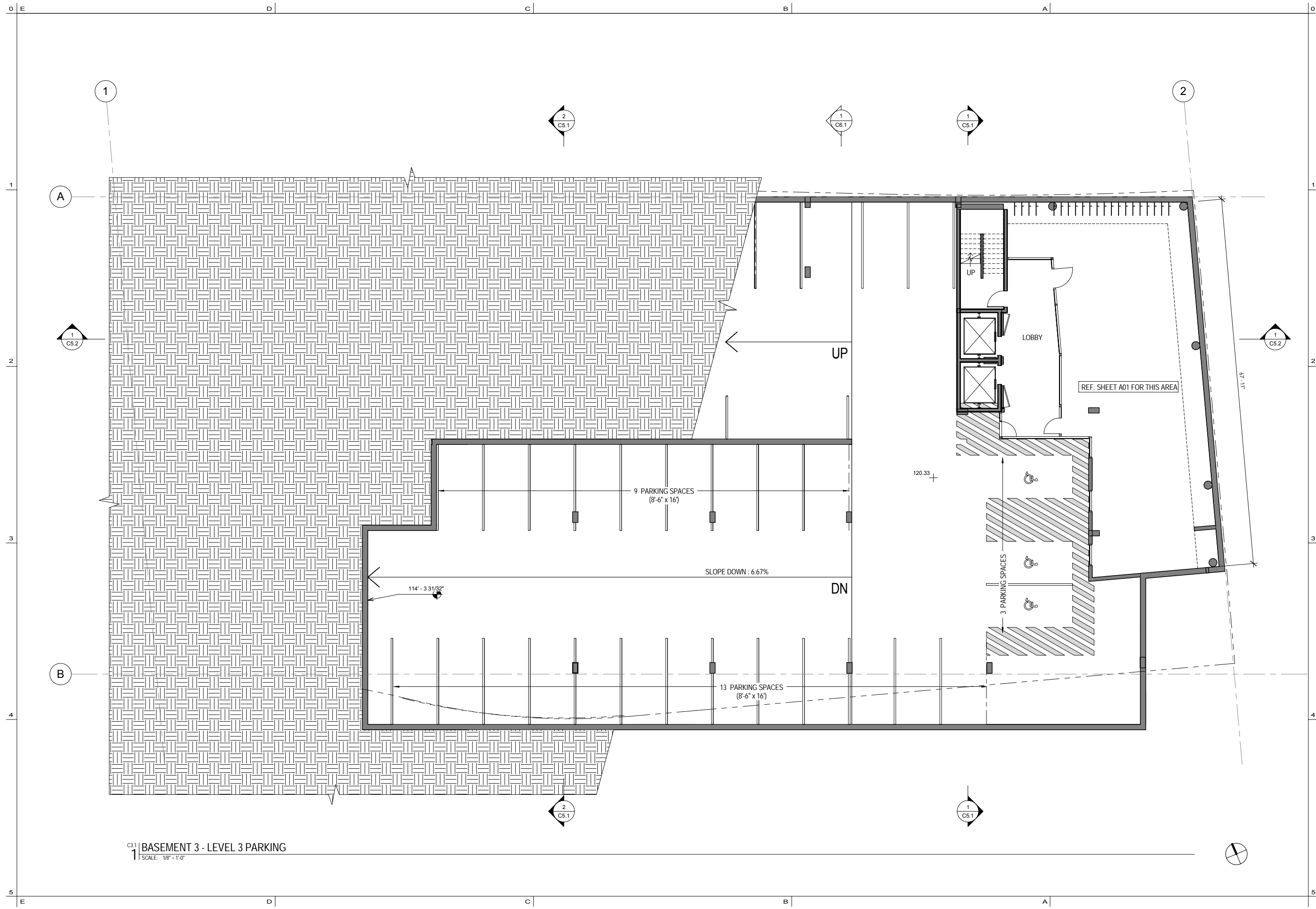
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BASEMENT 3

ORIGINAL SHEET SIZE: 22"x34"

EXHIBIT  
**C3.1**

LU 11-108266 DZM AD



C3.1 | BASEMENT 3 - LEVEL 3 PARKING  
 1 | SCALE: 1/8" = 1'-0"



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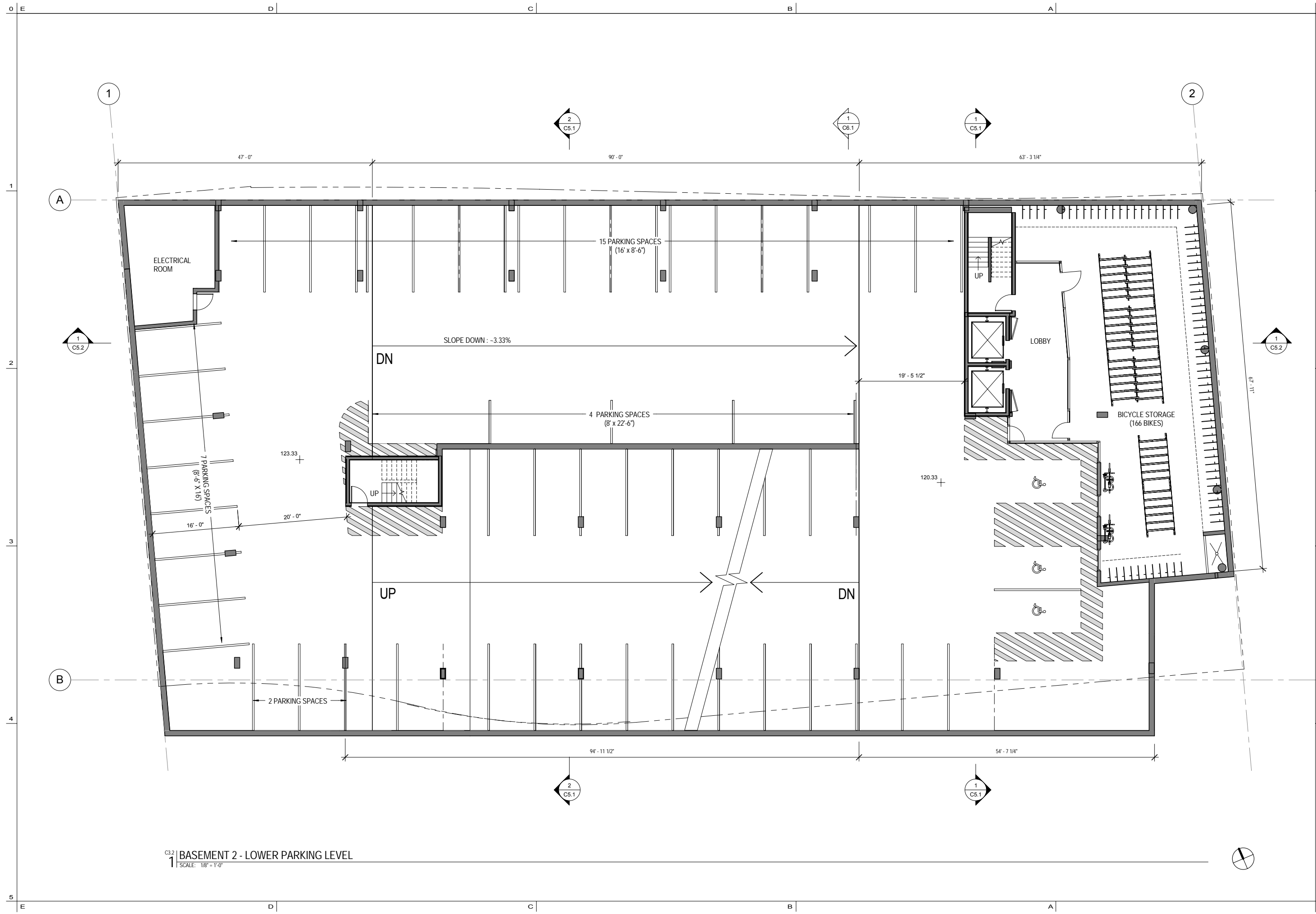
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BASEMENT 2

ORIGINAL SHEET SIZE: 22"x34"

EXHIBIT  
**C3.2**

LU 11-108266 DZM AD



C3.2 | **BASEMENT 2 - LOWER PARKING LEVEL**  
 1 | SCALE: 1/8" = 1'-0"



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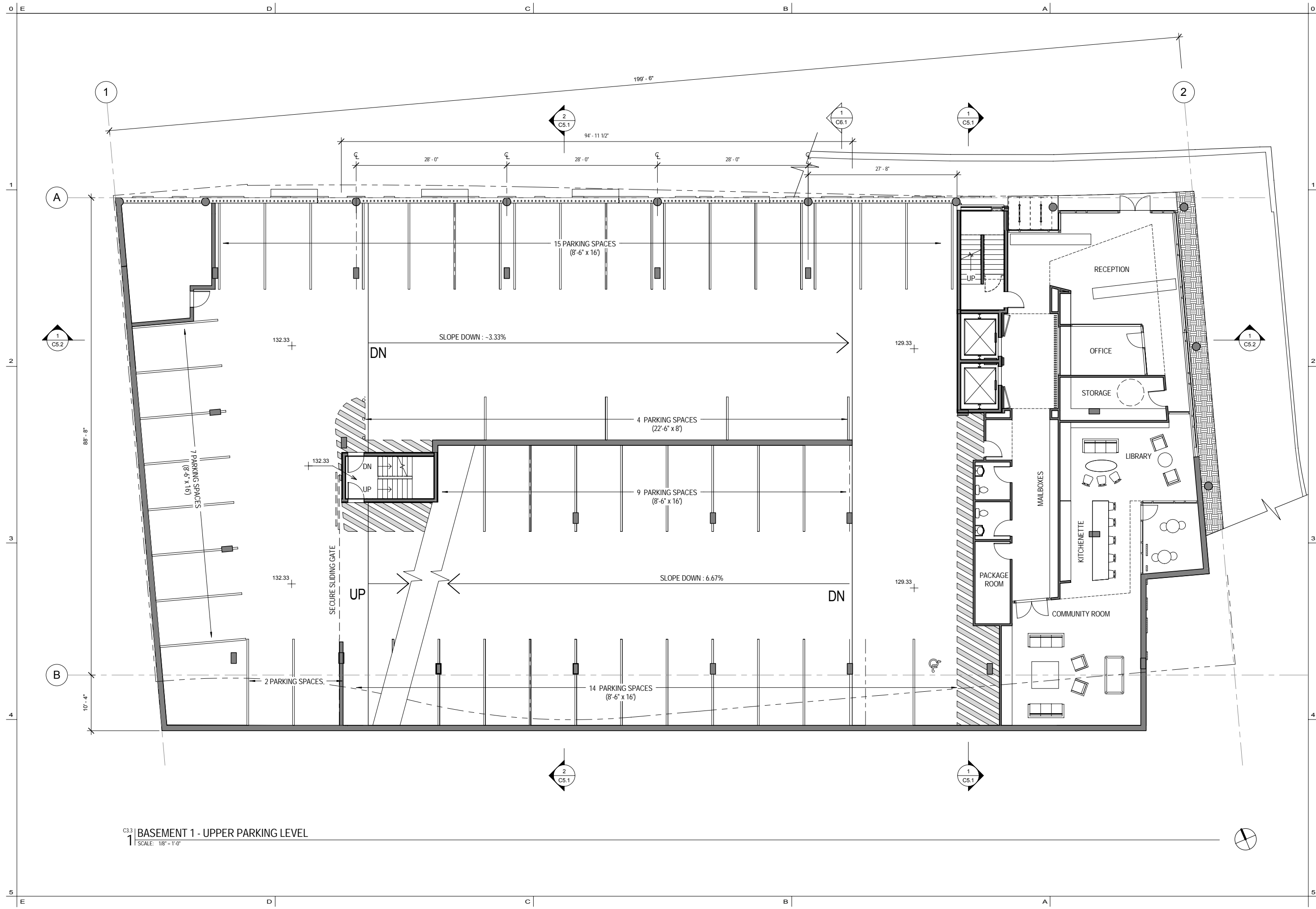
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BASEMENT 1

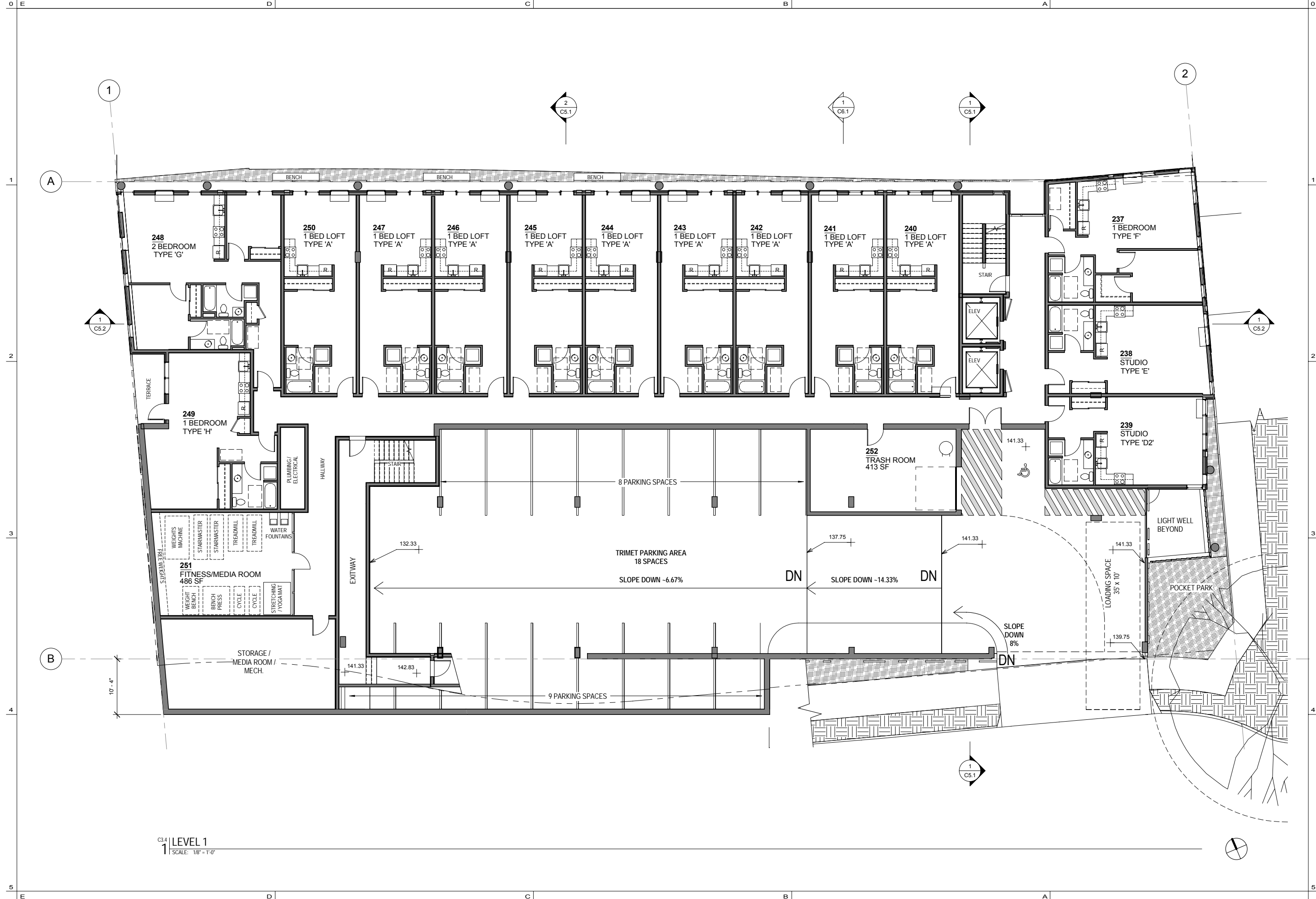
ORIGINAL SHEET SIZE: 22"x34"

EXHIBIT  
**C3.3**

LU 11-108266 DZM AD



C3.3 | **BASEMENT 1 - UPPER PARKING LEVEL**  
 1 | SCALE: 1/8" = 1'-0"



C3.4 LEVEL 1  
 SCALE: 1/8" = 1'-0"





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TYPICAL RESIDENTIAL PLAN

ORIGINAL SHEET SIZE: 22"x34"

EXHIBIT  
**C3.5**

LU 11-108266 DZM AD



C3.5  
**1** TYPICAL RESIDENTIAL PLAN  
 SCALE: 1/8" = 1'-0"



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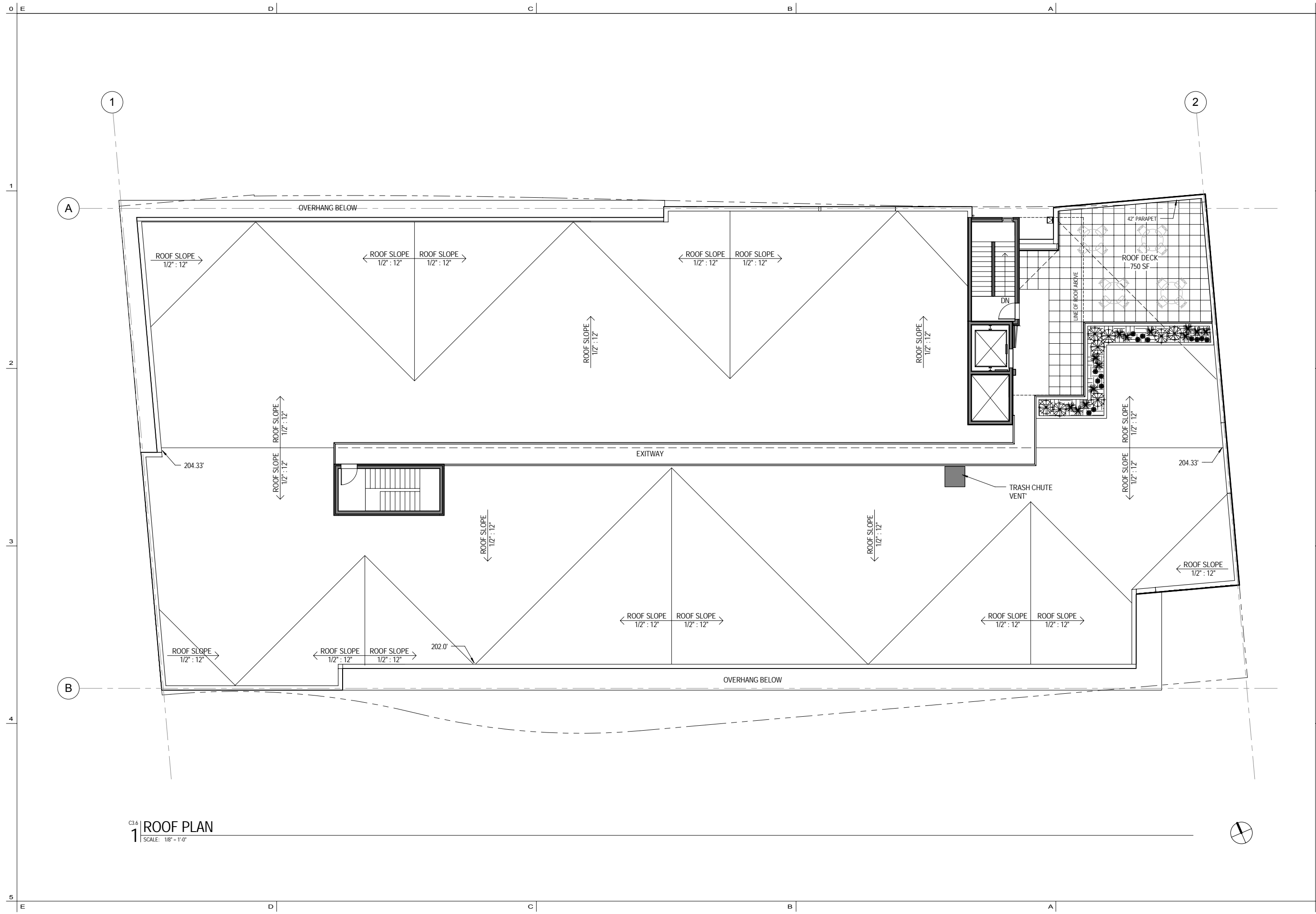
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ROOF PLAN

ORIGINAL SHEET SIZE: 22"x34"

EXHIBIT  
**C3.6**

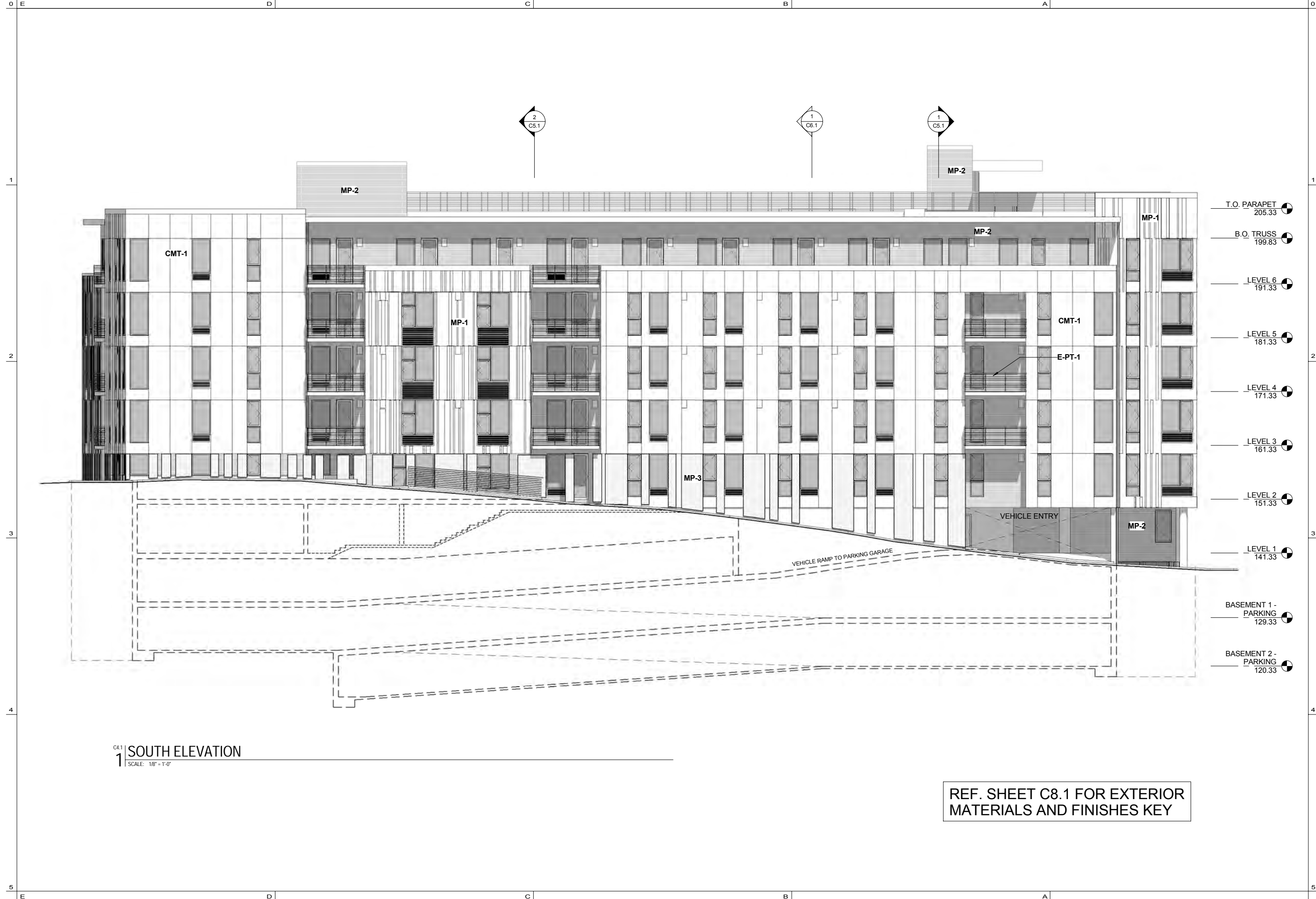
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C3.6  
**1** ROOF PLAN  
 SCALE: 1/8" = 1'-0"



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SOUTH ELEVATION

ORIGINAL SHEET SIZE: 22"x34"

EXHIBIT  
**C4.1**

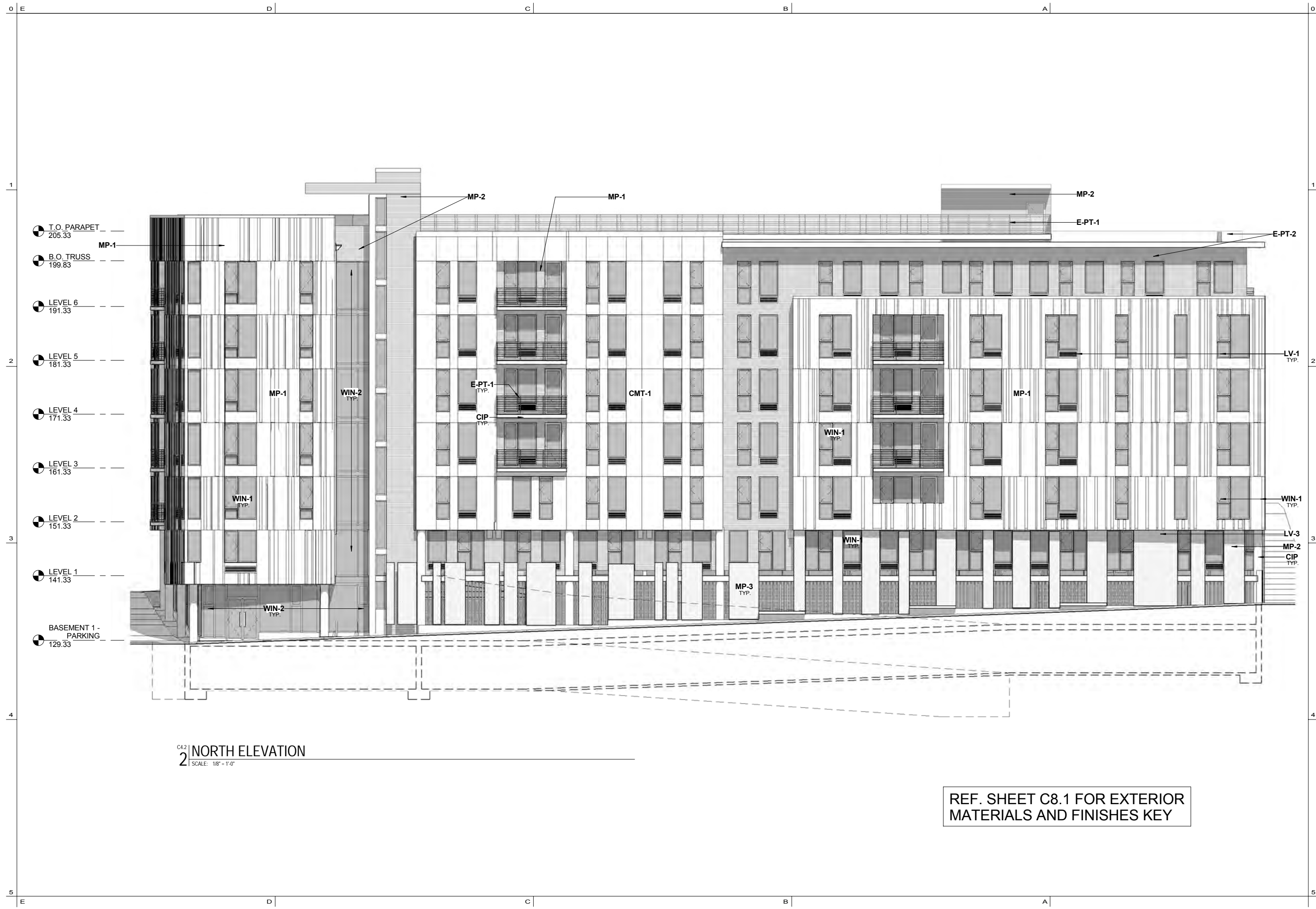
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C4.1 SOUTH ELEVATION  
 1 SCALE: 1/8" = 1'-0"

REF. SHEET C8.1 FOR EXTERIOR MATERIALS AND FINISHES KEY



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C4.2  
**2** NORTH ELEVATION  
 SCALE: 1/8" = 1'-0"

REF. SHEET C8.1 FOR EXTERIOR MATERIALS AND FINISHES KEY

NORTH ELEVATION

ORIGINAL SHEET SIZE: 22"x34"

EXHIBIT  
**C4.2**

LU 11-108266 DZM AD

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C4.3 | EAST ELEVATION  
1 | SCALE: 1/8" = 1'-0"

REF. SHEET C8.1 FOR EXTERIOR  
MATERIALS AND FINISHES KEY

EAST  
ELEVATION

ORIGINAL SHEET SIZE: 22"x34"

EXHIBIT  
**C4.3**

LU 11-108266 DZM AD

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C4.4 | WEST ELEVATION  
 1 | SCALE: 1/8" = 1'-0"

REF. SHEET C8.1 FOR EXTERIOR  
 MATERIALS AND FINISHES KEY



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WEST  
 ELEVATION

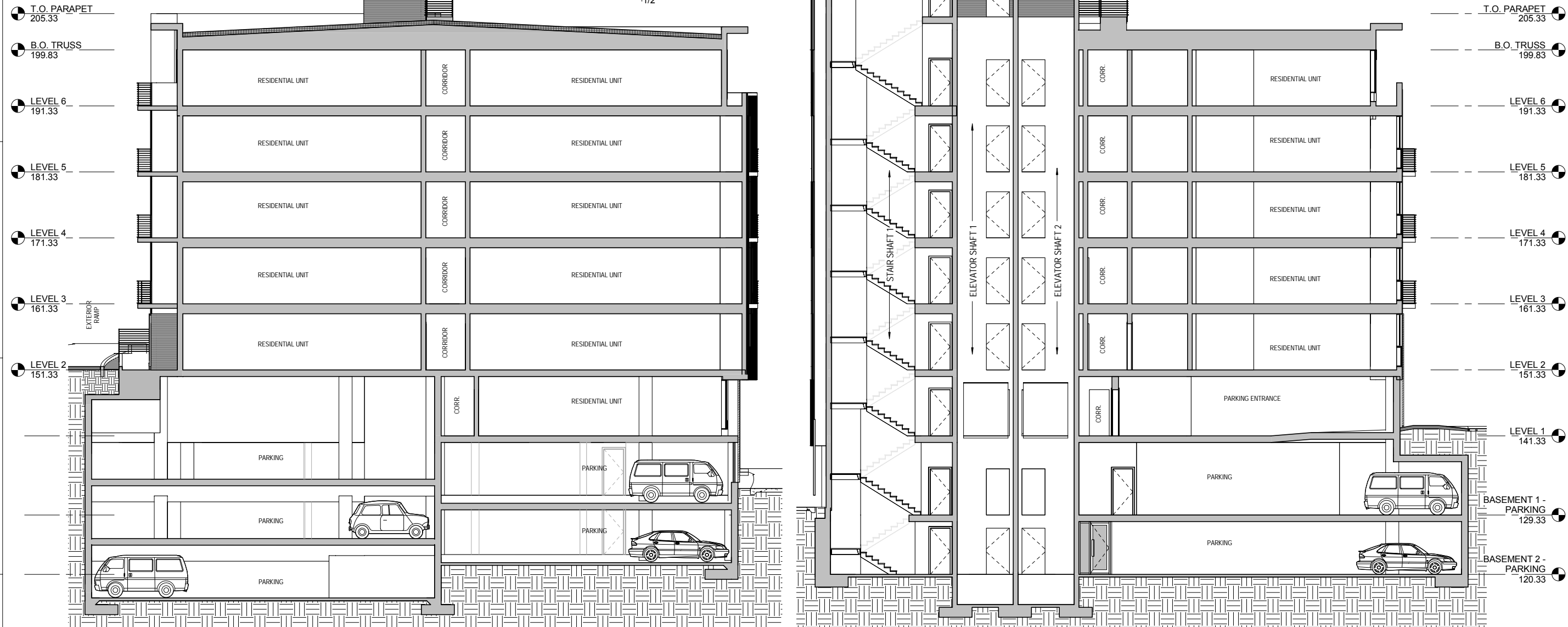
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EXHIBIT  
**C4.4**

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C5.1  
**2** TYP. N-S BLDG. SECTION  
 SCALE: 1/8" = 1'-0"

C5.1  
**1** N-S BLDG SECTION @WEST STAIR1  
 SCALE: 1/8" = 1'-0"

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**N - S BUILDING SECTIONS**

ORIGINAL SHEET SIZE: 22"x34"

**EXHIBIT C5.1**

LU 11-108266 DZM AD



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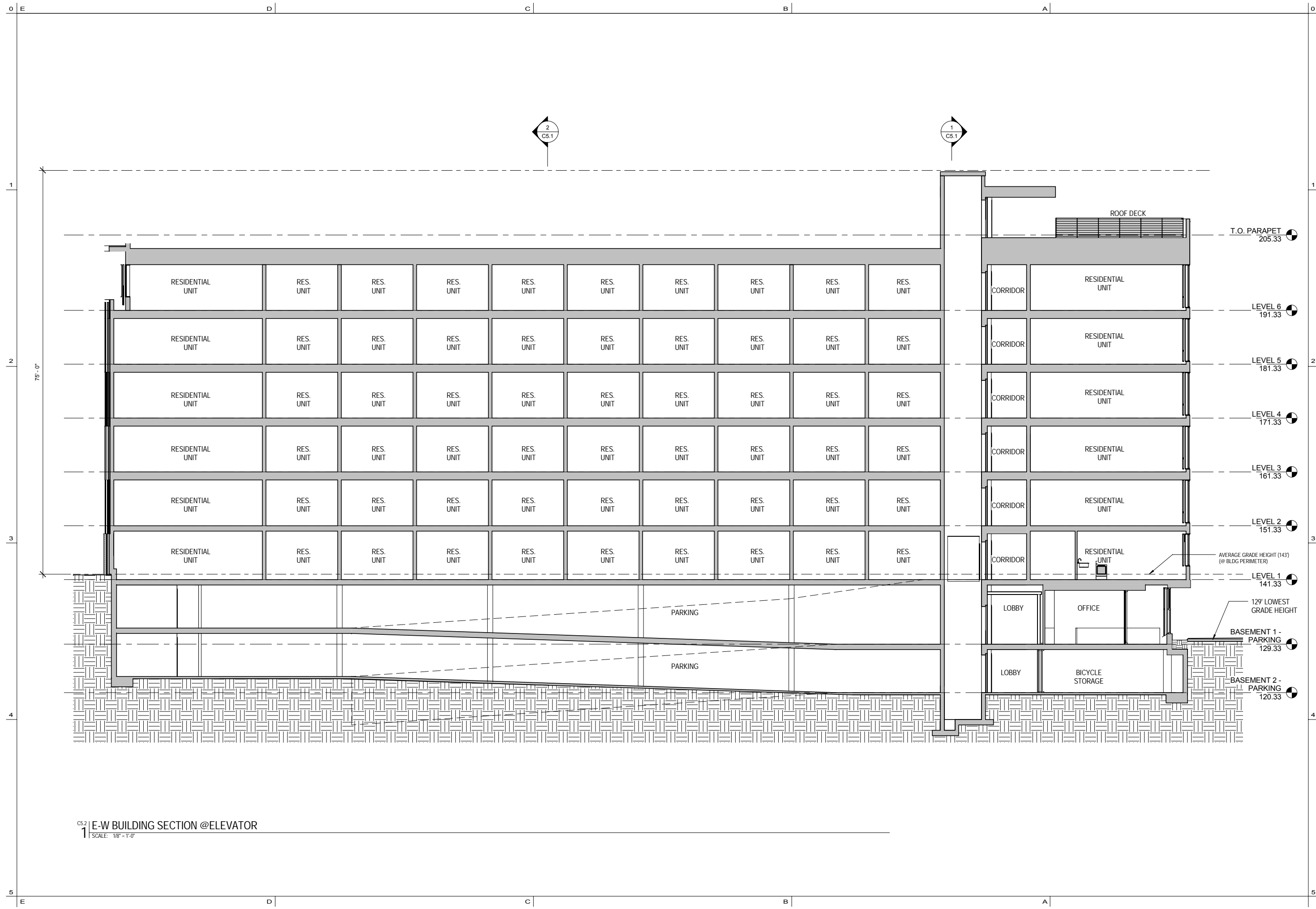
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**BLDG SECTION**

ORIGINAL SHEET SIZE: 22"x34"

**EXHIBIT C5.2**

LU 11-108266 DZM AD



C5.2 | **E-W BUILDING SECTION @ELEVATOR**  
 1 | SCALE: 1/8" = 1'-0"



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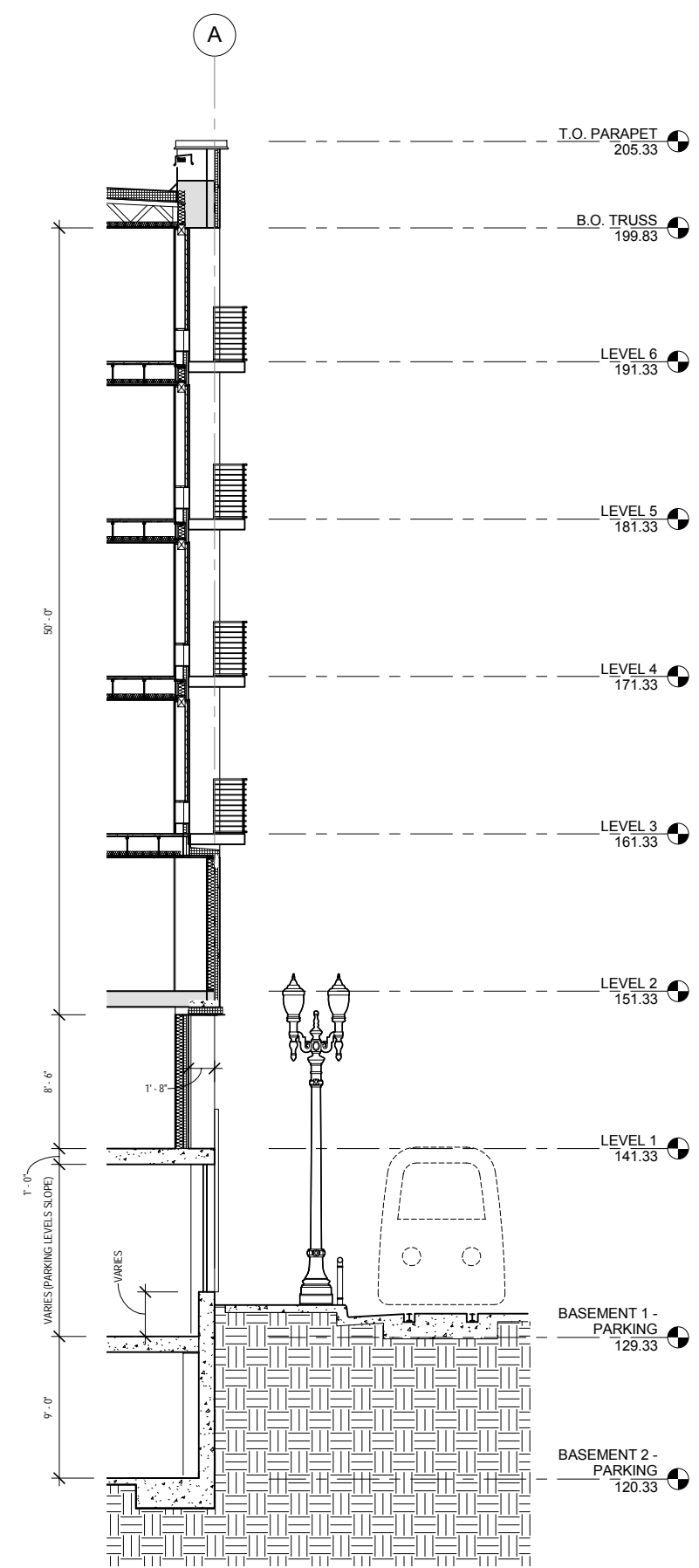
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**ENLARGED ELEVATIONS AND SECTIONS**

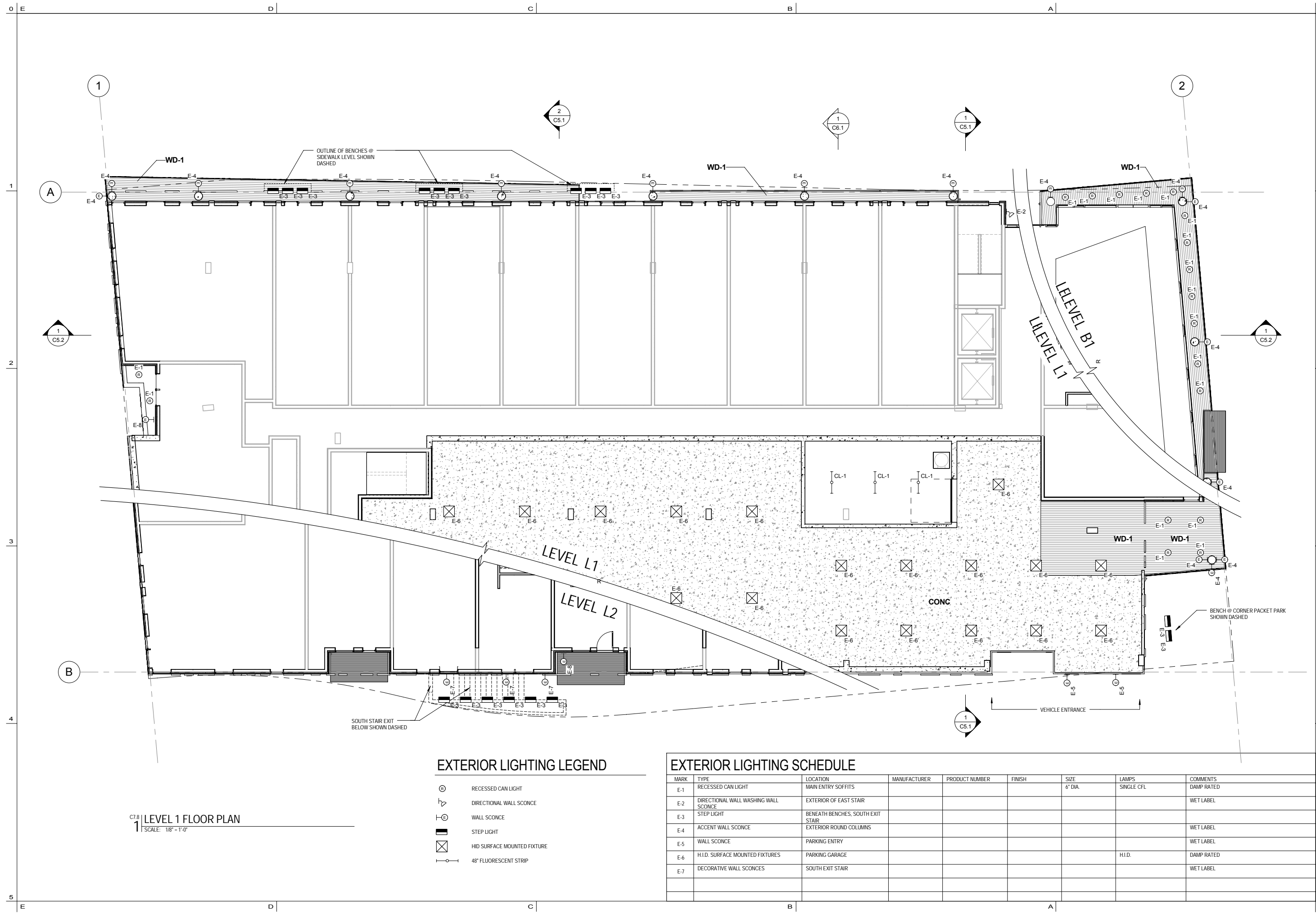
ORIGINAL SHEET SIZE: 22"x34"

**EXHIBIT C6.1**

LU 11-108266 DZM AD



C6.1 south facade\_bay end2  
 1 SCALE: 3/16" = 1'-0"



C7.8  
**1** LEVEL 1 FLOOR PLAN  
 SCALE: 1/8" = 1'-0"

**EXTERIOR LIGHTING LEGEND**

- ⊙ RECESSED CAN LIGHT
- ↳ DIRECTIONAL WALL SCONCE
- ⊖ WALL SCONCE
- ▬ STEP LIGHT
- ⊗ H.I.D. SURFACE MOUNTED FIXTURE
- 48" FLUORESCENT STRIP

**EXTERIOR LIGHTING SCHEDULE**

MARK	TYPE	LOCATION	MANUFACTURER	PRODUCT NUMBER	FINISH	SIZE	LAMPS	COMMENTS
E-1	RECESSED CAN LIGHT	MAIN ENTRY SOFFITS				6" DIA.	SINGLE CFL	DAMP RATED
E-2	DIRECTIONAL WALL WASHING WALL SCONCE	EXTERIOR OF EAST STAIR						WET LABEL
E-3	STEP LIGHT	BENEATH BENCHES, SOUTH EXIT STAIR						
E-4	ACCENT WALL SCONCE	EXTERIOR ROUND COLUMNS						WET LABEL
E-5	WALL SCONCE	PARKING ENTRY						WET LABEL
E-6	H.I.D. SURFACE MOUNTED FIXTURES	PARKING GARAGE					H.I.D.	DAMP RATED
E-7	DECORATIVE WALL SCONCES	SOUTH EXIT STAIR						WET LABEL

### EXTERIOR MATERIALS AND FINISHES

MARK	TYPE	MANUFACTURER	PRODUCT	SIZE	COLOR	FINISH	LOCATION
CIP	CAST IN PLACE CONCRETE				NATURAL	CLEAR SEAL	BASEMENT/LEVEL 1/BALCONIES
CMT-1	FIBER CEMENT PANEL	JAMES HARDIE	HARDIEPANEL	PANELS UP TO 4'X10'	LIGHT GREY	PAINT	RESIDENTIAL SKIN
MP-1	METAL PANEL		CUSTOM PROFILE 22 GA. STEEL	VARIES	YELLOW	PAINT	RESIDENTIAL SKIN
MP-2	METAL PANEL	PIONEER SHEET METAL	BOX RIB	VARIES	DARK GREY	PAINT	LEVEL 1 RESIDENTIAL/STAIR TOWER
MP-3	PERFORATED METAL PANEL	CUSTOM	PERFORATED CORETEN	VARIES	NATURAL	UNFINISHED	LIVING WALL
WIN-1	VINYL WINDOWS	VPI	FIXED/CASEMENT	VARIES	WHITE	INTEGRAL COLOR	RESIDENTIAL UNITS
WIN-2	ALUMINUM STOREFRONT SYSTEM	ARCADIA	TC470		NATURAL	CLEAR ANODIZED	LOBBY/HALL
E-PT-1	PAINT				METALLIC SILVER	SATIN PAINT	GUARDRAILS
E-PT-2	PAINT				LIGHT GREY TO MATCH HARDIEPANEL	SATIN PAINT	FLASHING, DOWNSPOUTS
E-PT-3	PAINT				YELLOW TO MATCH YELLOW METAL SIDING	SATIN PAINT	FLASHING, DOWNSPOUTS
LV-1	LOUVER	CUSTOM		CUSTOM	TO MATCH WINDOWS	SATIN PAINT	PTAC UNITS
LV-2	LOUVER	CUSTOM		CUSTOM	TO MATCH HARDIEPANEL	SATIN PAINT	BATH/DRYER EXHAUST
LV-3	LOUVER	CUSTOM		CUSTOM	TO MATCH YELLOW METAL SIDING	SATIN PAINT	BATH/DRYER EXHAUST
LV-4	LOUVER	CUSTOM		CUSTOM	TO MATCH DARK GREY METAL SIDING	SATIN PAINT	BATH/DRYER EXHAUST



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**MATERIALS AND EXTERIOR LIGHTING**

ORIGINAL SHEET SIZE: 22"x34"

**EXHIBIT C8.1**

LU 11-108266 DZM AD



VIEW - NE CORNER OF BUILDING

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VIEW

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EXHIBIT  
**C9.1**

LU 11-108266 DZM AD



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VIEW - NW CORNER OF BUILDING

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VIEW

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EXHIBIT  
**C9.2**

LU 11-108266 DZM AD



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VIEW

ORIGINAL SHEET SIZE: 22"x34"

EXHIBIT  
C9.3

LU 11-108266 DZM AD

VIEW - SE CORNER OF BUILDING

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VIEW - SOUTH SIDE OF BUILDING



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ARCHITECT  
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TRUST

PROJECT NAME  
GOOSE HOLE  
APARTMENT

ISSUE DATES :

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DRAWN :  
CHECKED :  
STATUS :

VIEW

ORIGINAL SHEET S

EXHIB  
C9.4

LU 11-108266 DZ

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SOUTH ELEVATION

NORTH ELEVATION

EAST ELEVATION

WEST ELEVATION

SOUTH/EAST ENLARGEMENT

SITE PLAN

PLANT SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME
	ACER CIRCINATUM / VINE MAPLE
	CARPINUS BETULUS 'FASTIGIATA' / PYRAMIDAL EUROPEAN HORNBEAN
	PENNISETUM ALOPECUROIDES / FOUNTAIN GRASS
	ROSE ARCTOC SUNRISE WHITE / WHITE GROUND COVER ROSE
	ROSMARINUS OFFICINALIS / ROSEMARY
	SARCOCOCCA RUSCIFOLIA / FRAGRANT SARCOCOCCA
GROUND COVERS	BOTANICAL NAME / COMMON NAME
	CAREX OSHIMENSIS 'EVERGOLD' / VARIEGATED JAPANESE SEDGE

SHAPIRO DIDWAY  
LANDSCAPE ARCHITECTURE  
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OWNER:  
MILL CREEK RESIDENTIAL TRUST

PROJECT NAME:  
GOOSE HOLLOW APARTMENTS

REVISIONS:  
1

ISSUE DATES:

JOB NO. 1104  
DRAWN ss  
CHECKED ss  
STATUS DR

TITLEBLOCK

L1

ORIGINAL SHEET SIZE: 22"X34"



## **DESIGN ADVISORY REQUEST - JEFFERSON STREET FLATS**

Meeting Date: October 4, 2012  
Applicant: Armin Quilici, Project Architect  
Vallaster Corl Architects, PC  
Project Name: Jefferson Street Flats  
Address: SW 20<sup>th</sup> Ave. and Jefferson St.  
Portland, Oregon 97204  
Zoning: CXd and CXds (Central Commercial w/ design and scenic overlay)  
Plan District: Central City Plan District (CC)  
Subdistrict: Goose Hollow  
Historic District: N.A.

### **Land Use Requests**

Type III Design Review  
Type II Adjustment Review

### **Project History**

Pre-Application Conference: Held on 01/26/2012 (EA 09-199333)  
Design Advice Request: To be held on 10/4/2012  
Submission of D.R. Application:  
Submission of Commission packets:

### **Table of Contents**

- I. Project Overview
- II. Development Standards

## **I. PROJECT OVERVIEW**

### **A. SITE PHOTOS**



**ARIAL PHOTO**



**NE CORNER SHOWING MAX LIGHT RAIL LINE AND ARBOR VISTA**



**NW CORNER SHOWING MAX LINE AND EXISTING BUILDING**



**SE CORNER AND HOWARDS WAY SHOWING SIGNIFICANT TREE**



**WEST ON 21<sup>ST</sup> SHOWING EXISTING BUILDING**

## **B. Existing Conditions**

The existing site consists of five tax lots (R128639, R128640, R128641, R128642, R519462). A 26' change in elevation separates the highest point (SW corner) and lowest point (NE corner) of the property. A two-story commercial building is situated on the west half of the site and a parking lot is on the east half. The existing building and parking lot will be removed.

## **C. Surrounding Area**

The Goose Hollow neighborhood contains a mix of residential and commercial uses. The property is located on Jefferson Street which is one of two main boulevards that go through Goose Hollow. The area's main MAX-line stop is one block to the east on Jefferson and is the last stop within the central city before it leaves for surrounding western suburban neighborhoods. On the south side of the property is Arbor Vista Condominiums. To the west, there are 4 commercial office buildings and parking, and to the east is First United Methodist church and classrooms. Across Jefferson street to the north is Rasmussen BMW and Willamette Dental. SW Jefferson is at the bottom of a small ravine (formerly Tanner Creek) that runs from the west hills to downtown and is spanned by the Vista Bridge to the west.

## **D. Proposed Design**

### General (program, location)

The Jefferson Street Flats project is a full block residential development on SW Jefferson Street, between 20<sup>th</sup> and 21<sup>st</sup> Ave. The block is actually considered a half block at approximately 90' x 200'. The building height varies between 5 and 7 stories, but is considered 6 stories tall with a basement partially exposed at the lowest sidewalk grade. There are 134 residential units and 121 parking spaces, with 6 stories being residential and 2 stories being parking. Of the 121 parking spaces, 18 are for the public and 101 are for building tenants. Common areas include a community room, exercise room, roof deck and parking for over 150 bicycles.

### Design

The main lobby and entrance will be located at the site's most prominent corner on Jefferson and 20<sup>th</sup> Ave. The garage entrance is located near the lowest grade on Howards Way. This location was chosen after other entrance points on 20<sup>th</sup> and 21<sup>st</sup> Avenue were eliminated by either PBOT or the civil engineer. The building is 75' tall from grade to parapet at the site's lowest corner, and is 10' below the maximum zoning height.

The building's mass is divided into 3 parts – the base, the east tower and roof deck, and the west block. The east and west parts are divided by the elevator lobbies and stair tower. The base is delineated by a recessed residential level that separates the garage from the residential portion above. Bays and recesses break down the scale of the main west block.

### Construction

The proposed construction type is Type 1A for the first floor and Type 3A for floors 2 through 6. The two-story below grade parking structure is also Type 1A. A 3-HR fire rated concrete slab located at the second floor level will separate the two types of construction. The Type 1A portion will be a concrete structure with metal framed infill walls. The Type 3A portion will be wood frame, including the exterior wall.

## II. DEVELOPMENT STANDARDS

Standard	CXd	Jefferson Street Flats
<b>Maximum FAR</b> [See 33.510.210.1.a(1)]	4 :1 7:1 with bonus	6:1 Complies
<b>Maximum Height</b> [See 33.130.210 and .120]	75 ft. 85 ft from lowest grade	75 ft. – to top of stair tower 85 ft – from lowest grade to top of stair tower
<b>Building Setbacks</b> [33.130.215(B)(1)] Street Lot Line	0'	Complies
<b>Maximum Building Setbacks</b> [See 33.130.215] Transit Street	10 ft.	Complies
<b>Building Coverage</b> [See 33.130.220]	100% of site area	95%
<b>Street Facing Facades</b> [See 33.130.250 (D)]	15% of the area of each façade that faces a street lot line must be windows or main entrance doors.	~25% complies
<b>Ground Floor Windows</b> [See 33.130.230 (B)]	Windows must be at least 50% of the length and 25% of the ground level wall area, of walls up to 9' above finish grade. Does not apply to residential units or parking garages set back 5'.	Complies 20 <sup>th</sup> Ave: 80% length, 70% wall area 21 <sup>st</sup> Ave: all residential Jefferson St: 50% length , 30% area Howards Way: all residential
<b>Required Building Lines</b> [See 33.510.215]	The building must extend within 12' of the street lot line for at least 75% of the lot line. The space between the building and the street lot line must be designed as an extension of the sidewalk.	Complies
<b>Minimum Landscape Area</b> [See 33.230.225]	none	5%
<b>Required Parking</b> (See 33.120.110(B)(3) and Table 266-2)	There is no minimum parking requirement for sites located less than 500 feet from a Transit Street with 20 minute peak service	The Site contains 118 garage parking spaces
<b>Parking dimensions</b> [Table 266-4]	Parking space: 8'-6" x 16" Parallel space: 8' x 22'-6" Aisle: 20' wide	Complies
<b>Required Bicycle Parking</b> [See Table 266-8] LT – long term ST – short term	LT – 1.5 per 1 unit ST – 1 per 20 units	<b>Total Required:</b> 210 LT, 7 ST <b>Total Provided:</b> 212 LT, 7 ST
<b>Loading Standards</b> [33.266.310(D)]	For more than 100 residential units: Either one 35' X10' X 13' loading space or two 18' X 9' X 10'H loading spaces	One 18' X 9' X 10'H loading space provide Modification and adjustment required