

# Development Services

## From Concept to Construction

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More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



### APPEAL SUMMARY

**Status:** Hold for Additional Information

<b>Appeal ID:</b> 31471	<b>Project Address:</b> 3342 SE Morrison St
<b>Hearing Date:</b> 4/12/23	<b>Appellant Name:</b> Richard Dobrot
<b>Case No.:</b> B-009	<b>Appellant Phone:</b> 503-224-9656
<b>Appeal Type:</b> Building	<b>Plans Examiner/Inspector:</b> Ayush Vaidya
<b>Project Type:</b> commercial	<b>Stories:</b> 5 <b>Occupancy:</b> S2, M, R2 <b>Construction Type:</b> Type IA, IIIB, VA
<b>Building/Business Name:</b>	<b>Fire Sprinklers:</b> Yes - Throughout
<b>Appeal Involves:</b> Alteration of an existing structure	<b>LUR or Permit Application No.:</b> 23-003290-CO
<b>Plan Submitted Option:</b> pdf [File 1]	<b>Proposed use:</b> Mixed Use

### APPEAL INFORMATION SHEET

#### Appeal item 1

**Code Section** 2022 OSSC Ch 1012.6;1014

**Requires** Ramps shall have landings...at doors, and handrails shall be continuous and extend 12 inches beyond the top and bottom of ramp runs.

**Code Modification or Alternate Requested** The intent of the appeal is to allow for the addition of a security gate along the run of an existing ramp without providing a landing at the gate and to allow for proposed handrails at existing ramp to not fully comply with the continuity and extension requirements due to site constraints.

**Proposed Design** The proposed design addresses building and occupant security issues by adding a gate (Exhibit A-Site Plan) to the southeast garage exit that would only be closed during non-business store hours. (Overhead coiling grilles at the vehicle entry/exit are also being proposed that close only after-hours).

For background information, the existing single level covered parking garage is shared by the apartment tenants and the adjoining store (M-occupancy) during the day. In the evening when the store is closed, the garage is reserved for residential tenant parking.

The existing garage has two means of egress – the exit in question is one of them. The other exit located at the northeast corner of the garage is fully accessible.

Both the apartment lobby and the store have accessible entrances from the right-of-way and into the garage from their respective spaces. The location of the proposed gate is not a required accessible public entrance and is not intended for resident entrance access after-hours.

The proposed design adds a gate near the top of the existing ramp without modifying ramp. The existing ramp is slightly steeper than 1:12 slope and lacks handrails (Exhibit B-Enlarged Plan).

The new gate is to be held open during the day and closed and locked at night. Panic hardware is proposed at the gate in lieu of lever hardware for enhanced accessibility and ease of egress (see Exhibit C-Door Hardware for hardware group No. 01 and No. 01-ALT). In addition, handrails would be provided at both sides of the ramp to the extent possible.

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**Reason for alternative** The site constraints will not allow for the existing ramp to be reconfigured with landings at the proposed gate and still meet a 1:12 maximum slope without extending into and blocking a significant portion of the existing accessible entrance to the store.

The alternate design will provide increased personal safety and security for the residents and their property in the garage. The proposed gate will have no impact to the existing conditions during the day while it is held open. When it is closed, the proposed panic hardware, which is not required, will provide a higher level of occupant safety and ease of occupant egress and accessibility.

The addition of handrails where none exist today, although not in full compliance, will also improve the accessibility of the exit path.

Lastly, per Ch 3403.6.7.2, Accessible means of egress required by Chapter 10 are not required to be added in existing facilities. While the existing exit is marginally accessible, the proposed alterations will not negatively impact its accessibility or useability.

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## APPEAL DECISION

**1a. Omission of landing at security gate located near top of ramp: Hold for additional information.**

**1b. Omission of handrail extensions: Hold for additional information.**

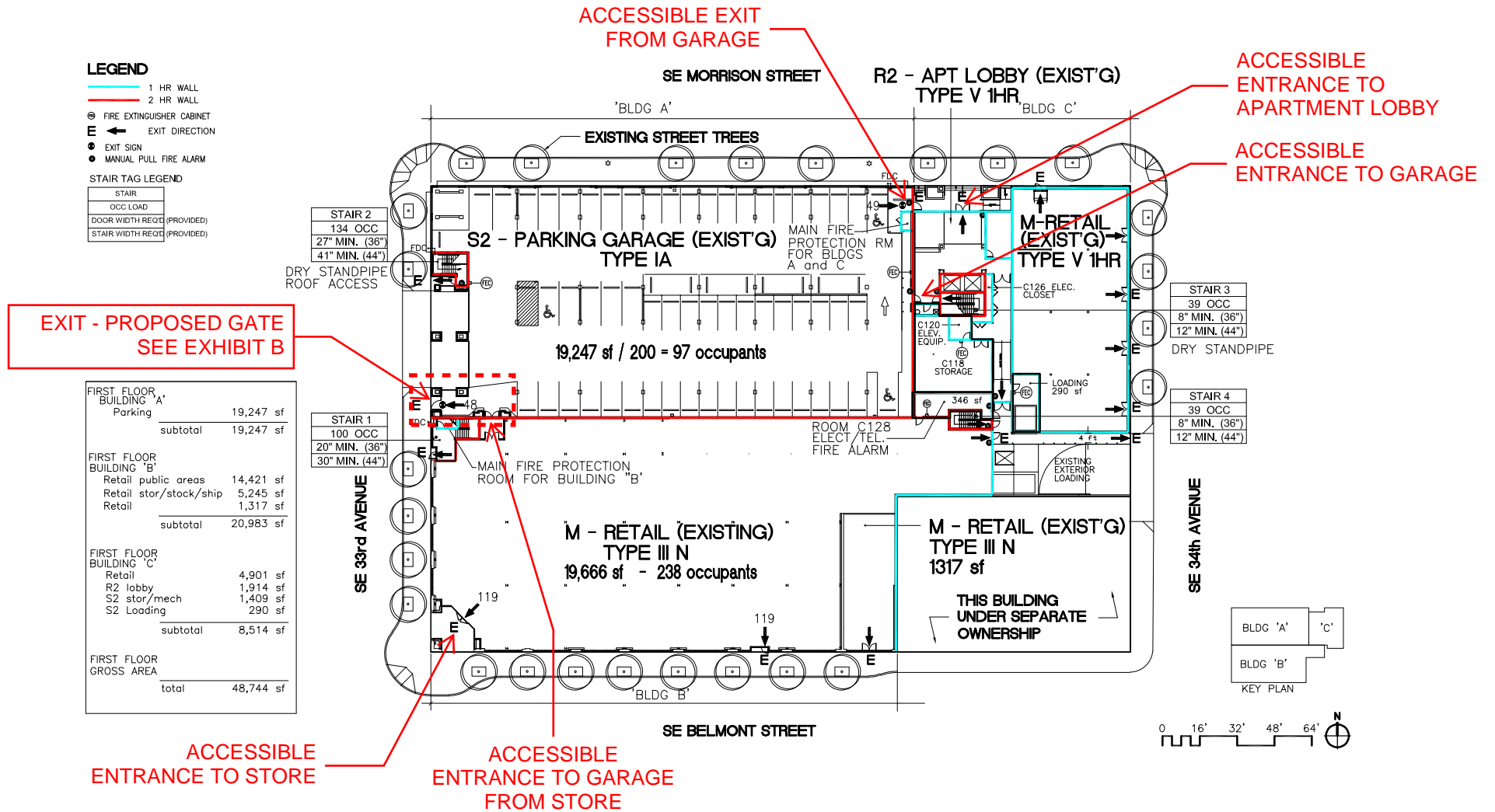
**Appellant may contact John Butler (503 865-6427) or e-mail at [John.Butler@portlandoregon.gov](mailto:John.Butler@portlandoregon.gov) with questions.**

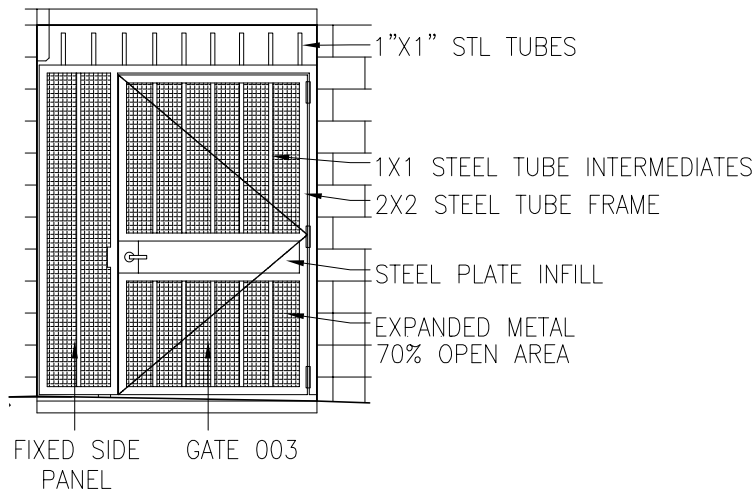
**PLEASE READ THE NOTE BELOW when providing Board requested Additional Information or when submitting a reconsideration after 1st time appeal Denial.**

A reconsideration is submitted online following the same submittal process and using the same appeals form as the original appeal. Indicate at the beginning of the appeal form that you are filing a reconsideration and include the original assigned Appeal ID number. The reconsideration will receive a new appeal number.

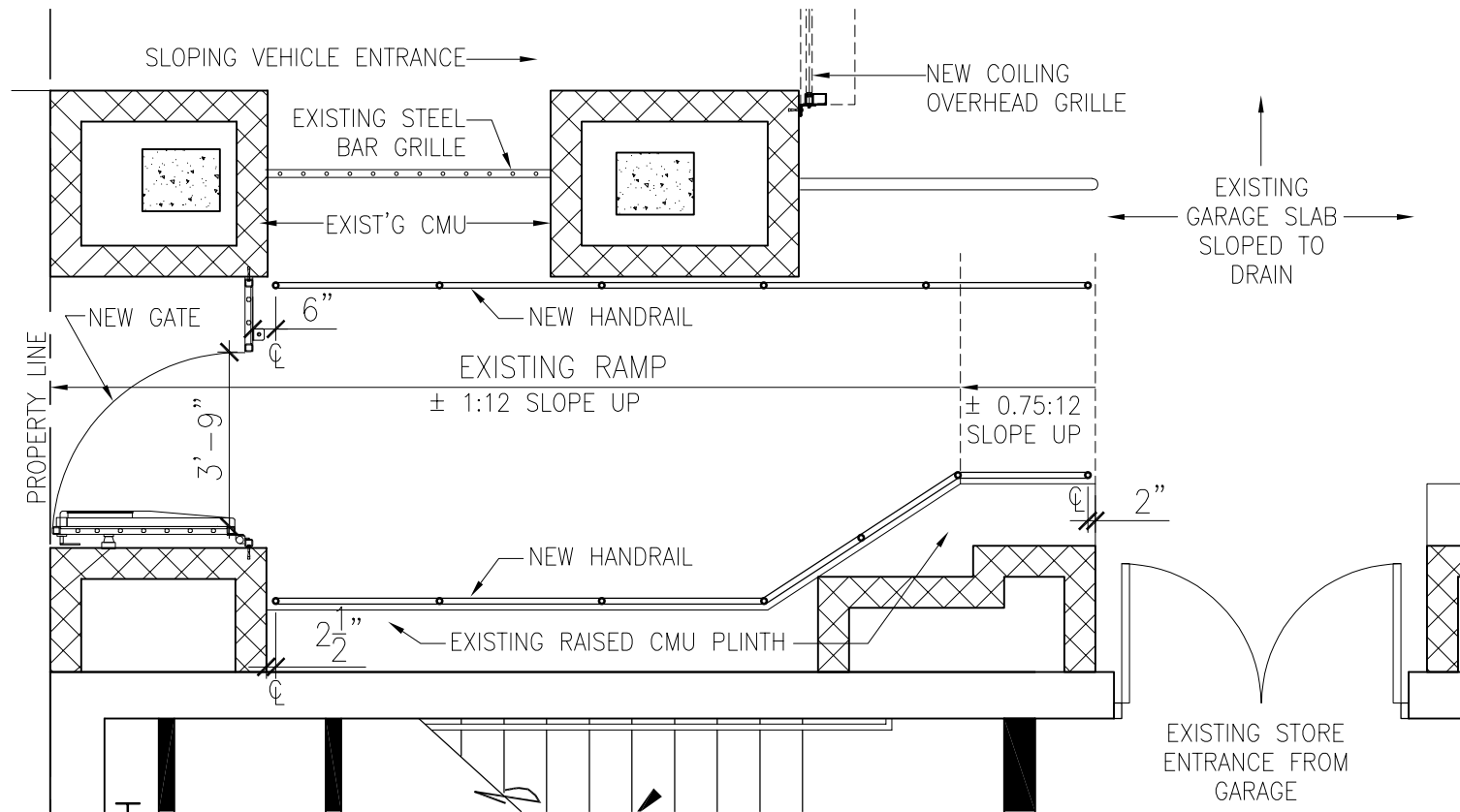
Include the original attachments and appeal language. Provide new text with only that information that is specific to the reconsideration in a separate paragraph(s) clearly identified as "Reconsideration Text" with any new attachments also referenced. Once submitted, the appeal cannot be revised.

No additional fee is required when the Board has requested additional information or for the first reconsideration of a denied appeal if submitted within 6 months of the original appeal. In these two specific instances please ignore the auto-generated request for another fee.





**GATE EXTERIOR ELEVATION** 1/4" = 1'-0"



**ENLARGED PLAN** 1/4" = 1'-0"

DOOR SCHEDULE

SECTION 00 8710 DOOR SCHEDULE

Door Number	Fire Rating	Hardware Group	DOOR							FRAME					Notes
			Leaf Profile	Number Leaves	Leaf Width	Leaf Height	Leaf Material	Finish	Glass Type	Material	Finish	Details			
												Head	Jamb	Threshold	
001	NR			1	17'-8" OPENING (VERIFY)	7-10" (VERIFY)	ALUM	MILL		ALUM	MILL	35/A1	31,33/A1		SEE SPEC COILING OVERHEAD DOOR
002	NR			1	19'-10" OPENING (VERIFY)	7'-6" (VERIFY)	ALUM	MILL		ALUM	MILL	35/A1	33,34/A1		SEE SPEC COILING OVERHEAD DOOR
003	NR	01		1	3'-11"	6'-8"	STEEL	PTD		STEEL	PTD			None	CUSTOM STEEL GATE

DOOR HARDWARE

Hardware Group No. 01

For use on Door #(s):  
003

Provide each SGL door(s) with the following:

QTY	DESCRIPTION	CATALOG NUMBER	FINISH	MFR
1	EA PANIC HARDWARE	LD-98-L-NL-17-WH	626	VON
1	EA RIM CYLINDER	20-057 ICC	626	SCH
1	EA FSIC CORE	23-030	626	SCH
1	EA ELECTRIC STRIKE	6111 FSE 12/24 VAC/VDC	630	VON
1	SET GATE CLOSER/HINGE	MAMMOTH-180	689	LOC
1	EA MAGNET	SEM7850 12V/24V/120V	689	LCN
1	CARD READER - WORK OF DIVISION 28			

CARD READER TO MOMENTARILY ALLOW ACCESS UPON VALIDATION OF PROPER CREDENTIAL. OPENING 003 TO BE PROGRAMMED TO REMAIN UNLOCKED DURING BUSINESS HOURS OF THE GROCERY STORE. AFTER HOURS WOULD REQUIRE A PROPER CREDENTIAL TO GAIN ACCESS. KEYED LOCK TO BE KEYED TO APPROPRIATE KEY FOR FIRE DEPARTMENT EMERGENCY ENTRY (KNOX BOX).

Hardware Group No. 01-ALT

For use on Door #(s):  
003-ALT

Provide each SGL door(s) with the following:

QTY	DESCRIPTION	CATALOG NUMBER	FINISH	MFR
1	EA PANIC HARDWARE	LD-98-L-NL-17-WH	626	VON
1	EA RIM CYLINDER	20-057 ICC	626	SCH
1	EA FSIC CORE	23-030	626	SCH
1	SET GATE CLOSER/HINGE	MAMMOTH-180	689	LOC
1	EA WALL STOP/HOLDER	WS45	626	IVE

ALTERNATE MECHANICAL HARDWARE SET TO BE PRICED FOR COMPARISON AGAINST ELECTRIFIED VERSION. KEYED LOCK TO BE KEYED TO APPROPRIATE KEY FOR FIRE DEPARTMENT EMERGENCY ENTRY (KNOX BOX).