



City of Portland Design Commission

Design Advice Request

SUMMARY MEMO

Date: January 31, 2025
To: Susan Gust, Opsis Architecture
From: Grace Jeffreys, Design & Historic Review Team
503-865-6521 | grace.jeffreys@portlandoregon.gov
Re: EA 24-097880 DAR – PSU ITECK Center | 1025 SW Harrison
Design Advice Request Commission Summary Memo – January 9, 2025

Thank you for taking advantage of the opportunity to hold a Design Advice Request regarding your project. I hope you find it informative and valuable as you continue with your project development. Following, is a summary of the comments provided by the Design Commission at the January 9, 2025 Design Advice Request. This summary was generated from notes taken at the public meeting and a subsequent review of the public meeting recordings. To review those recordings, please visit: <https://efiles.portlandoregon.gov/record/17136655/>.

These Design Commission comments are intended to guide you in further design exploration of your project. These comments may also inform City staff when giving guidance over the course of future related land use reviews. It should be understood that these comments address the project as presented on January 9, 2025. As the project design evolves, the comments, too, may evolve or may no longer be pertinent.

Design Advice Requests are not intended to substitute for other Code-required land use or legislative procedures. Please keep in mind that the formal Type II land use review process [which includes a land use review application, public notification, and a Final Decision] must be followed once the Design Advice Request meetings are complete, if formal approval for specific elements of your project is desired.

Please continue to coordinate with me as you prepare your Type II Land Use Review Application.

Encl:
Summary Memo

Cc: Design Commission
Respondents

Executive Summary. The commissioners at the DAR agreed that the project is a well thought-out design with strong potential to positively impact both the environment and the community. They provided suggestions for refinements to improve aspects of entry visibility, signage, landscaping, and material treatments.

Commissioners Present. *Vice Chair Chandra Robinson, Tina Bue, Sarah Vaz, Thomas Eldridge, Zari Santner, Joe Swank; absent Chair Brian McCarter.*

Summary of Comments. Following is a general summary of Commission comments.

1. **Site organization.** The building works well with its surroundings, especially with the opening towards the north and the accessible path, promoting both learning and community interaction.
2. **Visual Connections.** The building is small, but the balanced use of glazing is well-suited to the use and location. Due to the small scale of the development, good views are also available through the site.
3. **New Entry.** A bigger, more visible entrance would make the building more inviting. The orientation facing east to greet the sun and a ceremonial sequence makes sense, but improvements to landscaping and clearer directions are needed. Removal of the temporary parking spot blocking the entry path would also help create a stronger connection to SW 10th. If the entry is not re-oriented towards the Walk of Heroines, additional landscape attention facing south may also be needed.
4. **Northern Path.** The northern path could use improvements. While it is not part of this development, Portland State University should consider enhancing it. In this development area, the new stormwater pond adjacent to the path in the NE corner is a welcome feature and improves the area's appearance.
5. **Signage.** Consider adding signage with interpretive information to help people understand the purpose of the building and surrounding landscape and encourage thoughtful use of the area. This would help educate the public, especially along the northern path.
6. **Landscaping.** The new design features support the landscape and the surrounding pedestrian paths. Consider adding more oak trees to enhance the existing Oak Savannah.
7. **Exterior materials.** The chosen materials are appropriate, but there are concerns about how natural wood, like cedar, will weather over time. Consider treatments to keep the canopy looking good and durable, and plan for the materials to age intentionally.

Exhibit List

- A. Applicant's Submittals
 1. Narrative and questions
 2. Drawings
 3. Scorecard (not used)
- B. Zoning Map
- C. Drawings
 - 1-22 (Attach C.14, 16 and 21)
- D. Notification
 1. Mailing list
 2. Mailed notice.
 3. Posting instructions sent to applicant.
 4. Posting notice as sent to applicant.

- 5. Applicant's statement certifying posting.
- E. Service Bureau Comments
 - 1. PP& D Environmental Services
 - 2. PP& D Transportation
- F. Public Testimony – none received.
- G. Other
 - 1. Application form
 - 2. Staff memo to Design Commission 1/2/2025
 - 3. CCFDG Matrix
 - 4. Staff presentation 1/9/25
 - 5. Applicant Presentation 1/9/25

File No.	EA 24 - 097880 DA	
1/4 Section	3128,3228	
Scale	1 inch =400 feet	
State ID	1S1E04	300
Exhibit	B	Nov 25, 2024

01 SITE PLAN

- 1. ITECK CENTER
- 2. FIRE
- 3. NIBBLING GARDEN
- 4. TABLE
- 5. ENTRY PATH
- 6. RAIN GARDEN
- 7. WOOD DECK
- 8. LOG SEATS
- 9. MEADOW PATH
- 10. VERNAL SPRING
- 11. GATHERING CIRCLE
- 12. WILLOW DOME
- 13. MICRO PRAIRIE MOUNDS
- 14. ROCKET MASS HEATER BENCH



Architectural Building Plan

FLOOR PLANS SHEET NOTES

1. REFERENCE SHEET A0.10 FOR MOUNTING HEIGHTS AND GENERAL INFORMATION
2. REFERENCE LIGHTING / ELECTRICAL FOR LIGHTING TYPES. NOT ALL LIGHTING IS SHOWN ON THE ARCHITECTURAL PLAN
3. REFERENCE EXTERIOR ELEVATIONS FOR EXTERIOR MATERIALS
4. ALL OUTSIDE INTERIOR CORNERS WITHOUT FRL WALL COVERING TO HAVE 4" HIGH S.S. CORNER GUARDS
5. ALL FURNITURE SHOWN FOR REFERENCE ONLY - GFCI
6. PROVIDE BLOCKING AS REQUIRED FOR ALL LOCATIONS TO RECEIVE FRP PANEL FINISH
7. PROVIDE BLOCKING AT LOCATIONS TO RECEIVE NEW TOILET ACCESSORIES

opsis

Opsis Architecture LLP
975 SE Main St., Portland, OR 97214
503.525.9511 | info@opsisarch.com
opsisarch.com

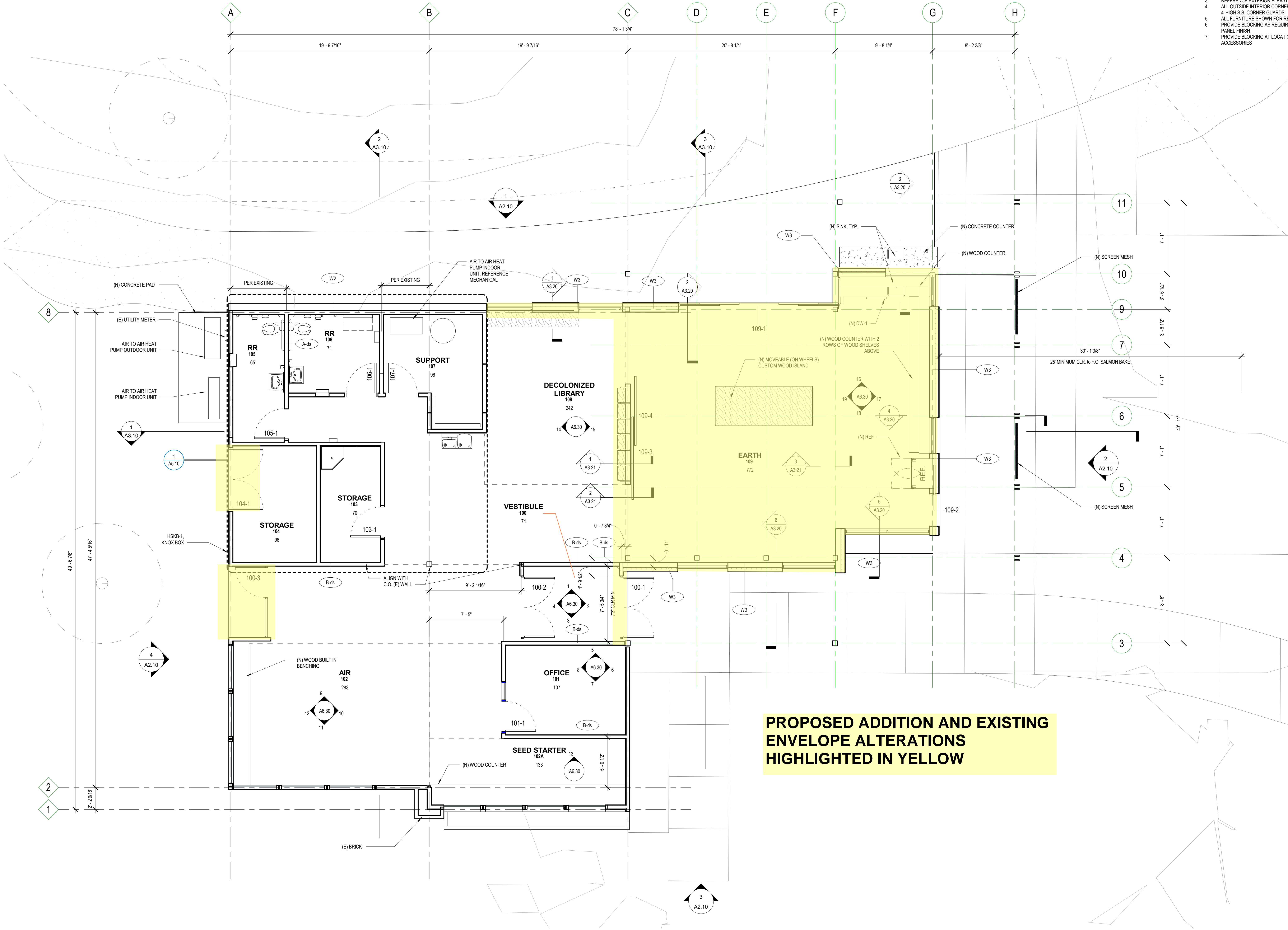
NOT FOR
CONSTRUCTION

Project Owner:
**PORTLAND STATE
UNIVERSITY**

Project Name:
ITECK CENTER

Project Address:
**1025 SW HARRISON ST,
PORTLAND OR 97201**

Key Plan



1 | Level 01
A1.01 1/4" = 1'-0"

Status: SCHEMATIC DESIGN

Date: 11/08/2024

Sheet Title: FLOOR PLAN

Sheet No. A1.01

Job No. 4922-01

Elevations



EXTERIOR ELEVATIONS SHEET NOTES

1. REFERENCE LEGEND FOR EXTERIOR MATERIALS
2. REFERENCE A4.01 FOR EXTERIOR FRAME TYPES
3. REFERENCE LANDSCAPE FOR GRADING
4. ALL REVEAL JOINTS DIMENSIONED TO CENTERLINE OF REVEAL
JUN
5. REF. A0.40 FOR EXTERIOR WALL AND ROOF ASSEMBLIES.
6. ALL BRICK AND CMU TO RECEIVE GRAFFITI RESISTANT
SEALER.



EXISTING BUILDING - NORTH ELEVATION

Opsis Architecture LLP
100 SE Main St., Portland, OR 97214
503.525.9511 | info@opsisarch.com
opsisarch.com

**NOT FOR
CONSTRUCTION**

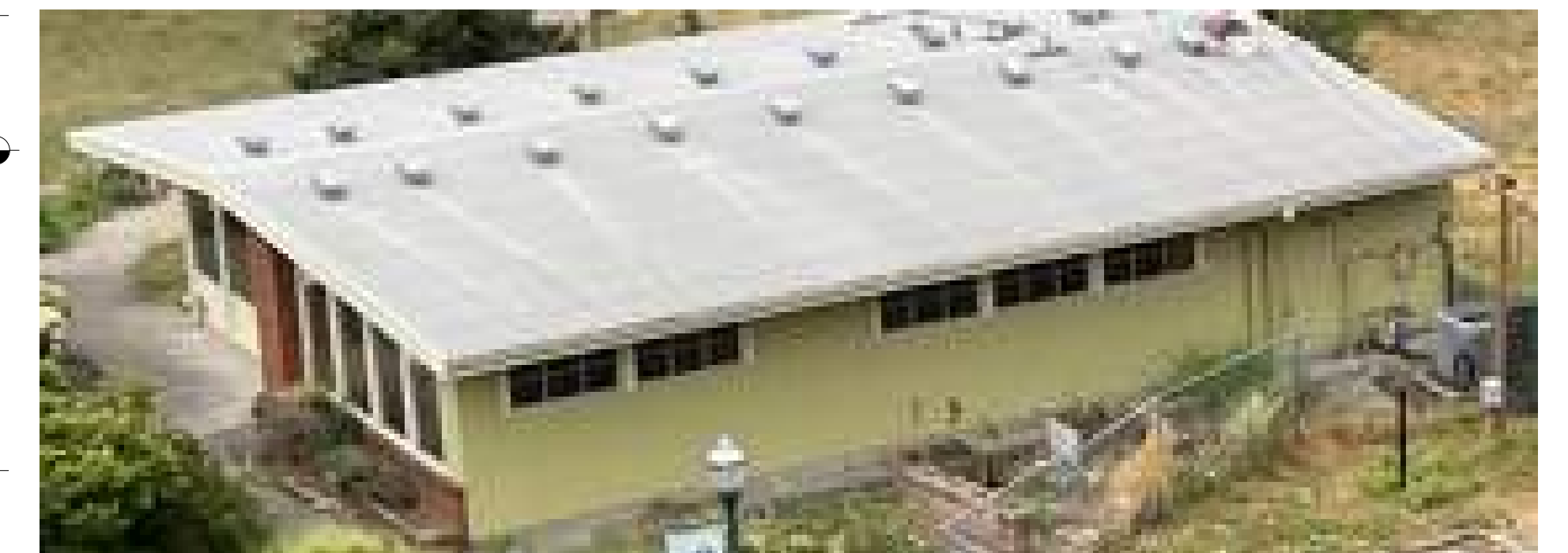
Project Owner:
**PORTLAND STATE
UNIVERSITY**



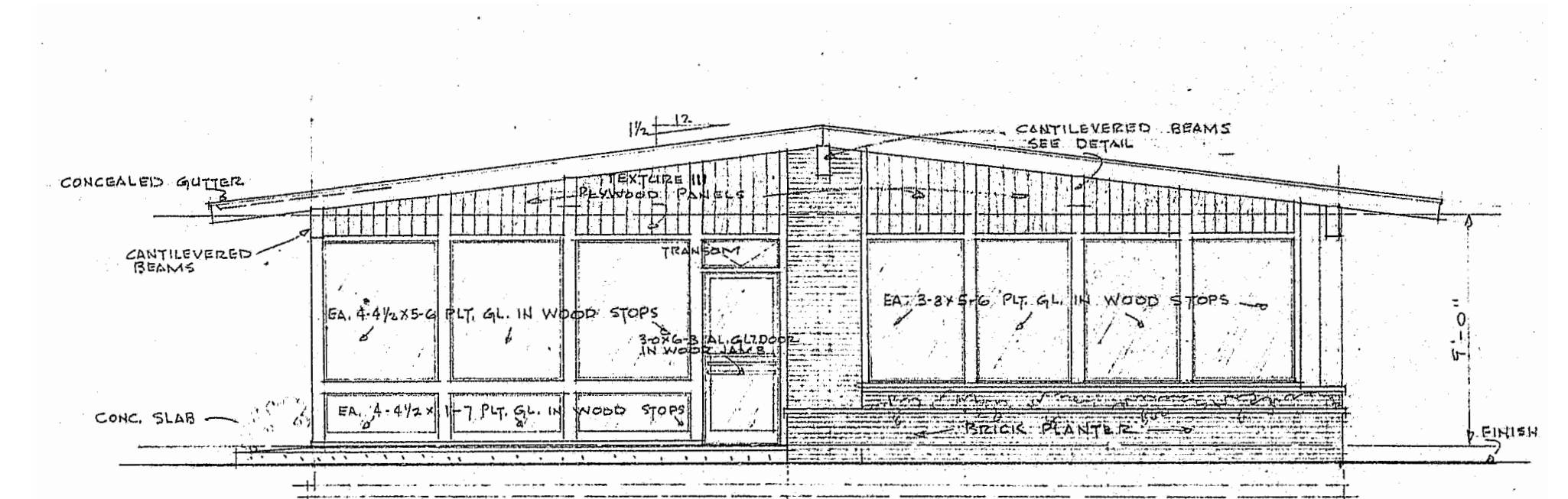
Project Name: **BECK CENTER**

25 SW HARRISON ST,
PORTLAND OR 97201

Plan



EXISTING BUILDING - EAST ELEVATION



EXISTING BUILDING - SOUTH ELEVATION

light

THESE DRAWINGS ARE THE PROPERTY OF OPSIS ARCHITECTURE
AND ARE NOT TO BE USED OR REPRODUCED IN ANY MANNER
WITHOUT PRIOR WRITTEN PERMISSION.

Revisions to Sheet

**UNALTERED PORTIONS OF
EXISTING BUILDING SHOWN IN
ORANGE [ALL WINDOWS WILL BE
REPLACED WITH NEW TO MATCH
LOOK OF EXISTING]**



EXISTING BUILDING - WEST ELEVATION

us: **SCHEMATIC DESIGN**

11/08/2024

EXTERIOR ELEVATIONS

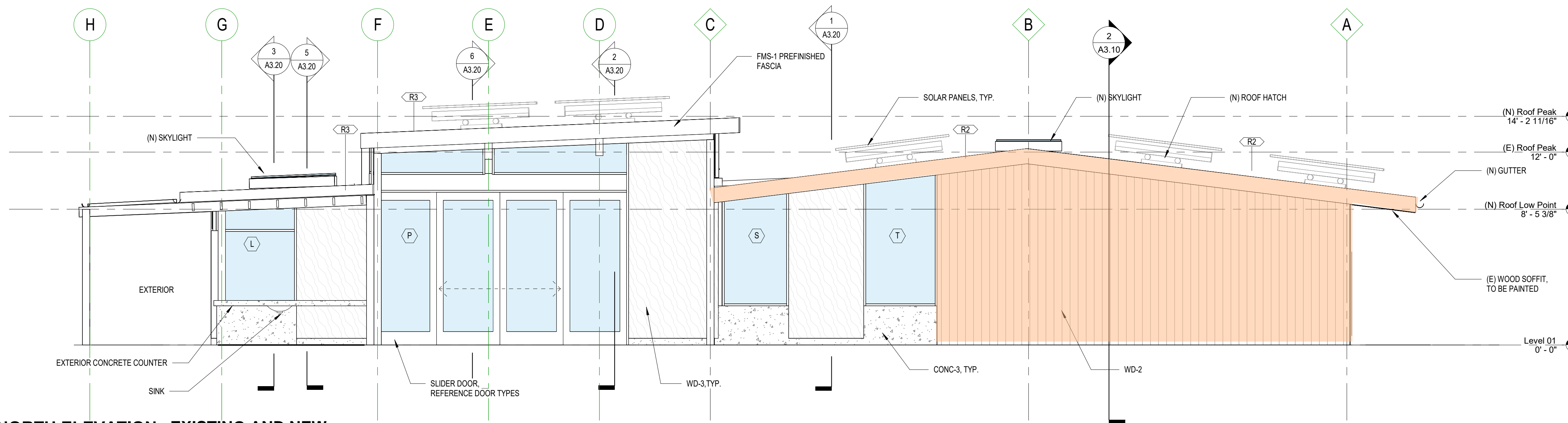
et No.

A2.10

No.

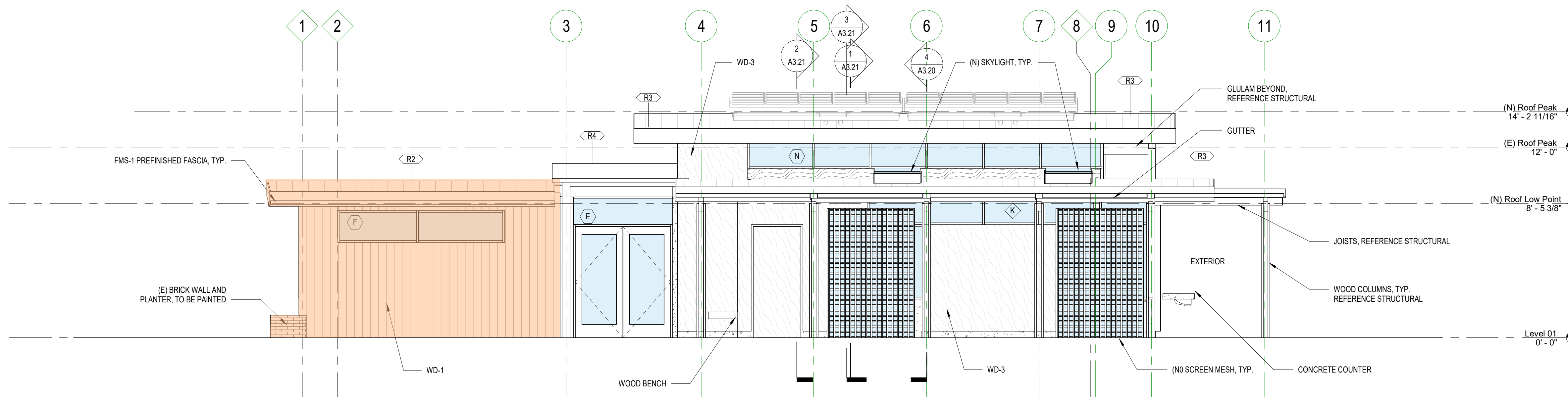
4922-01

EA 24-097880 DAR, Exhibit C.21



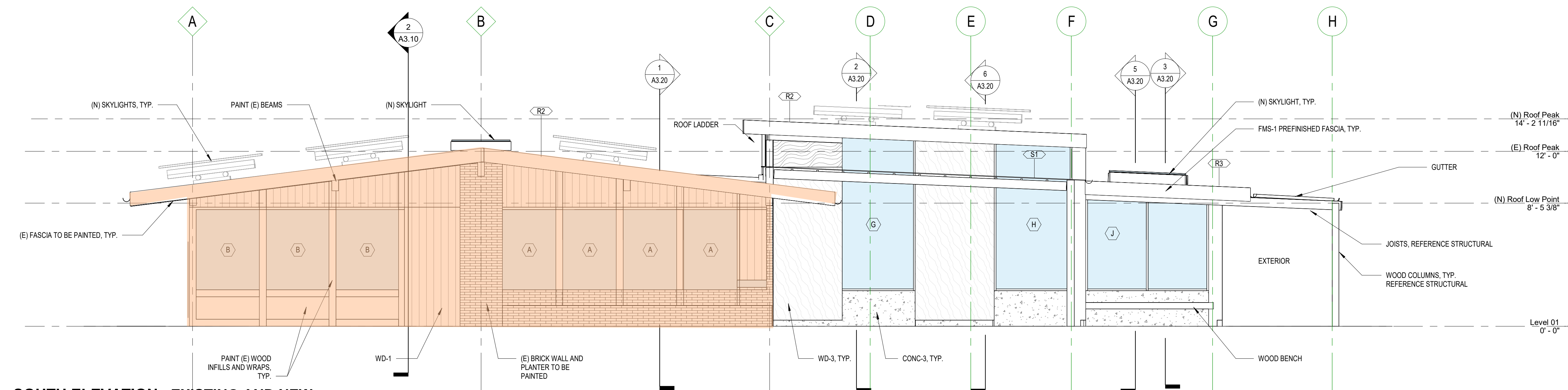
1 NORTH ELEVATION - EXISTING AND NEW

A2.10 1/4" = 1'-0"



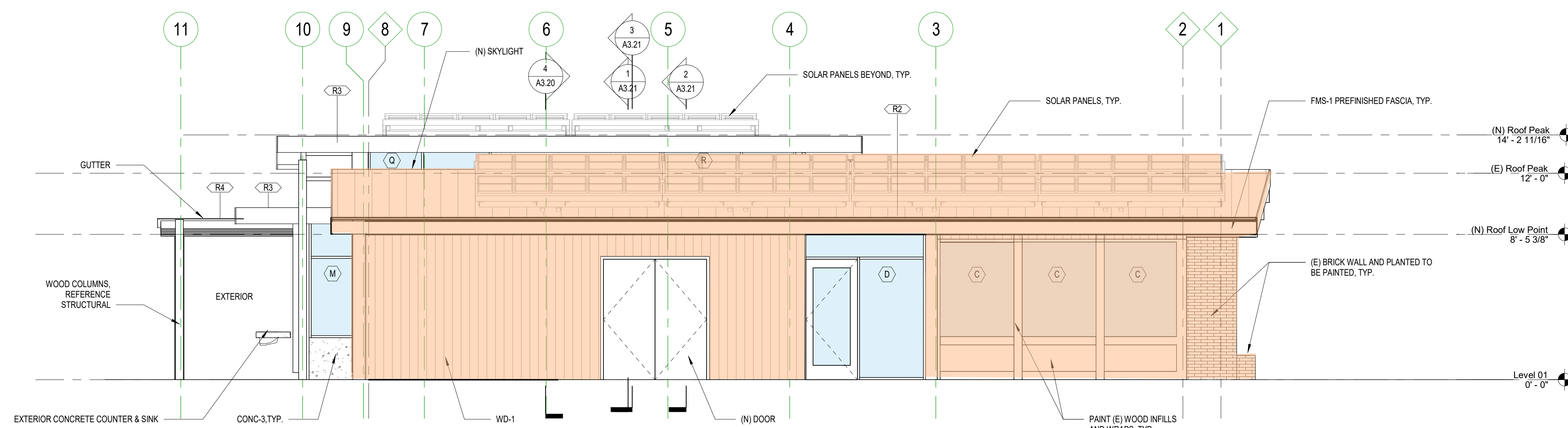
2 | EAST ELEVATION - EXISTING AND NEW

A2.10 1/4" = 1'-0"



3 | SOUTH ELEVATION - EXISTING AND NEW

A2.10	$1/4" = 1'-0"$
-------	----------------



4 | WEST ELEVATION - EXISTING AND NEW

A2.10	1/4" = 1'-0"
-------	--------------

List of questions:

1. Feasibility for use of well on site to serve building with potable and nonpotable water. Well is within 500' of another well, and the team understands that there is typically a 500' separation distance required, but these wells are fed by different aquifers. Please advise.
2. Massing, Context and Approach to Materiality– The addition and alternation is surrounded by PSU property with exception of Lot 1717 Vue Apartments Multifamily building. Any concerns with contextual relationships or approach to materiality?
3. 10th Avenue is currently used as a PSU parking lot. Confirm 10th Avenue is not considered a public street and therefore criteria such as C4, C15, PR6, PR8, PR16, QR8 would not apply. Confirm no screening is needed to equipment since surrounding property is PSU owned.
4. General question - In review of materials, does the group identify any specific roadblocks to Land Use Approval or required Adjustments to pursue.
5. Confirm approval process. Does this project need to go through Type II Land Use Review or can we comply with provision of the scorecard?

PSU – ITECK Center

Design Advice Request
Architectural Narrative
Opsis Architecture

November 11, 2024

SUMMARY

The existing PSU Indigenous Traditional Ecological and Cultural Knowledge (ITECK) Center is located at the southwest corner of the intersection of SW Montgomery Street and SW 10th Avenue on the block that is just north of the Walk of Heroines on the PSU Campus, known as the PSU Oak Savanna. The project is a renovation of the approximately 2,000 square foot existing building and a new addition of approximately 800 sf to the northwest corner. The project intends to tie into existing city storm water and sanitary systems and intends to make use of the existing well on site to serve the building with potable and nonpotable water and to provide irrigation to the site. See Civil sheets for more information.

The program of the existing ITECK building consists of 1 classroom, 1 office/meeting space, 1 storage space for equipment required to tend the land, 1 storage space for furniture and other items used within the building, restrooms and support space. Also, within the footprint of the existing building and at the knuckle between the exiting building and new addition is a decolonized library. The new addition houses an active classroom space for processing materials harvested from the Oak Savanna.

A deck along the north side of the building opens out to an amphitheater space, with a gradual decline out toward the north portion of the Oak Savanna. A paved area to the east provides a space for the Salmon bake. Water cascades from the roof of the building and makes its way toward a vernal spring in the northeast portion of the site. Reference civil and landscape drawings for additional information and more detailed scope description.

The project is pursuing full Living Building Challenge Certification as described within the sustainability section below. While goals for the project are ambitious, funding is extremely limited, and the team will need to work hard to stay within the available budget.

ZONING & BUILDING CODE

This project will comply with applicable Zoning and Building Code requirements as required by Multnomah County, and the 2022 Oregon Structural Specialty Code (OSSC). The building is located at the Central Commercial with Design Overlay (CXd) Zone and will require a Type II Design Review. Additionally, built in 2001, the existing building is over 50 years old and will require coordination with the State Historic Preservation Office (SHPO) to determine if historical mitigations will be a project requirement.

The new building and addition are both single story and anticipated to be type VB construction. The building with addition will not require a fire protection system and therefore will remain unsprinklered.

SCHEDULE & DELIVERY METHOD

It is anticipated that there will be a CM/GC coming on board during the design development phase, with a trade partner developing the mechanical, electrical, plumbing, and lighting design documentation for the design development phase and construction documents. The PSU ITECK Center construction documents are to be completed by the end of May 2025. Construction is scheduled to begin in July 2025. The new building will be occupiable for Spring classes of 2026.

REFERENCES

Keynote Material Legend Attached and provided for reference only.

Add Alternates

Add Alternate 1: Well usage for irrigation only

The base bid will assume that the well on site can be utilized to provide nonportable and potable water to the building as well as provide irrigation to the site.

Should the code requirement for a 500' separation between the two wells on site prohibit usage of the well for potable water, alternate scope would be the addition of a 10,000-gallon rainwater capture system that would be utilized to provide water to the building. Refer to the plumbing and civil narratives for more information. The tank could possibly be reduced in size upon further study in design development.

Add Alternate 2: Active Cooling – Forced Air

The base bid will consist of radiant heating for the addition with passive only cooling strategies. Alternate 2 will consist of a forced air system to provide heating and cooling to the new addition. Reference mechanical narrative for additional information.

Additional Add Alternates:

Reference MEP narratives for additional alternates.

EXTERIOR

Exterior Wall and Skin Construction

Existing:

Existing Walls are 2x6 wood stud framing with insulated cavities but no continuous rigid or semi-rigid insulation outboard of exterior plywood sheathing. The Exterior walls are wood Fir T&G. Patch work will be required at any locations needed and at demo areas. One of the Exterior Wood Walls has a plywood finish and will have a new exterior wall built in front of it. Reference drawings for more information.

New

Typical exterior wall construction will be wood stud framing with insulated cavities (INSUL-1) and 1" continuous INSUL-2 to achieve a total R value per the current Oregon Energy Code. Sheathing will consist of Exterior Plywood Sheathing and a vapor permeable air barrier (BOD Blueskin).

Typical exterior cladding will consist of vertical T&G Wood Rainscreen wall with a 5" concrete stem wall. Storefront openings will have a Concrete base wall unless at doors.

Fascia and copings and miscellaneous trim are to be prefinished. Metal louvers will be used for mechanical room ventilation as needed.

For structural floor, wall, and roof framing refer to the structural narrative and drawings

Exterior Openings

Existing:

Existing windows built with wood stops will have Glazing replaced per Opening types with high performance glazing (see below). Any windows to be replaced with SF-1. Reference Opening Types for more information.

Provide manual Roller shades at all Opening locations

New:

Prefinished, thermally broken, aluminum storefront (BOD Kawneer 450T) will be used at exterior entrances with a high-performance sill pan. Storefront locations will have an extruded sill cap to match the storefront system will be provided on the interior to conceal sill attachment and back-angle. Interior sills will be painted MDF. Where exterior openings are greater than 11 feet high, the approach will be to split the system – reference exterior elevations and opening types for more information. All exterior window assemblies will utilize high performance glazing such as Solarban70XL or equivalent. Reference Exterior Elevations and Opening types for operable window locations - to be an inswing awning.

Provide manual Roller Shades at all SF-1 locations.

Exterior back of house doors will be painted hollow metal doors and frames.

Roofing

Existing

Existing Roof was redone in 2010 – it is a Siplast SBS roof. It is a vented roof with insulation in the ceiling cavity and no insulation in the roof (above deck). We will overlay the Existing roof with a new Metal Panel Roof to match the New Roofs and still vent through a ridge vent.

New

Typical roofs are Standard Seam Metal Roofs over mechanically fastened rigid insulation to achieve minimum insulation value of R-30. Concealed gutter system will connect to downspouts along all sides. The East Side will have a water celebration moment. Reference drawings for more information.

INTERIOR

Typical Interior Walls

Existing:

Interior Walls are wood stud framing with a single layer of 5/8" gypsum board on either side. (E) walls to remain per drawings, walls to be repainted. New wood base at existing walls. Patch of (E) walls to match (E) conditions.

New:

All interior walls will be 2x4 wood stud framing 16" O.C with 1 layer of gypsum board on one side and acoustical batt in the stud cavity, and a 1/2" plywood sheet on the other side. Some interior walls will have gypsum board on both sides. Reference floor plans for more information. Outside corners will be protected with 48" high, mechanically fastened stainless steel corner guards. Some walls will have wall finishes – reference interior elevation.

Typical Interior Doors and Windows

Interior doors and windows will be painted hollow metal frames with solid core wood veneer doors. Prefinished interior storefront like Kawneer 450 or equal to be provided at the vestibule and corner of the administration suite. Main vestibule doors will have push button ADA actuators. Basis of design for all other entries to be a keyed entry only.

Office has an office style hardware lockset.

Earth space to have a bifold glass door and at counters where sinks are to have a sliding window.

Typical Floors

Level 1 floors will primarily be 5" slab-on-grade sealed concrete floors. Vestibule to have a Walk Off Matt.

Typical Ceilings

The (E) space will have a new plywood ceiling, reference RCP. The New space to be Open to Structure.

Typical Casework:

Casework will be solid wood in general.

Specialty Spaces:**Restrooms**

Restrooms will be single user restrooms. They will have moisture resistant gypsum walls and hard-lid (Plywood) ceilings. There will be a solid surface counter with undermount sinks and vanity mirrors.

AV / Technology

Classrooms will both have a WAP connection, phone connection, and 70" OFOI monitor with HDMI ports. The design team will work with the PSU IT team to further define requirements in the design development phase.

Systems and Equipment

Refer to the following consultant narratives for mechanical, lighting, electrical, and plumbing information and equipment.

Telecom

The existing panel is old but has the potential for reuse since it has the capacity to feed the building. Assume provision for a new panel as the basis of design and provide a deductive alternate cost to reuse the existing panel.

Fire Alarm System

The existing building fire alarm system can be reused and expanded upon to serve the renovated layout and new addition.

SUSTAINABILITY**Living Building Challenge (LBC)**

Project Goals: Achieve ILFI's LBC v4.1 Certification, New Building. Because this project has a new addition, it will follow the New Building typology

HOW THE LIVING BUILDING CHALLENGE WORKS

The Living Building Challenge (LBC) consists of seven performance categories called "Petals": Place, Water, Energy, Health + Happiness, Materials, Equity, and Beauty. Each Petal is subdivided into 20 Imperatives.

- Like the LEED rating system, LBC takes a holistic approach to sustainability and requires third-party verification. Key differences include:
- To achieve Living certification, the requirements for all Imperatives within the certification being pursued must be met.
- LBC compliance is based on actual, rather than modeled or anticipated, performance. Projects must demonstrate compliance with Imperative requirements over 12 consecutive months of operation to verify performance,
- including net positive energy, water, and waste management.
- LBC has stricter requirements regarding the materials used, including a "Red List" of harmful substances that must be avoided.

The following information is provided based on a preliminary understanding of the requirements of the LBC as they pertain to this project.

Contractor Performance Requirements

1. Sourcing of Wood
 - a. Commit to sourcing at least 80% of all wood, by cost or volume, as either FSC-certified or salvaged.
 - b. The remaining 20% must come from low-risk sources.
2. Ventilation Compliance
 - a. Follow the current version of ASHRAE 62.1-2019 (Commercial).
3. Red List Chemicals Compliance
 - a. Avoid using products with LBC Red List chemicals by selecting those with Red List Free and Compliant Declare labels or Living Product Challenge certification.
 - b. If unavailable, prioritize products with Health Product Declarations showing Red List Free and Compliant compliance.
 - c. Use products compliant with the California Department of Public Health's Standard Method v1.1-2010 (or later) for emissions to maintain indoor air quality.
4. LBC Materials Tracking
 - a. Complete the LBC Materials Tracking Table to document all materials used on the project. This should include Declare-labeled products, Living Product Challenge products, and wood products.
5. Local Sourcing Requirements

- a. Ensure that at least 20% of products are sourced from within 500 km (310 miles) of the project site, 30% from within 1000 km (622 miles), and 25% from within 5000 km (3107 miles).
 - b. Track sourcing information using the LBC Materials Tracking Table.
6. Waste Diversion
 - a. Meet the minimum waste diversion rates specified in Table 16-1 of the Living Building Challenge 4.1 Program Manual.
 - b. Identify materials for salvage and reuse before demolition.
 - c. Complete the Net Positive Waste Diversion Table (or equivalent) to demonstrate waste diversion percentages for the Ready Audit. Provide waste tickets to verify reported data.
7. Workforce Development
 - a. Provide workforce development, training, or community benefits agreements, or a registered apprenticeship program for at least 10% of the General Contractor's contracts.
 - b. This requirement may be modified based on the owner's commitment to achieving this goal through maintenance contracts.
8. LBC Certification Alignment
 - a. Follow all processes and specifications required for LBC certification.

All products installed on the project should be submitted for review by the design team as outlined in the Submittal Procedures specification section. Many installed products that typically do not require a detailed review by the design team, such as sheet metal for HVAC duct runs, may require approval for Living Building Challenge compliance. The construction team should be prepared to submit a higher than typical volume of products for review and approval. All products should be submitted prior to ordering to prevent costly substitutions. The general contractor, subcontractors, and product representatives should closely follow the requirements outlined in the specifications. Any required product substitutions should be communicated as early in the submittal process as possible to avoid delays to the project schedule.

An example Spec Section 01 81 13 is provided for reference. This example is generic in nature and is based on Version 3.1 of LBC but provides a good understanding of the scope and requirements of the LBC program.

SPECIALIZED DESIGN REQUIREMENTS

Net Positive Energy: REQUIREMENTS

All projects must supply 105% of their project's energy needs through on-site renewable energy on a net annual basis, without the use of combustion:

- Based on preliminary rule-of-thumb for energy use, 10.5 kW rooftop PV system
- No combustion is allowed for systems in project scope.
- Provide sub-meters for major energy end uses.

Net Positive Water: REQUIREMENTS

All projects must supply one hundred percent of the project's water needs through captured precipitation or other natural closed-loop water systems, and/or through recycling used project water, and all water must be purified as needed without the use of chemicals. No potable water may be used for non-potable uses.

All projects must address all grey and black water through on-site treatment and management through reuse, a closed loop system, or infiltration.

On-site Greywater and Sewage Treatment Options:

- Septic System
- Constructed Wetlands
- plus
- Assume two composting toilets (Clivus Multrum or Phoenix Composting Toilet)

Water Collection: Rainwater from roof and site for irrigation and sinks.

1. PROJECT SUMMARY

INDEX

1. PROJECT SUMMARY	Page 1
Team Information	Page 3
2. CONTEXT STUDY	Page 4
Code and Zoning	Page 5
Urban Context	Page 6
Ped. and Veh. Access	Page 7
Open Space	Page 8
Historical Context	Page 9
Utility Plan	Page 10
Site and Vicinity Photos	Page 11
3. CONCEPT DESIGN	Page 12
Concept Design	Page 13
Design Explorations	Page 14
Proposed Site Plan	Page 15
Building Plan	Page 16
Roof Plan	Page 17
Massing	Page 18
Exterior Perspectives	Page 19
Exterior Perspectives	Page 20
Elevations	Page 21
Material Concepts	Page 22



2. CONTEXT STUDY

CODE AND ZONING

11/8/2024 3:38:24 PM
p:\1600
Sheet Size: 30" x 42"

CHAPTER 1: ADMINISTRATION	
PROJECT ADDRESS:	Indigenous Traditional-Ecological and Cultural Knowledge Center 1025 SW Harrison St. Portland, Oregon 97201
JURISDICTIONAL AUTHORITY:	MULTNOMAH COUNTY
APPLICABLE CODE:	2022 OREGON STRUCTURAL SPECIALTY CODE - 2021 IBC AND 2021 IEBC 2021 OREGON ENERGY EFFICIENCY SPECIALTY CODE (OEESC) - ASHRAE 90.1-2019 2022 MECHANICAL SPECIALTY CODE 2023 OREGON ELECTRICAL SPECIALTY CODE 2022 OREGON PLUMBING SPECIALTY CODE 2022 OREGON FIRE CODE
APPLICABLE ZONING:	HIGH DENSITY COMMERCIAL ZONE (Cxd) OPEN SPACE (OSD)

CHAPTER 3: USE AND OCCUPANCY CLASSIFICATION	
EXISTING OCCUPANCY CLASSIFICATION (Section 305)	
GROUP B	BUSINESS
PROPOSED OCCUPANCY CLASSIFICATION (Section 303 & 304)	
GROUP B	BUSINESS

CHAPTER 5: GENERAL BUILDING HEIGHTS AND AREAS

ALLOWABLE BUILDING HEIGHT AND AREA

TYPE	GROUP	(TABLE 504.3)	(TABLE 504.4)	(TABLE 506.2)
		HEIGHT (feet)	STORY	AREA
VB (NS)	B	40	2	8,000

ACTUAL AREA

2,800 SF

ACTUAL BUILDING HEIGHT

1 STORY

14'



1 | LEVEL 01 AREA PLAN
A0.20 3/32" = 1'-0"

CHAPTER 6: TYPES OF CONSTRUCTION

CONSTRUCTION CLASSIFICATION(TABLE 601) TYPE VB

FIRE RESISTIVE BUILDING ELEMENTS (Table 601)	
ITEM	RATING
PRIMARY STRUCTURAL FRAME	0 HR
EXTERIOR BEARING WALLS	0 HR
INTERIOR BEARING WALLS	0 HR
EXTERIOR NON-BEARING WALLS OR PLATFORMS	Table 705.5
INTERIOR NON-BEARING WALLS OR PLATFORMS	0 HR
FLOOR CONSTRUCTION	0 HR
ROOF CONSTRUCTION	0 HR
STAIRWAY CONSTRUCTION	0 HR
SHAFT ENCLOSURE	1 HR
FIRE SEPARATION FOR EXTERIOR WALLS (Table 705.5)	
X= FIRE SEPARATION DISTANCE (FT)	RATING
X < 5	1 HR
5 < X < 10	1 HR
10 < X < 30	0 HR
X > 30	0 HR

CHAPTER 9: FIRE PROTECTION SYSTEMS

AUTOMATIC SPRINKLER SYSTEM
SECTION 903 - BUILDING WILL NOT BE SPRINKLERED
PORTABLE FIRE EXTINGUISHERS
AS REQUIRED BY CODE - SEE PLANS FOR LOCATIONS AND SPECIFICATIONS FOR FIRE PROTECTION SPECIALTY EQUIPMENT
ALARM AND DETECTION (section 907.2)
PROVIDE ALARM AND DETECTION: MANUAL FIRE ALARM SYSTEM (Section 907.5)
SMOKE ALARMS TO BE HARD WIRED WITH BATTERY BACKUP
VOICE / ALARM COMMUNICATION SYSTEM (Section 907.5.2.2) NOT REQ'D SINCE OCC. LOAD UNDER 1000.
FIRE DEPARTMENT CONNECTIONS
EXISTING FDC TO BE MAINTAINED
FIRE DEPARTMENT ACCESS
FIRE DEPARTMENT ACCESS PROVIDED
WATER SUPPLY: PROVIDE MINIMUM FIRE FLOW

RELATED PERMITS

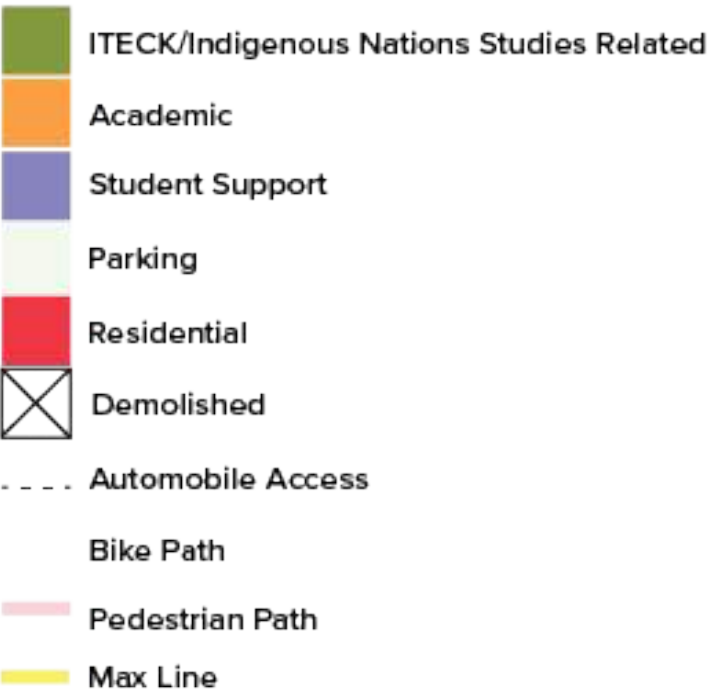
- PORTLAND PERMITTING & DEVELOPMENT
- BUILDING - COMMERCIAL NEW
 - BUILDING - COMMERCIAL NEW (UNDERGROUND FIRELINE)
 - BUILDING - PLUMBING (INTERIOR)
 - BUILDING - PLUMBING - (SITE WORK)
 - BUILDING - MECHANICAL COMMERCIAL
 - BUILDING - FIRE AND LIFE SAFETY SYSTEMS: ALARMS, SIGNALING, CALL SYSTEM. MANUAL FIRE ALARM SYSTEM TO ACTIVATE AN EMERGENCY VOICE/ALARM COMMUNICATIONS SYSTEM: DELEGATED DESIGN
 - BUILDING - ELECTRICAL
 - BUILDING - GRADING
 - SIGNAGE
 - BUILDING DEMOLITION
 - EROSION CONTROL
 - DEVELOPMENT PERMIT
 - DESIGN AND HISTORIC RESOURCE REVIEW APPROVALS
 - STORMWATER MANAGEMENT

DEFERRED SUBMITTALS

- SUPPORTS AND SEISMIC BRACING OF PLUMBING EQUIPMENT DELEGATED DESIGN (SPEC 22 0 48)
- SUPPORTS AND SEISMIC BRACING OF HVAC EQUIPMENT DELEGATED DESIGN (23 05 48)
- ACOUSTICAL PANEL CEILINGS DELEGATED DESIGN (SPEC 09 51 13)
- ALUMINUM-FRAMED ENTRANCES AND STOREFRONTS DELEGATED DESIGN (SPEC 08 41 13)
- RE-ROOFING AND SEISMIC ANCHORAGE OF ROOF

STATE OF OREGON DEPARTMENT OF ENVIRONMENTAL QUALITY (DEQ)
15 . 1200C

Immediate Urban Context

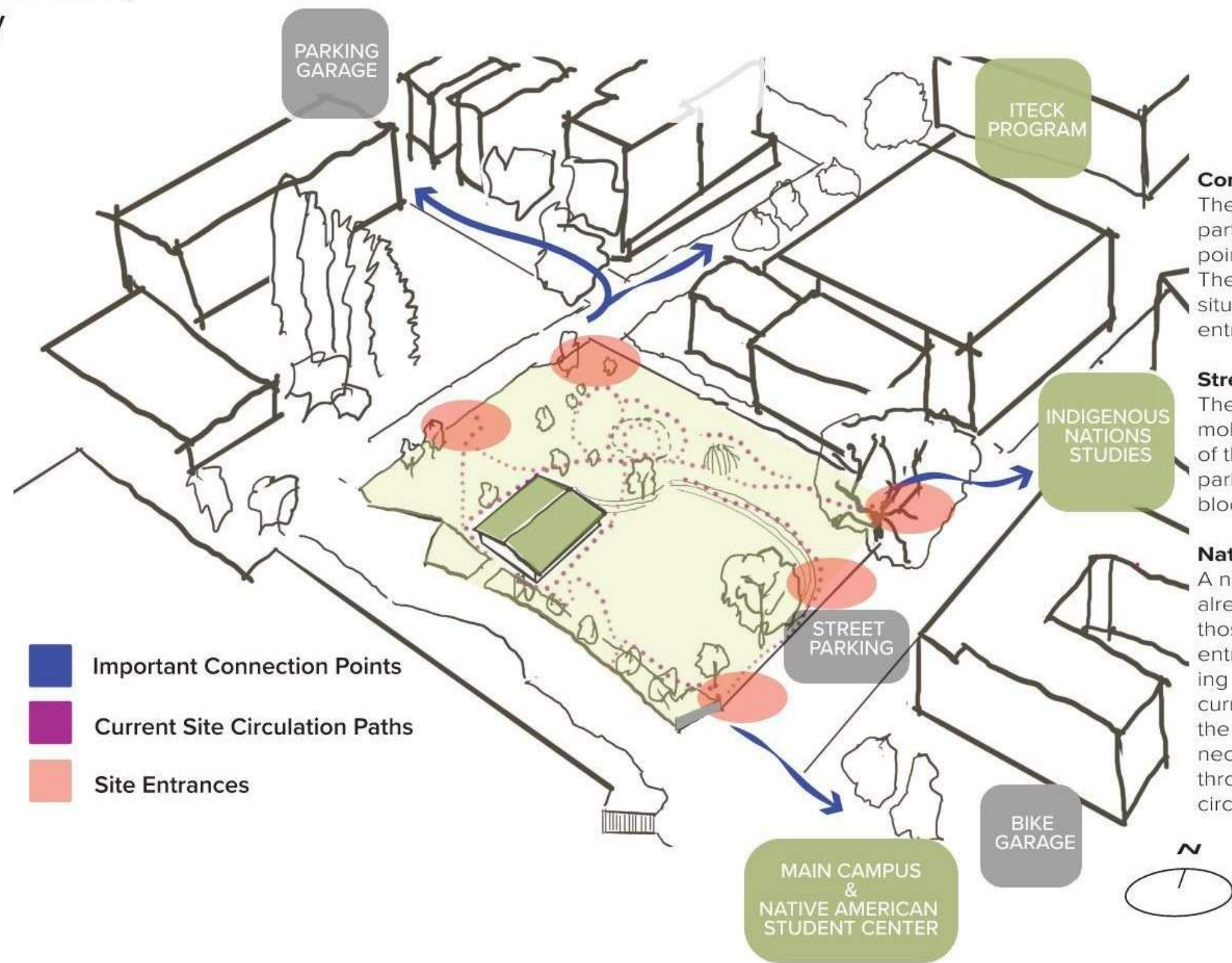


Main Takeaways

Varied Approach Routes
Mapping the various uses of the nearby urban fabric reveals the importance of multi-directional access to the site. The SW corner where the main entrance sits currently is cutoff by Hoffman Hall to the west and the athletic field to the south, and is thus the only direction that does not feed users to the site.

Activated Adjacent Spaces
The most active adjacent space is far and away the food cart lot to the SE of the site. The pathway running along the north side of the site extending towards Vernier sees reasonably heavy traffic as well.

Site Circulation, Accessibility
and Points of Entry



Main Takeaways

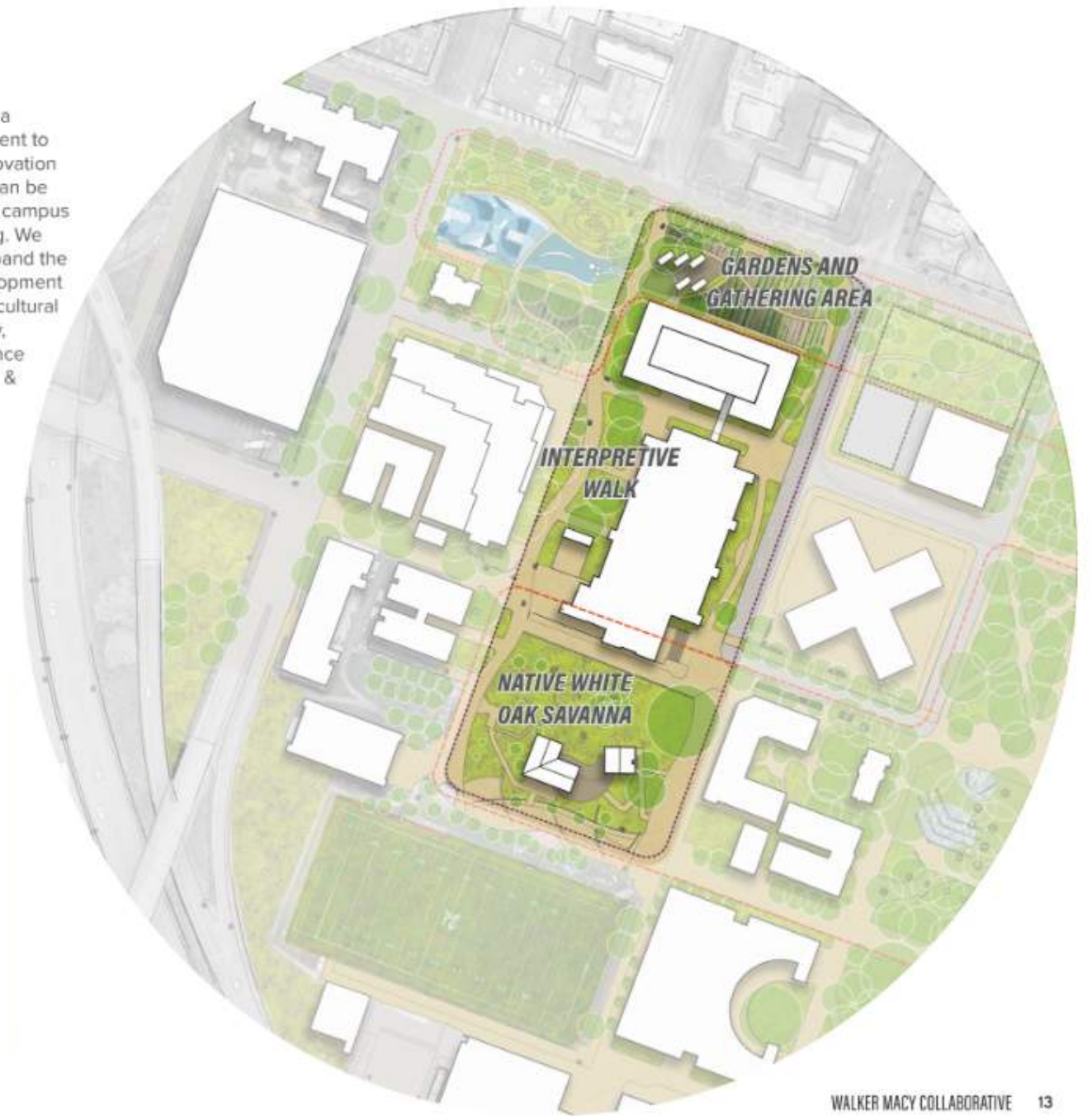
Corners as Site Entrances
The NW, NE and SE corners of the site are particularly important as they are the points of entry from the rest of campus. The current entry to the ITECK center is situated away from any of these site entrances.

Street Parking and Accessibility
The closest parking for people with limited mobility is on the street directly to the East of the site. A natural entrance for people parking there may be in the middle of the block's East side.

Natural Paths of Site Circulation
A number of trails and high traffic areas already exist on site. Of particular note are those stemming from the two points of entry to the ITECK center, and those leading to the Gathering Circle. Movement is currently impeded on the upper portion of the site due to chainlink fencing. Reconnecting the SE corner to the rest of the site through this area will create much better circulation and access to the site.



- **The Native White Oak Savanna** provides a powerful statement about PSU's commitment to Indigenous stewardship. Through the renovation of 10th and 11th, the Savanna's presence can be extended and integrated into the fabric of campus through plantings, pavements, and seating. We see a wonderful opportunity to further expand the Indigenous presence through the redevelopment of Market Street's new open space into a cultural landscape to support traditional ceremony, medicine, and foods and the Vernier Science Center's Indigenous Traditional Ecological & Cultural Knowledge (ITECK) programs.



WALKER MACY COLLABORATIVE 13

SOURCE: PSU Place Matters
Competition Design Report, Walker
Macy Collaborative, 2024

Historical Context

Change through Time: PSU's Oak Savanna

PSU's Oak Savanna shares a rich story about how people and places interact over time. This physical space has endured numerous phases of growth, development, and restoration.

4,000 B.C. – 1,000,000 acres of savanna existed in the Willamette Valley and were maintained by controlled burns by Native American tribes. Fires caused by lightning generally occurred every 10-50 years. These burns cleared undergrowth and other trees to let slow growing oaks to thrive.

Early 1800s - Early European settlement displaced local indigenous communities. The resulting lack of managed burns allowed conifer trees to grow among oaks and led to an increase in coniferous and upland forest.




1851-1860 – Records from the Oregon Natural Heritage Information Center indicate that block 240 (where the PSU Oak Savanna is located now) consisted mostly of upland forest. The relative distribution of oak savanna prior to settlement has not been recorded.

The effect of European-American settlement turned forests into agricultural land, while Oak was harvested for furniture, homes, and firewood.

Late 1800s – The PSU Oak Savanna site was predominantly occupied by residential housing as Portland continued to grow.

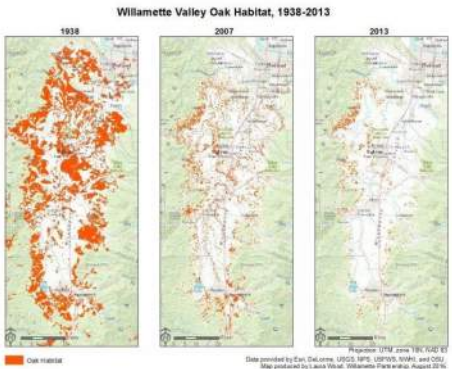
1920s-1960s - Some of the homes at block 240 were demolished and replaced by a mix of commercial and industrial uses.



Historical photos of block 240, courtesy of PSU's Campus Planning Office

1965 – Ownership of the block was transferred to PSU for redevelopment.

1972 – PSU demolished existing residential buildings and removed underground utility lines at the site.



A salmon bake by the United Indian Students of Higher Education, 1978. Students from PSU, Astoria Community College, and Mt. Hood Community College attended. Courtesy Oregon Hist. Soc. Research Lib., Journal, photo file 1851



Salmon bakes at Portland State University, organized by the United Indian Students of Higher Education, 1977. Courtesy Oregon Hist. Soc. Research Lib., Journal, photo file 1851



Salmon bake at PSU, 1978



2000-2004 – Two 1,000 gallon storage tanks, formerly used by the Oregon Department of Environmental Quality, were removed from the site.



2010 – The space was used to hold construction equipment during renovation of the Science Research and Teaching Center building.



Fall 2011 – Upon request by students, Fortis Construction and Facilities and Property Management to plant a native grass mix, oak trees, and serviceberries in the space.



Figure: Second year growth emerged in Spring 2013.

May 2014 - A group of students, staff, faculty, and community members, advocated for the Savanna to be designated as a greenspace.

Summer 2014 - Classes in the Honors College identified plant species and measured differences in biodiversity inside and outside the borders of the Savanna.



Incoming PSU students learn in the Oak Savanna during a native plant walk during fall 2015.

Fall 2015 - PSU's Native American Student and Community Center and [Luna Islands](#) sponsored an indigenous builder from the Republic of the Marshall Islands, Tien Clement handcrafted a 25' traditional outrigger canoe to increase awareness about the Marshalese community in the Pacific Northwest. The canoe was made from salvaged redwoods and coconut fibers next to the Oak Savanna and was installed in Shattuck Hall.



Spring-summer 2015 – PSU's Landscaping department adopted a selective mowing strategy that allows Savanna plants to complete their full lifecycle.



August 2015 – During renovation of the School of Business Administration, stumps from a felled tree and the "Peace Poles" art demonstration are relocated to the Savanna.

2018
Indigenous Nations Studies and School of Architecture begins collaborate to envision a new ITECK Center on site

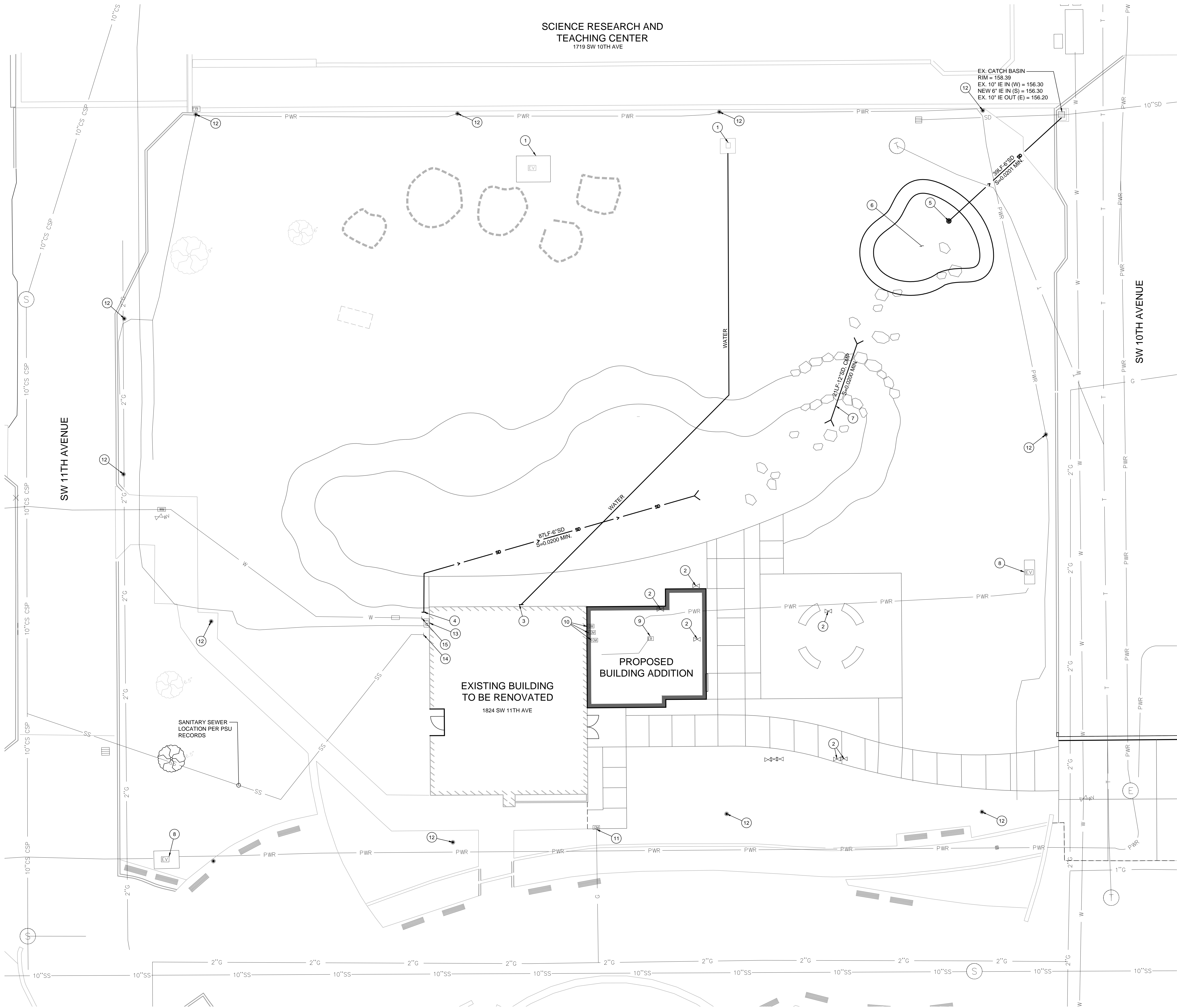
2018-2024
Collaboration continues

March 2024
Oregon Legislature approves \$2 million reallocation for the renovation of the ITECK Center

July 2024
Opsis, PLACE, and the Center for Public Interest Design begin design work in collaboration with key stakeholder group

2021-Present
Salmon bakes have occurred multiple times each year since the Campus reopened post-COVID





SCIENCE RESEARCH AND
TEACHING CENTER
1719 SW 10TH AVE

EXISTING BUILDING
TO BE RENOVATED
1824 SW 11TH AVE

PROPOSED
BUILDING ADDITION

EX- CATCH BASIN
RIM = 158.39
EX. 10" IE IN (W) = 156.30
NEW 6" IE IN (S) = 156.30
EX. 10" IE OUT (E) = 156.20

24" LF 12" SD CDR
S=0.0200 MIN

87' LF 6" SD
S=0.0200 MIN

SANITARY SEWER
LOCATION PER PSU
RECORDS

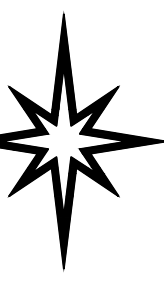
GENERAL NOTES

1. DOMESTIC WATER ALTERNATE #1: 10,000 GALLON RAINWATER HARVESTING TANK WITH FILTER SYSTEM TO PROVIDE POTABLE WATER.
2. EXISTING WATER SERVICE LOCATION IS APPROXIMATE.

CONSTRUCTION NOTES

1. PROTECT EXISTING WELL. INSTALL WELL PUMP WITH MINIMUM FLOW RATING OF 35 GPM.
2. RELOCATE EXISTING WATER VALVE.
3. DOMESTIC WATER CONNECTION TO PRESSURE TANK IN BUILDING. INSTALLATION OF PREMISES-ISOLATION DCDA TO BE INSTALLED AFTER PRESSURE TANK. SEE PLUMBING PLANS.
4. STORMWATER CONNECTION FROM BUILDING.
5. 12" OVERFLOW DRAIN WITH ORIFICE FLOW CONTROL.
6. 730 SF STORMWATER BASIN WITH 12" WATER STORAGE AND 24" OF SOIL AND ROCK WITH UNDERDRAIN.
7. CULVERT PIPE.
8. PROTECT EXISTING ELECTRICAL VAULT.
9. REMOVE EXISTING ELECTRICAL BOX.
10. REMOVE EXISTING GAS METER.
11. RELOCATE EXISTING GAS METER.
12. PROTECT EXISTING SITE LIGHT.
13. PROTECT EXISTING ELECTRICAL BOX.
14. PROTECT EXISTING SANITARY SERVICE.
15. ABANDON EXISTING WATER SERVICE CONNECTION AND BACKFLOW PROTECTION.

opsis



VEGA

CIVIL ENGINEERING LLC
503.349.1381 | WWW.VEGACIVIL.COM

Opsis Architecture LLP
975 SE Main St., Portland, OR 97214
503.525.9511 | info@opsisarch.com
opsisarch.com



EXPIRES: 6/30/2026

Project Owner:
PORTLAND STATE
UNIVERSITY

Project Name:
ITECK CENTER

Project Address:
1025 SW HARRISON ST,
PORTLAND OR 97201

Key Plan

THESE DRAWINGS ARE THE PROPERTY OF OPSIS ARCHITECTURE
LLP AND ARE NOT TO BE USED OR REPRODUCED IN ANY MANNER
WITHOUT PRIOR WRITTEN PERMISSION.

Revisions to Sheet

No. Revision Date

Status: SCHEMATIC DESIGN

Date: 11/01/2024

Sheet Title

UTILITY PLAN

Sheet No.

C2.00

Job No.

4922-01

EA 24-097880 DAR, Exhibit A.2

Site Photos

The following images outline the site from ground level. In Figure 2.5 the Walk of Heroines appears in the foreground of the Harrison Street Building. Figure 2.6 looks east across the grass of the Oak Savanna, including a science building, dormitories, and the PSU library in the background. Figure 2.7 looks south across the newly installed community conversation circle.



Figure 2.5, Looking north from the Walk of Heroines



Figure 2.6, Looking east across SW 11th



Figure 2.7, Looking south over the Oak Savanna



Figure 2.8, Looking south from the 4th floor of Science Two

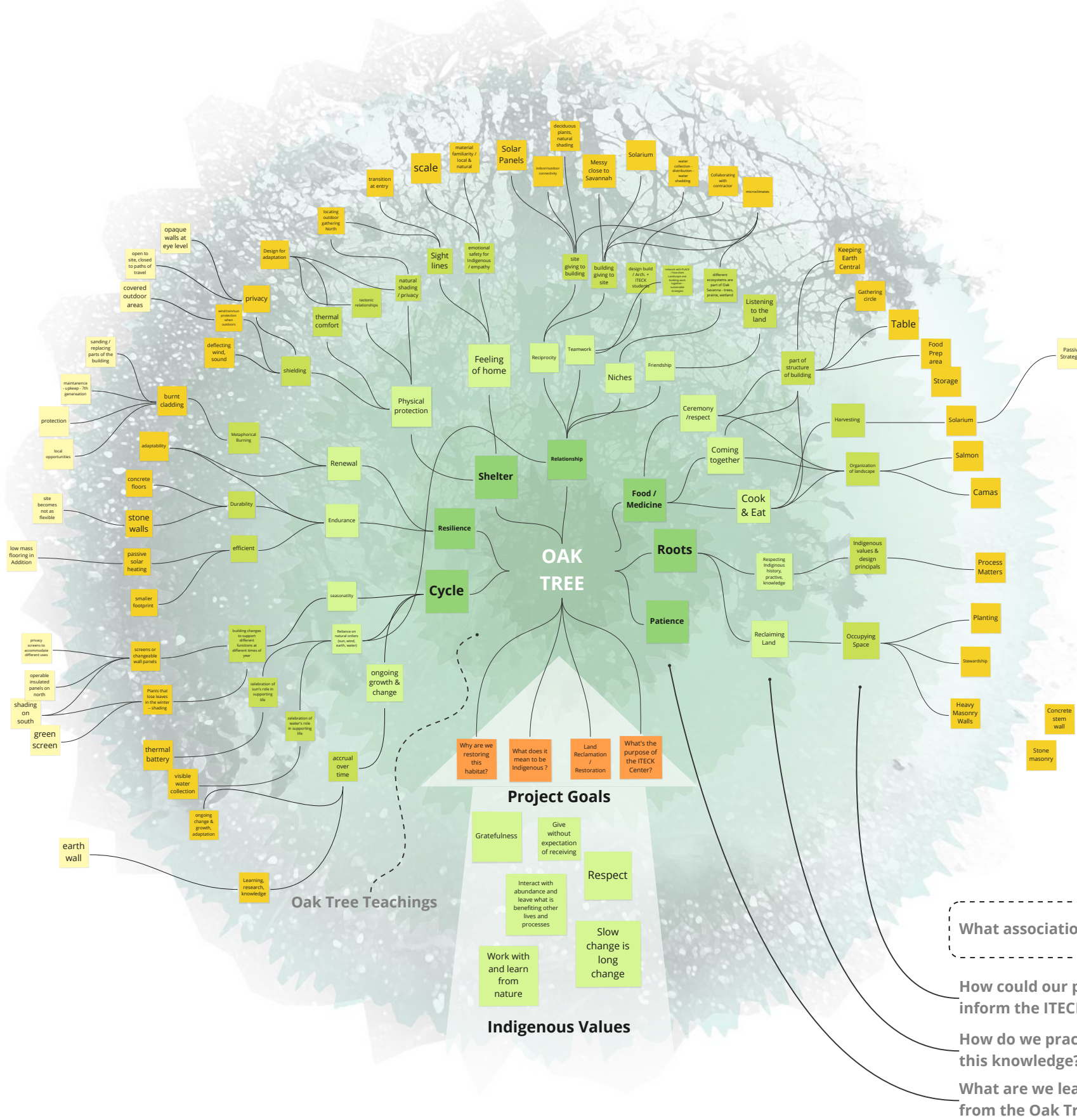


Figure 2.9, Photo from hill to the South of the site looking North

In addition to the images taken at ground level, a number of photos were gathered from high vantage points to gain a contextualized understanding of the site. One aspect of the not seen in these two photos but which is crucial to understanding development patterns in the area is the highway that separates the site and the densely developed city center. This creates an edge condition for the site which limits the access from the south. This physical separation is in contrast to the visual connection of these two areas.

3. CONCEPT DESIGN

CONCEPT DESIGN



Indigenous Traditional Ecological and Cultural Knowledge (ITECK) Design Principles

Each of the following seven principles are unto themselves complete, but also exist as part of a larger interdependent network which together represent a complete vision of responsible, culturally relevant land use.

Sacredness of Land

Sacredness of land is recognized through the practice of reclamation and restoration of ancestral ecosystems. Acknowledgement of the land's significance is carried into the future through transmission of knowledge and by the actions of the present inhabitants. The land will be used responsibly and in accordance with the other six principles.

Cultivation of Healthy Relationships

The building, site, plants, animals, insects, and humans are inter-relational beings, each dependent upon the wellbeing and health of all others. Rather than being a static object upon the land, the building acts as a participant in a larger ecosystem.

Reciprocity

The building will promote reciprocity by giving back to the land what it receives. For example, water harvesting is returned to the land; more is not taken than is needed. Leaves from trees are not raked to recognize that the carbon and plant matter are critical to the cyclical return of nutrients to the tree and soil.

Slow Change is Long Change

Working with and learning from nature takes time. Planning for the 7th generation benefits from wisdom developed in the interaction with nature in context. The structure and the building program must address this through a mindful planning process that engages with elders for important knowledge. Building, even planning too much too soon, could be worse than doing less.



Fig. 3.1, White Oak Leaves



Fig. 3.2, White Oak Tree



Fig. 3.3, White Oak Grove

OSK SAVANNA

Living, Planning, Designing, and Managing for the 7th Generation

Embarking on a project requires a great responsibility to the inheritors of that structure and place. The structure must be built with diligence and respect to all parts and potential changes to its structure and organization.

The building serves as an example and protector to the land around it, where responsible management and living may be taught to future generations.

Respect for the Role of Indigenous Ways of Knowing

These methods and understandings are not always presented in the ways that westerners expect (ie documentation, statistics, etc). There are other ways for transferring knowledge and making informed decisions, and opening to Indigenous ways of knowing will be essential in this project.

Respecting Indigenous ways of knowing involves honoring cultural practices and a mindset of holistic sustainability.

Sharing of Knowledge

The sharing of knowledge is essential to the growth of Indigenous communities. Learning how to care for the site and structure through knowledge sharing empowers the community to make independent decisions about its maintenance and changes. In addition, as a critical piece in the continuing life of Indigenous knowledge, the structure must act to facilitate the different activities through which traditional knowledge is shared and practiced.

39

What associations arise?

How could our practice inform the ITECK Center?

How do we practice this knowledge?

What are we learning from the Oak Tree?

DESIGN OPTIONS



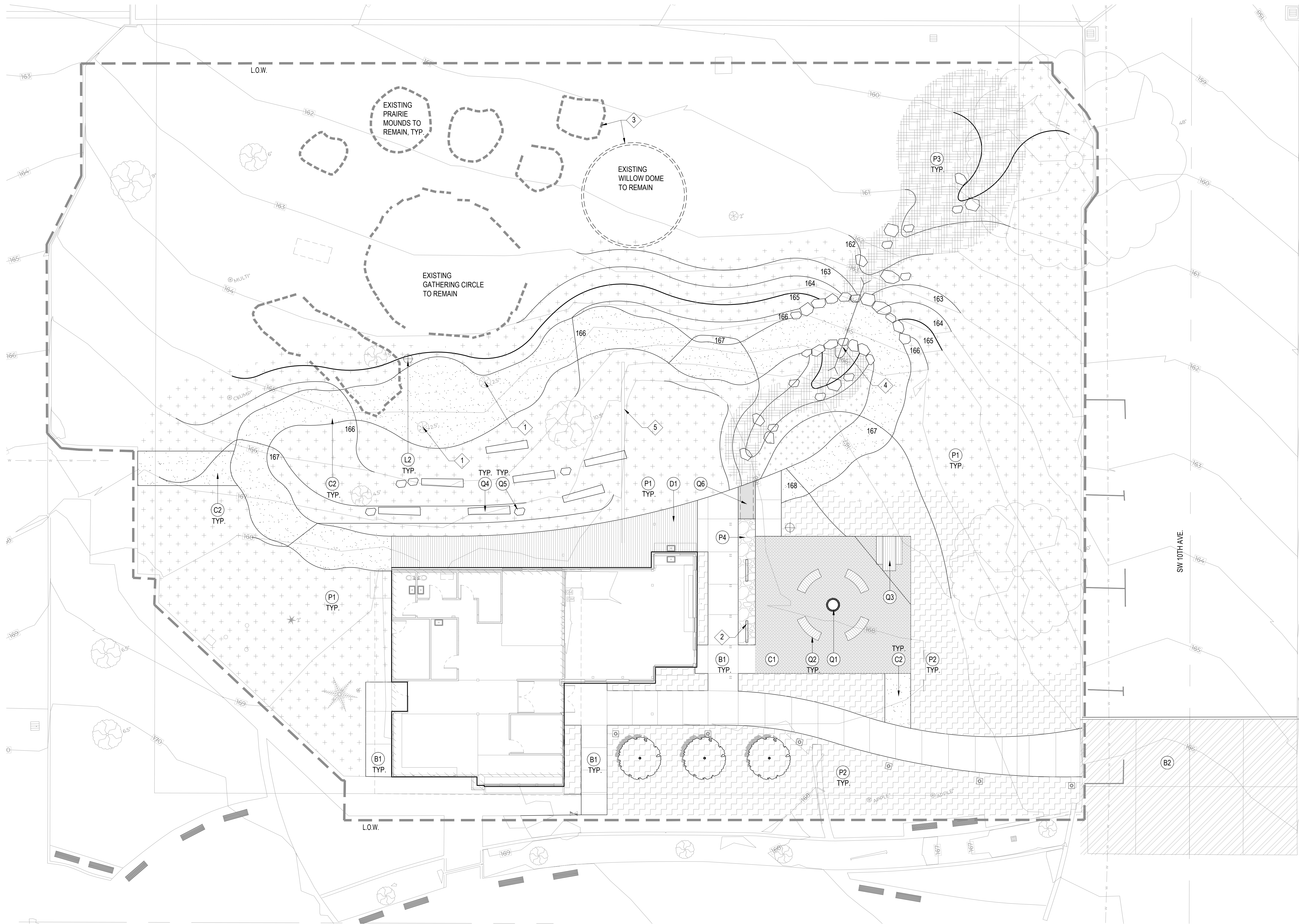
EARLY EXPERIENTIAL STUDIES



SITE CONCEPTS



MASSING STUDIES



MATERIALS SCHEDULE

PAVEMENTS

- B1** CONCRETE PAVING - PEDESTRIAN
- SURFACE RETARDER FINISH
- B2** CONCRETE PAVING - VEHICULAR (SEE CIVIL)
- C1** UNIT PAVING
- SAND SET PRECAST CONCRETE
- WILLAMETTE GREYSTONE VERONA
- 5" x 3" x 1/4" STEEL ANGLE EDGER WITH
CONTINUOUS CONCRETE FOOTING
- C2** DECOMPOSED GRANITE
- WATER COMPACTED
- METAL EDGER
- D1** WOOD DECK
- THERMORY THERMALLY MODIFIED ASH

CURBS AND EDGERS

- K1** CONCRETE CURB (SEE CIVIL)

SITE LIGHTING

- L1** LIGHT BOLLARD (SEE ELECTRICAL)
- 3" TALL FIXTURE WITH LED LIGHT SOURCE
- L2** EVENT LIGHTING - 20' POLE (SEE ELECTRICAL)
- MULTIPLE DIRECTIONAL LED FIXTURES

PLANTING

- EXISTING TREE TO REMAIN
- PROTECT
- PROPOSED TREE
- 2" CALIPER
- P1** MEADOW PLANTING
- SEEDED WILDFLOWER MIX
- P2** SHRUB & GROUND COVER PLANTING
- P3** VERNAL SPRING
- WETLAND PLANTING
- P4** RAIN GARDEN
- WETLAND PLANTING
- CRUSHED BASALT MULCH

SITE FURNISHINGS

- Q1** SALMON BAKE
- OWNER PROVIDED
- Q2** WOOD BENCH
- LANDSCAPE FORMS "LINK"
- Q3** WOOD PICNIC TABLE
- TIMBER FORM 8" ACCESSIBLE
- Q4** LOG SEAT
- 24" - 36" DIA. CEDAR OR APPROVED
- Q5** BOULDER
- OWNER PROVIDED
- Q6** STEEL GRATE
- CONCRETE HEADWALLS

MATERIALS LEGEND

- LIMIT OF WORK / LBC BOUNDARY
- - - - - EXISTING CONTOUR
- 166 PROPOSED CONTOUR

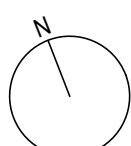
KEY NOTES

- TRANSPLANT EXISTING TREE.
- DECORATIVE RAINWATER FEATURE INCLUDING CARL STAHL X-TEND
STAINLESS STEEL MESH AND STAINLESS STEEL FRAME.
- PROVIDE IRRIGATION AT EXISTING PRAIRIE MOUNDS AND WILLOW
DOME, TYP.
- STORM WATER CULVERT. SEE CIVIL.
- EXISTING WALL TO BE REMOVED.

SHEET NOTES

- PROVIDE BELOW GRADE AUTOMATIC IRRIGATION FOR ALL PROPOSED
PLANTING AREAS AND WHERE NOTED.

SCALE: 1" = 10'
0 5 10 20



Source:

THESE DRAWINGS ARE THE PROPERTY OF OPSIS ARCHITECTURE
LLP AND ARE NOT TO BE USED OR REPRODUCED IN ANY MANNER
WITHOUT PRIOR WRITTEN PERMISSION.

Revisions to Sheet

No. Revision Date

Status: **SCHEMATIC DESIGN**

Date: **11/07/2024**

Sheet Title

MATERIALS PLAN

Sheet No.

L1.00

Job No.

4922-01

FLOOR PLANS SHEET NOTES

- REFERENCE SHEET A0.10 FOR MOUNTING HEIGHTS AND GENERAL INFORMATION
- REFERENCE LIGHTING / ELECTRICAL FOR LIGHTING TYPES. NOT ALL LIGHTING IS SHOWN ON THE ARCHITECTURAL PLAN
- REFERENCE EXTERIOR ELEVATIONS FOR EXTERIOR MATERIALS
- ALL OUTSIDE INTERIOR CORNERS WITHOUT FRL WALL COVERING TO HAVE 4" HIGH S.S. CORNER GUARDS
- ALL FURNITURE SHOWN FOR REFERENCE ONLY - GFCI
- PROVIDE BLOCKING AS REQUIRED FOR ALL LOCATIONS TO RECEIVE FRP PANEL FINISH
- PROVIDE BLOCKING AT LOCATIONS TO RECEIVE NEW TOILET ACCESSORIES

Opsis Architecture LLP
975 SE Main St., Portland, OR 97214
503.525.9511 | info@opsisarch.com
opsisarch.com

NOT FOR
CONSTRUCTION

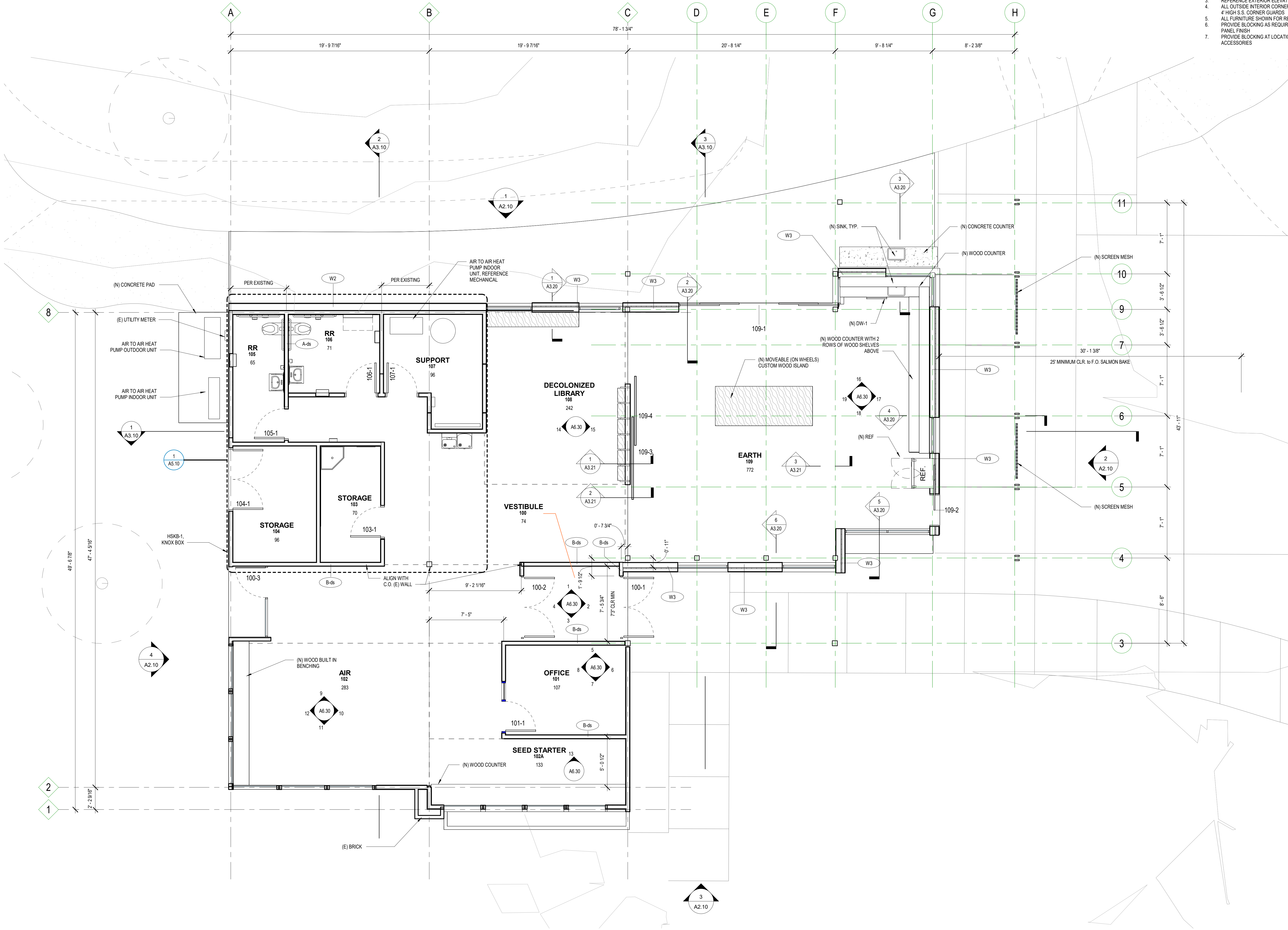
Project Owner:
**PORTLAND STATE
UNIVERSITY**

**Portland State
UNIVERSITY**

Project Name:
ITECK CENTER

Project Address:
**1025 SW HARRISON ST,
PORTLAND OR 97201**

Key Plan



1 | Level 01
A1.01 1/4" = 1'-0"

Copyright
THESE DRAWINGS ARE THE PROPERTY OF OPSIS ARCHITECTURE
LLP AND ARE NOT TO BE USED OR REPRODUCED IN ANY MANNER
WITHOUT PRIOR WRITTEN PERMISSION.

Revisions to Sheet
No. Revision Date

Status: **SCHEMATIC DESIGN**

Date: **11/08/2024**

Sheet Title:
FLOOR PLAN

Sheet No.
A1.01

Job No.
4922-01

ROOF PLANS SHEET NOTES

1. VERIFY ALL DIMENSIONS IN THE FIELD
2. COORDINATE EXACT LOCATIONS OF MECHANICAL EQUIPMENT WITH MECHANICAL DRAWINGS AND SPECIFICATIONS.

opsis

Opis Architecture LLP
975 SE Main St., Portland, OR 97214
503.525.9511 | info@opsisarch.com
opsisarch.com

NOT FOR
CONSTRUCTION

Project Owner:
**PORTLAND STATE
UNIVERSITY**



Project Name:
ITECK CENTER

Project Address:
**1025 SW HARRISON ST,
PORTLAND OR 97201**

Key Plan

11/08/2024

THESE DRAWINGS ARE THE PROPERTY OF OPIS ARCHITECTURE
LLP AND ARE NOT TO BE USED OR REPRODUCED IN ANY MANNER
WITHOUT PRIOR WRITTEN PERMISSION.

Revisions to Sheet

No.	Revision	Date
-----	----------	------

Status: **SCHEMATIC DESIGN**

Date: **11/08/2024**

Sheet Title

ROOF PLAN

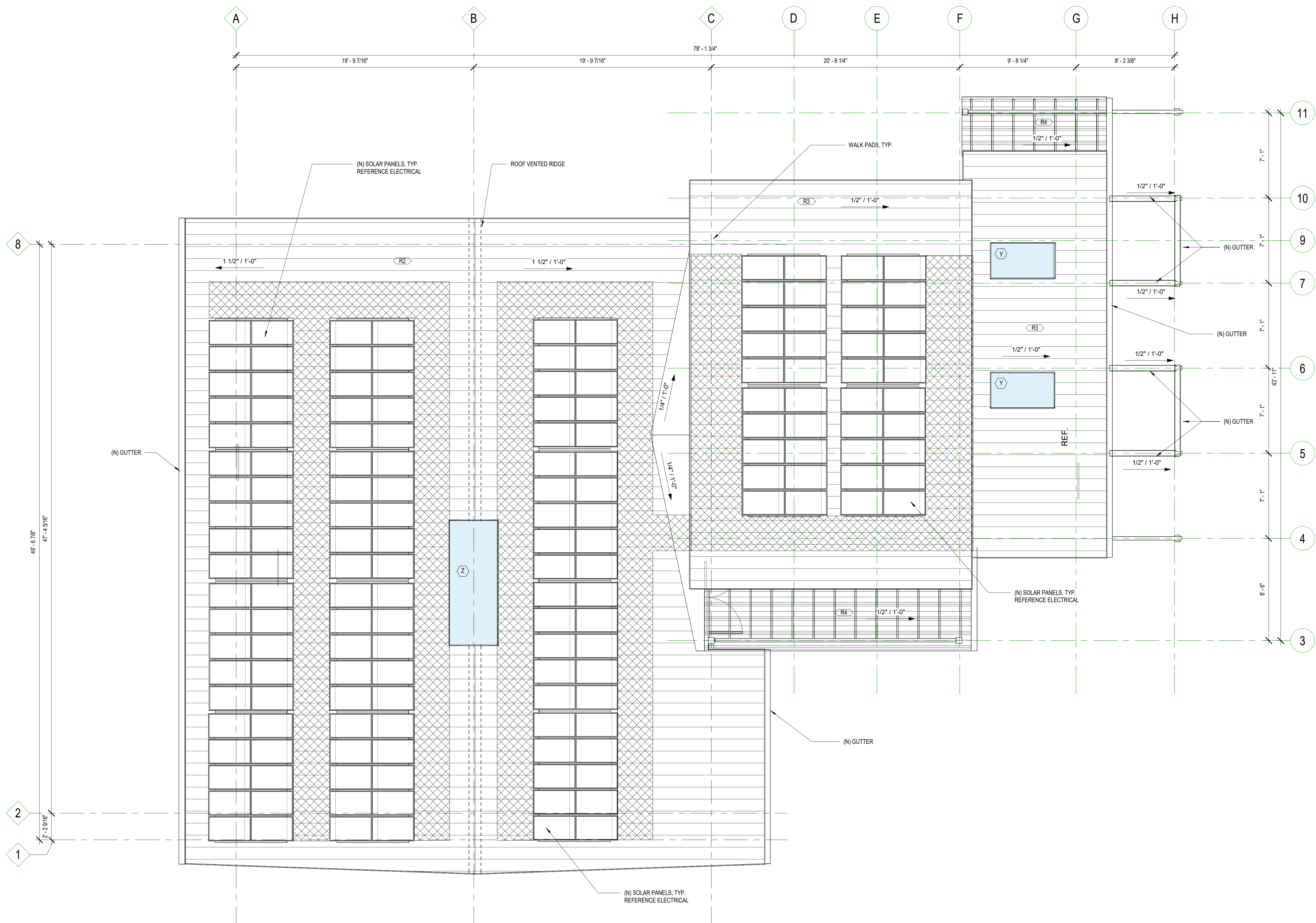
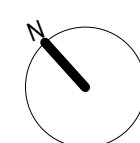
Sheet No.

A1.02

Job No.

4922-01

EA 24-097880 DAR, Exhibit A.2



plotted: 11/08/2024 3:38:44 PM
sheet size: 30" x 42"



1 | MASSING 01
A2.12



2 | MASSING 02
A2.12

opsis

Opsis Architecture LLP
975 SE Main St., Portland, OR 97214
503.525.9511 | info@opsisarch.com
opsisarch.com

NOT FOR
CONSTRUCTION

Project Owner:
PORTLAND STATE
UNIVERSITY



Project Name:
ITECK CENTER

Project Address:
1025 SW HARRISON ST.,
PORTLAND OR 97201

Key Plan

Copyright

THESE DRAWINGS ARE THE PROPERTY OF OPSIS ARCHITECTURE
LLP AND ARE NOT TO BE USED OR REPRODUCED IN ANY MANNER
WITHOUT PRIOR WRITTEN PERMISSION.

Revisions to Sheet

No.	Revision	Date
-----	----------	------

Status: SCHEMATIC DESIGN

Date: 11/08/2024

Sheet Title:
3D MASSING

Sheet No.

A2.12

Job No.

4922-01

plotted: 11/08/2024 3:38:46 PM
 sheet size: 37" x 42"



opsis

Opsis Architecture LLP
 975 SE Main St., Portland, OR 97214
 503.525.9511 | info@opsisarch.com
 opsisarch.com

NOT FOR
 CONSTRUCTION

Project Owner:
 PORTLAND STATE
 UNIVERSITY
 Portland State
 UNIVERSITY

Project Name:
 ITECK CENTER

Project Address:
 1025 SW HARRISON ST,
 PORTLAND OR 97201

Key Plan

Copyright

THESE DRAWINGS ARE THE PROPERTY OF OPSIS ARCHITECTURE
 LLP AND ARE NOT TO BE USED OR REPRODUCED IN ANY MANNER
 WITHOUT PRIOR WRITTEN PERMISSION.

Revisions to Sheet
 No. Revision Date

Status: SCHEMATIC DESIGN

Date: 11/08/2024

Sheet Title
 EXTERIOR
 RENDERING

Sheet No.
 A2.14

Job No.
 4922-01

plotted: 11/08/2024 3:38:45 PM
 sheet size: 30" x 42"



opsis

Opsis Architecture LLP
 975 SE Main St., Portland, OR 97214
 503.525.9511 | info@opsisarch.com
 opsisarch.com

NOT FOR
 CONSTRUCTION

Project Owner:
 PORTLAND STATE
 UNIVERSITY
 Portland State
 UNIVERSITY

Project Name:
 ITECK CENTER

Project Address:
 1025 SW HARRISON ST,
 PORTLAND OR 97201

Key Plan



11/08/2024

THESE DRAWINGS ARE THE PROPERTY OF OPSIS ARCHITECTURE
 LLP AND ARE NOT TO BE USED OR REPRODUCED IN ANY MANNER
 WITHOUT PRIOR WRITTEN PERMISSION.

Revisions to Sheet
 No. Revision Date

Status: SCHEMATIC DESIGN

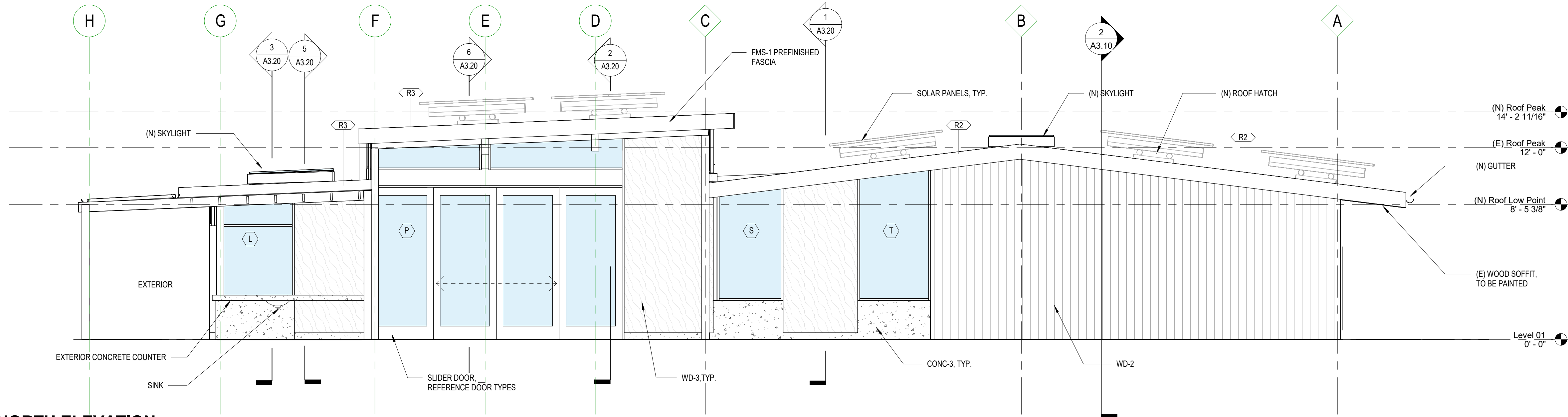
Date: 11/08/2024

Sheet Title:
 EXTERIOR
 RENDERINGS

Sheet No.
 A2.13

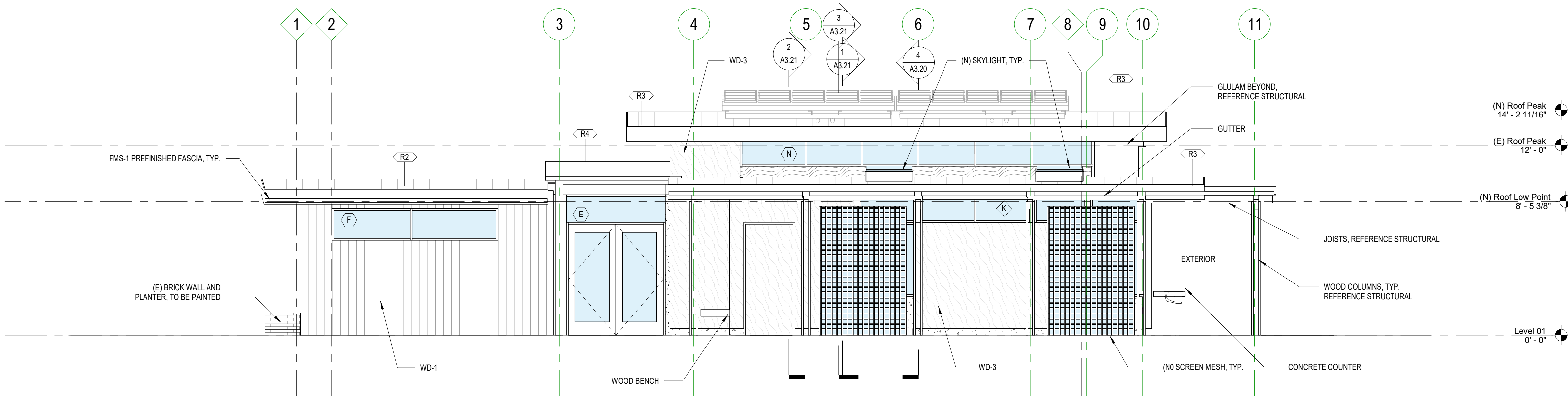
Job No.
 4922-01

11/08/2024 3:38:39 PM
sheet size: 30" x 42"



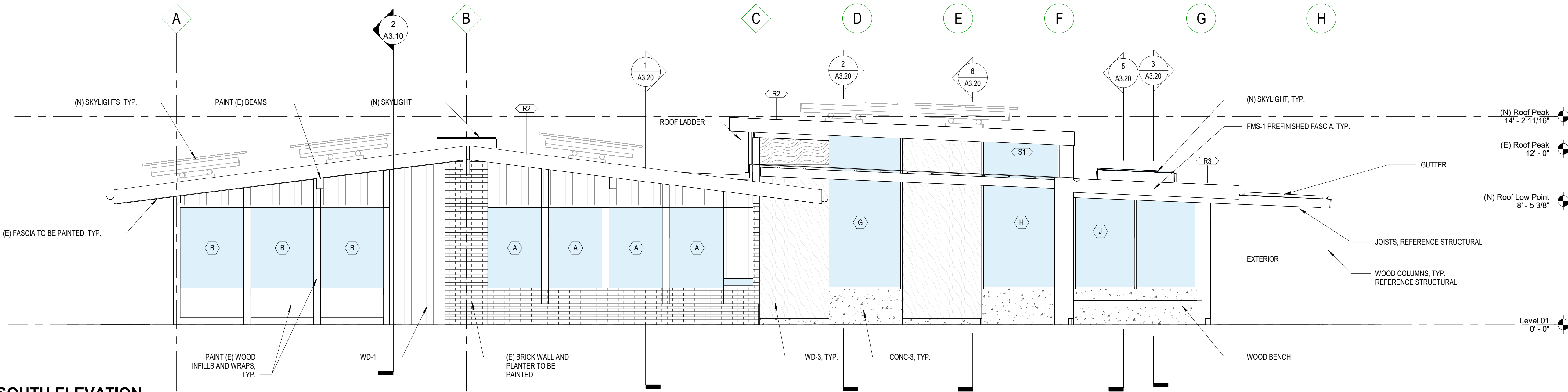
1 NORTH ELEVATION

A2.10 1/4" = 1'-0"



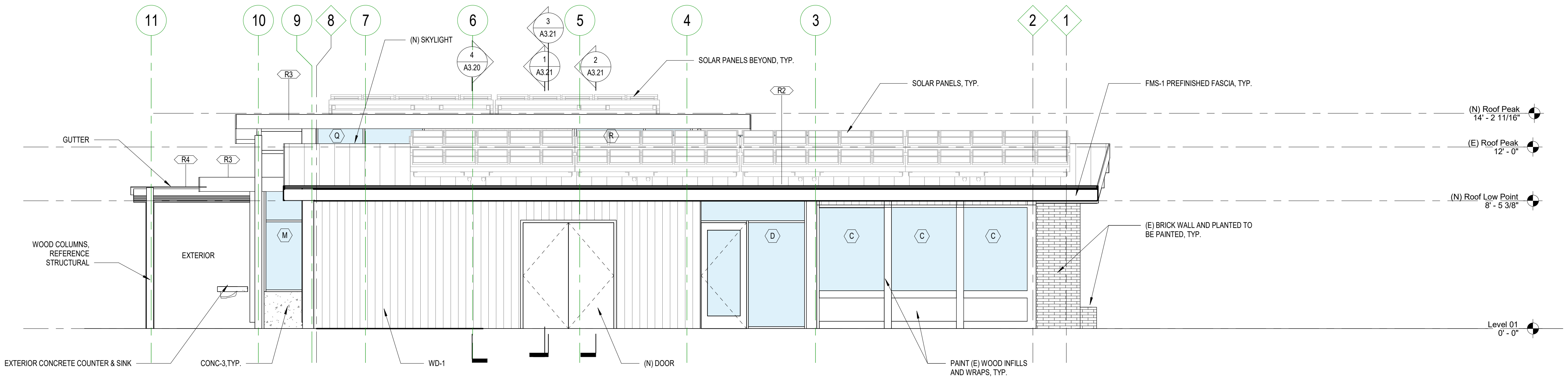
2 EAST ELEVATION

A2.10 1/4" = 1'-0"



3 SOUTH ELEVATION

A2.10 1/4" = 1'-0"



4 WEST ELEVATION

A2.10 1/4" = 1'-0"

EXTERIOR ELEVATIONS SHEET NOTES

- REFERENCE LEGEND FOR EXTERIOR MATERIALS
- REFERENCE A4.01 FOR EXTERIOR FRAME TYPES
- REFERENCE LANDSCAPE FOR GRADING
- ALL REVEAL JOINTS DIMENSIONED TO CENTERLINE OF REVEAL UNLESS NOTED OTHERWISE
- REF. A0.40 FOR EXTERIOR WALL AND ROOF ASSEMBLIES
- ALL BRICK AND CMU TO RECEIVE GRAFITTI RESISTANT SEALER.

opsis

Opsis Architecture LLP
975 SE Main St., Portland, OR 97214
503.525.9511 | info@opsisarch.com
opsisarch.com

NOT FOR
CONSTRUCTION

Project Owner:
PORTLAND STATE
UNIVERSITY

Portland State
UNIVERSITY

Project Name:
ITECK CENTER

Project Address:
1025 SW HARRISON ST.,
PORTLAND OR 97201

Key Plan

Copyright

THESE DRAWINGS ARE THE PROPERTY OF OPSIS ARCHITECTURE
LLP AND ARE NOT TO BE USED OR REPRODUCED IN ANY MANNER
WITHOUT PRIOR WRITTEN PERMISSION.

Revisions to Sheet
No. Revision Date

Status: SCHEMATIC DESIGN

Date: 11/08/2024

Sheet Title:
EXTERIOR
ELEVATIONS

Sheet No.

A2.10

Job No.

4922-01

EA 24-097880 DAR, Exhibit A.2

MATERIAL CONCEPTS



CHARRED DOUG FIR CLADDING



NATURAL WOOD SIDING



EXTERIOR MURAL



BOARD FORM CONCRETE/WOOD SCREENING



EXPOSED WOOD STRUCTURE/WOOD SCREENING/METAL ROOF



City of Portland, Oregon - Portland Permitting & Development

1900 SW Fourth Avenue • Portland, Oregon 97201 | 503-823-7300 | www.portland.gov/ppd

Design Standards Scorecard: Proposals for Alterations and/or Additions to Existing Development

When is this form required?

For development proposals in the 'd' Design Overlay Zone that choose to meet the objective Design Standards in Table 420-2* instead of going through the discretionary Design Review (land use review) process set out in Chapter 33.825, Design Review, this form must be completed by the applicant and submitted to PP&D with the development permit application. This form is required as part of proposals for:

- Building additions;
- Buildings alterations;
- Major remodels (defined in Zoning Code Chapter 33.910 as increasing floor area by 50 percent or more or where the project cost exceeds the current assessed total site improvement value); and/or
- Alterations to existing site development.

Applicants must submit adequate information on the permit plans to demonstrate these objective standards are met. Adjustments to these standards are prohibited. For flexibility from the Design Standards, applicants must apply for Design Review (land use review).

Note: If the proposal is not a major remodel and there are no applicable required standards, design review is not required.

How many points must be earned to comply with the Design Standards for eligible proposals in the 'd' Design Overlay Zone?

Alterations and/or additions to existing buildings and site development must meet all the Design Standards identified in Table 420-2 as required. Only the standards applicable to the alteration apply. Additional optional standards are reviewed using a point system. Major remodels must meet enough of the standards identified in Table 420-2 as optional to total 5 points, or one point for every 1,000 square feet of site area, whichever is less.

*Applications for proposals in the 'd' Design Overlay Zone that are a Conservation Landmark or in a Conservation District must meet Zoning Code Chapter 33.218, Community Design Standards, or must apply for a Historic Resource Review prior to permit application.

Project Information

Development Site Address or Location 1025 SW Harrison Street, Portland OR 97201
Cross Street SW 10th Avenue Sq. Ft. Area/Acreage 43,560 square feet Proposed building height 14'-3"
Site Tax Account number(s) R 1S1E04 R _____ R _____
R _____ R _____ R _____ R _____ R _____
Describe project (attach additional pages if necessary) See attached Schematic Design Narrative
Points Required 5 Points Earned 10

Applicant/Primary Contact Information

Typed Full Name Susan Kay Gust
Company/Organization Opsis Architecture
Mailing Address 975 SE Main Street
City Portland State OR ZIP Code 97214
Day Phone (202) 246-6687 FAX _____ Email susang@opsisarch.com

Design Standards Scorecard: Proposals for Alterations and/or Additions to Existing Development

CONTEXT (C1 – C18)							
The standards for context provide an opportunity for development to respond to the surrounding natural and built environment and build on the opportunities provided by the site itself. The context standards are split into the following categories: Building Massing and Corners, Older Buildings/History, Landscaping, and Adjacent Natural Areas.							
Required (X)	THE DESIGN STANDARD		Maximum points available	N/A	MET	Identify page or sheet or numbers on plans	Points earned
BUILDING MASSING AND CORNERS							
	C4	Preservation of Existing Facades	5				
	APPLIES TO: Alteration or addition to a building that: <ul style="list-style-type: none"> is at least 50 years old, and has at least 1,000 square feet of net building area. 						
	C5	Vertical Addition to Existing Building	2	X			
	APPLIES TO: Building addition above the existing wall of a building that is at least 50 years old.						
	C6	Historical Plaque	1				
	APPLIES TO: Site that contains a building that is at least 50 years old.						
LANDSCAPING							
	C10	Tree Preservation	6				
	APPLIES TO: Site with at least one tree 20 inches or greater in diameter.						
	C11	Grouping of Trees	2	X			
	APPLIES TO: Site located within the Eastern Pattern Area shown on Map 130-2.						
	C12	Native landscaping	2		X		2
	APPLIES TO: Site that is 20,000 square feet or larger and located outside of environmental zones.						
	C13	Trees in Setbacks along a Civic Corridor	1	X			
	APPLIES TO: Site with at least 100 feet of street frontage on a civic corridor identified on Map 130-1.						
ADJACENT NATURAL AREAS							
	C14	Setback from Waterbodies	4	X			
	APPLIES TO: Site that: <ul style="list-style-type: none"> Has at least one wetland, water body, seep or spring, and Is located outside of environmental zones. 						
	C15	Public View of Natural Feature	2		X		2
	APPLIES TO: Site that: <ul style="list-style-type: none"> Has at least one existing natural feature on site, such as a grove of native trees, rock outcropping, wetland, water body, seep or spring, and is located outside of environmental zones. 						
SUBTOTAL OF POINTS EARNED THIS PAGE:							4

Design Standards Scorecard: Proposals for Alterations and/or Additions to Existing Development

Table 420-2 Design Standards							
PUBLIC REALM (PR1 – PR22)							
<p>The standards for public realm provide an opportunity for development to contribute positively to the adjoining sidewalks, streets and trails. They encourage spaces on the ground floor that support a range of uses and create environments that offer people a welcoming and comfortable experience. The public realm standards are split into the following categories: Ground Floors, Entries/Entry Plazas, Weather Protection, Utilities, Vehicle Areas, and Art and Special Features.</p>							
Required	THE DESIGN STANDARD		Maximum points available	N/A	MET	Identify page or sheet or numbers on plans	Points earned
GROUND FLOORS							
	PR3	Ground Floor Active Floor Area	2	confirm not applicable			
		APPLIES TO: Site that is at least 10,000 square feet in total site area except for a site located within the Centers Main Street Overlay Zone or where a commercial use in excess of 1,500 square feet is prohibited.					
	PR4	Affordable Ground Floor Commercial Space	2	confirm not applicable			
		APPLIES TO: Site where commercial uses are allowed or limited.					
X	PR6	Louvers and Vents	0	X			
		APPLIES TO: New louver or vent.					
	PR8	Ground Floor Bicycle Parking	1				
		APPLIES TO: Long-term bicycle parking racks located within the ground floor of a building.					
ENTRIES / ENTRY PLAZAS							
X	PR9	Nonresidential Main Entrance Location	0	X			
		APPLIES TO: New building with at least one main entrance for a nonresidential tenant space, or an existing building where the main entrance to a nonresidential tenant space is being moved.					
	PR12	Seating Adjacent to Main Entrance	1				
		APPLIES TO: Main entrance to a lobby or to a non-residential tenant space.					
WEATHER PROTECTION							
X	PR14	Weather Protection at Entrances	0		X		
		APPLIES TO: New main entrances at a new or existing building.					
SUBTOTAL OF POINTS EARNED THIS PAGE:						0	

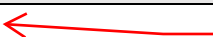
Design Standards Scorecard: Proposals for Alterations and/or Additions to Existing Development

Required (X)	THE DESIGN STANDARD		Maximum points available	N/A	MET	Identify page or sheet numbers on plans	Points earned
	UTILITIES						
X	PR16	Location of Utilities	0	X			
		APPLIES TO: New electric meters, gas meters and radon mitigation equipment located at the ground level of a building.					
	VEHICLE AREAS						
	PR17	Pervious Paving Materials	2	X			
		APPLIES TO: New parking area with at least 10 parking spaces.					
	PR18	No Parking Area	1	X			1
		APPLIES TO: Site with a minimum area of 10,000 square feet.					
	PR19	Structured Parking and Vehicle Areas	2	X			
		APPLIES TO: New vehicle area.					
	PR20	Alternative Shading of Vehicle Areas	1	X			
		APPLIES TO: New vehicle areas smaller than 21,780 square feet.					
	ART AND SPECIAL FEATURES						
	PR21	City Approved Public Art Installation	2				
		APPLIES TO: Any site.					
	PR22	Water Feature	1	X			1
		APPLIES TO: Any site. Confirm approach to water feature at building meets requirements					

QUALITY AND RESILIENCE (QR1 – QR23)										
The standards for Quality and Resilience provide an opportunity for development of quality buildings that provide benefits to current users and can adapt to future changes. They also provide an opportunity for successful site designs that enhance the livability of those who live, work and shop at the site. The quality and resilience standards are split into the following categories: Site Planning and Pedestrian Circulation, On-site Common Areas, Windows and Balconies, Building Materials, and Roofs.										
Required (X)	THE DESIGN STANDARD					Maximum points available	N/A	MET	Identify page or sheet numbers on plans	Points earned
	WINDOWS AND BALCONIES									
X	QR8	Street-Facing Window Detail				0	still confirming our approach			
		APPLIES TO: New street-facing facade.								
SUBTOTAL OF POINTS EARNED THIS PAGE:										2

Does 10th avenue count as street facing?

Design Standards Scorecard: Proposals for Alterations and/or Additions to Existing Development

Required (X)	THE DESIGN STANDARD		Maximum points available	N/A	MET	Identify page or sheet numbers on plans	Points earned
	WINDOWS AND BALCONIES (Cont.)						
	QR9	Upper Floor Windows	2	X			
		APPLIES TO: New building, and an expansion of existing building above the ground floor.					
	QR11	Sunshades for Windows	2	X			
		APPLIES TO: New windows above the ground floor on south facing and west facing facades.					
	QR12	Bird-Safe Glazing for Windows	2		X		2
		APPLIES TO: Facades that contain more than 30 percent glazing.					
	QR13	Operable Windows on Upper Level Units	1	X			
		APPLIES TO: Dwelling units or commercial tenant spaces located above the ground floor.					
	BUILDING MATERIALS						
X	QR15	Exterior Finish Materials	0	X			
		APPLIES TO: Alterations to buildings with a net building area of at least 5,000 square feet may choose to meet the standard above or use materials which are the same as, or visually match the appearance of, those on the existing building.					
	QR18	Sustainable Wood	1		X		1
		APPLIES TO: Building using wood products where allowed as an exterior material in Table 420-3.					
	ROOFS						
X	QR20	Rooftop Equipment	0				
		APPLIES TO: New rooftop equipment.  Does this apply to PV?					
	QR21	Ecoroof	2				
		APPLIES TO: New building or alteration.					
	QR22	Solar Energy System	2		X		2
		APPLIES TO: New building or alteration.					
	QR23	Reflective Roof Surface	1	X			
		APPLIES TO: New building or alteration. This does not apply if either standard QR21 or QR22 are met.					
SUBTOTAL OF POINTS EARNED THIS PAGE:							5
TOTAL POINTS EARNED:							10

File No.	EA 24 - 097880 DA	
1/4 Section	3128,3228	
Scale	1 inch =400 feet	
State ID	1S1E04	300
Exhibit	B	Nov 25, 2024

INDIGENOUS TRADITIONAL ECOLOGICAL AND CULTURAL KNOWLEDGE [ITECK] CENTER

PORTLAND STATE UNIVERSITY
1025 SW HARRISON ST, PORTLAND OR 97201

DESIGN ADVICE REQUEST

JANUARY 9, 2025



ARCHITECT Opsis Architecture | CIVIL ENGINEER Vega Civil Engineering | MECHANICAL / PLUMBING Colebreit Engineering | LANDSCAPE PLACE Studio | STRUCTURAL Catena Consulting | ENVIRONMENTAL PBS Engineering & Environmental Inc.

1. PROJECT SUMMARY

TEAM INFORMATION

OWNER	ARCHITECT	LANDSCAPE	STRUCTURAL	MEP	ENVIRONMENTAL	CIVIL
Portland State University	Opsis Architecture	PLACE Studio	Catena Consulting Engineers	Colebreit Engineering	PBS Engineering & Environmental	Vega Civil Engineering
1825 SW Broadway Portland, Oregon 97201 (509) 200-1945 Contact: Jackson Elsasser	975 SE Main St. Portland, Oregon 97214 (503) 928-2015 Contact: Nada Maani	735 NW 18th Ave Portland, Oregon 97209 (503) 334-2080 Contact: Dylan Morgan	1500 NE Irving St. Suite 412 Portland, Oregon 97232 (503) 380-8760 Contact: Jared Lewis	721 SW Industrial Way #110 Bend, OR 97702 (541) 728-3293 Contact: Heather Hahn	4412 S Corbett Ave Portland, Oregon 97239 (503) 248-1939 Contact: Joel McCarthy	1300 SE Stark St UNIT 201 Portland, Oregon 97214 (503) 349-1381 Contact: Martha Williamson

SUMMARY OF DEVELOPMENT PROGRAM

The existing PSU Indigenous Traditional Ecological and Cultural Knowledge (ITECK) Center is located at the southwest corner of the intersection of SW Montgomery Street and SW 10th Avenue on the block that is just north of the Walk of Heroines on the PSU Campus, known as the PSU Oak Savanna. The project is a renovation of the approximately 2,000 square foot existing building and a new addition of approximately 800 sf to the northwest corner. The project intends to tie into existing city storm water and sanitary systems and intends to make use of the existing well on site to serve the building with potable and nonpotable water and to provide irrigation to the site. See Civil sheets for more information.

The program of the existing ITECK building consists of 1 classroom, 1 office/meeting space, 1 storage space for equipment required to tend the land, 1 storage space for furniture and other items used within the building, restrooms and support space. Also, within the footprint of the existing building and at the knuckle between the exiting building and new addition is a decolonized library. The new addition houses an active classroom space for processing materials harvested from the Oak Savanna.

A deck along the north side of the building opens out to an amphitheater space, with a gradual decline out toward the north portion of the Oak Savanna. A paved area to the east provides a space for the Salmon bake. Water cascades from the roof of the building and makes its way toward a vernal spring in the northeast portion of the site. Reference civil and landscape drawings for additional information and more detailed scope description.

The project is pursuing full Living Building Challenge Certification as described within the sustainability section below. While goals for the project are ambitious, funding is extremely limited, and the team will need to work hard to stay within the available budget.

SHEET INDEX

0. COVER PAGE	Page 1
1. PROJECT SUMMARY	Page 2
2. CONTEXT STUDY	Page 3
Code and Zoning	Page 4
Immediate Urban Context	Page 5
Site Circulation, Accessibility, & Points of Entry	Page 6
Open Space	Page 7
Historical Context	Page 8
Utility Plan	Page 9
Site Photos	Page 10
2. CONCEPT DESIGN	Page 11
Project Concept	Page 12
Design Options	Page 13
Landscape Site Plan	Page 14
Landscape Materials Plan	Page 15
Architectural Building Plan	Page 16
Architectural Roof Plan	Page 17
Bird's Eye Perspective	Page 18
Perspectives	Page 19
Perspectives	Page 20
Elevations	Page 21
Material Concepts	Page 22

2. CONTEXT STUDY

CODE AND ZONING

CHAPTER 1:	ADMINISTRATION
PROJECT ADDRESS:	Indigenous Traditional Ecological and Cultural Knowledge Center 1025 SW Harrison St. Portland, Oregon 97201
JURISDICTIONAL AUTHORITY:	MULTNOMAH COUNTY
APPLICABLE CODE:	2022 OREGON STRUCTURAL SPECIALTY CODE - 2021 IBC AND 2021 IEBC 2021 OREGON ENERGY EFFICIENCY SPECIALTY CODE (OEESC) - ASHRAE 90.1-2019 2022 MECHANICAL SPECIALTY CODE 2023 OREGON ELECTRICAL SPECIALTY CODE 2022 OREGON PLUMBING SPECIALTY CODE 2022 OREGON FIRE CODE
APPLICABLE ZONING:	HIGH DENSITY COMMERCIAL ZONE (Cxd) OPEN SPACE (OSD)

CHAPTER 3: USE AND OCCUPANCY CLASSIFICATION	
EXISTING OCCUPANCY CLASSIFICATION (Section 305)	
GROUP B	BUSINESS
PROPOSED OCCUPANCY CLASSIFICATION (Section 303 & 304)	
GROUP B	BUSINESS

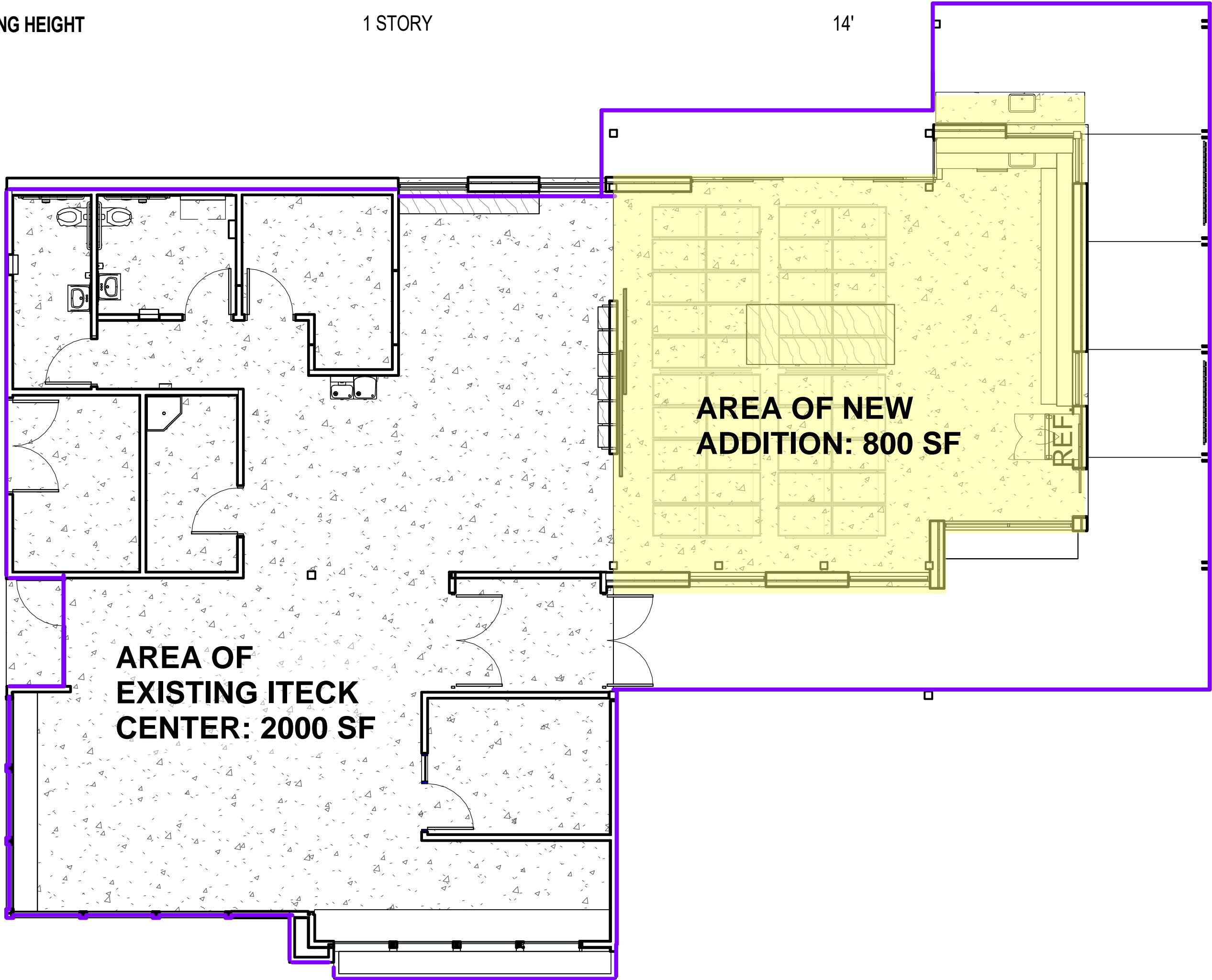
CHAPTER 5: GENERAL BUILDING HEIGHTS AND AREAS

ALLOWABLE BUILDING HEIGHT AND AREA

TYPE	GROUP	(TABLE 504.3) HEIGHT (feet)	(TABLE 504.4) STORY	(TABLE 506.2) AREA
VB (NS)	B	40	2	9,000

ACTUAL AREA2,800 SF

ACTUAL BUILDING HEIGHT1 STORY14'



1 | LEVEL 01 AREA PLAN

A0.20 3/32" = 1'-0"

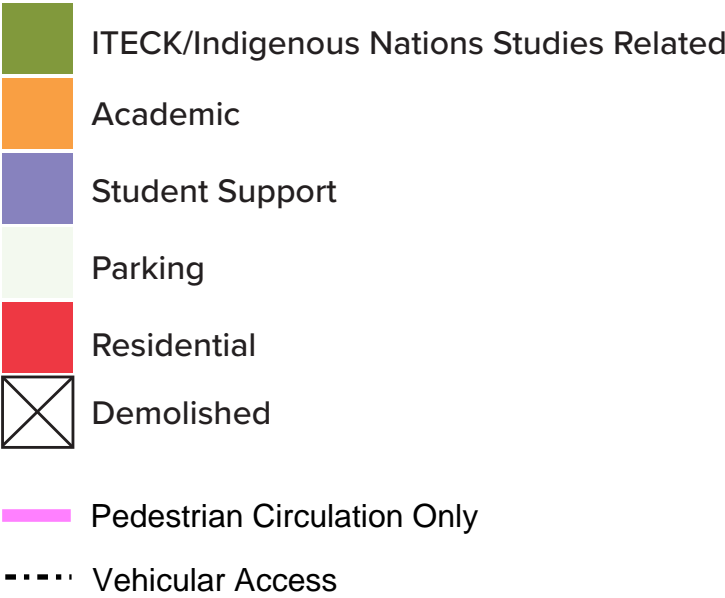
CHAPTER 6: TYPES OF CONSTRUCTION	
CONSTRUCTION CLASSIFICATION(TABLE 601)	TYPE VB
FIRE RESISTIVE BUILDING ELEMENTS (Table 601)	
ITEM	RATING
PRIMARY STRUCTURAL FRAME	0 HR
EXTERIOR BEARING WALLS	0 HR
INTERIOR BEARING WALLS	0 HR
EXTERIOR NON-BEARING WALLS OR PLATFORMS	Table 705.5
INTERIOR NON-BEARING WALLS OR PLATFORMS	0 HR
FLOOR CONSTRUCTION	0 HR
ROOF CONSTRUCTION	0 HR
STAIRWAY CONSTRUCTION	0 HR
SHAFT ENCLOSURE	1 HR
FIRE SEPARATION FOR EXTERIOR WALLS (Table 705.5)	
X=FIRE SEPARATION DISTANCE (FT)	RATING
X < 5	1 HR
5 < X < 10	1 HR
10 < X < 30	0 HR
X > 30	0 HR
CHAPTER 9: FIRE PROTECTION SYSTEMS	
AUTOMATIC SPRINKLER SYSTEM	
SECTION 903 - BUILDING WILL NOT BE SPRINKLERED	
PORTABLE FIRE EXTINGUISHERS	
AS REQUIRED BY CODE - SEE PLANS FOR LOCATIONS AND SPECIFICATIONS FOR FIRE PROTECTION SPECIALTY EQUIPMENT	
ALARM AND DETECTION (section 907.2)	
PROVIDE ALARM AND DETECTION: MANUAL FIRE ALARM SYSTEM (Section 907.5) SMOKE ALARMS TO BE HARD WIRED WITH BATTERY BACKUP VOICE / ALARM COMMUNICATION SYSTEM (Section 907.5.2.2) NOT REQ'D SINCE OCC. LOAD UNDER 1000.	
FIRE DEPARTMENT CONNECTIONS	
EXISTING FDC TO BE MAINTAINED	
FIRE DEPARTMENT ACCESS	
FIRE DEPARTMENT ACCESS PROVIDED WATER SUPPLY: PROVIDE MINIMUM FIRE FLOW	

RELATED PERMITS	DEFERRED SUBMITTALS
PORTLAND PERMITTING & DEVELOPMENT	
1 . BUILDING -COMMERCIAL NEW	1 . SUPPORTS AND SESMIC BRACING OF PLUMBING EQUIPMENT DELEGATED DESIGN (SPEC 22 0 48)
2 . BUILDING - COMMERCIAL NEW (UNDERGROUND FIRELINE)	2 . SUPPORTS AND SESMIC BRACING OF HVAC EQUIPMENT DELEGATED DESIGN (23 05 48)
3 . BUILDING - PLUMBING (INTERIOR)	3 . ACOUSTICAL PANEL CEILINGS DELEGATED DESIGN (SPEC 09 51 13)
4 . BUILDING - PLUMBING - (SITE WORK)	4 . ALUMINUM-FRAMED ENTRANCES AND STOREFRONTS DELEGATED DESIGN (SPEC 08 41 13)
5 . BUILDING - MECHANICAL COMMERCIAL	5 . RE-ROOFING AND SEISMIC ANCHORAGE OF ROOF
6 . BUILDING - FIRE AND LIFE SAFETY SYSTEMS: ALARMS, SIGNALING, CALL SYSTEM. MANUAL FIRE ALARM SYSTEM TO ACTIVATE AN EMERGENCY VOICE/ALARM COMMUNICATIONS SYSTEM: DELEGATED DESIGN	
7 . BUILDING - ELECTRICAL	
8 . BUILDING - GRADING	
9 . SIGNAGE	
10 . BUILDING DEMOLITION	
11 . EROSION CONTROL	
12 . DEVELOPMENT PERMIT	
13 . DESIGN AND HISTORIC RESOURCE REVIEW APPROVALS	
14 . STORMWATER MANAGEMENT	

STATE OF OREGON DEPARTMENT OF ENVIRONMENTAL QUALITY (DEQ)

15 . 1200C

Immediate Urban Context



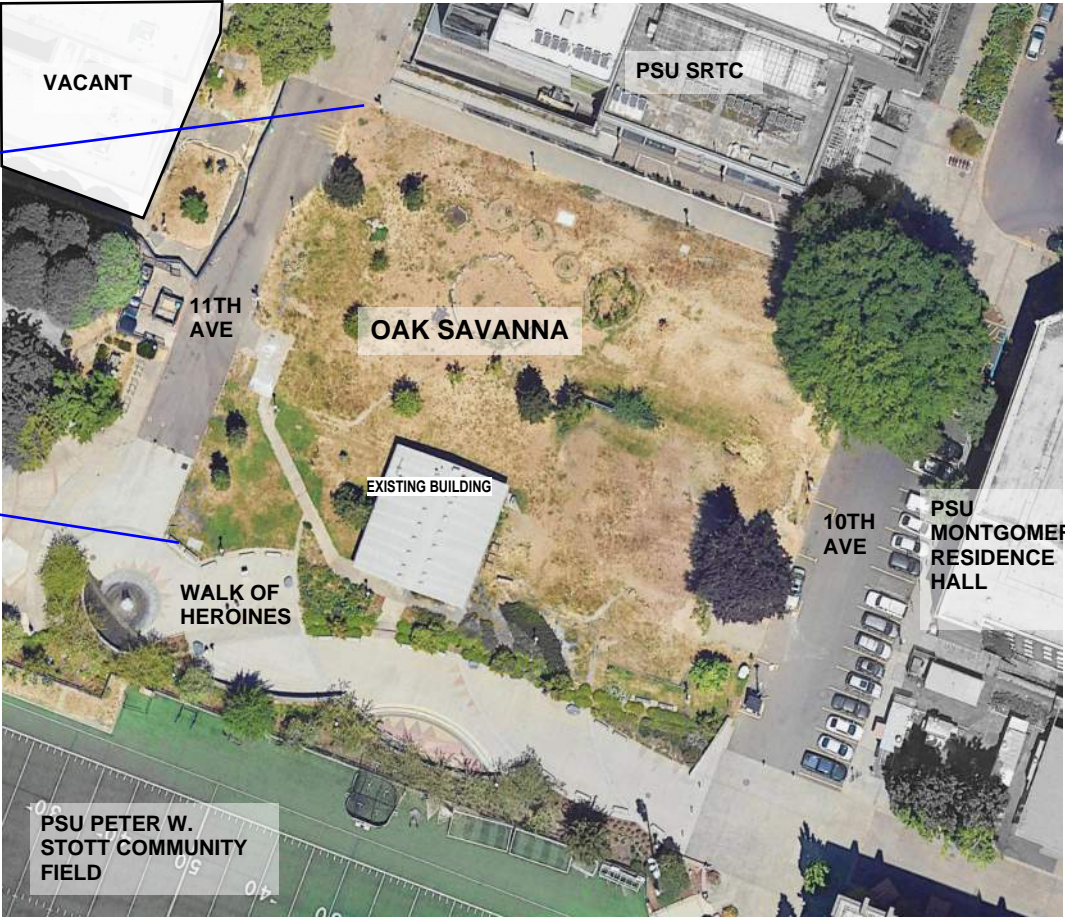
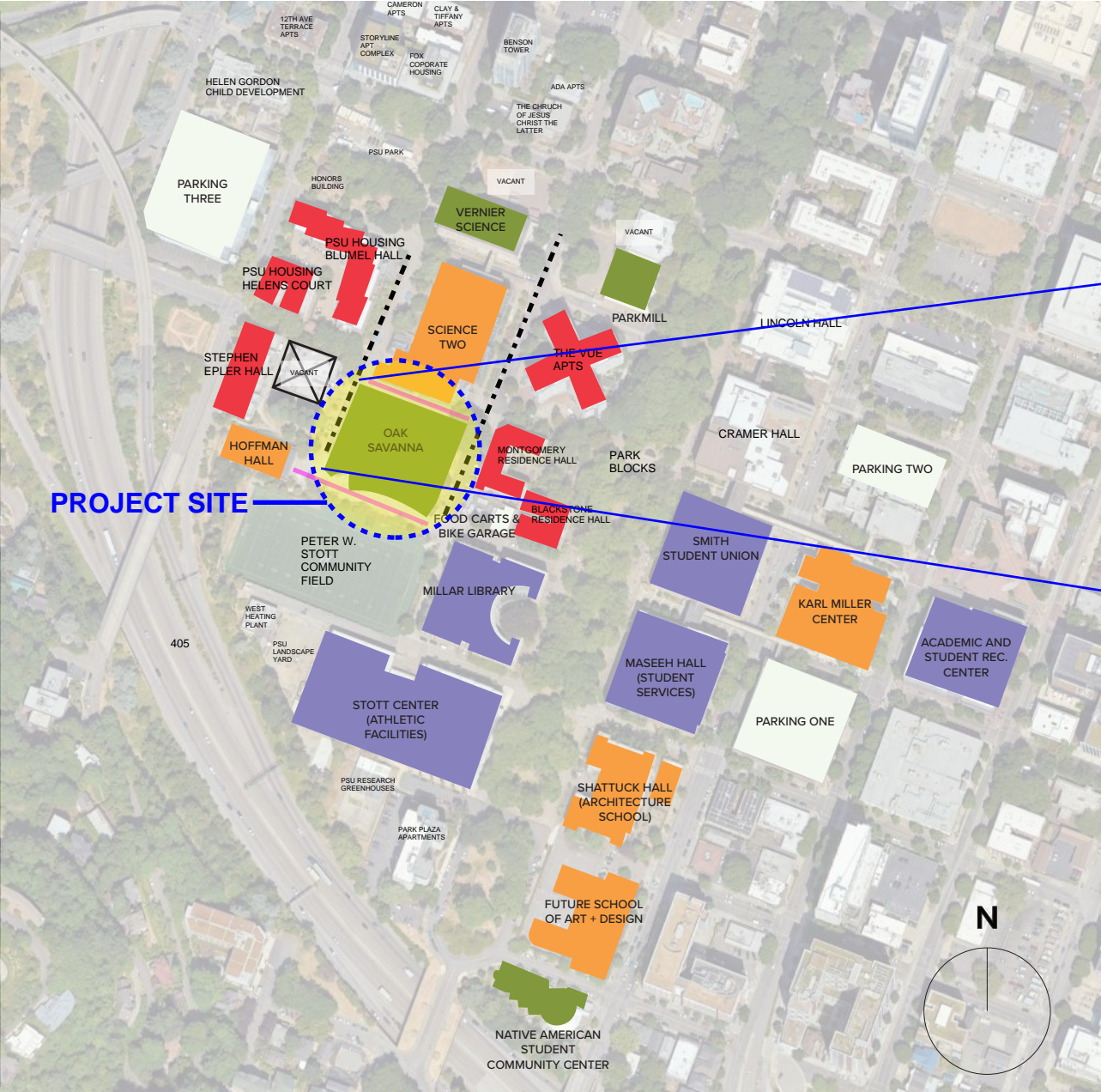
Main Takeaways

Varied Approach Routes

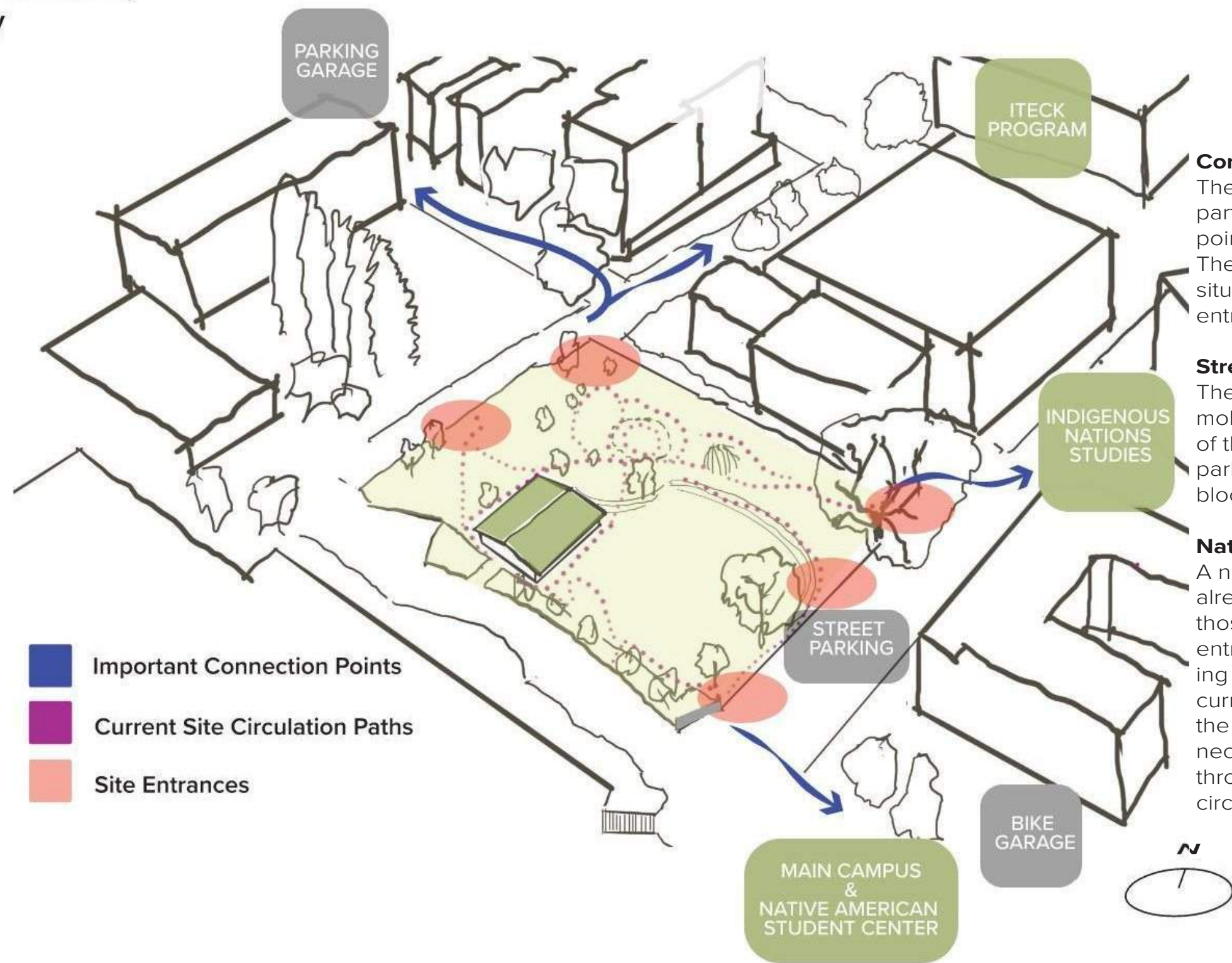
Mapping the various uses of the nearby urban fabric reveals the importance of multi-directional access to the site. The SW corner where the main entrance sits currently is cutoff by Hoffman Hall to the west and the athletic field to the south, and is thus the only direction that does not feed users to the site.

Activated Adjacent Spaces

The most active adjacent space is far and away the food cart lot to the SE of the site. The pathway running along the north side of the site extending towards Vernier sees reasonably heavy traffic as well.



Site Circulation, Accessibility
and Points of Entry



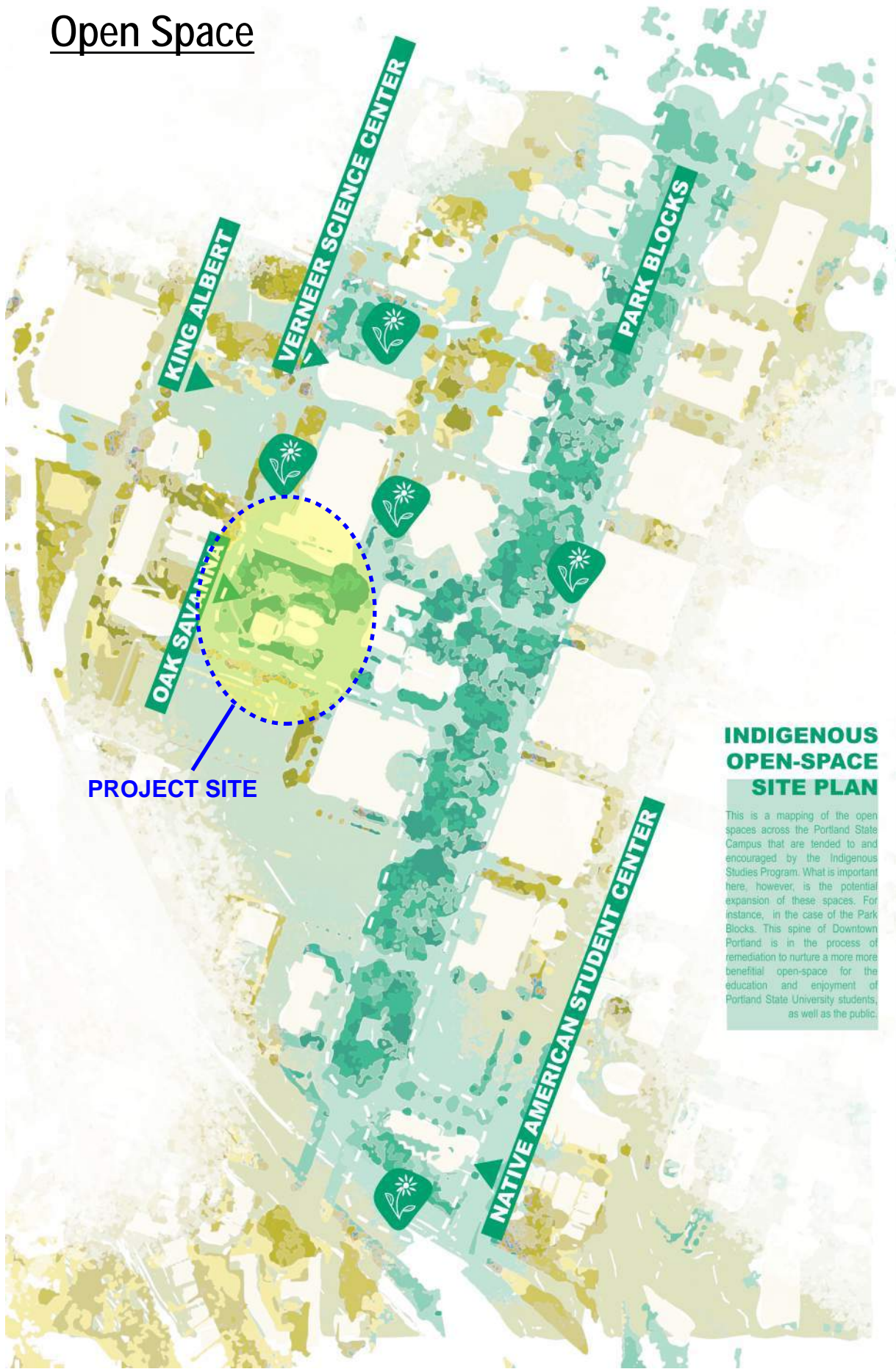
Main Takeaways

Corners as Site Entrances
The NW, NE and SE corners of the site are particularly important as they are the points of entry from the rest of campus. The current entry to the ITECK center is situated away from any of these site entrances.

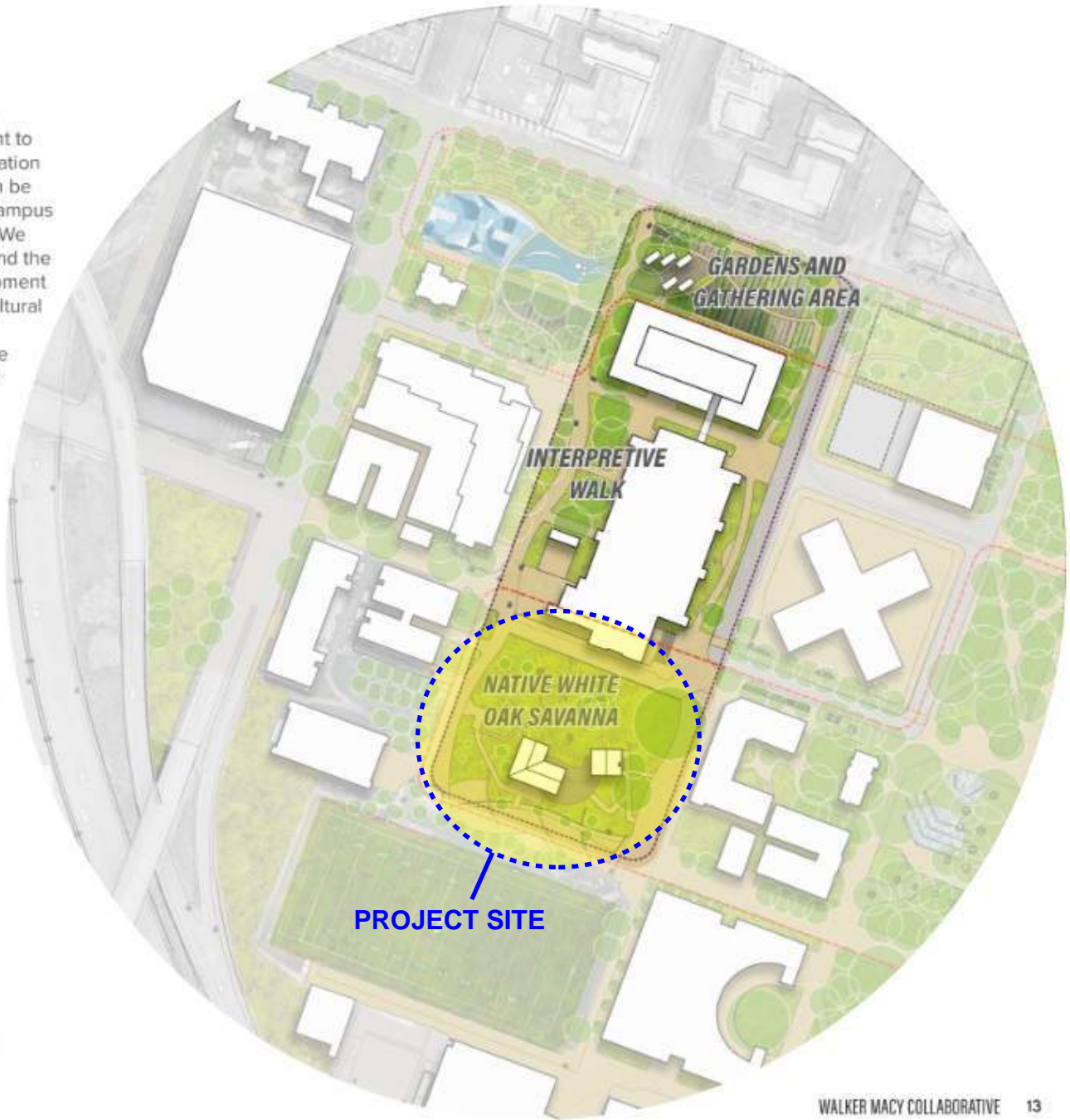
Street Parking and Accessibility
The closest parking for people with limited mobility is on the street directly to the East of the site. A natural entrance for people parking there may be in the middle of the block's East side.

Natural Paths of Site Circulation
A number of trails and high traffic areas already exist on site. Of particular note are those stemming from the two points of entry to the ITECK center, and those leading to the Gathering Circle. Movement is currently impeded on the upper portion of the site due to chainlink fencing. Reconnecting the SE corner to the rest of the site through this area will create much better circulation and access to the site.

Open Space



• The Native White Oak Savanna provides a powerful statement about PSU's commitment to Indigenous stewardship. Through the renovation of 10th and 11th, the Savanna's presence can be extended and integrated into the fabric of campus through plantings, pavements, and seating. We see a wonderful opportunity to further expand the Indigenous presence through the redevelopment of Market Street's new open space into a cultural landscape to support traditional ceremony, medicine, and foods and the Vernier Science Center's Indigenous Traditional Ecological & Cultural Knowledge (ITECK) programs.



SOURCE: PSU Place Matters
Competition Design Report, Walker
Macy Collaborative, 2024


Historical Context

Change through Time: PSU's Oak Savanna

PSU's Oak Savanna shares a rich story about how people and places interact over time. This physical space has endured numerous phases of growth, development, and restoration.

4,000 B.C. – 1,000,000 acres of savanna existed in the Willamette Valley and were maintained by controlled burns by Native American tribes. Fires caused by lightning generally occurred every 10-50 years. These burns cleared undergrowth and other trees to let slow growing oaks to thrive.

Early 1800s - Early European settlement displaced local indigenous communities. The resulting lack of managed burns allowed conifer trees to grow among oaks and led to an increase in coniferous and upland forest.

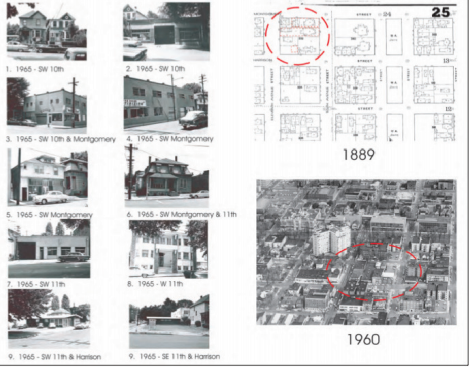


1851-1860 – Records from the Oregon Natural Heritage Information Center indicate that block 240 (where the PSU Oak Savanna is located now) consisted mostly of upland forest. The relative distribution of oak savanna prior to settlement has not been recorded.

The effect of European-American settlement turned forests into agricultural land, while Oak was harvested for furniture, homes, and firewood.

Late 1800s – The PSU Oak Savanna site was predominantly occupied by residential housing as Portland continued to grow.



1920s-1960s - Some of the homes at block 240 were demolished and replaced by a mix of commercial and industrial uses.




Historical photos of block 240, courtesy of PSU's Campus Planning Office

1965 – Ownership of the block was transferred to PSU for redevelopment.

1972 – PSU demolished existing residential buildings and removed underground utility lines at the site.



A salmon bake by the United Indian Students of Higher Education, 1975. Students from PSU, Portland Community College, and Mt. Hood Community College attended. Courtesy Oregon Hist. Soc. Research Lib., Journal, photo file 1851



Salmon bake at Portland State University, organized by the United Indian Students of Higher Education, 1977. Courtesy Oregon Hist. Soc. Research Lib., Journal, photo file 1851



Salmon bake at PSU, 1978

2000-2004 – Two 1,000 gallon storage tanks, formerly used by the Oregon Department of Environmental Quality, were removed from the site.



2010 – The space was used to hold construction equipment during renovation of the Science Research and Teaching Center building.



Fall 2011 – Upon request by students, Fortis Construction and Facilities and Property Management to plant a native grass mix, oak trees, and serviceberries in the space.



Fall 2012 – The Oak Savanna was blessed by professor Judy Bluehorse Skelton along with other members of the Native community and PSU students.



Figure: Second year growth emerged in Spring 2013.

May 2014 - A group of students, staff, faculty, and community members, advocated for the Savanna to be designated as a greenspace.

Summer 2014 - Classes in the Honors College identified plant species and measured differences in biodiversity inside and outside the borders of the Savanna.



Incoming PSU students learn in the Oak Savanna during a native plant walk during fall 2015.

Fall 2015 - PSU's Native American Student and Community Center and Living Islands sponsored an indigenous builder from the Republic of the Marshall Islands, Tien Clement handcrafted a 25' traditional outrigger canoe to increase awareness about the Marshallese community in the Pacific Northwest. The canoe was made from salvaged redwoods and coconut fibers next to the Oak Savanna and was installed in Shattuck Hall.



Spring-summer 2015 – PSU's Landscaping department adopted a selective mowing strategy that allows Savanna plants to complete their full lifecycle.



August 2015 – During renovation of the School of Business Administration, stumps from a felled tree and the "Peace Poles" art demonstration are relocated to the Savanna.



2018
Indigenous Nations Studies and School of Architecture begins collaborate to envision a new ITECK Center on site

2018-2024
Collaboration continues

March 2024
Oregon Legislature approves \$2 million reallocation for the renovation of the ITECK Center

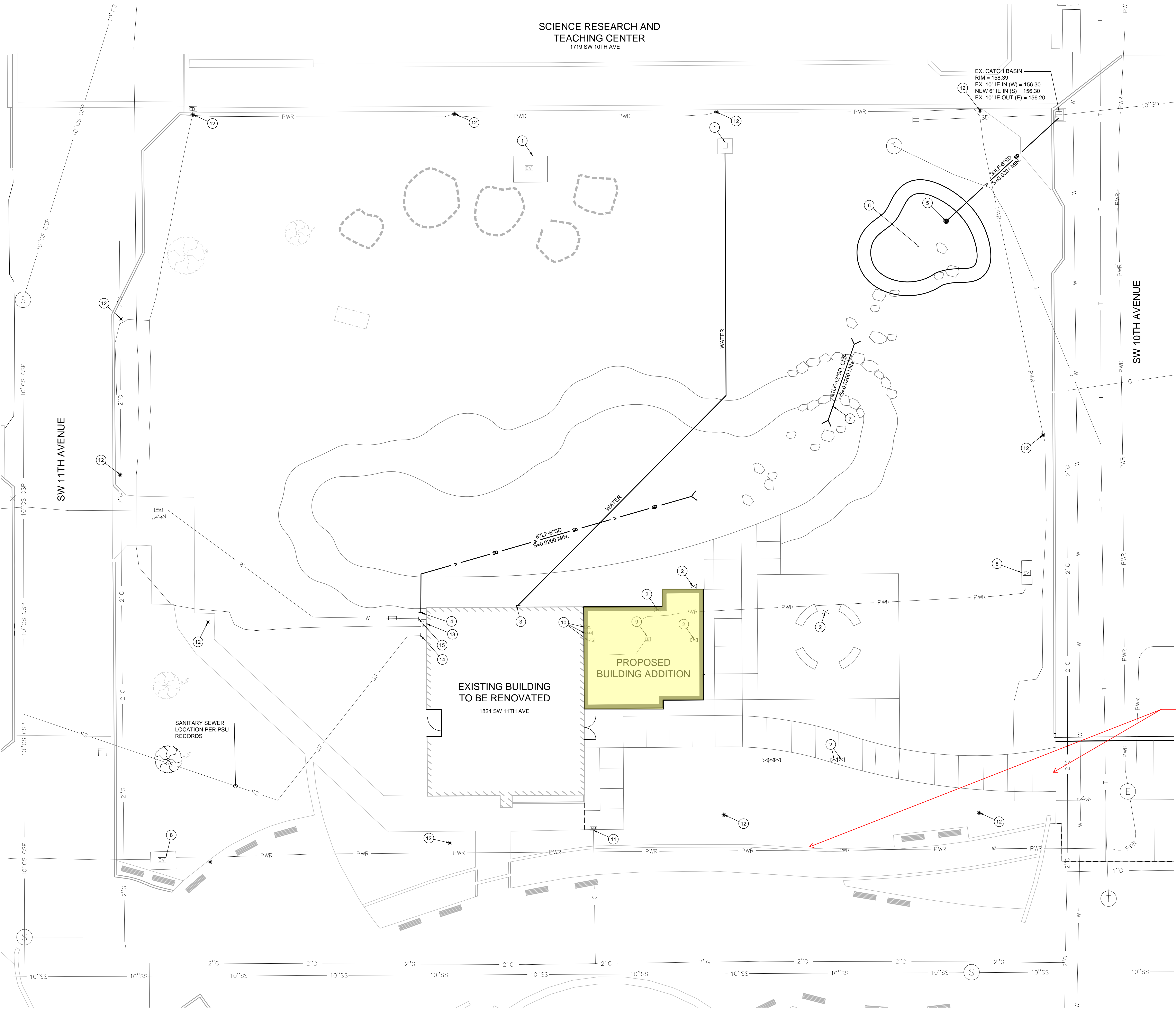
July 2024
Opsis, PLACE, and the Center for Public Interest Design begin design work in collaboration with key stakeholder group

2021-Present
Salmon bakes have occurred multiple times each year since the Campus reopened post-COVID



Utility Plan

SCIENCE RESEARCH AND
TEACHING CENTER
1719 SW 10TH AVE



UTILITY PLAN
SCALE: 1" = 10'

GENERAL NOTES

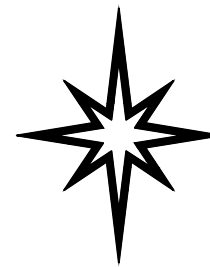
1. DOMESTIC WATER ALTERNATE #1: 10,000 GALLON RAINWATER HARVESTING TANK WITH FILTER SYSTEM TO PROVIDE POTABLE WATER.
2. EXISTING WATER SERVICE LOCATION IS APPROXIMATE.

CONSTRUCTION NOTES

1. PROTECT EXISTING WELL. INSTALL WELL PUMP WITH MINIMUM FLOW RATING OF 35 GPM.
2. RELOCATE EXISTING WATER VALVE.
3. DOMESTIC WATER CONNECTION TO PRESSURE TANK IN BUILDING. INSTALLATION OF PREMISES-ISOLATION DCDA TO BE INSTALLED AFTER PRESSURE TANK. SEE PLUMBING PLANS.
4. STORMWATER CONNECTION FROM BUILDING.
5. 12" OVERFLOW DRAIN WITH ORIFICE FLOW CONTROL.
6. 730 SF STORMWATER BASIN WITH 12" WATER STORAGE AND 24" OF SOIL AND ROCK WITH UNDERDRAIN.
7. CULVERT PIPE.
8. PROTECT EXISTING ELECTRICAL VAULT.
9. REMOVE EXISTING ELECTRICAL BOX.
10. REMOVE EXISTING GAS METER.
11. RELOCATE EXISTING GAS METER.
12. PROTECT EXISTING SITE LIGHT.
13. PROTECT EXISTING ELECTRICAL BOX.
14. PROTECT EXISTING SANITARY SERVICE.
15. ABANDON EXISTING WATER SERVICE CONNECTION AND BACKFLOW PROTECTION.

NOTE: CONNECTION WILL NOT BE
MADE TO 10TH AVENUE AS SHOWN
HERE. PLANS WILL BE REVISED TO
SHOW CONNECTION FROM WALK
OF HEROINES TO MAIN ENTRY

opsis



VEGA

CIVIL ENGINEERING LLC

503.349.1381 | WWW.VEGACIVIL.COM

Opis Architecture LLP
975 SE Main St., Portland, OR 97214
503.525.9511 | info@opsisarch.com
opsisarch.com



EXPIRES: 6/30/2026

Project Owner:
PORTLAND STATE
UNIVERSITY

Project Name:
ITECK CENTER

Project Address:
1025 SW HARRISON ST,
PORTLAND OR 97201

Key Plan

Copyright

THESE DRAWINGS ARE THE PROPERTY OF OPSIS ARCHITECTURE
LLP AND ARE NOT TO BE USED OR REPRODUCED IN ANY MANNER
WITHOUT PRIOR WRITTEN PERMISSION.

Revisions to Sheet
No. Revision Date

Status: SCHEMATIC DESIGN

Date: 11/01/2024

Sheet Title
UTILITY PLAN

Sheet No.

C2.00

Job No.

4922-01

Site Photos

The following images outline the site from ground level. In Figure 2.5 the Walk of Heroines appears in the foreground of the Harrison Street Building. Figure 2.6 looks east across the grass of the Oak Savanna, including a science building, dormitories, and the PSU library in the background. Figure 2.7 looks south across the newly installed community conversation circle.



Figure 2.5, Looking north from the Walk of Heroines



Figure 2.6, Looking east across SW 11th



Figure 2.7, Looking south over the Oak Savanna



Figure 2.8, Looking south from the 4th floor of Science Two

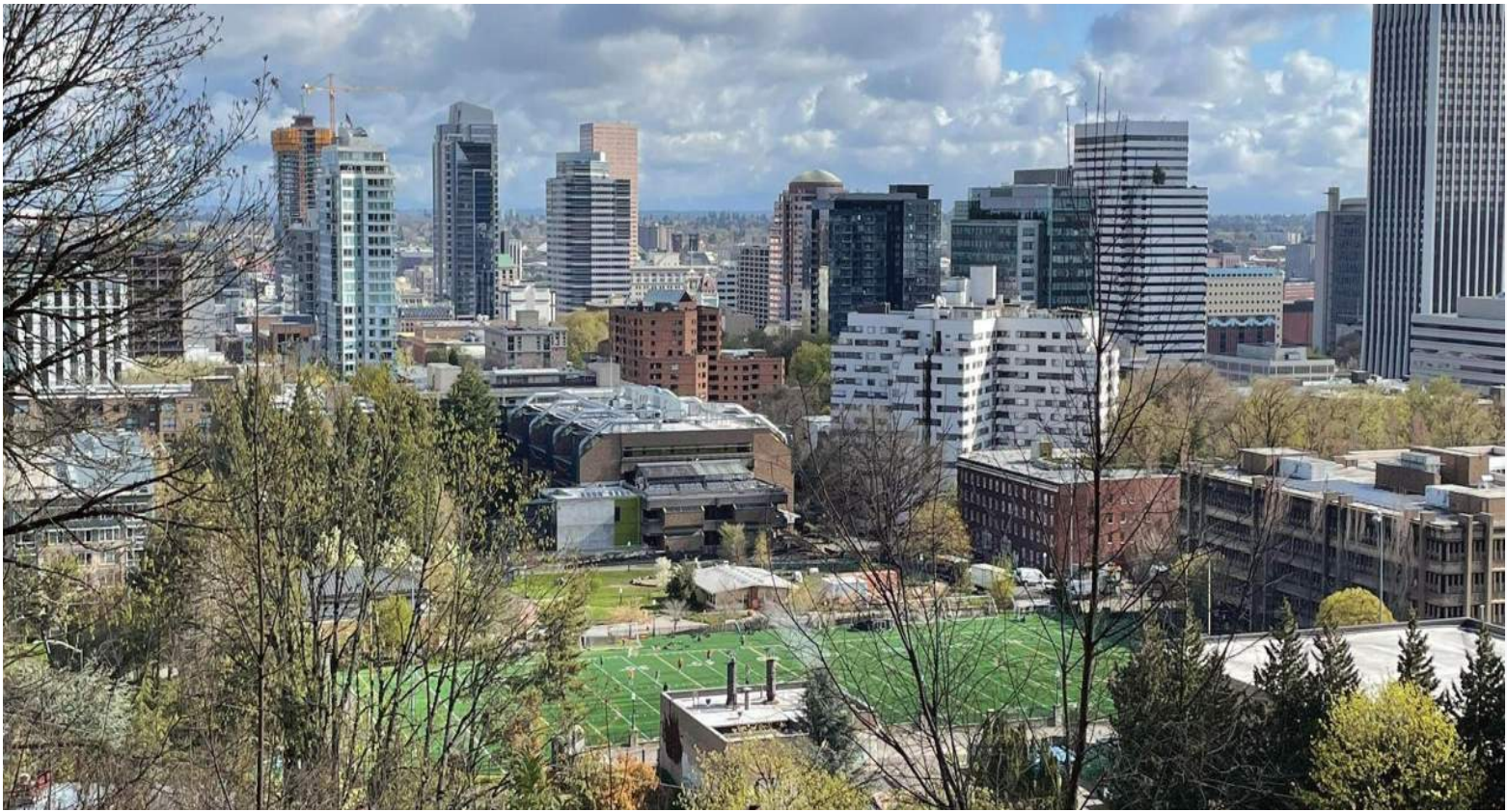


Figure 2.9, Photo from hill to the South of the site looking North

In addition to the images taken at ground level, a number of photos were gathered from high vantage points to gain a contextualized understanding of the site. One aspect of the not seen in these two photos but which is crucial to understanding development patterns in the area is the highway that seperates the site and the densely developed city center. This creates an edge condition for the site which limits the access from the south. This physical seperation is in contrast to the visual connection of these two areas.

3. CONCEPT DESIGN

Project Concept

Indigenous Traditional Ecological and Cultural Knowledge (ITECK) Design Principles

Each of the following seven principles are unto themselves complete, but also exist as part of a larger interdependent network which together represent a complete vision of responsible, culturally relevant land use.

Sacredness of Land

Sacredness of land is recognized through the practice of reclamation and restoration of ancestral ecosystems. Acknowledgement of the land's significance is carried into the future through transmission of knowledge and by the actions of the present inhabitants. The land will be used responsibly and in accordance with the other six principles.

Cultivation of Healthy Relationships

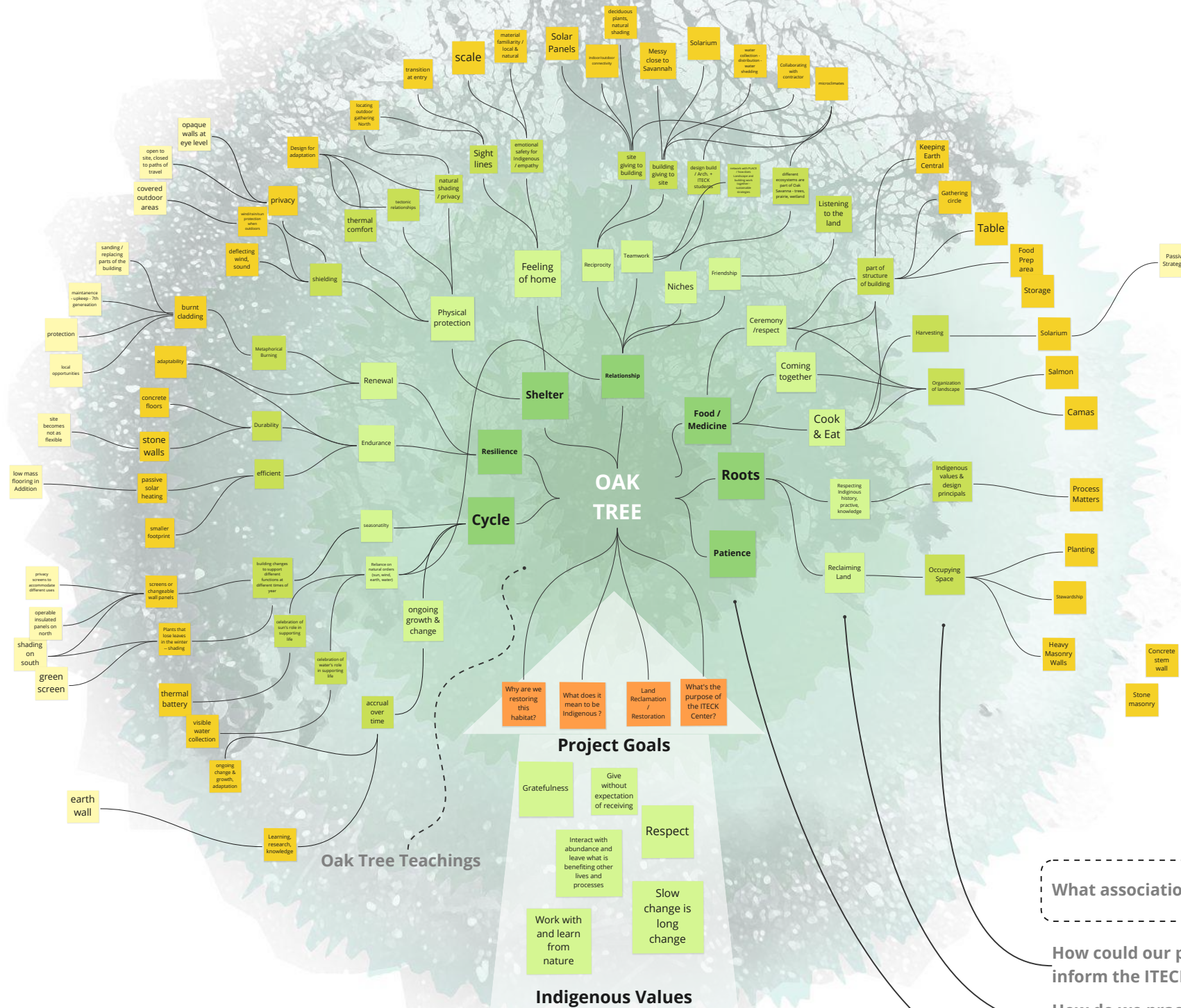
The building, site, plants, animals, insects, and humans are inter-relational beings, each dependent upon the wellbeing and health of all others. Rather than being a static object upon the land, the building acts as a participant in a larger ecosystem.

Reciprocity

The building will promote reciprocity by giving back to the land what it receives. For example, water harvesting is returned to the land; more is not taken than is needed. Leaves from trees are not raked to recognize that the carbon and plant matter are critical to the cyclical return of nutrients to the tree and soil.

Slow Change is Long Change

Working with and learning from nature takes time. Planning for the 7th generation benefits from wisdom developed in the interaction with nature in context. The structure and the building program must address this through a mindful planning process that engages with elders for important knowledge. Building, even planning too much too soon, could be worse than doing less.



What associations arise?

How could our practice inform the ITECK Center?

How do we practice this knowledge?

What are we learning from the Oak Tree?



Fig. 3.1, White Oak Leaves



Fig. 3.2, White Oak Tree



Fig. 3.3, White Oak Grove

Living, Planning, Designing, and Managing for the 7th Generation

Embarking on a project requires a great responsibility to the inheritors of that structure and place. The structure must be built with diligence and respect to all parts and potential changes to its structure and organization.

The building serves as an example and protector to the land around it, where responsible management and living may be taught to future generations.

Respect for the Role of Indigenous Ways of Knowing

These methods and understandings are not always presented in the ways that westerners expect (ie documentation, statistics, etc). There are other ways for transferring knowledge and making informed decisions, and opening to Indigenous ways of knowing will be essential in this project.

Respecting Indigenous ways of knowing involves honoring cultural practices and a mindset of holistic sustainability.

Sharing of Knowledge

The sharing of knowledge is essential to the growth of Indigenous communities. Learning how to care for the site and structure through knowledge sharing empowers the community to make independent decisions about its maintenance and changes. In addition, as a critical piece in the continuing life of Indigenous knowledge, the structure must act to facilitate the different activities through which traditional knowledge is shared and practiced.

DESIGN OPTIONS



EARLY EXPERIENTIAL STUDIES



SITE CONCEPTS



PREFERRED MASSING AND DESIGN



MASSING STUDIES

01 SITE PLAN

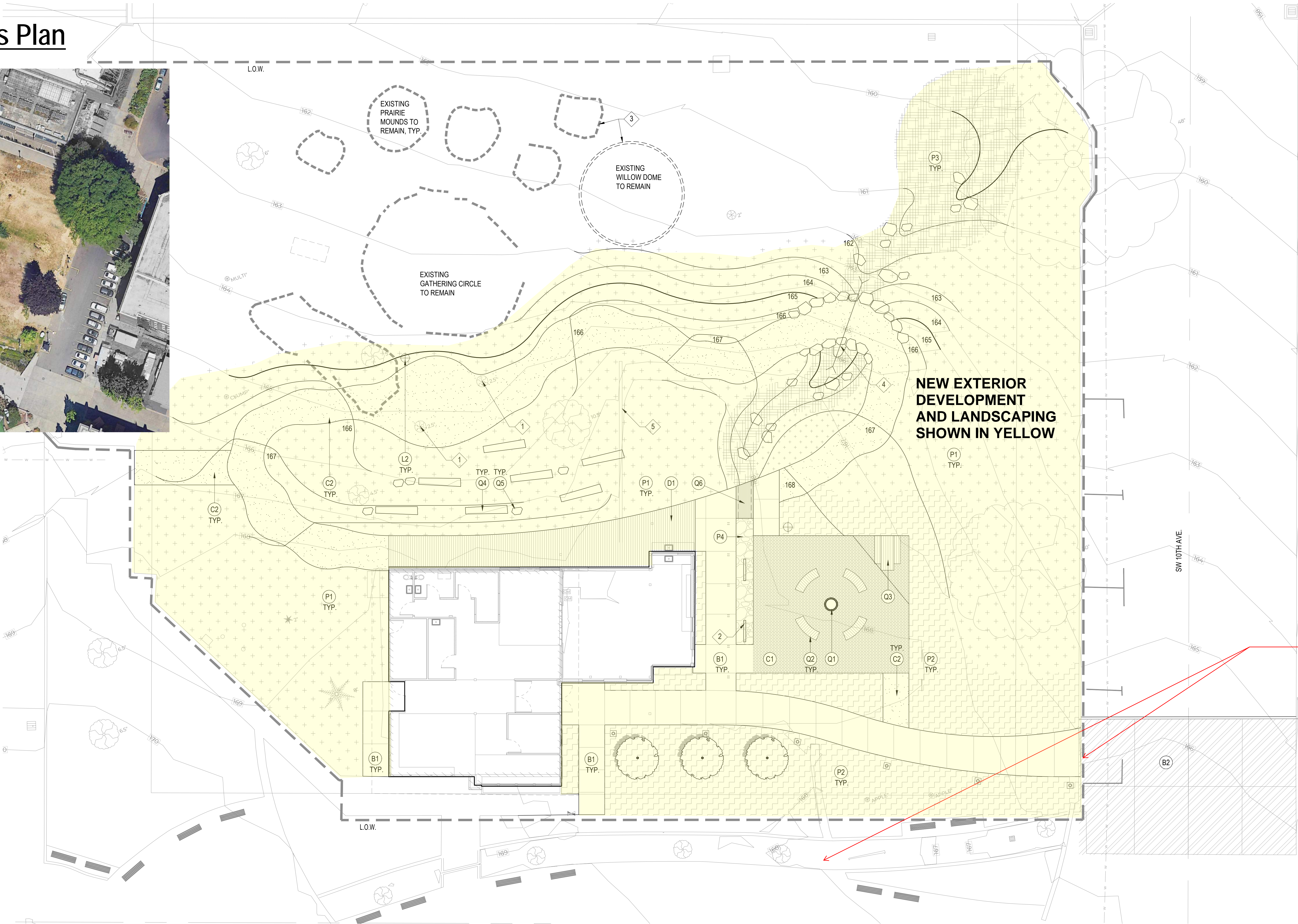
- 1. ITECK CENTER
- 2. FIRE
- 3. NIBBLING GARDEN
- 4. TABLE
- 5. ENTRY PATH
- 6. RAIN GARDEN
- 7. WOOD DECK
- 8. LOG SEATS
- 9. MEADOW PATH
- 10. VERNAL SPRING
- 11. GATHERING CIRCLE
- 12. WILLOW DOME
- 13. MICRO PRAIRIE MOUNDS
- 14. ROCKET MASS HEATER BENCH



Landscape Materials Plan



EXISTING OAK SAVANNA SITE



MATERIALS SCHEDULE

PAVEMENTS

- B1 CONCRETE PAVING - PEDESTRIAN
- SURFACE RETARDER FINISH
- B2 CONCRETE PAVING - VEHICULAR (SEE CIVIL)
- C1 UNIT PAVING
- SAND SET PRECAST CONCRETE
- WILLAMETTE GREYSTONE VERONA
- 5" x 3" x 1/4" STEEL ANGLE EDGER WITH CONTINUOUS CONCRETE FOOTING
- C2 DECOMPOSED GRANITE
- WATER COMPACTED
- METAL EDGER
- D1 WOOD DECK
- THERMORY THERMALLY MODIFIED ASH

CURBS AND EDGERS

- K1 CONCRETE CURB (SEE CIVIL)

SITE LIGHTING

- L1 LIGHT BOLLARD (SEE ELECTRICAL)
- 3' TALL FIXTURE WITH LED LIGHT SOURCE
- L2 EVENT LIGHTING - 20' POLE (SEE ELECTRICAL)
- MULTIPLE DIRECTIONAL LED FIXTURES

PLANTING

- EXISTING TREE TO REMAIN
- PROTECT
- PROPOSED TREE
- 2" CALIPER
- P1 MEADOW PLANTING
- SEEDED WILDFLOWER MIX
- P2 SHRUB & GROUND COVER PLANTING
- P3 VERNAL SPRING
- WETLAND PLANTING
- P4 RAIN GARDEN
- WETLAND PLANTING
- CRUSHED BASALT MULCH

SITE FURNISHINGS

- Q1 SALMON BAKE
- OWNER PROVIDED
- Q2 WOOD BENCH
- LANDSCAPE FORMS "LINK"
- Q3 WOOD PICNIC TABLE
- TIMBER FORM 8' ACCESSIBLE
- Q4 LOG SEAT
- 24" - 36" DIA. CEDAR OR APPROVED
- Q5 BOULDER
- OWNER PROVIDED
- Q6 STEEL GRATE
- CONCRETE HEADWALLS

MATERIALS LEGEND

- LIMIT OF WORK / LBC BOUNDARY
- - - - - EXISTING CONTOUR
- 166 PROPOSED CONTOUR

KEY NOTES

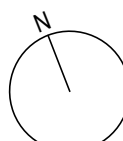
- TRANSPLANT EXISTING TREE.
- DECORATIVE RAINWATER FEATURE INCLUDING CARL STAHL X-TEND STAINLESS STEEL MESH AND STAINLESS STEEL FRAME.
- PROVIDE IRRIGATION AT EXISTING PRAIRIE MOUNDS AND WILLOW DOME, TYP.
- STORM WATER CULVERT. SEE CIVIL.
- EXISTING WALL TO BE REMOVED.

SHEET NOTES

- PROVIDE BELOW GRADE AUTOMATIC IRRIGATION FOR ALL PROPOSED PLANTING AREAS AND WHERE NOTED.

SCALE: 1" = 10'

0 5 10 20



NOT FOR
CONSTRUCTION

Project Owner:
PORTLAND STATE
UNIVERSITY

Project Name:
ITECK CENTER

Project Address:
1025 SW HARRISON ST,
PORTLAND OR 97201

Key Plan

NOTE: CONNECTION WILL
NOT BE MADE TO 10TH
AVENUE AS SHOWN HERE.
PLANS WILL BE REVISED
TO SHOW CONNECTION
FROM WALK OF HEROINES
TO MAIN ENTRY

Source:

THESE DRAWINGS ARE THE PROPERTY OF OPSIS ARCHITECTURE
LLP AND ARE NOT TO BE USED OR REPRODUCED IN ANY MANNER
WITHOUT PRIOR WRITTEN PERMISSION.

Revisions to Sheet

No. Revision Date

Status: SCHEMATIC DESIGN

Date: 11/07/2024

Sheet Title

MATERIALS PLAN

Sheet No.

L1.00

Job No.

4922-01

Architectural Building Plan

FLOOR PLANS SHEET NOTES

1. REFERENCE SHEET A0.10 FOR MOUNTING HEIGHTS AND GENERAL INFORMATION
2. REFERENCE LIGHTING / ELECTRICAL FOR LIGHTING TYPES. NOT ALL LIGHTING IS SHOWN ON THE ARCHITECTURAL PLAN
3. REFERENCE EXTERIOR ELEVATIONS FOR EXTERIOR MATERIALS
4. ALL OUTSIDE INTERIOR CORNERS WITHOUT FRL WALL COVERING TO HAVE 4" HIGH S.S. CORNER GUARDS
5. ALL FURNITURE SHOWN FOR REFERENCE ONLY - GFCI
6. PROVIDE BLOCKING AS REQUIRED FOR ALL LOCATIONS TO RECEIVE FRP PANEL FINISH
7. PROVIDE BLOCKING AT LOCATIONS TO RECEIVE NEW TOILET ACCESSORIES

opsis

Opsis Architecture LLP
975 SE Main St., Portland, OR 97214
503.525.9511 | info@opsisarch.com
opsisarch.com

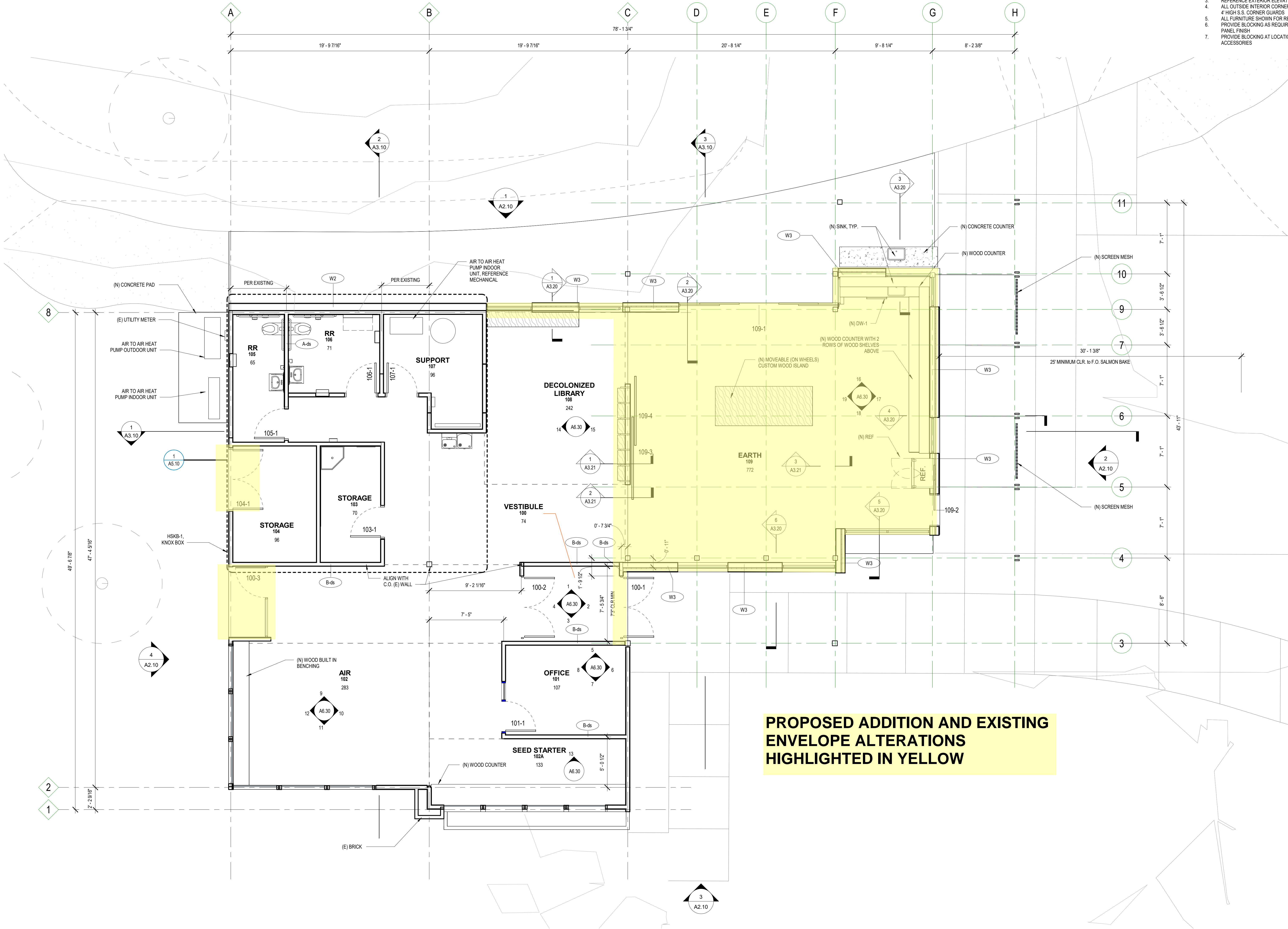
NOT FOR
CONSTRUCTION

Project Owner:
**PORTLAND STATE
UNIVERSITY**

Project Name:
ITECK CENTER

Project Address:
**1025 SW HARRISON ST,
PORTLAND OR 97201**

Key Plan



PROPOSED ADDITION AND EXISTING
ENVELOPE ALTERATIONS
HIGHLIGHTED IN YELLOW

1 | Level 01
A1.01 1/4" = 1'-0"

Status: SCHEMATIC DESIGN

Date: 11/08/2024

Sheet Title: FLOOR PLAN

Sheet No. A1.01

Job No. 4922-01

Architectural Roof Plan

ROOF PLANS SHEET NOTES

1. VERIFY ALL DIMENSIONS IN THE FIELD
2. COORDINATE EXACT LOCATIONS OF MECHANICAL EQUIPMENT WITH MECHANICAL DRAWINGS AND SPECIFICATIONS.

opsis

Opsis Architecture LLP
175 SE Main St., Portland, OR 97214
503.525.9511 | info@opsisarch.com
opsisarch.com

**NOT FOR
CONSTRUCTION**

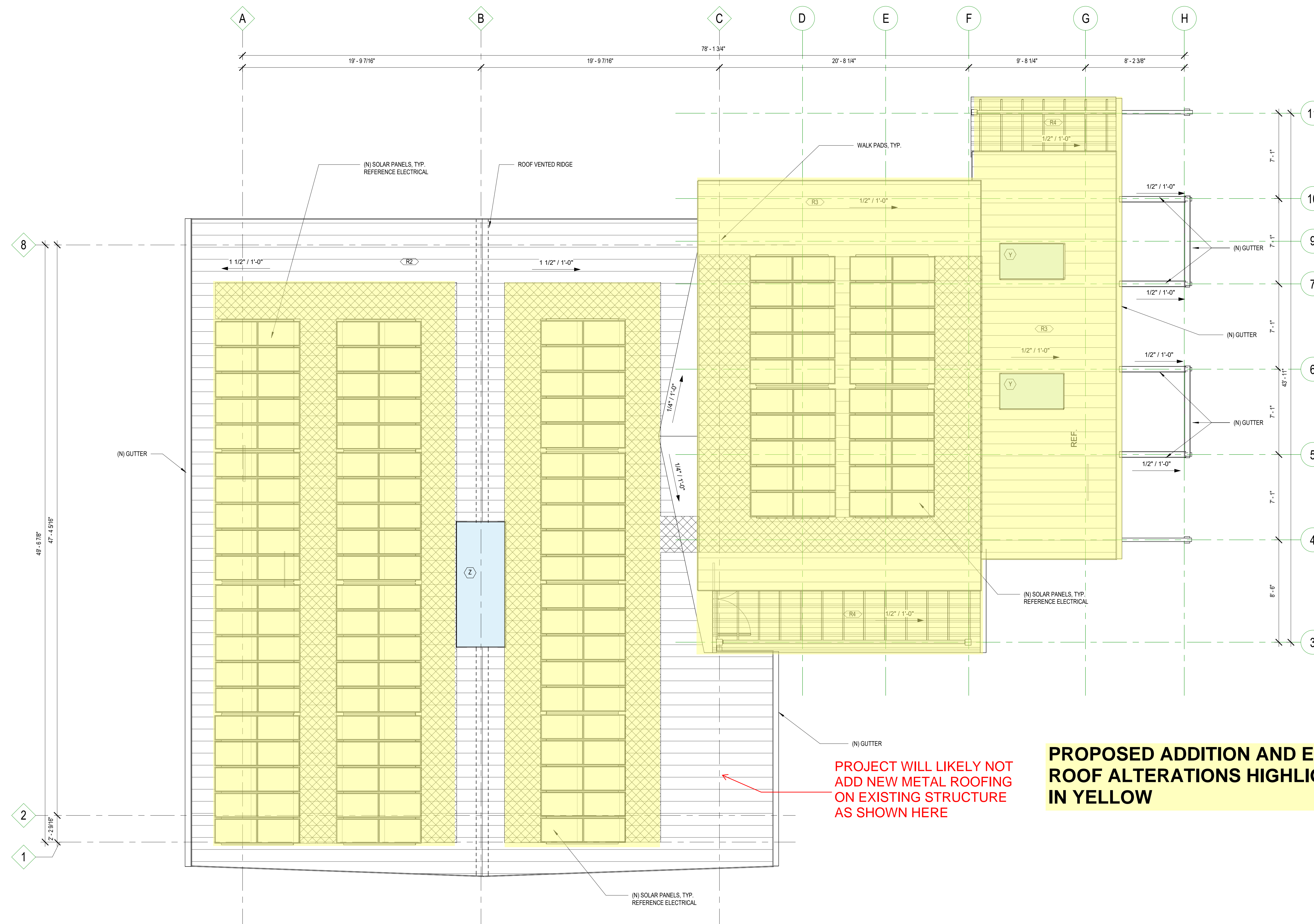
Project Owner:
**PORTLAND STATE
UNIVERSITY**



Project Name: **TECK CENTER**

Project Address:
1025 SW HARRISON ST,
PORTLAND OR 97201

Key Plan



PROJECT WILL LIKELY NOT
ADD NEW METAL ROOFING
ON EXISTING STRUCTURE
AS SHOWN HERE

**PROPOSED ADDITION AND EXISTING
ROOF ALTERATIONS HIGHLIGHTED
IN YELLOW**

copyright

THESE DRAWINGS ARE THE PROPERTY OF OPSIS ARCHITECTURE
LLP AND ARE NOT TO BE USED OR REPRODUCED IN ANY MANNER,
WITHOUT PRIOR WRITTEN PERMISSION.

Revisions to Sheet		
No.	Revision	Date

Status: **SCHEMATIC DESIGN**

Date: 11/08/2024

Sheet Title
ROOF PLAN

Sheet No.

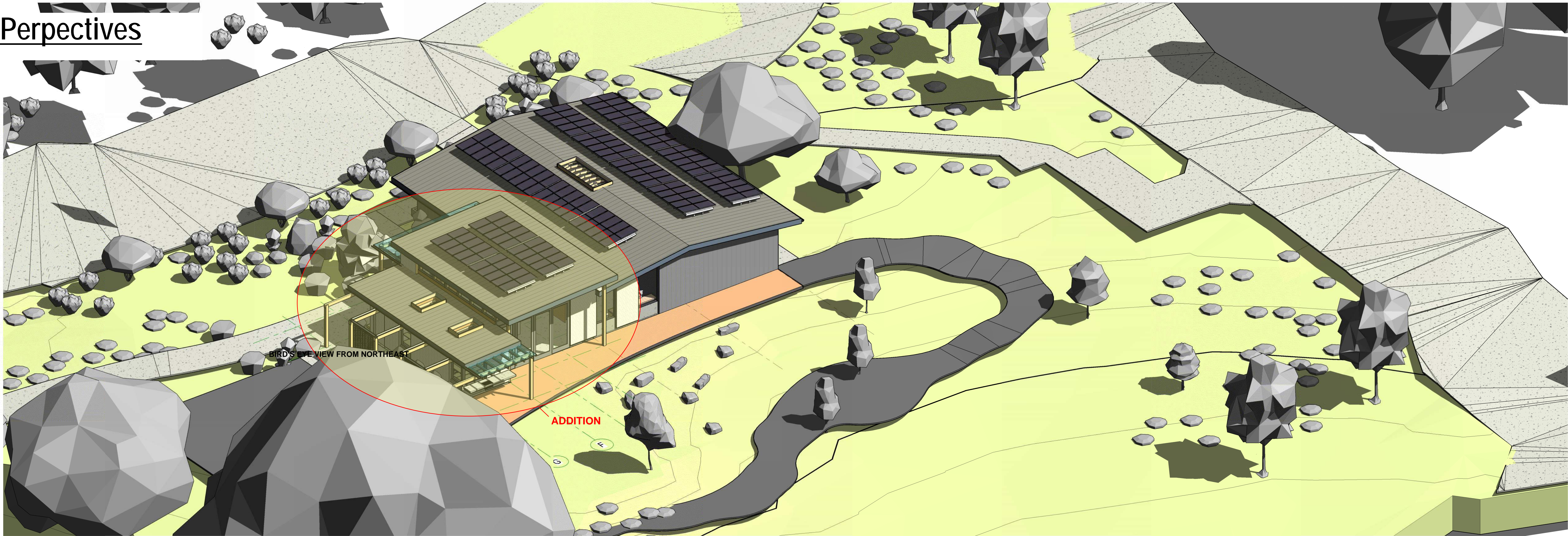
A1.02

Job No. _____

4922-01

EA 24-097880 DAR, Exhibit C.17

Bird's Eye Perspectives



Opis Architecture LLP
975 SE Main St., Portland, OR 97214
503.525.9511 | info@opsisarch.com
opsisarch.com

NOT FOR
CONSTRUCTION

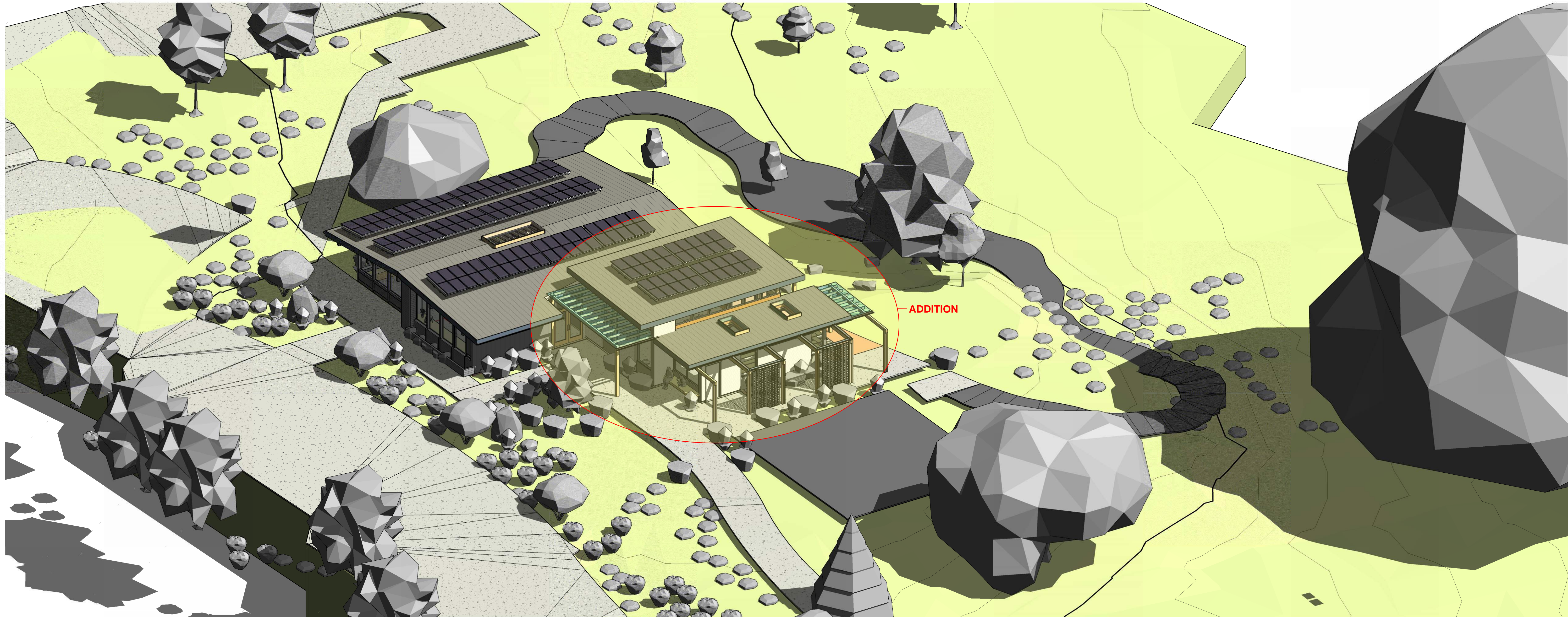
Project Owner:
**PORTLAND STATE
UNIVERSITY**

Project Name:
ITECK CENTER

Project Address:
**1025 SW HARRISON ST.,
PORTLAND OR 97201**

Key Plan

1 | MASSING 01
A2.12 BIRD'S EYE VIEW FROM NORTHEAST



2 | MASSING 02
A2.12 BIRD'S EYE VIEW FROM SOUTHEAST

Copyright

THESE DRAWINGS ARE THE PROPERTY OF OPIS ARCHITECTURE
LLP AND ARE NOT TO BE USED OR REPRODUCED IN ANY MANNER
WITHOUT PRIOR WRITTEN PERMISSION.

Revisions to Sheet

No.	Revision	Date
-----	----------	------

Status: SCHEMATIC DESIGN

Date: 11/08/2024

Sheet Title:
3D MASSING

Sheet No.
A2.12

Job No.
4922-01

Opsis Architecture LLP
975 SE Main St., Portland, OR 97214
503.525.9511 | info@opsisarch.com
opsisarch.com

NOT FOR
CONSTRUCTION

Project Owner:
**PORTLAND STATE
UNIVERSITY**



Project Name:
ITECK CENTER

Project Address:
**1025 SW HARRISON ST,
PORTLAND OR 97201**

Key Plan



PERSPECTIVE - FACING SOUTHEAST BUILDING CORNER [ADDITION]



PERSPECTIVE - FACING OF SOUTHEAST BUILDING CORNER [EXISTING AND ADDITION]

Copyright

THESE DRAWINGS ARE THE PROPERTY OF OPSIS ARCHITECTURE LLP AND ARE NOT TO BE USED OR REPRODUCED IN ANY MANNER WITHOUT PRIOR WRITTEN PERMISSION.

Revisions to Sheet

No.	Revision	Date
-----	----------	------

Status: SCHEMATIC DESIGN

Date: 11/08/2024

Sheet Title
**EXTERIOR
RENDERING**

Sheet No.
A2.14

Job No.
4922-01

Opsis Architecture LLP
975 SE Main St., Portland, OR 97214
503.525.9511 | info@opsisarch.com
opsisarch.com

NOT FOR
CONSTRUCTION

Project Owner:
**PORTLAND STATE
UNIVERSITY**

 **Portland State
UNIVERSITY**

Project Name:
ITECK CENTER

Project Address:
**1025 SW HARRISON ST.,
PORTLAND OR 97201**

Key Plan



PERSPECTIVE - FACING NORTH BUILDING ELEVATION



PERSPECTIVE - SOUTHEAST FACING



PERSPECTIVE - EAST FACING

Copyright

THESE DRAWINGS ARE THE PROPERTY OF OPSIS ARCHITECTURE LLP AND ARE NOT TO BE USED OR REPRODUCED IN ANY MANNER WITHOUT PRIOR WRITTEN PERMISSION.

Revisions to Sheet

No.	Revision	Date
-----	----------	------

Status: **SCHEMATIC DESIGN**

Date: **11/08/2024**

Sheet Title:
**EXTERIOR
RENDERINGS**

Sheet No.:
A2.13

Job No.:
4922-01

Elevations



EXTERIOR ELEVATIONS SHEET NOTES

1. REFERENCE LEGEND FOR EXTERIOR MATERIALS
2. REFERENCE A4.01 FOR EXTERIOR FRAME TYPES
3. REFERENCE LANDSCAPE FOR GRADING
4. ALL REVEAL JOINTS DIMENSIONED TO CENTERLINE OF REVEAL JION
5. REF. A0.40 FOR EXTERIOR WALL AND ROOF ASSEMBLIES.
6. ALL BRICK AND CMU TO RECEIVE GRAFITTI RESISTANT SEALER.



EXISTING BUILDING - NORTH ELEVATION

Opsis Architecture LLP
975 SE Main St., Portland, OR 97214
503.525.9511 | info@opsisarch.com
opsisarch.com

**NOT FOR
CONSTRUCTION**

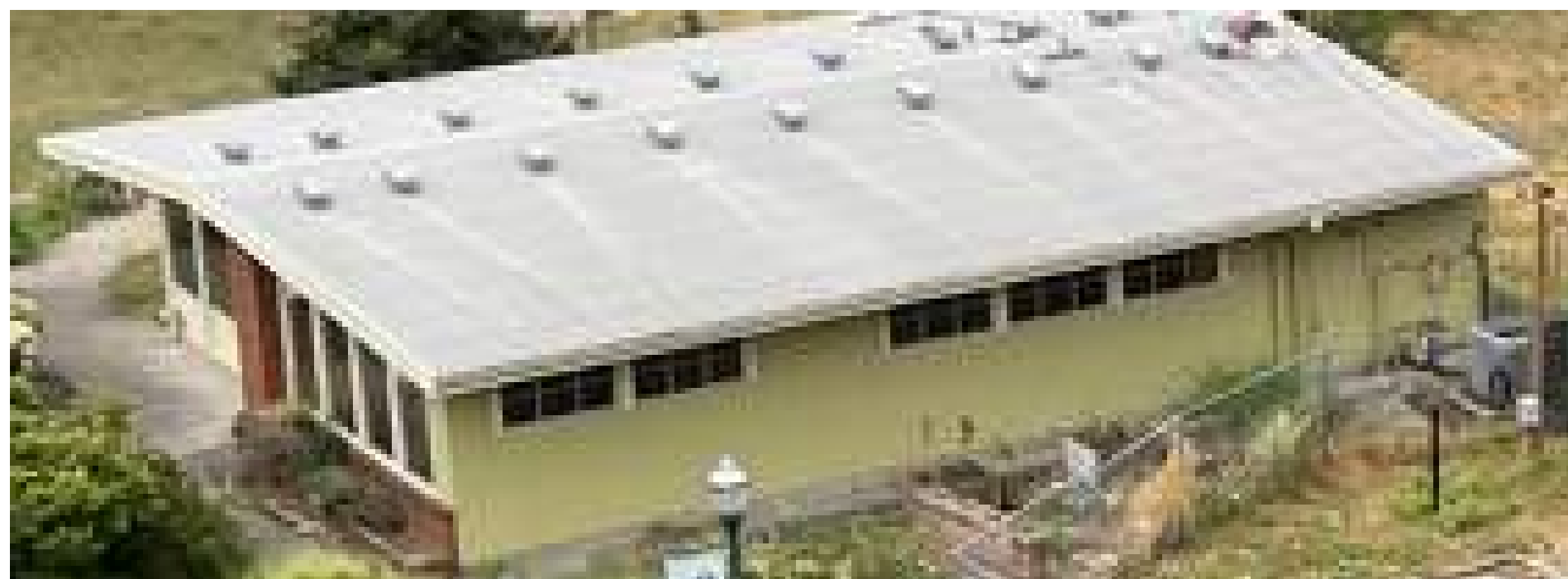
Project Owner:
**PORTLAND STATE
UNIVERSITY**



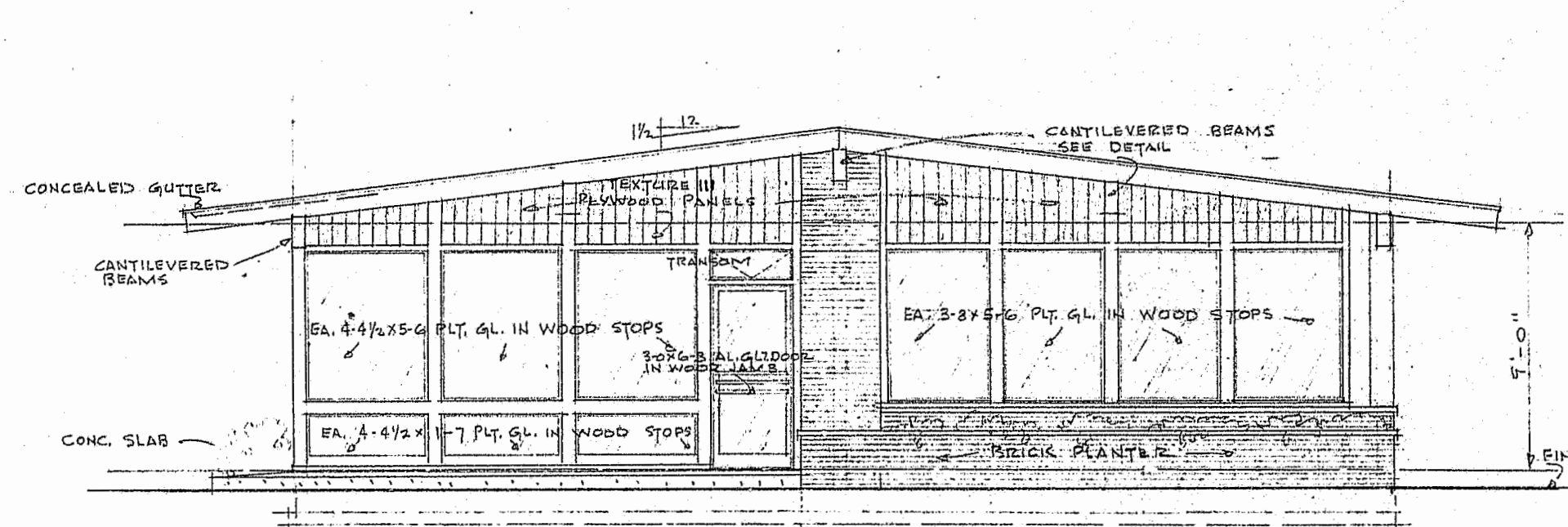
Project Name:
ITECK CENTER

Project Address:
**1025 SW HARRISON ST,
PORTLAND OR 97201**

Key Plan



EXISTING BUILDING - EAST ELEVATION



EXISTING BUILDING - SOUTH ELEVATION

copyright

THESE DRAWINGS ARE THE PROPERTY OF QPSIS ARCHITECTURE
LLP AND ARE NOT TO BE USED OR REPRODUCED IN ANY MANNER,
WITHOUT PRIOR WRITTEN PERMISSION.

Revisions to Sheet

No.	Revision	Date
-----	----------	------

**UNALTERED PORTIONS OF
EXISTING BUILDING SHOWN IN
ORANGE [ALL WINDOWS WILL BE
REPLACED WITH NEW TO MATCH
LOOK OF EXISTING]**



EXISTING BUILDING - WEST ELEVATION

Status: **SCHEMATIC DESIGN**

Date: **11/08/2024**

Sheet Title

**EXTERIOR
ELEVATIONS**

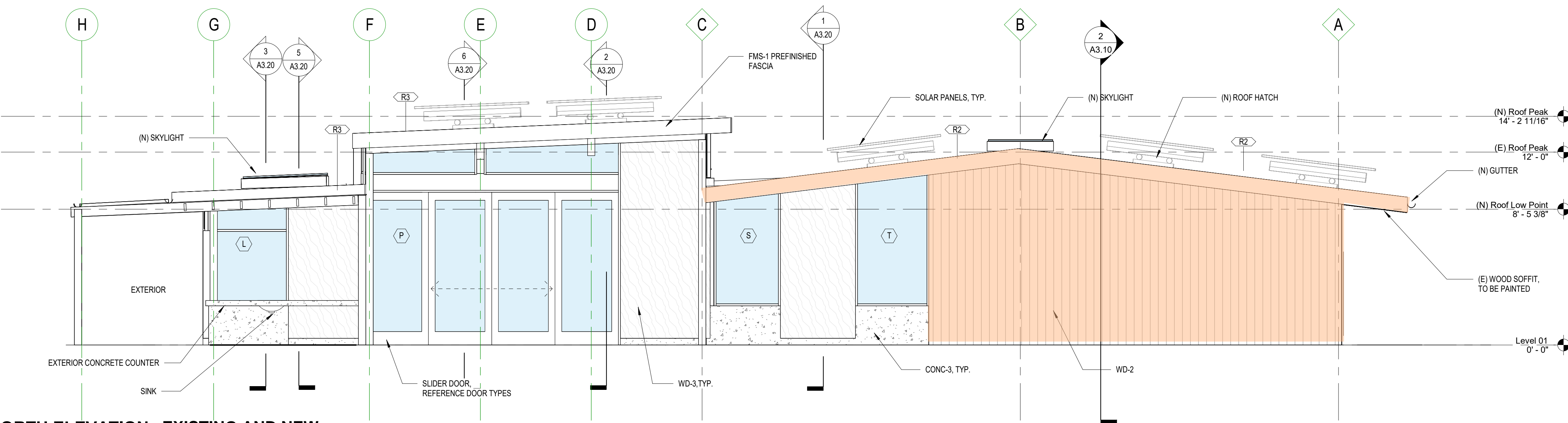
Sheet No. _____

A2.10

Job No. _____

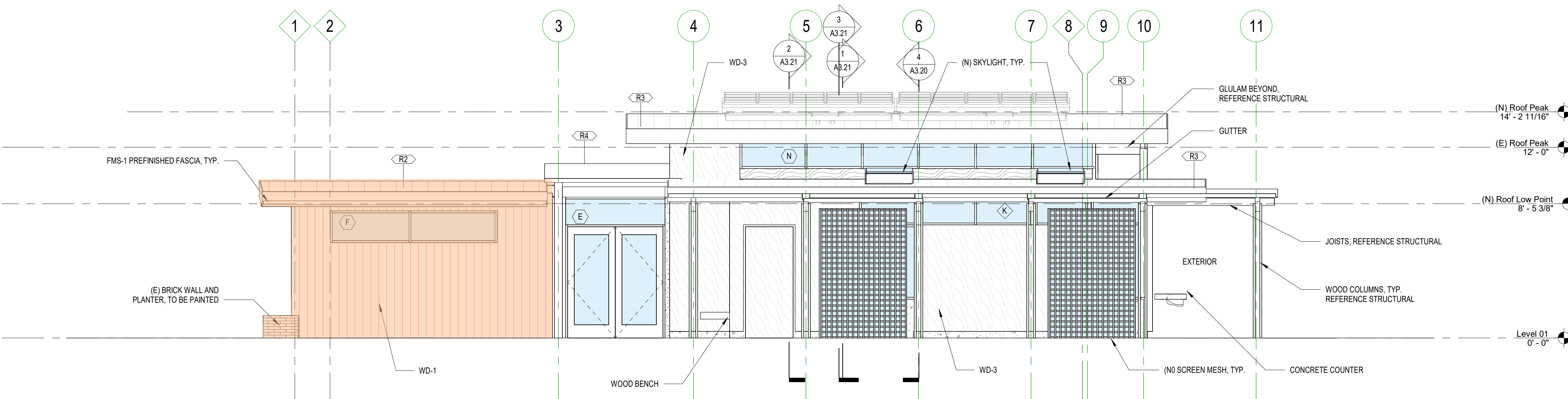
4922-01

EA 24-097880 DAR, Exhibit C.21



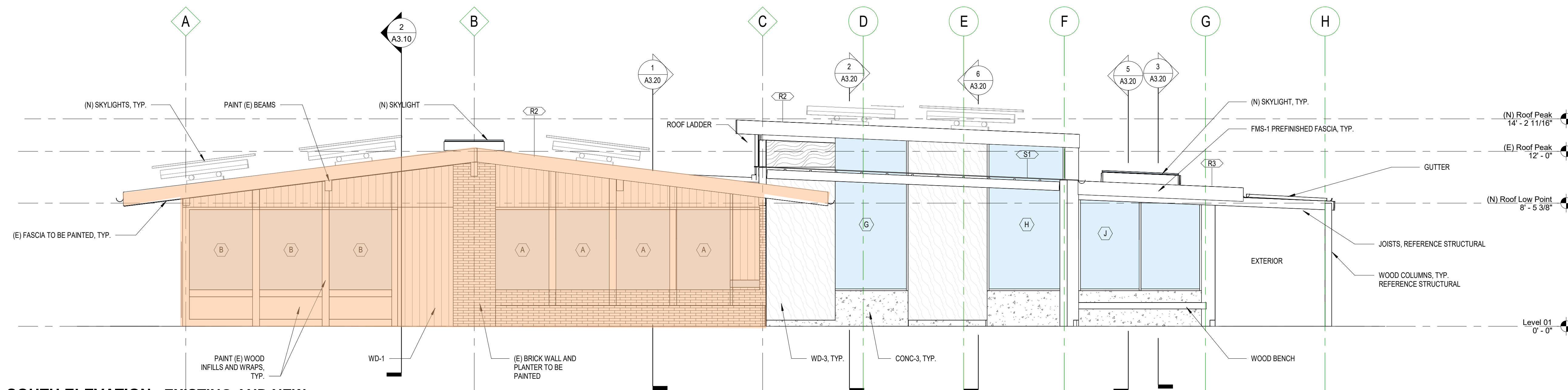
1 | NORTH ELEVATION - EXISTING AND NEW

A2.10 1/4" = 1'-0"



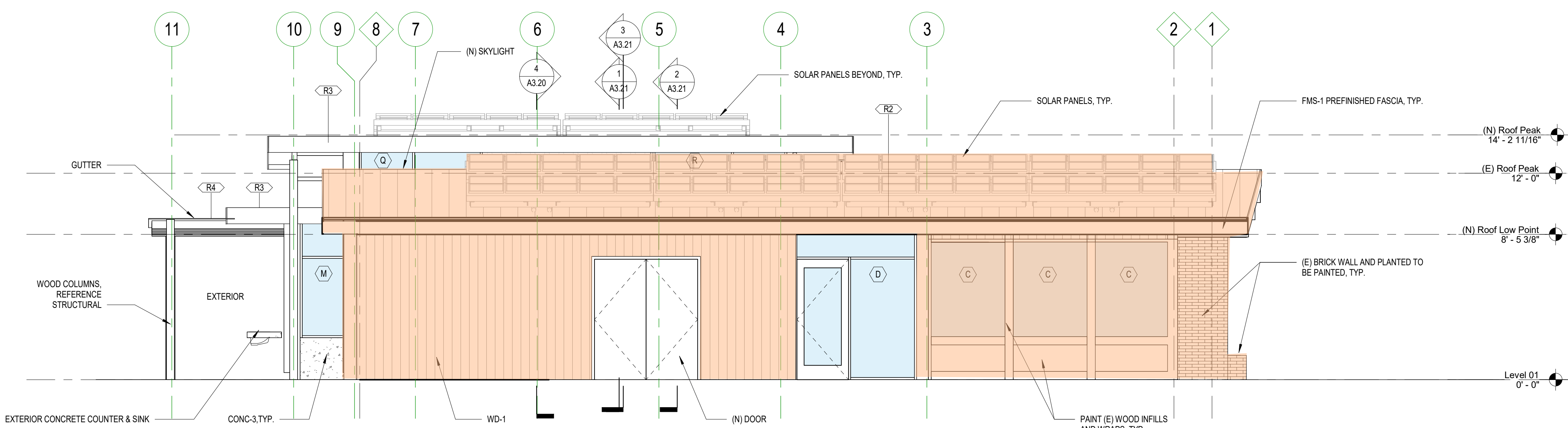
2 | EAST ELEVATION - EXISTING AND NEW

A2.10 1/4" = 1'-0"



3 | SOUTH ELEVATION - EXISTING AND NEW

A2.10	$1/4" = 1'-0"$
-------	----------------



4 | WEST ELEVATION - EXISTING AND NEW

A2.10	1/4" = 1'-0"
-------	--------------

MATERIAL CONCEPTS



CHARRED DOUG FIR CLADDING



NATURAL WOOD SIDING



EXTERIOR MURAL



BOARD FORM CONCRETE/WOOD SCREENING



EXPOSED WOOD STRUCTURE/WOOD SCREENING/METAL ROOF

	A	B	C	D	E	F
1	ENDORSEMENT	INFO1	INFO2	NAME	ADDRESS/IO ADDRESS	CITYSTATEZIP/ADDRESSEE
2	RETURN SERVICE REQUESTED			NELSON ANGELA G & BENNETT LOGAN	1225 SW COLLEGE ST	PORTLAND OR 97201
3	RETURN SERVICE REQUESTED			YEAMAN VALERIE & BATLIN PHILIP	1205 SW CARDINELL DR #202	PORTLAND OR 97201
4	RETURN SERVICE REQUESTED			WARREN BONNARY	1205 SW CARDINELL DR #203	PORTLAND OR 97201-3191
5	RETURN SERVICE REQUESTED			FORD REV LIV TR	1205 SW CARDINELL DR #204	PORTLAND OR 97201
6	RETURN SERVICE REQUESTED			RAMOS ROGER	1205 SW CARDINELL DR #301	PORTLAND OR 97201
7	RETURN SERVICE REQUESTED			CHU WEILI	1205 SW CARDINELL DR #304	PORTLAND OR 97201
8	RETURN SERVICE REQUESTED			WIREMAN JAMI L	1205 SW CARDINELL DR #305	FOREST GROVE OR 97116-8033
9	RETURN SERVICE REQUESTED		HENDERSON JEFFREY & CRISTAL	& NICOLAS	1205 SW CARDINELL DR #306	PORTLAND OR 97201
10	RETURN SERVICE REQUESTED			SISCA ANTONIO F & SISCA KAREN M	1205 SW CARDINELL DR #309	PORTLAND OR 97201-6745
11	RETURN SERVICE REQUESTED			SADRBANADAKI SEYEDAMIRHOSSEIN	1205 SW CARDINELL DR #310	PORTLAND OR 97201
12	RETURN SERVICE REQUESTED			DIAZ MILTON A	1205 SW CARDINELL DR #405	PORTLAND OR 97201
13	RETURN SERVICE REQUESTED			D'AUTREMONT ANNETTE D	1205 SW CARDINELL DR #406	PORTLAND OR 97201
14	RETURN SERVICE REQUESTED			UTO JONATHAN K	1205 SW CARDINELL DR #407	PORTLAND OR 97201
15	RETURN SERVICE REQUESTED			BANKS ZAVIER	1205 SW CARDINELL DR #408	PORTLAND OR 97201-3193
16	RETURN SERVICE REQUESTED			ALEXANDER IAN	1205 SW CARDINELL DR #410	PORTLAND OR 97201
17	RETURN SERVICE REQUESTED			SINANIAN JEFFRY J	1205 SW CARDINELL DR #503	PORTLAND OR 97201
18	RETURN SERVICE REQUESTED			TAYLOR LYDIA	1205 SW CARDINELL DR #506	PORTLAND OR 97201
19	RETURN SERVICE REQUESTED			RHODES ANDREW	1205 SW CARDINELL DR #507	PORTLAND OR 97201
20	RETURN SERVICE REQUESTED			PELTZ-CURRIE SONIA C & ELLIOTT	1205 SW CARDINELL DR #607	PORTLAND OR 97201
21	RETURN SERVICE REQUESTED			SUMMERFORD TERESA & THOMAS	1205 SW CARDINELL DR #703	PORTLAND OR 97201
22	RETURN SERVICE REQUESTED		VAN BLOKLAND CAMERON G	& DOWERS LAICE M	1205 SW CARDINELL DR #705	PORTLAND OR 97201
23	RETURN SERVICE REQUESTED			PEDERSEN SHANNON & PEDERSEN HAGAN T	1205 SW CARDINELL DR #706	PORTLAND OR 97201-3196
24	RETURN SERVICE REQUESTED			BARNES MARC T	1205 SW CARDINELL DR #708	PORTLAND OR 97201
25	RETURN SERVICE REQUESTED			HALL SCOTT W	1221 SW CARDINELL DR	PORTLAND OR 97201-3114
26	RETURN SERVICE REQUESTED			PARIS DAVID & KASSAM NATASHA	1275 SW CARDINELL DR	PORTLAND OR 97201
27	RETURN SERVICE REQUESTED			LOVELACE CARMEN	1500 SW 11TH AVE #1001	PORTLAND OR 97201
28	RETURN SERVICE REQUESTED			LAYTON ROBERT R	1500 SW 11TH AVE #1002	PORTLAND OR 97201-3539
29	RETURN SERVICE REQUESTED			HOLDEN GAIL	1500 SW 11TH AVE #1004	PORTLAND OR 97201
30	RETURN SERVICE REQUESTED			BANIA NEIL & LEETE LAURA	1500 SW 11TH AVE #1007	PORTLAND OR 97201-3532
31	RETURN SERVICE REQUESTED			HENDERSON MICHAEL A & CATHERINE T	1500 SW 11TH AVE #1101	PORTLAND OR 97201
32	RETURN SERVICE REQUESTED			HAKANSON SANDRA L	1500 SW 11TH AVE #1102	PORTLAND OR 97201
33	RETURN SERVICE REQUESTED			MILLER RYAN	1500 SW 11TH AVE #1205	PORTLAND OR 97201
34	RETURN SERVICE REQUESTED			CUSACK-DOWNARD TR	1500 SW 11TH AVE #1207	PORTLAND OR 97201-3539
35	RETURN SERVICE REQUESTED			REITZEL ELIAS	1500 SW 11TH AVE #1404	PORTLAND OR 97201
36	RETURN SERVICE REQUESTED			IM ALICE	1500 SW 11TH AVE #1407	PORTLAND OR 97201
37	RETURN SERVICE REQUESTED			MALONEY SEAN	1500 SW 11TH AVE #1502	PORTLAND OR 97201
38	RETURN SERVICE REQUESTED			BODWELL RAYMOND W & BODWELL GAIL M	1500 SW 11TH AVE #1504	PORTLAND OR 97201
39	RETURN SERVICE REQUESTED			BAWA AVANTIKA	1500 SW 11TH AVE #1505	PORTLAND OR 97201
40	RETURN SERVICE REQUESTED			LYNN FARLEY WALTON TR	1500 SW 11TH AVE #1601	PORTLAND OR 97201
41	RETURN SERVICE REQUESTED		CAMPBELL CHRISTOPHER M	& CHRISTMANN MOLLY	1500 SW 11TH AVE #1603	PORTLAND OR 97201
42	RETURN SERVICE REQUESTED			BOLGOVA ALESYA & STEPIN ANDREI	1500 SW 11TH AVE #1802	PORTLAND OR 97201
43	RETURN SERVICE REQUESTED			DARR LEAH D	1500 SW 11TH AVE #1803	PORTLAND OR 97201
44	RETURN SERVICE REQUESTED			DIVEKAR SANDEEP & DIVEKAR LIZ	1500 SW 11TH AVE #1804	PORTLAND OR 97201
45	RETURN SERVICE REQUESTED			NGAMCHERDTRAKUL WORAPOL	1500 SW 11TH AVE #1805	PORTLAND OR 97201-3545
46	RETURN SERVICE REQUESTED			MARLING JOHN W & OLSON GRETCHEN L	1500 SW 11TH AVE #1901	PORTLAND OR 97201-3545
47	RETURN SERVICE REQUESTED			DONALD MACINTYRE & LYNN MACINTYRE	1500 SW 11TH AVE #1902	PORTLAND OR 97201
48	RETURN SERVICE REQUESTED			NAYAK FAMILY TR	1500 SW 11TH AVE #1904	PORTLAND OR 97201
49	RETURN SERVICE REQUESTED			TIBBOT PAUL D	1500 SW 11TH AVE #1905	PORTLAND OR 97201-3532
50	RETURN SERVICE REQUESTED			SKIDMORE DOUGLAS A & BEEBE HEIDI Y	1500 SW 11TH AVE #2004	PORTLAND OR 97201
51	RETURN SERVICE REQUESTED			LAL NITIN K	1500 SW 11TH AVE #2005	PORTLAND OR 97201-3545
52	RETURN SERVICE REQUESTED			KRISS ADAM P TR & KRISS STEWART TR	1500 SW 11TH AVE #201	PORTLAND OR 97201-3532
53	RETURN SERVICE REQUESTED			FAIRBANK JESSE	1500 SW 11TH AVE #202	PORTLAND OR 97201-3532
54	RETURN SERVICE REQUESTED			BROAD JOHN P	1500 SW 11TH AVE #204	PORTLAND OR 97201
55	RETURN SERVICE REQUESTED			BHARATKUMAR DEEPA	1500 SW 11TH AVE #206	PORTLAND OR 97201-3532
56	RETURN SERVICE REQUESTED			PACHECO BUNNY V T I	1500 SW 11TH AVE #207	PORTLAND OR 97201
57	RETURN SERVICE REQUESTED			CRAWSHAW GARRETT W & MARIA	1500 SW 11TH AVE #2103	PORTLAND OR 97201
58	RETURN SERVICE REQUESTED			THERESE M DELEO REV TR	1500 SW 11TH AVE #2104	PORTLAND OR 97201
59	RETURN SERVICE REQUESTED			BURROWS S LEON & BURROWS INGRID B	1500 SW 11TH AVE #2201	PORTLAND OR 97201-3547
60	RETURN SERVICE REQUESTED			BRIDGES MART Q	1500 SW 11TH AVE #2202	PORTLAND OR 97201
61	RETURN SERVICE REQUESTED			BRIGHT CHRISTOPHER M	1500 SW 11TH AVE #2203	PORTLAND OR 97201-3547
62	RETURN SERVICE REQUESTED			STRAUBE DAVE & STRAUBE ELIZABETH	1500 SW 11TH AVE #2204	PORTLAND OR 97201-3546
63	RETURN SERVICE REQUESTED			STOESSL LESLIE & STOESSL ELIZABETH	1500 SW 11TH AVE #2301	PORTLAND OR 97201
64	RETURN SERVICE REQUESTED			MICHAEL MILTON YUJI KAWAMOTO	1500 SW 11TH AVE #2302	PORTLAND OR 97201
65	RETURN SERVICE REQUESTED			BAILEY PETER J TR	1500 SW 11TH AVE #2405	PORTLAND OR 97201
66	RETURN SERVICE REQUESTED			MACLAINE ALLAN	1500 SW 11TH AVE #2501	PORTLAND OR 97201

	A	B	C	D	E	F
67	RETURN SERVICE REQUESTED			HERMANSON ROBERT D TR	1500 SW 11TH AVE #2502	PORTLAND OR 97201-3546
68	RETURN SERVICE REQUESTED			SANTOS FRANK	1500 SW 11TH AVE #2505	PORTLAND OR 97201
69	RETURN SERVICE REQUESTED			JUNKO THIEME REV LIV TR	1500 SW 11TH AVE #2603	PORTLAND OR 97201
70	RETURN SERVICE REQUESTED			RALPH LODEWICK TR	1500 SW 11TH AVE #302	PORTLAND OR 97201
71	RETURN SERVICE REQUESTED			CHRISTOFF ZACHERY R	1500 SW 11TH AVE #303	PORTLAND OR 97201
72	RETURN SERVICE REQUESTED			SIJERCIC EDIN	1500 SW 11TH AVE #306	PORTLAND OR 97201
73	RETURN SERVICE REQUESTED			KEN E SMITH LIVING TRUST	1500 SW 11TH AVE #307	PORTLAND OR 97201
74	RETURN SERVICE REQUESTED			WINN RODGER L & WINN DIANE G	1500 SW 11TH AVE #401	PORTLAND OR 97201-3532
75	RETURN SERVICE REQUESTED			BEACH MARY	1500 SW 11TH AVE #404	PORTLAND OR 97201
76	RETURN SERVICE REQUESTED			TABER MICHAEL R ET AL	1500 SW 11TH AVE #405	PORTLAND OR 97201
77	RETURN SERVICE REQUESTED			JONES TIMOTHY H	1500 SW 11TH AVE #501	PORTLAND OR 97201-3532
78	RETURN SERVICE REQUESTED			BRIDGES SUSAN Q & BRIDGES HOLLON H JR	1500 SW 11TH AVE #502	PORTLAND OR 97201
79	RETURN SERVICE REQUESTED			DE CLERCK AUBRIE	1500 SW 11TH AVE #504	PORTLAND OR 97201
80	RETURN SERVICE REQUESTED			DRUMMOND LISA	1500 SW 11TH AVE #506	PORTLAND OR 97201
81	RETURN SERVICE REQUESTED			ANDREWS CHRISTOPHER	1500 SW 11TH AVE #602	PORTLAND OR 97201
82	RETURN SERVICE REQUESTED			BOWEN DAVID	1500 SW 11TH AVE #603	PORTLAND OR 97201-3538
83	RETURN SERVICE REQUESTED			LEON-BENNER TERRI & WENDY	1500 SW 11TH AVE #604	PORTLAND OR 97201
84	RETURN SERVICE REQUESTED			KADHM MAHA I & FAIK JAMAL	1500 SW 11TH AVE #607	PORTLAND OR 97201
85	RETURN SERVICE REQUESTED			FAIK JAMAL	1500 SW 11TH AVE #701	PORTLAND OR 97201
86	RETURN SERVICE REQUESTED			FREEBORG LAWRENCE E	1500 SW 11TH AVE #703	PORTLAND OR 97201
87	RETURN SERVICE REQUESTED			GOSWAMI AMI U & GOSWAMI PANNA U	1500 SW 11TH AVE #704	PORTLAND OR 97201
88	RETURN SERVICE REQUESTED			BODNER TODD E & BODNER SUZANNE G	1500 SW 11TH AVE #705	PORTLAND OR 97201
89	RETURN SERVICE REQUESTED			GOFFE MICHAEL P	1500 SW 11TH AVE #706	PORTLAND OR 97201
90	RETURN SERVICE REQUESTED			RUARK RYAN M	1500 SW 11TH AVE #802	PORTLAND OR 97201
91	RETURN SERVICE REQUESTED			COE HELEN E	1500 SW 11TH AVE #803	PORTLAND OR 97201
92	RETURN SERVICE REQUESTED			WANG XIAOJING	1500 SW 11TH AVE #805	PORTLAND OR 97201
93	RETURN SERVICE REQUESTED			MELNICK STACEY W	1500 SW 11TH AVE #807	PORTLAND OR 97201
94	RETURN SERVICE REQUESTED			FRYER JAMES F & YAN TING	1500 SW 11TH AVE #901	PORTLAND OR 97201
95	RETURN SERVICE REQUESTED			PORTLAND STATE UNIVERSITY	1609 SW 10TH AVE	PORTLAND OR 97201
96	RETURN SERVICE REQUESTED			STATE OF OREGON	1712 SW 11TH AVE	PORTLAND OR 97201
97	RETURN SERVICE REQUESTED			STATE OF OREGON	1717 SW 10TH AVE	PORTLAND OR 97201
98	RETURN SERVICE REQUESTED			PORTLAND STATE UNIVERSITY	1719 SW 10TH AVE	PORTLAND OR 97201
99	RETURN SERVICE REQUESTED			PORTLAND STATE UNIVERSITY	1939 SW BROADWAY	PORTLAND OR 97201
100	RETURN SERVICE REQUESTED			COLARD-TYLER ISABELLE & QUINTON	10010 NE 27TH AVE	VANCOUVER WA 98686
101	RETURN SERVICE REQUESTED	ZHANG YING		10700 SW BEAVERTON-HILLSDALE	HWY #2001	BEAVERTON OR 97005
102	RETURN SERVICE REQUESTED			MOORE FREDERICK G & CHEN FEN	111 THORNE ST	WALLA WALLA WA 99362
103	RETURN SERVICE REQUESTED			CLAY STREET APARTMENT HOLDINGS LLC	1111 NE FLANDERS ST STE 206	PORTLAND OR 97232
104	RETURN SERVICE REQUESTED			ELIZABETH M SHIOTA LIV TR	1127 W 9TH ST #A	BENICIA CA 94510
105	RETURN SERVICE REQUESTED			PENG YING	11430 SE MOON DUST CT	HAPPY VALLEY OR 97086-8033
106	RETURN SERVICE REQUESTED			KUNZLER TORI & LOPEZ CARLOS	11515 WAKEMAN ST	WHITTIER CA 90606
107	RETURN SERVICE REQUESTED			VUE APARTMENTS PROPERTY OWNER LLC	11766 WILSHIRE BLVD #1500	LOS ANGELES CA 90025
108	RETURN SERVICE REQUESTED			STEELE OWEN & CAROL & ALVIN	1205 SW CARDINELL DR UN 210	PORTLAND OR 97201
109	RETURN SERVICE REQUESTED			ESKINAZI DORON & ESKINAZI EDEET K	1205 SW CARDINELL DR UN 710	PORTLAND OR 97201
110	RETURN SERVICE REQUESTED			LADICK BRIAN	1205 SW CARDINELL DR UNIT 308	PORTLAND OR 97201
111	RETURN SERVICE REQUESTED			APPEL BRYAN D	1205 SW CARDINELL DR UNIT 409	PORTLAND OR 97201
112	RETURN SERVICE REQUESTED			MARZINECK JUSTIN M	1205 SW CARDINELL DR UNIT 504	PORTLAND OR 97201
113	RETURN SERVICE REQUESTED			ANDERSON LAUREN	1205 SW CARDINELL DR UNIT 601	PORTLAND OR 97201
114	RETURN SERVICE REQUESTED			DICKINSON JORDAN S & SUMMER A	1205 SW CARDINELL DR UNIT 604	PORTLAND OR 97201
115	RETURN SERVICE REQUESTED			BRUNER THOMAS	1205 SW CARDINELL DR UNIT 702	PORTLAND OR 97201
116	RETURN SERVICE REQUESTED			ESPARZA ELIAS	1205 SW CARDINELL DR UNIT 707	PORTLAND OR 97201
117	RETURN SERVICE REQUESTED			FOSTER ROBERT L	1205 SW CARDINELL DR UNIT 802	PORTLAND OR 97201-3607
118	RETURN SERVICE REQUESTED			THOMPSON TRENT N	1205 SW CARDINELL DR UNIT 602	PORTLAND OR 97201
119	RETURN SERVICE REQUESTED			SCHULTZ RICHARD J	1228 SW CARDINELL DR	PORTLAND OR 97201
120	RETURN SERVICE REQUESTED			CHENG KAE S	12677 NW WAKER DR	PORTLAND OR 97229
121	RETURN SERVICE REQUESTED			HAYES WADE T	12801 NW MILAZZO LN	PORTLAND OR 97229
122	RETURN SERVICE REQUESTED			HOUSING AUTHORITY OF PORTLAND	135 SW ASH ST #500	PORTLAND OR 97204-3540
123	RETURN SERVICE REQUESTED			WU TUO	14112 HEATHROW LN	LAKE OSWEGO OR 97034
124	RETURN SERVICE REQUESTED			GRAHAM DANIEL TR & TAN BERNARDO TR	1412 BELLEAU RD	GLENDALE CA 91206
125	RETURN SERVICE REQUESTED			GARBARINO ANTHONY	14200 NW LAKESHORE CT	PORTLAND OR 97229
126	RETURN SERVICE REQUESTED			GENDREAU PATRICK M	14317 116TH AVE E	PUYALLUP WA 98374
127	RETURN SERVICE REQUESTED			MARY LOU CAVENDISH REV LIV TR	1500 SW 11TH AVE #2602	PORTLAND OR 97201
128	RETURN SERVICE REQUESTED			BRILES JACKIE	1500 SW 11TH AVE UN 1401	PORTLAND OR 97201
129	RETURN SERVICE REQUESTED			AOKI KASUMI	1500 SW 11TH AVE UN 1402	PORTLAND OR 97201
130	RETURN SERVICE REQUESTED			HAYDEN DAMIEN	1500 SW 11TH AVE UN 1405	PORTLAND OR 97201
131	RETURN SERVICE REQUESTED			MEJIA STEFFAN M	1500 SW 11TH AVE UN 2601	PORTLAND OR 97201
132	RETURN SERVICE REQUESTED			YANG YANG ET AL	1500 SW 11TH AVE UN 507	PORTLAND OR 97201

	A	B	C	D	E	F
133	RETURN SERVICE REQUESTED			FISCHER THOMAS	1500 SW 11TH AVE UNIT 1105	PORTLAND OR 97201
134	RETURN SERVICE REQUESTED			CHANG MING HAN & CHANG TING TING	1500 SW 11TH AVE UNIT 1202	PORTLAND OR 97201
135	RETURN SERVICE REQUESTED			SIMNITT DAVID B & SIMNITT EMILY J	1500 SW 11TH AVE UNIT 1206	PORTLAND OR 97201
136	RETURN SERVICE REQUESTED			LAMBIE TRUDY L & LAMBIE FREDERIC W	1500 SW 11TH AVE UNIT 1701	PORTLAND OR 97201
137	RETURN SERVICE REQUESTED			SPEER DEAN	1500 SW 11TH AVE UNIT 1704	PORTLAND OR 97201
138	RETURN SERVICE REQUESTED			ELIZALDE MERCEDES & FRISTER STEPHEN	1500 SW 11TH AVE UNIT 1903	PORTLAND OR 97201-3545
139	RETURN SERVICE REQUESTED			HARVATH THERESA A & MCCANN MCKENZIE	1500 SW 11TH AVE UNIT 203	PORTLAND OR 97201
140	RETURN SERVICE REQUESTED			SPOLSKI CORY & LOEUN THERESA S	1500 SW 11TH AVE UNIT 205	PORTLAND OR 97201
141	RETURN SERVICE REQUESTED			MAURO CHARLES S JR	1500 SW 11TH AVE UNIT 2105	PORTLAND OR 97201
142	RETURN SERVICE REQUESTED			GORDON JOHN C TR	1500 SW 11TH AVE UNIT 2304	PORTLAND OR 97201-3546
143	RETURN SERVICE REQUESTED			SIRBAUGH PAUL E & WILLIAMS DONALD E	1500 SW 11TH AVE UNIT 2402	PORTLAND OR 97201-3546
144	RETURN SERVICE REQUESTED			BEN & JUDY PONZIO TR	1500 SW 11TH AVE UNIT 2503	PORTLAND OR 97201
145	RETURN SERVICE REQUESTED			JAKOBSEN ALLAN & SHAW LIN UYI	1500 SW 11TH AVE UNIT 2504	PORTLAND OR 97201-3546
146	RETURN SERVICE REQUESTED	VANESSA YUKA CHONG		& MARK RICHARD EWALD	1500 SW 11TH AVE UNIT 407	PORTLAND OR 97201
147	RETURN SERVICE REQUESTED			HIGGINS RICHARD	1500 SW 11TH AVE UNIT 606	PORTLAND OR 97201-3538
148	RETURN SERVICE REQUESTED			HALIMI SHPRESA	1500 SW 11TH AVE UNIT 904	PORTLAND OR 97201
149	RETURN SERVICE REQUESTED			AGUERO LIV TR	1500 SW 11TH AVE UNIT 907	PORTLAND OR 97201
150	RETURN SERVICE REQUESTED	BARTHOLOMEW JONATHAN		& CHENETTE TRACI	1500 SW 11TH AVE UNIT #801	PORTLAND OR 97201
151	RETURN SERVICE REQUESTED			TRASK DAVID M & TRASK LIBIA B	1533 NOTTINGHAM CIR	MEDFORD OR 97504-7202
152	RETURN SERVICE REQUESTED			MARK & AMY LINIADO FAMILY TR	1553 W COLORADO BLVD	DALLAS TX 75208
153	RETURN SERVICE REQUESTED			RACHHPAL JOHAL	15821 NW WISMER DR	PORTLAND OR 97229
154	RETURN SERVICE REQUESTED			PLAID PANTRIES INC	1585 SW MARLOW AVE STE 120	PORTLAND OR 97225
155	RETURN SERVICE REQUESTED			SONG DOSOON & LEE EUNHWA	1671 NW SAGINAW AVE	BEND OR 97703
156	RETURN SERVICE REQUESTED			KEENE JERALD P & HOEPER ROBERT J JR	1800 MAXWELL MOUNTAIN RD #338	OCEANSIDE OR 97134
157	RETURN SERVICE REQUESTED			ESPRESSO ARTS LLC	1801 SW 61ST DR	PORTLAND OR 97221-1434
158	RETURN SERVICE REQUESTED			BARBARA LEA LEEMING REV LIV TR	1906 HILLHOUSE DR	WEST LINN OR 97068
159	RETURN SERVICE REQUESTED			EGAN RAYMOND J & EGAN MAURA G	1914 COMMERCIAL ST	STEILACOOM WA 98388-1316
160	RETURN SERVICE REQUESTED			HOLLAND RITA S	19179 OLD RIVER DR	WEST LINN OR 97068
161	RETURN SERVICE REQUESTED			MARTIN ROBERT E	1920 SW 13TH AVE	PORTLAND OR 97201
162	RETURN SERVICE REQUESTED			CHNW CLIFTON HOUSE LLC	200 SW MARKET ST SUITE 575	PORTLAND OR 97201
163	RETURN SERVICE REQUESTED			STAFFORD ROLLYN	2020 SW MARKET STREET DR #204	PORTLAND OR 97201-7717
164	RETURN SERVICE REQUESTED			HIRSH FAMILY TR & HIRSH REV TR	204 AVENIDA PRINCESA	SAN CLEMENTE CA 92672
165	RETURN SERVICE REQUESTED			ASTRID L ZIALCITA TR	204 BRENTWOOD OAKS DR	NASHVILLE TN 37211
166	RETURN SERVICE REQUESTED			OFSTAD PROPERTIES LLC	21220 NW WATSON RD	SCAPPOOSE OR 97056
167	RETURN SERVICE REQUESTED			BENSON TOWER CONDO OWNERS ASSOC	2154 NE BROADWAY RM 200	PORTLAND OR 97232-1561
168	RETURN SERVICE REQUESTED			GARY & LINDA KOENIG TR	216 ROCKPORT ST	GEORGETOWN TX 78633
169	RETURN SERVICE REQUESTED			OLSON JOSEPH L	2211 ALA WAI BLVD #2110	HONOLULU HI 96815-2405
170	RETURN SERVICE REQUESTED			KURZENHASUER CURT V & STEPHANIE A	2218 SW HOFFMAN AVE	PORTLAND OR 97201
171	RETURN SERVICE REQUESTED			MALIK MOHAMED A & MALIK LESLEY C	23 ENSUENO W	IRVINE CA 92620
172	RETURN SERVICE REQUESTED			LOCH JONATHAN E	2317 SE WOODWARD ST	PORTLAND OR 97202
173	RETURN SERVICE REQUESTED			LOVE DANIELLE L & UGALDE ALFONSO P	2507 NW BIRKENDENE ST	PORTLAND OR 97229
174	RETURN SERVICE REQUESTED			KANDOLA HARTAJ	2526 BUSINESS CENTER DR APT 612	PEARLAND TX 77584
175	RETURN SERVICE REQUESTED			YOUNG RUTH M & YOUNG ALVIN W S	2533 ALA WAI BLVD #501	HONOLULU HI 96815-3436
176	RETURN SERVICE REQUESTED			CRABB STUART M	264 PALANEHE ST	KIHEI HI 96753
177	RETURN SERVICE REQUESTED			CUSIC CATHERINE R	271 BARTLETT ST	SAN FRANCISCO CA 94110
178	RETURN SERVICE REQUESTED			BARONI FAMILY TR	2807 NE RAINIER DR	BEND OR 97701
179	RETURN SERVICE REQUESTED			MILLER RYAN & TALMAGE STEPHEN D	2815 LAWRENCE ST	DENVER CO 80205
180	RETURN SERVICE REQUESTED			IPSEN FAM TR	2991 DELLWOOD DR	LAKE OSWEGO OR 97034
181	RETURN SERVICE REQUESTED			TWO SISTERS NIGHTMARE LLC	3055 NW YEON AVE PMB 661	PORTLAND OR 97210-1519
182	RETURN SERVICE REQUESTED			LIGGETT DANNY L & LIGGETT NANCY	3075 SW GARDEN VIEW AVE	PORTLAND OR 97225-3541
183	RETURN SERVICE REQUESTED			MIZE FAMILY REV TR	3274 NW COLONIAL DR	BEND OR 97703
184	RETURN SERVICE REQUESTED			BLECK LAWRENCE	3333 WARRENSVILLE CENTER RD #510	SHAKER HEIGHTS OH 44122-3732
185	RETURN SERVICE REQUESTED			GRESCHNER ANNA & GRESCHNER DIMITRI	3560 NW TYLER AVE	CORVALLIS OR 97330
186	RETURN SERVICE REQUESTED			COOPER ALLAN R & COOPER RICHARD E	370 BECKETT POINT RD	PORT TOWNSEND WA 98368
187	RETURN SERVICE REQUESTED			SKANSKA USA BUILDING INC	389 INTERPACE PKWY 5TH FLOOR	PARSIPPANY NJ 07054
188	RETURN SERVICE REQUESTED			CARDINELL INVESTMENTS LLC ETAL	3939 NE HANCOCK ST	PORTLAND OR 97212-5321
189	RETURN SERVICE REQUESTED			PRICE ASHLEY A	4002 SE ANGELA WAY	PORTLAND OR 97222
190	RETURN SERVICE REQUESTED	ELDERHOPE LTD PARTNERSHIP		(COP LOW INC HSG)	4150 S MOODY AVE	PORTLAND OR 97239
191	RETURN SERVICE REQUESTED			MCCARBONELL FAMILY TR	4248 N ROXY DR	MEDFORD OR 97504
192	RETURN SERVICE REQUESTED			PARK PLAZA COMMUNITIES LLC	444 W BEECH ST #300	SAN DIEGO CA 92101-2942
193	RETURN SERVICE REQUESTED			KHANNA SUNIL K TR & KHANNA SUMAN TR	4453 NW BOXWOOD DR	CORVALLIS OR 97330
194	RETURN SERVICE REQUESTED			CARLISLE JAMES & SHIIBA KAYLEEN	4480 NE ALAMEDA ST	PORTLAND OR 97213
195	RETURN SERVICE REQUESTED			HUANG WEILI & DOU DEJING	456 W 29TH AVE	EUGENE OR 97405
196	RETURN SERVICE REQUESTED			D CAMERON LLC	4582 S ULSTER ST #1200	DENVER CO 80237
197	RETURN SERVICE REQUESTED			ALLISON MONTE & LAPP BARRY	46769 GOODPASTURE RD	VIDA OR 97488
198	RETURN SERVICE REQUESTED			CORPORATION OF THE PRESIDING	50 E NORTH TEMPLE	SALT LAKE CITY UT 84150

	A	B	C	D	E	F
199	RETURN SERVICE REQUESTED			DUNNING BRYAN & PRATER CHARITY	52819 NW FIVE PEAK TER	SCAPPOOSE OR 97056-2913
200	RETURN SERVICE REQUESTED			SUNSHINE IRREV TR	5684 173RD AVE SE	BELLEVUE WA 98006
201	RETURN SERVICE REQUESTED			HENRY LIBBY A	575 SW SHERIDAN ST	PORTLAND OR 97201-4976
202	RETURN SERVICE REQUESTED			MARTINEZ NAMASTE II LLC	5820 43RD TER N #1500	KENNETH CITY FL 33709
203	RETURN SERVICE REQUESTED			DAHL DAVID J	6278 SE PREMIER CT	MILWAUKIE OR 97267
204	RETURN SERVICE REQUESTED			EVERBANK COMMERCIAL FINANCE INC	630 N CENTRAL EXPY STE A	PLANO TX 75074
205	RETURN SERVICE REQUESTED		LAMONT LESLIE WOLFE	& RACHELLE MASAGCA WOLFE	6310 CELIA VISTA DR	SAN DIEGO CA 92115
206	RETURN SERVICE REQUESTED			MILLER NICHOLAS & MILLER CRYSTAL	6421 N OMAHA AVE	PORTLAND OR 97217
207	RETURN SERVICE REQUESTED			HOFMEISTER R JON	6504 SW ORCHID ST	TIGARD OR 97223-9380
208	RETURN SERVICE REQUESTED			KIW PORTLAND STORYLINE VENTURE LLC	6710 E CAMELBACK RD #100	SCOTTSDALE AZ 85251
209	RETURN SERVICE REQUESTED			DITTMER EMIL & DITTMER CHIARA	678 NW HEATH ST	DALLAS OR 97338-1380
210	RETURN SERVICE REQUESTED			BELLUOMINI MARC S	7 CALVADOS	NEWPORT COAST CA 92657
211	RETURN SERVICE REQUESTED			12TH AND MARKET APARTMENTS LP	700 MEADOW LANE NORTH	MINNEAPOLIS MN 55422
212	RETURN SERVICE REQUESTED			MA MORTENSON CO	700 MEADOW LN N	MINNEAPOLIS MN 55422-4837
213	RETURN SERVICE REQUESTED			WELBORN GORDON & WELBORN DINA	700 SOLITAIRE CT	REDMOND OR 97756-3899
214	RETURN SERVICE REQUESTED			SALMON RUN PROPERTIES LLC	722 NW WESTOVER CIR	PORTLAND OR 97210
215	RETURN SERVICE REQUESTED			PORTLAND STATE UNIVERSITY	724 SW HARRISON ST	PORTLAND OR 97201-3295
216	RETURN SERVICE REQUESTED			SARA E FORD TR	741 E 18TH ST	THE DALLES OR 97058
217	RETURN SERVICE REQUESTED			VALENTINE FAMILY REVOCABLE TRUST	7546 SW ASHFORD ST	PORTLAND OR 97224
218	RETURN SERVICE REQUESTED			FENG PHOEBE	8102 NE 20TH ST	VANCOUVER WA 98664-1167
219	RETURN SERVICE REQUESTED			DRONEWARE LLC	818 SW 3RD AVE PMB 267	PORTLAND OR 97204-2405
220	RETURN SERVICE REQUESTED			468 ROOSEVELT LLC	836 NEW MARLBORO MONTEREY RD	MEWMARLBOROUGH MA 01230-2258
221	RETURN SERVICE REQUESTED			BERLIN CARTER	8538 VERDE PARK CIR	LAS VEGAS NV 89129
222	RETURN SERVICE REQUESTED			MARTIN VERNON K	8835 SW CANYON LN STE 312	PORTLAND OR 97225-3453
223	RETURN SERVICE REQUESTED			FFQ PROPERTIES LLC	8875 SW HAZELVERN WAY	PORTLAND OR 97223
224	RETURN SERVICE REQUESTED			INOUE YOKO & INOUE YUKO	919 INVERNESS DR	RANCHO MIRAGE CA 92270-1405
225	RETURN SERVICE REQUESTED			PACIFIC MOBILE STRUCTURES INC	PO BOX 1404	CHEHALIS WA 98532
226	RETURN SERVICE REQUESTED			MANNA INVESTMENTS LLC	PO BOX 15170	PORTLAND OR 97293-5170
227	RETURN SERVICE REQUESTED		PORTLAND MARCHE	& CERES RICHLAND LLC	PO BOX 1840	DANVILLE CA 94526
228	RETURN SERVICE REQUESTED			BUMP DANIEL W TR & BUMP KATHRYN TR	PO BOX 249	FOREST GROVE OR 97116
229	RETURN SERVICE REQUESTED		ASSOCIATION OF UNIT OWNERS OF	CARDINELL VIEW LOFTS CONDOMINIUMS	PO BOX 28205	PORTLAND OR 97228-8205
230	RETURN SERVICE REQUESTED			DE LAGE LANDEN FIN SERVICES INC	PO BOX 3293	OAK BROOK IL 60522-3293
231	RETURN SERVICE REQUESTED			WELLS FARGO VENDOR FIN SERVICES LLC	PO BOX 36200	BILLINGS MT 59107-6200
232	RETURN SERVICE REQUESTED			GREGORY ROBERT J III & MARCIA G	PO BOX 4358	SUNRIVER OR 97707
233	RETURN SERVICE REQUESTED			TOWER DENNIS B & TOWER SUSAN A	PO BOX 8000 PMB 8217	SISTERS OR 97759-8000
234	RETURN SERVICE REQUESTED			CANN FREDERIC	PO BOX F	LONG BEACH WA 98631
235	RETURN SERVICE REQUESTED	OWNER	OREGON STATE OF	BOARD OF HIGHER EDUCATION	PO BOX 751	PORTLAND OR 97207
236	RETURN SERVICE REQUESTED	OWNERS AGENT	PSU	ELSASSER JACKSON	1825 SW BROADWAY	PORTLAND OR 97201
237	RETURN SERVICE REQUESTED	APPLICANT	OP SIS ARCHITECTURE	GUST SUSAN	975 SE MAIN ST	PORTLAND OR 97214
238	RETURN SERVICE REQUESTED		SOUTHWEST HILLS RESIDENTIAL LEAGUE	S KOON CRAIG	434 NW 6TH AVE SUITE 202	PORTLAND OR 97209
239	RETURN SERVICE REQUESTED		PORTLAND DOWNTOWN NA	DEBARDELABEN MARIAN	434 NW 6TH AVE SUITE 202	PORTLAND OR 97209
240	RETURN SERVICE REQUESTED		LAND USE CONTACT	DISTRICT 4 NEIGHBORHOOD COALITION	434 NW 6TH AVE SUITE 202	PORTLAND OR 97209
241	RETURN SERVICE REQUESTED		LAND USE CONTACT	GOOSE HOLLOW FOOTHILLS LEAGUE	434 NW 6TH AVE SUITE 202	PORTLAND OR 97209
242	RETURN SERVICE REQUESTED		DOWNTOWN RETAIL COUNCIL	MEAD SYDNEY	121 SW SALMON ST STE 1440	PORTLAND OR 97204
243	RETURN SERVICE REQUESTED		LAND USE CONTACT	PIONEER COURTHOUSE SQ	715 SW MORRISON #702	PORTLAND OR 97205
244	RETURN SERVICE REQUESTED		LAND USE CONTACT	WASHINGTON CO - TRANSPORTATION	1400 SW WALNUT ST	HILLSBORO OR 97123
245	RETURN SERVICE REQUESTED		LAND USE CONTACT	CENTRAL CITY CONCERN	232 NW 6TH AVE	PORTLAND OR 97209
246	RETURN SERVICE REQUESTED			DOUG KLOTZ	1908 SE 35TH PLACE	PORTLAND OR 97214
247	RETURN SERVICE REQUESTED		LAND USE CONTACT	TRANSIT DEVELOPMENT	101 SW MAIN STREET SUITE 700	PORTLAND OR 97204
248					PROSPER PORTLAND	129/PROSPER
249					BRANDON SPENCER-HARTLE	B299/R7000
250					PORTLAND PARK TRAIL	B106/R1302

Design Advice Request

PSU Indigenous Traditional Ecological and Cultural Knowledge (ITECK) Center

CASE FILE | EA 24-097880 DA

WHEN | Thursday, January 9, 2025 @ 1:30 PM

(This is the hearing start time - see Commission agenda for estimated project start time)

WHERE | **ONLINE:** Meeting link will be listed on the agenda available at www.portland.gov/ppd/design-commission

HOW | **TO COMMENT:** Follow instructions on the Design Commission agenda or email the planner at grace.jeffreys@portlandoregon.gov

REVIEW BY | Design Commission

PROCESS | A **Design Advice Request** is a voluntary review process that allows the Commission to provide early feedback on a development proposal, prior to the required land use review

PROPOSAL

The renovation and expansion of a 2,000 square foot building situated north of the Walk of Heroines on the Portland State University (PSU) Campus, within the PSU Oak Savanna area. This project includes an 800 square foot addition, a new deck, and landscape improvements. The program includes new classrooms, office areas, and storage space, with outdoor deck, salmon bake, and amphitheater areas. The project will be pursuing the full Living Building Challenge Certification.

REVIEW APPROVAL CRITERIA

Central City Fundamental Design Guidelines

SITE ADDRESS | 1025 SW HARRISON ST

ZONING/ DESIGNATION

Central Commercial Base Zone (CX), Design Overlay (d),
Central City Plan District/ South Downtown Subdistrict

APPLICANT(S)

Susan Gust, OPSIS ARCHITECTURE

OWNER(S)

Jackson Elsasser, PSU, State of Oregon Board of Higher Education

QUESTIONS? BDS CONTACT

Grace Jeffreys, City Planner
(503) 865-6521 / Grace.jeffreysl@PortlandOregon.gov
Portland Permitting & Development, 1900 SW 4th Ave, Suite 5000, Portland, OR 97201

Traducción e interpretación | Chuyển Ngữ hoặc Phiên Dịch | 翻译或传译 | Turjumida ama Fasiraadda | 翻訳または通訳 | ການແປພາສາ ຫຼື ການອະທິບາຍ
Письменный или устный перевод | Traducere sau Interpretare | 번역및통역 | الترجمة التحريرية أو الشفوية | Письмовий або усний переклад



503-823-7300



BDS@PortlandOregon.gov



www.PortlandOregon.gov/bds/translated

TTY: 503-823-6868
Relay Service: 711



City of Portland, Oregon

Portland Permitting & Development

Land Use Services

David Kuhnhausen, Interim Director
Phone: (503) 823-7300
TTY: 711
www.portland.gov/ppd

DESIGN ADVICE REQUEST PROCESS OVERVIEW

Purpose

Design Advice Requests (DARs) are a form of early assistance intended to provide a public forum for the preliminary discussion and exchange of information between the applicant, PP&D staff, the public, and the representative Commission. The feedback that results from a DAR is advisory and preliminary in nature. The DAR is not a land use review and decisions are not made in the DAR process.

An applicant may request advice from the Design Commission or Historic Landmarks Commission prior to submitting a land use review. In some cases, a DAR may be required by a provision of the Zoning Code. These requests do not substitute for required prescribed regulatory or legislative processes.

Public Participation

The public meeting with the Commission will provide an opportunity for parties to submit oral and written comment. The Commission relies on Portlanders to bring their perspective on their community. Portland has a strong design legacy that continues through this process. The public's early input on significant projects helps to make sure we get this right. Continued participation through the land use review is necessary for public comments to be part of the land use review record.

Meeting Order

The order of appearance for those attending the meeting is as follows:

- PP&D Staff Introduction
- Applicant Presentation
- City Staff Discussion Topics
- Public Comments
- Commission and Applicant Discussion

Guiding Criteria

Design Guidelines are used to guide the conversation during the DAR because they are the approval criteria used in the subsequent land use review. All feedback should relate to the concept's response to the Guidelines. Copies of the Design Guidelines are available online at portlandoregon.gov/designguidelines.

Outside DAR Scope

The Commissions only have the authority to influence elements of a project that relate to the approval criteria. For example, guidelines do not address private views. Here other resources for questions on issues that the Commissions cannot address:

Bureau of Planning and Sustainability (BPS)
503-823-7700 | portlandoregon.gov/bps

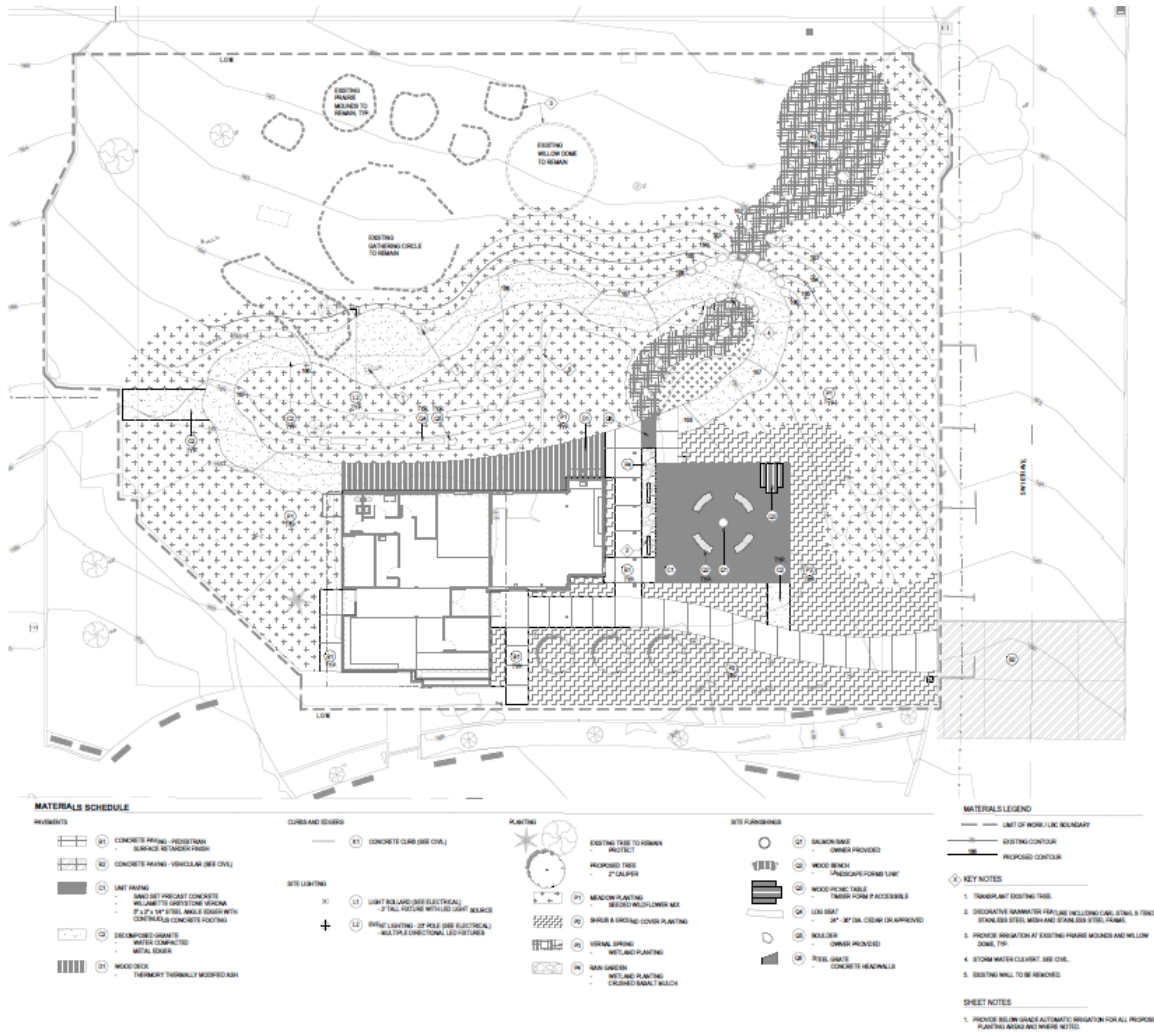
- Off-Street Parking Requirements
- Upcoming Legislative Projects on Zoning
- Zoning Allowances

Bureau of Transportation (PBOT) | 503-823-5185 | portlandoregon.gov/transportation

- On-Street Parking
- Construction Impacts on Streets & Sidewalks

Office of Community & Civic Life
503-823-4519 | portlandoregon.gov/civic

- Neighborhood Association Information
- Crime Prevention
- Noise Control Program
- Neighborhood Mediation



Site Plan



3 d image.

Observing or Testifying at the Portland Design Commission, Historic Landmarks Commission, or Adjustment Committee Webinar Hearings

Thank you for your interest in attending a land use public hearing. All hearings are currently held virtually, via Zoom. The information below will help you get connected.

***If you do not have access to the internet from a home computer or mobile phone, please see the end of this document for instructions on how to participate from a City building at 1900 SW 4th Avenue in downtown Portland.

Preparing for the Hearing:

1. To access the Zoom Webinar, please go to the online hearing Agenda, and click the link under the hearing date you are interested in participating: <https://www.portlandoregon.gov/bds/42441>
2. In advance of the hearing, please review documents and drawings in the project link within the Online Agenda.
 - Please also provide comments to the planner assigned in advance of the hearing.

Getting into the Hearing [Registering in Zoom to observe or participate in Hearing]:

1. In order to observe or testify in the hearing, please be sure to Register for the Webinar as soon as possible.
 - The Webinar Link is posted to the Online Agenda typically one week prior to the hearing date.
2. Once you register you will receive an email notification of how to log-in or access the Webinar.
3. You can enter the Webinar no sooner than ten minutes before the start of the hearing.
4. You will be held in the Zoom waiting room until the Webinar begins. (Please note each individual agenda item has an estimated start time.)
5. If using a smartphone or tablet, download the Zoom app for easy entry into the Webinar.

Public participation in the Hearing:

1. After Staff and Applicant presentations, the Chair will announce public testimony is open, and will ask if anyone else would like to testify.
2. You can provide public comment in this Webinar in several ways:
 - If during registration you indicated you would like to testify, we will put your name in order of request. Once in the hearing, testifiers will be renamed "Testifier 1 – (Your Name)"
 - Members of the public will be automatically muted except for when they are called by the Hearings Clerk for their public comment. During the Webinar, the Hearings Clerk will promote participants to "Panelists" in the order of Webinar Registrations received. When it is your turn to provide testimony, please accept the Clerk's invitation to be promoted to Panelist.
 - If you indicated in your registration that you did not want to testify but later changed your mind, when testimony is open:
 - Click the "raise your hand" function in ZOOM, and the Hearings Clerk will add you to the list of testifiers.
 - If you will be participating by call-in, raise your hand by pressing *9 - the Webinar host will see this notification.
 - When you are moved to Panelist position for your testimony, your name will be announced by the Chair or Hearings Clerk. Please be prepared to provide testimony.
 - Each testifier is allotted 2 minutes of testimony unless the Chair grants additional time.
 - Please manage your time when testifying. As a courtesy to other testifiers and our volunteer Commissions, please do not attempt to exceed the allotted amount of time.
3. We will enable screen sharing of presentations only for Design and Landmarks Commission members, project teams, and staff participating in the Webinar.
4. Testifiers who engage in inappropriate behavior or language will be promptly removed from the hearing.

Follow-up:

1. The Webinar will be recorded and uploaded to the City of Portland Auditors website, under the Case File Number, here: <https://efiles.portlandoregon.gov/Search>.

If you do not have access to the internet from a home computer or mobile phone, we can provide accommodations for you to view a live video display of the hearing from 1900 SW 4th Avenue in downtown Portland. This option for participation requires you to travel to a City building where we will provide a computer for viewing the hearing. City staff will not be present at this viewing location. If you require such accommodation, please contact the BDS Hearings Clerk at 503-865-6525 before 8 AM on the day of the hearing.



City of Portland, Oregon - Portland Permitting & Development

1900 SW Fourth Avenue • Portland, Oregon 97201 | 503-823-7300 | www.portland.gov/ppd

Date: December 5, 2024

To: SUSAN GUST, OPSIS ARCHITECTURE

From: Grace Jeffreys, Land Use Services, Grace.Jeffreys@portlandoregon.gov

RE: Design Advice Request posting for EA 24-097880 DA - PSU ITECK Center

Dear Susan:

I have received your application for a Design Advice Request (DA) for the PSU Indigenous Traditional Ecological and Cultural Knowledge Center (ITECK) at 1025 SW HARRISON ST. Your case number is given above. The meeting with the Design Commission is scheduled for **January 9, 2025**. I am the planner handling your case and can answer any questions you might have during the process.

You are required to post notice on the site of your proposal 20 days before the hearing. The information below will help you do this. **It is recommended that you work with a sign manufacturer to prepare the posting boards.** I am also enclosing instructions for making the required posting boards and the notice that should be placed on the signs.

- A. You must post one of these signs adjacent to each street frontage on the site. Due to the size and shape of the PSU site, please post boards as follows:
 - One board on SW 12th
 - One board on SW Montgomery
 - One board on SW Park
 - One board on SW College
- B. These signs must be placed within 10 feet of the street frontage line and must be visible to pedestrians and motorists. You may not post in the public right-of-way.
- C. Because the meeting with the Design Commission for your case is scheduled for **January 9, 2025**, you must post the notice by **December 20, 2024**, 20 days before the hearing.
- D. **A certification statement is enclosed, which you must sign and return.** The statement affirms that you posted the site. It also confirms your understanding that if you do not post the notice by the date above, your hearing will be automatically postponed. You must return this statement to us by **December 26, 2024**, 14 days before the hearing.
- E. You should not remove the notice before the meeting, but it must be taken down within two weeks after the meeting. You may want to save the posting boards to use for the required site posting during the Type III land use review.

Encls: Posting Notice
Statement Certifying Posting
Additional Instructions for Posting Notice Signs

cc: Application Case File

SUSAN GUST, OPSIS ARCHITECTURE
975 SE MAIN ST PORTLAND, OR 97214

DATE: _____

TO: Grace Jeffreys | grace.jeffreys@portlandoregon.gov
Portland Permitting & Development
1900 SW Fourth Ave., Suite 5000, Portland, Oregon 97201

APPLICANT’S STATEMENT CERTIFYING DESIGN ADVICE REQUEST POSTING

Case File EA 24-097880 DA - PSU ITECK Center

This certifies that I have posted notice on my site. I understand that the meeting with the Design Commission is scheduled for **January 9, 2025**, at 1:30PM, and that I was required to post the property at least 20 days before the hearing.

The required number of poster boards, with the notices attached, were set up on _____(date). These were placed within 10 feet of the street frontage line so that they were visible to pedestrians and motorists.

I understand that this form must be returned to Portland Permitting & Development no later than **December 26, 2024**, 14 days before the scheduled meeting. I also understand that if I do not post the notices by December 20, 2024, or return this form by December 26, 2024, my meeting will automatically be postponed.

In addition, I understand that I may not remove the notices before the meeting but am required to remove them within two weeks of the meeting.

Signature

Print Name

Address

City/State/Zip Code

Design Advice Request

PSU Indigenous Traditional Ecological and Cultural Knowledge (ITECK) Center

CASE FILE	EA 24-097880 DA		
WHEN	Thursday, January 9, 2025 @ 1:30 PM <i>(This is the hearing start time - see Commission agenda for estimated project start time)</i>		
WHERE	ONLINE: Meeting link will be listed on the agenda available at www.portland.gov/ppd/design-commission		
HOW	TO COMMENT: Follow instructions on the Design Commission agenda <u>or</u> email the planner at grace.jeffreys@portlandoregon.gov		
REVIEW BY	Design Commission		
PROCESS	A Design Advice Request is a voluntary review process that allows the Commission to provide early feedback on a development proposal, prior to the required land use review		
PROPOSAL	The renovation and expansion of a 2,000 square foot building situated north of the Walk of Heroines on the Portland State University (PSU) Campus, within the PSU Oak Savanna area. This project includes an 800 square foot addition, a new deck, and landscape improvements. The program includes new classrooms, office areas, and storage space, with outdoor deck, salmon bake, and amphitheater areas. The project will be pursuing the full Living Building Challenge Certification.		
REVIEW APPROVAL CRITERIA	<i>Central City Fundamental Design Guidelines</i>		
SITE ADDRESS	1025 SW HARRISON ST		
ZONING/ DESIGNATION	Central Commercial Base Zone (CX), Design Overlay (d), Central City Plan District/ South Downtown Subdistrict		
APPLICANT(S)	Susan Gust, OPSIS ARCHITECTURE	OWNER(S)	Jackson Elsasser, PSU
QUESTIONS? BDS CONTACT	Grace Jeffreys, City Planner (503) 865-6521 / Grace.jeffreysl@PortlandOregon.gov Portland Permitting & Development, 1900 SW 4 th Ave, Suite 5000, Portland, OR 97201		

Traducción e interpretación | Chuyển Ngữ hoặc Phiên Dịch | 翻译或传译 | Turjumida ama Fasiraadda | 翻訳または通訳 | ການແປພາສາ ຫຼື ການອະທິບາຍ
Письменный или устный перевод | Traducere sau Interpretare | 번역및통역 | الترجمة التحريرية أو الشفوية | Письмовий або усний переклад



503-823-7300



BDS@PortlandOregon.gov



www.PortlandOregon.gov/bds/translated

TTY: 503-823-6868
Relay Service: 711

GENERAL INFORMATION ABOUT THE DESIGN ADVICE REQUEST PROCESS

Purpose of a Design Advice Request

Design Advice Requests are not intended to substitute for other Code-required land use or legislative procedures. Purposes served by Design Advice Requests might include the following:

- Early feedback on atypical building types or configurations unable to draw on other prior project approvals to assess approval potential.
- Projects which, for various reasons, anticipate including elements that do not appear to conform to design guidelines, and which may require a waiver of one or more design guidelines.
- Unique urban design schemes for which interest or support is sought prior to approaching other agencies.

Process

The Portland Zoning Code affords the opportunity for parties interested in bringing matters before the Design Commission outside of other prescribed regulatory or legislative processes. The relevant Code chapter reads as follows:

33.730.050 F. Other pre-application advice.

An applicant may request advice from the Design Commission or Historical Landmarks Commission prior to submitting a land use request that would be heard by these commissions. These requests are known as "Design Advice Requests". These requests do not substitute for a required pre-application conference with the PP&D staff and other City urban service or technical representatives.

The general order of appearance for those attending the meeting is as follows: Portland Permitting & Development introduction, applicant presentation, clarifying questions about the proposal by the Commission, public comment, informal discussion about the proposal between the Commission and the applicants, and Design Commission final comment. There will be no final decision about this proposal during this Design Advice Request process. At the request of the Commission, a submittal for a Design Advice Request may be continued to a future date for further discussion.

Opportunity for Public Comment

The neighborhood association may take a position on the proposed development and may have scheduled an open meeting prior to providing comment to the Design Commission. Please contact the person listed as the neighborhood contact to determine the time and date of this meeting. The public meeting with the Design Commission will provide an opportunity for parties to submit oral and written comment on this matter

Design Advice Request Results

Design Advice Requests will provide informal, advisory response only. Responses received at the meeting may inform City staff when processing future land use reviews, but will not be considered a formal directive from the Commission. The Commission may offer future procedural or design direction, and may also offer a preliminary assessment against approval criteria that would apply were the proposal to be reviewed formally through the land use review process. Comment provided at the meeting will be documented by City staff, and will be available for further and future reference.

Design Advice Request

PSU Indigenous Traditional Ecological and Cultural Knowledge (ITECK) Center

CASE FILE	EA 24-097880 DA		
WHEN	Thursday, January 9, 2025 @ 1:30 PM <i>(This is the hearing start time - see Commission agenda for estimated project start time)</i>		
WHERE	ONLINE: Meeting link will be listed on the agenda available at www.portland.gov/ppd/design-commission		
HOW	TO COMMENT: Follow instructions on the Design Commission agenda <u>or</u> email the planner at grace.jeffreys@portlandoregon.gov		
REVIEW BY	Design Commission		
PROCESS	A Design Advice Request is a voluntary review process that allows the Commission to provide early feedback on a development proposal, prior to the required land use review		
PROPOSAL	The renovation and expansion of a 2,000 square foot building situated north of the Walk of Heroines on the Portland State University (PSU) Campus, within the PSU Oak Savanna area. This project includes an 800 square foot addition, a new deck, and landscape improvements. The program includes new classrooms, office areas, and storage space, with outdoor deck, salmon bake, and amphitheater areas. The project will be pursuing the full Living Building Challenge Certification.		
REVIEW APPROVAL CRITERIA	<i>Central City Fundamental Design Guidelines</i>		
SITE ADDRESS	1025 SW HARRISON ST		
ZONING/ DESIGNATION	Central Commercial Base Zone (CX), Design Overlay (d), Central City Plan District/ South Downtown Subdistrict		
APPLICANT(S)	Susan Gust, OPSIS ARCHITECTURE	OWNER(S)	Jackson Elsasser, PSU
QUESTIONS? BDS CONTACT	Grace Jeffreys, City Planner (503) 865-6521 / Grace.jeffreysl@PortlandOregon.gov Portland Permitting & Development, 1900 SW 4 th Ave, Suite 5000, Portland, OR 97201		

Traducción e interpretación | Chuyển Ngữ hoặc Phiên Dịch | 翻译或传译 | Turjumida ama Fasiraadda | 翻訳または通訳 | ການແປພາສາ ຫຼື ການອະທິບາຍ
Письменный или устный перевод | Traducere sau Interpretare | 번역및통역 | الترجمة التحريرية أو الشفوية | Письмовий або усний переклад

 503-823-7300
 BDS@PortlandOregon.gov
 www.PortlandOregon.gov/bds/translated
TTY: 503-823-6868
Relay Service: 711

SUSAN GUST, OPSIS ARCHITECTURE
975 SE MAIN ST PORTLAND, OR 97214

DATE: 12/19/24

TO: Grace Jeffreys | grace.jeffreys@portlandoregon.gov
Portland Permitting & Development
1900 SW Fourth Ave., Suite 5000, Portland, Oregon 97201

APPLICANT’S STATEMENT CERTIFYING DESIGN ADVICE REQUEST POSTING

Case File EA 24-097880 DA - PSU ITECK Center

This certifies that I have posted notice on my site. I understand that the meeting with the Design Commission is scheduled for **January 9, 2025**, at 1:30PM, and that I was required to post the property at least 20 days before the hearing.

The required number of poster boards, with the notices attached, were set up on 12/19/24 (date). These were placed within 10 feet of the street frontage line so that they were visible to pedestrians and motorists.

I understand that this form must be returned to Portland Permitting & Development no later than **December 26, 2024**, 14 days before the scheduled meeting. I also understand that if I do not post the notices by December 20, 2024, or return this form by December 26, 2024, my meeting will automatically be postponed.

In addition, I understand that I may not remove the notices before the meeting but am required to remove them within two weeks of the meeting.

Jackson Elsasser

Digitally signed by Jackson Elsasser
DN: C=US, E=jackson@pdx.edu, O=Portland
State University, OU=Capital Projects &
Construction, CN=Jackson Elsasser
Date: 2024.12.19 16:07:08-08'00'

Signature

Jackson Elsasser

Print Name

617 SW Montgomery Suite 302

Address

Portland, OR 97201

City/State/Zip Code

Environmental Services – Design Advice Request (DAR) Comments

Date: December 30, 2024

To: OPSIS ARCHITECTURE *SUSAN GUST*, Applicant

From: Abigail Cermak, PP&D Public Infrastructure – Environmental Services
503-823-7577, Abigail.Cermak@portlandoregon.gov

Case File: EA 24-097880

Location: 1025 SW HARRISON ST

The PP&D Public Infrastructure – Environmental Services (BES) staff have reviewed the submitted materials to identify potential issues and requirements and provide the following comments. Some references to Portland City Code (PCC) are included below; the applicant may refer to the Auditor's Office [Online Charter and Code](#).

A. KEY ISSUES AND REQUIREMENTS

Following is a brief summary of issues and requirements that may impact your proposed project or are submittal requirements that will require time to prepare prior to submittal of the application.

1. The applicant must submit a site plan showing the existing sanitary sewer connection location(s) and stormwater disposal system(s) for the structures to remain on this site as well as all proposed sanitary connections and stormwater systems.
2. The applicant must submit a stormwater report, including the results of infiltration testing, with land use and building permit applications.
3. Applicable Source Control Manual requirements (such as trash and recycling areas) may trigger stormwater management, changes to site design, or new sanitary connections. Therefore, BES encourages the applicant to account for these requirements as part of the site plan submitted for land use and building permit applications.

B. SANITARY SERVICE

1. *Sanitary Infrastructure:* According to available GIS data, the following sewer infrastructure is located in the vicinity of the project site:
 - a. There is a privately-owned 10-inch concrete (SCP) sanitary-only sewer in the vacated SW 11th Ave west of the project area (as-built # unknown).
2. *Connection Requirements:* Connections to the City sewer system must meet the standards of the City of Portland's [Sewer and Drainage Facilities Design Manual](#), [PCC 17.32.090](#), administrative rules [ENB-4.07](#) and [ENB-4.17](#), and all other relevant City codes and rules. Sanitary sewage from private property must be separately conveyed to the property line and connected through individual laterals for discharge to the City separate sanitary or combined sewer. Per [ENB-4.07](#), sewer connection permits are required to make new connections to City mains and laterals, relocate or upsize existing laterals, and repair sewers in City right-of-way. The permittee is responsible for verifying the location, depth and size of an existing sewer lateral and for ensuring the lateral is clear of obstructions prior to connection.

C. STORMWATER MANAGEMENT

1. *Stormwater Infrastructure:* According to available GIS data, the following stormwater infrastructure is located in the vicinity of the project site:

- a. There are a series of privately-owned storm inlets on the subject site that connect to a privately-owned 12-inch PVC storm-only sewer in SW 10th Ave (as-built #EP9190).
2. **General Stormwater Management Requirements:** Development and redevelopment sites that include any of the triggers listed in PCC 17.38.040 are subject to the policies and standards of PCC 17.38.035, Portland's [Stormwater Management Manual](#) (SWMM) and [Source Control Manual](#) (SCM). Projects must comply with the current adopted version of the SWMM as of the permit application date. A fundamental evaluation factor in the SWMM is the Stormwater Infiltration and Discharge Hierarchy (Section 1.3.3), which sets the framework that will be used to determine when a project's stormwater runoff must be infiltrated onsite and when offsite discharge will be permitted, and the parameters that must be met for either scenario. If tested infiltration rates on a property are greater than or equal to 2 inches per hour, onsite infiltration will be required unless the site qualifies for the ecoroof exception per Section 3.2.1 or infiltration is determined infeasible based on site conditions described in Chapter 2 of the SWMM. Note that maximum building coverage allowed by the zoning code, including below grade development, does not exempt the applicant from stormwater requirements. Pollution reduction and flow control requirements must be met using vegetated facilities to the maximum extent feasible, though roof runoff and some paved impervious surfaces are exempt when discharging directly to a UIC (refer to Sections 1.3.2, 1.3.4, 3.2.4 and 4.2.2 of the SWMM).
3. **Public Right-of-Way Stormwater Management:** Stormwater runoff from the public right-of-way must comply with all applicable standards of the SWMM and Sewer and Drainage Facilities Design Manual and be conveyed to a discharge point along a route of service approved by the BES Director or the Director's designee. Additional guidance on meeting the 2020 SWMM for projects in the public right-of-way is available at <https://www.portland.gov/bes/stormwater/swmm-and-right-way-projects>.
 - a. Based PBOT's comments, public right-of-way improvements will not be triggered as part of this development. Therefore, no public stormwater management facilities are required. Note that if changes in the scope of the proposed development alter PBOT requirements for public improvements, then public stormwater management facilities that conform with the SWMM or payment of an Offsite Stormwater Management Fee may be required.
4. **Private Property Stormwater Management:** Stormwater runoff from this project must comply with all applicable standards of the SWMM and SCM and be conveyed to a discharge point along a route of service approved by the BES Director or the Director's designee.
 - a. **Existing Development:** Plans submitted for land use and building permit reviews must show the stormwater disposal system for the existing paving and structures to remain including all downspouts, the type of private storm facility (if applicable), and the final stormwater disposal location. Any existing stormwater facilities must meet applicable setback requirements to structures (refer to Table 2-1 of the SWMM). If downspouts are routed to splashblocks, show that they meet setback and discharge requirements per Section 3.2.3.3 of the SWMM.
 - b. **Proposed Development - Stormwater Report:** The applicant must submit a stormwater report and preliminary utility plan showing stormwater management facilities sized according to SWMM standards. The applicant should refer to Section 2.1.2 of the SWMM and/or coordinate with BES staff to determine the appropriate design approach for this project. Unless onsite infiltration is deemed infeasible based on site conditions described in Section 2.2.5 of the SWMM, infiltration testing results must be included with the submitted stormwater report. Refer to Section 2.3.2 to determine the appropriate infiltration testing method for the proposed project. Infiltration test pits must be as close as possible to proposed infiltration facilities; include on a plan the approximate location of the test pit(s).

- c. *Infiltration Facility Setback Requirements:* Required minimum setback distances from infiltration facilities to slopes, property lines, foundations and other features are described in Section 2.2.4 and Table 2-1 of the SWMM. Most infiltration facilities must be set back 5 feet from parcel property lines and 10 feet from foundations, as measured to the high water level at the edge of vegetated facilities, the middle of drywells, and the edge of soakage trenches. Note that no setbacks are required for property lines with the right-of-way. Additional specific setback requirements are described for rain gardens, filter strips, downspout extensions, and ponds (see Section 2.2.4 of the SWMM). BES will review all proposals to reduce required setbacks. Stormwater facilities with reduced setbacks may need to be designed under the Presumptive or Performance Approach and additional documentation and analysis (such as analysis from a geotechnical engineer, structural engineer, registered geologist or other environmental professional) may be required as described in Section 2.2.4 of the SWMM.
5. *Clean River Rewards Program:* Clean River Rewards, Portland's stormwater discount program, offers discounts up to 100% of the City's onsite stormwater management charge to ratepayers who manage stormwater runoff on their property or retain large trees. Please note that this discount is not automatically applied; ratepayers must register their property and describe how stormwater is being managed to qualify. Be aware that some properties discharging to the Multnomah County Drainage Districts (within the Columbia Slough watershed) are not charged an onsite stormwater management fee by the City and are therefore ineligible to register for this program. See the [Clean River Rewards website](#) or call 503-823-1371 for more information.

D. SUBMITTAL REQUIREMENTS FOR LAND USE

1. Full land use plan set, including preliminary utility plan showing all existing and proposed sanitary and storm facilities and connections. All BES assets and easements must also be shown and labeled on plans.
2. A Stormwater Report, including the results of infiltration testing, as described in this memo.

E. PERMIT INFORMATION

At the time of permit review the applicant should be aware of the following:

1. *Connection Fees:* Sewage system connection fees and system development charges are assessed at the time of building plan review and change every fiscal year on July 1st. For additional information on these fees, navigate [here](#) or call the BES Development Review Team at 503-823-7761.
2. *Connection Requirements:* Connection to public sewers must meet the standards of the City of Portland's [Sewer and Drainage Facilities Design Manual](#).
3. *UIC Registration:* The Oregon Department of Environmental Quality (DEQ) regulates underground injection control (UIC) facilities to protect groundwater. Drywells and soakage trenches are examples of UICs. It is the applicant's responsibility to register all onsite UICs with DEQ, as appropriate. To learn more visit [DEQ's website](#) or contact the DEQ UIC Program at 503-229-5623. The SWMM also includes general UIC information.
4. *Source Control Requirements:* Source control requirements from the [Source Control Manual](#) (SCM), [Portland City Code \(PCC\) Title 17](#), and [BES Administrative Rules](#) that may be applicable to this project are listed below with the corresponding chapter, section, code, or rule. For specific questions on the following, please contact BES Source Control at 503-823-7122.
 - a. *Site Use and Activity-Based Source Control Requirements (SCM Chapter 6):* BES recommends the applicant review the following SCM sections to understand the structural, treatment, and operational BMP requirements that may impact the project design.
 - 1) *Waste and Recycling Storage (SCM Section 6.1)*

- b. *Site Dewatering Requirements* (SCM Chapter 9, [PCC 17.34](#), [PCC 17.36](#), [PCC 17.38](#), [PCC 17.39](#), [ENB 4.32](#)) BES evaluates requests for temporary and long-term stormwater and groundwater dewatering discharges into the city sewer system for approval or denial. See Appendix 1 of the SCM for the Construction Dewatering Discharge Application Form. If approved, a Discharge Permit for the storm or combined sewer may be required.
- 1) Fees are assessed for temporary construction discharges to the public sewer system – navigate [HERE](#) for current rates and information about dewatering as it relates to [construction projects](#).
 - 2) Construction discharges to City UICs are prohibited.
 - 3) Construction discharges to private UICs (e.g., drywells or soakage trenches) must be authorized by DEQ's UIC Program.

Transportation Design Advice (DAR) Request

Date: December 17, 2024
To: Grace Jeffreys, PP&D Land Use Services
503-865-6521, Grace.Jeffreys@portlandoregon.gov
From: Tyler Mann, PBOT Development Review
503-823-3044, Tyler.Mann@portlandoregon.gov
Case File: EA 24-097880
Location: 1025 SW HARRISON ST
R#: R246509
Proposal: The renovation and expansion of a 2,000 square foot building situated north of the Walk of Heroines on the Portland State University (PSU) Campus, within the PSU Oak Savanna area. This project includes an 800 square foot addition, a new deck, and landscape improvements. The program includes new classrooms, office areas, and storage space, with outdoor deck, salmon bake, and amphitheater areas. The project will be pursuing the full Living Building Challenge Certification.

Portland Permitting and Development, Public Infrastructure Permit Review – Transportation Division has reviewed the application for its potential impacts regarding the public Right-of-Way (ROW), traffic impacts and conformance with adopted policies, street designations, Title 33, Title 17, and for potential impacts upon transportation services. Staff offers the following comments:

1. There are no transportation related zoning code approval criteria for a Design Review (33.823 - Design Review.) With that said there are other City codes that apply and can affect the applicant's ability to meet the zoning code requirements.
2. There are two thresholds in 17.88.020 for when public improvements are required. The first threshold is an increase in trips. [TRN-1.30 - Thresholds for Frontage Improvement and Dedication Requirements | Portland.gov](#) is an Administrative Rules that defines when public improvements can be required based on when a proposed development results in an increase in vehicular, pedestrian and bicycle trips to a site. Trip generation for a university is based on student capacity.

Staff does not anticipate that the expansion of 800 square feet will result in a 15% or more increase in trips to the site or more than 250 new trips.

3. The second threshold is the "significant alteration" threshold as defined in 17.88.010.C. and [TRN-1.30-Thresholds for Frontage Improvements and Dedication](#).

\$2,000,000 is the listed valuation of the proposed work. It does not appear this project will trigger the Significant Alteration threshold. Based on the submitted information it does not appear that public improvements will be required.

4. SW 10th Avenue is a vacated street south of SW Montgomery Street through the PSU site. The vacated portion of SW 10th Avenue through the PSU site south of SW Montgomery Street is not considered public right-of-way.



City of Portland, Oregon - Portland Permitting & Development

1900 SW Fourth Avenue • Portland, Oregon 97201 | 503-823-7300 | www.portland.gov/ppd

Early Assistance Application

FOR INTAKE, STAFF USE ONLY

Date Rec _____ by _____

LU Reviews Expected _____

Related cases _____

☐ Y ☐ N Unincorporated MC

☐ Y ☐ N Potential Landslide Hazard Area (LD & PD only)

☐ Y ☐ N Combined Flood Hazard Area

☐ Y ☐ N DOGAMI (high)

File Number: _____

Appt Date/Time: _____

Qtr Sec Map(s) _____ Zoning _____

Plan District _____

Historic and/or Design District _____

Neighborhood _____

District Coalition _____

Business Assoc _____

Neighborhood within 400/1000 ft _____

APPLICANT: Complete all sections below. Email this application and supporting documents (listed on page 2) to: LandUseIntake@portlandoregon.gov.
Once the application is received, staff will contact you regarding payment and scheduling a date and time for your meeting, if you're requesting a meeting.

Site Address _____ Site Size/Area _____

Property ID(s) R _____ R _____ R _____ R _____ R _____ R _____ R _____

Short Project Description:

Design & Historic Review New development: list project valuation; Renovations: list exterior alteration value

\$

Check the box that indicates which Early Assistance Type you are applying for and if you'd like a meeting or to receive written notes only.

Please choose one EA type per application.

Early Assistance Type	City Reviewers	On-line MS Teams meeting & written notes provided	No meeting, written notes provided
<input type="checkbox"/> Pre-application Conference This option is only for proposals that need a Type III or IV land use review. Check here if the proposal includes a street vacation <input type="checkbox"/>	Land Use Services, Transportation, Environmental Services, Water, Parks, others as needed		
<input type="checkbox"/> Design Advice Request Public Zoom meeting with Design Commission or Historic Landmarks Commission	Land Use Services and Design Commission or Historic Landmarks Commission		
<input type="checkbox"/> Zoning and Infrastructure Bureaus Check here if the proposal includes a street vacation <input type="checkbox"/>	Land Use Services, Transportation, Environmental Services, Water, Parks		
<input type="checkbox"/> Zoning Only	Land Use Services		
<input type="checkbox"/> Residential Infill & Middle Housing Land Divisions Discussion of options-no plans will be reviewed. The fee is \$776.	Land Use Services		
Pre-Permit Zoning Plan Check	Land Use Services		
<input type="checkbox"/> Public Works Inquiry for 1-2 housing units This option is only for proposals for 1-2 units that don't require a land use review or property line adjustment	Transportation, Environmental Services, Water		

Contact Information of all Interested Parties (Include a separate sheet for additional parties, if needed.)

APPLICANT INFORMATION *Please check this box if the Applicant is also the Owner ☐

Name _____ Company _____

Mailing Address _____

City _____ State _____ Zip Code _____

Day Phone _____ Email _____

Check all that apply: ☐ Owner ☐ Owner's Representative ☐ Other (please list party's role) _____

Name _____ Company _____

Mailing Address _____

City _____ State _____ Zip Code _____

Day Phone _____ Email _____

Check all that apply: ☐ Owner ☐ Owner's Representative ☐ Other (please list party's role) _____

Name _____ Company _____

Mailing Address _____

City _____ State _____ Zip Code _____

Day Phone _____ Email _____

Please submit the following materials with your application to LandUseIntake@portlandoregon.gov

☐ Written project description, including proposed stormwater disposal system and additional property IDs, if not included on Page 1.

☐ List of questions to be discussed.

N/A ☐ If you've selected the Residential Infill / Middle Housing Land Division option, we will only accept this completed application & your list of questions (please don't submit anything else). If you want review of site plans for a residential infill option or middle housing land division, please be select either the Zoning Only or the Zoning and Infrastructure Bureaus option.

☐ Site plans & elevations, drawn to a measurable scale (with scale and scale bar identified). If the site is in a design overlay and you intend to meet community design standards, full-sized drawings are needed to confirm the standards are met.

☐ If the site is in a design overlay and you're planning to meet design standards, completed scorecards are required. Scorecards are available at <https://www.portland.gov/ppd/land-use-review-fees-and-types/design-standards>.

Note the following:

1. See the Land Use Services fee schedule for detailed fee information: www.portland.gov/ppd/current-fee-schedules.
2. Public notice (email and internet posting) is provided for Pre-application conferences and Design Advice Requests.
3. Only materials that are submitted with the original Early Assistance application will be addressed by City staff; we are unable to address any additional or edited materials submitted after the application is received.
4. Estimates for System Development Charges (SDCs) are not provided at Early Assistance Meetings. Please refer to [SDC information on the PP&D website](#).
5. Plans examiners (building code specialists) do not participate in Early Assistance in any capacity. For life safety and building code questions, consult with a plans examiner by [scheduling a 15-minute appointment](#) or applying for a [Life Safety Preliminary Meeting](#)



City of Portland, Oregon
Portland Permitting & Development
Land Use Services

David Kuhnhausen, Interim Director
Phone: (503) 823-7300
TTY: 711
www.portland.gov/ppd

Design Advice Request

Date: January 2, 2025
To: Portland Design Commission
From: Grace Jeffreys, Design & Historic Review Team
503-865-6521 | grace.jeffreys@portlandoregon.gov
Re: EA 24-097880 DA – January 9, 2025, 1025 SW Harrison St.
PSU Indigenous Traditional Ecological and Cultural Knowledge (ITECK) Center
Design Advice Request Memo – January 9, 2025

This memo is regarding the upcoming DAR on **January 9, 2025** for **January 9, 2025**. The following supporting documents are available as follows:

- Drawings – accessed here (<https://efiles.portlandoregon.gov/record/17083690/>). Note, Commissioners who requested hard copies will receive the drawing set by courier.
- Guideline matrix – accessed here (<https://efiles.portlandoregon.gov/record/17083690/>).

I. PROGRAM OVERVIEW

Proposal for the renovation and expansion of a 2,000 square foot building situated north of the Walk of Heroines on the Portland State University (PSU) Campus, within the PSU Oak Savanna area. This project includes an 800 square foot addition, a new deck, and landscape improvements. The program includes new classrooms, office areas, and storage space, with outdoor deck, salmon bake, and amphitheater areas. The project will be pursuing the full Living Building Challenge Certification.

II. DEVELOPMENT TEAM BIO

Architect	Susan Gust Opsis Architecture
Owner's Representative	Jackson Elsasser Portland State University
Project Valuation	\$ 2,000,000

III. FUTURE DESIGN REVIEW APPROVAL CRITERIA:

- [Central City Fundamental Design Guidelines \(2001\)](#) (see attached matrix)

IV. STAFF ANALYSIS & RECOMMENDED DAR DISCUSSION TOPICS

Staff advise you consider the following among your discussion items on January 9, 2025:

CONTEXT

1. **Streets – TSP Designations.** The streets around Block 240 have been vacated, however, [Title 33 Planning and Zoning](#) still considers SW 10th (to the east), SW Harrison (to the south) and SW 11th (to the west) “rights-of-way” and “streets”, per [33.910 Definitions](#).

2. **Development Standards – Base Zone / Plan District.** Though early in the design process, the proposal appears generally compliant with zoning code standards (allowed use, maximum setbacks, windows, etc.). Generally, when altering existing nonconforming development, changes are allowed if they move closer to conformance with standards, per 33.258.070.C.2.a. (See [33.258 Nonconforming Situations](#))
3. **Natural.** Block 240, the development area, is identified as a Native Oak Savanna, and this area has been tended to and encouraged by the Indigenous Studies Program at PSU. PSU sees an opportunity to extend the influence of this area, and the Indigenous presence, onto SW 10th and SW 11th, and the park blocks further to the north, “through plantings, pavements and seating”.
4. **Built.** Proposal is to renovate the existing building and landscape surrounds of Block 240 to create a new Indigenous Traditional Ecological and Cultural Knowledge (ITECK) Center.

PUBLIC REALM

1. **New Entries.** The new Main entry is proposed to move from facing south towards the Walk of Heroines to face east towards SW 10th. An additional entry is proposed facing west towards SW 11th. The Commission may want to weigh in on whether it would be stronger for the Main Entry to face south directly towards the Walk of the Heroines.

Consider CCFDG:

- A8: Contribute to a Vibrant Streetscape
- C6: Develop Transitions Between Buildings & Public Spaces

2. **Visual Connections.** The changes to the existing structure include adding glazed windows and doors and the new addition includes generous glazing. These moves will help connect the structure to the surrounding environment and streets. The Commission may want to weigh in on whether more glazing is needed facing east and west.

Consider CCFDG:

- B5: Make Plazas, Parks & Open Space Successful
- C1: Enhance View Opportunities

3. **Landscaping.** Proposal includes new salmon bake area, nibbling and rain gardens, wood deck, log seats, pathways and exterior lighting, benches, tables and other seating, and landscaping. Existing Gathering circle and Prairie mounds will remain. The Commission may want to weigh in on whether more attention is needed at the path at the north end of development area that connects SW 10th to SW 11th.

Consider CCFDG:

- A3: Respect the Portland Block Structures
- B1: Reinforce and Enhance the Pedestrian System

QUALITY & PERMANENCE

1. **Exterior materials.** Exterior materials may include charred Doug Fir and natural wood siding, board formed concrete, exposed wood structure, wood screening, and metal roofing. The Commission may want to discuss the use of natural wood siding and possible treatments to ensure durability.

Consider CCFDG:

- C2: Promote Permanence & Quality in Design
- C5: Design for Coherency



CITY OF PORTLAND, OREGON - BUREAU OF DEVELOPMENT SERVICES

1900 SW Fourth Avenue, Portland, Oregon 97201, www.portlandoregon.gov/bds



CENTRAL CITY FDG (2003) DATE: January 2, 2025		PROJECT NAME: <i>PSU ITECK Center</i> PROJECT ARCHITECT: <i>Susan Gust, Opsis</i>		CASE NUMBER: EA 24-097880 DA PROJECT VALUE \$ 2,000,000	
CONTEXT	STAFF		COMMISSION		
	+ / -	Comments	+ / -	Comments	
A1: Integrate the River					
A2: Emphasize Portland Themes					
A3: Respect the Portland Block Structures		Is more attention is needed at the path at the north end of development area that connects SW 10th to SW 11th?			
A5: Enhance, Embellish & Identify Areas					
A6: Re-use, Rehabilitate, Restore Buildings					
A9: Strengthen Gateways					
C1: Enhance View Opportunities		Is more glazing is needed facing east and west towards streets?			
C4: Complement the Context of Existing Buildings					
D1: Park Blocks					

D2: South Waterfront Area				
D3. Broadway Unique Sign District				
D4. New China/Japantown Unique Sign District				
PUBLIC REALM	STAFF		COMMISSION	
	+ / -	Comments	+ / -	Comments
A4: Use Unifying Elements				
A7: Establish and Maintain a Sense of Urban Enclosure				
A8: Contribute to a Vibrant Streetscape		Would be stronger for the Main Entry to face south directly towards the Walk of the Heroines?		
B1: Reinforce and Enhance the Pedestrian System		Is more attention is needed at the path at the north end of development area that connects SW 10th to SW 11th?		
B2: Protect the Pedestrian				
B3: Bridge Pedestrian Obstacles				
B4: Provide Stopping and Viewing Places				
B5: Make Plazas, Parks & Open Space Successful		Is more glazing is needed facing east and west towards streets?		
B6: Develop Weather Protection				
B7: Integrate Barrier-Free Design				
C6: Develop Transitions Between Buildings & Public Spaces		Would it be stronger for the Main Entry to face south directly towards the Walk of the Heroines?		
C7: Design Corners that Build Active Intersections				

C8: Differentiate the Sidewalk Level of Buildings				
C9: Develop Flexible Sidewalk Level Spaces				
C10: Integrate Encroachments				
C11: Integrate Roofs and Use Rooftops				
C12: Integrate Exterior Lighting				
C13: Integrate Signs				
QUALITY & PERMANENCE	STAFF		COMMISSION	
	+ / -	Comments	+ / -	Comments
C2: Promote Permanence & Quality in Design		The Commission may want to discuss the use of natural wood siding and possible treatments to ensure durability		
C3: Respect Architectural Integrity				
C5: Design for Coherency		The Commission may want to discuss the use of natural wood siding and possible treatments to ensure durability		



City of Portland
Design Commission

Design Advice Request

EA 24-097880 DA

PSU ITECK Center

1025 SW Harrison

January 9, 2025

Staff Presentation

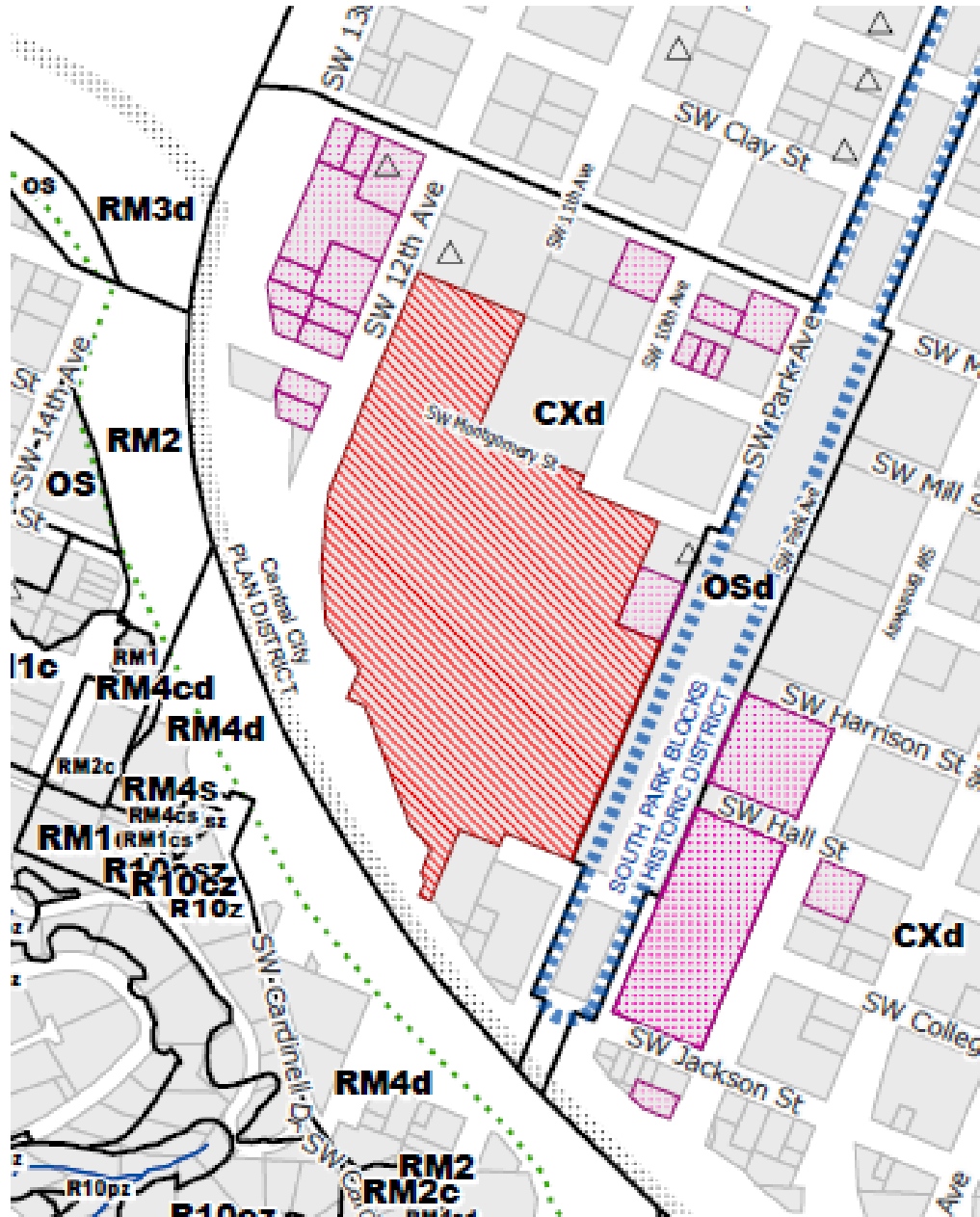
Staff Introduction

Applicant Presentation

Staff Discussion Topics

Public Comments

Commission Discussion



Location:

Central City Plan District
University District/ South
Downtown Subdistrict

Base Zone:

CXd, Central Commercial,
Design Overlay

Approval Criteria:

- Central City
Fundamental Design
Guidelines

Zoning



Site



Site



Looking west along the Walk of the Heroines



Looking west towards the HSB from SW 10th, along the Walk of the Heroines



Looking east towards the HSB from SW 11th, along Walk of the Heroines



Looking southeast towards the north of the HSB, from SW 11th



Looking east towards the northern path from SW 11th.



Looking south from the path towards the north of the HSB.



Looking west towards the northern path from SW 10th.



Looking southwest from SW 10th



Indigenous Traditional Ecological & Cultural Knowledge (ITECK) Center

Proposal:

- Renovate existing 2,000 square foot building (HSB) and add a new 800 square foot addition and a large deck.
- Make landscape improvements to surrounds.

Program:

- Program includes new classrooms, office areas, and storage spaces; with outdoor deck, salmon bake, and amphitheater areas.

Other:

- The project will be pursuing the full Living Building Challenge Certification.



Proposal

Staff Introduction

Applicant Presentation

Staff Discussion Topics

Public Comments

Commission Discussion

Staff Introduction

Applicant Presentation

Staff Discussion Topics

Public Comments

Commission Discussion

Possible topics for Discussion:

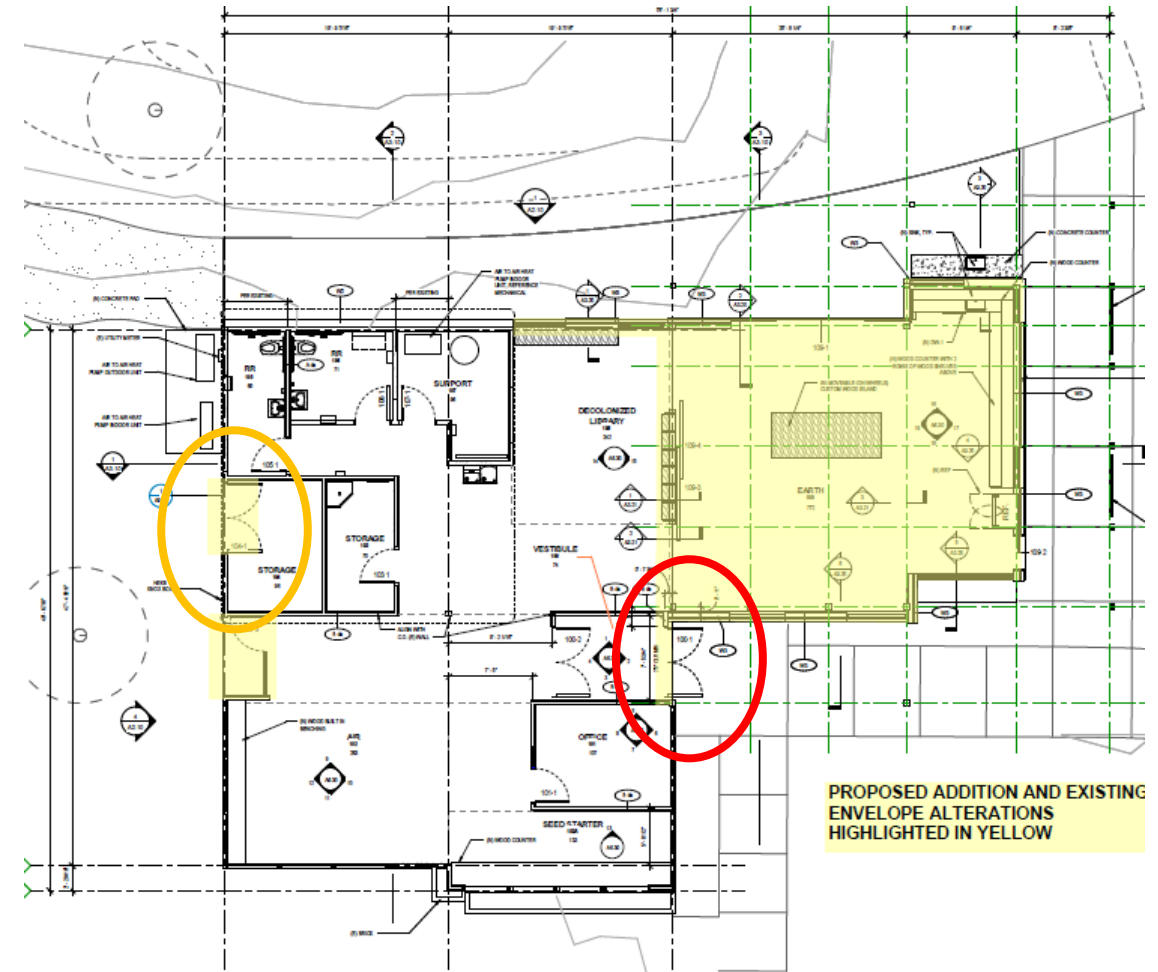
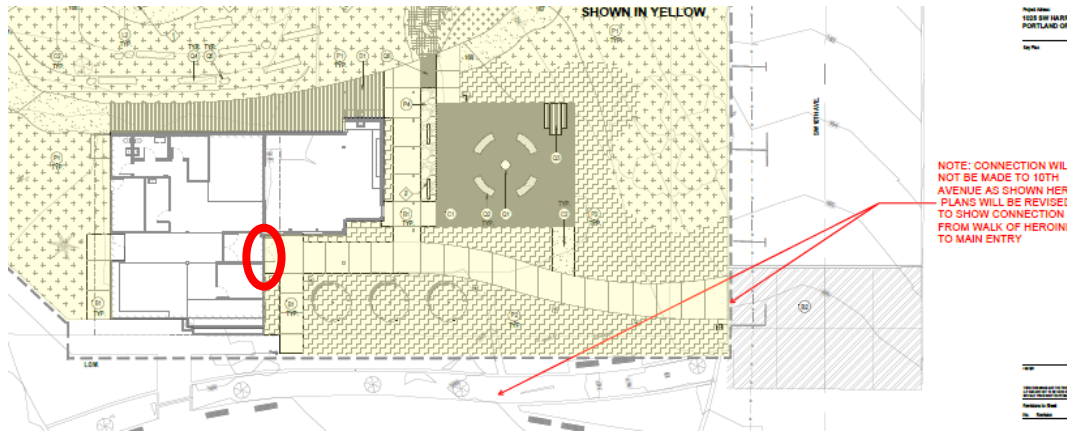
Context & Public Realm

1. Main Entry - Location and orientation
2. Visual connections – Relationship to surrounding streets.
3. Landscape – Relationship to northern path.

Quality & Permanence:

4. Materials – Durability of exposed wood.



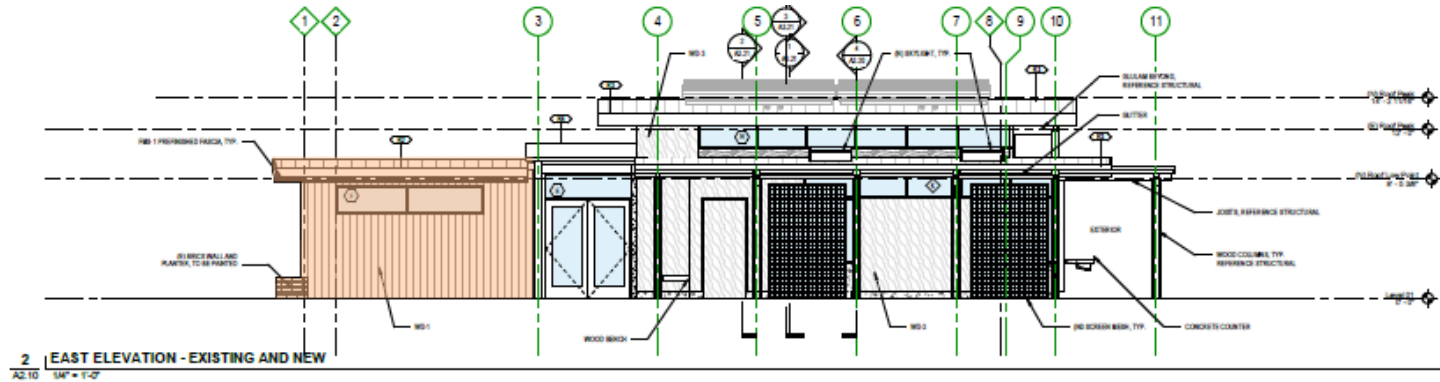


1. Main Entry.

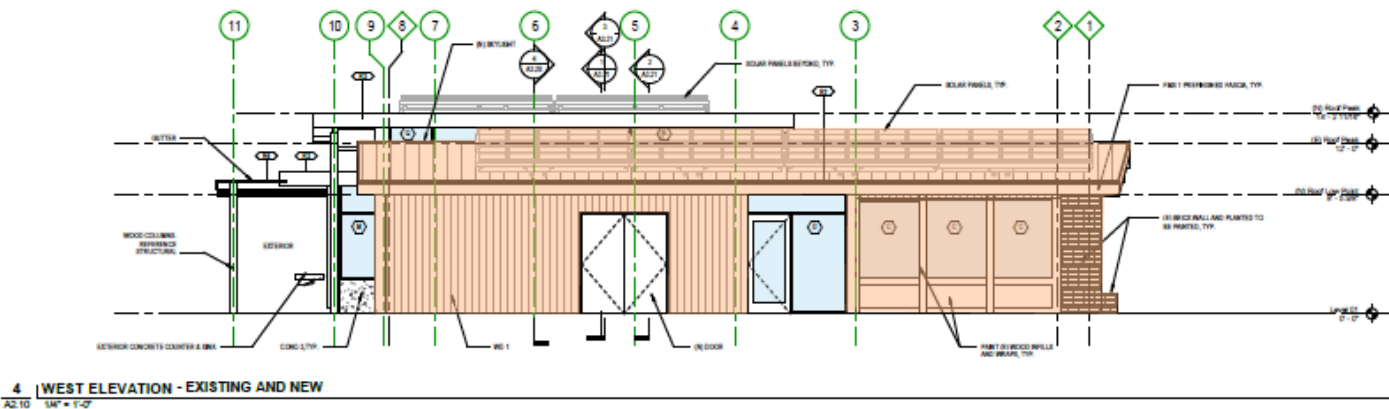
Location and orientation.

CCFDG to consider include:

- **A8:** *Contribute to a Vibrant Streetscape*
- **C6:** *Develop Transitions Between Buildings & Public Spaces*



EXISTING BUILDING - EAST ELEVATION



REPLACED WITH NEW TO MATCH
LOOK OF EXISTING]



EXISTING BUILDING - WEST ELEVATION

2. Visual Connections.

Relationship to surrounding streets.

CCFDG to consider include:

- **B5: Make Plazas, Parks & Open Space Successful**
- **C1: Enhance View Opportunities**



3. Landscaping.

Possible connections to northern path.

Consider CCFDG:

- **A3:** *Respect the Portland Block Structures*
- **B1:** *Reinforce and Enhance the Pedestrian System*



CHARRED DOUG FIR CLADDING



NATURAL WOOD SIDING



EXTERIOR MURAL

4. Exterior materials.

Durability of exposed wood.



BOARD FORM CONCRETE/WOOD SCREENING



EXPOSED WOOD STRUCTURE/WOOD SCREENING/METAL ROOF

Consider CCFDG:

- **C2:** *Promote Permanence & Quality in Design*
- **C5:** *Design for Coherency*

Staff Introduction

Applicant Presentation

Staff Discussion Topics

Public Comments

Commission Discussion

Staff Introduction

Applicant Presentation

Staff Discussion Topics

Public Comments

Commission Discussion

Portland State University
Oak Savanna
and
Indigenous, Traditional, Ecological and Cultural Knowledge (ITECK) Center



PSU Oak Savanna and ITECK Center

A Brief History



2011 - Journey to Reclaim an Oak Savanna Begins

Oak Savanna Project to was initiated when PSU Facilities agreed to plant a native grass mix, Oak trees and Serviceberries on the site

2012 - Oak Savanna Blessing Ceremony

Oak Savanna blessed by Professor Judy Bluehorse Skelton of the Indigenous Nations Studies Dept. at PSU

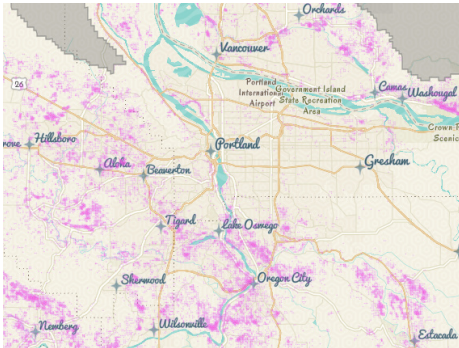
2024 - Site is home for ITECK Classes, Community Gatherings

The Oak Savanna serves as outdoor classroom for ITECK classes centered around how connection to the land can help heal and build community health and resilience.

What is an Oak Savanna?

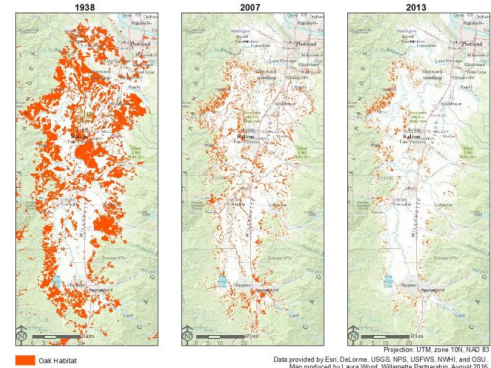


Graham Oaks Nature Park, Wilsonville



Metro's White Oak Mapping Project

Why is it important?



Decline of Oak Habitat 1938-2014

- Important source of food and medicine for Indigenous peoples of the Willamette Valley
- Prior to the arrival of European settlers, this ecosystem was actively managed by Indigenous peoples through controlled burns of the land
- Less than 8% oak savanna habitat remains in Willamette Valley today
- PSU's Oak Savanna project part of broader initiative to conserve and restore Oak habitat in the Willamette Valley and metro area

Indigenous Traditional Ecological and Cultural Knowledge (ITECK)

Design Principles

Each of the following seven principles are unto themselves complete, but also exist as part of a larger interdependent network which together represent a complete vision of responsible, culturally relevant land use.

Sacredness of Land

Sacredness of land is recognized through the practice of reclamation and restoration of ancestral ecosystems. Acknowledgement of the land's significance is carried into the future through transmission of knowledge and by the actions of the present inhabitants. The land will be used responsibly and in accordance with the other six principles.

Cultivation of Healthy Relationships

The building, site, plants, animals, insects, and humans are inter-relational beings, each dependent upon the wellbeing and health of all others. Rather than being a static object upon the land, the building acts as a participant in a larger ecosystem.

Reciprocity

The building will promote reciprocity by giving back to the land what it receives. For example, water harvesting is returned to the land; more is not taken than is needed. Leaves from trees are not raked to recognize that the carbon and plant matter are critical to the cyclical return of nutrients to the tree and soil.

Slow Change is Long Change

Working with and learning from nature takes time. Planning for the 7th generation benefits from wisdom developed in the interaction with nature in context. The structure and the building program must address this through a mindful planning process that engages with elders for important knowledge. Building, even planning too much too soon, could be worse than doing less.



Fig. 3.1, White Oak Leaves



Fig. 3.2, White Oak Tree

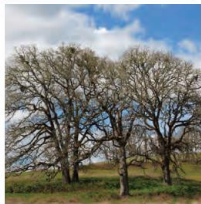


Fig. 3.3, White Oak Grove

Living, Planning, Designing, and Managing for the 7th Generation

Embarking on a project requires a great responsibility to the inheritors of that structure and place. The structure must be built with diligence and respect to all parts and potential changes to its structure and organization.

The building serves as an example and protector to the land around it, where responsible management and living may be taught to future generations.

Respect for the Role of Indigenous Ways of Knowing

These methods and understandings are not always presented in the ways that westerners expect (ie documentation, statistics, etc). There are other ways for transferring knowledge and making informed decisions, and opening to Indigenous ways of knowing will be essential in this project.

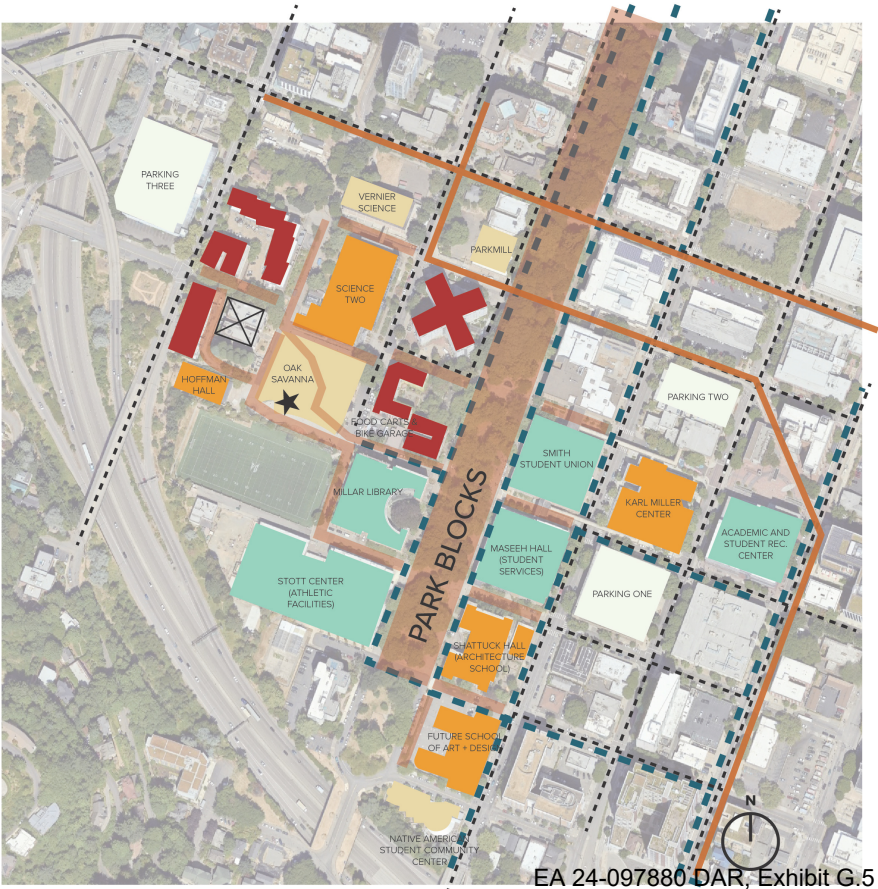
Respecting Indigenous ways of knowing involves honoring cultural practices and a mindset of holistic sustainability.

Sharing of Knowledge

The sharing of knowledge is essential to the growth of Indigenous communities. Learning how to care for the site and structure through knowledge sharing empowers the community to make independent decisions about its maintenance and changes. In addition, as a critical piece in the continuing life of Indigenous knowledge, the structure must act to facilitate the different activities through which traditional knowledge is shared and practiced.

Immediate Urban Context

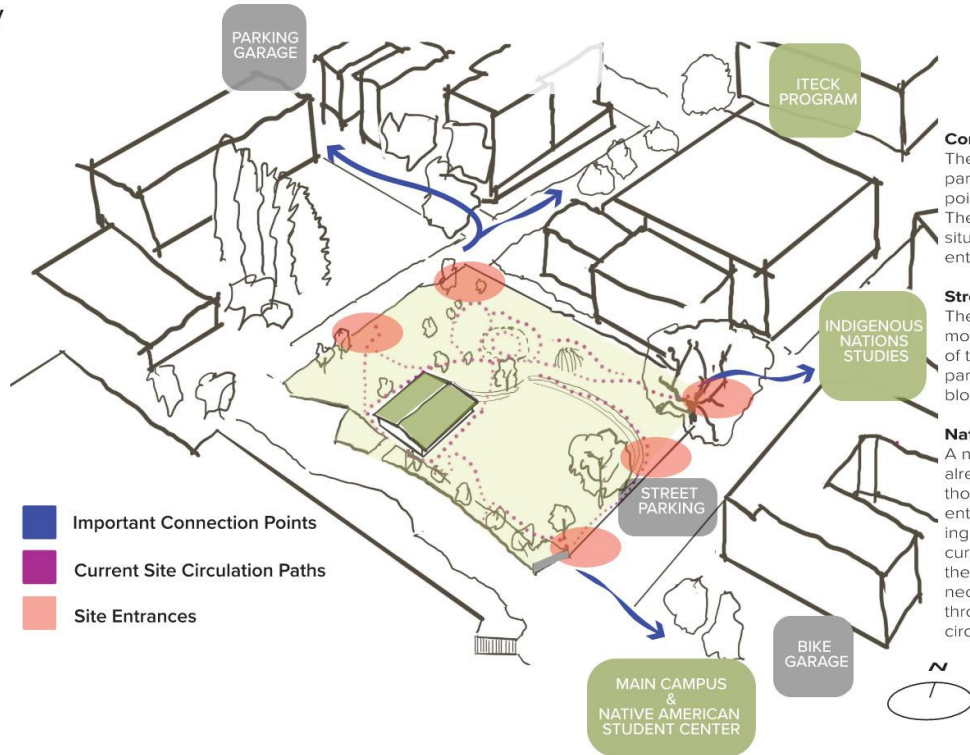
- ITECK/Indigenous Nations Studies Related
- Academic
- Student Support
- Parking
- Residential
- Demolished
- Automobile Access
- Bike Path
- Pedestrian Path
- Max Line
- ITECK Center





Existing Condition

Site Circulation, Accessibility and Points of Entry



Main Takeaways

Corners as Site Entrances

The NW, NE and SE corners of the site are particularly important as they are the points of entry from the rest of campus. The current entry to the ITECK center is situated away from any of these site entrances.

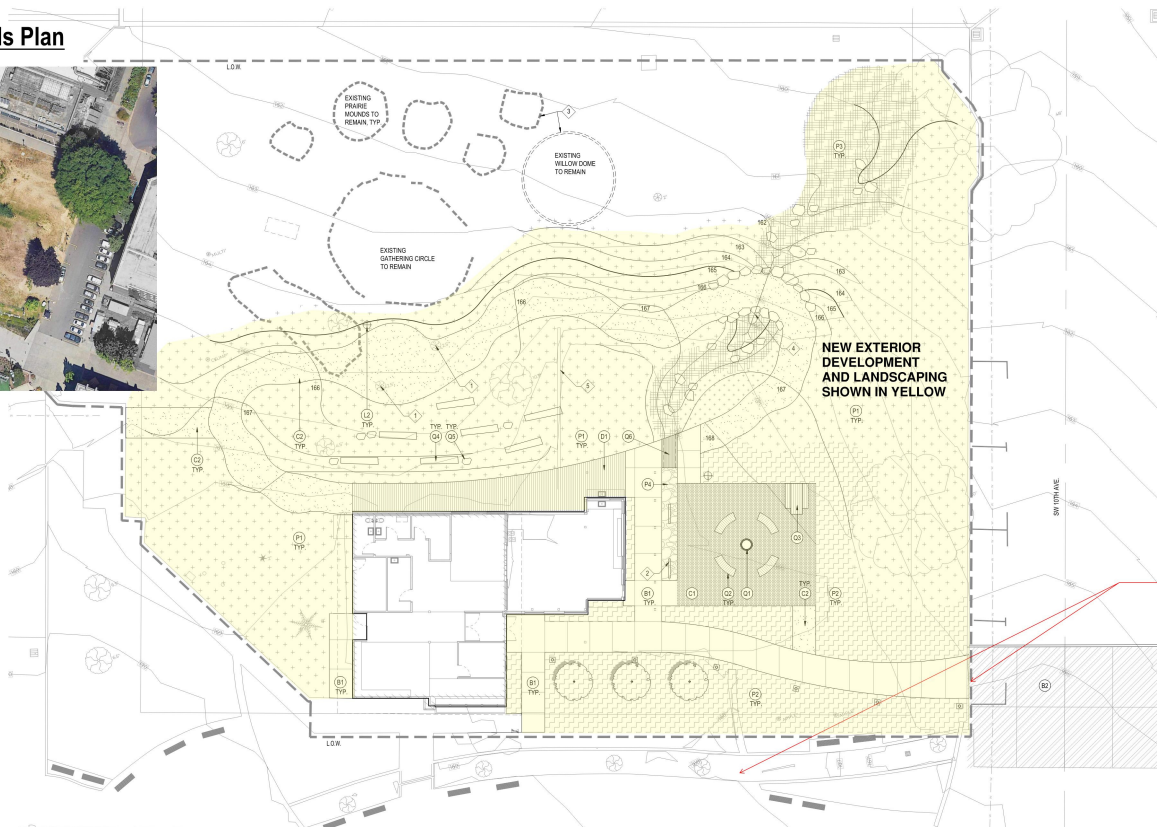
Street Parking and Accessibility

The closest parking for people with limited mobility is on the street directly to the East of the site. A natural entrance for people parking there may be in the middle of the block's East side.

Natural Paths of Site Circulation

A number of trails and high traffic areas already exist on site. Of particular note are those stemming from the two points of entry to the ITECK center, and those leading to the Gathering Circle. Movement is currently impeded on the upper portion of the site due to chainlink fencing. Reconnecting the SE corner to the rest of the site through this area will create much better circulation and access to the site.

EXISTING OAK SAVANNA SITE



MATERIALS SCHEDULE

MATERIALS LEGEND

EA 24-097880 DAR, Exhibit G.5

opsis

PLACE
735 NW 18th Ave., Portland, OR 97209
503.204.2280 | place@place.la
place.la

NOT FOR
CONSTRUCTION

Project Owner:
**PORTLAND STATE
UNIVERSITY**

Project Name:
ITECK CENTER

Project Address:
1025 SW HARRISON ST,
PORTLAND OR 97201

Key Plan

NOTE: CONNECTION WILL NOT BE MADE TO 10TH AVENUE AS SHOWN HERE. — PLANS WILL BE REVISED TO SHOW CONNECTION FROM WALK OF HEROINES TO MAIN ENTRY

No.	Revision	Date
-----	----------	------

01 SITE PLAN

VII

1. ITECK CENTER
2. FIRE
3. NIBBLING GARDEN
4. TABLE
5. ENTRY PATH
6. RAIN GARDEN
7. WOOD DECK
8. LOG SEATS
9. MEADOW PATH
10. VERNAL SPRING
11. GATHERING CIRCLE
12. WILLOW DOME
13. MICRO PRAIRIE MOUNDS
14. ROCKET MASS HEATER BENCH



opsis



Open Architecture LLP
675 SE Main St., Portland, OR 97214
503.228.3871 | info@openarch.com

NOT FOR
CONSTRUCTION



Portland State University

Project Name:
ITECK CENTER

Project Address:
1825 SW HARRISON ST.,
PORTLAND OR 97201

May 1998

**PROPOSED ADDITION AND EXISTING
ENVELOPE ALTERATIONS
HIGHLIGHTED IN YELLOW**

1 **Level 01**
A1.01 $14^\circ = 7-2^\circ$

Schematic Design

Date: 11/09/2024

FLOOR PLAN

Sheet No. **A1.01**

Interior Experience



North Elevation and Amphitheater



View From Gathering Circle

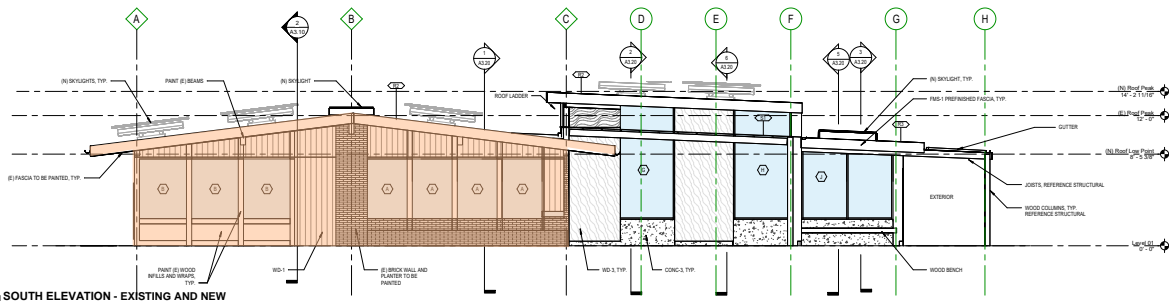




2 EAST ELEVATION - EXISTING AND NEW

Main Entry

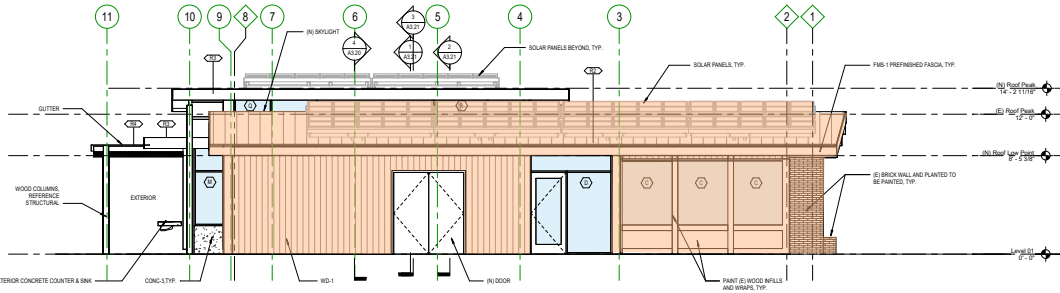




UNALTERED PORTIONS OF
EXISTING BUILDING SHOWN IN
ORANGE [ALL WINDOWS WILL BE
REPLACED WITH NEW TO MATCH
LOOK OF EXISTING]

View from Walk of Heroines





EXISTING BUILDING - WEST ELEVATION

View of North and West Elevation



MATERIAL CONCEPTS



CHARRED DOUG FIR CLADDING



NATURAL WOOD SIDING



EXTERIOR MURAL



BOARD FORM CONCRETE/WOOD SCREENING



EXPOSED WOOD STRUCTURE/WOOD SCREENING/METAL ROOF