

Development Services

From Concept to Construction

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More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



APPEAL SUMMARY

Status: Decision Rendered

Appeal ID: 31468	Project Address: 3240 N Borthwick Ave
Hearing Date: 4/12/23	Appellant Name: Amanda Eller
Case No.: B-007	Appellant Phone: 5122013618
Appeal Type: Building	Plans Examiner/Inspector: Hend Barghouti
Project Type: commercial	Stories: 3 Occupancy: R-2 Construction Type: V-B
Building/Business Name: Evident Architecture Office	Fire Sprinklers: Yes - All
Appeal Involves: Erection of a new structure	LUR or Permit Application No.: 22-174186-CO
Plan Submitted Option: pdf [File 1]	Proposed use: Residential

APPEAL INFORMATION SHEET

Appeal item 1

Code Section	705.8.1
Requires	The maximum area of exterior wall openings based on fire separation distance and degree of opening protection for a fire separation of 5 to less than 10 feet is 25%.
Code Modification or Alternate Requested	We propose a standard frame window with fixed tempered glazing and dedicated sprinkler coverage to increase the percentage total area of exterior wall openings greater than 25%.
Proposed Design	The East exterior building wall is located on two planes. The solid portion of the wall is located 5 to less than 10 feet from the property line. The glazed portion of the wall is located 10 to less than 15 feet from the property line, which allows for a 45% opening area. On each floor we propose, respectively, a total wall opening area of 28%, 34%, and 23%. The building is fully sprinklered per NFPA 13. We propose providing fixed window units with tempered glass in these locations and providing a sprinkler head providing coverage at each opening. Sprinklers will be spaced a minimum of 6" and a maximum of 12" from the glass plane and a maximum of 12" below the ceiling. Sprinklers are to be installed on the occupied side of the openings.
Reason for alternative	The face of the glazing is located more than 10 feet from the property line, the building is fully sprinklered, and the fixed window assembly will have dedicated sprinkler coverage. We feel that this provides equivalent protection to the low number of building occupants. The superior visibility and natural light provided by an increased opening percentage coupled with the protective measures of dedicated sprinkler coverage, we feel, satisfy the requirements of this code section.

APPEAL DECISION

Increase in the maximum allowable area of unprotected East exterior wall openings from 25 percent to 28 percent on 1st floor, 34 percent on 2nd floor and 23 percent on 3rd floor: Type 13 water curtain sprinkler

protection at glazing in exterior wall where inset from open vertical plane of projecting floor above: Granted provided windows are non-operable door(s) is gasketed and on closer and sprinklers are spaced not more than 6 feet apart and placed a minimum of 6 inches and a maximum of 12 inches from the opening(s) and a maximum of 12 inches below the ceiling. Sprinklers are to be installed on the occupied side of the openings. A separate permit from the Fire Marshal's Office is required.

Appellant may contact John Butler (503 865-6427) or e-mail at John.Butler@portlandoregon.gov with questions.

The Administrative Appeal Board finds that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 90 calendar days of the date this decision is published. For information on the appeals process, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-6251 or come in to the Development Services Center.

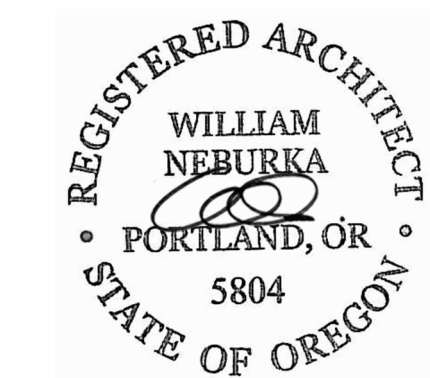
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Portland Oregon 97215
503/954.2662

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Project:

Tree Houses
3216 N Borthwick Ave
Portland, OR 97227



Drawing Title:

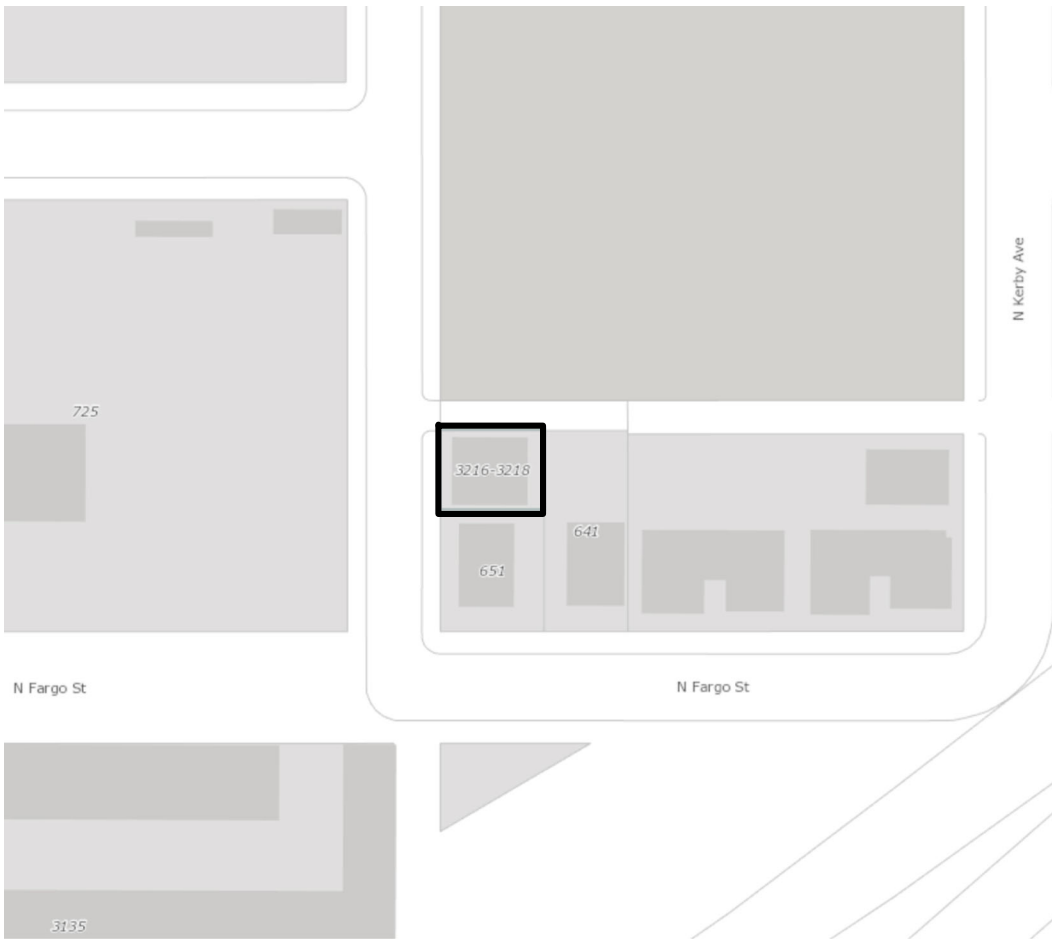
Location Map & Zoning
Compliance

Issue:	Intent:	Date:
	Permit	05.25.2022
1	Chcksht	03.22.2023

Number:



Site Aerial



Location Plan

Zoning Summary:

Applicable Code: Portland City Code & Charter, Title 33 Planning & Zoning

Site Address:	3216 N Borthwick Avenue Portland, OR 97227																					
Site Area:	2,408 SF																					
Property ID:	R257857																					
Tax Roll:	RIVERVIEW SUB, BLOCK 6, N 43' OF LOT 8, N 43' OF W 14.87' OF LOT 9																					
Base Zone:	RM-2																					
Overlay:	None																					
Base Zone Regulations:	<table><tr><th></th><th><u>Allowed</u></th><th><u>Proposed</u></th></tr><tr><td>FAR:</td><td>1.5:1 / 3,612 SF</td><td>3,542 SF</td></tr><tr><td>Max Density:</td><td>None</td><td>6 Units</td></tr><tr><td>Max Height:</td><td>45'</td><td>42' (See Sheets a3.01-a3.03 For Compliance)</td></tr><tr><td>Max Coverage:</td><td>60% Site Area; 1,444 SF</td><td>56% Site Area; 1,345 SF</td></tr><tr><td>Min Landscape:</td><td>20% Site Area; 482 SF</td><td>RE: a2.00</td></tr><tr><td>Setbacks: (Per Table 120-3, 33.120.220.B.3.b, & 33.120.220.B.3.g)</td><td>Front: 5' Side & Rear: 5' Side @ Alley: 0'</td><td>5'-1/2" 5'-1/2" 5'-1" (See Sheet a2.00 for Compliance)</td></tr></table>		<u>Allowed</u>	<u>Proposed</u>	FAR:	1.5:1 / 3,612 SF	3,542 SF	Max Density:	None	6 Units	Max Height:	45'	42' (See Sheets a3.01-a3.03 For Compliance)	Max Coverage:	60% Site Area; 1,444 SF	56% Site Area; 1,345 SF	Min Landscape:	20% Site Area; 482 SF	RE: a2.00	Setbacks: (Per Table 120-3, 33.120.220.B.3.b, & 33.120.220.B.3.g)	Front: 5' Side & Rear: 5' Side @ Alley: 0'	5'-1/2" 5'-1/2" 5'-1" (See Sheet a2.00 for Compliance)
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Proposed Uses:	Allowed Household Living																					
Requested Adjustments or Modifications:	None																					

Parking & Loading Regulations (Title 33.266):

Distance Form Transit Stop:	Bus Stop 1837, 759'
Loading Required:	None Required Per 33.266.310
Vehicle Parking:	Non Required Per 33.226.110 B
Central City Parking Req:	N/A

Bicycle Parking Requirements:			
Use:	SF:	Spaces Required:	Spaces Provided:
Household Living	6 Units	2 Short Term, 9 Long Term	2 Short Term, 9 Long Term Provided



Project:

Tree Houses

3216 N Borthwick Ave
Portland, OR 97227



Drawing Title:
Architectural Site Plan

Issue:	Intent:	Date:
	Permit	05.25.2022
1	Chcksht	03.22.2023

Number:

Note:
See 1/g0.02 and 2/g0.02 For
Setback Dimensions and
Calculations

Symbols

---	Property Line
- - - -	Fence
- - - -	Building / Wall to be Demolished
=====	Curb Line
W	Water Line
SS	Combined Storm/Sewer
ST	Storm Line
STW	Sanitary Sewer Line
G	Underground Gas Line
OP	Overhead Power Line
UP	Underground Power Line
[Hatched Box]	Storm Catch Basin
[Circle with X]	Manhole
[Star]	Power Pole / Light Pole
[Star]	Light Pole
[Triangle]	Sign
[Circle with H]	Fire Hydrant
[Circle with W]	Water Meter
[Circle with E]	Electric Meter
[Circle with G]	Gas Meter
[Circle with P]	Property Corner

Landscape Plan Calculations:

Site Area: 2,267 SF

	Requirement:	Proposed:
Lot Coverage (Max):	60% / 1,444 SF	1,345 SF (56%)
Landscape Area:	20% / 482 SF	32% / 790 SF L1 & L3 Landscape Area 9% / 220 SF Walkways & Plazas For Public Use
Tree Canopy Requirement	20% / 452 SF	1 Med Tree x 500 SF = 500 SF

Landscape Plan Legend:

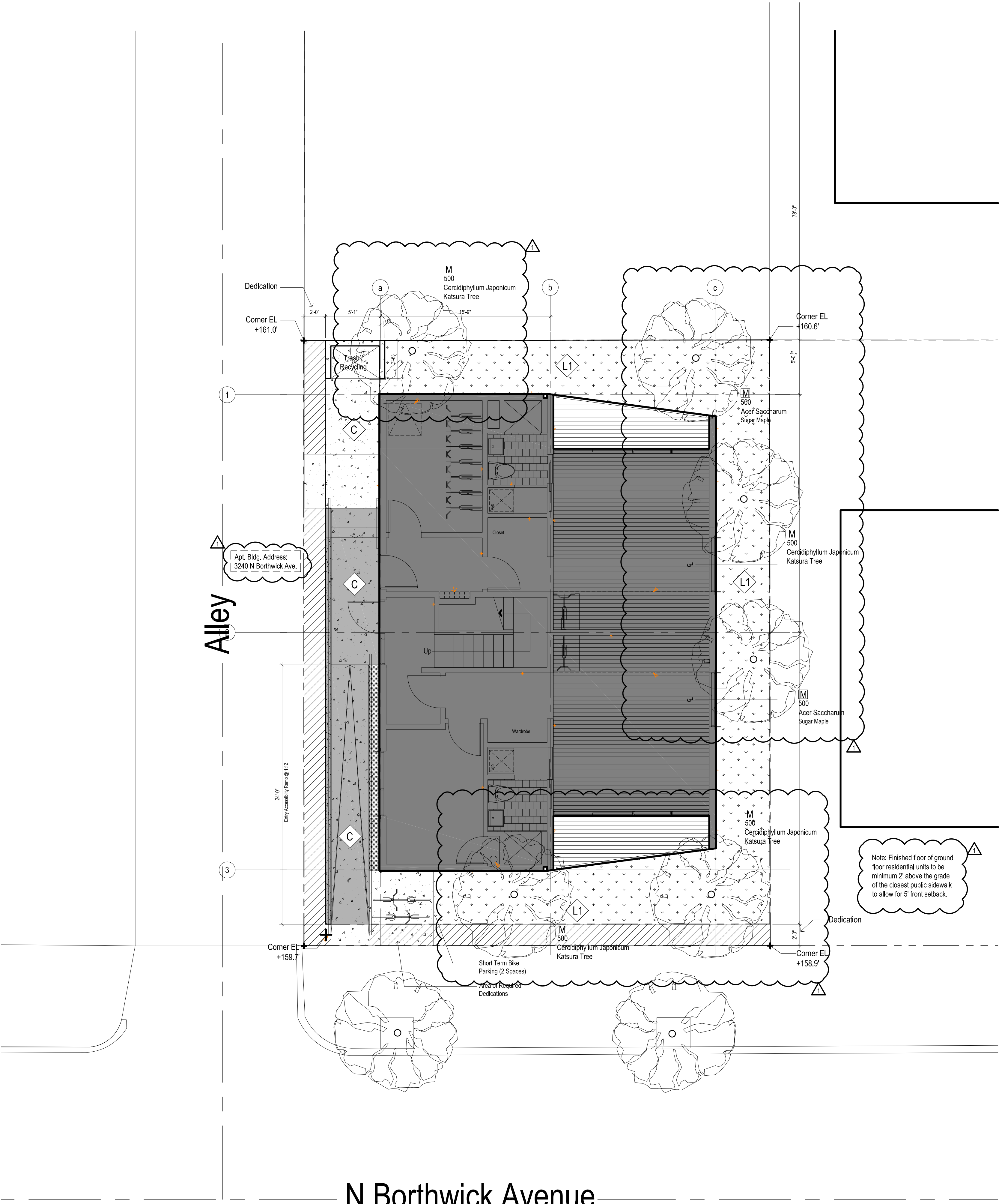
[L1 Box]	Landscaping Type Designation
[C Box]	Concrete Paving
[P Box]	Pervious Paving
[New Tree]	New Tree
Size	Size
Canopy SF Allocation	Canopy SF Allocation
[Existing Tree]	Existing Tree
Size	Size
Canopy SF Allocation	Canopy SF Allocation
[Root Protection Zone]	Root Protection Zone, RPZ Fencing During Construction: 6" Chain Link Fencing Secured With 6" Metal Posts

Landscape Plan Notes:

1. All Planting, Species Type, Trees Size & Species, to be in
conformance with Chapter 33.248 or the Portland Zoning Code & The
published Plant Materials and The Suggested Plant List Issued By the
City of Portland Bureau of Development Services.

Landscape Plan Specifications:

Medium Tree: All broadleaf trees to be 1.5 caliper at time of planting.
L1 Groundcover: L1 Groundcover to Fully Cover Remaining Landscape
Area. Ground Cover to Include KINNIKINICK &
BEARBERRY in accordance with the requirements of
33.248.020.



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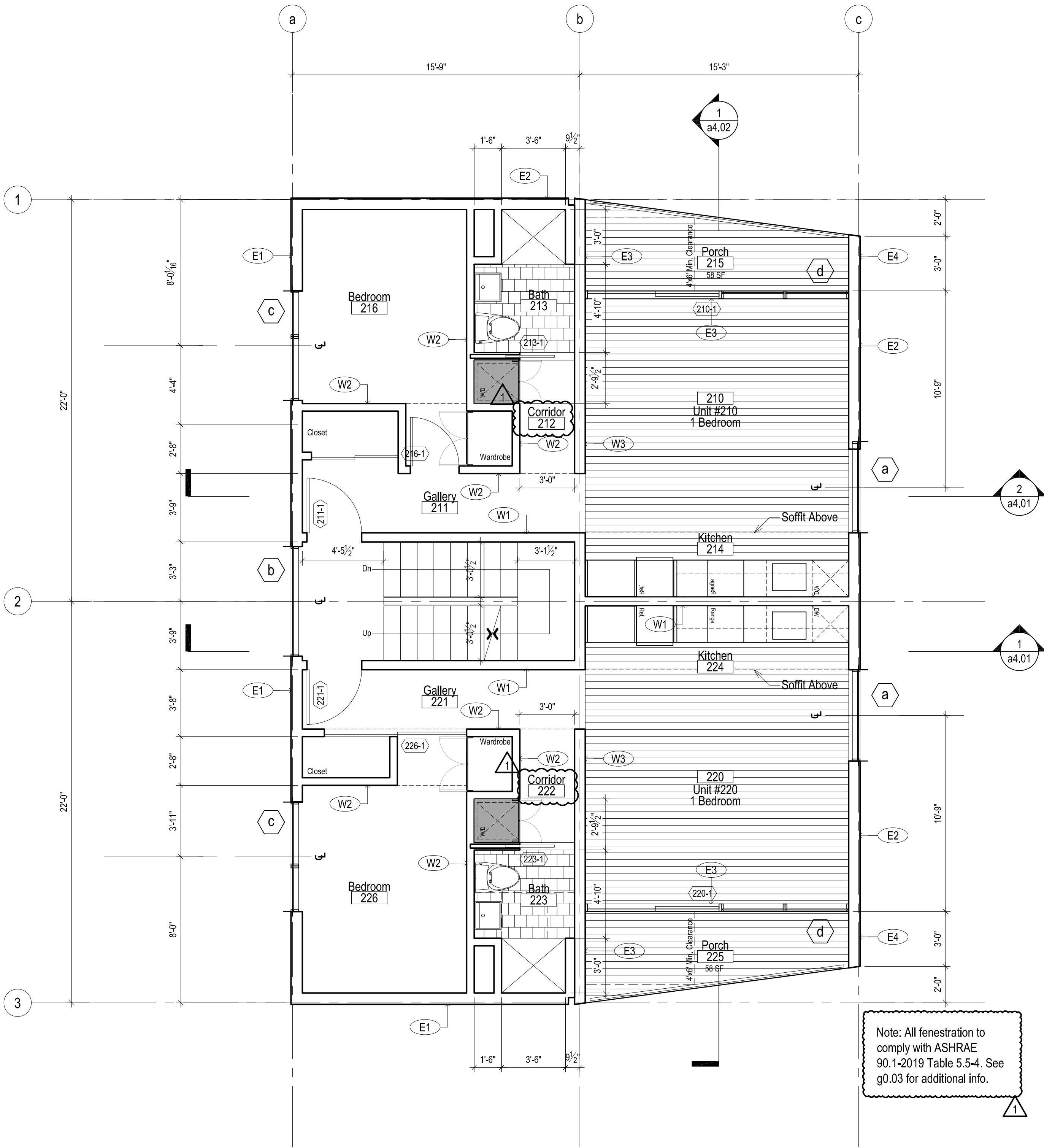


Drawing Title:

Second Floor Plan
Third Floor Plan

Issue:	Intent:	Date:
	Permit	05.25.2022
1	Chcksht	03.22.2023

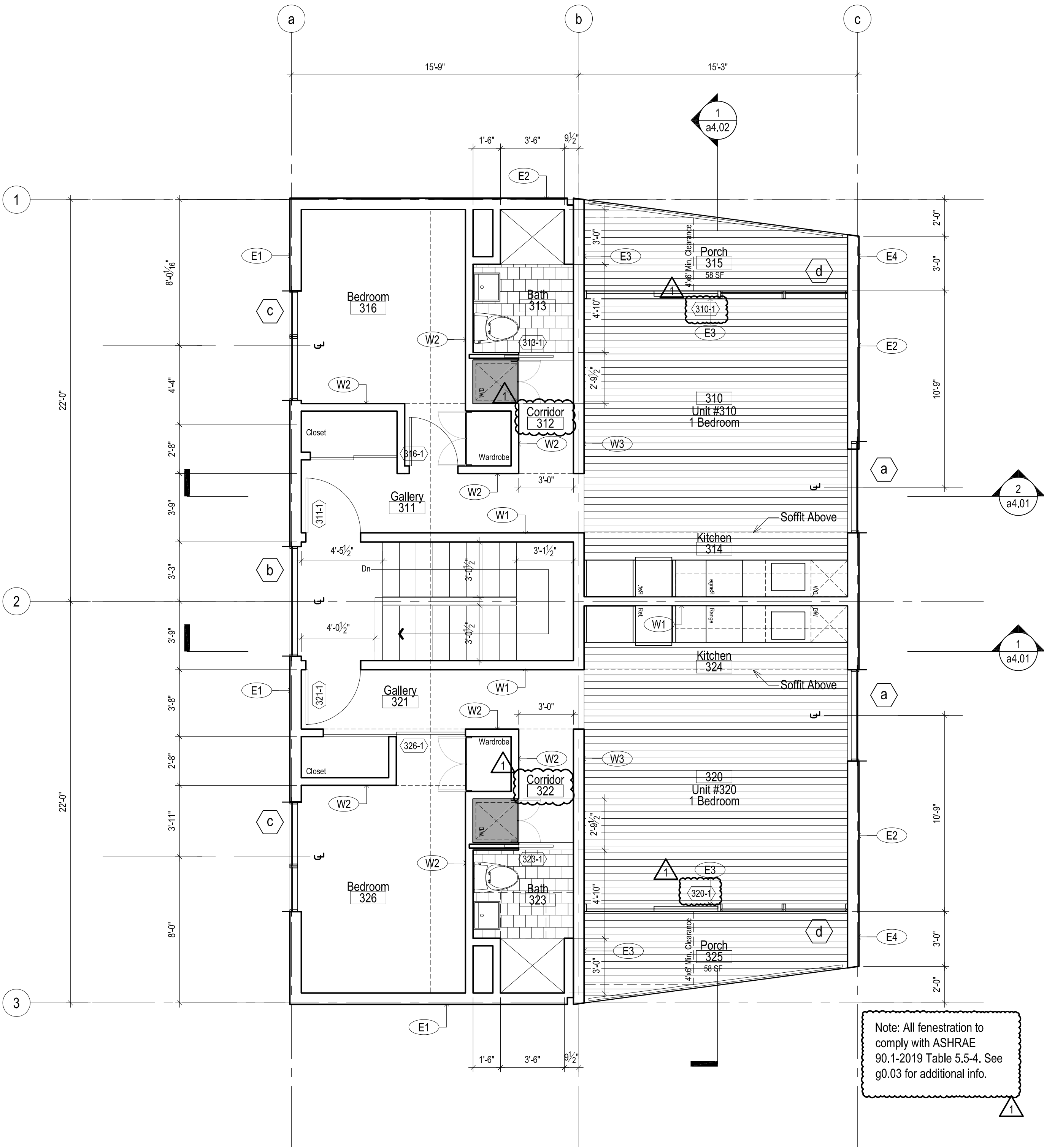
Number:



1 Second Floor Plan
a2.02 1/4"=1'-0"

Plan Notes:

1. See Sheet a0.01 For Wall Types And Assemblies.
2. See Sheet g0.04 For Wall Ratings & Line Type Legend.
3. See Sheet a0.11 For Door Types And Door Schedule.
4. See Sheet a0.12 For Window Types.



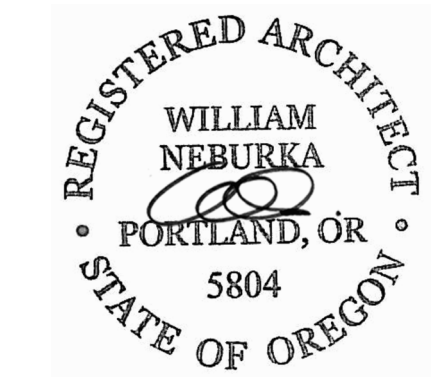
2 Third Floor Plan
a2.02 1/4"=1'-0"

Plan Notes:

1. See Sheet a0.01 For Wall Types And Assemblies.
2. See Sheet g0.04 For Wall Ratings & Line Type Legend.
3. See Sheet a0.11 For Door Types And Door Schedule.
4. See Sheet a0.12 For Window Types.

Project:

Tree Houses
3216 N Borthwick Ave
Portland, OR 97227



Drawing Title:
Exterior Elevations

Issue:	Intent:	Date:
	Permit	05.25.2022
	Chcksht	03.22.2023

Number:

