



City of Portland, Oregon - Portland Permitting & Development

1900 SW Fourth Avenue • Portland, Oregon 97201 | 503-823-7300 | www.portland.gov/ppd

RECORDER

Please stamp the County Recorder's copy of the recording sheet and return with the attached decision to City of Portland, PP&D 299/5000/PP&D LUR

Multnomah County Official Records
E. Murray, Deputy Clerk

2025-010622

02/25/2025 03:32:10 PM

LUA-LUA Pgs=6 Stn=91 ATCB
\$30.00 \$11.00 \$60.00

\$101.00

Date: February 3, 2025
To: Interested Person
From: Don Kienholz, Land Use Services
Don.Kienholz@portlandoregon.gov | 503-865-6716

NOTICE OF A TYPE II DECISION IN YOUR NEIGHBORHOOD

Portland Permitting & Development has **approved** a proposal in your neighborhood. The mailed copy of this document is only a summary of the decision. The reasons for the decision and responses to any public comments are included in the version located on the PP&D website <https://www.portland.gov/ppd/zoning-land-use/news/notices>. Enter the land use case file number in the keyword search. If you disagree with the decision, you can appeal. Information on how to appeal the decision is included at the end of this decision.

CASE FILE NUMBER: LU 24-089508 CU

GENERAL INFORMATION

Applicant: Raphael Goodblatt
AHHA Architect Inc
6663 SW Beaverton Hillsdale Hwy #222
Portland, OR 97225
Rag@ahhapdx.com
503-734-8210

Owner: The Christian School Society Of Portland Region
12425 NE San Rafael St
Portland, OR 97230

Owner's Agent: Sherilee Thomas
The Portland Christian School
11845 SE Market St

Portland, OR 97216
Sherilee.Thomas@pcsschools.org

Site Address: 11845 SE MARKET ST

Legal Description: TL 9800 5.75 ACRES, SECTION 03 1S 2E

Tax Account No.: R992031420

State ID No.: 1S2E03AD 09800

Quarter Section: 3142 & 3242

Neighborhood: Mill Park, contact Trevor Hopper at mill.park.pdx.chair@gmail.com

Business District: Gateway Area Business Association, contact Nidal Kahl at gabapdxboard@gmail.com

District Coalition: District 1, contact Alison Stoll at alisons@cnncoalition.org

Plan District: None

Zoning: RM1 –Residential Multi-Dwelling-1

Case Type: CU – Conditional Use

Procedure: Type II, an administrative decision with appeal to the Hearings Officer.

Proposal:

The applicant is proposing to construct a new 3,600-sf single-story classroom building just north of the existing play area located in the north-central portion of the site. Portland Zoning Code Section 33.281 regulates school sites and provides the thresholds for when development requires a land use review. Under 33.281.050.A.3 and 33.281.050.B.4, the addition of the proposed 3,600-sf building requires a Type II Conditional Use Review.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33, the Portland Zoning Code. The relevant approval criteria are found in 33.815.105.A through E Institutional and Other Uses in Residential and Campus Institutional Zones.

The Portland Zoning Code is available online at <https://www.portland.gov/code/33>.

CONCLUSIONS

The proposal meets the Conditional Use approval criteria for Institutional and Other Uses in R Zones. The proposed school addition will be located on the same site as an existing elementary school facility and will not increase the student population. The proposal will not change the proportion of Household Living uses nor lessen the residential appearance or function of the area. The single-story 3,600-sf building will not impact the City's identified scenic resources and will be compatible with the nearby residential development. The proposal will not negatively impact livability as it will not increase noise, glare from lights, late-night operations, odors or litter, nor the new classroom building impact privacy or create safety issues. The proposal will not place an unacceptable burden on the transportation system or other City services and is consistent with the Policies and Objectives of adopted area plans. Because it meets the approval criteria, it must be approved.

ADMINISTRATIVE DECISION

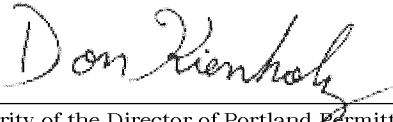
Approval of a 3,600-sf classroom building for the existing school, per the approved site plans, Exhibits C.1 through C.2, signed and dated January 29, 2025, subject to the following conditions:

- A. A finalized building permit must be obtained to document the approved project. As part of the permit application submittal, each of the site plans and any additional drawings

must reflect the information and design approved by this land use review as indicated in Exhibits C.1-C.2. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 24-089508 CU."

- B. The drop-off lane adjacent immediately west of the play area shall be removed and replaced with the 19 parking spaces shown on approved site plan Exhibit C.1 from the 2005 Conditional Use Review LU 05-139520 CU AD and replicated on the current site plan Exhibit C.1.
- C. The event parking area located in the west-central area of the site may not be striped and is to be used for special event parking only - not for day-to-day use. A sign shall be posted at the entrance of the special parking area designating it as special event parking only. Access to the parking area shall be restricted with a physical barrier to prevent day-to-day parking; this may consist of chains, removable bollards, arm barriers, gates, temporary fencing or a similar physical barrier.

Staff Planner: Don Kienholz

Decision rendered by:  **on January 29, 2025.**
By authority of the Director of Portland Permitting & Development

Decision mailed: February 3, 2025

Last date to Appeal: February 18, 2025 by 4:30 pm

Effective Date (if no appeal): February 19, 2025 Decision may be recorded on this date
Kimberly Tallant, Principal Planner

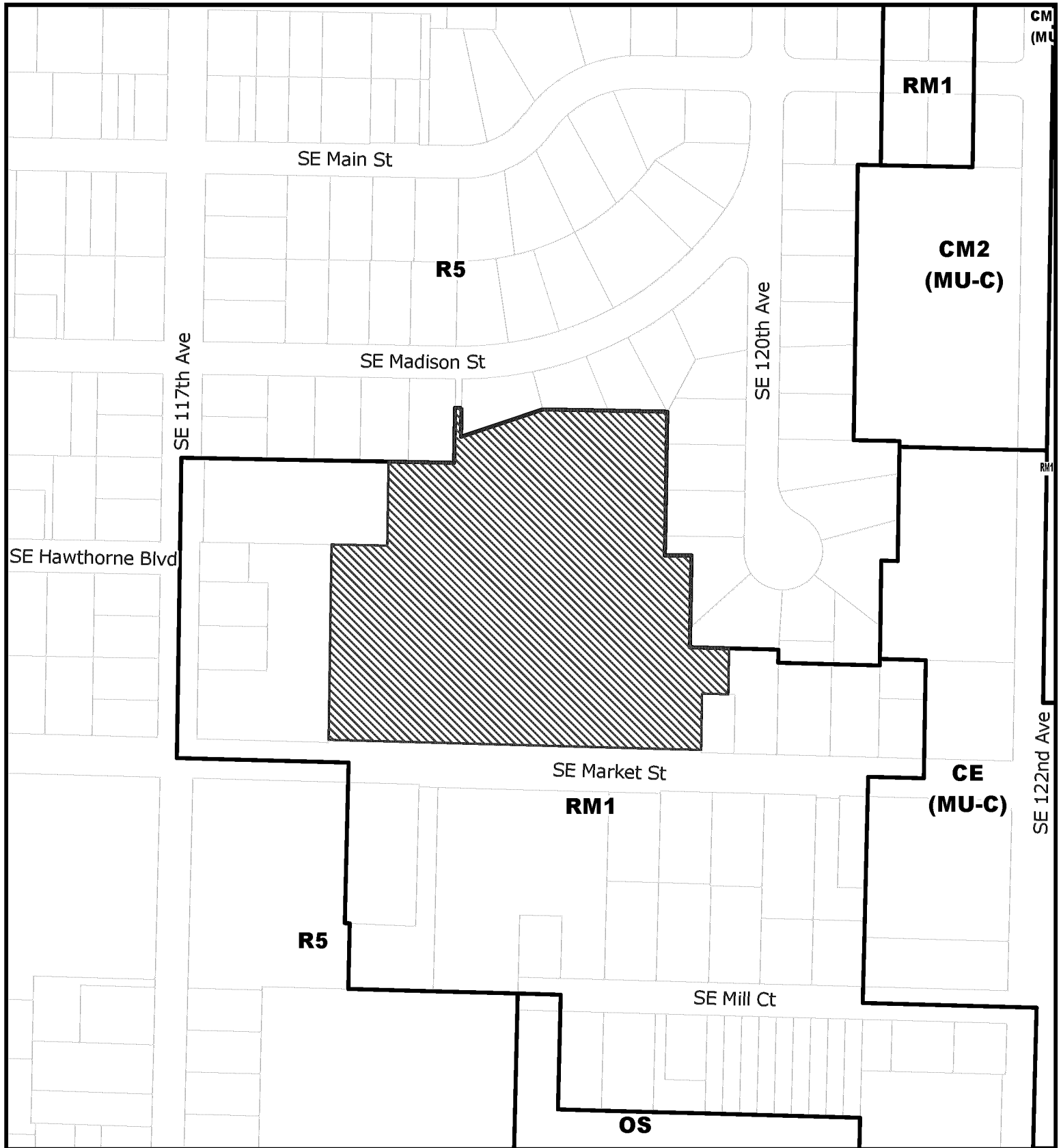
City of Portland
Portland Permitting & Development

Date: February 19, 2025

1900 SW Fourth Ave, #5000
Portland, OR 97201



Representative



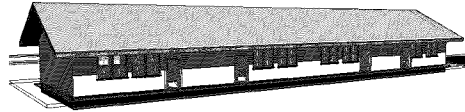
For Zoning Code in Effect Post October 1, 2024

ZONING 

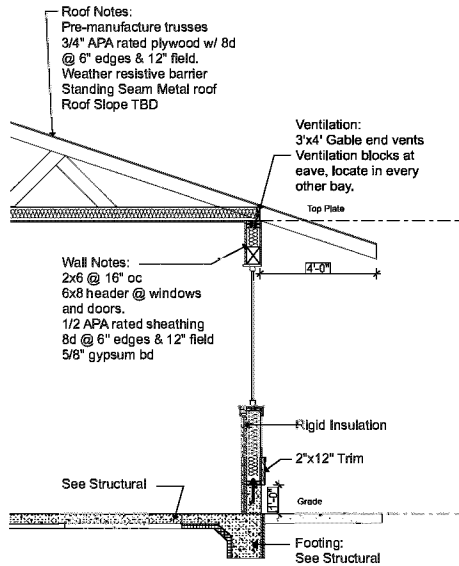
 Site

File No.	<u>LU 24 - 089508 CU</u>
1/4 Section	<u>3142,3242</u>
Scale	<u>1 inch =200 feet</u>
State ID	<u>1S2E03AD 9800</u>
Exhibit	<u>B</u> <u>Oct 17, 2024</u>

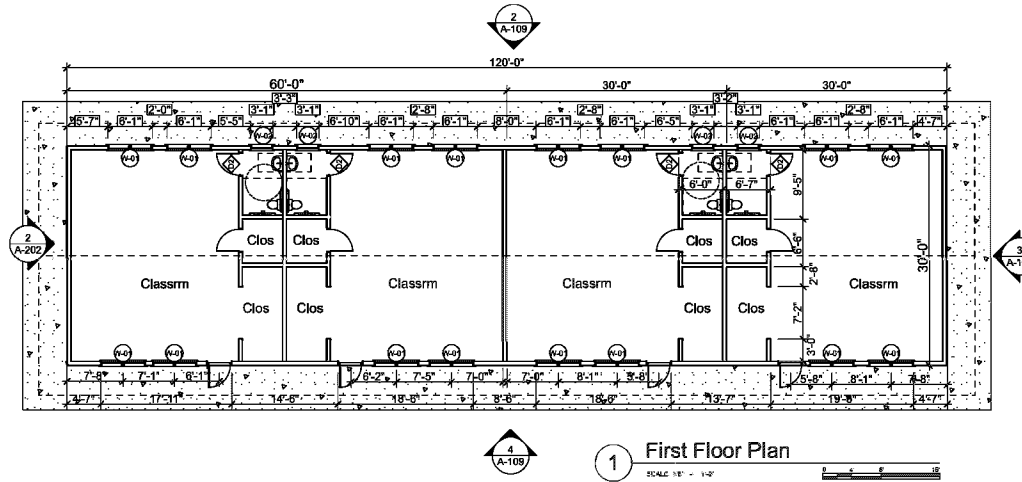
11845 SE Market 12.3.24.pln; 12/3/24, 1:47 PM



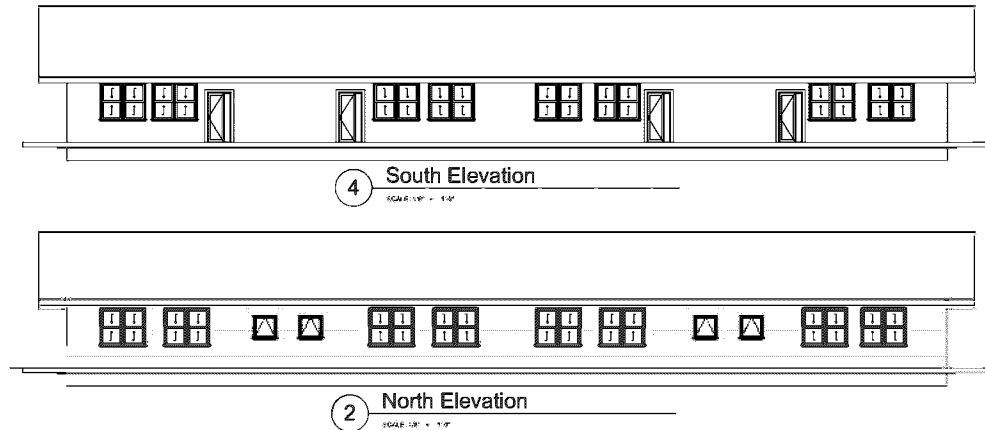
8 Generic Perspective (2)
SCALE: 1/8" = 1'-0"



6 Wall Section
SCALE: 1/2" = 1'-0"

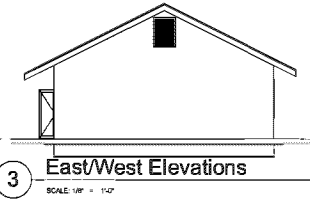


1 First Floor Plan
SCALE: 1/8" = 1'-0"

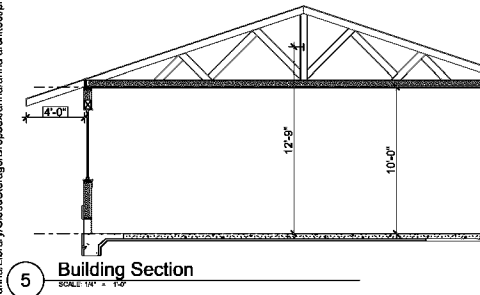


4 South Elevation
SCALE: 1/8" = 1'-0"

2 North Elevation
SCALE: 1/8" = 1'-0"



3 East/West Elevations
SCALE: 1/8" = 1'-0"



5 Building Section
SCALE: 1/4" = 1'-0"

Approved

City of Portland
Portland Permitting and Development
Don Kienholz

Planner _____

Date 1-29-25

*This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

W-01	6'-0" (16)	5'-0" (16)	Undefined	Undefined	Undefined	<input type="checkbox"/>	Undefined
W-02	3'-0" (4)	3'-0" (4)	Undefined	Undefined	Undefined	<input type="checkbox"/>	Undefined

Project Description:
New school building for an existing Portland Christian School - Elementary School
30'x120' = 3,600 sq ft. The building will have four classrooms and four ADA bathrooms.

Zone Code: RM1

Code Summary:
Building Code: OSSC 2022
Building Sq Ft: 3,600
Construction Type: VB
Occupancy: E
Occ load per classroom (4) total rooms: 900/20 = 45 occupants
Stories: 1
Sprinklers: Not required
Alarms: Not required

Table of Contents:
A - 109 Code Summary
Floor plans
Elevations
Sections
Schedules

AS - 001 Site Plan



AHHA
Architect Inc

Raphael A. Goodblatt
6663 SW Beaverton Hillsdale Hwy
#222
Portland Or. 97225
rag@ahhapdx.com
503 734 8210
Copyright 2024 AHHA Architects Inc

PROJECT OWNER:
The Christian School Society Of Portland
12425 NE San Rafael
Portland Oregon 97203

Project Location
11845 SE Market St
Portland Oregon 97216

Contact Person:
Mike@envisionproperties.org
503 709 6997

Project Date:
12/3/24

SHEET TITLE
First Floor Plan

A-109



City of Portland, Oregon - Portland Permitting & Development

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ANALYSIS

Site and Vicinity: The applicant's site is approximately 250,499-sf (about 5.75 acres). The property is located on the north side of SE Market Street, between SE 117th and 122nd Avenues and developed with 4 existing school buildings: a 24,150-sf primary building, with 12 classrooms, a library, kitchen, and offices; a 4,690-sf annex, with 4 classrooms, a 1,904-sf modular building that houses the daycare program, and 7,564-sf classroom annex with seven classrooms for art, science, music, computers and a library.

A vehicle lane for pick-up and drop-off is located in front of the primary building along SE Market St. A landscaped island separates the vehicle lane from the sidewalk on SE Market Street. There is a second pick-up and drop-off along in the western parking lot and vehicle area that abuts the main building on site and the outdoor play area. In the interior of the site there are 2 covered play areas, one with an area of 3,696 square feet and a second with an area of 1,530 square feet. The northern portion of the site is devoted to a grassy play area and athletic field. A single-family residence is located in the southwest corner of the site.

Striped parking is located on the west of the primary building and a small, isolated parking lot in the southeast portion of the site. The stripped parking areas provide a total of 43 spaces. A paved vehicle area northwest of the main parking lot contains 24 parking spaces reserved as overflow parking for special events.

The area around the site is developed with a mix of uses, including a public school and a park to the south, two churches located on either side of SE 117th Avenue south of Market Street, and two multi-dwelling properties on SE Market Street. SE 122nd Ave is located just under 500-ft to the east and serves as a main north-south arterial through the City. It is developed with commercial and multi-dwelling uses. The remainder of the surrounding area is developed with a mix of single-dwelling and multi-dwelling residential structures.

Zoning: The RM1 zone is a low-scale multi-dwelling zone that is generally applied in locations intended to provide a transition in scale to single-dwelling residential areas, such as the edges of mixed-use centers and civic corridors, and along or near neighborhood corridors. Allowed housing is characterized by one to three story buildings that relate to the patterns of residential neighborhoods, but at a somewhat larger scale and building coverage than allowed in the single-dwelling zones. The major types of new development will be duplexes, triplexes, rowhouses, courtyard housing, small apartment buildings, and other relatively small-scale multi-dwelling and small-lot housing types that are compatible with the characteristics of Portland's residential neighborhoods.

Land Use History: City records indicate there are prior land use reviews for the site. Those include:

LU 02-131833 CU AD: Approval of a Conditional Use Review to allow the addition of a 1,904 square-foot modular classroom building for the existing day care program and a new 5-space parking area adjacent to the day care building. The approval included a total of 43 parking spaces for the site.

LU 05-139520 CU AD: Approval of a Conditional Use Review to allow the proposed addition of a new 7,562 square-foot classroom building and an increase in the enrollment up to about 315 students. The approval included Adjustments to waive the requirement that 50% of the combined facades of the buildings be within the maximum allowed setback from the Transit Street on SE Market Street; reduce the required setback for the proposed roof eaves, from 8 feet to 5 feet, 9 inches, along the northern property line; and reduce the width of the required buffer for the play area, adjacent to the abutting residentially-zoned properties in the northwest corner of the property from 10 feet to 5.

Agency Review: A “Notice of Proposal in Your Neighborhood” was mailed on December 30, 2024. The following Bureaus have responded with no issues or concerns:

- Water Bureau (Exhibit E.1);
- Fire Bureau (Exhibit E.2);
- Police Bureau (Exhibit E.3);
- Life Safety Response (Exhibit E.5); and
- Site Development Section of PP&D (Exhibit E.6).

The Environmental Services Section of PP&D provided a response (Exhibit E.4) describing the existing conditions of the sanitary and stormwater systems and providing building permit information.

The Urban Forestry Section of PP&D provided a response (Exhibit E.7) noting the existing tree canopy around the site in the public right-of-way and noted the building permit will require a tree plan.

The Transportation Section of PP&D provided a response (Exhibit E.8) documenting the street classifications of streets adjacent to the site and responding to the approval criteria in 33.815.105.D.

Neighborhood Review: One written response was received from notified parties in response to the proposal. The Cherry Park Homeowners Association provided a comment (Exhibit F.1) objecting to the proposal because they believed the new building would lead to an increase in enrollment and impact the livability of nearby residential zones and cause excessive noise associated with traffic and disgruntled drivers honking due to congestion along SE Market St. The Conditional Use Approval criteria address the identified potential externalities below but it is important to note that while the proposal is to add a classroom building, the enrollment will not increase.

ZONING CODE APPROVAL CRITERIA

33.815.105 Institutional and Other Uses in Residential and Campus Institutional Zones

These approval criteria apply to all conditional uses in R and campus institutional zones except those specifically listed in sections below. The approval criteria allow institutions and other non-Household Living uses in residential and campus institutional zones that maintain or do not significantly conflict with the appearance and function of residential or campus areas. Criteria A through E apply to institutions and other non-Household Living uses in residential zones. Criteria B through E apply to all other conditional uses in campus institutional zones. The approval criteria are:

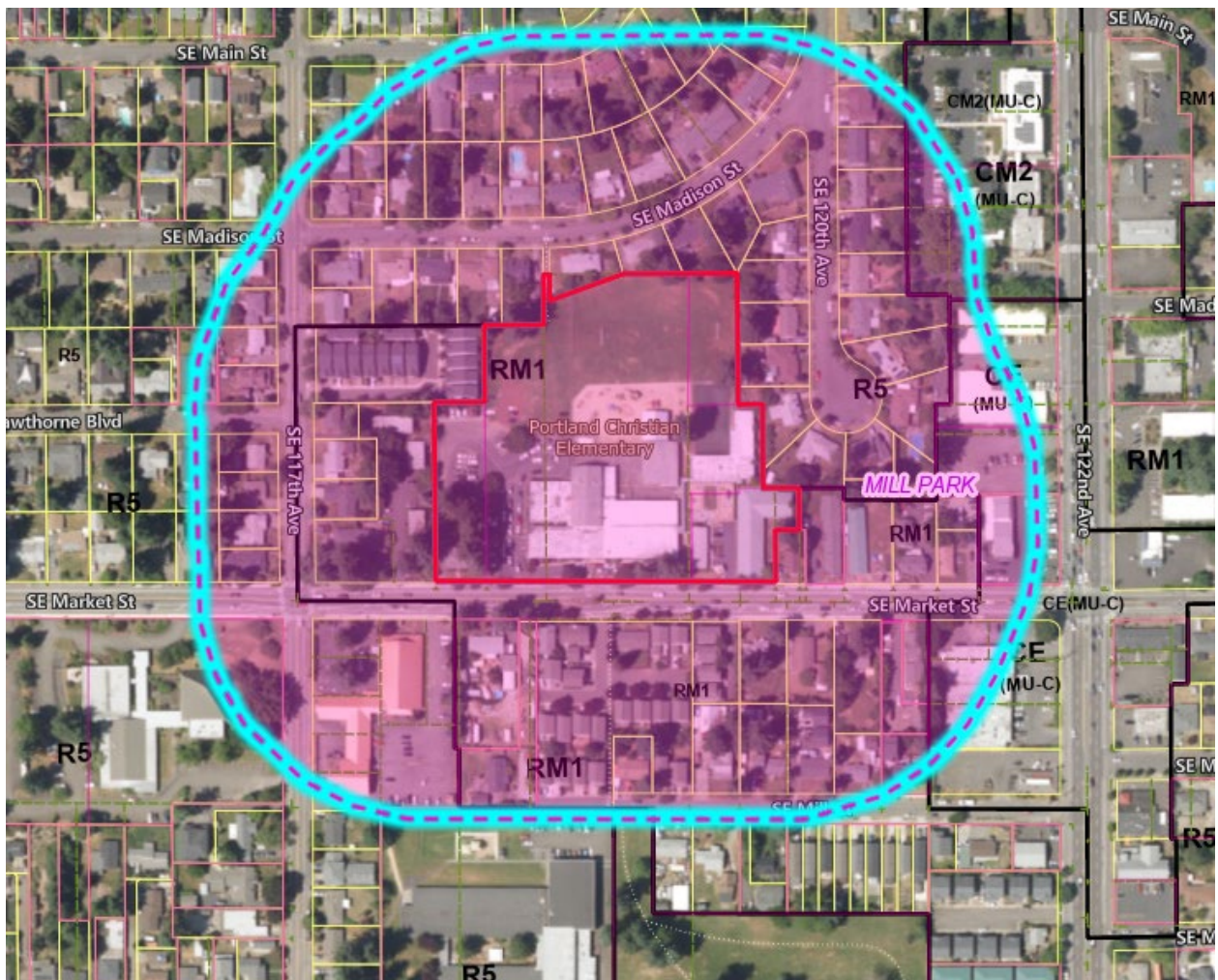
A. Proportion of Household Living uses. The overall residential appearance and function of the area will not be significantly lessened due to the increased proportion of uses not in the Household Living category in the residential area. Consideration includes the proposal by itself and in combination with other uses in the area not in the Household Living category and is specifically based on:

- 1. The number, size, and location of other uses not in the Household Living category in the residential area; and**
- 2. The intensity and scale of the proposed use and of existing Household Living uses and other uses.**

Finding: For Criteria A.1 and A.2, the terms “area” and “residential area” are synonymous and are generally defined as an approximate distance of 400 feet from the site. This distance is reasonable for three reasons: it considers all residentially-zoned property within a couple blocks of the site and evaluates the potential for adverse impacts even beyond the required 150-foot noticing distance. Note that properties within non-residential zones (such as Commercial or Open Space zones) are not included within the “residential area.”

As seen in Figure 1 below, there are approximately 129 residentially zoned lots in the defined area.

Figure 1



Of the 129 lots in the residential area, five are in non-residential zoning (CM2 and CE and not part of the evaluation). In the identified residential area, two other sites are in non-household living – two religious institutions on the south side of the intersection of SE Market St. and SE 117th.

The proposal is to construct a new approximately 3,600-sf classroom building to reallocate the student population of the school.

The use of the site as a school is already established and will not change. The proposal while increasing the number of classrooms, will not increase the number of students. As such, the addition of the classroom building to the existing school will not increase the number of non-Household Living Uses in the area and will not increase the intensity of the existing School Use. For these reasons, the overall appearance and function of the area will not be changed or adversely impacted. In order for the site to comply with previous land use approvals, two conditions of approval are necessary, one related to the unapproved drop-off lane immediately west of the play area and the other related to the special event parking area

Criteria met.

B. Physical compatibility.

1. The proposal will preserve any City-designated scenic resources; and

Finding: City-designated scenic resources are identified on the Official Portland Zoning Maps with the 's' overlay zoning symbol. As this site is not designated with the 's' overlay zone, and there are no City-designated scenic resources on the site, this criterion is not applicable.

Criterion met.

2. The proposal will be compatible with adjacent residential developments based on characteristics such as the site size, building scale and style, setbacks, tree preservation, and landscaping; or

3. The proposal will mitigate differences in appearance or scale through such means as setbacks, screening, landscaping, tree preservation, and other design features.

Finding: The approval criteria require that either 2 or 3 must be met. This means that, while the architecture of institutional uses is generally somewhat different than residential architecture, based on characteristics such as site size, building scale and style, differences may also be mitigated through setbacks, screening and landscaping. In this case, the proposed 3,600-sf building will be built north of the existing main school building and play area. The building will be approximately 265-ft from the west property line; approximately 150-ft from the north property line; 40-ft from the eastern property line; and approximately 340-ft from the south property line. The proposed building is a single-story (Exhibit C.2). The building will be screened from the closest property line (eastern) by 10-ft of L3 landscaping and a large existing evergreen tree. Distance and landscaping screen the building from the north and western property lines while distance and the existing school screen the building from the southern property line. As such, the proposed building is in a location on the site that retains adequate setbacks and the existing landscaping and screening will be enhanced, providing buffering to help ensure that the development is compatible with the residential neighborhood. Therefore, this criterion is met.

Staff finds criterion B.2 is met. Because B.2 is found to be met, compliance with B.3 is not required.

C. Livability. The proposal will not have significant adverse impacts on the livability of nearby residential zoned lands due to:

- 1. Noise, glare from lights, late-night operations, odors, and litter; and**
- 2. Privacy and safety issues.**

Finding: The proposal is for the addition of a new 3,600-sf classroom building that does not increase the student population will not change the use of the site or the intensity of the site. The proposal does not include any athletic field or associated lights, so it will not increase noise or glare from lights. The existing school has some late night functions as any school does but will the school programming will not change with the addition of new classrooms. The new building for an existing school will also not impact litter or odors. And, with the building being in the middle of the campus and L3 landscaping along the eastern property line, the proposal will not impact privacy or safety of the neighboring residences.

Criterion met.

D. Public services.

1. The proposal is supportive of the street designations of the Transportation Element of the Comprehensive Plan;

Finding: The following findings were provided by the transportation staff of Portland Permitting and Development (Exhibit E.8). For D.1:

“...The subject site has frontage on SE Market St. which is classified in the City’s Transportation System Plan (TSP) as follows:

Street Name	Pedestrian	Bicycle	Transit	Freight	Traffic	Emergency Response	Street Design
SE Market St.	City Walkway	Major City Bikeway	Local Service	Local Service	Neighborhood Collector	Secondary	Civic Corridor

Pursuant to the TSP, the above referenced street classifications include, but are not limited to, the following functions:

City Walkways are intended to provide safe, convenient, and attractive pedestrian access along major streets and trails with moderate level of pedestrian activity supported by current and planned land uses. These includes Community and Regional Corridors, non-frequent transit lines, and moderate-demand off-street trails.

Major City Bikeways form the backbone of the city's bikeway network and are intended to serve high volumes of bicycle traffic and provide direct, seamless, efficient travel across and between transportation districts.

Local Service Transit streets primarily facilitate movement of smaller transit vehicles, including paratransit and community/jobs connector shuttles. Local Service Transit Streets seldom have regular transit service except for short street segments and do not typically include transit-specific street design elements such as bus stops. Local Service Transit Streets may be used for bus movements to and from a layover facility or bus garage, for turning around at the end of a line, or for temporary reroutes of a fixed-route line.

Local Service Truck streets are intended to serve local truck circulation and access.

Neighborhood Collectors are intended to serve as distributors of traffic from Major City Traffic Streets or District Collectors to Local Service Streets or to serve trips that both start and end within areas bounded by Major City Traffic Streets and District Collectors.

Secondary Emergency Response Streets are intended to provide alternatives to Major Emergency Response Streets in cases when traffic congestion, construction, or other events occur that may cause undue delays in response times.

Civic Corridors serve people throughout the City and are designed to emphasize multimodal mobility between major activity centers.

The applicant submitted a written narrative which is discussed in detail under the approval criteria for the conditional use review. As documented in the applicant response and based on the number of projected average daily vehicle trips based on student capacity as defined in Appendix A of TRN-1.30, Thresholds for Frontage Improvement and Dedication Requirements, staff finds that an additional 94 trips are anticipated, which is less than a 15% increase in average daily trips for the existing school and less than 250 average daily trip increase. In addition, the applicant's response indicates the proposed classroom is not to increase the number of students, but to increase the useability of the existing school and classrooms on site. Transportation staff finds that the proposed use is supportive of the street designations of the Transportation Element of the Comprehensive Plan."

Based upon the Transportation Section's review and analysis of this criterion, staff finds the standard is met.

Criterion met.

2. Transportation system:

- a. The transportation system is capable of supporting the proposed use in addition to the existing uses in the area. Evaluation factors include safety, street capacity, level of service, connectivity, transit availability, availability of pedestrian and bicycle networks, on-street parking impacts, access restrictions, neighborhood impacts, impacts on pedestrian, bicycle, and transit circulation. Evaluation factors may be balanced; a finding of failure in one or more factors may be acceptable if the failure is not a result of the proposed development, and any additional impacts on the system from the proposed development are mitigated;**

Finding: Transportation staff reviewed the proposal and evaluated it against the approval criterion. In their response, they found:

Safety

Transportation staff agrees with the applicant's narrative that the minor increase in vehicular traffic that may result from the additional classrooms does not result in any new safety concerns. Separated bicycle facilities and new crossings since 2015 have been installed along SE Market through CIP TH00455. Crashes have occurred near SE Market Street & SE 117th Avenue and SE Market Street and SE 122nd Avenue prior to improvements along the SE Market Street frontage. This evaluation factor is satisfied.

Street capacity, Level of service

Street capacity and level of service are terms that apply primarily to vehicular traffic. The 24-hour volume counts found 1,445 daily trips on the east bound segment of SE Market Street and SE 122nd Avenue. West bound traffic volumes were measured at

1,174 average daily trips. This is a volume that is indicative of a local street, although the TSP Traffic Classification is Neighborhood Collector. Street capacity issues are not anticipated. Based on the description of the existing size of the classrooms and number of students already on site, staff finds the new classroom does not represent a significant increase in trips that would impact either street capacity or level of service. Approximately 94 additional trips may occur on average to and from the site if the classrooms are used to expand student capacity. The applicant has provided clarifying information that the proposed classroom is not intended to increase the number of students or capacity of the school but is instead proposed to allow better operation for students and faculty. This evaluation factor is satisfied.

Connectivity

The City's spacing goal for public through streets is a maximum of 530-ft per 17.88.040 - Through Streets. When full street connections are not possible, pedestrian and bicycle connections are sought no more than 330-feet apart. There is an existing 6-foot-wide pedestrian connection from SE Madison Street that enters the school site to provide pedestrian connectivity to SE Market Street providing a north/south connection that meets connectivity. Although the connectivity standards are not currently met between SE 117th Avenue and SE 122nd Avenue, staff acknowledges that pedestrian connections cannot be provided since the proposal does not meet the definition of an increase in trips per 17.88.020 and TRN-1.30, when transportation staff can require dedication. In addition, the existing development pattern precludes connections from being provided and is not practicable. This evaluation factor is satisfied.

Transit availability

The closest bus service is at the intersection of SE 122nd Ave and SE Market Street, which is approximately 480-feet from the site. The addition of four classrooms is not anticipated to result in changes to the availability of transit. This evaluation factor is satisfied.

Availability of pedestrian and bicycle networks

Separated sidewalk facilities and bicycle facilities existing along SE Market Street. The subject site has an 8-foot curb tight sidewalk and mid-block crossing with separated bicycle facilities. Curb extensions exist at the intersection of SE Market and SE 117th Avenue, which improves pedestrian safety. The sidewalk is buffered from vehicular traffic movement by an existing bike lane and existing parking and bike lane on the south side of SE Market Street. The result of four new classrooms will not impact the availability of existing pedestrian and bicycle networks. This evaluation factor is satisfied.

Access restrictions

The site has an existing driveway to SE Market Street. No changes are proposed or required. This evaluation factor is satisfied.

Neighborhood Impacts

Impacts on pedestrian, bicycle, and transit circulation
No changes are proposed to the location of streets or sidewalks surrounding the site. Circulation through the area will follow the same routes followed now. The minimal increase in trips will have no impact on the pedestrian bicycle circulation."

Transportation staff found the proposal to add additional classrooms to an existing school and not students does not adversely impact the identified factors and as such, the transportation system is capable of supporting the existing use.

Criterion met.

- b. Measures proportional to the impacts of the proposed use are proposed to mitigate on- and off-site transportation impacts. Measures may include transportation improvements to on-site circulation, public street dedication and improvement, private street improvements, intersection improvements, signal or other traffic management improvements, additional transportation and parking demand management actions, street crossing improvements, improvements to the local pedestrian and bicycle networks, and transit improvements;**
- c. Transportation improvements adjacent to the development and in the vicinity needed to support the development are available or will be made available when the development is complete or, if the development is phased, will be available as each phase of the development is completed;**

Finding: Transportation staff reviewed the proposal for potential impacts on the transportation system and potential mitigation measures should there be impacts. Transportation staff stated:

“As evidenced by the findings referenced above, transportation staff does not find that the proposed increase in vehicular trips to and from the site exceed the increase in trips threshold of TRN-1.30; and therefore, off-site mitigation is not warranted for the proposed use.”

Transportation staff then noted no mitigation was required, they had no objections and recommended approval of the proposal (Exhibit E.8). Based on PBOT's review and analysis above, staff finds the criterion is met.

Criterion met.

3. Public services for water supply, police and fire protection are capable of serving the proposed use, and proposed sanitary waste disposal and stormwater disposal systems are acceptable to the Bureau of Environmental Services.

Finding: The Water Bureau provided a response (Exhibit E.1) noting the existing infrastructure on site for the existing use and that they do not object to the proposal. The Fire Bureau provided a response (Exhibit E.2) noting they have no objection to the proposal. The Police Bureau provided a response (Exhibit E.3) stating they are capable of serving the site and have no objections to the proposal. The Environmental Section of PP&D oversees the City's sanitary and stormwater systems and reviewed the proposal, providing a response (Exhibit E.4) that identifies the existing service to the site. They went on to find the proposed sanitary sewer service and the stormwater system is acceptable.

Criterion met.

E. Area plans. The proposal is consistent with any area plans adopted by the City Council as part of the Comprehensive Plan, such as neighborhood or community plans.

Findings: This site is located within the plan boundaries of the adopted Mill Park and Hazelwood Neighborhood Plans and the Outer Southeast Community Plan. None of the policies or objectives of these plans were found to be directly applicable to this proposal.

Criterion met.

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

Based on the project value that was supplied by the applicant, a building permit for this project will not trigger Zoning Nonconforming Upgrades, per 33.258.070.D. However, should the building permit exceed the Non-Conforming Upgrade value threshold at the time of building permit (\$356,000 at the time of this decision), Non-Conforming Upgrades will be required to meet 33.258.070.D. If triggered, the applicant should be prepared to demonstrate in permit plans the existing site conditions and how the proposal complies with the relevant regulations of 33.259.070.

CONCLUSIONS

The proposal meets the Conditional Use approval criteria for Institutional and Other Uses in R Zones. The proposed school addition will be located on the same site as an existing elementary school facility and will not increase the student population. The proposal will not change the proportion of Household Living uses nor lessen the residential appearance or function of the area. The single-story 3,600-sf building will not impact the City's identified scenic resources and will be compatible with the nearby residential development. The proposal will not negatively impact livability as it will not increase noise, glare from lights, late-night operations, odors or litter, nor the new classroom building impact privacy or create safety issues. The proposal will not place an unacceptable burden on the transportation system or other City services and is consistent with the Policies and Objectives of adopted area plans. Because it meets the approval criteria, it must be approved.

ADMINISTRATIVE DECISION

Approval of a 3,600-sf classroom building for the existing school, per the approved site plans, Exhibits C.1 through C.2, signed and dated January 29, 2025, subject to the following conditions:

- A. A finalized building permit must be obtained to document the approved project. As part of the permit application submittal, each of the site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C.1-C.2. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 24-089508 CU."
- B. The drop-off lane adjacent immediately west of the play area shall be removed and replaced with the 19 parking spaces shown on approved site plan Exhibit C.1 from the 2005 Conditional Use Review LU 05-139520 CU AD and replicated on the current site plan Exhibit C.1.
- C. The event parking area located in the west-central area of the site may not be striped and is to be used for special event parking only - not for day-to-day use. A sign shall be posted at the entrance of the special parking area designating it as special event parking only. Access to the parking area shall be restricted with a physical barrier to prevent day-to-day parking; this may consist of chains, removable bollards, arm barriers, gates, temporary fencing or a similar physical barrier.

Staff Planner: Don Kienholz



Decision rendered by: _____ **on January 29, 2025.**
By authority of the Director of Portland Permitting & Development

Decision mailed: February 3, 2025

PROCEDURAL INFORMATION

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. This application was submitted on October 21, 2024. The application was determined to be complete on December 23, 2024.

ORS 227.178 states the City must issue a final decision on land use review applications within 120 days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant extended the 120-day review period by 14-days. Unless further extended by the applicant, **the 120 days will expire on: May 6, 2025.**

Some of the information contained in this report was provided by the applicant. As required by Zoning Code Section 33.800.060, the burden of proof is on the applicant to show that the approval criteria are met. Portland Permitting & Development has independently reviewed the information submitted by the applicant and has included this information only where Portland Permitting & Development has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of Portland Permitting & Development with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed to the Hearings Officer, and if appealed a hearing will be held. Information on filing the appeal and the appeal form are available from Portland Permitting & Development website: <https://www.portland.gov/ppd/zoning-land-use/land-use-review-fees-and-types/land-use-review-appeals>. Appeals must be received **by 4:30 PM on February 17, 2025. The completed appeal application form must be emailed to LandUseIntake@portlandoregon.gov and to the planner listed on the first page of this decision.** If you do not have access to email, please telephone the planner listed on the front page of this notice about submitting the appeal application. **An appeal fee of \$250 will be charged.** Once the completed appeal form is received, Bureau of Development Services staff will contact you regarding paying the appeal fee. The appeal fee will be refunded if the

appellant prevails. There is no fee for Office of Community and Civic Life recognized organizations for the appeal of Type II and IIX decisions on property within the organization's boundaries. The vote to appeal must be in accordance with the organization's bylaws. Please contact the planner listed on the front page of this decision for assistance in filing the appeal and information on fee waivers. Please see the appeal form for additional information.

If you are interested in viewing information in this file, please contact the planner listed on the front of this notice. The planner can email you documents from the file. A fee would be required for all requests for paper copies of file documents.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Hearings Officer on an appeal would be the final decision of the City. Any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Hearings Officer an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this land use review is approved the final decision will be recorded with the County Recorder. *Unless appealed*, the final decision will be recorded by Portland Permitting & Development.

Expiration of this approval. Generally, land use approvals (except Comprehensive Plan and Zoning Map Amendments) expire five years from the date of the final decision unless one of the actions below has occurred (see Zoning Code Section 33.730.130 for specific expiration rules):

- A City permit has been issued for the approved development,
- The approved activity has begun (for situations not requiring a permit), or

In situations involving only the creation of lots, the final plat must be submitted within three years.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within seven years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Applying for permits. This land use decision is **not a permit** for development. A building permit or development permit may be required before carrying out an approved project. See <https://www.portland.gov/ppd/permit-review-process/apply-permits>. At the time they apply for a permit, permittees must demonstrate compliance with:

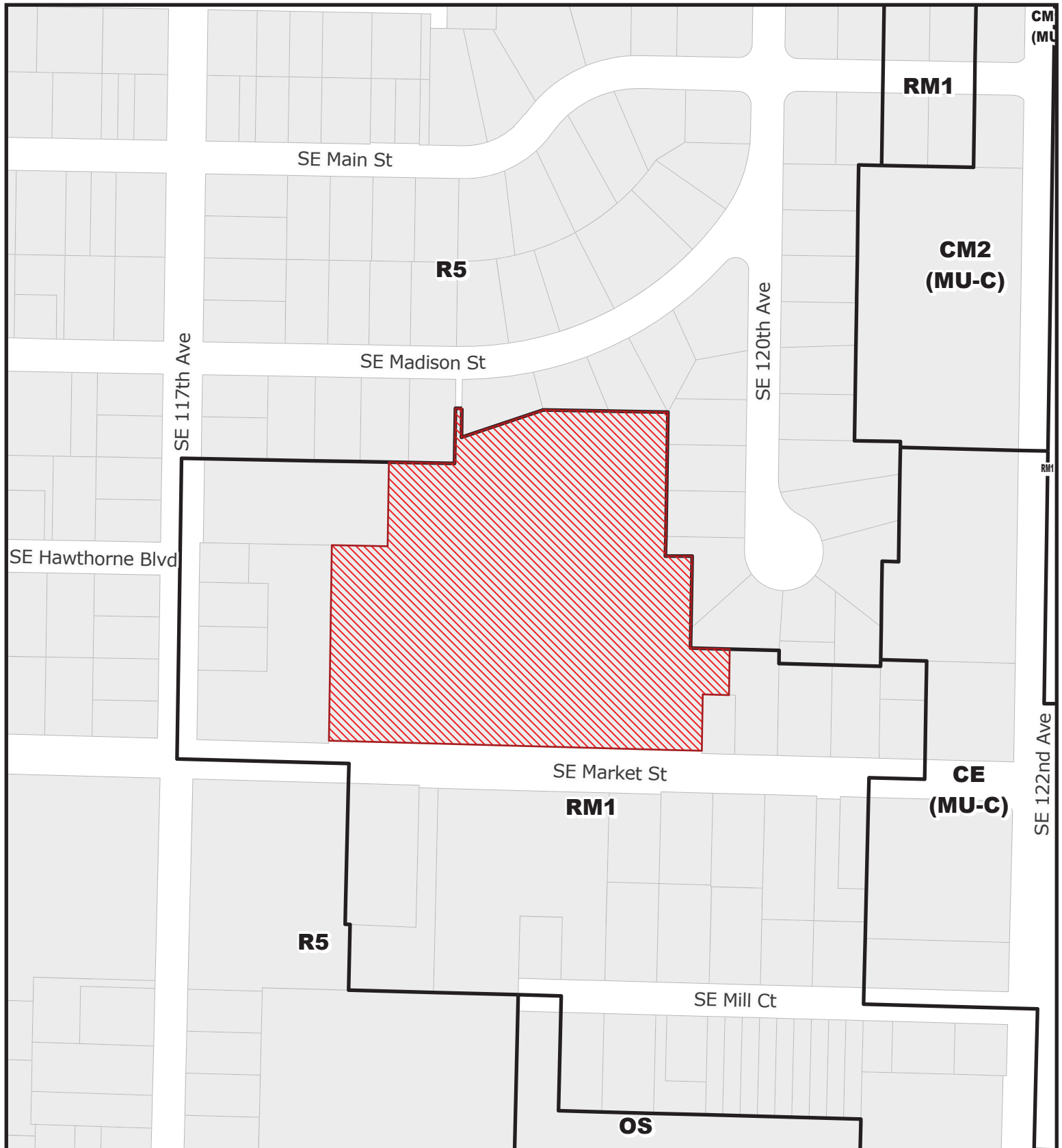
- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

EXHIBITS (not attached unless indicated)

- A. Applicant's Materials
 - 1. Narrative
 - 2. Original Site Plan
 - 3. 2005 CU Site Plan
 - 4. Applicant Clarification on Special Event Parking Area
 - 5. Filled out PBOT Scoping Form
 - 6. Approved PBOT Scoping Form
 - 7. Supplemental narrative
 - 8. 14-day statutory clock extension
- B. Zoning Map (attached)
- C. Plans/Drawings:
 - 1. Site Plan (attached)
 - 2. Elevation Plan (attached)
- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Responses:
 - 1. Water Bureau
 - 2. Fire Bureau
 - 3. Police Bureau
 - 4. Environmental Service Section of PP&D
 - 5. Life Safety Response
 - 6. Site Development Section of PP&D
 - 7. Urban forestry
 - 8. Transportation Section of PP&D
- F. Correspondence:
 - 1. January 16, 2025 email from the Cherry Park Homeowners Association objecting to the proposal.
- G. Other:
 - 1. Original LU Application
 - 2. November 4, 2024 incomplete letter
 - 3. November 21, 2024 incomplete letter

The City of Portland ensures meaningful access to City programs, services, and activities to comply with Civil Rights Title VI and ADA Title II laws and reasonably provides: translation, interpretation, modifications, accommodations, alternative formats, auxiliary aids and services. Request these services online or call 503-823-4000, Relay Service: 711.

503-823-4000 Traducción e Interpretación | Biên Dịch và Thông Dịch | 口笔译服务 | Устный и письменный перевод | Turjumaad iyo Fasiraad | Письмовий і усний переклад | Traducere și interpretariat | Chiaku me Awewen Kapas | अनुवादन तथा व्याख्या



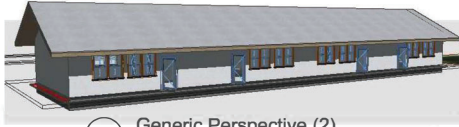
For Zoning Code in Effect Post October 1, 2024

ZONING 

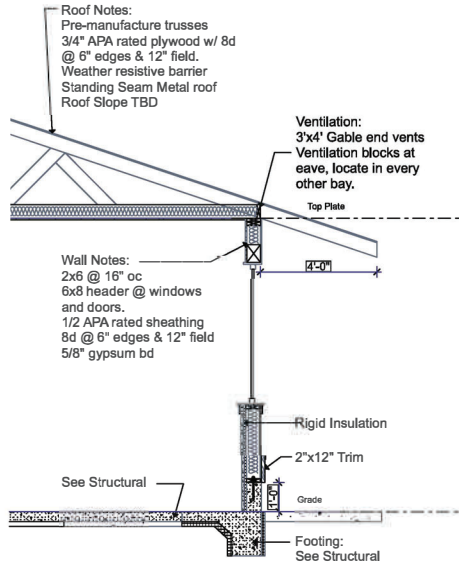
 Site

File No.	<u>LU 24 - 089508 CU</u>
1/4 Section	<u>3142,3242</u>
Scale	<u>1 inch = 200 feet</u>
State ID	<u>1S2E03AD 9800</u>
Exhibit	<u>B</u> <u>Oct 17, 2024</u>

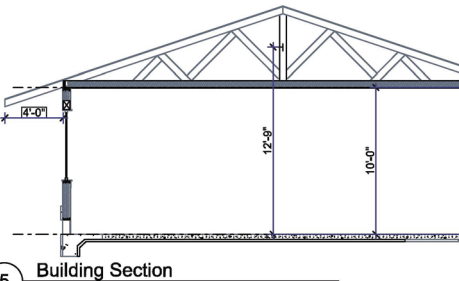
11845 SE Market 12.3.24.pln; 12/3/24, 1:47 PM



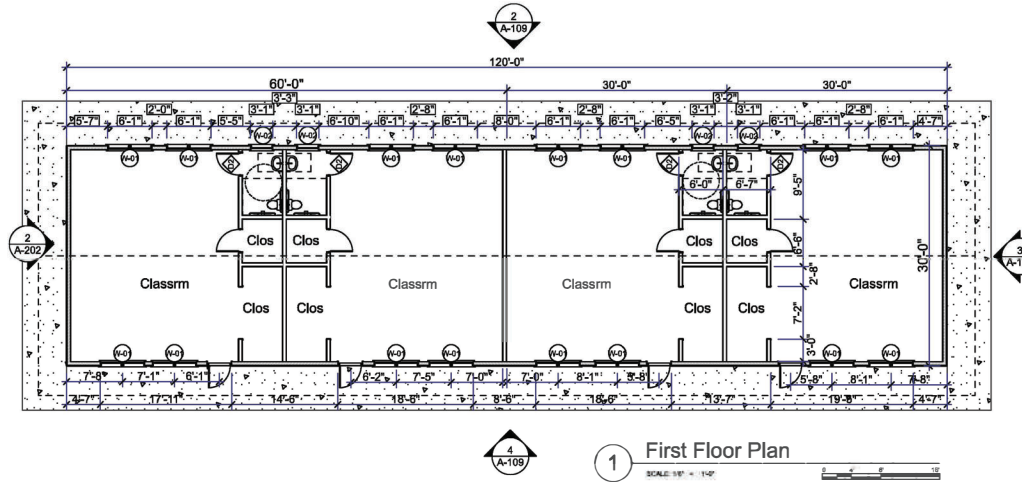
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SCALE: 1/125.0"



6 Wall Section
SCALE: 1/2\"/>



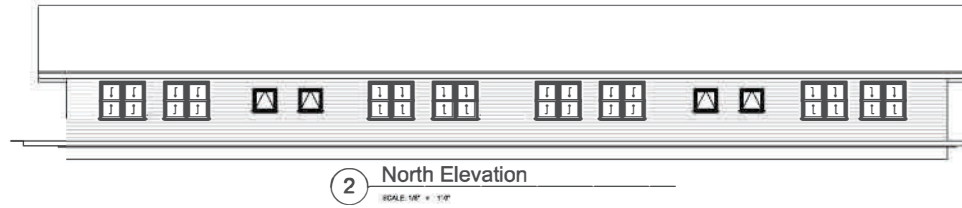
5 Building Section
SCALE: 1/4\"/>



1 First Floor Plan
SCALE: 3/8\"/>



4 South Elevation
SCALE: 1/8\"/>



2 North Elevation
SCALE: 1/8\"/>



3 East/West Elevations
SCALE: 1/8\"/>

Project Description:
New school building for an existing Portland Christian School - Elementary School 30'x120' = 3,600 sq ft. The building will have four classrooms and four ADA bathrooms.

Zone Code: RM1

Code Summary:
Building Code: OSSC 2022
Building Sq Ft: 3,600
Construction Type: VB
Occupancy: E
Occ load per classroom (4) total rooms: 900/20 = 45 occupants
Stories: 1
Sprinklers: Not required
Alarms: Not required

Table of Contents:
A - 109 Code Summary
Floor plans
Elevations
Sections
Schedules

AS - 001 Site Plan



AHHA
Architect Inc

Raphael A. Goodblatt
6663 SW Beaverton Hillsdale Hwy
#222
Portland Or, 97225
rag@ahhapdx.com
503 734 8210
Copyright 2024 AHHA Architect Inc

PROJECT OWNER:
The Christian School Society Of Portland
12425 NE San Rafael
Portland Oregon 97203

Project Location
11845 SE Market St
Portland Oregon 97216

Contact Person:
Mike@envisionproperties.org
503 709 6997

Project Date:
12/3/24

SHEET TITLE
First Floor Plan

A-109

Approved
City of Portland
Portland Permitting and Development
Planner Don Kienholz
Date 1-29-25
***This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.**

W-01	6'-0" (16)	5'-0" (16)	Undefined	Undefined	Undefined	<input type="checkbox"/>	Undefined
W-02	3'-0" (4)	3'-0" (4)	Undefined	Undefined	Undefined	<input type="checkbox"/>	Undefined

REMARKS
Undefined
Undefined
Undefined
REMARKS

GENERAL INFORMATION

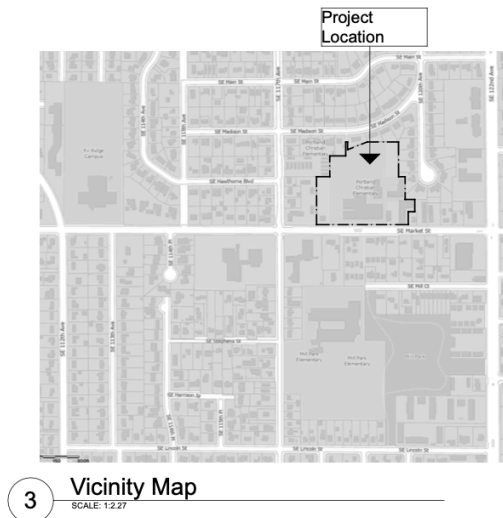
Applicant:	The Christian School Society of Portland Oregon/Portland Christian School
Consultants:	Raphael Goodblatt AHHA Architect Inc Mark R. Bello Consulting
Property Owner:	The Christian School Society of Portland Oregon
Site Address:	11845 SE Market Street
Legal Description:	TL 9800 1S2E03AD
Tax Account No.:	R992031420
Quarter Section:	3142, 3242
Neighborhood:	Mill Park
Business District:	Gateway Area Business Association
Zoning:	RM1 – Residential Multi-Dwelling
Case Type:	Type II, an administrative decision with appeal to the Hearings Officer

Proposal: The Portland Christian School proposes a new classroom building within the existing campus, which has four existing classroom buildings. The new classroom building is 3,600 sq ft. The new building will be centrally located, adjacent to the larger play area. The new building will be divided into four classrooms for twenty students each. The proposed 3,600 SF building area triggers Type II Conditional Use Review per Zoning Code Section 33.815.040 B.

Relevant Approval Criteria: To be approved, this proposal must comply with the approval criteria of Title 33. The relevant criteria are in Zoning Code Section 33.815.105. A-E

ANALYSIS

Site and Vicinity:



Site and Vicinity:

The applicant's site consists of one 5.75 acre parcel, assembled from multiple parcels.

This site is currently developed with a main school building and three satellite classroom buildings totaling 38,310 SF:

- The 24,150 SF primary building, contains 12 classrooms, a library, kitchen, offices and a gym.
- a 4,690 SF annex, with 4 classrooms;
- a 7,563 SF classroom annex
- a 1,907 square-foot modular building that houses the daycare program

Adjacent to these buildings are two covered play areas, totaling 5,226 SF and two uncovered play areas. All these buildings are located on the southern part of the site. The northern part of the site is a grassy field.

An existing 1,273 SF house is somewhat separated from the main school buildings, and is located in the southwest corner of the site.

Parking and access are as follows:

- parking for 62 spaces immediately adjacent to the west and northwest of the primary elementary school building, including two ADA parking spaces; 24 of these spaces are intended for special events and not striped.
- parking for five spaces is located adjacent to the daycare building in the southeast corner of the site.
- bus loading space is provided along the west side of the primary building
- A one way drive-through for pick-up and drop-offs is located in front of the primary building. A landscaped island separates the drive-through from the sidewalk on SE Market Street.
- The main parking lot exit drive onto SE Market is from a one way drive aisle along the west side of the site.
- 22 bike spaces are provided adjacent to the north elevation of the primary elementary school building.

The site is located on the north side of SE Market Street just east of SE 117th and 122nd Avenue. The site is immediately adjacent to a mix of houses and apartments to the west in the RM1 zone and single detached dwellings in the R5 zone to the north and northeast.

The area around the site is developed with a mix of uses. In this R5 zone, across the street are two churches. Nearby is Mill Park Elementary School and Mill Park, a public open space.

Farther to the west, on the north side of SE Mill Street at SE 112th Avenue, is located the David Douglas Fir Ridge alternative high school campus.

Farther to the east, along SE 122nd Avenue is a mix of commercial and multi-dwelling buildings.

In general, the area can be characterized by a mix of commercial and institutional uses seeded in the Mill Park Neighborhood.

Southeast Market Street is classified as a Local Service Street, Minor Transit Street, City Bikeway, and City Walkway. The street has a 60-foot right-of-way with a 44-foot roadway, with curbs and an 8-foot-wide sidewalk. Portland Maps do not provide current traffic counts.

There is no transit available directly on SE Market Street but the number 73 runs along SE 122nd Avenue, and number 20 along SE Stark and MAX along Burnside.

Zoning: The RM1 zone is a low-scale multi-dwelling zone that is generally applied in locations intended to provide a transition in scale to single-dwelling residential areas, such as the edges of mixed-use and commercial corridors, and along or near neighborhood corridors.

Land Use History: Prior land use reviews for the subject site include:

- 05-139520 CU AD approval of a Conditional Use Review to allow the an addition of a new 7,562 square-foot classroom building and an increase in the enrollment up to about 315 students. Approval of Adjustments to · Waive the requirement that 50% of the combined facades of the buildings be within the maximum allowed setback from the Transit Street on SE Market Street (Code Sections 33.120.275 C.2 , Table 120-5 and 33.120.220 B), and · Reduce the required setback for the proposed roof eaves, from 8 feet to 5 feet, 9 inches, along the northern property line (Code Section 33.120.275 C 1, Table 120-5), and · Reduce the width of the required buffer for the play area, adjacent to the abutting residentially-zoned properties in the northwest corner of the property from 10 feet to 5 feet (Code Section 33.120.275 C 1, Table 120-5).
- 02-131833 CU AD 2002 approval of a Conditional Use Review to allow the addition of a 1,904square-foot modular classroom parking area, with 5 additional spaces, adjacent to the day care building. An Adjustment Review was also approved to allow the proposed 5 additional new parking spaces, with retention of 38 existing parking spaces, for a total of 43 "official" parking spaces for the site.

ZONING CODE APPROVAL CRITERIA.

Conditional Uses

33.815.010

Certain uses are conditional uses instead of being allowed outright, although they may have beneficial effects and serve important public interests. They are subject to the conditional use regulations because they may, but do not necessarily, have significant adverse effects on the environment, overburden public services, change the desired character of an area, or create major nuisances. A review of these uses is necessary due to the potential individual or cumulative impacts they may have on the surrounding area or neighborhood. The conditional use review provides an opportunity to allow the use when there are minimal impacts, to allow the use but impose mitigation measures to address identified concerns, or to deny the use if the concerns cannot be resolved.

33.815.105 Institutional and Other Uses in Residential and Campus Institutional Zones

These approval criteria apply to all conditional uses in R and campus institutional zones except those specifically listed in sections below. The approval criteria allow institutions and other non-Household Living uses in residential and campus institutional zones that maintain or do not significantly conflict with the appearance and function of residential or campus areas. Criteria A through E apply to institutions and other non-Household Living uses in residential zones. The approval criteria are:

A. Proportion of Household Living uses. The overall residential appearance and function of the area will not be significantly lessened due to the increased proportion of uses not in the Household Living category in the residential area. Consideration includes the proposal by itself and in combination with their uses in the area not in the Household Living category and is specifically based on:

1. The number, size, and location of other uses not in the Household Living category in the residential area; and
2. The intensity and scale of the proposed use and of existing Household Living uses and other uses.

Staff analysis of the last conditional use request in 2005 determined that the impact area extends from SE 117th Avenue to SE 122nd Avenue and from SE Lincoln to SE Main. This area is predominantly residential but contains other institutional uses – school, park, churches.

This proposal is for the expansion of development on an existing school site. The proposal for four additional new classrooms will increase the total of elementary classrooms for 47 to 51. There are currently 27 Early Childhood education classrooms and 20 elementary classrooms.

No residential demolitions are needed for the expansion as the new building will be built on the grassy field just north of a play area. The building will be located away from the east property line.

Therefore, the expansion is located on available space on the school site, near the center of the school site, and will not create any significant change in the residential character of this area. The increase in the overall development devoted to the school use at this site will not significantly intensify the use, so this will not impact the character of the residential area. Therefore, these criteria are met.

B. Physical compatibility –

1. The proposal will preserve any City designated scenic resources; and

Findings: City-designated scenic resources are protected with a “s” or Scenic Resource Overlay Zone. There are no designated scenic resources on the site. Therefore, this criterion does not apply.

2. The proposal will be compatible with adjacent residential developments based on characteristics such as the site size, building scale and style, setbacks, tree preservation, and landscaping; or
3. The proposal will mitigate differences in appearance or scale through such means as setbacks, screening, landscaping, tree preservation, and other design features.

Findings: The approval criteria require that either 2 or 3 must be met. This means that while the architecture of institutional uses is generally somewhat different than residential architecture, based on characteristics such as site size, building scale and style, differences may also be mitigated through setbacks, screening and landscaping in this case the proposed building will be built adjacent to the playground 40 feet from the east property line, 152 feet from the north property line and 267 feet from the west property line. Any landscaping, including a tree directly adjacent to the east will be preserved, providing buffering to help ensure that the development is compatible with

the residential neighborhood. Therefore, criterion B.3 is met and B.2 does not have to be addressed.

C. Livability

Noise

The new structure will be placed adjacent to the existing playground. This has the potential to provide neighbors with a shield against recess noise during the day. Since the new building are classrooms, the noise level will be low as learning will be taking place.

Glare from lights

Any lighting on the new building would face inward toward our play structures away from residences to the east.

Late-night-operations

No late-night operations are proposed.

Odors

The new structure will be developed with classrooms only, so the proposal is unlikely to be a source of significant odor impacts.

Litter

The new classroom structure does not include a cafeteria, so the proposal is unlikely to cause a significant increase in litter.

Privacy

The new classroom building will only be one-story, will be set back 40 feet from the nearest - east - property line . The building will be used during the day rather than at night. Therefore, the proposal will not significantly impact neighbors' privacy.

Safety

The building would be fenced in to match the rest of our campus, and to provide safety for children.

The structure would be open and accessible to fire and police anytime needed. All permits relating to fire and life safety will be obtained.

Summary

For the reasons discussed above, the proposal will not have significant adverse impacts on neighborhood livability. Therefore, these criteria are met.

C. Public Services

1. The proposed use is in conformance with the street designation of the Transportation element of the Comprehensive Plan;
2. The transportation system is capable of supporting the proposed use in addition to the existing uses in the area. Evaluation factors include street capacity, level of service; and other performance measures; access restrictions; neighborhood impacts; impacts on pedestrian, bicycle, and transit circulation; safety or modes; and adequate transportation demand management strategies.

Findings: The school fronts on Se Market Street, which is designated as a Local Service Street, Minor Transit Street, City Bikeway, and City Walkway. Check

Street Capacity and Level of Service. Based on the minimal addition of four classrooms, no impacts on the street capacity or level of service is expected.

Access to Arterials. The site fronts onto SE Market Street, a Local Service Street, that provides direct access to Se 122nd Avenue, which is an arterial.

Connectivity. Street dedication and sidewalks improvements on SE Market Street have been made per conditions of approval of past Conditional Use approvals.

Transit Availability. Transit service is available, close to the site, via TriMet bus line #71.

On-Street Parking Impacts. The existing parking spaces on the site should be adequate to meet the regular needs of this facility. In addition to the 43 striped spaces for 36 teachers plus staff there is ample event space, 24 parking spaces. There may be occasional demand for on-street parking by visitors to the site for special activities that occur, on average, three times per year. The school has agreements with churches that are located within one block of the site, on SE Market Street, to share parking for these special events. Therefore, there should be no regular or ongoing impacts on on-street parking.

Access Restrictions. There are no access restrictions in place at the site.

Neighborhood Impacts. School hours will remain the same from 8:00-4:00 M,T,W,TH,F. Ten percent of students carpool and share rides. There is an uptick in traffic during dismissal from 3:00-3:10 which levels off quickly from 3:10-3:20.

Impacts on Pedestrian, Bicycle, and Transit Circulation. None anticipated. Six additional bike spaces will be provided.

Vision Zero does not include this segment of Market Street as a problem.

Safety for All Modes

We currently have 67 parking spaces, 2 disable driver and a loading zone. We are not purposing any changes to the parking lot. We will continue with the usual service vehicle visits with no changes needed.

Street Improvements

3. Public services for water supply, police and fire protection are capable of service the proposed use, and proposed sanitary waste disposal and stormwater disposal systems are acceptable to the Bureau of Environmental Service.

Findings: These services are currently provided and the minimal increase in impact can be accommodated. The Site Plan drawing sheet AS - 001 shows the location of the services. The staff report may suggest addition conditions of approval.

E. Area Plans

Findings: This site is located within the plan boundaries of the adopted Mill Park and Hazelwood Neighborhood Plans and the Outer Southeast Community Plan. In agreement with previous staff analysis, it is fair to say that a reading of these plans does not indicate any policies or objectives directly applicable to this proposal and this proposal is consistent with these plans and this criterion is met.

DEVELOPMENT STANDARDS

The project is subject to the RM1 base zone standards (Ch. 33.120) and; Institutional Standards (Sections 33.110.270 and 33.120.275); referenced by Schools and School Site (Ch. 33.281)

Applicant agrees to the following: Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

Conclusion.

The applicant proposes a classroom building in the center of the site adjacent to other classroom annexes. Neighborhood compatibility will be protected by modest building height and adequate setback to the east and large setbacks to the north and west. The proposal will not cause significant, adverse impacts on the livability of the neighborhood due to its incremental nature. The transportation system and other public services will be minimally taxed by the addition of four classrooms to an established educational campus. The proposal is consistent with the Mil Park Plan, which does not provide specific policy guidance. As described above, the proposal meets the applicable Conditional Use approval criteria.

3 Vicinity Map

SCALE: 1:2.27

2 11845 SE Market - Aerial Photo

5 SW -180
SCALE: 1:1.72

The Prescriptive Path calls for:

- 1 The Tree Root Protection Zone (diagram at right) to have a 1-foot radius from the center of the trunk per inch of tree diameter.
 - For example, a 12-inch diameter tree would require a 12-foot radius root protection zone.
- 2 The root protection fencing must be a minimum of 6-foot high chain link fence secured with 8-foot metal posts, at the edge of the root protection zone.
- 3 Existing structures and/or existing secured fencing at least 3.5 feet tall can serve as the required protective fencing.
- 4 Place the yellow sign marked 'Tree Root Protection Zone' prominently on the fence designating the root protection zone and describing the penalties for violation.
- 5 Install the fence before any ground-disturbing activities take place, including clearing, grading, or construction.
- 6 Keep the fence in place until final inspection.

6 Tree protection

1 Site Plan
SCALE: 1" = 30'

Project Description:

Existing school building a New 3,600
sq ft one story classroom building

Existing Site Area	250,470
--------------------	---------

Building Area:	
Existing Classroom/Bldg Area	42,005
New Building Area	3,600
Total	45,605

Existing Exterior Improvements:	
Existing Pedestrian path	9,905
Existing Parking & Drive Aisles	49,953
Existing Play Area Paved	9,936
Total	69,794

Parking Spaces 67

Existing Other Play Area (bark chip area)	30,565
--	--------

Total	101,359
-------	---------

New Exterior Improvements:	
New Pedestrian path	2,360

Far	17%
Height	12'-9"
Setbacks	150' North PL, 40' East PL, 268' West PL
New & Existing Building Coverage	New 3,600 & 42,000 Exiting
New Bldg. Length	120'
Main Entrance	N/A
Street-facing facade	N/A
Landscape Areas	94,745 sf
Trees	Title 11

4 Zoning

SCALE: 1:1.0



AHHA

Architect Inc

Raphael A. Goodblatt
6663 SW Beaverton Hillsdale Hwy
#222
Portland Or. 97225
rag@ahhapdx.com
503 734 8210
Copyright 2024 AHHA Architect Inc

PROJECT OWNER:

The Christian
School Society Of Portland
12425 NE San Rafael
Portland Oregon 97203

Project Location
11845 SE Market St
Portland Oregon 97216

Contact Person:
Mike@envisionproperties.org
503 709 6997

Project Date:

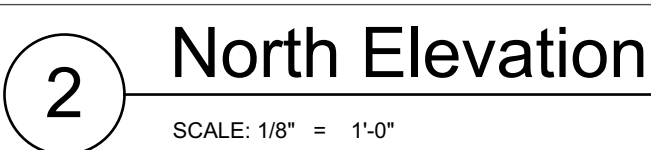
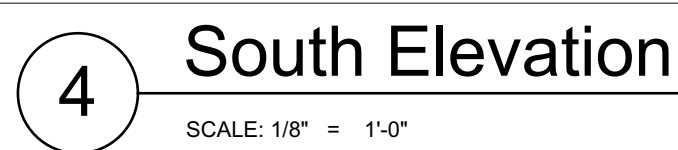
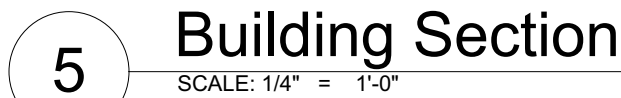
SHEET TITLE

Site Plan

LU 24-089508 CU
Exhibit A.2

AS-001

11845 SE Market 10.14.24.pln: 10/16/24, 1:46 PM



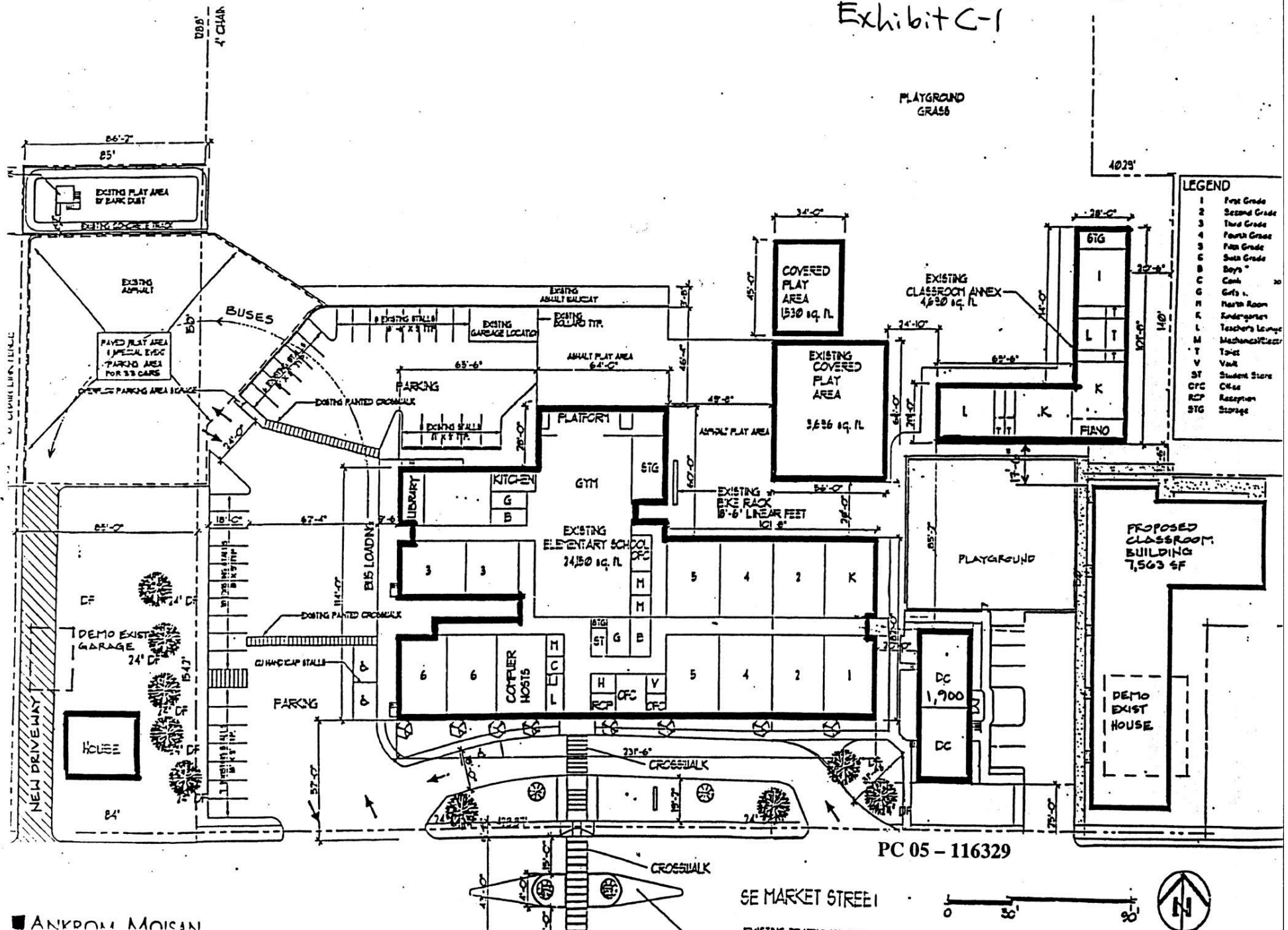
WINDOW SCHEDULE									
WINDOW NUMBER		ROOM NAME	WIDOW SIZE		TYPE	ACCESSORIES	U-VALUE	TEMPERED	REMARKS
ROOM	ID		NOMINAL WIDTH	NOMINAL HEIGHT					
	W-01		6'-0" (16)	5'-0" (16)	Undefined	Undefined	Undefined	<input type="checkbox"/>	Undefined
	W-02		3'-0" (4)	3'-0" (4)	Undefined	Undefined	Undefined	<input type="checkbox"/>	Undefined

AS - 001 Site Plan



LU 24-089508 CU
Exhibit A.2

L405.139520 CUAD
Exhibit C-1



Kienholz, Don

From: raphael goodblatt <ragoodblatt@gmail.com>
Sent: Wednesday, December 11, 2024 4:31 PM
To: Kienholz, Don; Mark Bello LLC
Subject: Re: LU - 089508 - CU

Thanks.

The parking area will be separated by removable cones.

I was going to ask about this parking area. It has already been approved as the temp, parking area without any additional requirements in the previous LU. Leaving the parking as is, is why a Type II was approved.

Thanks for the help regarding the PBOT form.
Raphael

R. Goodblatt

On Wed, Dec 11, 2024 at 4:26 PM Kienholz, Don <Don.Kienholz@portlandoregon.gov> wrote:

Hi Raphael,

Thanks for these materials. The scoping form didn't have the PBOT approval on it so I forwarded it on to the email addresses those go to (it's at the bottom of the form and here if you ever need it again: pbotdevrevtrafficscopes@portlandoregon.gov). Once they give me the thumbs up we'll be good on that.

The only thing I didn't see besides PBOT's scoping approval is a note in a narrative or on the site plan about how the school keeps or will keep people from using that special event parking when there are no special events. Are there bollards or a chain across the access? It can be provided in an email to make it easier as well.

Once we have the PBOT scoping approval and clarification on the access to the special parking area it will be deemed complete and we'll send out the public notice. I'm drafting the notice now. The notice is for 21-days and we generally get the decision out about 7 days after that.

Best,

Don Kienholz, Senior City Planner

Portland Permitting & Development

Land Use Services Division, Title 33 Section

[1900 SW Fourth Ave, Suite 5000](#)

[Portland, OR 97201](#)

Email: Don.Kienholz@portlandoregon.gov

Phone: 503-865-6716

Hours: Monday through Friday, 8:30 AM to 5:00 PM

Have questions about your project or development? Book a [15-minute appointment here!](#)

The City of Portland ensures meaningful access to city programs, services, and activities to comply with Civil Rights Title VI and ADA Title II laws and reasonably provides: translation, interpretation, modifications, accommodations, alternative formats, auxiliary aids and services. To request these services, contact the Bureau of Development Services at 311 (503-823-4000), for Relay Service & TTY: 711.

Traducción e Interpretación | Biên Dịch và Thông Dịch | अनुवादन तथा व्याख्या

口笔译服务 | Устный и письменный перевод | Turjumaad iyo Fasiraad

Письмовий і усний переклад | Traducere și interpretariat | Chiaku me Awewen Kapas

Translation and Interpretation: 503-823-4000

From: raphael goodblatt <ragoodblatt@gmail.com>

Sent: Friday, December 6, 2024 11:48 AM

To: Kienholz, Don <Don.Kienholz@portlandoregon.gov>; Mark Bello LLC <mark.mrbllc@gmail.com>; Mike Griffith <mike@envisionproperties.org>

Subject: LU - 089508 - CU

Please see attached.

The site plan has been updated per your last request regarding the Landscape area and the parking area.

Attached is also the Transportation form, with notes from the previous land use review regarding the transportation.

Let us know if you need anything else. As you know, we are looking forward to starting the calendar on this very simple Conditional Use.

You could please send me a quick note regarding the schedule for the rest of the project. We are starting to work with the contractors regarding a project work schedule.

Raphael

--

R.A. Goodblatt R.A.

AHHA Architect Inc

503 734 8210



1900 SW Fourth Ave, Suite 5000, Portland OR 97201
Main: 503-823-5185 TTY: 503-823-6868 Fax: 503-823-7576
Portland.gov/Transportation

Attachment A

TRAFFIC SCOPE APPROVAL FORM

Prior to starting a traffic study, a Traffic Scope Approval Form must be completely filled out, submitted for review, and approved by PBOT's Development Review Traffic Engineer. The approved form shall be included in every traffic study submittal as Attachment A. PBOT may require additional analysis/information during the course of the review of the project. This Traffic Scope Approval Form is for City requirements only. Consultants must contact ODOT to determine requirements related to access permits and work in ODOT right-of-way.

SITE / PROJECT INFORMATION

PROJECT NAME: Classroom for Portland Christain School ASSOCIATED APPLICATION (EA#/LU#) LU 24-089508 CU

SITE LOCATION: 11845 SE Market
(ADDRESS/ID #)

BRIEF PROJECT DESCRIPTION (NUMBER OF STORIES, TOTAL AREA, NUMBER OF PARKING SPACES, ETC.):

New 3,600 sq ft classroom building for an existing private school - Portland Christain School

APPLICANT: AHHA Architect Inc - rag@ahhapdx.com 503 734 8210

TRAFFIC ENGINEER / FIRM: _____ DATE: December 3rd 2024

SITE PLAN – ATTACH SITE PLAN

REQUIRED LAND USE REVIEW(S)

☐ LAND DIVISION (33.641) ☒ CONDITIONAL USE (33.815) ☐ ADJUSTMENT (33.805)

☐ CENTRAL CITY PARKING REVIEW (33.808) ☐ COMPREHENSIVE PLAN AMENDMENT (33.810)

☐ ZONING MAP AMENDMENT (33.855) ☐ TRANSPORTATION IMPACT REVIEW (33.852)

☐ OTHER: _____



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APPROVAL CRITERIA (LIST ALL EVALUATION FACTORS)

Please see attached documents from an approved 2005 Conditional Use. This new project is less impactful than the project in 2005. The classroom building in 2005, was more than double the size of this project.

REQUIRED TRAFFIC STUDY REVIEW(S)

- | | | |
|---|---|---|
| <input type="checkbox"/> TRAFFIC IMPACT STUDY
(ATTACHMENT A.1) | <input type="checkbox"/> PARKING IMPACT STUDY
(ATTACHMENT A.2) | <input type="checkbox"/> LOADING DEMAND STUDY
(ATTACHMENT A.3) |
| <input type="checkbox"/> ASTR TRAFFIC STUDY
(ATTACHMENT A.4) | <input type="checkbox"/> TDM PLAN
(ATTACHMENT A.5) | <input type="checkbox"/> SIGHT DISTANCE STUDY |
| <input type="checkbox"/> QUEUING ANALYSIS | <input type="checkbox"/> ALT TRIP RATE STUDY | <input type="checkbox"/> OTHER: _____ |

ADDITIONAL COMMENTS:

Please see attached documents.

APPROVALS

APPROVED BY: _____ SIGNATURE: _____
TRAFFIC ENGINEER
PBOT DEVELOPMENT REVIEW DATE: _____

Email approval forms and supporting documents in pdf format to PBOTDevRevTrafficScopes@portlandoregon.gov.
Option to mail or hand-deliver forms to:

Attn: Amanda Owings
City of Portland, Building Plan & Development Review
1900 SW 4th Avenue, Suite 5000 (5th floor)
Portland, Oregon 97201

**RESPONSE TO THE OFFICE OF PLANNING AND DEVELOPMENT REVIEW
LAND USE REVIEW**

**Portland Transportation
Development Review
Bureau of Transportation Engineering & Development**



Case # LU 05-139520 CU AD **Date:** August 22, 2005
To: Kathleen Stokes, Bureau of Development Services B299/5000
From: Jamie Jeffrey, B106/800 (503-823-5165)
Applicant: Brian Nelson, Brian Reinhart
Location: 11801, 11845 and 11941 SE Market Street

TYPE OF REQUEST: Type III Conditional Use Review, Adjustment Review

The applicant's propose to expand the existing 30,749 s.f. school site by 7562 s.f in order to construct 7 new classrooms in a new building. A new driveway and bus circulation area is also proposed in the northwestern portion of the existing school site. An existing house and garage will need to be demolished for the new school building. The current enrollment of 305 students, and 26 staff is expected to increase by 10 students and 2 staff members. This will total 335 students and 28 staff members.

Portland Transportation/ Development Review reviewed the above case for its conformance with adopted policies, street designations, the Transportation Planning Rule Interim Requirements not covered by the Portland Zoning Code, Title 33 Approval Criteria, Title 17, and for potential impacts upon transportation services.

Conditional Use

The applicant submitted a narrative addressing the applicable transportation related conditional use approval criteria. Due to the small increase in students/staff, a Transportation Impact Study was not submitted. The parking conditions remain unchanged from the previous approval with 43 parking stalls on-site (24 of the stalls are located in the paved play area). In addition, there are 22 bicycle parking spaces on-site. The narrative indicates that the current supply is adequate to serve the parking demand.

The applicant also submitted information, via e-mail, indicating that there are two special events per month from September to June that average approximately 120 attendees per event. The on-site parking supply is expected to accommodate these events. In addition, 3 special events occur per year that have approximately 300 attendees per event. PCS has a cooperative parking program with two nearby churches on SE Market Street to accommodate additional parking demand for these special events.

Portland Transportation finds that the transportation system should be adequate to support the proposed expansion. The applicant is improving the circulation for the pickup and dropoff activities through modification of the existing access on the west side of the main school building, and the addition of the new access at the west end of the expanded school property.

Portland Transportation finds that the proposed expansion meets the transportation related approval criteria, subject to street improvements noted as follows.

Street Improvements

The school fronts on SE Market Street, which is designated a Local Service Street, Minor Transit Street, City Bikeway, and City Walkway. At this location, SE Market Street has a 44-ft wide roadway with curbs in a 60-ft wide right-of-way. A curb tight approx 7-foot wide sidewalk exists along the majority of the site frontage. No sidewalk is present along parts of frontage east and west of the main school building. The Pedestrian Design Guide identifies the requirement for a 12-ft wide pedestrian corridor along City Walkways. This requires a 4-ft dedication along the schools frontage. The applicant will be required to construct the pedestrian corridor to City standards. This will likely include a combination of construction of a 4-ft wide planting strip behind the existing curb and a 6 ft-wide sidewalk, and an addition of 3-feet of sidewalk to the back of the existing sidewalk and tree wells in the existing sidewalk. Slight modifications to the standards will be allowed to accommodate the two existing trees in front of the main school building. The exact configuration will be determined during the Street Improvement Process.

The street improvements will be constructed under a separate permit issued by the Office of Transportation. All improvements must meet the requirements of the City Engineer. A financial guarantee and contract for these improvements will be required in order to obtain building permit approval.

Driveways

The applicant is proposing to remodel the existing 51-foot driveway on the west side of the main building to separate the vehicle drive-thru area and the school bus/vehicle parking area. Portland Transportation supports this remodel. Although the 51-foot driveway is larger than allowed by Title 17 of the City Code, Portland Transportation will make an exception and allow this driveway as shown. All other access points appear to be acceptable.

Adjustments

The applicant has proposed three adjustments. One is to waive the transit street setback, one is to increase the eaves setback for the proposed covered walkway, and the third is to reduce the buffer area to the adjacent residentially zoned properties. Portland Transportation has no objection to these adjustments.

Transportation/Development Review has no objection to this proposal subject to the following conditions:

- The applicant will be required to dedicate 4-feet of property to public right-of-way.
- The applicant will be required to construct sidewalk improvements to meet the requirements of the City Engineer.

Building permit issues:

- System development charges (SDCs) may be assessed for the expansion. The applicant may obtain an estimate of the SDCs by contacting Rich Eisenhauer at (503) 823-7080.

Stokes, Kathleen

From: Brian Nelson [BrianN@AMAA.com]
Sent: Monday, August 08, 2005 8:46 AM
To: Kathleen Stokes (E-mail)
Subject: Portland Christian Elementary



Kathleen,

Regarding Jamie Jeffries request for special event details. PCE averages about two special events per month between September and June averaging about 120 attendees per event. The attendees for these events range between 30 and 300. Our application notes the campus population as 331 including students and staff during the school year.

The highest attended events are:

September 1st, 6:30 pm, New Parents Ice Cream Social, 300 attendees including children
October 15 th, 7 pm, Fun Night, 300 attendees including children
May 11 th, 6:30 pm, Open House, 300 attendees including children

PCE has a cooperative parking program with the two nearest churches on Market Street. PCE requests special event attendees to avoid parking on the street and use the nearby church parking lots.

Brian L. Nelson AIA CSI
ANKROM MOISAN ASSOCIATED ARCHITECTS

LU 24-089508 CU
Exhibit A.5



1900 SW Fourth Ave, Suite 5000, Portland OR 97201
Main: 503-823-5185 TTY: 503-823-6868 Fax: 503-823-7576
Portland.gov/Transportation

Attachment A

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PROJECT NAME: Classroom for Portland Christain School ASSOCIATED APPLICATION (EA#/LU#) LU 24-089508 CU

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BRIEF PROJECT DESCRIPTION (NUMBER OF STORIES, TOTAL AREA, NUMBER OF PARKING SPACES, ETC.):

New 3,600 sq ft classroom building for an existing private school - Portland Christain School

APPLICANT: AHHA Architect Inc - rag@ahhapdx.com 503 734 8210

TRAFFIC ENGINEER / FIRM: _____ DATE: December 3rd 2024

SITE PLAN – ATTACH SITE PLAN

REQUIRED LAND USE REVIEW(S)

- ☐ LAND DIVISION (33.641) ☒ CONDITIONAL USE (33.815) ☐ ADJUSTMENT (33.805)
- ☐ CENTRAL CITY PARKING REVIEW (33.808) ☐ COMPREHENSIVE PLAN AMENDMENT (33.810)
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- | | | |
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| <input type="checkbox"/> QUEUING ANALYSIS | <input type="checkbox"/> ALT TRIP RATE STUDY | <input type="checkbox"/> OTHER: _____ |

ADDITIONAL COMMENTS:

Please see attached documents.

For the traffic study memo please include the following items: capacity of the new classrooms, % increase from the existing capacity, a site plan, and how the development meets the Transportation System criteria listed in 33.852.110.

APPROVALS

APPROVED BY: Matthew Machado, P.E.

TRAFFIC ENGINEER
PBOT DEVELOPMENT REVIEW

SIGNATURE: Matthew Machado

DATE: December 20, 2024

Digitally signed by Matthew Machado
DN: C=US,
E=matthew.machado@portlandoregon.gov,
CN=Matthew Machado
Date: 2024.12.20 18:04:24-08'00'

Email approval forms and supporting documents in pdf format to PBOTDevRevTrafficScopes@portlandoregon.gov.

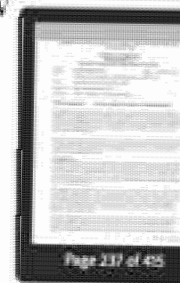
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**RESPONSE TO THE OFFICE OF PLANNING AND DEVELOPMENT REVIEW
LAND USE REVIEW**

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Sent: Monday, August 08, 2005 8:46 AM
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Subject: Portland Christian Elementary



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May 11 th, 6:30 pm, Open House, 300 attendees including children

PCE has a cooperative parking program with the two nearest churches on Market Street. PCE requests special event attendees to avoid parking on the street and use the nearby church parking lots.

Kienholz, Don

From: raphael goodblatt <ragoodblatt@gmail.com>
Sent: Thursday, January 23, 2025 2:13 PM
To: Kienholz, Don; kindle.jenna@gmail.com
Cc: Mark Bello LLC; clintonlkindle@gmail.com
Subject: Re: FW: LU 24-089508
Attachments: 11845 SE Market - PBOT Impact Review 1.9.25.pdf

Hello,

We, consultants for PCS, were able to provide a clarification to the City that there will be no additional students or staff as part of this building "repackaging" project. We hope this will allay your concerns about additional impacts. We can discuss this with you at your convenience if you wish.

Hi. Attached to this document is a letter providing information about the new building at PCS. Please review the letter and feel free to contact us with questions. We are the consultants who have been preparing the Conditional use documents.

Raphael 503 734 8210
Mark

Best,
Raph Goodblatt, architect
Mark Bello, planning consultant

From: Jenna Kindle <kindle.jenna@gmail.com>
Sent: Thursday, January 16, 2025 6:06 PM
To: Kienholz, Don <Don.Kienholz@portlandoregon.gov>
Cc: Clinton Kindle <clintonlkindle@gmail.com>
Subject: LU 24-089508

I would like to fight the proposed plan of LU 24-089508 due to the following reasons:

The proposed plan will interfere with 33.815.105 C 1 and 2 as it will have adverse effects on the livability of the nearby residential zones. It will cause excessive noise due to the traffic. Traffic currently already causes a great deal of noise due to disgruntled cars honking because of the traffic caused by the school. This also causes a privacy and safety issue. Police, firetrucks and ambulances cannot get

through during pick up and drop off times. This a safety issue. This is currently occurring and expanding their building to include more enrollment will only worsen the issue.

It will also have impacts according to 33.815.105 D 2A. They already block bikes lanes, and it will only get worse with the expansion. The cars going to and from the school are constantly blocking traffic on Market Street which backs up to 122nd and to Cherry Blossom/112th. They are also constantly blocking entrances to businesses, driveways and cul-de-sacs so residents are unable to leave or return home. This is currently occurring imagine and expanding their building to include more enrollment will make the area more dangerous for all.

The Cherry Park HOA beseeches you to consider this and do not impact our life even more than it already has by this school.

Sincerely,

The Cherry Park HOA Board

--

R.A. Goodblatt R.A.
AHHA Architect Inc
503 734 8210

AHHA
Architect Inc

January 9th 2025

To: Matthew Machado, PE

Transportation Engineer City of Portland Development Review

From: AHHA Architect Inc

Raphael A. Goodblatt

503 734 8210

rag@ahhapdx.com

Regarding Conditional Use application:

- Portland Christian School 11845 SE Market
- LU 24-089508
- Traffic scope approval form
- 33.852.110 Approval Criteria for Transportation Impact Reviews

Matthew

We are requesting approval of this project from PBOT. This project is not impacting the transportation system.

Matthew you approved the Traffic scope form and requested more information, based on code section 33.852.110

This project does not increase demands on Transportation. The Principal of the school provided the following description of the internal changes to the school. There is no increase in the school student population.

"When the new building is ready, I will use 3 of the classrooms to house our current Kindergarten students. This will free up 3 classrooms inside our main building. Those 3 classrooms will be used for:

1. Staff room - To have a place to decompress, fellowship, store our food, and eat away from the work environment (classrooms).

2. Spanish room- To move the current Spanish class out of the preschool classroom so our elementary students can learn at tables and chairs appropriate for their size.

3. Student Support Room- Currently, Student Support is in a modular removed from the student body. It is imperative that our student support staff is in the same building as our children so the team is aware of when our students need behavioral, academic, and emotional support and can respond in a timely manner.

4. *The 4th classroom in the new building will be used to house a meeting space.*

Meeting Space- to have the ability to hold large meetings with multiple stakeholders around the table (wrap around teams for children, admin meetings, SPED meetings, data team meetings, multi parent household meetings etc). Providing a space for teams to meet about children will yield better results for our students and school community.

We will not be using the space to increase our student population but rather to increase the functioning of our campus”.

The public notice has been sent out by Planning and zoning. We are trying to make sure we settle this issue very quickly so we do not slow down the Conditional Use approval process. If you think it helps we could convene a zoom meeting and dig into the details of this project. Included w/ this cover letter are the following. I have included a Site Plan w/ this narrative per your request.

Respectfully

R, Goodblatt
AHHA Architect Inc

Kienholz, Don

From: Mark Bello LLC <mark.mrbllc@gmail.com>
Sent: Tuesday, January 21, 2025 11:33 AM
To: Kienholz, Don
Subject: Re: PCS process issue

Don,

We would like the statutory clock for Portland Christian School, LU 24-089508, to be extended for 14 days.

Best,

Mark Bello

Raph Goodblatt

On Tue, Jan 21, 2025 at 10:59 AM Kienholz, Don <Don.Kienholz@portlandoregon.gov> wrote:

Hi Mark,

I forgot to include this for you. It is the fillable request to extend the statutory clock. The comment period ended yesterday so I'm supposed to get the decision out Monday. I've got a lot of catch up to do and I'm out tomorrow so I may only have a draft, but we'll see. If you want to extend the clock, that allows me to set it aside for the time being. You could extend it a week, 2 weeks, 30 days, 45 days etc all the way up to the statutory limit of 245 days. If you want to accommodate any back and forth with PBOT engineering and transportation you may want to include a longer time. Of course, if you submit an extension and there is no need for back and forth I'm not going to sit on the decision, I'll still move it forward. My goal is to get it done as soon as I can with a positive outcome.

Let me know if you have questions. Best,

Don Kienholz, Senior City Planner

Portland Permitting & Development

Land Use Services Division, Title 33 Section

1900 SW Fourth Ave, Suite 5000

Portland, OR 97201

Email: Don.Kienholz@portlandoregon.gov

Phone: 503-865-6716

Hours: Monday through Friday, 8:30 AM to 5:00 PM

Have questions about your project or development? Book a [15-minute appointment here!](#)

The City of Portland ensures meaningful access to city programs, services, and activities to comply with Civil Rights Title VI and ADA Title II laws and reasonably provides: translation, interpretation, modifications, accommodations, alternative formats, auxiliary aids and services. To request these services, contact the Bureau of Development Services at 311 (503-823-4000), for Relay Service & TTY: 711.

Traducción e Interpretación | Biên Dịch và Thông Dịch | अनुवादन तथा व्याख्या

口笔译服务 | Устный и письменный перевод | Turjumaad iyo Fasiraad

Письмовий і усний переклад | Traducere și interpretariat | Chiaku me Awewen Kapas

Translation and Interpretation: 503-823-4000

From: Mark Bello LLC <mark.mrbllc@gmail.com>

Sent: Monday, January 20, 2025 1:23 PM

To: Kienholz, Don <Don.Kienholz@portlandoregon.gov>

Cc: Mark Bello LLC <Mark.mrbllc@gmail.com>; raphael goodblatt <ragoodblatt@gmail.com>

Subject: PCS process issue

Hi Don,

First of all, Happy MLK Jr. day.

Raph and I were just talking and we realized that we haven't heard back from Transportation. We have sent them documentation that there will be NO additional students or teachers as part of this building program. I am worried that the public notice period has expired and you will issue an administrative denial due to a lack of a positive response from PBOT.

So, if we are close to the deadline, we are requesting a "stop the clock" delay in making your administrative decision. Of course, if everything is fine, go ahead and give us an approval!

I hope to be in contact with you tomorrow. I'd like to get a status report on the application.

Best,

Mark

PS I haven't seen the notice for some reason; what is the best way to get that?

Mark R. Bello Consulting LLC

mark.mrbllc@gmail.com

503.810.1852

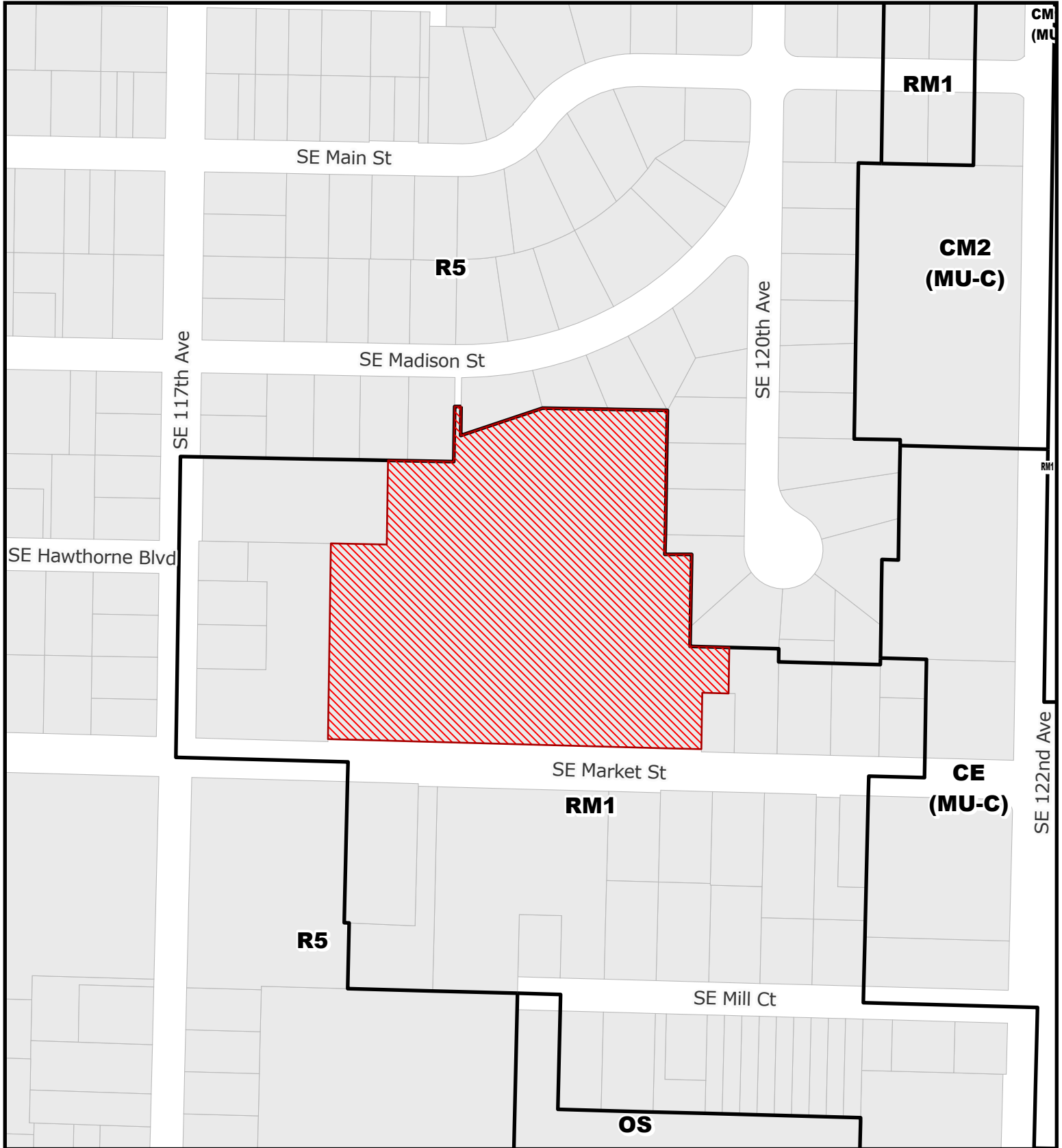
--

Mark R. Bello

Mark.mrbllc@gmail.com

503.810.1852

Please note that I may not be able to respond outside of regular business hours.

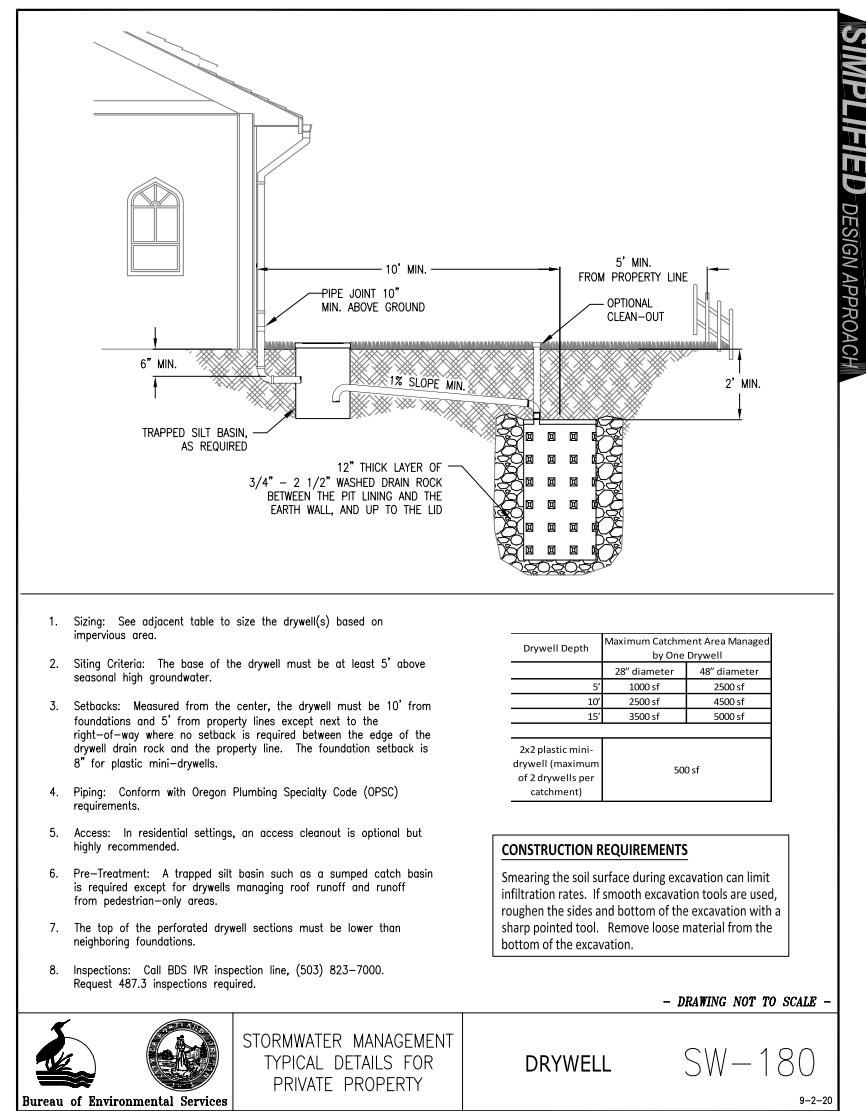
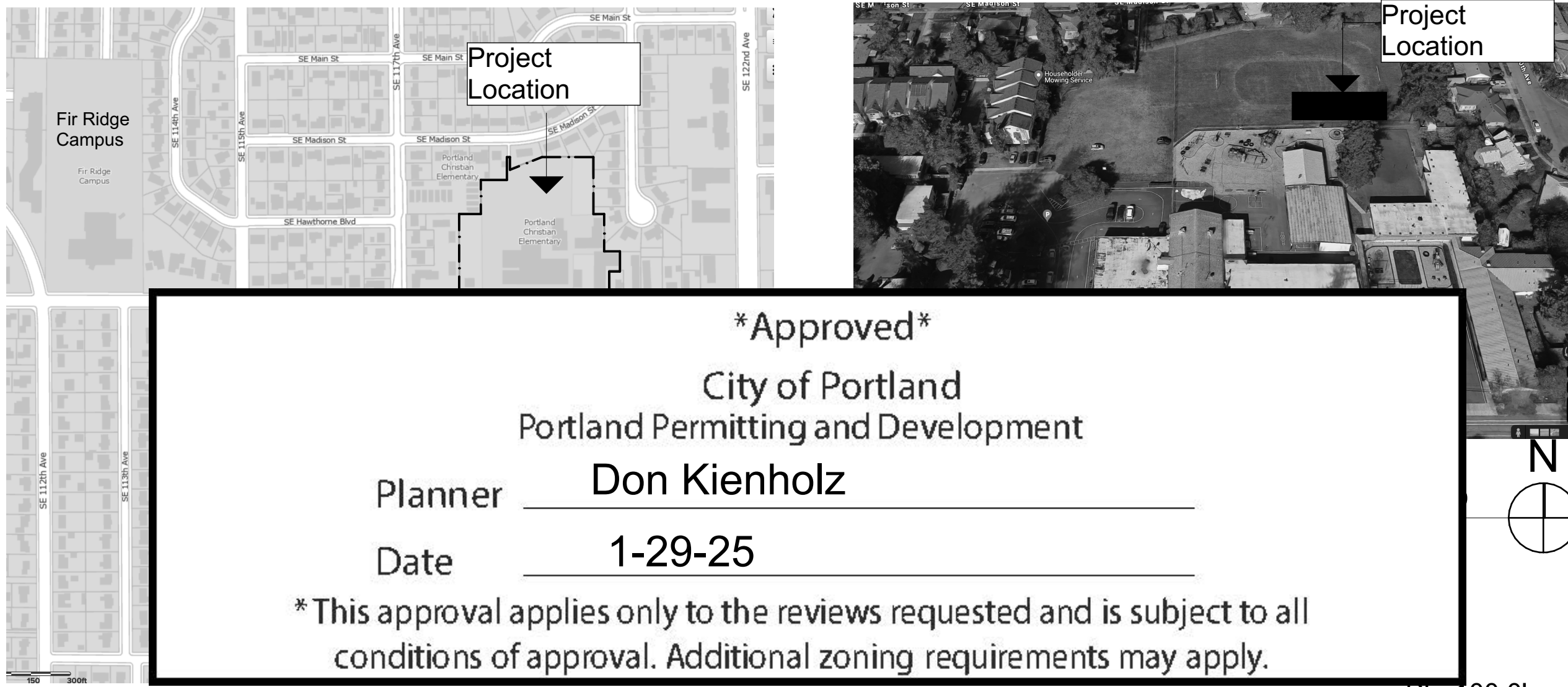


For Zoning Code in Effect Post October 1, 2024

ZONING

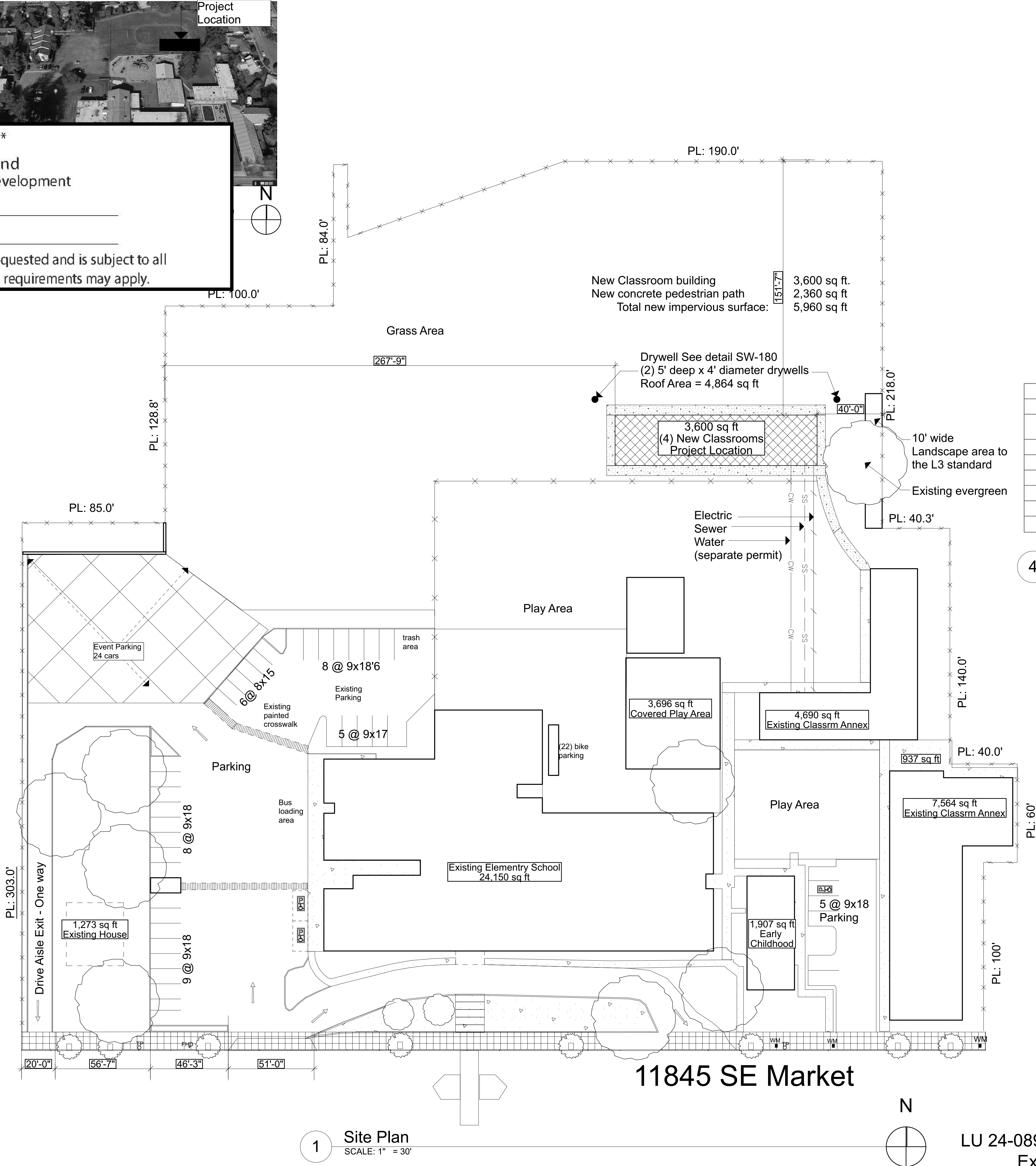
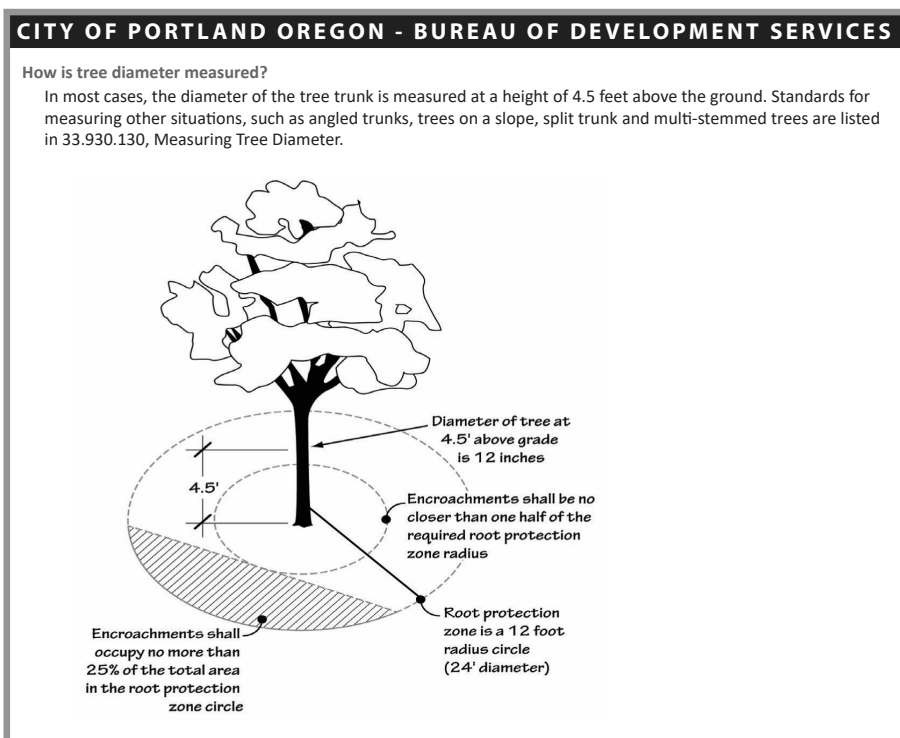
 Site

File No.	<u>LU 24 - 089508 CU</u>
1/4 Section	<u>3142,3242</u>
Scale	<u>1 inch =200 feet</u>
State ID	<u>1S2E03AD 9800</u>
Exhibit	<u>B</u> <u>Oct 17, 2024</u>



The Prescriptive Path calls for:

- 1 The Tree Root Protection Zone (diagram at right) to have a 1-foot radius from the center of the trunk per inch of tree diameter.
 - For example, a 12-inch diameter tree would require a 12-foot radius root protection zone.
- 2 The root protection fencing must be a minimum of 6-foot high chain link fence secured with 8-foot metal posts, at the edge of the root protection zone.
- 3 Existing structures and/or existing secured fencing at least 3.5 feet tall can serve as the required protective fencing.
- 4 Place the yellow sign marked 'Tree Root Protection Zone' prominently on the fence designating the root protection zone and describing the penalties for violation.
- 5 Install the fence before any ground-disturbing activities take place, including clearing, grading, or construction.
- 6 Keep the fence in place until final inspection.



LU 24-089508 CU
Exhibit C.1

Project Description:

Existing school building a New 3,600
sq ft one story classroom building

Existing Site Area	250,470
--------------------	---------

Building Area:	
Existing Classroom/Bldg Area	42,005
New Building Area	3,600
Total	45,605

Existing Exterior Improvements:	
Existing Pedestrian path	9,905
Existing Parking & Drive Aisles	49,953
Existing Play Area Paved	9,936
Total	69,794

Parking Spaces 67

Existing Other Play Area (bark chip area)	30,565
--	--------

Total	101,359
-------	---------

New Exterior Improvements:	
New Pedestrian path	2,360

Far	17%
Height	12'-9"
Setbacks	150' North PL, 40' East PL, 268' West PL
New & Existing Building Coverage	New 3,600 & 42,000 Existing
New Bldg. Length	120'
Main Entrance	N/A
Street-facing facade	N/A
Landscape Areas	94,745 sf
Trees	Title 11



AHHA

Architect Inc

Raphael A. Goodblatt
6663 SW Beaverton Hillsdale Hwy
#222
Portland Or. 97225
rag@ahhapdx.com
503 734 8210
Copyright 2024 AHHA Architect Inc

PROJECT OWNER:

The Christian
School Society Of Portland
12425 NE San Rafael
Portland Oregon 97203

Project Location
11845 SE Market St
Portland Oregon 97216

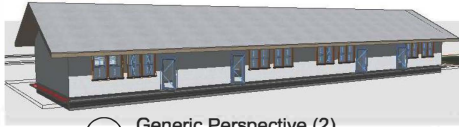
Contact Person:
Mike@envisionproperties.org
503 709 6997

Project Date:
12/3/24

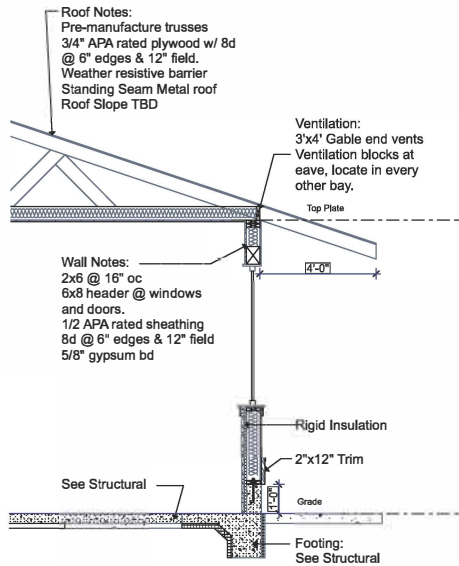
SHEET TITLE

Site Plan

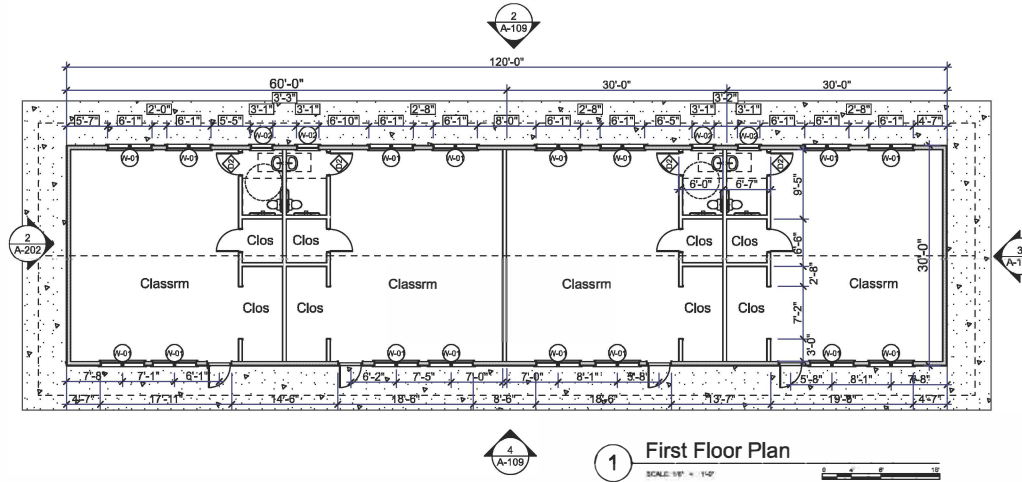
AS-001



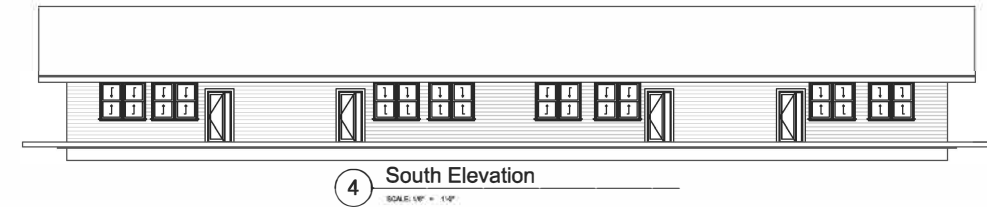
9 Generic Perspective (2)
SCALE: 1/16" = 1'-0"



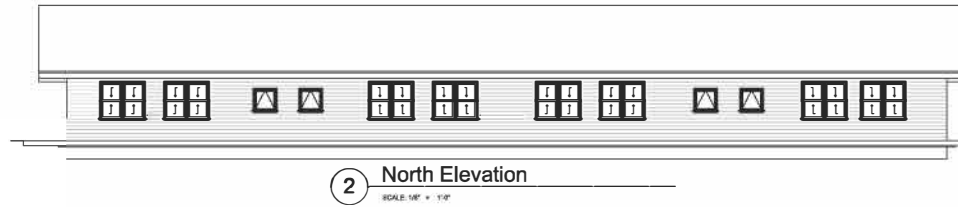
6 Wall Section
SCALE: 1/2" = 1'-0"



1 First Floor Plan
SCALE: 3/8" = 1'-0"



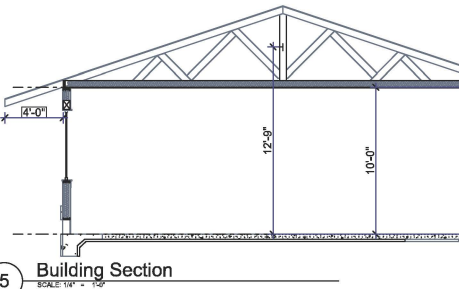
4 South Elevation
SCALE: 1/8" = 1'-0"



2 North Elevation
SCALE: 1/8" = 1'-0"



3 East/West Elevations
SCALE: 1/8" = 1'-0"



5 Building Section
SCALE: 1/4" = 1'-0"

Approved

City of Portland
Portland Permitting and Development
Don Kienholz

Planner _____

Date 1-29-25

This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

W-01	6'-0" (16)	5'-0" (16)	Undefined	Undefined	Undefined	<input type="checkbox"/>	Undefined
W-02	3'-0" (4)	3'-0" (4)	Undefined	Undefined	Undefined	<input type="checkbox"/>	Undefined

Project Description:
New school building for an existing Portland Christian School - Elementary School
30'x120' = 3,600 sq ft. The building will have four classrooms and four ADA bathrooms.

Zone Code: RM1

Code Summary:
Building Code: OSSC 2022
Building Sq Ft: 3,600
Construction Type: VB
Occupancy: E
Occ load per classroom (4) total rooms: 900/20 = 45 occupants
Stories: 1
Sprinklers: Not required
Alarms: Not required

Table of Contents:
A - 109 Code Summary
Floor plans
Elevations
Sections
Schedules

AS - 001 Site Plan



AHHA
Architect Inc

Raphael A. Goodblatt
6663 SW Beaverton Hillsdale Hwy
#222
Portland Or, 97225
rag@ahhapdx.com
503 734 8210
Copyright 2024 AHHA Architect Inc

PROJECT OWNER:
The Christian School Society Of Portland
12425 NE San Rafael
Portland Oregon 97203

Project Location
11845 SE Market St
Portland Oregon 97216

Contact Person:
Mike@envisionproperties.org
503 709 6997

Project Date:
12/3/24

SHEET TITLE
First Floor Plan

A-109

	A	B	C	D	E	F
1	ENDORSEMENT	INFO1	INFO2	NAME	ADDRESS/IO ADDRESS	CITYSTATEZIP/ADDRESSEE
2	RETURN SERVICE REQUESTED		1S2E03AD 10200	BRUCA LLC	5633 SE MORRISON ST	PORTLAND OR 97215-1852
3	RETURN SERVICE REQUESTED		1S2E03AD 10300	C & L APARTMENTS LLC	6647 NE 47TH AVE	PORTLAND OR 97218
4	RETURN SERVICE REQUESTED		1S2E03AD 10400	NGUYEN HOAN V & NGUYEN THAO T T	1610 SE 117TH AVE	PORTLAND OR 97216
5	RETURN SERVICE REQUESTED		1S2E03AD 10500	COPFEIFER PROPERTIES LLC	9888 SE CITY VIEW DR	HAPPY VALLEY OR 97086
6	RETURN SERVICE REQUESTED		1S2E03AD 4200	MAYO MICAH & PERRY MARY	11837 SE MADISON ST	PORTLAND OR 97216
7	RETURN SERVICE REQUESTED		1S2E03AD 4300	BELZ CYNTHIA A	11819 SE MADISON ST	PORTLAND OR 97216
8	RETURN SERVICE REQUESTED		1S2E03AD 4400	VIR VALERIE & PESCHIERA JACOB	11805 SE MADISON ST	PORTLAND OR 97216-3947
9	RETURN SERVICE REQUESTED		1S2E03AD 4500	AMBER S WING LIV TR	14451 SE CENTER ST	PORTLAND OR 97236-2546
10	RETURN SERVICE REQUESTED		1S2E03AD 5200	GEORGE EMILY J	11728 SE MADISON ST	PORTLAND OR 97216-3946
11	RETURN SERVICE REQUESTED		1S2E03AD 5300	HERNANDEZ JORGE D J	11744 SE MADISON ST	PORTLAND OR 97216-3946
12	RETURN SERVICE REQUESTED		1S2E03AD 5400	WASCO BRENDA J	11758 SE MADISON ST	PORTLAND OR 97216-3946
13	RETURN SERVICE REQUESTED		1S2E03AD 5500	PATAKI KIRAN S	11806 SE MADISON ST	PORTLAND OR 97216
14	RETURN SERVICE REQUESTED		1S2E03AD 5600	SNYDER DOLORES A TR	11824 SE MADISON ST	PORTLAND OR 97216-3948
15	RETURN SERVICE REQUESTED		1S2E03AD 5700	GUNSTONE TITUS & GUNSTONE JENNIFER	4117 NE AINSWORTH ST	PORTLAND OR 97211-7940
16	RETURN SERVICE REQUESTED		1S2E03AD 5800	PIERCE LINDSEY & LEE HAN SOL	11860 SE MADISON ST	PORTLAND OR 97216
17	RETURN SERVICE REQUESTED		1S2E03AD 5900	TUCHOW LINCOLN ET AL	11908 SE MADISON ST	PORTLAND OR 97216
18	RETURN SERVICE REQUESTED		1S2E03AD 6000	HOGG DONALD V TR	11920 SE MADISON ST	PORTLAND OR 97216-3950
19	RETURN SERVICE REQUESTED		1S2E03AD 6100	SANFORD DOUG & SANFORD MARIE	1174 SE FOXGLOVE DR	GRESHAM OR 97080
20	RETURN SERVICE REQUESTED		1S2E03AD 6200	BHOGUN MAHENDUTH & BHOGUN JONATHAN	1425 SE 120TH AVE	PORTLAND OR 97216
21	RETURN SERVICE REQUESTED		1S2E03AD 6300	SCHAEFER ROBERT & SCHAEFER DIANE	1443 SE 120TH AVE	PORTLAND OR 97216-3934
22	RETURN SERVICE REQUESTED		1S2E03AD 6400	MCCARTY JASON R	1507 SE 120TH AVE	PORTLAND OR 97216-3936
23	RETURN SERVICE REQUESTED		1S2E03AD 6500	MILLER KOHL	1521 SE 120TH AVE	PORTLAND OR 97216
24	RETURN SERVICE REQUESTED		1S2E03AD 6600	CAMERON REAL ESTATE 401K PLAN	2313 NE 167TH PL	PORTLAND OR 97230
25	RETURN SERVICE REQUESTED		1S2E03AD 6700	OWENS MATTHEW & OWENS PIA	PO BOX 30447	PORTLAND OR 97294
26	RETURN SERVICE REQUESTED		1S2E03AD 6800	WOLCO INC	PO BOX 588	CORNELIUS OR 97113
27	RETURN SERVICE REQUESTED	1S2E03AD 90000	CHERRY PARK ESTATES CONDOMINIUM	UNIT OWNER'S ASSOCIATION INC	PO BOX 66910	PORTLAND OR 97290
28	RETURN SERVICE REQUESTED		1S2E03AD 90001	CHEN JEANIE	209 SHELLEY AVE #A	CAMPBELL CA 95008
29	RETURN SERVICE REQUESTED		1S2E03AD 90002	BADALLY VADIM	1514 SE 117TH AVE	PORTLAND OR 97216
30	RETURN SERVICE REQUESTED		1S2E03AD 90003	TRAN HUE CAM & LU MINH H	1518 SE 117TH AVE	PORTLAND OR 97216
31	RETURN SERVICE REQUESTED		1S2E03AD 90004	VONGSAY MICHAEL &TRAN ANGELA	1522 SE 117TH AVE	PORTLAND OR 97216
32	RETURN SERVICE REQUESTED		1S2E03AD 90005	PACE ROY M &PACE ANDREA G	1524 SE 117TH AVE	PORTLAND OR 97216
33	RETURN SERVICE REQUESTED		1S2E03AD 90006	CHAU NGOC & MAI VU & MAI TRINH	1506 SE 117TH AVE	PORTLAND OR 97216
34	RETURN SERVICE REQUESTED		1S2E03AD 90007	NGO TOMMY	1502 SE 117TH AVE	PORTLAND OR 97216
35	RETURN SERVICE REQUESTED		1S2E03AD 90008	LEI PEI X & YANG YU LIAN	1500 SE 117TH AVE	PORTLAND OR 97216
36	RETURN SERVICE REQUESTED		1S2E03AD 90009	QUACH ROSEAND	1496 SE 117TH AVE	PORTLAND OR 97216
37	RETURN SERVICE REQUESTED		1S2E03AD 90010	TRINH TUONG C & TRINH SANH C	1492 SE 117TH AVE	PORTLAND OR 97216
38	RETURN SERVICE REQUESTED		1S2E03AD 90011	LI MIAO SHUANG	1490 SE 117TH AVE #11	PORTLAND OR 97216
39	RETURN SERVICE REQUESTED		1S2E03AD 90012	WADE ALEXANDER	7335 SE DIVISION ST	PORTLAND OR 97206-1161
40	RETURN SERVICE REQUESTED		1S2E03AD 90013	NGUYEN ANH NGUYET T	1430 SE 117TH AVE	PORTLAND OR 97216
41	RETURN SERVICE REQUESTED		1S2E03AD 90014	GLAYAS VITA	1508 SE 117TH AVE	PORTLAND OR 97216
42	RETURN SERVICE REQUESTED		1S2E03AD 9200	CHEN KANGAN & CHEN CHUNLING	11614 SE STARK ST	PORTLAND OR 97216
43	RETURN SERVICE REQUESTED		1S2E03AD 9300	HARBERT SAMUEL	PO BOX 22064	MILWAUKIE OR 97269-2064
44	RETURN SERVICE REQUESTED		1S2E03AD 9400	SHEPARD KYLE	12001 SE MARKET ST	PORTLAND OR 97216
45	RETURN SERVICE REQUESTED		1S2E03DA 1000	OLDENBURG MATTHEW & MELISSA	11804 SE MARKET ST	PORTLAND OR 97216
46	RETURN SERVICE REQUESTED	1S2E03DA 1200	MILL PARK BAPTIST CHURCH OF	PORTLAND OREGON	1730 SE 117TH AVE	PORTLAND OR 97216-3902
47	RETURN SERVICE REQUESTED		1S2E03DA 300	CF-OR PROPERTIES LLC	3601 E 11TH ST #6	VANCOUVER WA 98661
48	RETURN SERVICE REQUESTED		1S2E03DA 400	MUKHERJEE KRIS	2726 2ND AVE	SANTA MONICA CA 90405
49	RETURN SERVICE REQUESTED		1S2E03DA 500	SANCHEZ FIDEL & DESOLORIO ALEJANDRA	2044 SE 185TH AVE	PORTLAND OR 97233
50	RETURN SERVICE REQUESTED	1S2E03DA 60000	MARKET STREET COMMONS A CONDOMINIUM	HOMEOWNERS ASSOCIATION	PO BOX 66910	PORTLAND OR 97290-6910
51	RETURN SERVICE REQUESTED		1S2E03DA 60001	CHEONG CHIO F & SOU KAM I	11934 SE MARKET ST	PORTLAND OR 97216
52	RETURN SERVICE REQUESTED		1S2E03DA 60002	CORNISH JONATHAN & CORNISH JAMES	11936 SE MARKET ST	PORTLAND OR 97216
53	RETURN SERVICE REQUESTED		1S2E03DA 60003	FUNK MATTHEW W & FUNK INDIRA	11938 SE MARKET ST	PORTLAND OR 97216
54	RETURN SERVICE REQUESTED		1S2E03DA 60004	VON WALTER GORDON A	11940 SE MARKET ST	PORTLAND OR 97216
55	RETURN SERVICE REQUESTED		1S2E03DA 90001	KIRKLAND DAVID & KIRKLAND KANDICE	11824 SE MARKET ST	PORTLAND OR 97216
56	RETURN SERVICE REQUESTED		1S2E03DA 90002	DAIRY MICHAEL & SOTO-DAIRY ZARAH	PO BOX 33887	PORTLAND OR 97292-3887
57	RETURN SERVICE REQUESTED		1S2E03DA 90003	SO TIEN P	PO BOX 33684	PORTLAND OR 97292
58	RETURN SERVICE REQUESTED		1S2E03DA 90004	LY THANH & TRUONG THU HANG THI	11836 SE MARKET ST	PORTLAND OR 97216
59	RETURN SERVICE REQUESTED		1S2E03DA 90005	KINDLE CLINTON JR & KINDLE JENNA	11840 SE MARKET ST	PORTLAND OR 97216
60	RETURN SERVICE REQUESTED		1S2E03DA 90006	LU ZHONGXING & YU SHUNNING	111 202ND ST SE	BOTHELL WA 98012
61	RETURN SERVICE REQUESTED		1S2E03DA 90007	NAMGYAL CHOEZOM	11848 SE MARKET ST	PORTLAND OR 97216
62	RETURN SERVICE REQUESTED		1S2E03DA 90008	PHAN HAI THANH & NGUYEN THANH	11852 SE MARKET ST	PORTLAND OR 97216
63	RETURN SERVICE REQUESTED		1S2E03DA 90009	KLUSKY JAY	11856 SE MARKET ST	PORTLAND OR 97216
64	RETURN SERVICE REQUESTED		1S2E03DA 90010	BRINK ZANZAN	23 S 23RD ST UN 3A	PHILADELPHIA PA 19103-3052
65	RETURN SERVICE REQUESTED		1S2E03DA 90011	COLLI WILBERTH & MODESTO ENEDINA	11910 SE MARKET ST	PORTLAND OR 97216
66	RETURN SERVICE REQUESTED		1S2E03DA 90012	SU QIAN	12811 SE MAIN ST	PORTLAND OR 97233

	A	B	C	D	E	F
67	RETURN SERVICE REQUESTED		1S2E03DA 90013	DEETZ AMY M	11930 SE MARKET ST	PORTLAND OR 97216
68	RETURN SERVICE REQUESTED		1S2E03DA 90014	KATHLEEN MARIE GORTON LIV TR	11926 SE MARKET ST	PORTLAND OR 97216
69	RETURN SERVICE REQUESTED		1S2E03DA 90015	COLLETT CHRISTOPHER	11922 SE MARKET ST	PORTLAND OR 97216
70	RETURN SERVICE REQUESTED		1S2E03DA 90016	SCHARN GLENN	11918 SE MARKET ST	PORTLAND OR 97216
71	RETURN SERVICE REQUESTED		1S2E03DA 90017	GRAYBEAL MICHAEL	11821 SE MILL CT	PORTLAND OR 97216-3975
72	RETURN SERVICE REQUESTED		1S2E03DA 90018	GRIGORIY I DEKHTYAR TR	9300 SW CLARIDGE DR	TIGARD OR 97223
73	RETURN SERVICE REQUESTED		1S2E03DA 90019	LAM TUAN	11829 SE MILL CT	PORTLAND OR 97216-3975
74	RETURN SERVICE REQUESTED		1S2E03DA 90021	YEKTIURIP VICTOR & NAGARIA ESTHER	15276 SE BRADFORD RD	CLACKAMAS OR 97015
75	RETURN SERVICE REQUESTED		1S2E03DA 90022	TRUONG LUC & DOAN VIET PHUONG T	11921 SE MILL CT	PORTLAND OR 97216-3973
76	RETURN SERVICE REQUESTED	OWNERS AGENT 1S2E03AD 9800	PORTLAND CHRISTIAN SCHOOL	THOMAS SHERILEE	11845 SE MARKET ST	PORTLAND OR 97216
77	RETURN SERVICE REQUESTED	OWNER 1S2E03AD 9800	THE CHRISTIAN SCHOOL SOCIETY OF	PORTLAND OREGON	12425 NE SAN RAFAEL ST	PORTLAND OR 97230
78	RETURN SERVICE REQUESTED	APPLICANT	AHHA ARCHITECT INC	GOODBLATT RAPHAEL	6663 SW BEAVERTON HILLSDALE HWY #222	PORTLAND OR 97225
79	RETURN SERVICE REQUESTED		MIDWAY BUSINESS ASSOCIATION	YOUNG LORELEI	11918 SE DIVISION ST #352	PORTLAND OR 97266
80	RETURN SERVICE REQUESTED		MILL PARK NEIGHBORHOOD ASSOCIATION	TREVOR HOPPER	1840 SE 117TH	PORTLAND OR 97216
81	RETURN SERVICE REQUESTED		LAND USE CONTACT	DISTRICT 1 NEIGHBORHOOD COALITION	4415 NE 87TH AVE	PORTLAND OR 97220
82	RETURN SERVICE REQUESTED		GATEWAY AREA BUSINESS ASSOCIATION	KAHL NIDAL	11124 NE HALSEY ST PMB 478	PORTLAND OR 97220
83	RETURN SERVICE REQUESTED		LAND USE CONTACT	PORT OF PORTLAND PLANNING	PO BOX 3529	PORTLAND OR 97208
84	RETURN SERVICE REQUESTED		LAND USE CONTACT	TRANSIT DEVELOPMENT	1800 SW FIRST AVE SUITE 300	PORTLAND OR 97201
85					PORTLAND POLICE BUREAU	B119/R1552
86					COMMUNICATIONS MANAGER (911/COMM)	911/COMM
87					PROSPER PORTLAND	129/PROSPER



City of Portland, Oregon - Portland Permitting & Development

1900 SW Fourth Avenue • Portland, Oregon 97201 | 503-823-7300 | www.portland.gov/ppd

Date: December 30, 2024
To: Interested Person
From: Don Kienholz, Land Use Services
503-865-6716/Don.Kienholz@portlandoregon.gov

NOTICE OF A TYPE II PROPOSAL IN YOUR NEIGHBORHOOD

Development has been proposed in your neighborhood. The proposed development requires a land use review. The development proposal, review process, and information on how to respond to this notice are described below. A copy of the site plan and zoning map is attached. I am the staff person handling the case. Please call me if you have questions regarding this proposal. Please contact the applicant if you have questions regarding any future development on the site.

Public comments must be received within 21 days of the mail date of this notice. If you would like to submit written comments, they must be received by 5 p.m. on January 21, 2025. Your comments must be emailed to the assigned planner listed above; please include the Case File Number, LU 24-089508 CU, in your email. If you do not have access to email, please telephone the planner listed above about submitting comments. Please note that all correspondence received will become part of the public record.

CASE FILE NUMBER: LU 24-089508 CU

Applicant: Raphael Goodblatt, AHHA Architect Inc
6663 SW Beaverton Hillsdale Hwy #222
Portland, OR 97225
Rag@ahhapdx.com
503-734-8210

Owner: The Christian School Society Of Portland Region
12425 NE San Rafael St
Portland, OR 97230

Owner's Agent: Sherilee Thomas, The Portland Christian School
11845 SE Market St
Portland, OR 97216
Sherilee.Thomas@pcsschools.org

Site Address: 11845 SE MARKET ST

Legal Description: TL 9800 5.75 ACRES, SECTION 03 1S 2E
Tax Account No.: R992031420
State ID No.: 1S2E03AD 09800
Quarter Section: 3142 & 3242

Neighborhood: Mill Park, contact Trevor Hopper at mill.park.pdx.chair@gmail.com
Business District: Gateway Area Business Association, contact Nidal Kahl at gabapdxboard@gmail.com
District Coalition: District 1, contact at alisons@cnncoalition.org

1900 SW 4th Avenue, Suite # 5000, Portland, OR 97201

LU 24-089508 CU
Exhibit D.2

Plan District: None
Zoning: RM1 –Residential Multi-Dwelling-1
Case Type: CU – Conditional Use
Procedure: Type II, an administrative decision with appeal to the Hearings Officer.

Proposal:

The applicant is proposing to construct a new 3,600-sf single-story classroom building just north of the existing play area located in the north-central portion of the site. Portland Zoning Code Section 33.281 regulates school sites and provides the thresholds for when development requires a land use review. Under 33.291.050.A.3 and 33.281.050.B.4, the addition of the proposed 3,600-sf building requires a Type II Conditional Use Review.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant criteria are found in 33.815.105.A through E Institutional and Other Uses in Residential and Campus Institutional Zones.

The Portland Zoning Code is available online at <https://www.portland.gov/code/33>.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. This application was submitted on October 21, 2024. The application was determined to be complete on December 23, 2024.

DECISION MAKING PROCESS

Portland Permitting & Development will make a decision on this proposal. After we consider your comments, we will do one of the following:

- Approve the proposal;
- Approve the proposal with conditions; or
- Deny the proposal.

The neighborhood association listed on the first page of this notice may take a position on this application. They may also schedule an open meeting prior to making their recommendation to Portland Permitting & Development. Please contact the person listed as the neighborhood contact to determine the time and date of this meeting.

ORS 227.178 states the City must issue a final decision on land use review applications within 120 days of the application being deemed complete. The 120-day review period may be extended at the request of the applicant.

If you are interested in viewing information in this file, please contact the planner listed on the front of this notice. The planner can email you documents from the file. A fee would be required for all requests for paper copies of file documents.

APPEAL PROCESS

If you disagree with Portland Permitting & Development administrative decision, you can appeal the decision to the Hearings Officer. This review body will hold a public hearing for the appeal. When the decision is mailed, the criteria used to make the decision and information on how to file an appeal will be included. If you do not send any comments, you can still appeal the decision. There is a 14-day deadline to file an appeal beginning on the day the decision is mailed. The reason for the appeal must be specifically defined in order for the review body to respond to the appeal. If an appeal is filed, you will be notified of the time and location of the appeal hearing.

There is a fee charged for appeals. Recognized neighborhood associations may qualify for an appeal fee waiver.

APPEAL OF THE FINAL CITY DECISION

After an appeal hearing, the review body decision may be appealed to the Oregon Land Use Board of Appeals (LUBA) at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283. The phone number for LUBA is 1-503-373-1265. Issues that may provide the basis for an appeal to LUBA must be raised prior to the comment deadline or prior to the conclusion of the hearing if a local appeal is requested. If you do not raise an issue with enough specificity to give Portland Permitting & Development an opportunity to respond to it, that may also preclude an appeal to LUBA on that issue.

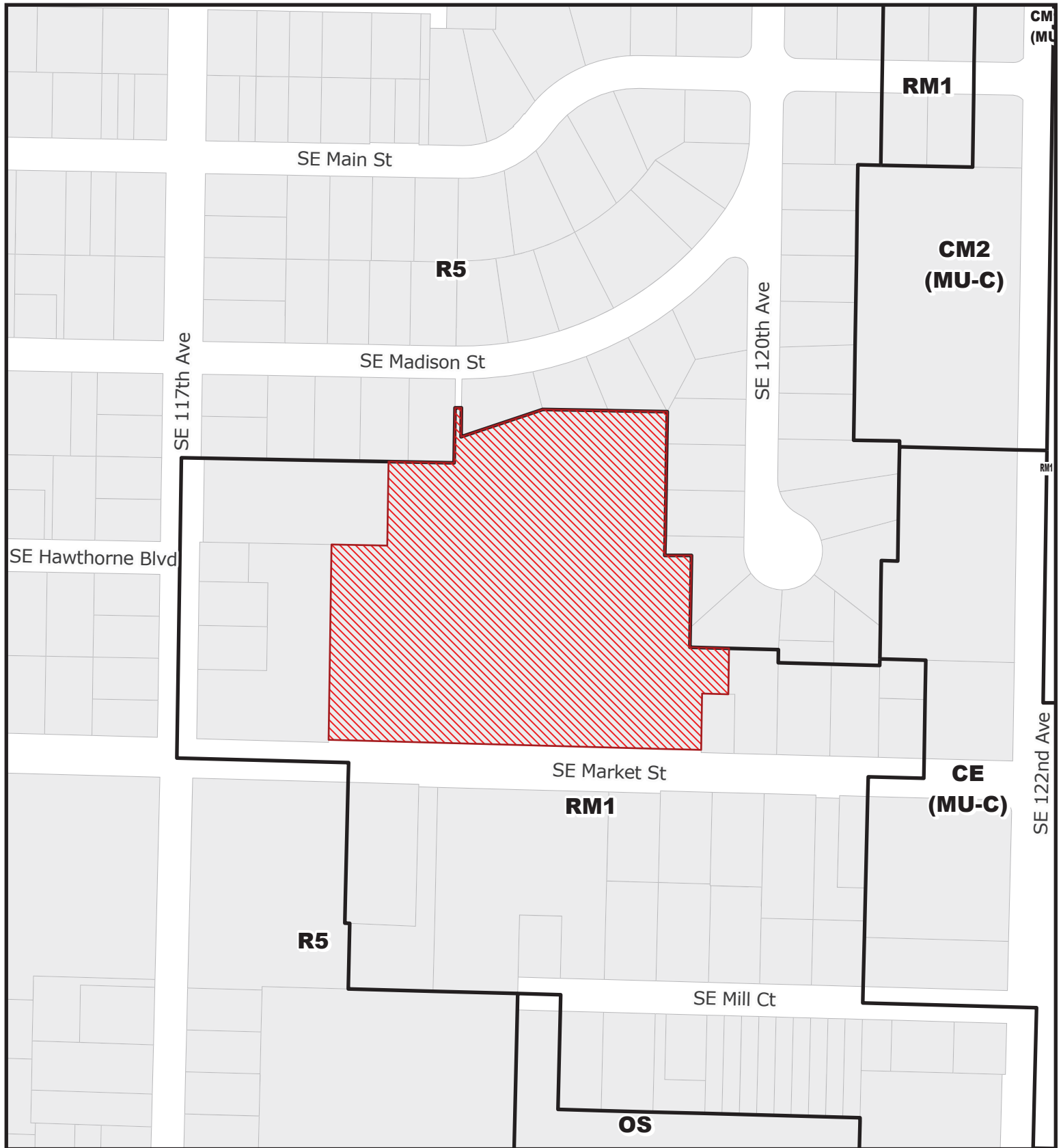
Portland Permitting & Development is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).

Enclosures:

Zoning Map

Site Plan

Building floor and elevation plans



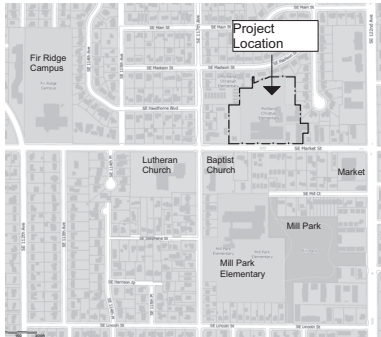
For Zoning Code in Effect Post October 1, 2024

ZONING 

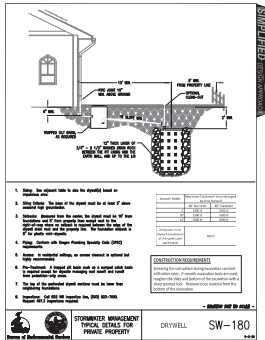
 Site

File No.	<u>LU 24 - 089508 CU</u>
1/4 Section	<u>3142,3242</u>
Scale	<u>1 inch = 200 feet</u>
State ID	<u>1S2E03AD 9800</u>
Exhibit	<u>B</u> <u>Oct 17, 2024</u>

LU 24-089508 CU
Exhibit D.2



3 Vicinity Map
SCALE: 1:327



5 SW -180
SCALE: 1:172

The Prescriptive Path calls for:

- 1 The Tree Root Protection Zone (diagram at right) to have a 1-foot radius from the center of the trunk per inch of tree diameter.
 - For example, a 12-inch diameter tree would require a 12-foot radius root protection zone.
- 2 The root protection fencing must be a minimum of 6-foot high chain link fence secured with 8-foot metal posts, at the edge of the root protection zone.
- 3 Existing structures and/or existing secured fencing at least 3.5 feet tall can serve as the required protective fencing.
- 4 Place the yellow sign marked 'Tree Root Protection Zone' prominently on the fence designating the root protection zone and describing the penalties for violation.
- 5 Install the fence before any ground-disturbing activities take place, including clearing, grading, or construction.
- 6 Keep the fence in place until final inspection.

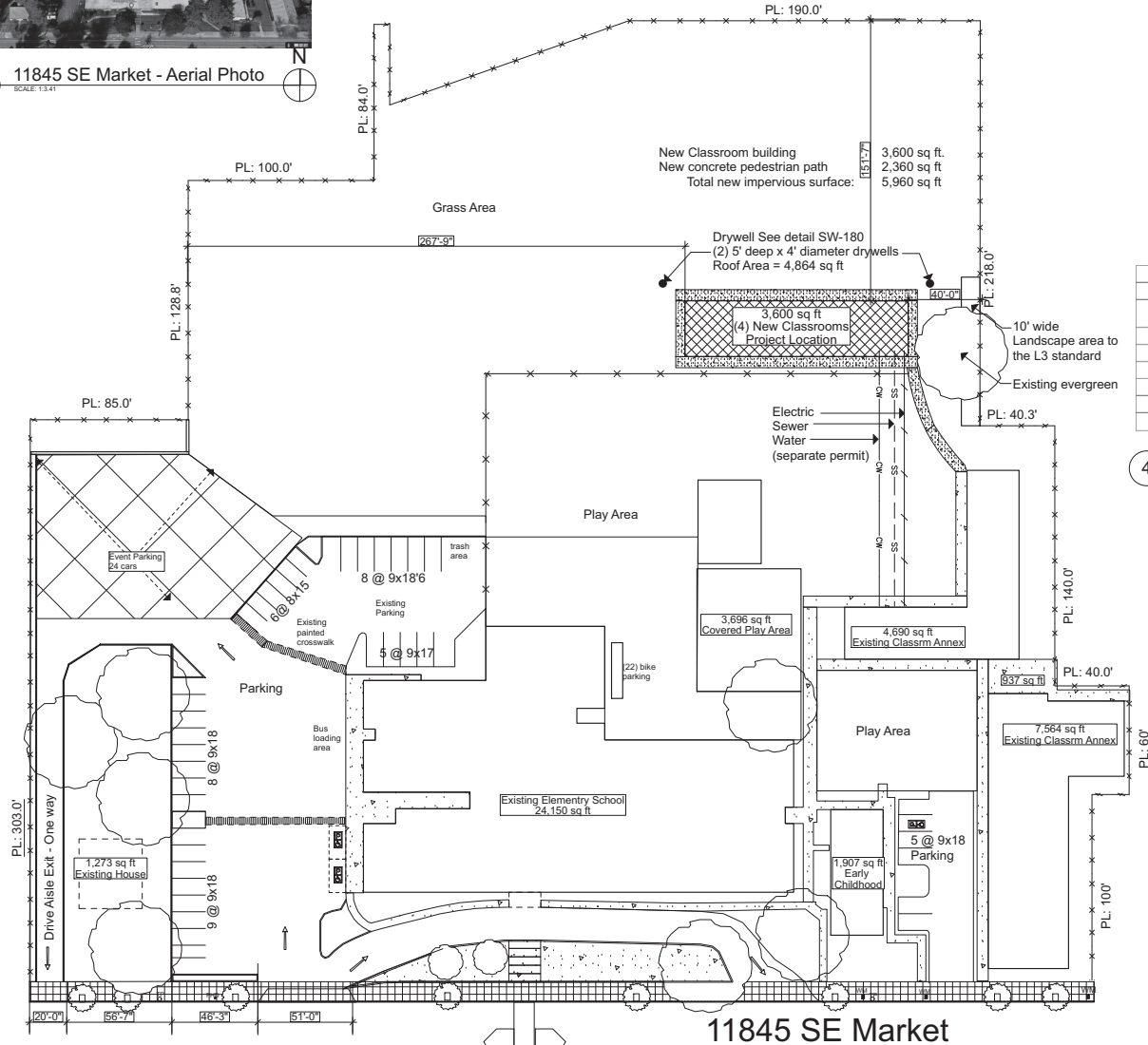
CITY OF PORTLAND, OREGON - BUREAU OF DEVELOPMENT SERVICES
Tree Root Protection Zone (TRPZ) is the area around a tree trunk that is protected from construction activities that could damage the tree's root system.



6 Tree protection
SCALE: 1:162



2 11845 SE Market - Aerial Photo
SCALE: 1:341



1 Site Plan
SCALE: 1" = 30'

Project Description:
Existing school building a New 3,600 sq ft one story classroom building

Existing Site Area	250,470
Building Area:	
Existing Classroom/Bldg Area	42,005
New Building Area	3,600
Total	45,605

Existing Exterior Improvements:	
Existing Pedestrian path	9,905
Existing Parking & Drive Aisles	49,953
Existing Play Area Paved	9,936
Total	69,794

Parking Spaces	67
----------------	----

Existing Other Play Area (bark chip area)	30,565
---	--------

Total	101,359
-------	---------

New Exterior Improvements:	
New Pedestrian path	2,360

Far	17%
Height	12'-9"
Setbacks	150' North PL, 40' East PL, 268' West PL
New & Existing Building Coverage	New 3,600 & 42,000 Existing
New Bldg. Length	120'
Main Entrance	N/A
Street-facing facade	N/A
Landscape Areas	94,745 sf
Trees	Title 11

4 Zoning
SCALE: 1:131



AHHA
Architect Inc.

Raphael A. Goodblatt
6663 SW Beaverton Hillsdale Hwy
#222
Portland, OR 97225
rag@ahhapdx.com
503 734 8210
Copyright ©2024 AHHA Architect Inc.

PROJECT OWNER:

The Christian
School Society Of Portland
12425 NE San Rafael
Portland Oregon 97203

Project Location
11845 SE Market St
Portland Oregon 97216

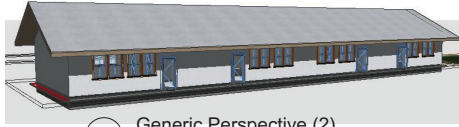
Contact Person:
Mike@envisionproperties.org
503 709 6997

Project Date:
12/3/24

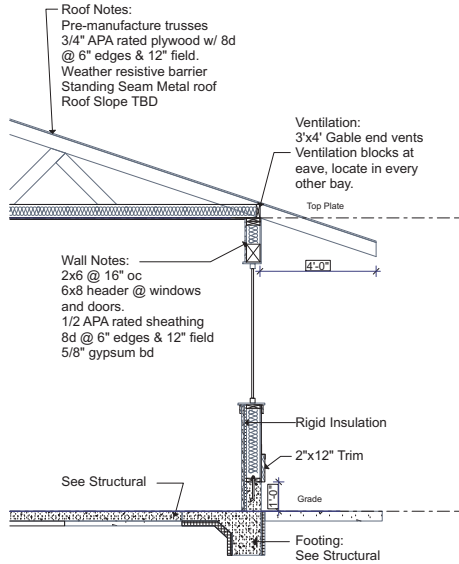
SHEET TITLE
Site Plan

AS-001

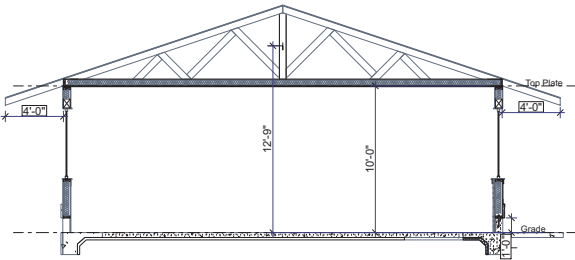
11845 SE Market 12.3.24.pln; 12/3/24, 1:47 PM



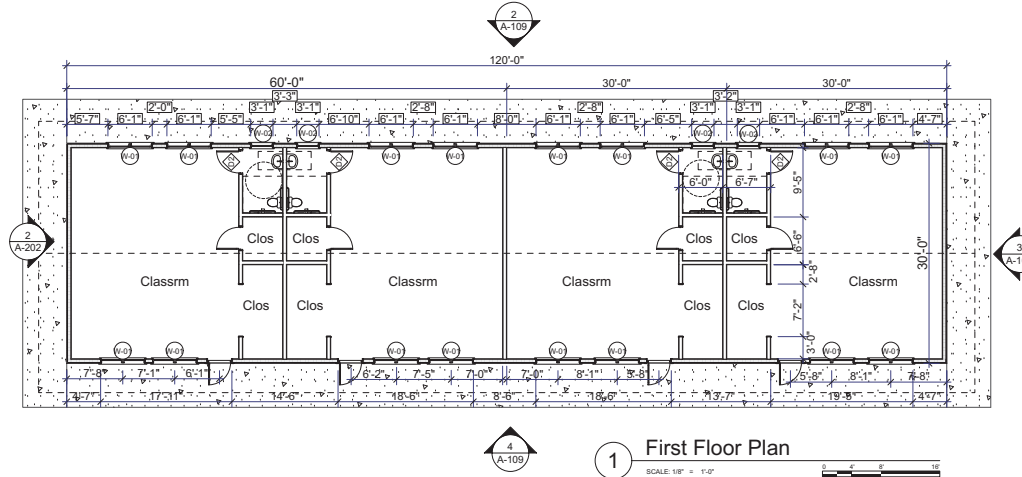
9 Generic Perspective (2)
SCALE: 1/128' = 1"



6 Wall Section
SCALE: 1/8\"/>



5 Building Section
SCALE: 1/4\"/>



1 First Floor Plan
SCALE: 1/8\"/>



4 South Elevation
SCALE: 1/8\"/>



2 North Elevation
SCALE: 1/8\"/>



3 East/West Elevations
SCALE: 1/8\"/>

DOOR SCHEDULE								
DOOR NUMBER		NOMINAL WIDTH	NOMINAL HEIGHT	LEAF THICKNESS	TYPE	HARDWARE SET	ACCESSORIES	REMARKS
ROOM	ID							
	D2	3'-0" (4)	7'-0" (4)	1 3/4" (4)		Undefined	Undefined	Undefined
	D-01	3'-0" (7)	6'-8" (7)	1 3/4" (7)		Undefined	Undefined	Undefined
	D-02	3'-0" (1)	6'-8" (1)	1 3/4" (1)		Undefined	Undefined	Undefined

WINDOW SCHEDULE									
WINDOW NUMBER		ROOM NAME	WIDOW SIZE		TYPE	ACCESSORIES	U-VALUE	TEMPERED	REMARKS
ROOM	ID		NOMINAL WIDTH	NOMINAL HEIGHT					
	W-01		6'-0" (16)	5'-0" (16)	Undefined	Undefined	Undefined	<input type="checkbox"/>	Undefined
	W-02		3'-0" (4)	3'-0" (4)	Undefined	Undefined	Undefined	<input type="checkbox"/>	Undefined

Project Description:
New school building for an existing Portland Christian School - Elementary School 30'x120' = 3,600 sq ft. The building will have four classrooms and four ADA bathrooms.

Zone Code: RM1
Code Summary:
Building Code: OSSC 2022
Building Sq Ft: 3,600
Construction Type: VB
Occupancy: E
Occ load per classroom (4) total rooms: 900/20 = 45 occupants
Stories: 1
Sprinklers: Not required
Alarms: Not required

Table of Contents:
A - 109 Code Summary
Floor plans
Elevations
Sections
Schedules

AS - 001 Site Plan

LU 24-089508 CU
Exhibit D.2



PROJECT OWNER:
The Christian School Society Of Portland
12425 NE San Rafael
Portland Oregon 97203

Project Location
11845 SE Market St
Portland Oregon 97216

Contact Person:
Mike@envisionproperties.org
503 709 6997

Project Date:
12/3/24

SHEET TITLE
First Floor Plan

A-109



City of Portland, Oregon - Portland Permitting & Development

1900 SW Fourth Avenue • Portland, Oregon 97201 | 503-823-7300 | www.portland.gov/ppd

Water Bureau

DATE: January 21, 2025

TO: Don Kienholz
Portland Permitting & Development

FROM: Kris Calvert
Development Review and Services

SUBJECT: Review of **24-089508 CU**

A. RESPONSE SUMMARY

Water does not object to approval of the conditional use application. The proposed development will be subject to Water standards and requirements during the permit review process.

B. WATER SERVICE

For the conditional use application to be approved, the applicant must show that the proposal complies with the public services approval criterion related to water service (PCC 33.815.105.D.3). The comments below are in response to this criterion.

1. *Existing Water Infrastructure:* According to available GIS data, the following water infrastructure is located in the vicinity of the project site:
 - a. 6" cast iron and ductile iron main in SE Market St.
2. *Service Availability:* Water services must be in the frontage of the property that they serve. This property has five existing water services:
 - a. 11941 SE Market St: ¾" meter on a ¾" service, located approximately 486' west of the west line of SE 122nd Ave
 - b. 11933 SE Market St: ¾" meter on a ¾" service, located approximately 569' west of the west line of SE 122nd Ave
 - c. 11845 SE Market St: 1" meter on a 1" service, located approximately 618' west of the west line of SE 122nd Ave
 - d. 11845 SE Market St: 1.5" meter on a 2" service, located approximately 421' east of the east line of SE 117th Ave

- e. 11801 SE Market St : 5/8" meter on a 3/4" service, located approximately 236' east of the east line of SE 117th Ave
3. *Water Service Requirements:* Water service must be in the frontage of the lot that it serves. New water services must meet the requirements of City Code [Title 21 Water](#) and the Portland Water Bureau [Portland Water Bureau Engineering & Technical Standards Administrative Rule | Portland.gov](#).

C. CONDITIONS OF APPROVAL

Water has no recommended conditions of approval.

D. PERMIT INFORMATION

At the time of permit review the applicant should be aware of the following:

1. Existing water services and water needs of the proposed project will be evaluated at the time of permit review. If the existing service(s) provide sufficient water for the proposed development, the existing services can be used. Any additional water services or changes to the existing services will be done by the Portland Water Bureau at the applicant's expense.
2. Building plans for this project must include a detailed site utility plan which shows proposed and existing water services, as well as the SE Market St right-of-way from property line to the opposite curb.
3. Backflow prevention assemblies are required for all dedicated irrigation services, dedicated fire lines, mixed-use/multi-tenant developments, certain occupancies, and meters larger than 1.5". A backflow assembly may be required on smaller services based on the use of the property. Dedicated fire sprinkler water services are to be equipped with a state-approved detector style backflow prevention assembly.

Water Bureau required backflow assembly installations can significantly impact property frontage development. Water Bureau required assemblies are typically required to be installed on private property at the property line, on the centerline of the city water service. Some installations are required to be installed above finished grade in an approved insulated outdoor enclosure. Assemblies installed inside of buildings must be approved prior to installation. Water services to high rise buildings (measured 75-feet from lowest finished floor to top of structure) are required to be equipped with Reduced Pressure type backflow assemblies.

- a. Please reference possible backflow assembly requirements for your project at <https://www.portland.gov/water/backflow-prevention/backflow-assembly-installation-requirements> or call Water Quality Inspection at 503-823-7479 for more information.

Please email me if you have any questions or comments: Kris.Calvert@portlandoregon.gov.



PORTLAND FIRE & RESCUE



Rene Gonzalez, Commissioner
Ryan Gillespie, Fire Chief
Kari Schimel, Fire Marshal
Prevention Division
1300 SE Gideon St.
Portland, OR, 97202
Phone: (503)823-3770

LAND USE REVIEW RESPONSE

TO: Don Kienholz, City of Portland, Land Use Review
FROM: Dawn Krantz, Portland Fire Bureau 971-313-3675
DATE: January 14, 2025
SUBJECT: LU 24-089508 CU
SITE LOCATION : 11845 SE MARKET ST

The following conditions of approval and informational comments are based on the land use review information provided to the Fire Bureau. Fire Bureau requirements are generated from the 2023 Portland Fire Code. All current Fire Code requirements apply and are required to be met. If these conditions cannot be met, an appeal providing an alternative method is an option for the applicant. If the applicant chooses to appeal a requirement, the appeal must be listed as a condition in the decision. Fire Code Appeals can be obtained at the Fire Bureau web page, www.portlandonline.com.

CONDITIONS OF APPROVAL AT TIME OF DEVELOPMENT

A separate building permit is required for this proposal. All applicable Fire Code requirements shall apply at the time of permit review and development.



CITY OF PORTLAND, OREGON



Bureau of Police

Keith Wilson, Mayor
Robert Day, Chief of Police

1111 S.W. 2nd Avenue • Portland, OR 97204 • Phone: 503-823-0000

Integrity • Compassion • Accountability • Respect • Excellence • Service

Date: January 16, 2025
To: Don Kienholz, Land Use Services
From: Jonathan Miller, Strategic Services Division
Subject: Land Use Review Response
Case Number: LU 24-089508 CU
Site Address: 11845 SE MARKET ST

The Police Bureau has reviewed this land use case and has no concerns with the proposal.

The proposal was evaluated on whether police can provide adequate public safety services to the proposed Conditional Use. The Police Bureau is currently able to serve the existing site and will be able to provide services after the proposed change.

Police officers can reasonably access the site using the existing or proposed right of ways by foot and vehicle without restriction.

The Portland Police Bureau does not request any conditions of approval.

Please contact me with any questions.



City of Portland, Oregon - Portland Permitting & Development

1900 SW Fourth Avenue • Portland, Oregon 97201 | 503-823-7300 | www.portland.gov/ppd

Land Use Response

Date: January 17, 2025

To: Don Kienholz, PP&D Land Use Services
503-865-6716, Don.Kienholz@portlandoregon.gov

From: Ella Ruth, BES Systems Development
503-823-8068, Ella.Ruth@portlandoregon.gov

Case File: LU 24-089508

Location: 11845 SE MARKET ST

R#: R332056

Proposal: The applicant is proposing to construct a new 3,600-sf single-story classroom building just north of the existing play area located in the north-central portion of the site. Portland Zoning Code Section 33.281 regulates school sites and provides the thresholds for when development requires a land use review. Under 33.291.050.A.3 and 33.281.050.B.4, the addition of the proposed 3,600-sf building requires a Type II Conditional Use Review.

The following comments are based on the land use review plans and documents provided to the PP&D Public Infrastructure - Environmental Services (BES) staff. Some references to Portland City Code (PCC) are included below; the applicant may also refer to the Auditor's Office [Online Charter and Code page](#).

A. RESPONSE SUMMARY

BES does not object to approval of the conditional use application. The proposed development will be subject to BES standards and requirements during the permit review process.

B. SANITARY SERVICE

For the conditional use application to be approved, the applicant must show that the proposal complies with the public services approval criterion related to sanitary waste disposal (PCC 33.815.105.D.3). The comments below are in response to this criterion.

1. **Existing Sanitary Infrastructure:** According to available GIS data, the following sewer infrastructure is located in the vicinity of the project site:
 - a. Public 8-inch PVC sanitary sewer in SE Market St (BES as-built # 4570).
 - b. Public 8-inch PVC sanitary sewer in SE Madison St (BES as-built # 4570).
2. **Service Availability:** Sanitary connections from private property that are to be permitted according to PCC 17.32.090 must be separately conveyed to the property line and connected through individual laterals to a City sanitary or combined sewer. All discharge must be connected via a route of service approved by the BES Chief Engineer.
 - a. **Existing Development:** According to City records, the existing structures are currently connected to sewer via multiple laterals located approximately in SE Market St.
 - b. **Proposed Development:** No changes to the sanitary system have been proposed.
3. **Connection Requirements:** Connections to the City sewer system must meet the standards of the City of Portland's [Sewer and Drainage Facilities Design Manual](#), [PCC 17.32.090](#), administrative rules [ENB-4.07](#) and [ENB-4.17](#), and all other relevant City codes and rules. Sanitary sewage from private property must be separately conveyed to the property line and

Ph: 503-823-7740 Fax: 503-823-6995 ■ www.portlandoregon.gov/bes ■ Using recycled paper ■ An Equal Opportunity Employer

The City of Portland complies with all non-discrimination laws including Title VI (Civil Rights) and Title II (ADA).

To request a translation, accommodation or additional information, please call 503-823-7740, or use City TTY 503-823-6868, or Oregon Relay Service: 711.

LU 24-089508 CU
Exhibit E.4

connected through individual laterals for discharge to the City separate sanitary or combined sewer. Per [ENB-4.07](#), sewer connection permits are required to make new connections to City mains and laterals, relocate or upsize existing laterals, and repair sewers in City right-of-way. The permittee is responsible for verifying the location, depth and size of an existing sewer lateral and for ensuring the lateral is clear of obstructions prior to connection.

Staff finds the applicant's proposed sanitary sewer service acceptable for the purpose of reviewing the conditional use review application.

C. STORMWATER MANAGEMENT

For the conditional use application to be approved, the applicant must show that the proposal complies with the public services approval criterion related to stormwater disposal (PCC 33.815.105.D.3). The comments below are in response to this criterion.

1. *Existing Stormwater Infrastructure:* According to available GIS data, the following stormwater infrastructure is located in the vicinity of the project site:
 - a. There are no public storm-only sewers available to this property.
 - b. Public underground injection control (UIC) systems ("sumps") infiltrate stormwater runoff from the public right-of-way in the vicinity of the site. Stormwater from private development cannot be discharged to public UICs.
2. *General Stormwater Management Requirements:* Development and redevelopment sites that include any of the triggers listed in PCC 17.38.040 are subject to the policies and standards of PCC 17.38.035, Portland's [Stormwater Management Manual](#) (SWMM) and [Source Control Manual](#) (SCM). Projects must comply with the current adopted version of the SWMM as of the permit application date. A fundamental evaluation factor in the SWMM is the Stormwater Infiltration and Discharge Hierarchy (Section 1.3.3), which sets the framework that will be used to determine when a project's stormwater runoff must be infiltrated onsite and when offsite discharge will be permitted, and the parameters that must be met for either scenario. If tested infiltration rates on a property are greater than or equal to 2 inches per hour, onsite infiltration will be required unless the site qualifies for the ecoroof exception per Section 3.2.1 or infiltration is determined infeasible based on site conditions described in Chapter 2 of the SWMM. Note that maximum building coverage allowed by the zoning code, including below grade development, does not exempt the applicant from stormwater requirements. Pollution reduction and flow control requirements must be met using vegetated facilities to the maximum extent feasible, though roof runoff and some paved impervious surfaces are exempt when discharging directly to a UIC (refer to Sections 1.3.2, 1.3.4, 3.2.4 and 4.2.2 of the SWMM).
3. *2025 SWMM Update:* Note that the SWMM is currently being revised with the new version expected to go into effect March 1st, 2025 (subject to change). The draft 2025 SWMM is available [HERE](#). The applicant is encouraged to review the additional information and summary of changes provided at the above link. There will be a grace period of three months during which either SWMM version can be used. Outside the grace period, each application will be reviewed under the manual in effect at the time of submittal. Specifically, land use reviews will be conducted under the manual in place at the time of application submittal (provided that the application is complete within 180 days of submittal), building permits will be reviewed against the manual version in effect at the time of permit "in date," and Public Works Permits will be reviewed against the manual version in effect on the date the Concept Development Submittal is accepted for review. Although staff will attempt to identify and describe potential impacts of the updated SWMM to this proposal, it is the applicant's responsibility to also review the provided information and revisions in the context of the development proposal.
4. *Private Property Stormwater Management:* Stormwater runoff from this project must comply with all applicable standards of the SWMM and be conveyed to a discharge point along a route of service approved by the BES Director or the Director's designee.

- a. The proposed project will add or redevelop greater than 500 square feet of impervious area and will therefore trigger the requirements of the SWMM. The submitted site plan does not include a stormwater report but do indicate that stormwater will be managed with drywells. With the understanding that there are already several functioning drywells on the site and that infiltration is generally feasible in this area, BES will not require updated plans for this land use review; however, BES will require a detailed stormwater management plan for this project during building permit review. Please refer to the Stormwater Infiltration and Discharge Hierarchy and submittal requirements in the SWMM (see link above). **For the purpose of the conditional use review, BES has determined that the submitted materials sufficiently show how the approval criteria for stormwater management are met.**
5. *Public Right-of-Way Stormwater Management:* Stormwater runoff from public right-of-way improvements as required by the City of Portland Bureau of Transportation (PBOT) must be managed according to the standards of the SWMM and the Sewer and Drainage Facilities Design Manual. There are no public right-of-way improvements that will trigger BES public stormwater drainage improvements.

With the recommended conditions of approval staff finds the applicant's proposed stormwater management plan acceptable for the purpose of reviewing the conditional use against the stormwater management approval criterion.

D. CONDITIONS OF APPROVAL

BES has no recommended conditions of approval.

E. PERMIT INFORMATION

At the time of permit review the applicant should be aware of the following:

1. *Connection Fees:* Sewer system development charges and connection fees are assessed at the time of building plan review and change every fiscal year on July 1st. For additional information on these fees use the [PP&D Online Fee Estimator](#) or call the BES Development Review Team at 503-823-7761, option 2.
2. *Building Plans:* Building plans for this project must include a detailed site utility plan which shows proposed and existing sanitary connections, as well as stormwater management that meets the requirements of the version of the SWMM that is in effect at the time permit applications are submitted.
3. *UIC Registration:* The Oregon Department of Environmental Quality (DEQ) regulates underground injection control (UIC) facilities to protect groundwater. Drywells and soakage trenches are examples of UICs. It is the applicant's responsibility to register all onsite UICs with DEQ, as appropriate. To learn more visit [DEQ's website](#) or contact the DEQ UIC Program at 503-229-5623. The SWMM also includes general UIC information.

G. ADMINISTRATIVE REVIEW

The applicant may request a modification of a decision presented in this response, as applicable, via an administrative review as outlined in PCC sections 17.06.050, 17.32.150, 17.33.100, 17.34.115, 17.36.110, 17.38.060 and 17.39.120 and in those sections' associated administrative rules. Some portions of this response are not decisions, but guidance related to requirements that this proposal may be subject to during City review of other processes, such as a building permit or public works permit review. While these are not decisions that are ripe to be considered through an administrative review, if the outcome of a future administrative review needs to be anticipated at this time in order to inform the land use action, the administrative review process may be utilized. Some items, such as technical standards, are not reviewable. For guidance on whether a modification can be requested and whether the land use process is the proper time to request it, consult with the BES staff identified above prior to submitting a request.

There is no fee charged for an administrative review, and all BES penalties and late fees will be stayed pending the outcome of the review process, as applicable. To request an administrative review, the applicant must complete the Administrative Review Request Form (located here: www.portlandoregon.gov/bes/68285) and submit it to the Systems Development staff listed above within 20 business days of the mailing date of this response. The applicant should coordinate with the PP&D Land Use Services planner to determine whether applying for an administrative review would have an impact on state-mandated land use timelines.



City of Portland, Oregon - Portland Permitting & Development

1900 SW Fourth Avenue • Portland, Oregon 97201 | 503-823-7300 | www.portland.gov/ppd

To: Don Kienholz
From: Guy Altman, Life Safety Plans Examiner
Date: January 2, 2025
RE: 11845 SE MARKET ST, 24-089508-LU

LIFE SAFETY PLAN REVIEW RESPONSE

The following comments are based on the plans and documents provided to the Life Safety Plan reviewer. They are intended to provide the applicant with preliminary Building Code information that could affect the Land Use Review, Public Records request and/or future Building Permit reviews. The comments may not identify all conflicts between the Land Use proposal and the Building Codes. A complete Life Safety plan review will be provided at the time of Building Permit submittal at which time any additional Building Code issues will be noted. The comments are based on the Oregon Structural Specialty Code (OSSC), the International Existing Building Code (IEBC), the Oregon Mechanical Specialty Code (OMSC), or the Oregon Residential Specialty Code (ORSC).

RESPONSE SUMMARY

☒ Life Safety Plan Review does not object to the approval of this proposal. The applicant should be aware that several building code requirements may impact the final design of this building. For information regarding future compliance, see the **GENERAL LIFE SAFETY COMMENTS** below.

Item #	GENERAL LIFE SAFETY COMMENTS
1	Building Permit Required - A separate Building Permit is required for the work proposed and the proposal must be designed to meet all applicable building codes and ordinances. Information about submitting a permit application request is available online at https://www.portland.gov/ppd/permit-review-process/apply-permits .
2	Opening Allowances - Openings in exterior walls are limited by this section.. (OSSC 705.8)
3	Exit Discharge - The exit discharge shall provide a direct and unobstructed access to a public way. (OSSC 1028.5)
4	Accessible Route - At least one accessible route shall be provided within the boundary of the site from public transportation stops, accessible parking spaces, passenger loading and drop off zones, and public streets or sidewalks to an accessible entry. (OSSC 1104.1)
5	Accessible Parking - Accessible parking is required. Accessible van parking spaces must be at least 9 feet wide with an adjacent access aisle at least 8 feet wide. Accessible parking spaces must be at least 9 feet wide with an adjacent access aisle at least 6 feet wide. (OSSC 1106.7, ANSI 117.1 –Section 502, Standards for Accessible Parking Places – Oregon Transportation Commission).
6	Energy Code - The building exterior envelope shall meet the prescriptive requirements of the Oregon Energy Efficiency Specialty Code in Chapter 13 of the OSSC.

Site Development Response

 2024 089508 000 00 LU Land Use Review Pending

<input type="checkbox"/>	Process	Status	To Start
+ Land Use Review (5)			
- Site Development (1)			
<input type="checkbox"/>	Site Dev Review - LU	No concerns	12/30/2024
+ Life Safety (1)			
+ Fire Review (1)			



Urban Forestry

Land Use Review Response

Date: January 17, 2025
From: Neil Olson
971-480-0805, Neil.Olson@portlandoregon.gov
Case File: 24-089508-000-00-LU
Location: 11845 SE MARKET ST
Proposal: The applicant is proposing to construct a new 3,600-sf single-story classroom building just north of the existing play area located in the north-central portion of the site. Portland Zoning Code Section 33.281 regulates school sites and provides the thresholds for when development requires a land use review. Under 33.291.050.A.3 and 33.281.050.B.4, the addition of the proposed 3,600-sf building requires a Type II Conditional Use Review.

Urban Forestry has reviewed the proposal for its impact on existing city trees, street trees and heritage trees, street tree planting requirements and related mitigation in accordance with Title 11, Trees and for potential impacts upon urban tree canopy. It is the applicant's responsibility to disclose all aspects of their land use proposal that may impact required street tree plantings and existing street trees during the land use review process.

UNLESS EXPLICITLY STATED HEREIN, THIS REVIEW DOES NOT APPROVE STREET TREE REMOVALS AND DOES NOT PROVIDE ANY EXEMPTIONS TO TITLE 11 REQUIRMENTS.

Permits required after land use approval are subject to all applicable development standards and all provisions of the City Code, including Title 11. Title 11 regulations will be applied during the permit review process.

PLEASE NOTE THERE MAY BE OTHER APPLICABLE TREE REQUIREMENTS AS PER TITLE 33 PLANNING & ZONING.

1) Response Summary

Urban Forestry does not object to approval of the land use proposal. The proposed development will be subject to Title 11 regulations during the permit review process.

2) Tree Plan ([11.50.070](#))

A Title 11 compliant tree plan must be submitted with each phase of development review and permitting including land use reviews, building permits, and public works permits. The same tree plan shall be included with each permit.

A tree plan was submitted with the land use proposal, but additional tree information is required.

The following tree information is required and was not included with the proposal:

1. Existing improvements within the right-of-way
2. Construction staging areas
3. Proposed alterations including structures, impervious areas, grading, and utilities



4. Existing street trees at least 3 inches in diameter
5. Proposed tree activity
 - a. Trees to be retained and proposed tree protection measures
 - b. Trees to be removed
6. Tree protection plan
 - a. Plan must describe potential impacts of construction methods, staging areas, equipment usage, loading areas, and building materials that will impact regulated trees. The plan must describe how the existing street trees will have continued protection in accordance with Title 11.60 during the proposed development.

3) **Street Trees**

1. *Existing Street Conditions*

According to available GIS data, the frontages have the following configuration.

- a. SE Market St.: The site has approximately 343 feet of street frontage. The right-of-way is improved with pavement, curbs, tree cutouts, and sidewalk. There are overhead high voltage power lines. There are 4 street trees.

A field visit by Urban Forestry staff have confirmed the following trees:

- i. *Malus ssp.* (ornamental crabapple), 7" diameter, Good Condition
- ii. *Malus ssp.* (ornamental crabapple), 4" diameter, Good Condition
- iii. *Malus ssp.* (ornamental crabapple), 4.3" diameter, Good Condition
- iv. *Malus ssp.* (ornamental crabapple), 5.5" diameter, Good Condition

2. *Street Tree Protection Specifications* ([11.60.030](#))

The applicant has not provided a street tree protection plan. Tree protection is required for all trees required to be retained in accordance with Title 11 Trees, Protection Methods (11.60.030). Tree protection shall follow either the Prescriptive or Performance path. Protection methods must be shown on the tree plan. If using the Performance path, the alternate tree protection plan must be prepared by an arborist who has visited the site. The protection plan must describe the potential impacts of construction methods, staging areas, equipment usage, loading areas, and building materials that will impact regulated trees.

4) **Heritage Trees**

1. *Heritage Trees* ([11.20.060](#)):

There are no trees located on or adjacent to the site that are on the City of Portland's Heritage Tree list.

5) **Recommendations**

Urban Forestry has no objection to the proposed project.





City of Portland, Oregon - Portland Permitting & Development

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TRANSPORTATION RESPONSE TO LAND USE SERVICES LAND USE REVIEW REQUEST

LU: 24-089508-000-00-LU Date: January 16, 2025
To: Don Kienholz, Land Use Services, B299/R5000
From: Tyler Mann, B106/800, 503-823-3044
Applicant: Ahha Architect, Inc. *Raphael Goodblatt*
AHHA ARCHITECT, INC.
6663 SW BEAVERTON HILLSDALE HWY, #222
PORTLAND, OR 97225

Location: 11845 SE MARKET ST

TYPE OF REQUEST: Type 2 procedure CU - Conditional Use

DESCRIPTION OF PROJECT

The applicant is proposing to construct a new 3,600-sf single-story classroom building just north of the existing play area located in the north-central portion of the site. Portland Zoning Code Section 33.281 regulates school sites and provides the thresholds for when development requires a land use review. Under 33.291.050.A.3 and 33.281.050.B.4, the addition of the proposed 3,600-sf building requires a Type II Conditional Use Review.

RESPONSE

Portland Transportation/Development Review has reviewed the application for its potential impacts regarding the public right-of-way, traffic impacts and conformance with adopted policies, street designations, Title 33, Title 17, and for potential impacts upon transportation services.

Conditional Use Approval Criteria

The transportation related approval criteria related to the proposed Conditional Use that must be addressed are found in PZC Sections 33.815.105.D.1 and D.2.

33.815.105 Institutional and Other Uses in Residential and Campus Institutional Zones

D. Public services.

1. The proposal is supportive of the street designations of the Transportation Element of the Comprehensive Plan;

The subject site has frontage on SE Market St. which is classified in the City's Transportation System Plan (TSP) as follows:

Street Name	Pedestrian	Bicycle	Transit	Freight	Traffic	Emergency Response	Street Design
SE Market St.	City Walkway	Major City Bikeway	Local Service	Local Service	Neighborhood Collector	Secondary	Civic Corridor

Pursuant to the TSP, the above referenced street classifications include, but are not limited to, the

following functions:

City Walkways are intended to provide safe, convenient, and attractive pedestrian access along major streets and trails with moderate level of pedestrian activity supported by current and planned land uses. These includes Community and Regional Corridors, non-frequent transit lines, and moderate-demand off-street trails.

Major City Bikeways form the backbone of the city's bikeway network and are intended to serve high volumes of bicycle traffic and provide direct, seamless, efficient travel across and between transportation districts.

Local Service Transit streets primarily facilitate movement of smaller transit vehicles, including paratransit and community/jobs connector shuttles. Local Service Transit Streets seldom have regular transit service except for short street segments and do not typically include transit-specific street design elements such as bus stops. Local Service Transit Streets may be used for bus movements to and from a layover facility or bus garage, for turning around at the end of a line, or for temporary reroutes of a fixed-route line.

Local Service Truck streets are intended to serve local truck circulation and access.

Neighborhood Collectors are intended to serve as distributors of traffic from Major City Traffic Streets or District Collectors to Local Service Streets or to serve trips that both start and end within areas bounded by Major City Traffic Streets and District Collectors.

Secondary Emergency Response Streets are intended to provide alternatives to Major Emergency Response Streets in cases when traffic congestion, construction, or other events occur that may cause undue delays in response times.

Civic Corridors serve people throughout the City and are designed to emphasize multimodal mobility between major activity centers.

The applicant submitted a written narrative which is discussed in detail under the approval criteria for the conditional use review. As documented in the applicant response and based on the number of projected average daily vehicle trips based on student capacity as defined in [Appendix A](#) of [TRN-1.30](#), Thresholds for Frontage Improvement and Dedication Requirements, staff finds that an additional 94 trips are anticipated, which is less than a 15% increase in average daily trips for the existing school and less than 250 average daily trip increase. In addition, the applicant's response indicates the proposed classroom is not to increase the number of students, but to increase the useability of the existing school and classrooms on site. Transportation staff finds that the proposed use is supportive of the street designations of the Transportation Element of the Comprehensive Plan.

2. Transportation system:

a. The transportation system is capable of supporting the proposed use in addition to the existing uses in the area. Evaluation factors include safety, street capacity, level of service, connectivity, transit availability, availability of pedestrian and bicycle networks, access restrictions, neighborhood impacts, impacts on pedestrian, bicycle, and transit circulation. Evaluation factors may be balanced; a finding of failure in one or more factors may be acceptable if the failure is not a result of the proposed development, and any additional impacts on the system from the proposed development are mitigated;

Safety

Transportation staff agrees with the applicant's narrative that the minor increase in vehicular traffic that may result from the additional classrooms does not result in any new safety concerns. Separated bicycle facilities and new crossings since 2015 have been installed along SE Market through CIP TH00455. Crashes have occurred near SE Market Street & SE 117th Avenue and SE Market Street and SE 122nd Avenue prior to improvements along the SE Market Street frontage. *This evaluation factor is satisfied.*

Street capacity, Level of service

Street capacity and level of service are terms that apply primarily to vehicular traffic. The 24-hour volume counts found 1,445 daily trips on the east bound segment of SE Market Street and SE 122nd Avenue. West bound traffic volumes were measured at 1,174 average daily trips. This is a volume that is indicative of a local street, although the TSP Traffic Classification is Neighborhood Collector. Street capacity issues are not anticipated. Based on the description of the existing size of the classrooms and number of students already on site, staff finds the new classroom does not represent a significant increase in trips that would impact either street capacity or level of service. Approximately 94 additional trips may occur on average to and from the site if the classrooms are used to expand student capacity. The applicant has provided clarifying information that the proposed classroom is not intended to increase the number of students or capacity of the school but is instead proposed to allow better operation for students and faculty. *This evaluation factor is satisfied.*

Connectivity

The City's spacing goal for public through streets is a maximum of 530-ft per 17.88.040 - Through Streets. When full street connections are not possible, pedestrian and bicycle connections are sought no more than 330-feet apart. There is an existing 6-foot-wide pedestrian connection from SE Madison Street that enters the school site to provide pedestrian connectivity to SE Market Street providing a north/south connection that meets connectivity. Although the connectivity standards are not currently met between SE 117th Avenue and SE 122nd Avenue, staff acknowledges that pedestrian connections cannot be provided since the proposal does not meet the definition of an increase in trips per 17.88.020 and TRN-1.30, when transportation staff can require dedication. In addition, the existing development pattern precludes connections from being provided and is not practicable. *This evaluation factor is satisfied.*

Transit availability

The closest bus service is at the intersection of SE 122nd Ave and SE Market Street, which is approximately 480-feet from the site. The addition of four classrooms is not anticipated to result in changes to the availability of transit. *This evaluation factor is satisfied.*

Availability of pedestrian and bicycle networks

Separated sidewalk facilities and bicycle facilities existing along SE Market Street. The subject site has an 8-foot curb tight sidewalk and mid-block crossing with separated bicycle facilities. Curb extensions exist at the intersection of SE Market and SE 117th Avenue, which improves pedestrian safety. The sidewalk is buffered from vehicular traffic movement by an existing bike lane and existing parking and bike lane on the south side of SE Market Street. The result of four new classrooms will not impact the availability of existing pedestrian and bicycle networks. *This evaluation factor is satisfied.*

Access restrictions

The site has an existing driveway to SE Market Street. No changes are proposed or required. *This evaluation factor is satisfied.*

Neighborhood Impacts

Impacts on pedestrian, bicycle, and transit circulation

No changes are proposed to the location of streets or sidewalks surrounding the site. Circulation through the area will follow the same routes followed now. The minimal increase in trips will have no impact on the pedestrian bicycle circulation.

b. Measures proportional to the impacts of the proposed use are proposed to mitigate on- and off-site transportation impacts. Measures may include transportation improvements to on-site circulation, public street dedication and improvement, private street improvements, intersection improvements, signal or other traffic management improvements, additional transportation and parking demand management actions, street crossing improvements, improvements to the local pedestrian and bicycle networks, and transit improvements;

c. Transportation improvements adjacent to the development and in the vicinity needed to support the development are available or will be made available when the development is complete or, if the development is phased, will be available as each phase of the development is completed

As evidenced by the findings referenced above, transportation staff does not find that the proposed increase in vehicular trips to and from the site exceed the increase in trips threshold of [TRN-1.30](#); and therefore, off-site mitigation is not warranted for the proposed use.

Public Improvements

The proposed addition of four new classrooms does not exceed a 15% increase in average daily trips to and from the site and the valuation of the work is not anticipated to exceed 35% of the assessed value of improvements on-site. Therefore, no public improvements are anticipated to be required at the time of building permit per [TRN-1.30](#), Thresholds for Frontage Improvement and Dedication Requirements.

RECOMMENDATION

Transportation staff have no objection to approval of the requested conditional use review. Transportation staff have no recommended conditions of approval.

Kienholz, Don

From: Jenna Kindle <kindle.jenna@gmail.com>
Sent: Thursday, January 16, 2025 6:06 PM
To: Kienholz, Don
Cc: Clinton Kindle
Subject: LU 24-089508

I would like to fight the proposed plan of LU 24-089508 due to the following reasons:

The proposed plan will interfere with 33.815.105 C 1 and 2 as it will have adverse effects on the livability of the nearby residential zones. It will cause excessive noise due to the traffic. Traffic currently already causes a great deal of noise due to disgruntled cars honking because of the traffic caused by the school. This also causes a privacy and safety issue. Police, firetrucks and ambulances cannot get through during pick up and drop off times. This is a safety issue. This is currently occurring and expanding their building to include more enrollment will only worsen the issue.

It will also have impacts according to 33.815.105 D 2A. They already block bike lanes, and it will only get worse with the expansion. The cars going to and from the school are constantly blocking traffic on Market Street which backs up to 122nd and to Cherry Blossom/112th. They are also constantly blocking entrances to businesses, driveways and cul-de-sacs so residents are unable to leave or return home. This is currently occurring imagine and expanding their building to include more enrollment will make the area more dangerous for all.

The Cherry Park HOA beseeches you to consider this and do not impact our life even more than it already has by this school.

Sincerely,
The Cherry Park HOA Board



City of Portland, Oregon - Portland Permitting & Development

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Land Use Review Application

File Number: **LU 24-089508 CU**

FOR INTAKE, STAFF USE ONLY

Date Rec **10/16/24** by **ejd**

☐ Type I ☐ Type Ix ☒ Type II ☐ Type Iix ☐ Type III ☐ Type IV ☐ ELD

LU Reviews **CU**

[Y] ☒ Unincorporated MC

[Y] ☐ Potential Landslide Hazard Area (LD & PD only)

[Y] ☒ Combined Flood Hazard Area

[Y] ☒ DOGAMI

Qtr Sec Map(s) **3142 & 3242** Zoning **RM1**

Plan District **None**

Historic and/or Design District **None**

Neighborhood **Mill Park**

District Coalition **District 1**

Business Assoc **Gateway Area**

Related File # **CO 24-069956**

APPLICANT: Complete all sections below that apply to the proposal. Please print legibly.

Email this application and supporting documents to: LandUseIntake@portlandoregon.gov

Development Site
Address or Location **11845 SE Market St**

Cross Street _____ Sq. ft./Acreage **250,000sq ft / 5.5 acres**

Site tax account number(s)

R R992031420 = **R332056**

R

R

R

R

R

Describe project (attach additional page if necessary)

Portland Christian School proposes new classroom on existing campus. See narrative.

Describe proposed stormwater disposal methods

Drywells, see drawing sheet AS - 001 for drywell location and detail

Identify requested land use reviews

Conditional Use Review.

- **Design & Historic Reviews** - For new development, provide project valuation.

\$ 350,000

For renovation, provide exterior alteration value.

\$

AND provide total project valuation.

\$ 350,000

- **Land Divisions** - Identify number of lots (include lots for existing development).

New street (public or private)?

☐ yes ☐ no

- **Affordable Housing** - For buildings containing five or more dwelling units, will 50% or more of the units be affordable to households with incomes equal to or less than 60% of the median family income for the county or state, whichever is greater?

☐ yes ☐ no ☐ N/A

continued / over

1

Applicant Information

- Identify the primary contact person, applicant, property owner and contract purchaser. Include any person that has an interest in your property or anyone you want to be notified. Information provided, including telephone numbers and e-mail addresses, will be included in public notices.
- For all reviews, the applicant must sign the Responsibility Statement.
- For land divisions, all property owners must sign the application.

PRIMARY CONTACT:

Typed Full Name Raphael A. Goodblatt ☒ I acknowledge this typed name as my signature
Company/Organization AHHA Architect Inc
Mailing Address 6663 SW Beaverton Hillsdale Hwy #222
City Portland State Oregon Zip Code 97225
Day Phone 503 734 8210 FAX _____ email rag@ahhapdx.com

Check all that apply ☒ Applicant ☐ Owner ☐ Other

Typed Full Name Sherilee Thomas ☒ I acknowledge this typed name as my signature
Company/Organization The Portland Christian School
Mailing Address 11845 SE Market
City Portland State Oregon Zip Code 97216
Day Phone _____ FAX _____ email sherilee.thomas@pcschoools.org

Check all that apply ☐ Applicant ☒ Owner ☒ Other owner's rep

Typed Full Name _____ ☐ I acknowledge this typed name as my signature
Company/Organization _____
Mailing Address _____
City _____ State _____ Zip Code _____
Day Phone _____ FAX _____ email _____

Check all that apply ☐ Applicant ☐ Owner ☐ Other

Typed Full Name _____ ☐ I acknowledge this typed name as my signature
Company/Organization _____
Mailing Address _____
City _____ State _____ Zip Code _____
Day Phone _____ FAX _____ email _____

Check all that apply ☐ Applicant ☐ Owner ☐ Other

Responsibility Statement As the applicant submitting this application for a land use review, I am responsible for the accuracy of the information submitted. The information being submitted includes a description of the site conditions. I am also responsible for gaining the permission of the owner(s) of the property listed above in order to apply for this review and for reviewing the responsibility statement with them. If the proposal is approved, the decision and any conditions of the approval must be recorded in the County Deed Records for the property. The City of Portland is not liable if any of these actions are taken without the consent of the owner(s) of the property. In order to process this review, City staff may visit the site, photograph the property, or otherwise document the site as part of the review. I understand that the completeness of this application is determined by the Director. By my signature, I indicate my understanding and agreement to the Responsibility Statement.

Name of person submitting this application agrees to the above Responsibility Statement and acknowledges typed name as signature:

Raphael A. Goodblatt Date: Oct 16th 2024
Phone number: 503 734 8210 Email this application and supporting documents to LandUseIntake@portlandoregon.gov Submittal of locked or password protected documents will delay intake of your application. **2**



City of Portland, Oregon - Portland Permitting & Development

1900 SW Fourth Avenue • Portland, Oregon 97201 | 503-823-7300 | www.portland.gov/ppd

Date: November 4, 2024

To: RAPHAEL GOODBLATT
AHHA ARCHITECT INC
6663 SW BEAVERTON HILLSDALE HWY #222
PORTLAND, OR 97225
rag@ahhapdx.com

cc: Mark Bello
mark.mrbllc@gmail.com

From: Don Kienholz, Senior City Planner
Don.Kienholz@portlandoregon.gov | 503-865-6716

Case File: LU 24-089508 CU

The Portland Permitting & Development received your application for a Conditional Use for 11845 SE MARKET ST on October 21, 2024. I have reviewed the materials you submitted and identified additional materials you must submit to make your application complete in Section I, below. Once you submit this information, I will deem your application complete and proceed with a full review of your proposal. At that time, other City agencies may request additional materials to conduct their review.

Please send the requested information directly to me by email. Please label all correspondence and materials you submit with the case number LU 24-089508 CU. Please email me for file dropbox instructions if document or drawing file sizes are greater than 10MB.

The missing information identified below must be submitted within 180 days of the date you submitted the application. The deadline to make your application complete is **Monday, April 21, 2025**. If your application is not complete by this deadline, it will be voided, and the application fee will not be refunded (Zoning Code Section 33.730.060.A.2.d).

The application will be deemed complete when you have submitted:

- All of the requested information included in Section I, below. If you cannot provide all of the requested information at one time and intend to submit additional information, please include a written statement with each separate submittal indicating that you still intend to provide the additional missing information by the **Monday, April 21, 2025** deadline, **or**
- Some of the requested information included in Section I, below, and a written statement that no additional information will be provided; **or**
- A written statement that none of the requested information included in Section I, below, will be provided.

Since it's the applicant's responsibility to demonstrate that all relevant approval criteria are met, and since the requested information is needed to demonstrate this, not submitting the requested information may result in your application being denied.

I. Information Necessary to Complete Application

1. Review Type: The application submitted for this review was for a Type II Conditional Use Review. However, a Type III Conditional Use Review is required as discussed below with a Pre-Application Conference as a re-requisite before submitting. See Item #4 on options with the difference in fees.

A Type III review is required because between 2009 and 2010, a significant amount of parking was removed from the site and replaced with a student drop-off lane. Removal of parking on a school site is subject to 33.281.050. Because the number of parking spaces appears to have exceeded the allowance for no review in 33.281.050.A.6 and the 10% threshold in 33.281.050.B.3, it required a Type III CU review. As such, this Type II land use review cannot move forward at this time.

2. The parking spaces removed did not conform to the landscaping development standards in 33.266.130, so were considered non-conforming development subject to 33.258.070. Non-conforming development may be changed if the development is brought closer to compliance (33.258.070.C) or an Adjustment is requested to the standards. Additionally, the right to non-conforming development can be lost if it is discontinued continuously for three or more years under 33.258.070.E. Because the parking was removed around 2009/2010, it appears it was discontinued.
3. The current application generally reflects the approved parking conditions from a 2005 Conditional Use approval. A phone conversation with listed applicant Raphael Goodblatt noted the intent of the current land use review in addition to constructing the new classroom building is to restore the lost parking to its original configuration in order to proceed with a Type II Conditional Use review. However, because the parking was considered non-conforming development before being removed, it cannot be restored to its original condition (lacking perimeter or interior landscaping); and, if reestablished, it must conform to the current landscaping requirements in 33.266.130 or receive Adjustments to the applicable standards through a new Type III Conditional Use Review.
4. Because Type III Conditional Use applications are more expensive than Type II Conditional Use reviews and also require a Pre-Application Conference to be held before being submitted, you may elect to proceed with one of two options:
 - You may withdraw this application and request we apply the current fee payment towards the Pre-Application Conference. Left over funds would then be refunded. Because the fee is already paid, the pre-application conference could be scheduled by our land use techs as soon as you notify us; Or,
 - You may withdraw the application entirely and all fees will be refunded through the normal process, which can take several weeks. You can then submit for a pre-application conference at your convenience and the subsequent Type III Conditional Use review anytime after.
5. That said, we are exploring if it is legally possible to reestablish the parking that was lost but with it conforming to the development standards of 33.266.130 in addition to the new classroom as a Type II review. It is unclear if we are able to do so due to

the discontinuance of non-conforming development for more than three years. We will let you know as soon as we have an answer.

6. Because we must make a determination on completeness within 14 days under 33.730.060 and within 30 days under ORS 227.178(2), and refunds for withdrawn cases are reduced when a full completeness review and incomplete letter have been issued, we have limited the scope of this completeness review to the issue of review type in order to preserve the ability for a full refund should the case be withdrawn. If it is determined we are able to move forward with an application that includes reestablishing the parking as conforming as a Type II review, and you elect to do so, a full completeness review will be performed on the updated proposal and new materials. However, you will need to state so explicitly.

Respectfully,



Don Kienholz
Senior Planner

Kienholz, Don

From: Kienholz, Don
Sent: Thursday, November 21, 2024 5:21 PM
To: raphael goodblatt
Cc: Mark Bello LLC; rag@ahhapdx.com
Subject: RE: LU 24-089508 CU

Good evening,

Actually yes! Sorry, I missed most of the last week so have been pretty behind. It's a great application. I already let you know about the procedural aspect – we can keep it a Type II. The things we still need for completeness are the following:

1. Update site plan to make clear the 24 parking spaces in NW are ONLY for special event overflow parking and not for everyday use. In the narrative, describe how the school does, or will, prevent everyday use of those spaces since the yearly air photos make it appear they are used daily and the 2002 decision did not allow that. Condition C of that decision also said they could not be restriped but I'm guessing they have been since they aren't worn on more recent air photos and that condition is from 20+ years ago. Are they roped or coned off?
2. For Conditional Use reviews, obviously Transportation has a number of approval criteria that generally require a traffic study. These days, especially with minimum parking requirements removed, we don't necessarily need a Transportation Study, but we do need to know they are comfortable with whatever information the applicant has addressing those standards. The way we do this to make sure the applicant and Transportation is on the same page before the case is deemed complete is to have a completed Transportation Scoping form submitted. (found here: <https://www.portland.gov/transportation/development/documents/traffic-scope-approval-form/download>). Unfortunately, they don't assign a planner to the case until it's complete so if it's deemed complete before we have the scoping form and they need something after its deemed complete and assign, it really puts a big kink into the process since they can't recommend approval.
3. The narrative included a section about the development standards for institutional uses in the RM zone (33.120.275) and stated:

Applicant agrees to the following: Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

The new building is subject to some of the standards, such as setbacks, height and the landscaped buffering when abutting a residential zone (10-ft of L3). The site plan doesn't show or indicate what the landscaping buffering, if any, is. Does your statement mean you wish to demonstrate compliance with the standard at the time of building permit? If the standard is met, that is fine but should be shown on the site plan; But, if the standard isn't met, it would need an Adjustment and is best to be consolidated with this review. So, just need to clarify that part.

Thanks for your patience. Have a great evening,.

Best,

Don Kienholz, Senior City Planner

Portland Permitting & Development
Land Use Services Division, Title 33 Section
1900 SW Fourth Ave, Suite 5000
Portland, OR 97201

Email: Don.Kienholz@portlandoregon.gov

Phone: 503-865-6716

Hours: Monday through Friday, 8:30 AM to 5:00 PM

Have questions about your project or development? Book a [15-minute appointment here!](#)

The City of Portland ensures meaningful access to city programs, services, and activities to comply with Civil Rights Title VI and ADA Title II laws and reasonably provides: translation, interpretation, modifications, accommodations, alternative formats, auxiliary aids and services. To request these services, contact the Bureau of Development Services at 311 (503-823-4000), for Relay Service & TTY: 711.

Traducción e Interpretación | Biên Dịch và Thông Dịch | अनुवादन तथा व्याख्या

口笔译服务 | Устный и письменный перевод | Turjumaad iyo Fasiraad

Письмовий і усний переклад | Traducere și interpretariat | Chiaku me Awewen Kapas

Translation and Interpretation: 503-823-4000

From: raphael goodblatt <ragoodblatt@gmail.com>

Sent: Thursday, November 21, 2024 4:55 PM

To: Kienholz, Don <Don.Kienholz@portlandoregon.gov>

Cc: Mark Bello LLC <mark.mrbllc@gmail.com>; rag@ahhapdx.com

Subject: Re: LU 24-089508 CU

Checking in about Portland Christian School Land use application.

Raphael

On Tue, Nov 5, 2024 at 2:36 PM raphael goodblatt <ragoodblatt@gmail.com> wrote:

Excellent news. Thank you.

Raphael

R. Goodblatt

On Tue, Nov 5, 2024 at 1:56 PM Kienholz, Don <Don.Kienholz@portlandoregon.gov> wrote:

Hey Mark,

Oh, I fully recognized your name and may have even worked with you before but I can't recall any reviews of yours I've done. But yes, I've seen your name on past decisions and docs and knew you were consulting!

And yeah, I went and read through the 2002 decision and saw it was even different than the 2005 so there are some peculiarities we'll have to sort out but I think we can do it. That said the crux of my incomplete letter is null now as I was able to get feedback on the review threshold and discontinuance aspect. The new info I garnered from the 2002 also plays a role and I have to fully sort it out and will present it to you in a new letter. But the crux is there is a path to keep in the Type II process and in the current case! So that's good news.

Safe travels on your trip. Don't delve too deep into my letter as a new one will be coming. And, we can chat as necessary once I get the new letter out to you. Sound good?

Best,

Don Kienholz, Senior City Planner

Portland Permitting & Development

Land Use Services Division, Title 33 Section

[1900 SW Fourth Ave, Suite 5000](#)

[Portland, OR 97201](#)

Email: Don.Kienholz@portlandoregon.gov

Phone: 503-865-6716

Hours: Monday through Friday, 8:30 AM to 5:00 PM

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From: Mark Bello LLC <mark.mrbllc@gmail.com>
Sent: Tuesday, November 5, 2024 8:01 AM
To: Kienholz, Don <Don.Kienholz@portlandoregon.gov>
Cc: rag@ahhappdx.com
Subject: Re: LU 24-089508 CU

Good morning Don,

Thank you for your incomplete letter and willingness to work with us as we untangle this issue.

Raph and I have been concentrating on the number of parking spaces and not the design. We hope to furnish you with the exact numbers for each change from 2005 on.

Meanwhile, both Raph and I are traveling today and tomorrow but will parse your letter later this week. We hope to have a conversation with you next week. I'm especially interested in all the code specifics that are in play.

Raph said you didn't remember me. I think we do know each other as in the past I've described my role as a city planner with the former Planning Bureau/Office of Planning and Development/OPDR and BDS.

Have a good day,

Mark

Mark R Bello Consulting LLC

503.810.1852

On Nov 4, 2024, at 10:14 PM, Kienholz, Don <Don.Kienholz@portlandoregon.gov> wrote:

Hi Mark,

I talked to Raphael near end of day last Friday about this project and the level of review – it is submitted as a Type II but needs to be a Type III as discussed in the attached incomplete letter. He said that while he is listed as the applicant, you are the land use consultant on the project and I needed to talk to you about it. With it being near the end of the day, me being out of the office today, today being Day 14, and our desire to preserve the entirety of your fees, I had to issue an incomplete letter before being able to chat with you. I wrote it Friday but wasn't able to finalize and send it until now. So, please find attached the incomplete letter for the project.

In essence, the removal of the non-conforming parking on the west side of the site should have gone through a Type III review. Because it was non-conforming development (lack of landscaping meeting current code) and was discontinued, the code appears to say it can only be reestablished if meeting current standards and through a Type III review. That said, we are exploring if there is a legal path to reestablish it while conforming to the code as a Type II – but it is unclear if that is possible, and we've not completed our evaluation of that question. I will follow up with an answer once we have one.

Best,

Don Kienholz, Senior City Planner

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<LU 24-089508 Incomplete letter.pdf>

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