

# Development Services

## From Concept to Construction

Phone: 503-823-7300 Email: [bds@portlandoregon.gov](mailto:bds@portlandoregon.gov) 1900 SW 4th Ave, Portland, OR 97201

More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



### APPEAL SUMMARY

**Status:** Hold for Additional Information - Reconsideration of ID 31417, item 1

<b>Appeal ID:</b> 31464	<b>Project Address:</b> 406 NW Glisan St
<b>Hearing Date:</b> 4/12/23	<b>Appellant Name:</b> Jordan Bissett
<b>Case No.:</b> B-004	<b>Appellant Phone:</b> 5032339856
<b>Appeal Type:</b> Building	<b>Plans Examiner/Inspector:</b> Renay Radtke Butts
<b>Project Type:</b> commercial	<b>Stories:</b> 3 <b>Occupancy:</b> A, B, R-1 <b>Construction Type:</b> V-B
<b>Building/Business Name:</b> Enterprise Building	<b>Fire Sprinklers:</b> Yes - throughout
<b>Appeal Involves:</b> Alteration of an existing structure	<b>LUR or Permit Application No.:</b> Appeal 31417
<b>Plan Submitted Option:</b> pdf [File 1]	<b>Proposed use:</b> Assembly & Business

### APPEAL INFORMATION SHEET

#### Appeal item 1

**Code Section** 1024.1

**Requires** 1024.1 Exit passageways.  
Exit passageways serving as an exit component in a means of egress system shall comply with the requirements of this section. An exit passageway shall not be used for any purpose other than as a means of egress and a circulation path.

**Code Modification or Alternate Requested** Use the existing Trash room configuration.

**Proposed Design** The existing Trash room is at grade with the sidewalk and exit door. It is accessed by an in-swinging door opposite the exit door. The remainder of Level 01 is approximately 1'-8" above grade. The stairway from the upper levels and the exit passageway including the stairway from the Basement is enclosed in an existing 1-hr fire barrier. The Trash room is enclosed separately in a 1-hr fire barrier.

Reconsideration Text

Trash room is separated from Exit Passageway by existing 3-hr door.

**Reason for alternative** Leaving the Trash room and its access in the existing configuration as permitted in 2004 provides the lowest overall risk to building users for the following reasons:

Given the need for proximity to the exterior for unloading, the Basement bar/restaurant and the Level 01 Café, there is no other feasible location for the Trash room within the building. The building is a Historic Landmark and modifying or adding additional openings in the exterior is not likely to be allowed by the Historic Design Commission or SHPO.

The only feasible way to reconfigure the Trash room in the existing location would be to raise the floor to be the same height as the remainder of Level 01 and provide access on the south side of

the room via the Gallery.

However, this creates additional barriers for building users to the Trash room, including placing access door further from the exit, and requiring access through an additional door, which is likely to be propped open.

Finally, the single largest trash generator in the building will be the Basement bar/restaurant. Accessing this alternate configuration would require users to go against the direction of egress in the Level 01 exit passageway, and travel further from the exit door to bring trash from the restaurant to the Trash room. This increases the likelihood they will simply deposit trash in the exit passageway until it is taken out, thus increasing the fire hazard and impediment of this critical means of egress.

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## APPEAL DECISION

**Separation of Trash Room from Exit Passageway: Hold for additional information.**

**Appellant may contact John Butler (503 865-6427) or e-mail at [John.Butler@portlandoregon.gov](mailto:John.Butler@portlandoregon.gov) with questions.**

**PLEASE READ THE NOTE BELOW when providing Board requested Additional Information or when submitting a reconsideration after 1st time appeal Denial.**

A reconsideration is submitted online following the same submittal process and using the same appeals form as the original appeal. Indicate at the beginning of the appeal form that you are filing a reconsideration and include the original assigned Appeal ID number. The reconsideration will receive a new appeal number.

Include the original attachments and appeal language. Provide new text with only that information that is specific to the reconsideration in a separate paragraph(s) clearly identified as "Reconsideration Text" with any new attachments also referenced. Once submitted, the appeal cannot be revised.

No additional fee is required when the Board has requested additional information or for the first reconsideration of a denied appeal if submitted within 6 months of the original appeal. In these two specific instances please ignore the auto-generated request for another fee.

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CODE APPEAL DECISIONS	
APPEAL 28015 SUBMITTED REVIEWER	09 / 07 / 22 Renay Radtke Butts, Amit Kumar
APPEAL ITEM 1	
CODE SECTION	Chapter 24.85.040.A - Occupancy Change to a Higher Relative Hazard Classification
REQUIRES:	An occupancy to a higher relative hazard classification will require seismic improvements based upon the factors of changes in the net floor area and the occupant load increases as indicated in Table 24.85-B. All improvements to either the OSSC or ASCE 41 improvement standard shall be made such that the entire building conforms to the appropriate standard indicated in Table 24.85-B.
CODE MODIFICATION REQUESTED:	Multiple occupancy changes to a single building may be under this section without trigger a seismic upgrade provided the cumulative changes do not exceed 1/3 of the building net floor area or add more than 149 occupants with respect to the legal buidng occupancy as of October 1, 2004.
PROPOSED DESIGN:	Use the November 24, 2004 approved permit revision, which included an ASCE-31 structural upgrade (and occupancy changes) as the basis of City Code Title 24 Chapter 24.85.040 outlining the triggers for seismic upgrades.  Reconsideration Text: Proposed to use the November 24, 2004 approved permit revision occupant load and occupancy classifications as the baseline for future renovations.  Only July 16, 2004, a building permit application was submitted that did not require or include a seismic upgrade (Permit # 03-107239-000-00-CO).  On November 24, 2004, a revised design was submitted under this same permit that changed the occupancy type, increased occupancy load, and included a ASCE-31 level seismic upgrade. This design was stamped as Approved on January 25, 2005, and a building permit was issued.  On October 25, 2005 a Certificate of Occupancy was issued for the completed renovation, including the ASCE-31 seismic upgrade.  The timeline of the building permit applicaiton happend to overlap the newly established cutoff date of October 1, 2004. As a result, the renovation was designed, constructed, and permitted in compliance with pre-October 1, 2004, requirements.  A voluntary, preliminary structural analysis provided by Grummel Engineering, LLC (dated 08/02/22) confirms that the work performed met the ASCE-31 and OSSC-98 standards that were in place on October 1, 2004.
REASON FOR ALTERNATIVE:	The alternative provides equivalent structural capacity that meets the requirements that were in-place on October 1, 2004.
APPEAL DECISIONS	
Use of November 24, 2004 approved permit revision as the basis of City Code Title 24 Chapter 24.85.040 outlining occupancy and occupancy load triggers for seismic upgrades: Granted as proposed.	

CHAPTER 24.85 SEISMIC DESIGN REQUIREMENTS										
SECTION 040 - CHANGE OF OCCUPANCY OR USE										
RELATIVE HAZARD CLASSIFICATION (RHC)	NOV 2005 (BASELINE)			PROPOSED			NET CHANGE			
	OCC.	RHC	NSF*	OCC.	RHC	NSF*	MAXIMUM: 33.33%			
	S-1	2	4,040	S-1/2	2	1,450				
	M	3	3,529	M	3	--	PROPOSED: 23.5%			
	B	3	7,461	B	3	6,891	(3,841 / 16,333 = 23.5)			
				A-2/3	5	3,841				
				R-3	1	770				
		TOTAL**		17,665		16,333				
*NSF EXCLUDES RESTROOMS AND CIRCULATION (PER BASELINE PERMIT CALCULATIONS)										
**NSF OF FULL BUILDING PER CODE SHEETS										
NET OCCUPANT LOAD INCREASE	NOV 2005 (BASELINE)			PROPOSED			NET CHANGE			
	OCC.	AREA	LF	LOAD			MAXIMUM: 149			
	S-1	4,040	300	14	SEE OCCUPANCY LOAD SCHEDULE ON G1.01		PROPOSED: 123			
	M	3,529	30	118						
	B	7,461	150	50						
	TOTAL			182			305			
	SECTION 065 - SEISMIC STRENGTHENING OF URM BUILDINGS									
COST OF ALTERATION OR REPAIR	TOTAL COST OF ALTERATIONS***			\$800,000						
	TOTAL AREA			16,333 SF						
	COST / SF			\$49.98						
	MAXIMUM ALLOWABLE			\$55.23						
***MINUS EXCLUSIONS										

CODE SUMMARY									
APPLICABLE CODES	2019 OREGON STRUCTURAL SPECIALTY CODE								
	2019 OREGON FIRE CODE								
	2021 OREGON ENERGY EFFICIENCY SPECIALTY CODE / ASHRAE 90.1-2019								
	2019 OREGON MECHANICAL SPECIALTY CODE								
	2021 OREGON ELECTRICAL SPECIALTY CODE								
CONSTRUCTION TYPE	2021 OREGON PLUMBING SPECIALTY CODE								
	2010 ADA STANDARDS FOR ACCESSIBLE DESIGN (ADAS)								
	2009 ICC A117.1								
	TYPE V-B CONSTRUCTION (EXISTING)								
	NON-SEPARATED USES								
CHAPTER 3									
304.1	OCCUPANCY	GROUP A-2 GROUP A-3 GROUP B GROUP R-3							
CHAPTER 5									
504.2, 504.4, 506.2	ALLOWABLE AREA	GROUP A-2: 16,500 SF GROUP A-3: 18,000 SF GROUP B: 27,000 SF GROUP R-3: UL		ACTUAL AREA	GROUP A-2: 2,740 SF GROUP A-3: 2,607 SF GROUP B: 8,407 SF GROUP R-3: 770 SF				
	ALLOWABLE STORIES	GROUP A-2: 2 STORIES GROUP A-3: 2 STORIES GROUP B: 3 STORIES GROUP R-3: 3 STORIES		ACTUAL STORIES	GROUP A-2: 1 STORIES GROUP A-3: 1 STORIES GROUP B: 3 STORIES GROUP R-3: 3 STORIES				
	ALLOWABLE HEIGHT	# FT	60'-0"	ACTUAL HEIGHT	# FT	42'-3"			
CHAPTER 6									
TABLE 601	REQUIRED FIRE RESISTIVE RATINGS	PRIMARY STRUCTURAL FRAME 0 HOUR EXTERIOR BEARING WALLS 0 HOUR INTERIOR BEARING WALLS 0 HOUR EXTERIOR NON-BEARING WALLS 0 HOUR INTERIOR NON-BEARING WALLS 0 HOUR - UNLESS OTHERWISE NOTED FLOOR CONSTRUCTION 0 HOUR ROOF CONSTRUCTION 0 HOUR							
TABLE 602	FIRE-RESISTANCE RATING FOR EXTERIOR NON-BEARING WALLS	X < 5 FT = 1 HR 5 FT ≤ X < 10 FT = 1 HR 10 FT ≤ X < 30 FT = 0 HR 30 FT ≤ X = 0 HR							
CHAPTER 7									
TABLE 705.8	EXTERIOR WALL OPENINGS	0 to less than 3 FT NOT PERMITTED 3 FT to less than 5 FT 15% 5 FT to less than 10 FT 25% 10 FT to less than 15 FT 45% 15 FT to less than 20 FT 75% 20 FT to less than 25 FT NO LIMIT 25 FT to less than 30 FT NO LIMIT 30 FT or greater NO LIMIT							
713.4	FLOOR OPENINGS & SHAFTS	≥ 4 STORIES = 2 HR < 4 STORIES = 1 HR							
CHAPTER 9									
	FIRE PROTECTION	EXTEND AND MODIFY EXISTING NFPA 13 FIRE SPRINKLER SYSTEM FOR NEW DESIGN TO COMPLY WITH NFPA 13.							
CHAPTER 10									
TABLE 1016.1	EXITING & OCCUPANT LOAD	SEE LIFE SAFETY OCCUPANT LOAD SCHEDULE							
TABLE 1017.2	TRAVEL DISTANCE	A-OCCUPANCY (MOST RESTRICTIVE): 250 FT TRAVEL DISTANCE / 75 FT COMMON PATH OF TRAVEL							
1009.3.3	AREA OF REFUGE	NOT REQUIRED: EXCEPTION 2, AUTOMATIC SPRINKLER SYSTEM							
TABLE 1020.1	CORRIDORS	A & B-OCCUPANCIES: 0-HOUR							
CHAPTER 11									
1103.2.2	ACCESSIBILITY SCOPE	REF OSSC 3403							
CHAPTER 29									
TABLE 2902.1	PLUMBING FIXTURES	USE	OCC	WC - M/F REQ'D RATIO	M/F REQ'D QTY	LAV - M/F REQ'D RATIO	M/F REQ'D QTY	OTHER	
BASEMENT / LEVEL 01									
ASSEMBLY - BAR									
ASSEMBLY - GALLERY (M)									
ASSEMBLY - GALLERY (F)									
ASSEMBLY - RESTAURANT									
BUSINESS (UP TO 50)									
STORAGE									
TOTAL REQ'D									
TOTAL PROVIDED									
LEVEL 02									
BUSINESS (UP TO 50)									
STORAGE									
TOTAL REQ'D									
TOTAL PROVIDED									
LEVEL 03									
BUSINESS (UP TO 50)									
RESIDENTIAL - APT									
STORAGE									
TOTAL REQ'D									
TOTAL PROVIDED									
* DRINKING FOUNTAIN NOT PROVIDED PER TABLE 2902.1 NOTE E. A DRINKING FOUNTAIN NEED NOT BE PROVIDED IN A DRINKING OR DINING ESTABLISHMENT.									
CHAPTER 30									
3002.4	ELEVATORS	(E) ELEVATORS TO REMAIN. BUILDING LESS THAN 4 STORIES ABOVE OR BELOW GRADE PLANE. AMBULANCE STRETCHER NOT REQUIRED.							
CHAPTER 34									
3403.4	ACCESSIBILITY FOR EXISTING BUILDINGS	ALTERATIONS COMPLY WITH OSSC CHAPTER 11 ACCESSIBILITY REQUIREMENTS. AREAS OF PRIMARY FUNCTION AND ROUTES TO THESE AREAS MEET OSSC CHAPTER 11 ACCESSIBILITY REQUIREMENTS. PRIMARY ENTRANCE ON NW 4TH ST WILL REMAIN ACCESSIBLE; ACCESSIBLE ROUTE FROM THIS ENTRY TO ALL SPACES OF PRIMARY FUNCTION WILL BE MAINTAINED.							
NOTES									
EXISTING RATED CONSTRUCTION AFFECTED BY ALTERATION SHALL BE REPLACED WITH LIKE MATERIALS TO MAINTAIN RATED CONSTRUCTION.									

H O L S T

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CODE/ LIFE  
SAFETY  
SUMMARY

sheet:

G1.00





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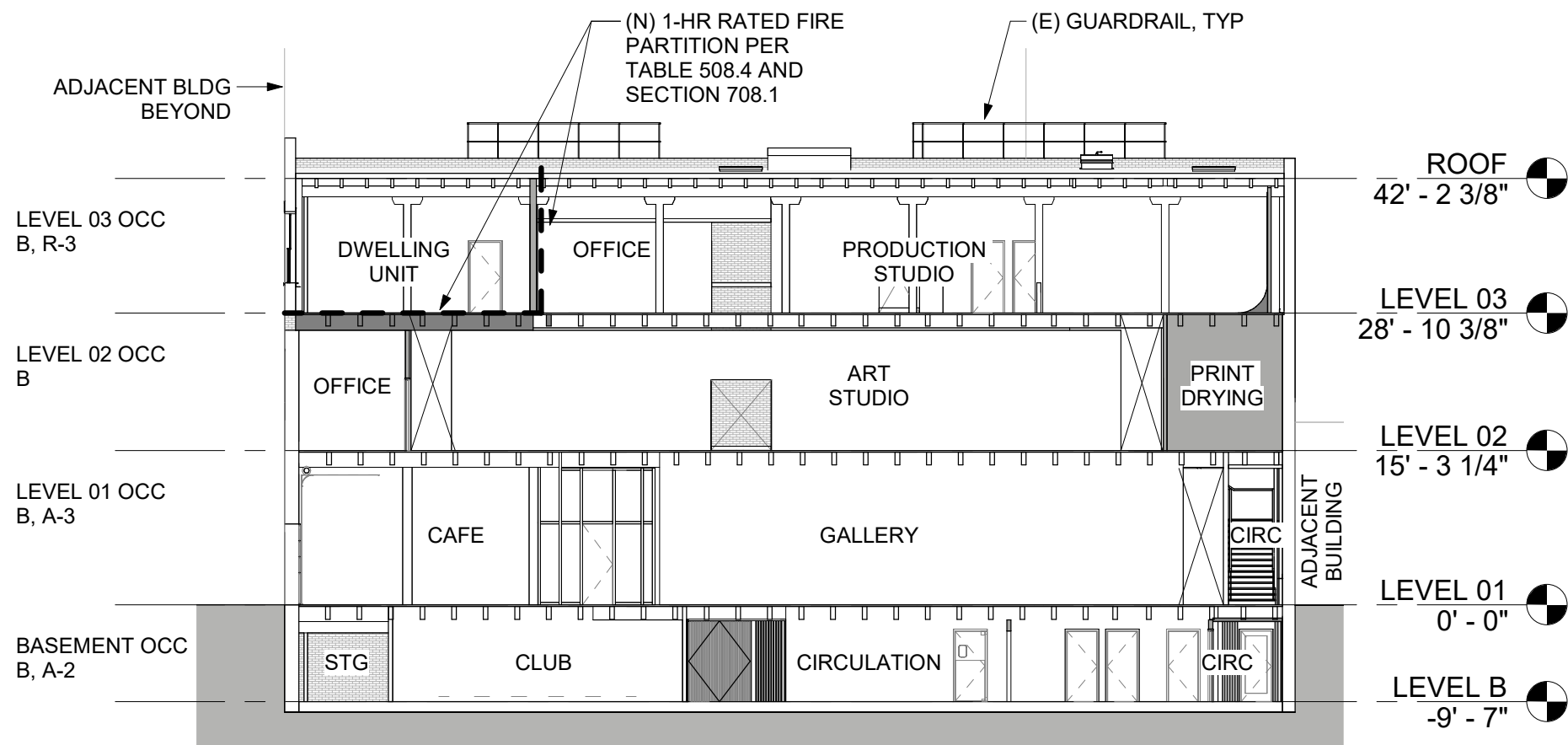
LIFE SAFETY OCCUPANCY LOAD SCHEDULE					
AREA NAME	OCCUPANCY (CH. 3)	AREA (SF)	FUNCTION (TABLE 1004.1.1)	LOAD FACTOR	OCCUPANT LOAD
Not Placed					
CONF RM	B	Not Placed	ASSEMBLY UNCONCENTRATED	25	
OFFICE	B	Not Placed	BUSINESS	150	
		0 SF			0

LEVEL B					
CLUB	A-2	105 SF	ASSEMBLY FIXED BOOTHS	5	21
CLUB	A-2	1224 SF	ASSEMBLY UNCONCENTRATED	15	82
CIRCULATION	A-2	429 SF	EXEMPT	0	
CIRCULATION	A-2	193 SF	EXEMPT	0	
RESTROOMS	A-2	117 SF	EXEMPT	0	
BAR	A-2	230 SF	KITCHEN, COMMERCIAL	60	4
KITCHEN	A-2	442 SF	KITCHEN, COMMERCIAL	200	3
LOUNGE	B	422 SF	ASSEMBLY UNCONCENTRATED	25	17
UNOCCUPIED AREA	NA	359 SF	STORAGE	0	
UTIL.	S-2	60 SF	MECHANICAL	300	1
UTIL.	S-2	67 SF	MECHANICAL	300	1
STORAGE	S-2	206 SF	STORAGE	300	1
STORAGE	S-2	337 SF	STORAGE	300	2
		4191 SF			132

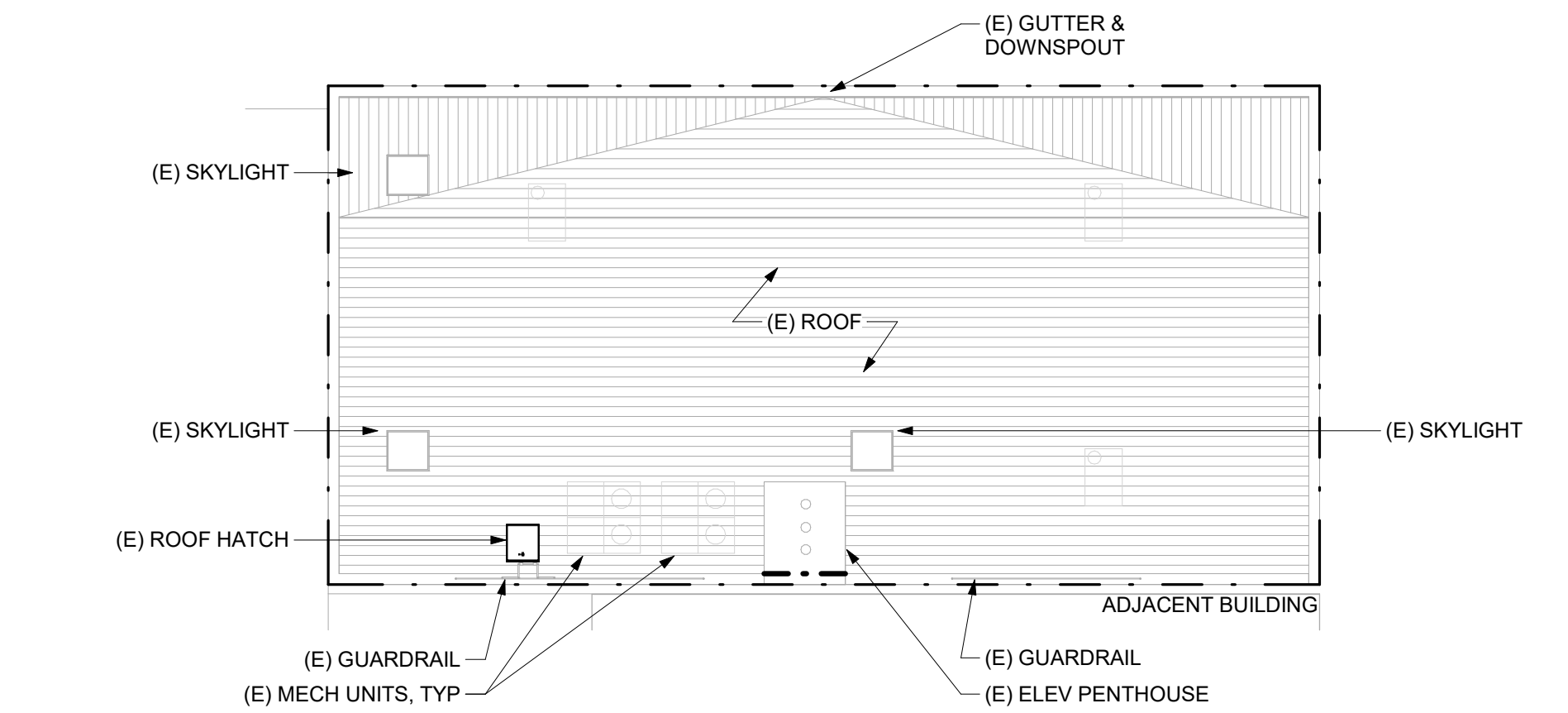
LEVEL 01					
GALLERY	A-3	1840 SF	ASSEMBLY STANDING	30	62
CIRCULATION	A-3	649 SF	EXEMPT	0	
RESTROOMS	A-3	120 SF	EXEMPT	0	
CAFE	B	580 SF	ASSEMBLY UNCONCENTRATED	30	20
BREAK AREA	B	130 SF	BUSINESS	150	1
EMPLOYEE WORK AREA	B	148 SF	KITCHEN, COMMERCIAL	60	3
TRASH	S-1	159 SF	STORAGE	300	1
STORAGE	S-2	253 SF	STORAGE	300	1
		3880 SF			88

LEVEL 02					
3D PRINTING	B	87 SF	BUSINESS	150	1
ART STUDIO	B	2318 SF	BUSINESS	75	31
CIRCULATION	B	678 SF	BUSINESS	150	5
OFFICE	B	127 SF	BUSINESS	150	1
OFFICE	B	86 SF	BUSINESS	150	1
OFFICE	B	92 SF	BUSINESS	150	1
OFFICE	B	92 SF	BUSINESS	150	1
PRINT DRYING	B	87 SF	BUSINESS	150	1
PRINTING	B	167 SF	BUSINESS	150	2
RESTROOMS	B	151 SF	BUSINESS	150	2
WET ROOM	B	89 SF	BUSINESS	150	1
STORAGE	S-2	184 SF	STORAGE	300	1
		4158 SF			48

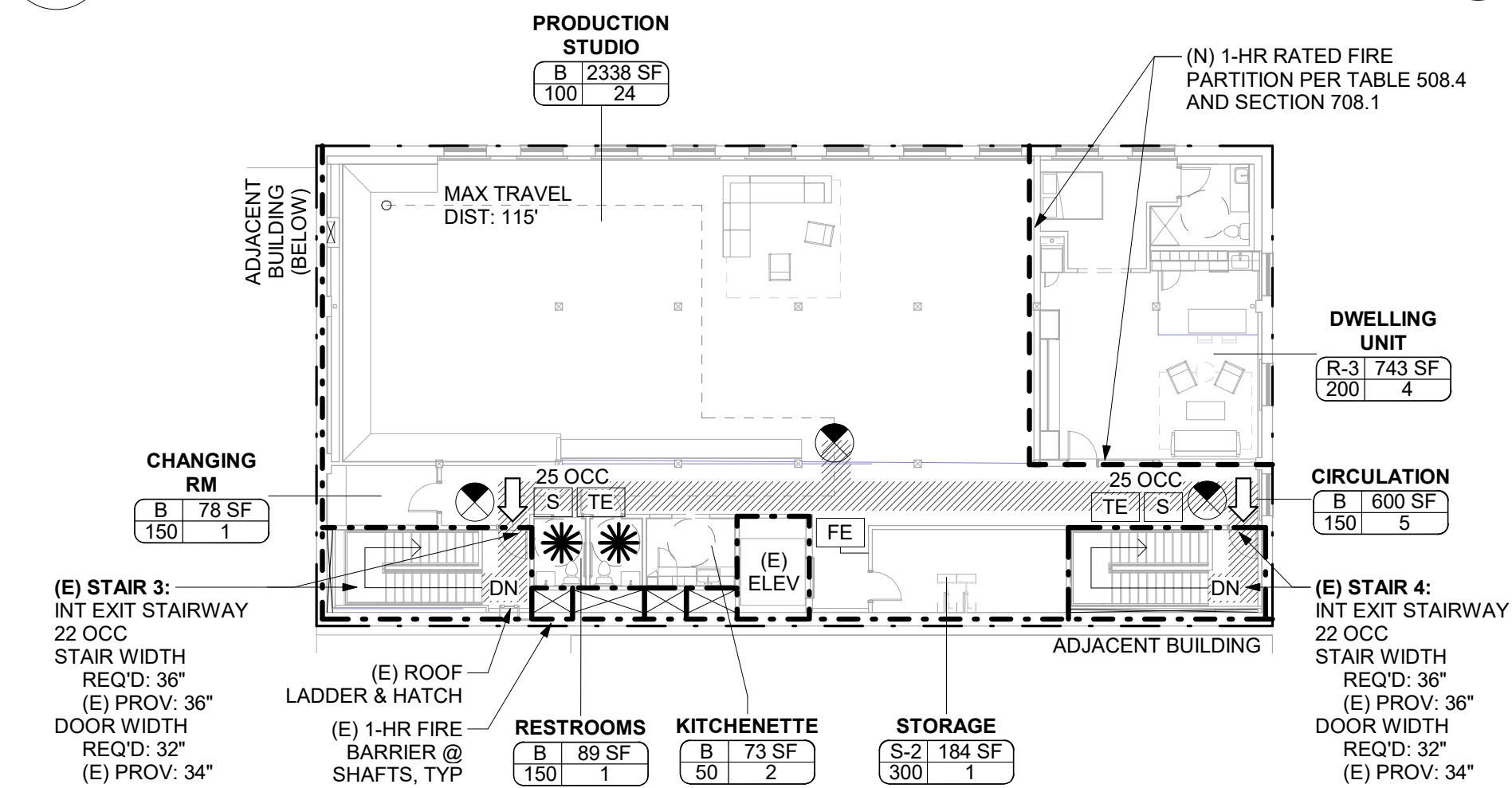
LEVEL 03					
CIRCULATION	B	600 SF	BUSINESS	150	5
KITCHENETTE	B	73 SF	BUSINESS	50	2
PRODUCTION STUDIO	B	2338 SF	BUSINESS	100	24
RESTROOMS	B	89 SF	BUSINESS	150	1
CHANGING RM	B	78 SF	STORAGE	150	1
DWELLING UNIT	R-3	743 SF	RESIDENTIAL	200	4
STORAGE	S-2	184 SF	STORAGE	300	1
		4105 SF			38
		16333 SF			306



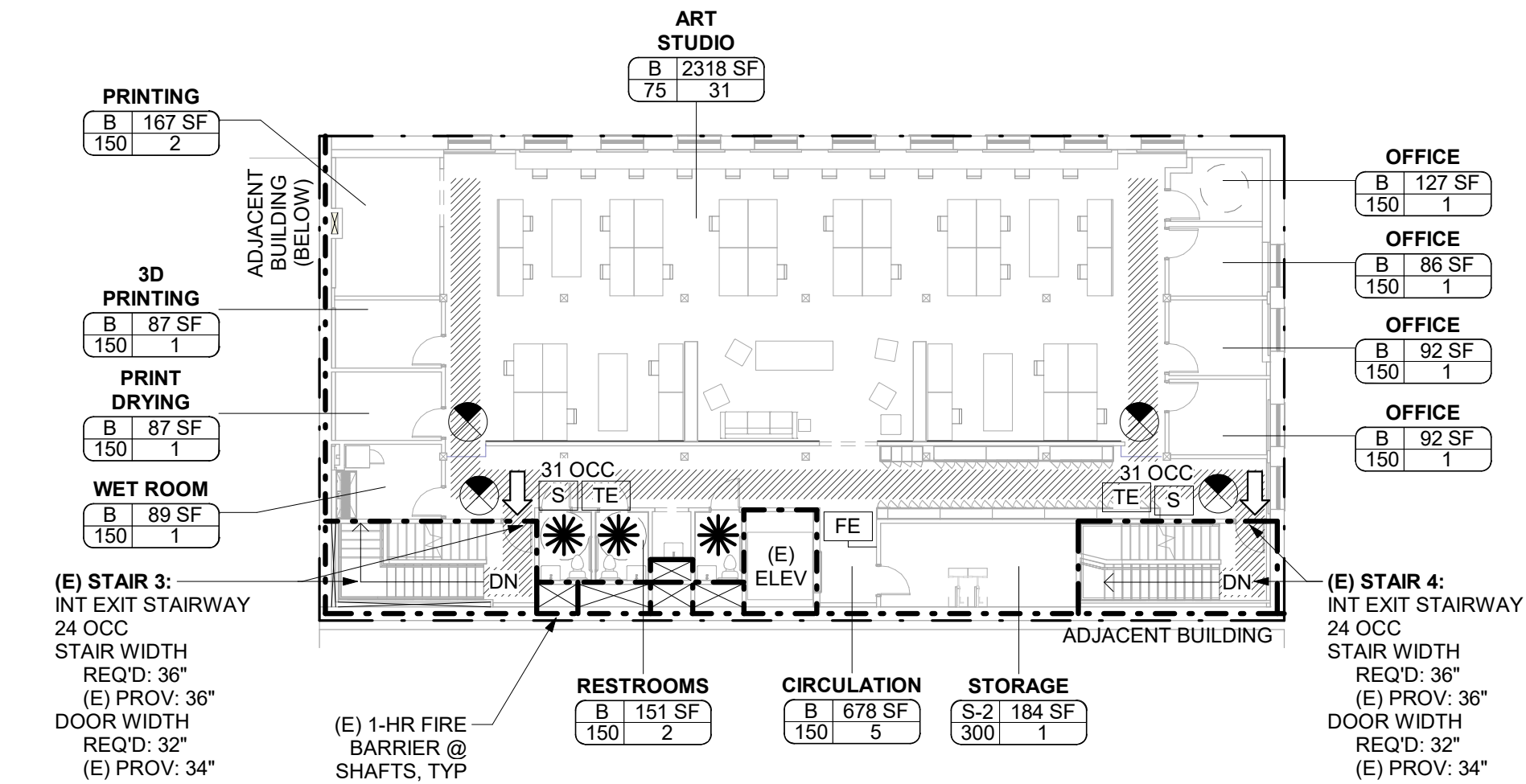
6 CODE SECTION - EAST / WEST  
G1.01 1/16" = 1'-0"



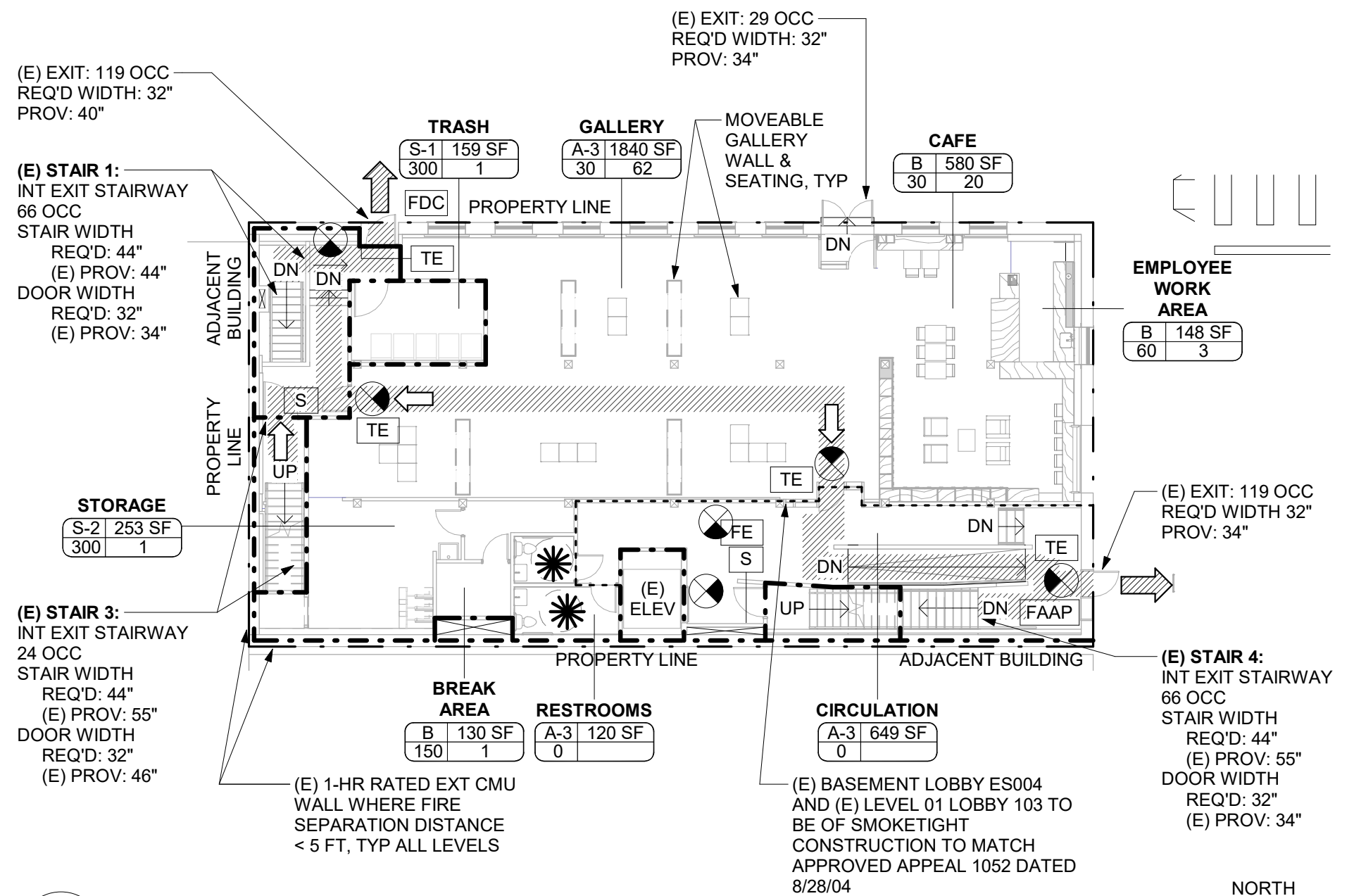
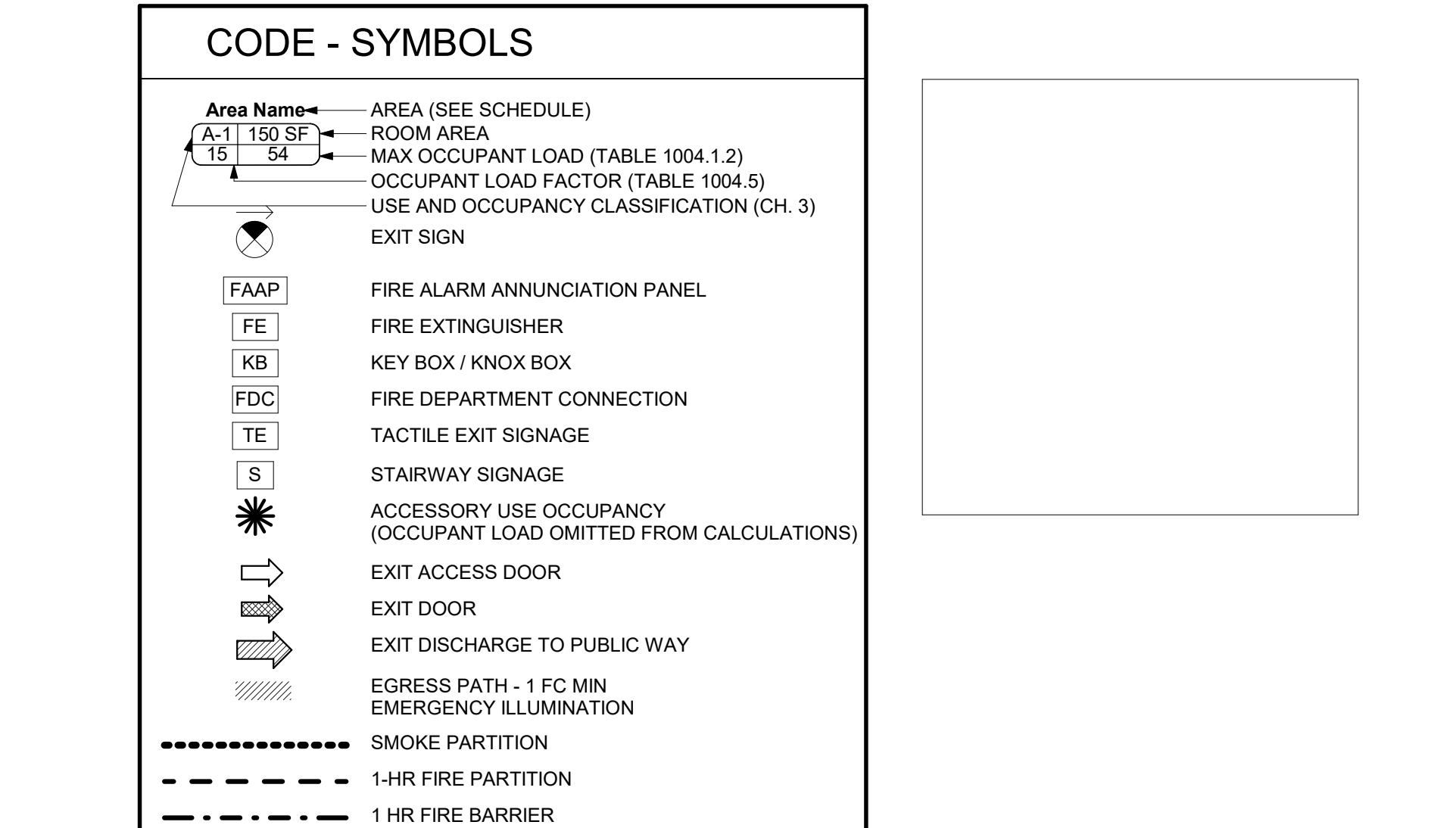
5 ROOF LEVEL CODE SUMMARY PLAN  
G1.01 1/16" = 1'-0"



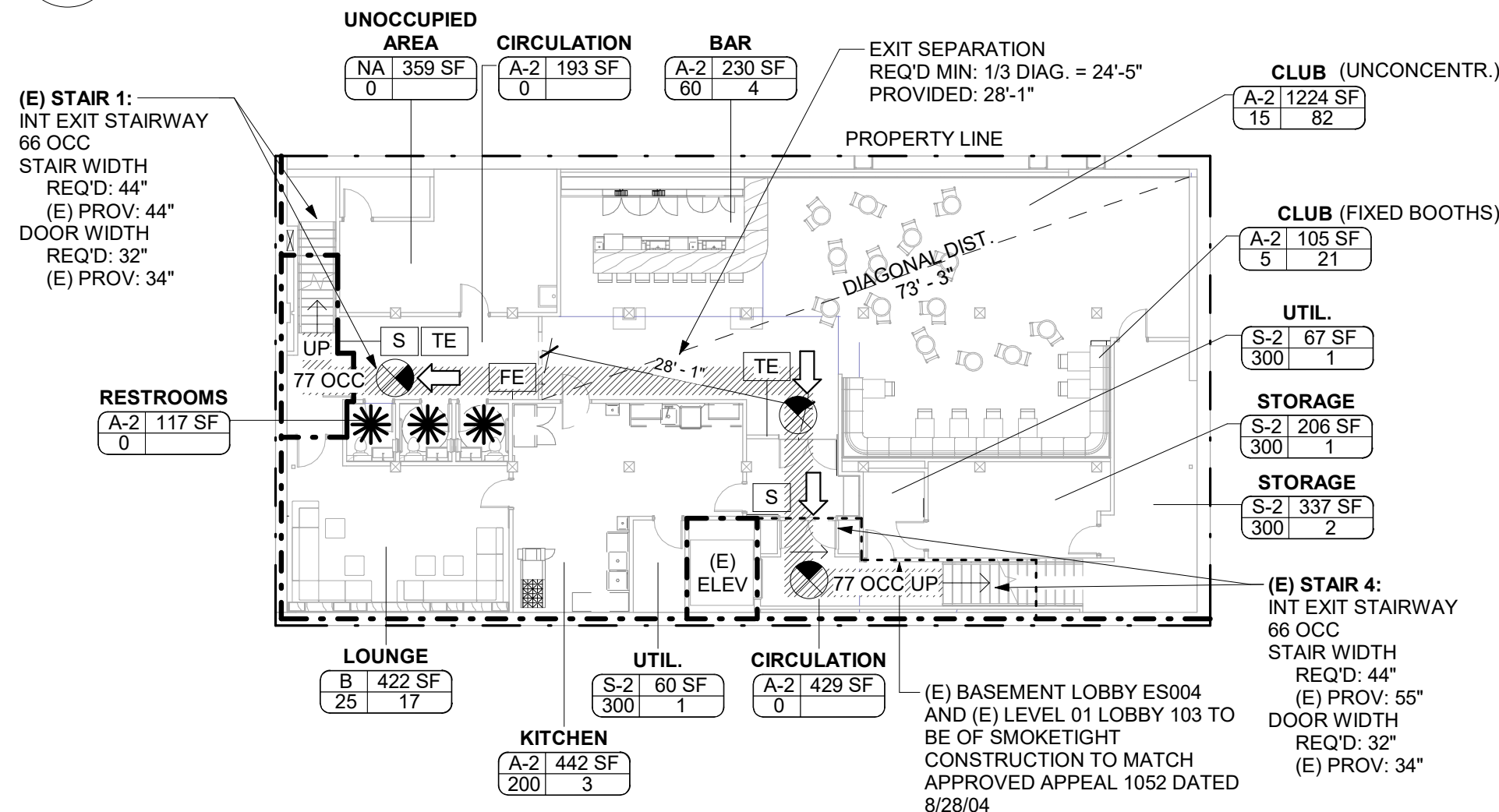
4 LVL 03 CODE SUMMARY PLAN  
G1.01 1/16" = 1'-0"



3 LVL 02 CODE SUMMARY PLAN  
G1.01 1/16" = 1'-0"



2 LVL 01 CODE SUMMARY PLAN  
G1.01 1/16" = 1'-0"



1 BASEMENT CODE SUMMARY PLAN  
G1.01 1/16" = 1'-0"



KEY NOTES - BASEMENT

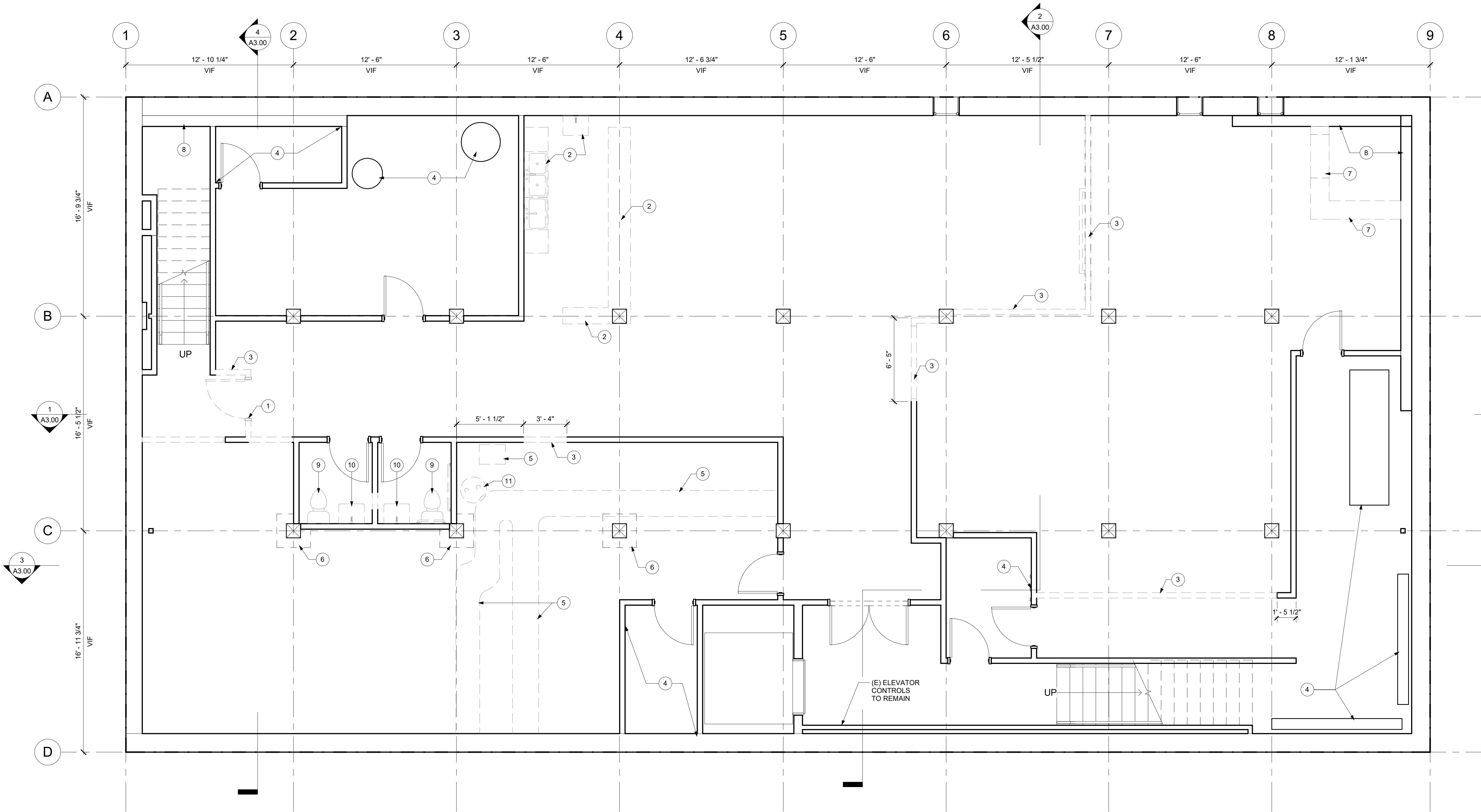
- REMOVE (E) DOOR, FRAME, AND HARDWARE; REMOVE SIDELIGHT IF PRESENT.
- REMOVE (E) COUNTERTOP, SINK AND ANY ADDITIONAL PLUMBING CONNECTIONS.
- REMOVE (E) WALL, ALONG WITH ANY ADDITIONAL DOOR, LIGHTS, JAMB, PLUMBING, OR ELECTRICAL COMPONENTS EMBEDDED OR ATTACHED TO WALL.
- (E) UTILITY EQUIPMENT TO REMAIN, PROTECT DURING DEMOLITION AND CONSTRUCTION.
- (E) OVERHEAD DUCTWOR TO BE RECONFIGURED AND RE-ROUTED TO MAXIMIZE HEAD-HEIGHT IN THIS AREA.
- (E) STEEL FOOTING TO REMAIN, PROTECT DURING DEMOLITION AND CONSTRUCTION.
- REMOVE (E) CAST IN PLACE CONCRETE WALL.
- (E) SHEAR WALL TO REMAIN, PROTECT DURING DEMOLITON AND CONSTRUCTION.
- (E) PLUMBING FIXTURE TO REMAIN, CLEAN AND SERVICE AS NEEDED.
- REMOVE (E) PLUMBING FIXTURE TO PLUMBING ROUGH-INS, TO BE REPLACED WITH (N) FIXTURE.
- REMOVE (E) SEWAGE PUMP; FILL, PATCH & REPAIR FLOOR. RELOCATE REQUIRED CAPACITY TO (E) SEWAGE PUMP IN STORAGE ROOM IN THE NORTHWEST CORNER OF THE BASEMENT.

GENERAL NOTES

- (E) RATED WALLS THAT ARE OPENED AS PART OF NEW SCOPE OF WORK ARE TO MAINTAIN THEIR REQUIRED RATING AS NEEDED.
- IN AREAS OF DEMOLITION, REMOVE (E) INTERIOR FRAMED PARTITION WALLS, DOORS, FRAMES, ASSOCIATED HARDWARE AND ANY ELECTRICAL CONNECTIONS.
- TRENCH (E) CONCRETE FLOOR WHERE REQUIRED FOR (N) PLUMBING).
- DURING DEMOLITION AND CONSTRUCTION, PROTECT (E) SPRINKLER SYSTEMS, DUCT RUNS, DIFFUSERS, AND LIGHTING.
- CONCRETE SLAB TO BE REPAIRED IN AREAS WHERE DAMAGE EXIST.
- DEMOLITION DRAWINGS COMMUNICATE DESIGN INTENT AND DOES NOT INCLUDE MINOR DETAILS WHICH ARE NOT USUALLY SHOWN OR SPECIFIED. CONTRACTOR SHALL PERFORM ALL DEMOLITION REQUIRED TO COMPLETE NEW WORK.
- REMOVE ALL (E) UNUSED PIPES, CONDUITS, DUCTWORK.
- (E) MATERIALS THAT ARE TO REMAIN SHALL BE CLEANED AND PREPARED FOR NEW FINISHES.
- GC TO VERIFY ALL EXISTING CONDITIONS.

LEGEND

- (E) WALLS TO REMAIN - PATCH AND REPAIR AS NEEDED
- (E) WALL OR ITEM TO BE DEMOLISHED



1 BASEMENT DEMOLITION PLAN  
1/4" = 1'-0"

NORTH

HOLST

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BASEMENT  
DEMOLITION  
PLAN

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LEVEL 01  
DEMOLITION  
PLAN

sheet:

D1.10

KEY NOTES - LVL 01

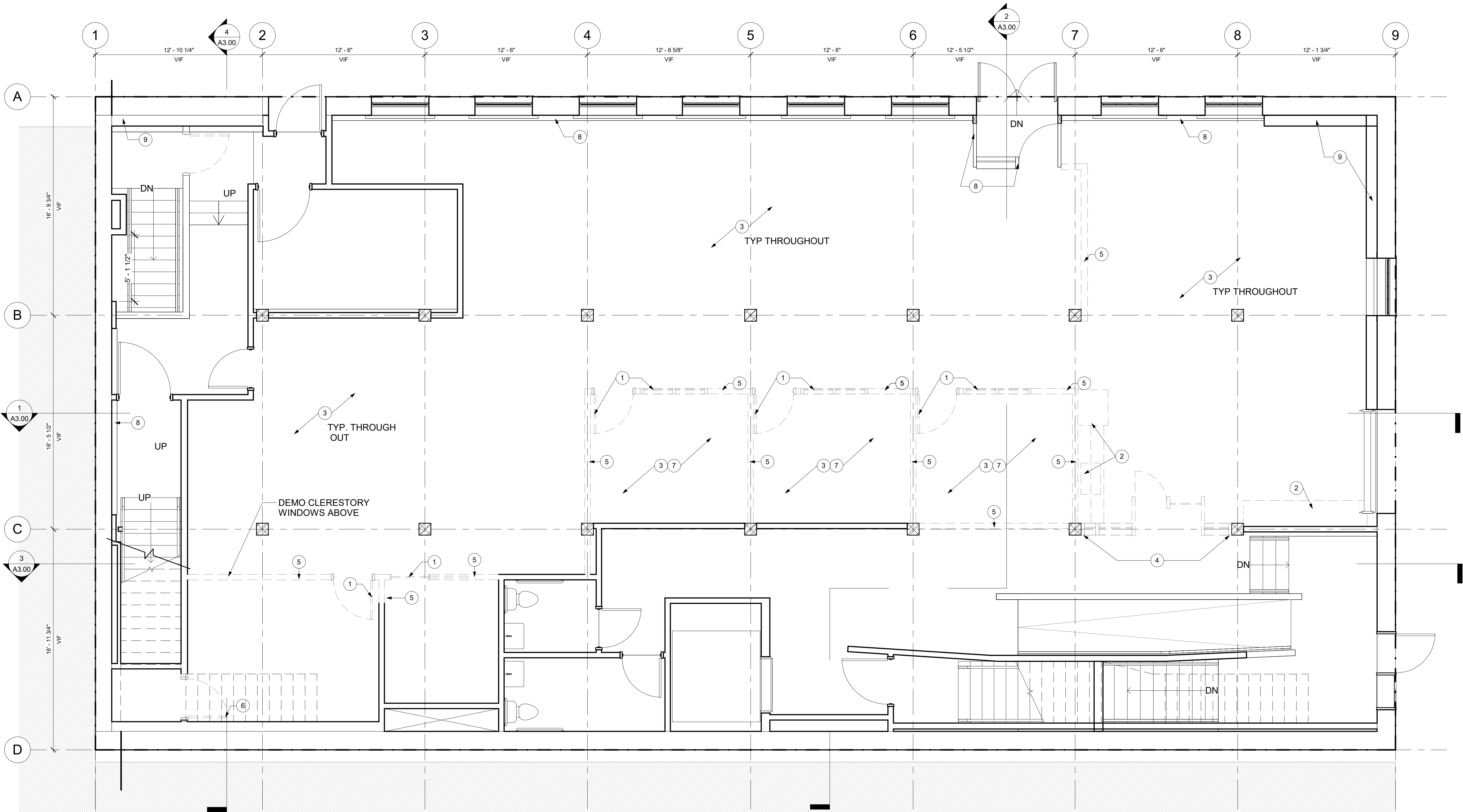
1. REMOVE (E) DOOR, FRAME, AND HARDWARE; REMOVE SIDELIGHT IF PRESENT
2. REMOVE (E) COUNTERTOP, SINK AND ANY ADDITIONAL PLUMBING CONNECTIONS.
3. REMOVE (E) VINYL FLOOR TILE, CARPET, WALL BASE, AND FLOOR COVERINGS THROUGHOUT; PATCH/REPAIR AFFECTED SURFACES, PREP TO RECIEVE NEW FINISHES.
4. DISASSEMBLE AND REMOVE (DO NOT DEMOLISH) CUSTOM BUILT WOOD STOREFRONT SYSTEM INCLUDING GLASS INFILL AND DOOR. TO BE RESUSED, SEE SHEET A1.00.
5. REMOVE (E) WALL, ALONG WITH ANY ADDITIONAL DOOR, LIGHTS, JAMB, PLUMBING, OR ELECTRICAL COMPONENTS EMBEDDED OR ATTACHED TO WALL.
6. DISASSEMBLE (DO NOT DEMOLISH) VAULT DOOR. TO BE RESUSED.
7. REMOVE (E) CEILING AND STUCTURE.
8. (E) STEEL BRACE TO REMAIN, PROTECT DURING DEMOLITION AND CONSTRUCTION.
9. (E) SHEAR WALL TO REMAIN, PROTECT DURING DEMOLITON AND CONSTRUCTION
10. (E) N CUSTOM WOOD DOOR

GENERAL NOTES

- (E) RATED WALLS THAT ARE OPENED AS PART OF NEW SCOPE OF WORK ARE TO MAINTAIN THEIR REQUIRED RATING AS NEEDED.
- IN AREAS OF DEMOLITION, REMOVE (E) INTERIOR FRAMED PARTITION WALLS, DOORS, FRAMES, ASSOCIATED HARDWARE AND ANY ELECTRICAL CONNECTIONS.
- TRENCH (E) CONCRETE FLOOR WHERE REQUIRED FOR (N) PLUMBING).
- DURING DEMOLITION AND CONSTRUCTION, PROTECT (E) SPRINKLER SYSTEMS, DUCT RUNS, DIFFUSERS, AND LIGHTING.
- CONCRETE SLAB TO BE REPAIRED IN AREAS WHERE DAMAGE EXIST.
- DEMOLITION DRAWINGS COMMUNICATE DESIGN INTENT AND DOES NOT INCLUDE MINOR DETAILS WHICH ARE NOT USUALLY SHOWN OR SPECIFIED. CONTRACTOR SHALL PERFORM ALL DEMOLITION REQUIRED TO COMPLETE NEW WORK.
- REMOVE ALL (E) UNUSED PIPES, CONDUITS, DUCTWORK.
- (E) MATERIALS THAT ARE TO REMAIN SHALL BE CLEANED AND PREPARED FOR NEW FINISHES.
- GC TO VERIFY ALL EXISTING CONDITIONS.

LEGEND

- (E) WALLS TO REMAIN - PATCH AND REPAIR AS NEEDED
- (E) WALL OR ITEM TO BE DEMOLISHED



1 LEVEL 01 DEMOLITION PLAN  
D1.10 1/4" = 1'-0"

NORTH



KEY NOTES - LVL 02

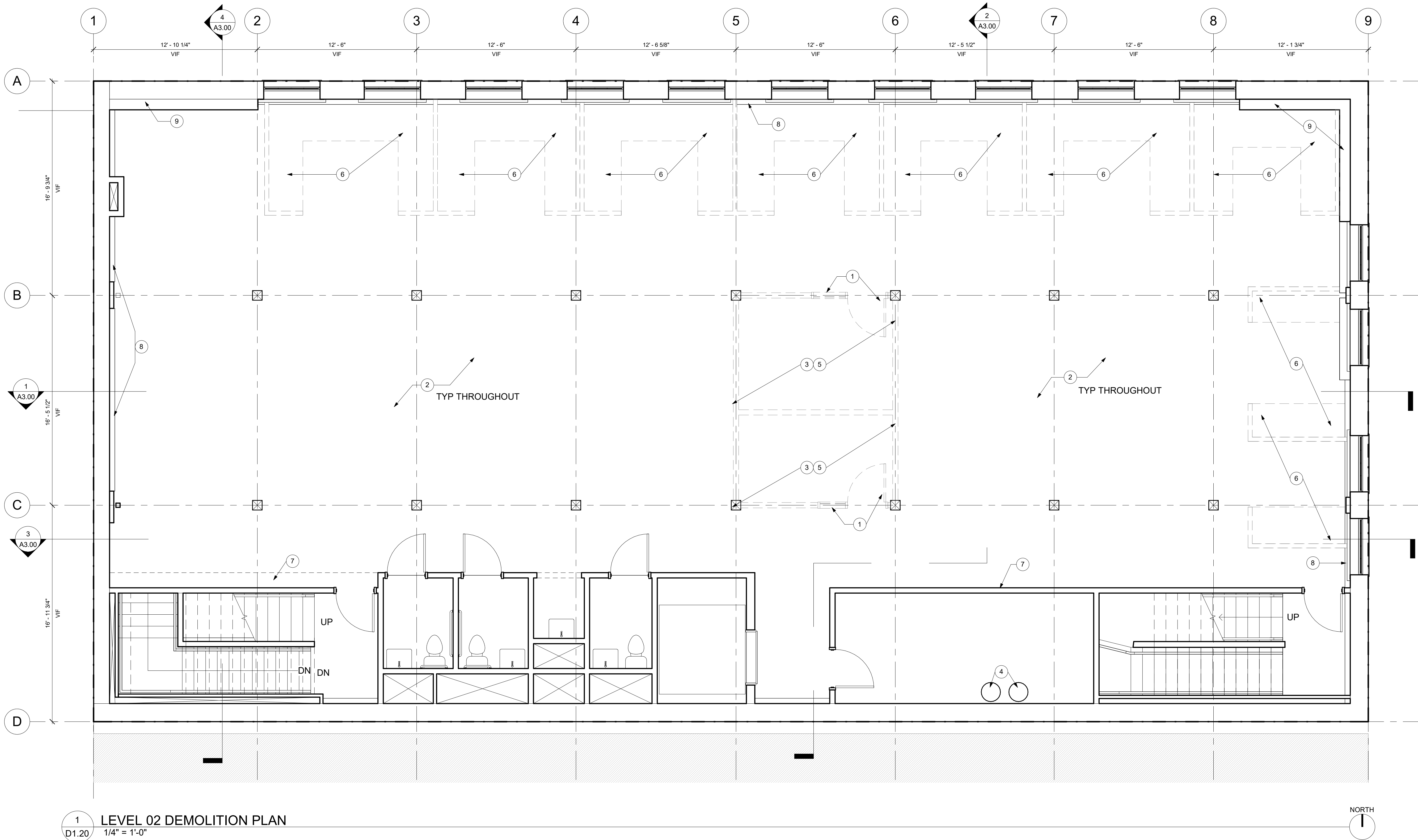
- 1. REMOVE (E) DOOR, FRAME, AND HARDWARE; REMOVE SIDELIGHT IF PRESENT
- 2. REMOVE (E) VINYL FLOOR TILE, CARPET, WALL BASE, AND FLOOR COVERINGS THROUGHOUT. PATCH/REPAIR AFFECTED SURFACES AD PREP TO RECIEVE NEW FINISHES.
- 3. REMOVE (E) WALL, ALONG WITH ANY ADDITIONAL DOOR, LIGHTS, JAMB, PLUMBING, OR ELECTRICAL COMPONENTS EMBEDDED OR ATTACHED TO WALL.
- 4. (E) UTILITY EQUIPMENT TO REMAIN, PROTECT DURING DEMOLITION AND CONSTRUCTION.
- 5. REMOVE (E) CEILING AND STUCTURE.
- 6. REMOVE (E) WORKSTATIONS INLCUDING COUNTER AND HALF-HEIGHT WALL.
- 7. (E) GWB SOFFIT TO REMAIN, PROTECT DURING DEMOLITION AND CONSTRUCTION.
- 8. (E) STEEL BRACE FRAME TO REMAIN, PROTECT DURING DEMOLITON AND CONSTRUCTION.)
- 9. (E) SHEAR WALL TO REMAIN, PROTECT DURING DEMOLITON AND CONSTRUCTION

GENERAL NOTES

- A. (E) RATED WALLS THAT ARE OPENED AS PART OF NEW SCOPE OF WORK ARE TO MAINTAIN THEIR REQUIRED RATING AS NEEDED.
- B. IN AREAS OF DEMOLITION, REMOVE (E) INTERIOR FRAMED PARTITION WALLS, DOORS, FRAMES, ASSOCIATED HARDWARE AND ANY ELECTRICAL CONNECTIONS.
- C. TRENCH (E) CONCRETE FLOOR WHERE REQUIRED FOR (N) PLUMBING).
- D. DURING DEMOLITION AND CONSTRUCTION, PROTECT (E) SPRINKLER SYSTEMS, DUCT RUNS, DIFFUSERS, AND LIGHTING.
- E. CONCRETE SLAB TO BE REPAIRED IN AREAS WHERE DAMAGE EXIST.
- F. DEMOLITION DRAWINGS COMMUNICATE DESIGN INTENT AND DOES NOT INCLUDE MINOR DETAILS WHICH ARE NOT USUALLY SHOWN OR SPECIFIED. CONTRACTOR SHALL PERFORM ALL DEMOLITION REQUIRED TO COMPLETE NEW WORK.
- G. REMOVE ALL (E) UNUSED PIPES, CONDUITS, DUCTWORK.
- H. (E) MATERIALS THAT ARE TO REMAIN SHALL BE CLEANED AND PREPARED FOR NEW FINISHES.
- I. GC TO VERIFY ALL EXISTING CONDITIONS.

LEGEND

- (E) WALLS TO REMAIN - PATCH AND REPAIR AS NEEDED
- (E) WALL OR ITEM TO BE DEMOLISHED



1 LEVEL 02 DEMOLITION PLAN  
D1.20 1/4" = 1'-0"

HOLST

123 NE 3RD AVE.  
SUITE 310  
PORTLAND, OR  
97232

HOLSTARC.COM

CREATIVE  
HOMIES

406 NW GLISAN ST  
PORTLAND, OR 97209

JOB NO. 22-003



PERMIT SET

10.28.2022

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LEVEL 02  
DEMOLITION  
PLAN

sheet:

D1.20

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LEVEL 03  
DEMOLITION  
PLAN

sheet:

D1.30

KEY NOTES - LVL 03

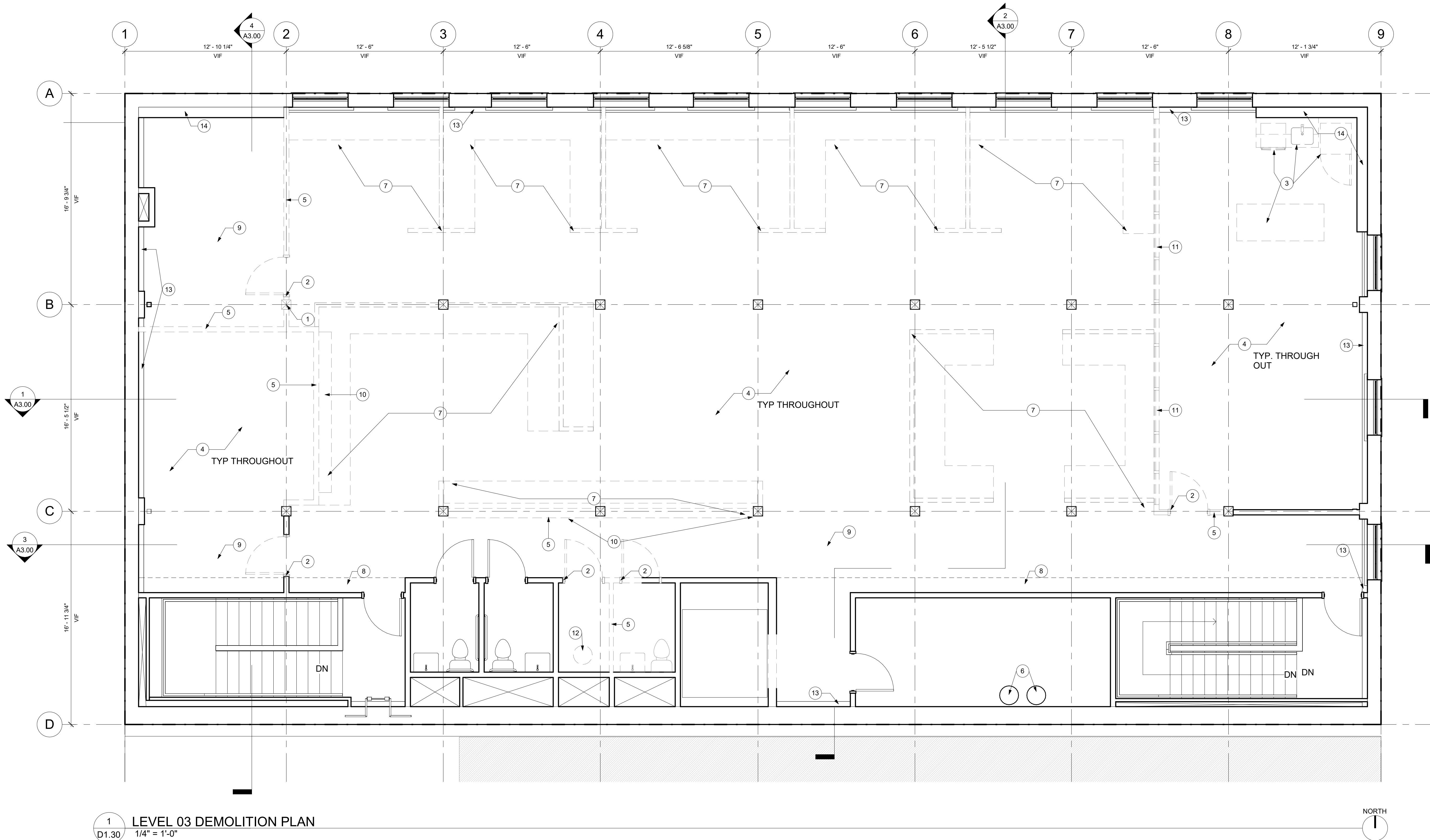
- (E) WOOD COLUMN TO BE REMOVED, REFER TO STRUCTURAL DRAWINGS AND NARRATIVE
- REMOVE (E) DOOR, FRAME, AND HARDWARE; REMOVE SIDELIGHT IF PRESENT
- REMOVE (E) COUNTERTOP, SINK AND ANY ADDITIONAL PLUMBING CONNECTIONS.
- REMOVE (E) VINYL FLOOR TILE, CARPET, WALL BASE, AND FLOOR COVERINGS THROUGHOUT. PATCH/REPAIR AFFECTED SURFACES,PREP TO RECIEVE NEW FINISHES.
- REMOVE (E) WALL, ALONG WITH ANY ADDITIONAL DOOR, LIGHTS, JAMB, PLUMBING, OR ELECTRICAL COMPONENTS EMBEDDED OR ATTACHED TO WALL.
- (E) UTILITY EQUIPMENT TO REMAIN, PROTECT DURING DEMOLITION AND CONSTRUCTION.
- REMOVE (E) WORKSTATIONS INCLUDING COUNTER AND HALF-HEIGHT WALL.
- REMOVE (E) GWB SOFFIT TO REMAIN, PROTECT DURING DEMOLITION AND CONSTRUCTION.
- (E) SKYLIGHT TO REMAIN, PROTECT DURING DEMOLITION AND CONSTRUCTION.
- REMOVE (E) SHELVING AND ANY ADDITIONAL CONNECTIONS.
- REMOVE (E) STOREFRONT AND ANY ADDITIONAL MULLION AND PANE CONNECTIONS.
- REMOVE (E) WATER TANK AND ANY ADDITIONAL CONNECTIONS.
- (E) STEEL BRACE FRAME TO REMAIN, PROTECT DURING DEMOLITION AND CONSTRUCTION.
- (E) SHEAR WALL TO REMAIN, PROTECT DURING DEMOLITON AND CONSTRUCTION.

GENERAL NOTES

- (E) RATED WALLS THAT ARE OPENED AS PART OF NEW SCOPE OF WORK ARE TO MAINTAIN THEIR REQUIRED RATING AS NEEDED.
- IN AREAS OF DEMOLITION, REMOVE (E) INTERIOR FRAMED PARTITION WALLS, DOORS, FRAMES, ASSOCIATED HARDWARE AND ANY ELECTRICAL CONNECTIONS.
- TRENCH (E) CONCRETE FLOOR WHERE REQUIRED FOR (N) PLUMBINGS).
- DURING DEMOLITION AND CONSTRUCTION, PROTECT (E) SPRINKLER SYSTEMS, DUCT RUNS, DIFFUSERS, AND LIGHTING.
- CONCRETE SLAB TO BE REPAIRED IN AREAS WHERE DAMAGE EXIST.
- DEMOLITION DRAWINGS COMMUNICATE DESIGN INTENT AND DOES NOT INCLUDE MINOR DETAILS WHICH ARE NOT USUALLY SHOWN OR SPECIFIED. CONTRACTOR SHALL PERFORM ALL DEMOLITION REQUIRED TO COMPLETE NEW WORK.
- REMOVE ALL (E) UNUSED PIPES, CONDUITS, DUCTWORK.
- (E) MATERIALS THAT ARE TO REMAIN SHALL BE CLEANED AND PREPARED FOR NEW FINISHES.
- GC TO VERIFY ALL EXISTING CONDITIONS.

LEGEND

- (E) WALLS TO REMAIN - PATCH AND REPAIR AS NEEDED
- (E) WALL OR ITEM TO BE DEMOLISHED



1 LEVEL 03 DEMOLITION PLAN  
D1.30 1/4" = 1'-0"





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ROOF  
DEMOLITION  
PLAN

sheet:

D1.40

KEY NOTES

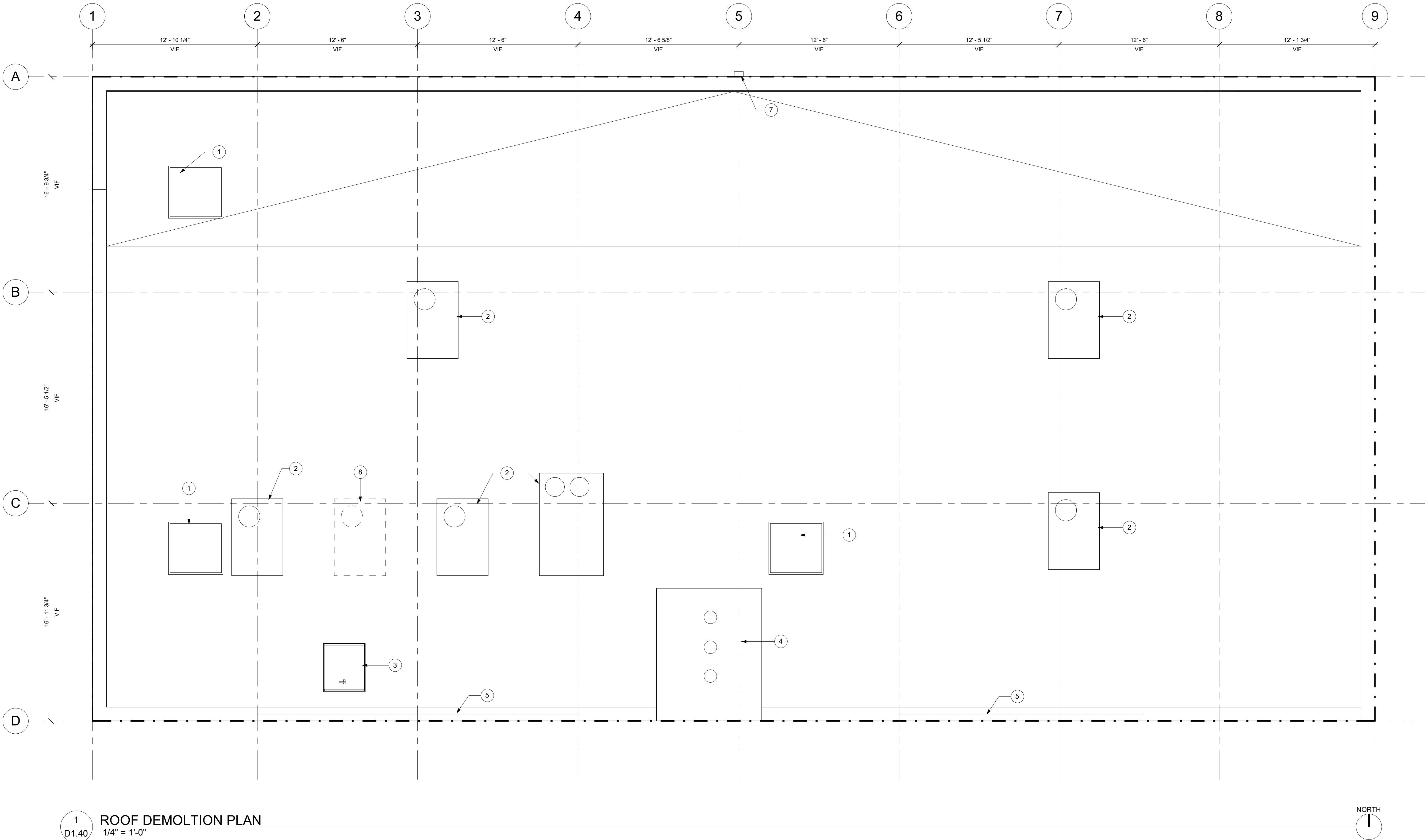
- (E) SKYLIGHT TO REMAIN, PROTECT DURING DEMOLITION AND CONSTRUCTION.
- (E) HVAC EQUIPMENT TO REMAIN, PROTECT DURING DEMOLITION AND CONSTRUCTION.
- (E) ROOFHATCH TO REMAIN, PROTECT DURING DEMOLITON AND CONSTRUCTION.
- (E) ELEVATOR OVERRUN TO REMAIN, PROTECT DURING CONSTRUCTION.
- (E) GUARDRAIL TO REMAIN, PROTECT DURING DEMOLITION AND CONSTRUCTION.
- (E) ROOF ASSEMBLY TO REMAIN, PROTECT DURING DEMOLITION AND CONSTRUCTION.
- (E) SCUPPER AND DOWNSPOUT TO REMAIN.
- REMOVE (E) HVAC EQUIPMENT, PATCH AND REPAIR ROOF.

GENERAL NOTES

- (E) RATED WALLS THAT ARE OPENED AS PART OF NEW SCOPE OF WORK ARE TO MAINTAIN THEIR REQUIRED RATING AS NEEDED.
- IN AREAS OF DEMOLITION, REMOVE (E) INTERIOR FRAMED PARTITION WALLS, DOORS, FRAMES, ASSOCIATED HARDWARE AND ANY ELECTRICAL CONNECTIONS.
- TRENCH (E) CONCRETE FLOOR WHERE REQUIRED FOR (N) PLUMBING).
- DURING DEMOLITION AND CONSTRUCTION, PROTECT (E) SPRINKLER SYSTEMS, DUCT RUNS, DIFFUSERS, AND LIGHTING.
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- GC TO VERIFY ALL EXISTING CONDITIONS.

LEGEND

- (E) WALLS TO REMAIN - PATCH AND REPAIR AS NEEDED
- (E) WALL OR ITEM TO BE DEMOLISHED



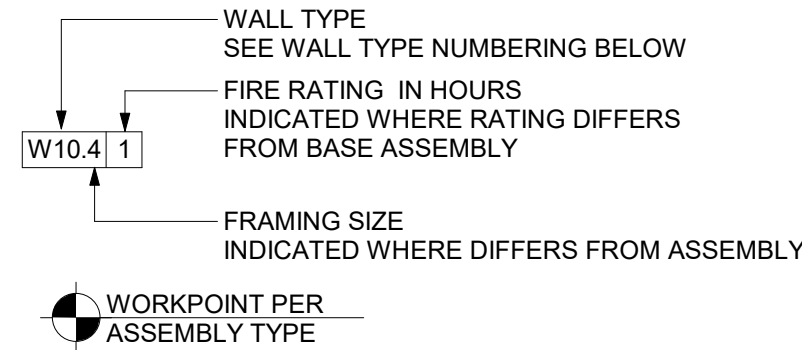
1 ROOF DEMOLITION PLAN  
D1.40 1/4" = 1'-0"



VERTICAL ASSEMBLY NOTES

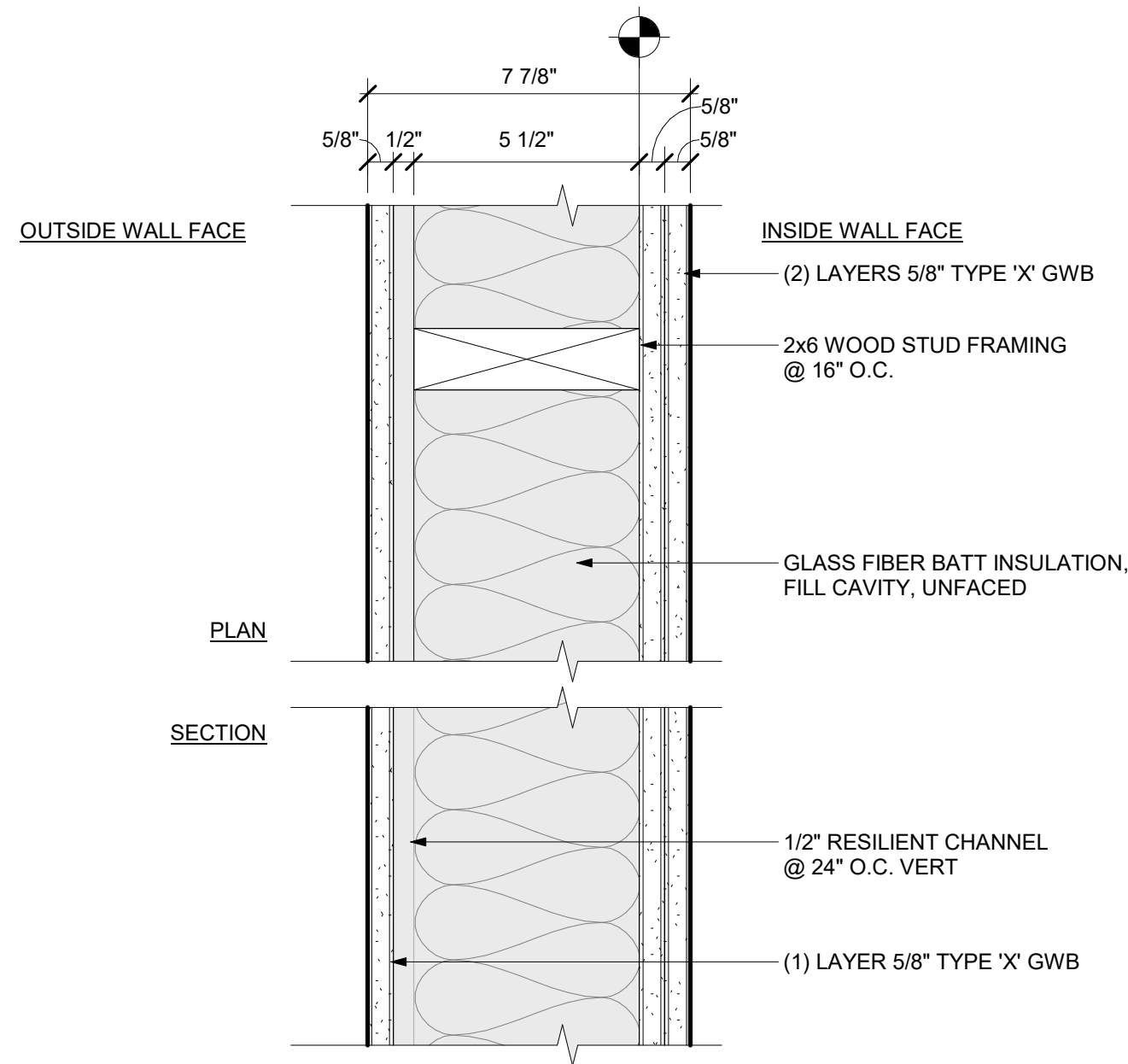
1. ALL ASSEMBLY DETAILS DRAWN AT 3" = 1'-0".
2. SEE A0.00 FOR TYPICAL INTERIOR ASSEMBLY TRANSITION DETAILS.
3. SEE FLOOR PLAN DRAWINGS FOR WALL TYPE LOCATIONS.
4. SEE REFLECTED CEILING PLANS FOR HORIZONTAL ASSEMBLY LOCATIONS.
5. SEE FINISH SCHEDULE, INTERIOR ELEVATIONS, AND DETAILS FOR SPECIAL CONDITIONS AND APPLIED WALL FINISHES.
6. MAINTAIN FIRE RATING OF WALLS AROUND FIRE EXTINGUISHER CABINETS AND OTHER RECESSED ITEMS.
7. FRAME AROUND BEAMS AND OTHER STRUCTURAL ELEMENTS WHEN THEY OCCUR WITHIN THE SPACE OF A FIRE RATED OR ACOUSTICAL ASSEMBLY.
8. WHERE ASSEMBLY HAS AN STC REQUIREMENT, OR IS NOTED AS "ACOUSTICAL" PROVIDE ACOUSTICAL SEAL AT FLOOR / CEILING / WALL TRANSITIONS, RECESSED BOXES / EQUIPMENT, AND PENETRATIONS. WHERE ASSEMBLY IS ALSO FIRE RATED, PROVIDE ACOUSTICAL FIRE SEALANT.
9. PROVIDE MOISTURE RESISTANT GYPSUM BOARD TYPICAL AT ALL RESTROOMS, BATHROOMS, AND KITCHEN WALLS.
10. PROVIDE CEMENT BACKERBOARD AT LOCATIONS SPECIFIED TO RECEIVE WALL TILE. PROVIDE IN ADDITION TO GYPSUM WALL BOARD AT RATED WALLS AND IN LIEU OF GYPSUM BOARD AT NON-RATED WALLS.
11. ALL FRAMING AND FINISHES OF INTERIOR WALLS TO EXTEND TO THE UNDERSIDE OF STRUCTURE ABOVE U.N.O.
12. WHEN METAL FRAMING CONTINUES PAST INTERMEDIATE STRUCTURE, AS IN MULTI-LEVEL SHAFT ENCLOSURES AND SIMILAR CONDITIONS, ATTACHMENT TO INTERMEDIATE STRUCTURE SHALL BE WITH A SLOTTED CONNECTION OR OTHER MEANS SUCH THAT STRUCTURAL DEFLECTION WILL NOT TRANSFER LOADS TO METAL FRAMING.
13. WALL TAG POSITION AT ASYMMETRICAL ASSEMBLIES SHALL BE ON SIDE OF WORKPOINT IN ORDER TO INDICATE SPECIALTY LAYERS.
14. WHERE PRE-ROCK IS REQUIRED PER CONTRACTOR CONSTRUCTION SEQUENCING, WATERPROOF OR EXTERIOR GRADE GWB BOARD MEETING REQUIREMENTS OF ASSEMBLY SHALL BE USED.
15. MAINTAIN RATING OF ANY (E) FIRE-RATED ASSEMBLIES, INCLUDING AT PENETRATIONS, PATCH-BACKS, ETC.

ASSEMBLY TAGS



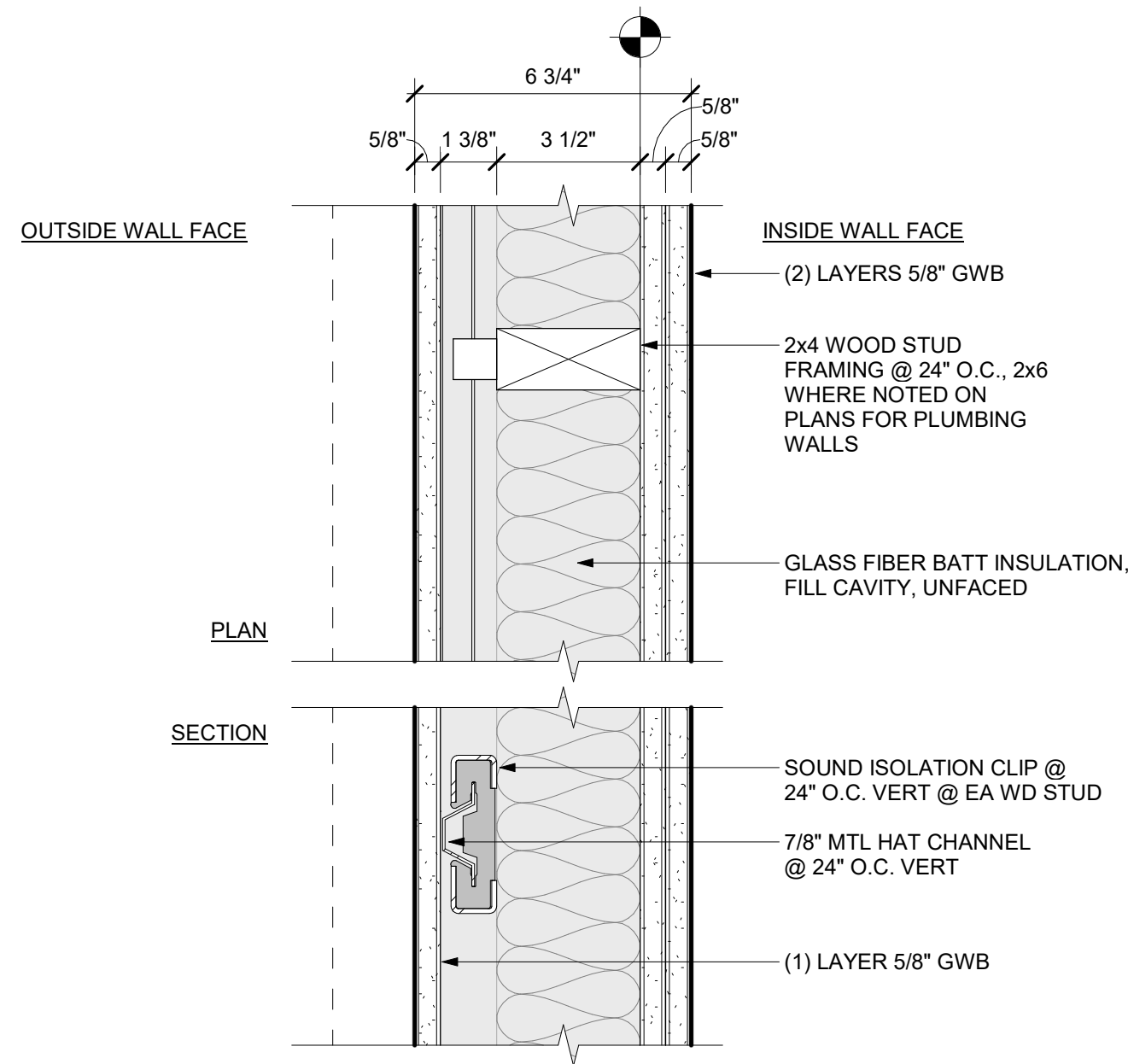
FRAMING SIZES

1	1-1/2 METAL FURRING
4	2x4 WOOD STUD FRAMING
6	2x6 WOOD STUD FRAMING



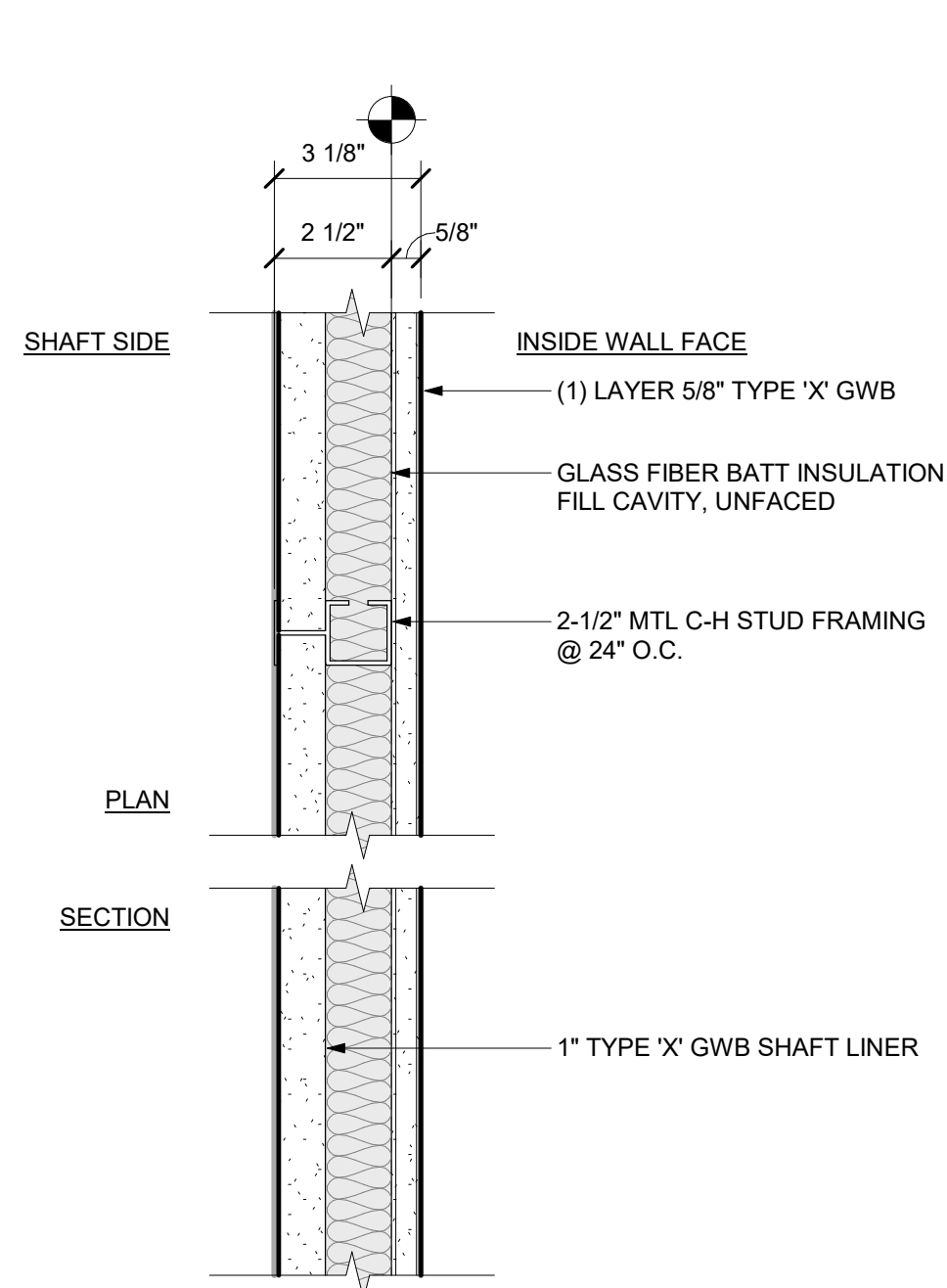
W15 INT WD FRAMING, 1-HR RATED ACOUSTIC PARTITION

FIRE RATING: 1 HR, UL U305  
STC RATING: 53 MIN  
INSULATION: N/A



W14 INT WD FRAMING, NON-RATED ACOUSTIC PARTITION

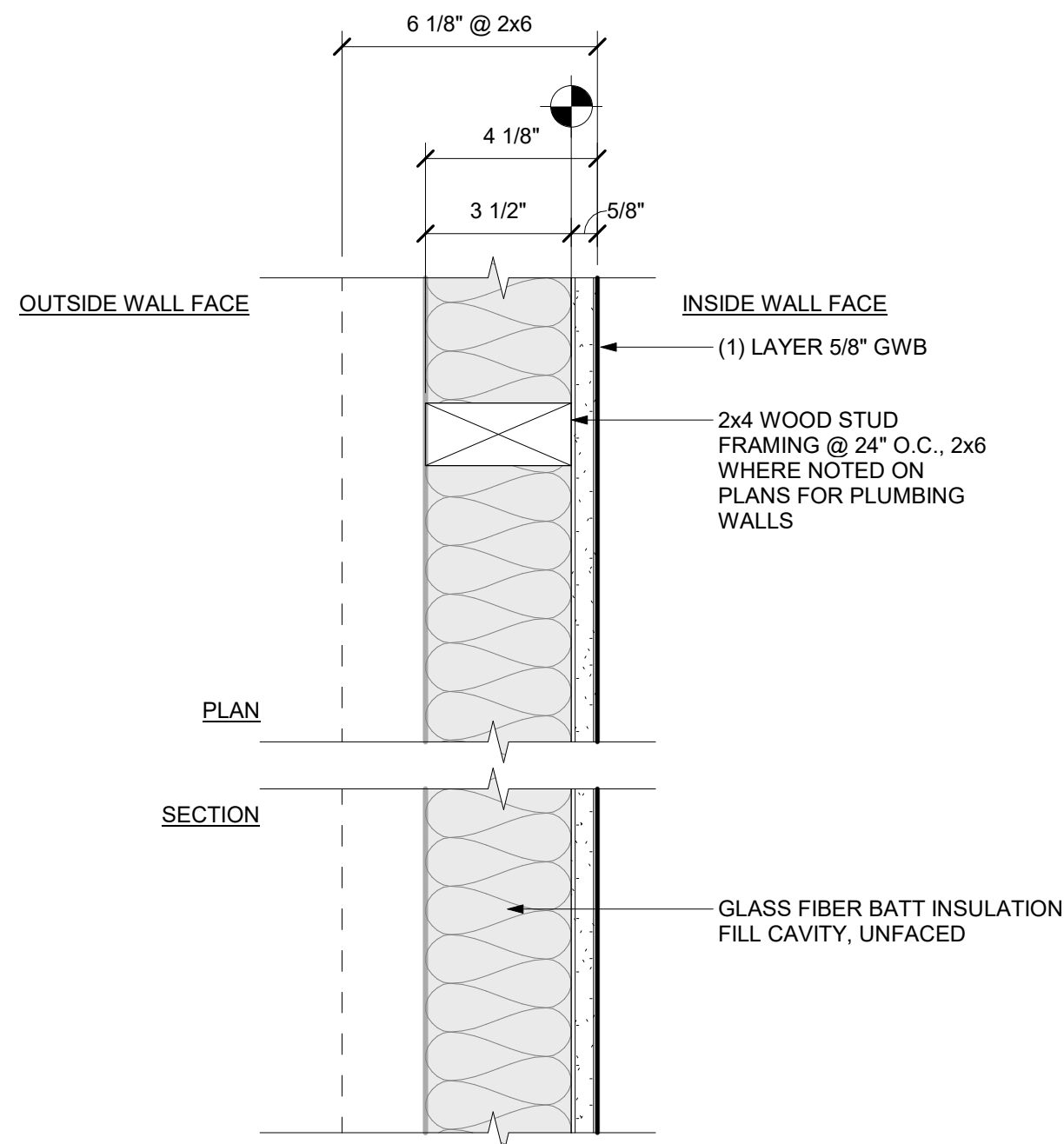
FIRE RATING: 0 HR  
STC RATING: 55 MIN  
INSULATION: N/A



W13 INT MTL SHAFT WALL, 1-HR FIRE RATED

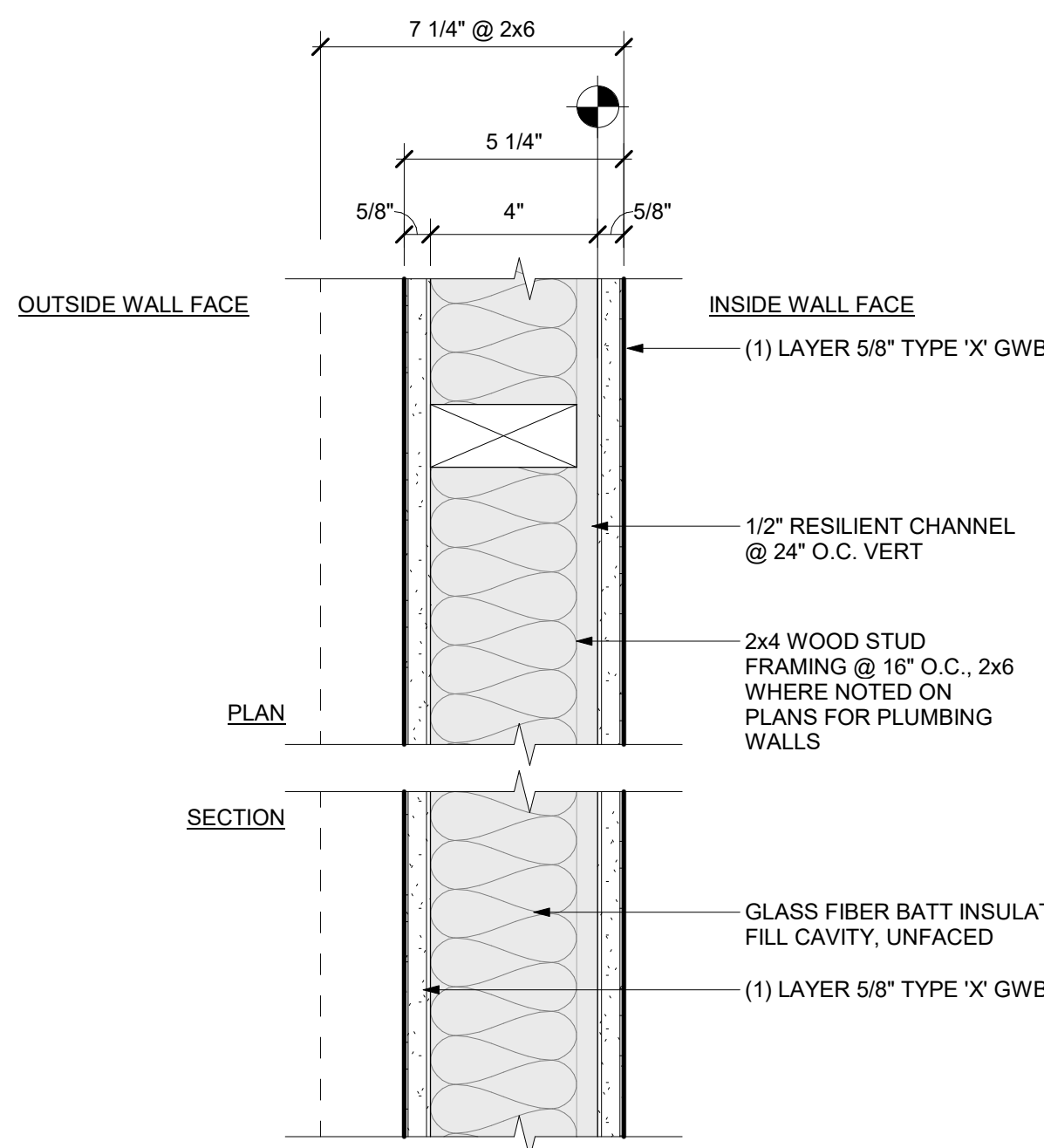
FIRE RATING: 1-HR, UL U469  
STC RATING: N/A  
INSULATION: N/A

\* AS APPLIES, WHERE  
PATCHING OF (E) SHAFT  
WALLS IS REQUIRED



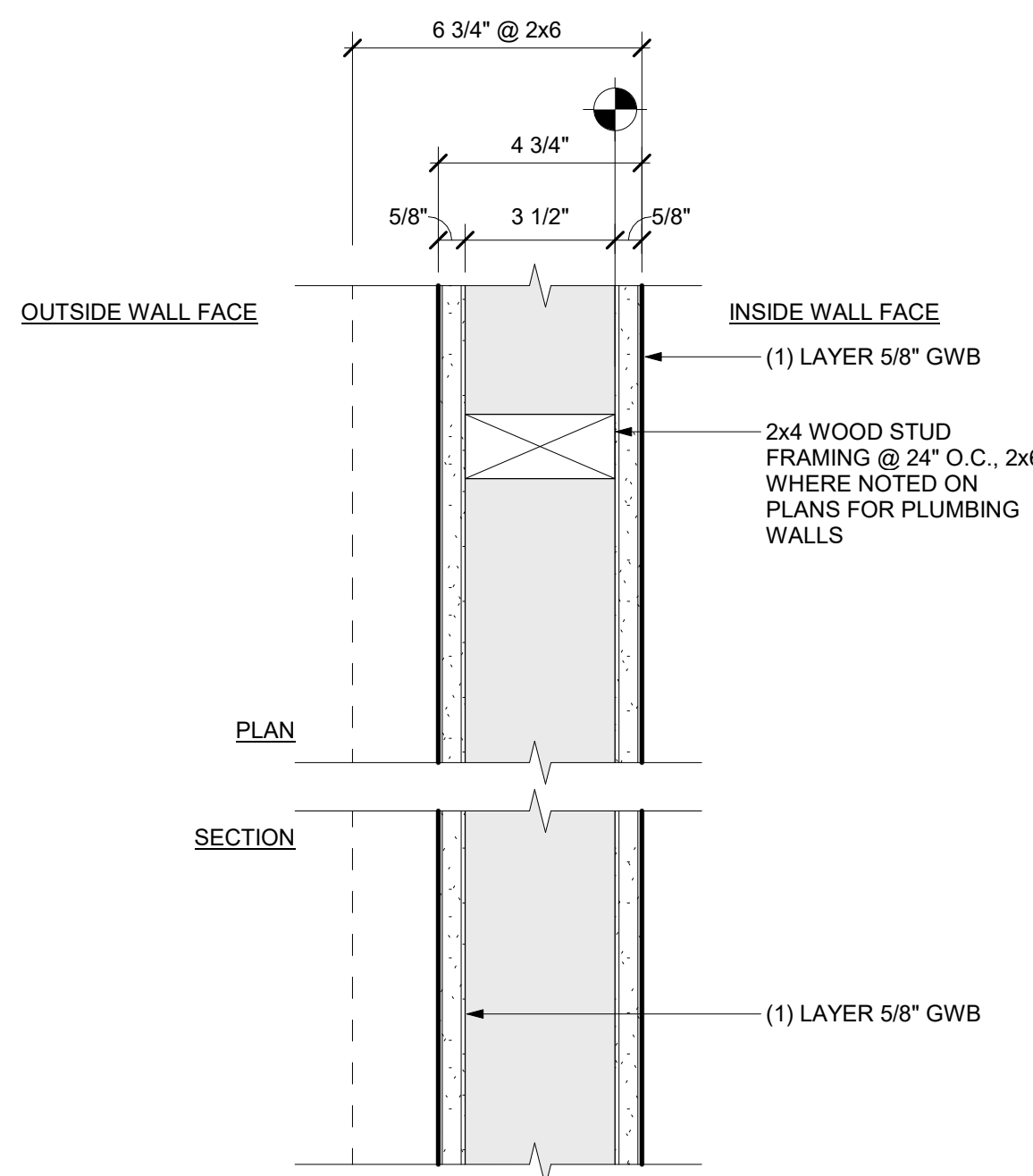
W12 INT WD FRAMING, NON-RATED FURRING PARTITION

FIRE RATING: 0 HR  
STC RATING: N/A  
INSULATION: N/A



W11 INT WD FRAMING, 1-HR FIRE RATED PARTITION

FIRE RATING: 1 HR, UL U305  
STC RATING: 48  
INSULATION: N/A



W10 INT WD FRAMING, NON-RATED PARTITION

FIRE RATING: 0 HR  
STC RATING: N/A  
INSULATION: N/A

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VERTICAL  
ASSEMBLIES

sheet:

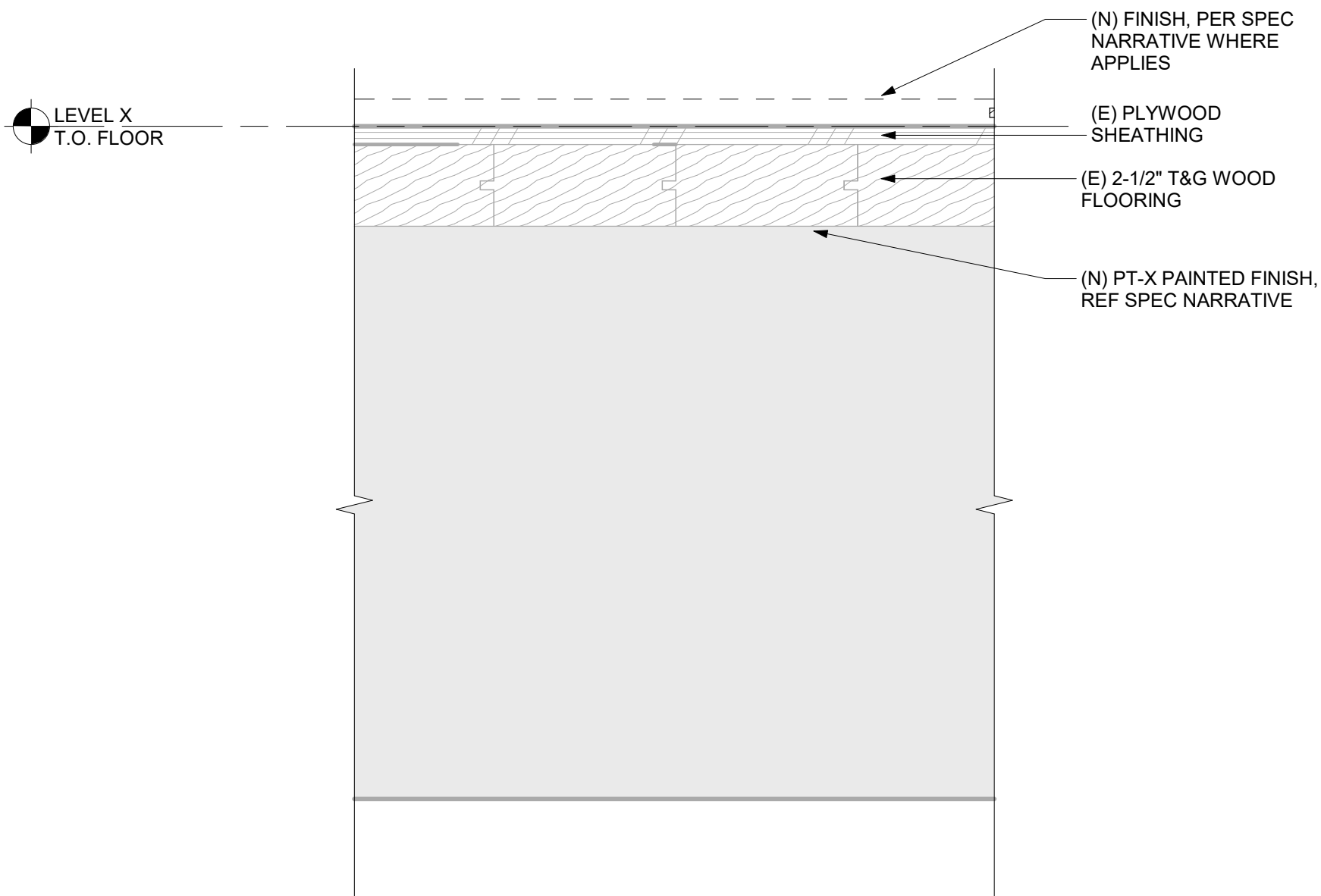
A0.10





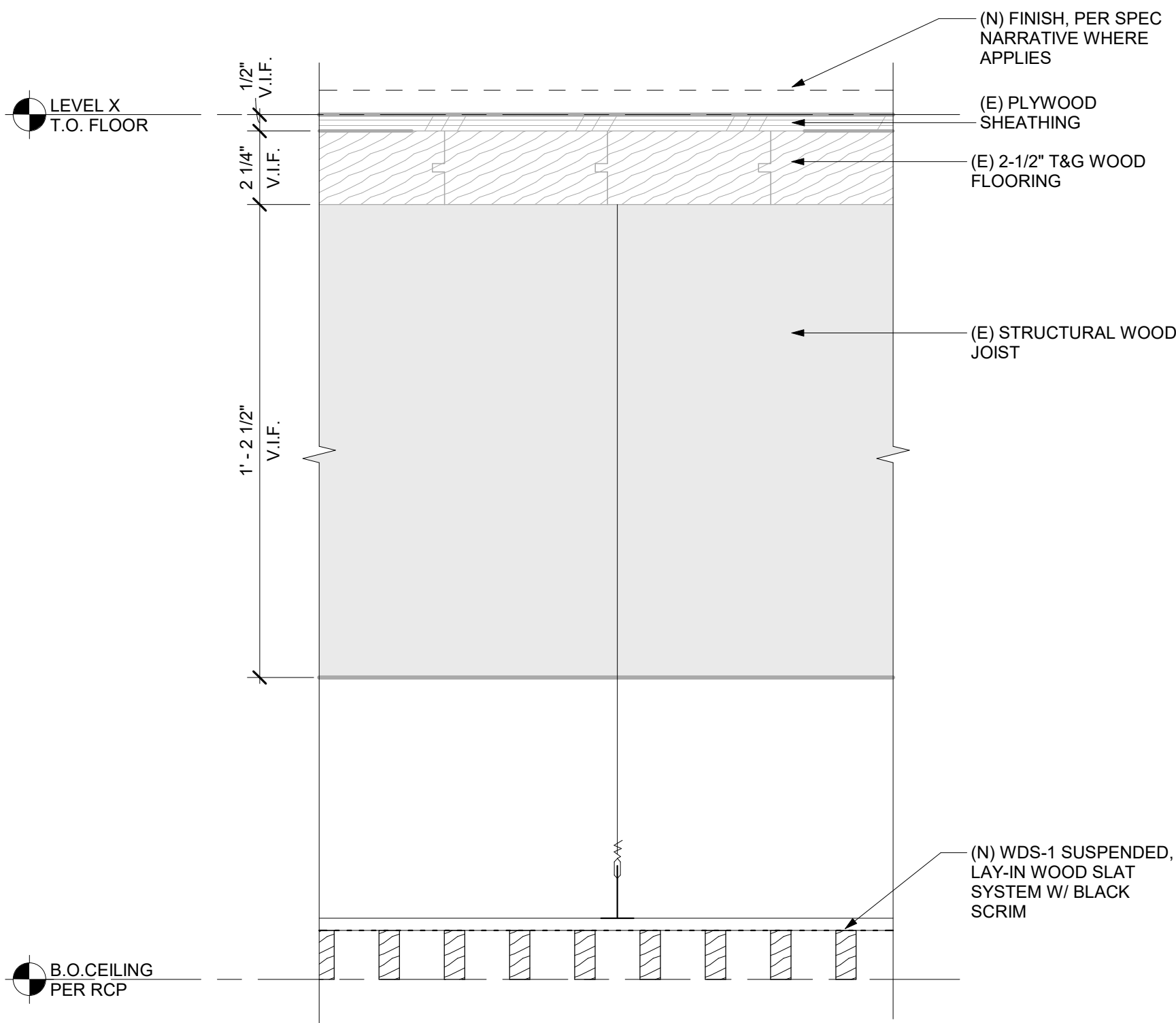
HORIZONTAL ASSEMBLY NOTES

1. ALL ASSEMBLY DETAILS DRAWN AT 3" = 1'-0".
2. SEE A9.00 FOR TYPICAL INTERIOR ASSEMBLY TRANSITION DETAILS.
3. SEE FLOOR PLAN DRAWINGS FOR WALL TYPE LOCATIONS.
4. SEE REFLECTED CEILING PLANS FOR HORIZONTAL ASSEMBLY LOCATIONS.
5. SEE FINISH SCHEDULE, INTERIOR ELEVATIONS, AND DETAILS FOR SPECIAL CONDITIONS AND APPLIED WALL FINISHES.
6. MAINTAIN FIRE RATING OF WALLS AROUND FIRE EXTINGUISHER CABINETS AND OTHER RECESSED ITEMS
7. FRAME AROUND BEAMS AND OTHER STRUCTURAL ELEMENTS WHEN THEY OCCUR WITHIN THE SPACE OF A FIRE RATED OR ACOUSTICAL ASSEMBLY.
8. WHERE ASSEMBLY HAS AN STC REQUIREMENT, OR IS NOTED AS "ACOUSTICAL," PROVIDE ACOUSTICAL SEAL AT FLOOR / CEILING / WALL TRANSITIONS, RECESSED BOXES / EQUIPMENT, AND PENETRATIONS. WHERE ASSEMBLY IS ALSO FIRE RATED, PROVIDE ACOUSTICAL FIRE SEALANT.
9. PROVIDE MOISTURE RESISTANT GYPSUM BOARD TYPICAL AT ALL RESTROOMS, BATHROOMS, AND KITCHEN WALLS.



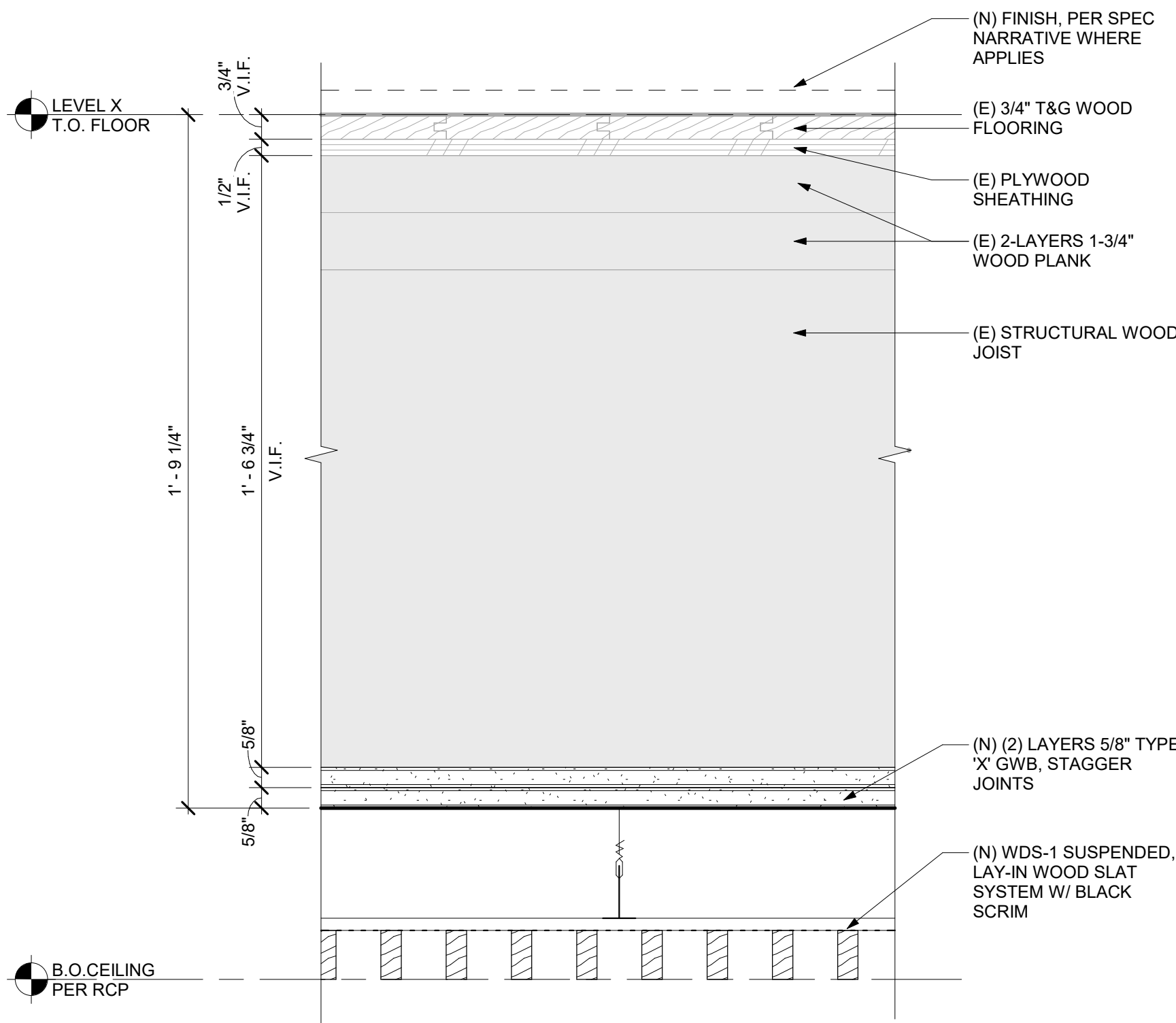
CF4 OPEN FLOOR / CEILING @ (E) WOOD JOISTS

FIRE RATING: N/A  
STC RATING: N/A  
INSULATION: N/A



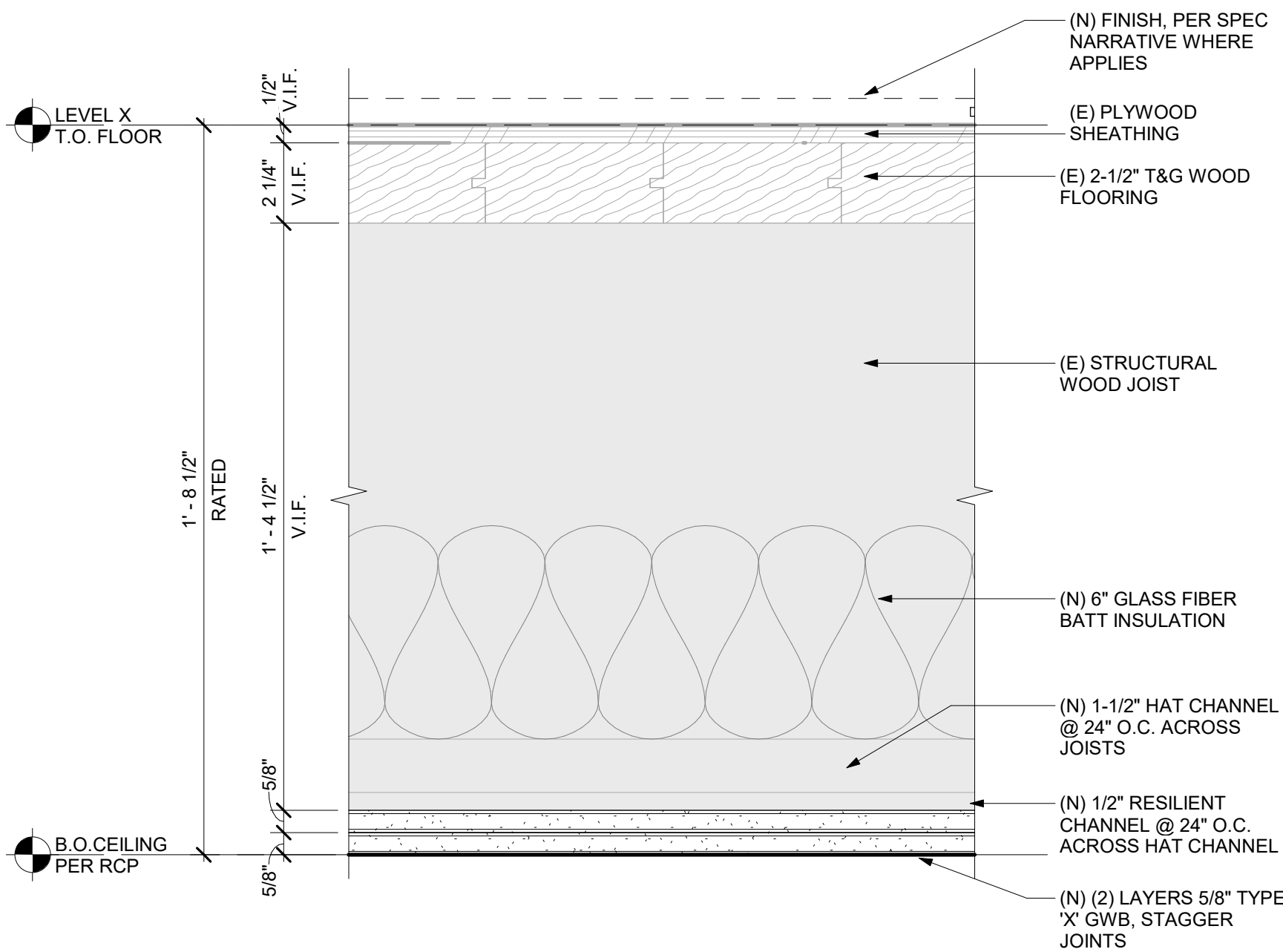
CF3 NON-RATED FLOOR / CEILING @ HORIZ WOOD SLATS

FIRE RATING: 0 HR  
STC RATING: N/A  
INSULATION: N/A



CF2 1-HR RATED FLOOR / CEILING @ HORIZ WOOD SLATS

FIRE RATING: 1-HR, GA FC 5529  
STC RATING: N/A  
INSULATION: N/A



CF1 1-HR RATED FLOOR / CEILING @ (E) WOOD JOISTS

FIRE RATING: 1-HR, GA FC 5529  
STC RATING: 50  
INSULATION: N/A

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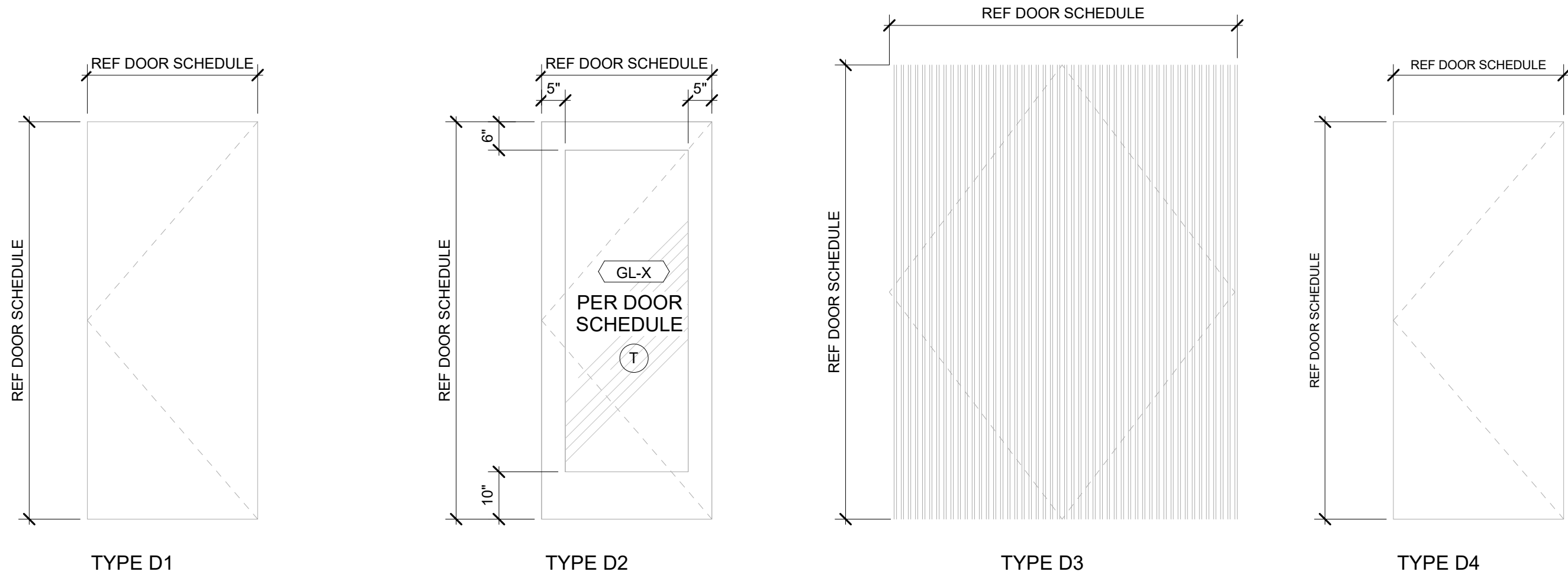
HORIZONTAL  
ASSEMBLIES

sheet:

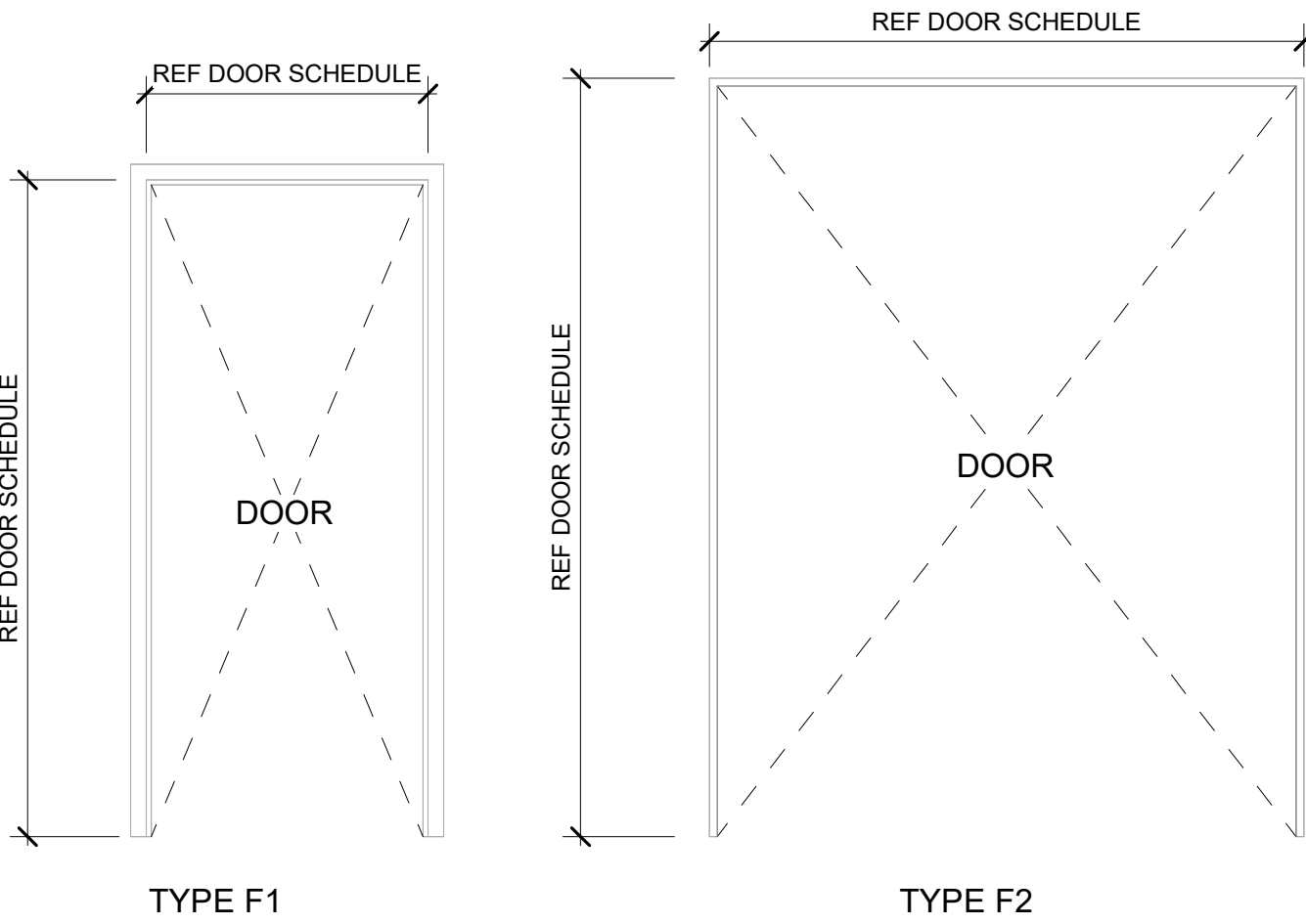
A0.11



DOOR SCHEDULE												
DOOR NO.	DOOR						FRAME			GLAZING	FIRE RATING	COMMENTS
	TYPE	WIDTH	HEIGHT	PAIR	MATERIAL	FINISH	TYPE	MATERIAL	FINISH			
LEVEL B												
006A	D1	3'-0"	6'-8"	-	WD	PTD	F1	HM	FFIN	-	-	
008A	(E)	6'-0"	7'-0"	PR	WD	PTD	(E)	-	PTD	-	-	(N) HO ON (E) DOOR WITH PB
008B	D3	6'-2"	8'-0"	PR	WD	CLR	F2	WD	PTD	-	-	(N) CUSTOM WOOD SLAT DOOR, FREE-SWINGING
009A	D1	3'-0"	7'-0"	-	WD	PTD	F1	HM	PTD	-	1-HR	CLOSER, PB
010A	D4	3'-0"	7'-0"	-	AL	FFIN	F1	HM	PTD	-	-	(N) 2-WAY SWINGING KITCHEN DOOR
012A	D1	3'-0"	7'-0"	-	WD	CLR	F1	HM	PTD	-	1-HR	CLOSER
012B	D1	3'-0"	7'-0"	-	WD	CLR	F1	HM	PTD	-	-	
015	D1	3'-0"	7'-0"	-	WD	PTD	F1	HM	PTD	-	-	OI
E001	(E)	3'-0"	7'-0"	-	-	-	(E)	-	-	-	-	
E002	(E)	3'-0"	6'-3"	-	-	PTD	(E)	-	PTD	-	-	
E005	(E)	3'-0"	7'-0"	-	-	PTD	(E)	-	PTD	-	-	
E007A	(E)	3'-0"	7'-0"	-	-	PTD	(E)	-	PTD	-	-	(E) SMOKE DOOR
E007B	(E)	3'-0"	6'-8"	-	-	PTD	(E)	-	PTD	-	-	
E010B	(E)	3'-0"	7'-0"	-	-	PTD	(E)	-	PTD	-	-	
E011	(E)	3'-0"	7'-0"	-	-	PTD	(E)	-	PTD	-	-	
E013	(E)	3'-0"	7'-0"	-	-	PTD	(E)	-	PTD	-	-	OI
E014	(E)	3'-0"	7'-0"	-	-	PTD	(E)	-	PTD	-	-	OI
LEVEL 01												
106	D1	3'-0"	7'-0"	-	WD	PTD	F1	HM	FFIN	-	-	
107	D2	3'-0"	7'-0"	-	WD	PTD	F1	HM	FFIN	GL-1	-	
E100	(E)	4'-0"	7'-0"	-	-	PTD	(E)	-	PTD	-	-	
E101A	(E)	3'-0"	7'-0"	-	-	CLR	(E)	-	CLR	-	-	
E101B	(E)	6'-0"	8'-9"	PR	-	PTD	(E)	-	PTD	-	-	(E) MTL PANEL GATE
E101C	(E)	3'-0"	8'-0"	-	-	CLR	(E)	-	CLR	-	-	RELOCATE (E) DOOR W/ SMOKE SEAL & CLOSER, PB, CR
E102	(E)	8'-0"	8'-0"	-	-	PTD	(E)	-	PTD	-	-	(E) OVERHEAD DOOR
E103A	(E)	3'-0"	7'-0"	-	-	-	(E)	-	-	-	-	CLOSER, PB, CR
E103B	(E)	3'-6"	7'-0"	-	-	PTD	(E)	-	PTD	-	-	CLOSER, CR
E104	(E)	3'-0"	7'-0"	-	-	PTD	(E)	-	PTD	-	-	(E) SMOKE SEAL & CLOSER, OI
E105	(E)	3'-0"	7'-0"	-	-	PTD	(E)	-	PTD	-	-	(E) SMOKE SEAL & CLOSER, OI
E109A	(E)	3'-6"	7'-0"	-	-	PTD	(E)	-	PTD	-	-	CLOSER, PB, CR
E109B	(E)	3'-0"	7'-0"	-	-	PTD	(E)	-	PTD	-	-	CLOSER, PB
E109C	(E)	4'-0"	7'-0"	-	-	PTD	(E)	-	PTD	-	-	CLOSER, CR
LEVEL 02												
201	D1	3'-0"	7'-0"	-	WD	PTD	F1	HM	PTD	-	-	STC, CR
202	D2	3'-0"	7'-0"	-	WD	PTD	F1	HM	PTD	GL-1	-	CR
203	D2	3'-0"	7'-0"	-	WD	PTD	F1	HM	PTD	GL-1	-	CR
204	D2	3'-0"	7'-0"	-	WD	PTD	F1	HM	PTD	GL-1	-	CR
211	D2	3'-0"	7'-0"	-	WD	PTD	F1	HM	PTD	GL-1	-	CR
212	D2	3'-0"	7'-0"	-	WD	PTD	F1	HM	PTD	GL-1	-	CR
213	D2	3'-0"	7'-0"	-	WD	PTD	F1	HM	PTD	GL-1	-	CR
E206	(E)	3'-0"	7'-0"	-	-	PTD	(E)	-	PTD	-	-	CR
E207	(E)	3'-0"	7'-0"	-	-	PTD	(E)	-	PTD	-	-	
E209	(E)	3'-0"	7'-0"	-	-	PTD	(E)	-	PTD	-	-	OI
E210	(E)	3'-0"	7'-0"	-	-	PTD	(E)	-	PTD	-	-	OI
ES203	(E)	3'-0"	7'-0"	-	-	PTD	(E)	-	PTD	-	-	CR
ES204	(E)	3'-0"	7'-0"	-	-	PTD	(E)	-	PTD	-	-	CR
LEVEL 03												
304	D1	3'-0"	7'-0"	-	WD	PTD	F1	HM	PTD	-	-	
306	D2	3'-0"	7'-0"	-	WD	CLR	F1	HM	PTD	GL-1	20-MIN	
312	D1	3'-0"	7'-0"	-	WD	PTD	F1	HM	PTD	-	-	OI
E308	(E)	3'-0"	7'-0"	-	-	PTD	(E)	-	PTD	-	-	CR
E310	(E)	3'-0"	7'-0"	-	-	PTD	(E)	-	PTD	-	-	(E) SMOKE SEAL, OI
E311	(E)	3'-0"	7'-0"	-	-	PTD	(E)	-	PTD	-	-	(E) SMOKE SEAL, OI
ES303	(E)	3'-0"	7'-0"	-	-	PTD	(E)	-	PTD	-	-	CR
ES304	(E)	3'-0"	7'-0"	-	-	PTD	(E)	-	PTD	-	-	CR



DOOR TYPES



FRAME TYPES

DOOR SCHEDULE NOTES

DOOR CONSTRUCTION	FRAME CONSTRUCTION	FINISH	COMMENTS
AL ALUMINUM HC WOOD, HOLLOW CORE HM HOLLOW METAL WD WOOD, SOLID CORE	AL ALUMINUM HM HOLLOW METAL ST STEEL WD WOOD	CLR CLEAR-FINISH FFIN FACTORY FINISH PTD PAINTED	ADA ADA ACTUATOR CR CARD READER HO HOLD OPEN - INTERCONNECTED TO SMOKE DETECTORS KP KICK PLATE OH OVERHEAD OI OCCUPANCY INDICATOR PB PANIC BAR S SMOKE
GENERAL NOTES			
1. DOOR THRESHOLDS TO HAVE 1/2" MAX HEIGHT W/ 1:2 BEVELED EDGES AND 1/4" MAX VERTICAL HEIGHT TO COMPLY W/ ICC A117.1 SECTIONS 302, 303 & 404.2.			
2. DOORS AND TRIM PAINTED T.M. ADJACENT WALL COLORS. TYP U.N.O.			
3. ALL DOOR HARDWARE TO MEET OPERABILITY REQUIREMENTS OF ANSI A117.1, SECTION 309.			
4. DOORS NOTED AS E#### ARE EXISTING TO REMAIN. NOTES IN TABLE INDICATE CHANGES TO EXISTING.			
GLAZING		SYMBOLS	
GL-X GLAZING TYPE		T TEMPERED GLASS	
		// GLAZING	

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DOOR  
SCHEDULE AND  
DOOR TYPES

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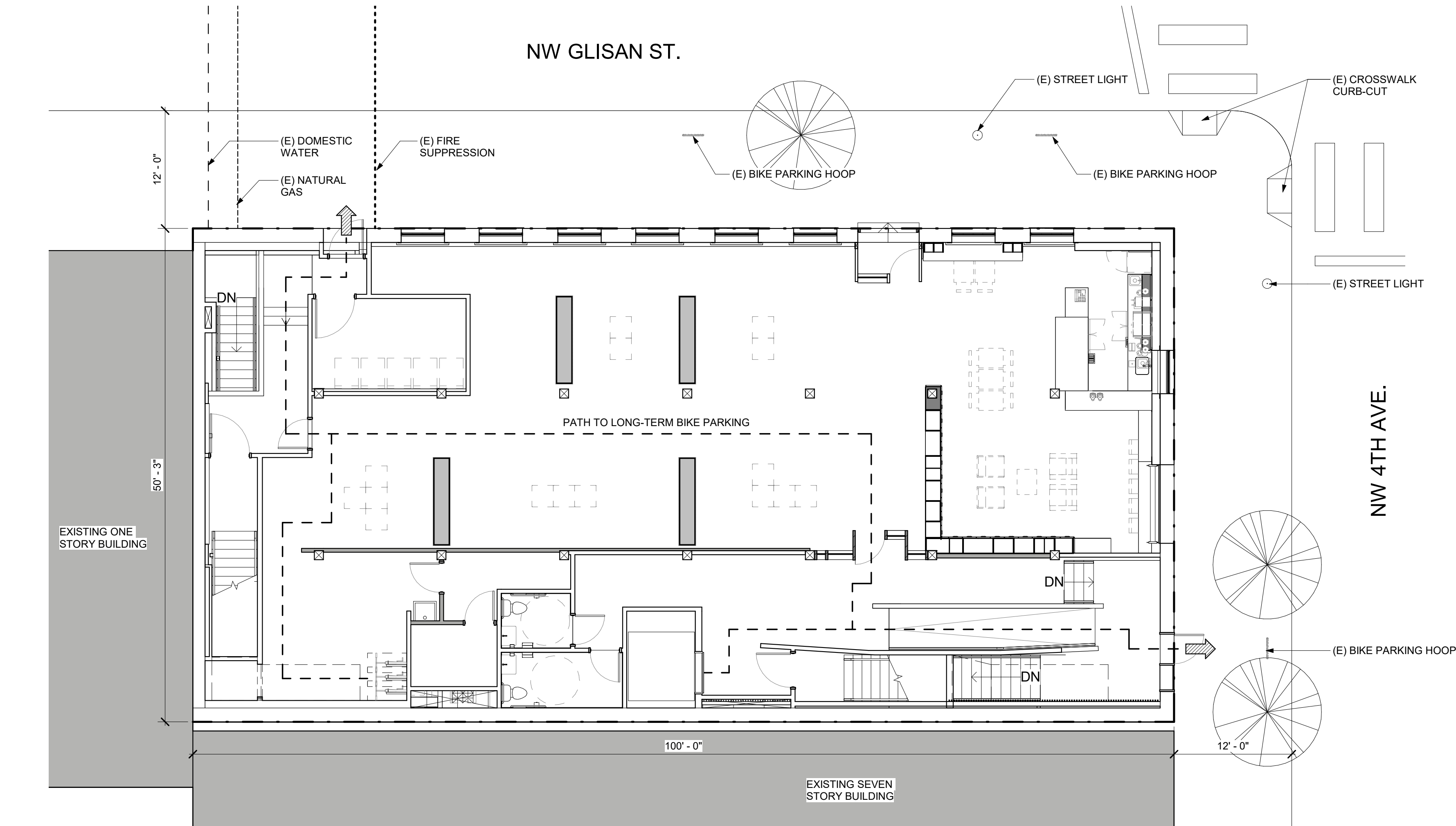
SITE & ZONING  
COMPLIANCE

sheet:

A0.50

ZONING SUMMARY		
PROPERTY ADDRESS	406 NW GLISAN ST	
LEGAL DESCRIPTION	COUCHS ADD, BLOCK 36, LOT 8, HISTORIC PROPERTY 15 YR 2005, POTENTIAL ADDITIONAL TAX	
PROPERTY ID	R140439	
ZONE	CENTRAL COMMERCIAL (CX)	
ZONE OVERLAY	DESIGN ZONE (d)	
PLAN DISTRICT	CENTRAL CITY (CC)	
	REQUIRED	PROVIDED
PARKING - MIN	NONE	NONE
BIKE PARKING - LONG TERM	7	8
BIKE PARKING - SHORT TERM	6	0*
LOADING	NONE	NONE

\*NO ON-SITE SPACE AVAILABLE. PROJECT WILL PAY INTO BICYCLE PARKING FUND



1 PF-SITE PLAN  
A0.50 1/8" = 1'-0"



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10.28.2022

issue: date:  
100% SD 05.20.2022  
100% DD 07.01.2022

revision: date

title:

BASEMENT  
FLOOR PLAN

sheet:

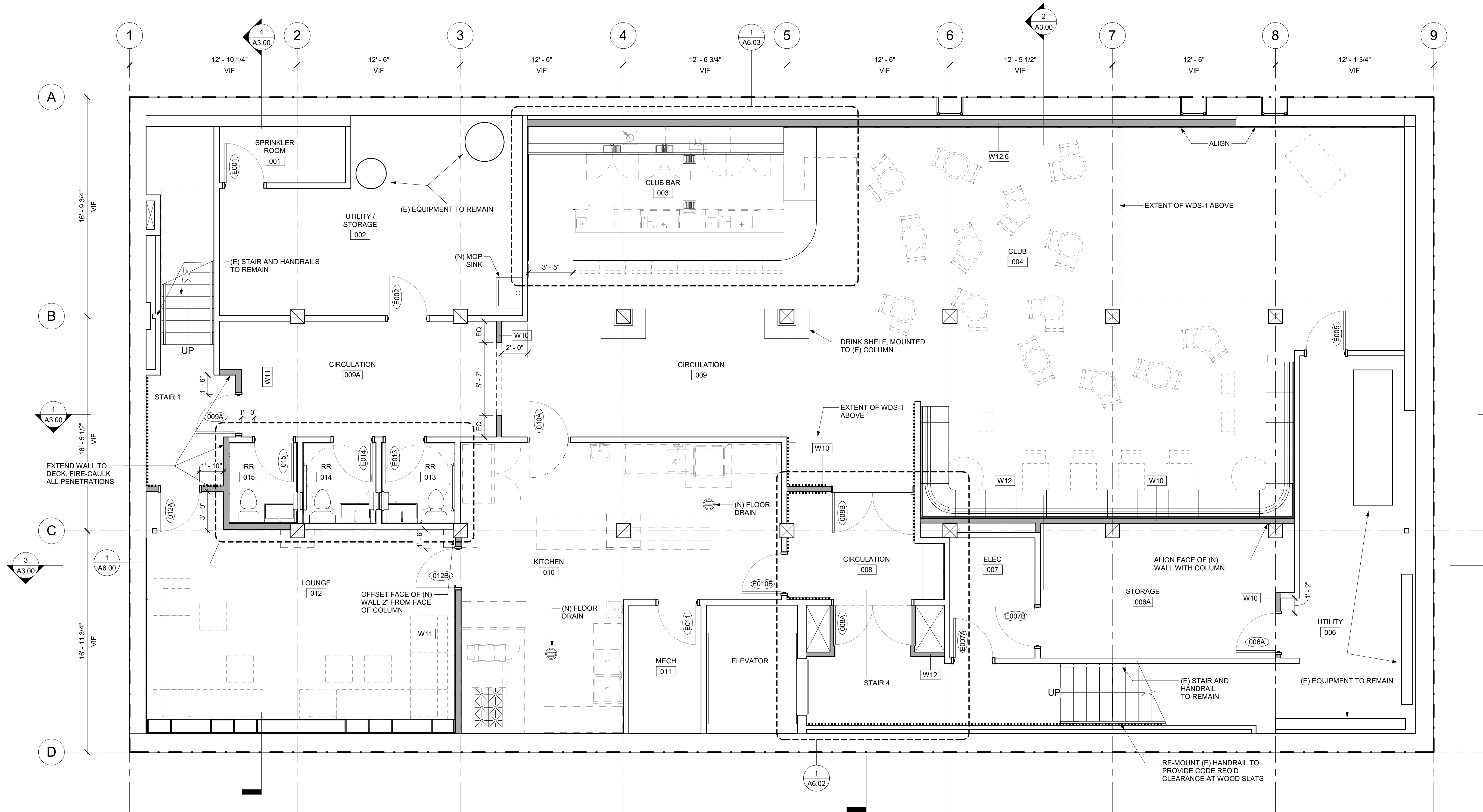
A1.00

LEGEND

- (E) WALL TO REMAIN, PATCH & REPAIR AS NEEDED  
(N) WALL, ALIGN WITH FACES OF (E), U.N.O.  
W1.4 WALL TYPE, REFER TO A0.10  
115-A DOOR TAG, REFER TO A0.20; E = EXISTING DOOR

GENERAL NOTES

1. REFER TO SHEET G0.03 FOR ACCESSIBILITY STANDARDS AND MOUNTING HEIGHTS.
2. REFER TO SHEETS G3.00 & G3.10 FOR KITCHEN EQUIPMENT PLANS. DIMENSIONS ARE TO (E) FACE OF WALL, FACE OF FRAMING, CONCRETE/CMU, FACE OF COLUMNS, AND OPENINGS OF DOORS AND WINDOWS, U.N.O.
3. PATCH AND REPAIR ANY AREAS DAMAGED BY DEMOLITION, MATCH ADJACENT FINISH.
4. EXPOSED CONDUIT, PIPE, DUCTWORK, DIFFUSERS AND OTHER EXPOSED MECHANICAL, ELECTRICAL AND PLUMBING WORK TO BE PAINTED, COLOR TBD.
5. VERIFY CLEARANCE OF (E) PLUMBING STUB-OUTS.
6. (N) PLUMBING FIXTURES INSTALLED IN SAME LOCATION AS (E) FIXTURES UNLESS (E) LOCATION DOES NOT COMPLY WITH NECESSARY ADA CLEARANCES.
7. ALL (E) CONCRETE SLABS TO BE FLUSHED TO ALIGNED WITH ADJACENT FLOOR SURFACES, FINISHED WITH SEALER.
8. ELECTRICAL TO BE BIDDER-DESIGNED.



1 BASEMENT FLOOR PLAN  
1/4" = 1'-0"

NORTH





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LEVEL 01 FLOOR  
PLAN

sheet:

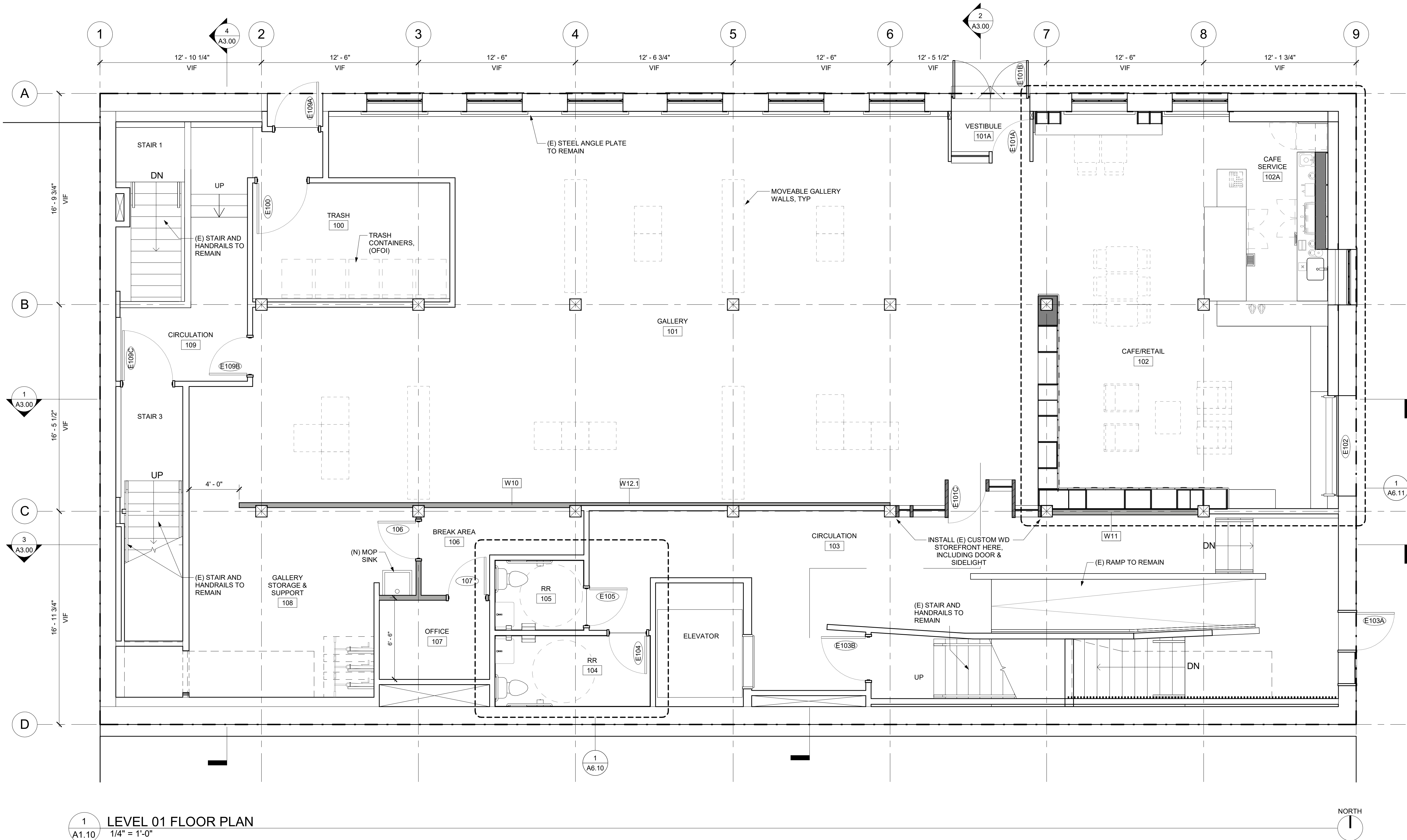
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LEGEND

- (E) WALL TO REMAIN, PATCH & REPAIR AS NEEDED
- (N) WALL, ALIGN WITH FACES OF (E), U.N.O.
- W1.4 WALL TYPE, REFER TO A0.10
- 115-A DOOR TAG, REFER TO A0.20; E = EXISTING DOOR

GENERAL NOTES

- REFER TO SHEET G0.03 FOR ACCESSIBILITY STANDARDS AND MOUNTING HEIGHTS.
- REFER TO SHEETS G3.00 & G3.10 FOR KITCHEN EQUIPMENT PLANS.
- DIMENSIONS ARE TO (E) FACE OF WALL, FACE OF FRAMING, CONCRETE/CMU, FACE OF COLUMNS, AND OPENINGS OF DOORS AND WINDOWS, U.N.O.
- PATCH AND REPAIR ANY AREAS DAMAGED BY DEMOLITION, MATCH ADJACENT FINISH.
- EXPOSED CONDUIT, PIPE, DUCTWORK, DIFFUSERS AND OTHER EXPOSED MECHANICAL, ELECTRICAL AND PLUMBING WORK TO BE PAINTED, COLOR TBD.
- VERIFY CLEARANCE OF (E) PLUMBING STUB-OUTS.
- (N) PLUMBING FIXTURES INSTALLED IN SAME LOCATION AS (E) FIXTURES UNLESS (E) LOCATION DOES NOT COMPLY WITH NECESSARY ADA CLEARANCES.
- ALL (E) CONCRETE SLABS TO BE FLUSHED TO ALIGNED WITH ADJACENT FLOOR SURFACES, FINISHED WITH SEALER.
- ELECTRICAL TO BE BIDDER-DESIGNED.



1 LEVEL 01 FLOOR PLAN  
1/4" = 1'-0"

1. REFER TO SHEET G3.03 FOR ACCESSIBILITY STANDARDS AND MOUNTING HEIGHTS.
2. REFER TO SHEETS G3.00 & G3.10 FOR KITCHEN EQUIPMENT PLANS.
3. DIMENSIONS ARE TO (E) FACE OF WALL, FACE OF FRAMING, CONCRETE/CMU, FACE OF COLUMNS, AND OPENINGS OF DOORS AND WINDOWS, U.N.O.
4. PATCH AND REPAIR ANY AREAS DAMAGED BY DEMOLITION, MATCH EXISTING FINISHES.
5. EXPOSED CONDUIT, PIPE, DUCTWORK, DIFFUSERS AND OTHER EXPOSED MECHANICAL, ELECTRICAL AND PLUMBING WORK TO BE PAINTED, COLOR TBD.
6. VERIFY CLEARANCE OF (E) PLUMBING STUB-OUTS.
7. (N) PLUMBING FIXTURES INSTALLED IN SAME LOCATION AS (E) FIXTURES UNLESS (E) LOCATION DOES NOT COMPLY WITH NECESSARY ACCESSIBILITY REQUIREMENTS.
8. ALL (E) CONCRETE SLABS TO BE FLUSHED TO ALIGNED WITH ADJACENT FLOOR SURFACES, FINISHED WITH SEALER.
9. ELECTRICAL TO BE BIDDER-DESIGNED.





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LEVEL 03 FLOOR  
PLAN

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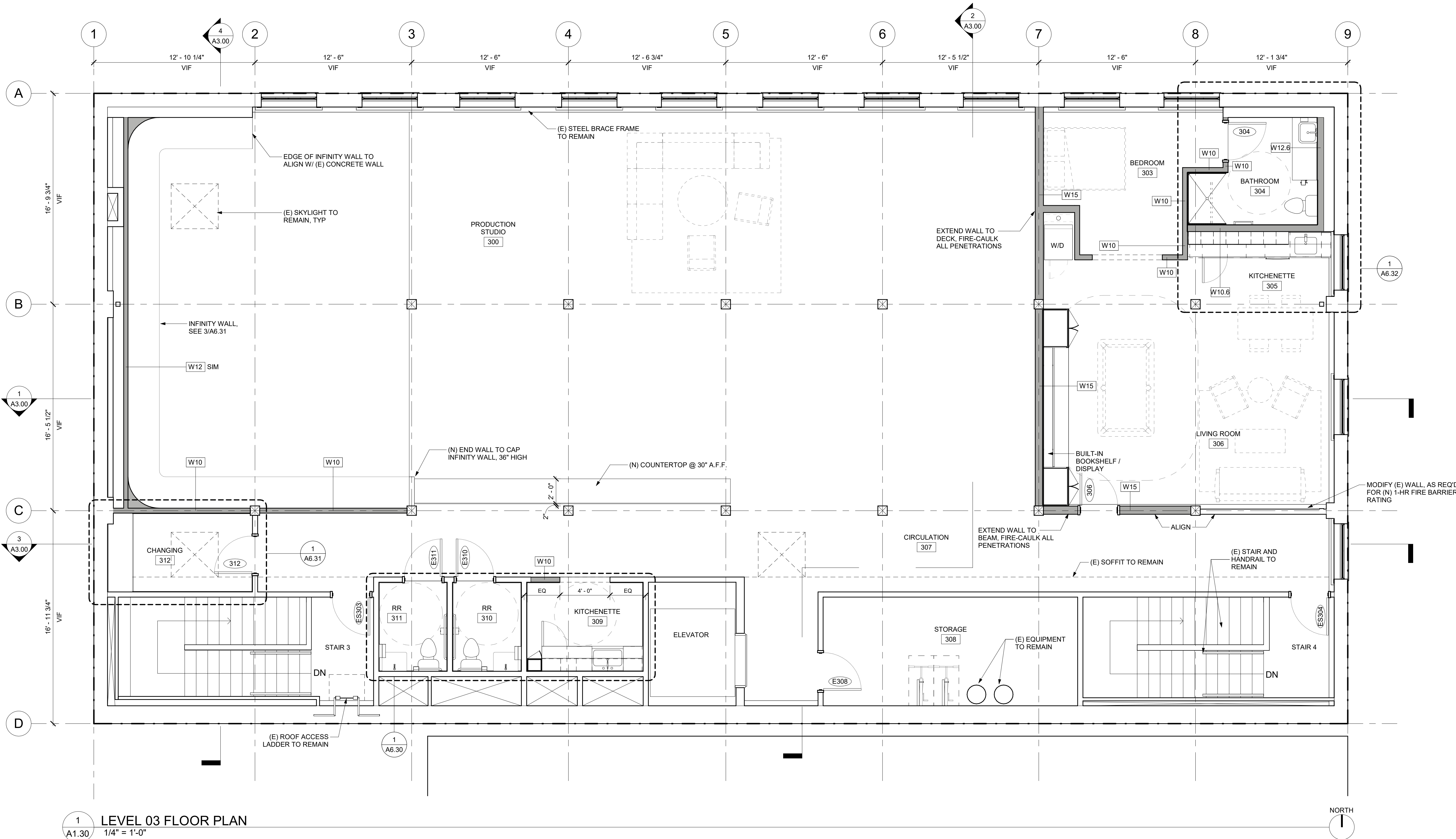
A1.30

LEGEND

- (E) WALL TO REMAIN, PATCH & REPAIR AS NEEDED
- (N) WALL, ALIGN WITH FACES OF (E), U.N.O.
- W1.4 WALL TYPE, REFER TO A0.10
- 115-A DOOR TAG, REFER TO A0.20; E = EXISTING DOOR

GENERAL NOTES

- REFER TO SHEET G0.03 FOR ACCESSIBILITY STANDARDS AND MOUNTING HEIGHTS.
- REFER TO SHEETS G3.00 & G3.10 FOR KITCHEN EQUIPMENT PLANS.
- DIMENSIONS ARE TO (E) FACE OF WALL, FACE OF FRAMING, CONCRETE/CMU, FACE OF COLUMNS, AND OPENINGS OF DOORS AND WINDOWS, U.N.O.
- PATCH AND REPAIR ANY AREAS DAMAGED BY DEMOLITION, MATCH ADJACENT FINISH.
- EXPOSED CONDUIT, PIPE, DUCTWORK, DIFFUSERS AND OTHER EXPOSED MECHANICAL, ELECTRICAL AND PLUMBING WORK TO BE PAINTED, COLOR TBD.
- VERIFY CLEARANCE OF (E) PLUMBING STUB-OUTS.
- (N) PLUMBING FIXTURES INSTALLED IN SAME LOCATION AS (E) FIXTURES UNLESS (E) LOCATION DOES NOT COMPLY WITH NECESSARY ADA CLEARANCES.
- ALL (E) CONCRETE SLABS TO BE FLUSHED TO ALIGNED WITH ADJACENT FLOOR SURFACES, FINISHED WITH SEALER.
- ELECTRICAL TO BE BIDDER-DESIGNED.



1 LEVEL 03 FLOOR PLAN  
1/4" = 1'-0"

KEY NOTES

- EXISTING BUILDING ELEMENT TO REMAIN.
- EXISTING HVAC EQUIPMENT TO REMAIN.
- NEW EXHAUST FAN, SEE MECHANICAL SHEETS.
- NEW SUPPLY FAN, SEE MECHANICAL SHEETS.
- NEW HEAT PUMP, SEE MECHANICAL SHEETS.
- NEW DUCT, SEE MECHANICAL SHEETS.

GENERAL NOTES

- REFER TO SHEET G0.02 FOR ACCESSIBILITY STANDARDS AND MOUNTING HEIGHTS.
- REFER TO MECHANICAL SHEETS FOR NEW HVAC EQUIPMENT, COORDINATE FINAL LOCATION WITH ARCHITECT.
- EXISTING SKYLIGHTS, ROOFHATCH, ELEVATOR OVERRUN, AND PARAPET TO REMAIN, INCLUDING ANY GUARDS AND RAILING.
- PATCH AND REPAIR ANY AREAS DAMAGED BY DEMOLITION, MATCH ADJACENT FINISH.

H O L S T

123 NE 3RD AVE.  
SUITE 310  
PORTLAND, OR  
97232

HOLSTARC.COM

CREATIVE  
HOMIES

406 NW GLISAN ST  
PORTLAND, OR 97209

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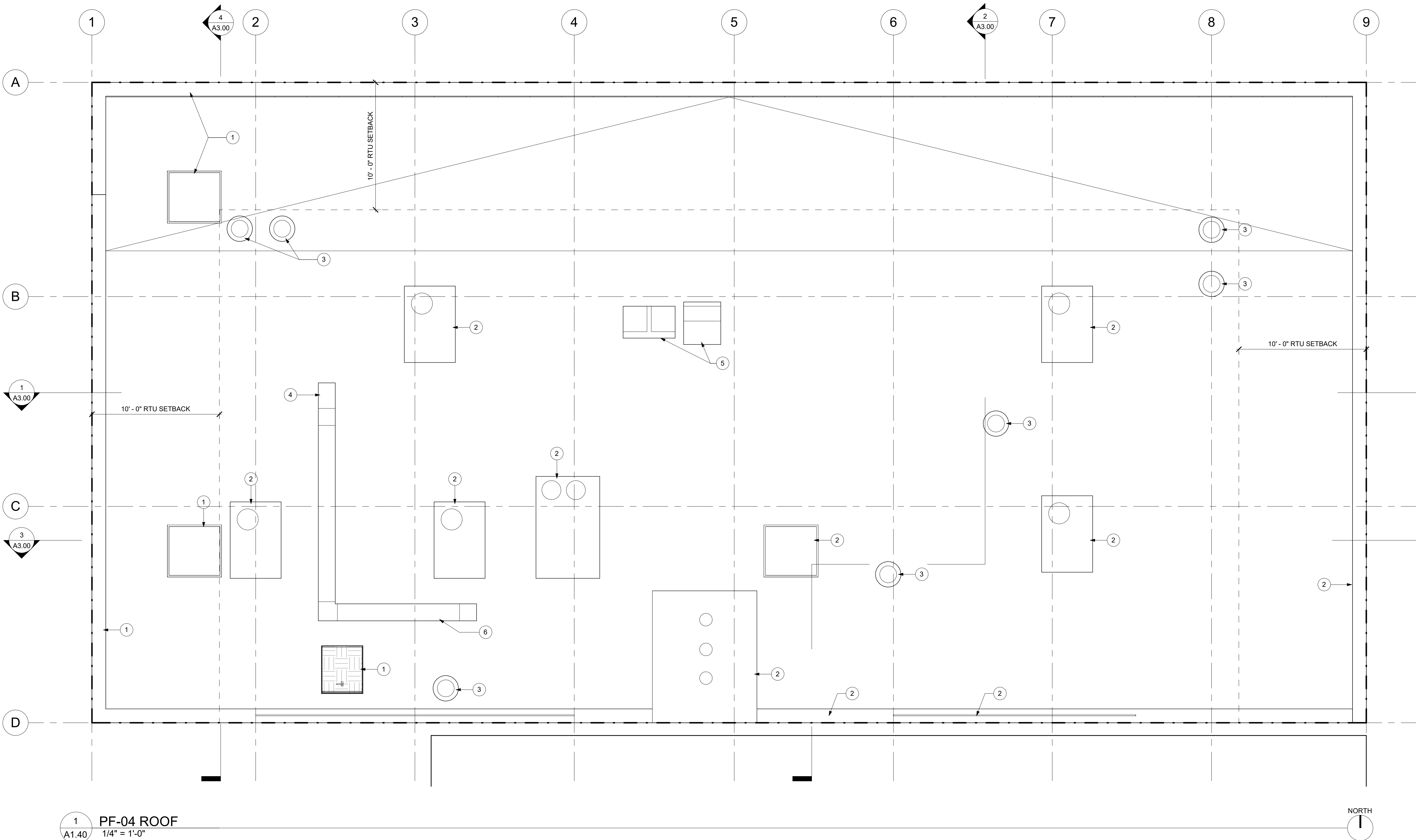
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ROOF PLAN

sheet:

A1.40

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1 PF-04 ROOF  
1/4" = 1'-0"