



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Carmen Rubio, Commissioner
David Kuhnhausen, Interim Director
Phone: (503) 823-7300
TTY: 711
www.portland.gov/bds

DATE: 1/7/24
TO: LU 18-137963 DZM
CC: Omar Martinez Barrera | Casa Bonita LLC
FROM: Puja Bhtani, Land Use Services
RE: Exhibit List for LU 18-145469 HR

The intent of the memo is to clarify the final exhibit list for case file LU 18-145469 HR. The final decision notice mailed on 9/17/18 had the incorrect exhibit list at the end of the decision. Below is the correct exhibit list.

EXHIBITS

NOT ATTACHED UNLESS INDICATED

A. Applicant's Statement

1. Original Narrative
2. Original Plan Set, Not approved-for review only
3. Photographs
4. Applicant memo, in response to Incomplete letter, 4/27/18
5. Revised Plan Set, Not approved-for review only, 4/27/18
6. Manufacturers Cutsheets, 4/27/18
7. Photographs
8. Feedback drawings, 6/11/2018
9. Feedback drawings, 6/13/2018
10. Request to hold application incomplete, 6/12/18
11. Applicant memo proposing gable dormer roof revisions, 6/20/18
12. Precedent gable dormer photographs
13. Gable and shed dormer elevations and perspectives
14. Revised plan set, not approved- for review only, 7/30/18
15. Request to hold application incomplete, 7/31/18
16. Request to declare application complete, 8/8/18
17. Revised plan set, not approved- for review only, 8/3/18
18. Revised cut sheets, not approved- for review only, 8/3/18

B. Zoning Map (attached)

C. Plans/Drawings:

1. Site Plan (attached)
2. Existing and proposed north-east, south-east elevation (attached)
3. Existing and proposed south-west, north-west elevation
4. As built floor plan
5. Proposed main level floor plan
6. 2nd level floor plan
7. Building Sections
8. Detailed window sections
9. Detailed window sections
10. Detailed window and skylight sections
11. Detailed Door sections
12. Manufacturers cut sheets

D. Notification information:

1. Mailing list
2. Mailed notice

E. Agency Responses:

1. Fire Bureau
2. Life Safety Division of Development Services



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F. Correspondence:

1. Henry C. Kunowski, 8/28/18, wrote in support of the proposal.

G. Other:

1. Original LU Application
2. Incomplete letter send by staff, 4/7/2018
3. Staff feedback regarding dormer design, 6/18/2018
4. Staff feedback regarding guidelines, 7/5/2018
5. Permit to replace existing garage, 3/18/91
6. Request for Extension of 120-day review period.



City of Portland, Oregon
Bureau of Development Services
Land Use Services

FROM CONCEPT TO CONSTRUCTION

Ted Wheeler, Mayor
Rebecca Esau, Director
Phone: (503) 823-7300
Fax: (503) 823-5630
TTY: (503) 823-6868

www.portlandoregon.gov/bds

RECORDER

Please stamp the County Recorder's copy of the recording sheet and return with the attached decision to City of Portland, BDS 299/5000/BDS LUR

Please bill City of Portland, Account #1113

Multnomah County Official Records
E Murray, Deputy Clerk

2018-103989



\$101.00

02197672201801039890060063

10/04/2018 04:18:09 PM

2R-LUA

\$30.00 \$11.00 \$60.00

Pgs=6 Stn=70 HUNTK

Date: September 17, 2018
To: Interested Person
From: Puja Bhutani, Land Use Services
503-823-7226 / Puja.Bhutani@portlandoregon.gov

NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has approved a proposal in your neighborhood. The mailed copy of this document is only a summary of the decision. The reasons for the decision are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

CASE FILE NUMBER: LU 18-145469 HR – ADU CONVERSION

GENERAL INFORMATION

Applicant: Omar Martinez Barrera | Casa Bonita LLC
1631 NE Broadway #721 | Portland, OR 97232
casabonitallc@gmail.com

Owner: James E McCandlish & Yunhua Y McCandlish
1903 SE Elliott Ave. | Portland, OR 97214-4815

Site Address: 1903 SE ELLIOTT AVE

Legal Description: BLOCK 17 SWLY 33 1/3' OF NELY 36 2/3' OF LOT 17, LADDS ADD
Tax Account No.: R463303830
State ID No.: 1S1E02DB 07800

Quarter Section: 3232

Neighborhood: Hosford-Abernethy, contact chair@handpdx.org.
Business District: Hawthorne Blvd. Bus. Assoc., contact explore@hawthornepdx.com
District Coalition: Southeast Uplift, contact Leah Fisher at 503-232-0010.

Plan District: None
Other Designations: Non-contributing resource in the Ladd's Addition Historic District.

Zoning: R5 – Residential 5,000, Single-Dwelling Residential Zone
Case Type: HR – Historic Resource Review
Procedure: Type II, an administrative decision with appeal to the Landmarks Commission.

PROPOSAL:

The applicants are seeking historic resource review approval to convert an existing garage into an accessory dwelling unit in the Ladd's Addition Historic District. The proposed exterior alterations include:

1. North East Elevation: Remove the existing garage door. Add two new wood windows, and an entrance which includes a pitched canopy and a wood door with lites.
2. South East Elevation: Remove the existing doorway and finish the opening to match the existing exterior lap siding. The roof will include a new 4/12 pitch shed dormer and a new 24"x24" skylight.
3. North West Elevation: Three (3) new 18" x18" fixed windows and two (2) new 24"x24" skylights are proposed.

Historic Resource Review is required because the proposal is for non-exempt exterior alterations to a structure within the Ladd's Addition Historic District.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant approval criteria are:

- Ladd's Addition Historic District Guidelines

CONCLUSIONS

The proposed exterior alterations will be compatible with the existing character and architectural features of the house, adjacent properties and the rest of the district. The purpose of the Historic Resource Review process is to ensure that additions, new construction, and exterior alterations to historic resources do not compromise their ability to convey historic significance. This proposal meets the applicable Historic Resource Review criteria and therefore warrants approval.

ADMINISTRATIVE DECISION

Approval of historic resource review to convert an existing garage into an accessory dwelling unit in the Ladd's Addition Historic District. The proposed exterior alterations include:

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3. North West Elevation: Three (3) new 18" x18" fixed windows and two (2) new 24"x24" skylights are proposed.

Approved per the approved site plans, Exhibits C-1 through C-12, signed and dated September 12, 2018, subject to the following conditions:

- A. As part of the building permit application submittal, the following development-related conditions (B through C) must be noted on each of the 4 required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be

labeled "ZONING COMPLIANCE PAGE - Case File LU 18-145469 HR." All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED."

- B. At the time of building permit submittal, a signed Certificate of Compliance form (<https://www.portlandoregon.gov/bds/article/623658>) must be submitted to ensure the permit plans comply with the Design/Historic Resource Review decision and approved exhibits.
- C. No field changes allowed.

Staff Planner: Puja Bhutani

Decision rendered by:  **on September 12, 2018**
By authority of the Director of the Bureau of Development Services

Decision mailed: September 17, 2018

Last date to Appeal: October 1, 2018 by 4:30 pm.

EFFECTIVE DATE (IF NO APPEAL): OCTOBER 2, 2018. DECISION MAY BE RECORDED ON THIS DATE.

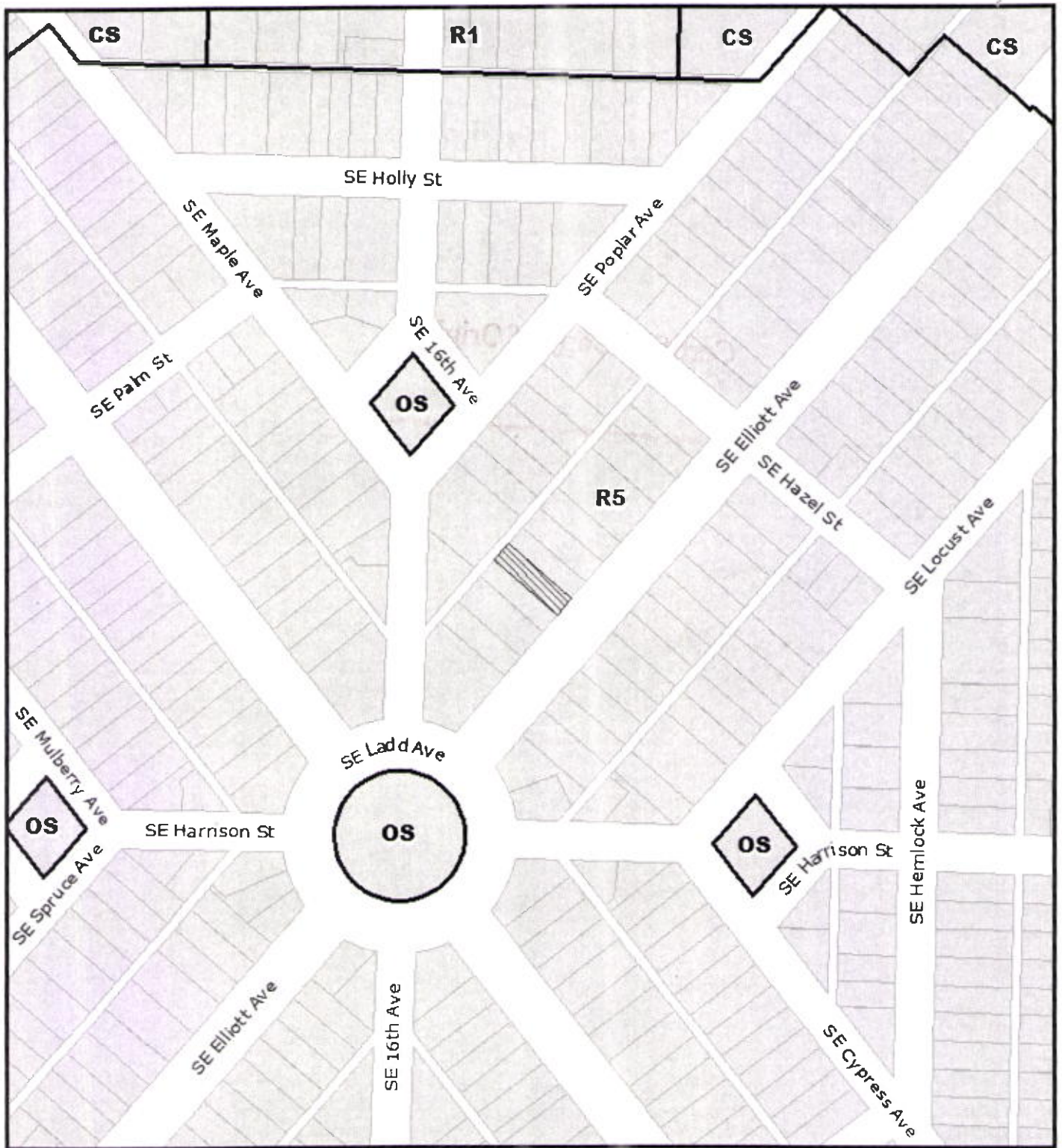
City Stamp

Kimberly Tallant, Principal Planner

City of Portland
Bureau of Development Services
1900 SW Fourth Ave, #5000
Portland, OR 97201

Date: OCTOBER 2, 2018


Representative



ZONING 
 NORTH
 THIS SITE LIES WITHIN THE:
 LADD'S ADDITION HISTORIC DISTRICT



File No.	LU 18-145469 HR
1/4 Section	3232
Scale	1 inch = 200 feet
State ID	1S1E02DB 7800
Exhibit	B Apr 06, 2018

412 SHED ROOF DORMER

1903 SE Elliot Ave.
Portland, OR 97214

Convert existing detached

- garage into ADU.
- Adding a dormer.
- New exterior wood door with lites.
- New wood windows.
- New covered entry.

Existing: 1,458 SF

Proposed; 1,458 \$F (No Changes)

Jim McCandlish

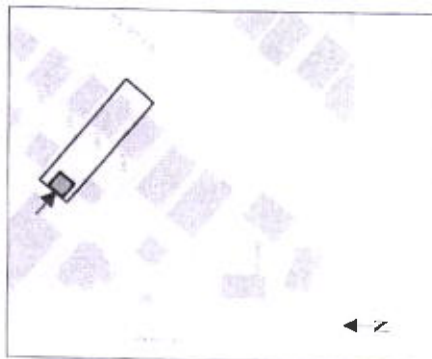
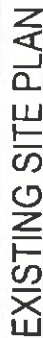
Contractor:
Casa Bonita LLC
1631 NE Broadway St #721
Portland, OR 97232
CCB: 189948

Precision

9655 SW Sunshine Ct. #700
Beaverton, OR 97005
CCB: 174274

LU 18-145469JR

To the best of knowledge these plans are drawn to comply with owner's and/or builder's specifications and any changes made on them after prints are made will be done at the owner's and/or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. Designer is not liable for errors after construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.



VICINITY MAP

SIN

Approved
City of Portland
Bureau of Development Services

2372

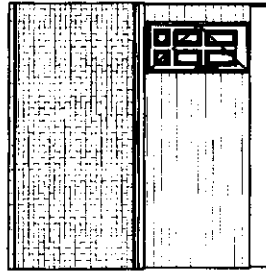
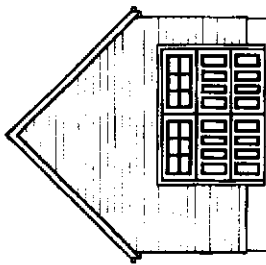
Date 4.12.18

* This approval applies only in the U.S.

5-

pg. 1

McCandlish ADU



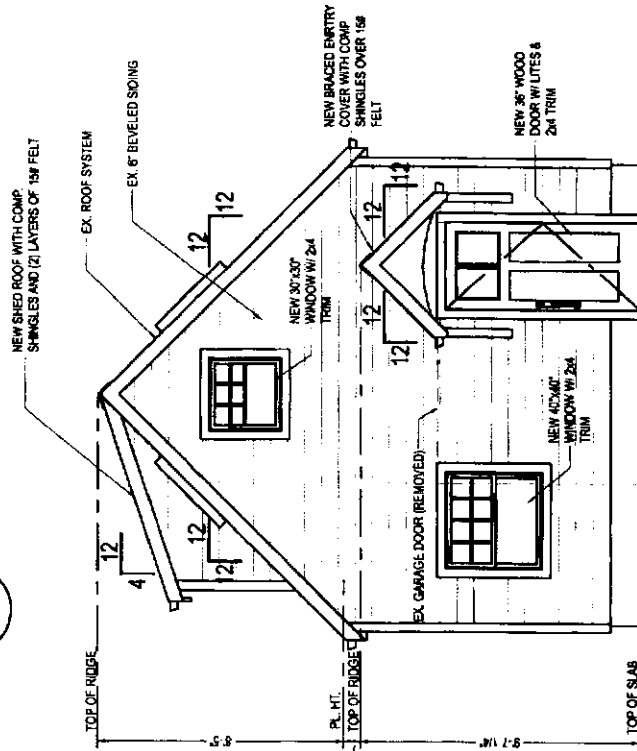
Approved
 City of Portland
 Bureau of Development Services
 Planner pb
 Date 9-12-18
 * This approval applies only to the revisions requested and is subject to all applicable codes and regulations.

A EX. NORTH-EAST ELEVATION

1/8" = 1'-0"

B EX. SOUTH-EAST ELEVATION

1/8" = 1'-0"



GENERAL NOTES:
 -ALL NEW SIDING, ROOF & TRIM TO MATCH EXISTING MATERIALS & COLORS
WINDOW NOTES:
 -ALL NEW WINDOWS AND DOORS
 -WINDOWS AND DOORS TO BE WOOD ON THE INTERIOR AND EXTERIOR
 -ALL WILL HAVE 2x4 TRIM ON EXTERIOR

NEW 37' x 30' CASEMENT WINDOW
 NEW DORMER W/ 6" BEVELED SIDING TO MATCH EX.

4 1/2 SHED ROOF W/ COMP. SHINGLES OVER 15# FELT

EX. DOORWAY (REMOVED)

NO OPENINGS DUE TO TALL & DENSE LANDSCAPING

4x4 KNEE BRACING

C PROP. NORTH-EAST ELEVATION

1/4" = 1'-0"

D PROP. SOUTH-EAST ELEVATION

1/4" = 1'-0"



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Rebecca Esau, Director
Phone: (503) 823-7300
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Date: September 17, 2018
To: Interested Person
From: Puja Bhutani, Land Use Services
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1903 SE Elliott Ave. | Portland, OR 97214-4815

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Legal Description: BLOCK 17 SWLY 33 1/3' OF NELY 36 2/3' OF LOT 17, LADDS ADD
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State ID No.: 1S1E02DB 07800
Quarter Section: 3232

Neighborhood: Hosford-Abernethy, contact chair@handpdx.org.
Business District: Hawthorne Blvd. Bus. Assoc., contact explore@hawthornepdx.com
District Coalition: Southeast Uplift, contact Leah Fisher at 503-232-0010.

Plan District: None
Other Designations: Non-contributing resource in the Ladd's Addition Historic District.

Zoning: R5 – Residential 5,000, Single-Dwelling Residential Zone
Case Type: HR – Historic Resource Review
Procedure: Type II, an administrative decision with appeal to the Landmarks Commission.

PROPOSAL:

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Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant approval criteria are:

- Ladd's Addition Historic District Guidelines

ANALYSIS

Site and Vicinity: The Peter & Katherine Krieger House was designed and built by architect Albert Brugger in 1925. The subject property is located in the north east section of Ladd's Addition and fronts SE Elliott Avenue to the south east, with alley access off of SE 16th Avenue. The existing house is a one-and-one-half story rectangular building has a steeply-pitched gable roof with a clipped end and minimal boxed eaves. The single-bay pedimented gabled porch is partially enclosed, with a segmental-arched entry and concrete stairs with a wrought-iron railing. Windows are typically eight-over-one double-hung sashes; the front elevation windows have been replaced with aluminum sliders. The building has been sided with asbestos shingles, altering the window trim. It has a concrete foundation and basement and a typical mid-block setback; the lot has a number of flowering shrubs and hedges, including a rose garden in the north side yard. Given previous alterations noted above, this house has been inventoried in the National Register as non-contributing.

Ladd's Addition Historic District is listed in the National Register of Historic Places for its unique contribution to the practice of community planning and landscape architecture. Its pattern of streets, alleys, and public gardens, skewed diagonally to the compass, was virtually without precedent when it was laid out by William Sergeant Ladd in 1891. Several circumstances, including Ladd's untimely death in 1893 and a general economic downturn beginning at about the same time, contributed to a significant delay in the building up of the platted subdivision. Hence, the mean construction date for contributing buildings in the district is 1924.

Zoning:

The Residential 5,000 (R5) single-dwelling zone is intended to preserve land for housing and to provide housing opportunities for individual households. The zone implements the comprehensive plan policies and designations for single-dwelling housing. Minimum lot size is 3,000 square feet, with minimum width and depth dimensions of 36 and 50 feet, respectively. Minimum densities are based on lot size and street configuration. Maximum densities are 1 lot per 5,000 square feet of site area.

The Historic Resource Protection overlay is comprised of Historic and Conservation Districts, as well as Historic and Conservation Landmarks and protects certain historic resources in the region and preserves significant parts of the region's heritage. The regulations implement Portland's Comprehensive Plan policies that address historic preservation. These policies recognize the role historic resources have in promoting the education and enjoyment of those living in and visiting the region. The regulations foster pride among the region's citizens in their city and its heritage. Historic preservation beautifies the city, promotes the city's economic health, and helps to preserve and enhance the value of historic properties.

Ladd's Addition is Portland's oldest planned residential community (1891) and one of the oldest in the western United States. Ladd's radial street plan marked a dramatic break in Portland's typical grid street pattern. With a formal symmetry echoing Renaissance cities and gardens, the radial streets converge at five formal gardens, which are the showpieces of the community. Parking strips are lines with mature street trees, green archways of elms and maples. The architectural character of Ladd's Addition was established in the three decades following the turn of the century. Although the individual structures represent a variety of styles, including Bungalow, Mission, Tudor and Colonial Revival, they have a continuity of materials, scale, detailing, orientation and setback which creates a sense of architectural uniformity.

Land Use History: City records indicate the following prior land use reviews for this site.

1. LU15-28182HR: Historic Resource Review approval of replacement of an existing basement window with an egress window.

Agency Review: A "Notice of Proposal in Your Neighborhood" was mailed **August 14, 2018**. The following Bureaus have responded with no issues or concerns:

- Fire Bureau
- Site Development Section of BDS

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on August 14, 2018. One written response has been received from either the Neighborhood Association or notified property owners in response to the proposal.

1. Henry C. Kunowski, 8/28/18, wrote in support of the proposal. Refer to Exhibit F-1 for more details.

ZONING CODE APPROVAL CRITERIA

Chapter 33.846.060 - Historic Resource Review

Purpose of Historic Resource Review

Historic Resource Review ensures the conservation and enhancement of the special characteristics of historic resources.

Historic Resource Review Approval Criteria

Requests for Historic Resource Review will be approved if the review body finds the applicant has shown that all of the approval criteria have been met.

Findings: The site is located within the Ladd's Addition Historic District and the proposal is for a non-exempt treatment not requiring a new foundation. Therefore Historic Resource Review approval is required. The approval criteria are the *Ladd's Addition Conservation District Design Guidelines – Exterior Rehabilitation*.

Staff has considered all guidelines and addressed only those applicable to this proposal.

Ladd's Addition Conservation District Guidelines – Exterior Rehabilitation

1. **Façades Oriented to a Street.** In rehabilitating existing buildings, the architectural integrity of street-oriented façades should be maintained. Additions and structural alterations should be limited to the rear and side yard façades and be minimally visible from the street.

Findings: The exterior alterations are limited to the existing garage which is located adjacent to the rear alley way. The original garage was replaced in 1991 and is not visible from Elliott Avenue. The existing primary building and the street facing facades are not being altered. *This guideline is therefore met.*

- 2. Exterior Siding Material.** Restoration and maintenance of original siding materials is encouraged. Materials used on additions should match or be compatible with the predominant materials used on the original structure. Most single-family residences and duplexes in Ladd's Addition feature stucco, horizontal wood siding, wood shingles, brick or a combination of these materials. Most commercial and multi-family structures feature stucco or brick. The following materials are discouraged: plywood, used brick, shakes, exposed concrete block and metal.
- 3. Roof Form.** Repair and alteration of roofs should retain:
 - a. The original roof shape and pitch;
 - b. Original structural and decorative features such as gables, dormers, chimneys, cornices, parapets, pediments, frieze boards , exposed rafters and other ornamental details; and,
 - c. Whenever possible the original type, size, color, and pattern of roofing materials. New roof features including roof additions and new dormers should be compatible in size, scale, materials, and color with the original building. Skylights, solar, mechanical and service equipment, and new roof features should be inconspicuous from the street.
- 4. Windows and Doors.** Original windows and doors, including trim, should be retained or restored. If repair is not feasible, new windows or windows on additions should match or be compatible with original windows in form, materials, type, pattern and placement of openings. On residences, the removal of original wood sash windows and replacement with aluminum sash is especially discouraged. Restoration of commercial storefront windows with large fixed glass panes below and smaller glass panes above is especially encouraged.
- 8. Color.** Restoration of original colors, or colors appropriate to the style and era of the building, is encouraged.

Findings for 2, 3, 4 & 8: The proposal is to convert an existing garage into an accessory dwelling unit. The new door and windows will be wood, and match the size, scale and color of the original building. The new wood door will be 2 lite, with double panes. The new braced entry canopy helps identify the new entrance and has a 12/12 roof pitch that matches the existing garage roof. The window types proposed include fixed glass, single hung and casement windows. The window trim, profile and depth of placement in the wall match that of the primary structure. Staff has worked extensively with the applicant regarding the profile of the proposed dormer roof. Please refer to exhibits A8-A13 and G3-G4. The proposed shed dormer with a 4/12 pitch is proposed, which should be compatible with the steeply pitched gable of both the primary and secondary structures. The exterior siding of the dormer and where the door is being removed on the south-east elevation, will match the lap fiber siding of the existing garage. The exterior of the ADU will be repainted with the same red color as the existing garage and primary dwelling unit. *These guidelines are therefore met.*

- 12. Parking.** Required on-site parking should be located in the rear yard and within original garages, if possible. Original garages should be maintained for vehicle storage and parking and not converted to other uses. Parking areas, providing space for three or more cars, should be screened from adjacent properties; hedges and canopy trees are recommended for screening. Parking areas and driveways should not be placed in the front yard.

Findings: The original garage was replaced by a new garage in 1991. Refer to Exhibit G-5 for more details. On-site parking is being maintained by a parking pad on the north side of the proposed ADU, and adjacent to the alleyway. *This guideline is therefore met.*

- 13. Crime Prevention.** Crime prevention elements should be included in the design with specific attention to landscaping, parking areas, walkways, lighting, entries, and visibility. Windows and entries should not be obscured. Parking areas, walkways, and entries should be adequately illuminated for visibility.

Findings: The proposed conversion of a garage to an accessory dwelling unit will result in more active use adjacent to the alley. The exterior alterations include 3 new windows on the alley facing frontage, as well as a new entrance door and 2 windows on the north- east elevation. The proposed greater transparency and active uses will result in 'more eyes on the street' and help with crime prevention. *This guideline is therefore met.*

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all requirements of Title 11 can be met, and that all development standards of Title 33 can be met or have received an Adjustment or Modification via a land use review, prior to the approval of a building or zoning permit.

CONCLUSIONS

The proposed exterior alterations will be compatible with the existing character and architectural features of the house, adjacent properties and the rest of the district. The purpose of the Historic Resource Review process is to ensure that additions, new construction, and exterior alterations to historic resources do not compromise their ability to convey historic significance. This proposal meets the applicable Historic Resource Review criteria and therefore warrants approval.

ADMINISTRATIVE DECISION

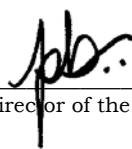
Approval of historic resource review to convert an existing garage into an accessory dwelling unit in the Ladd's Addition Historic District. The proposed exterior alterations include:

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Approved per the approved site plans, Exhibits C-1 through C-12, signed and dated September 12, 2018, subject to the following conditions:

- A. As part of the building permit application submittal, the following development-related conditions (B through C) must be noted on each of the 4 required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled "ZONING COMPLIANCE PAGE - Case File LU 18-145469 HR." All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED."
- B. At the time of building permit submittal, a signed Certificate of Compliance form (<https://www.portlandoregon.gov/bds/article/623658>) must be submitted to ensure the permit plans comply with the Design/Historic Resource Review decision and approved exhibits.
- C. No field changes allowed.

Staff Planner: Puja Bhutani

Decision rendered by:  **on September 12, 2018**
By authority of the Director of the Bureau of Development Services

Decision mailed: September 17, 2018

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on April 4, 2018, and was determined to be complete on August 8, 2018.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on April 4, 2018.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant requested that the 120-day review period be extended (Exhibit G6). Unless further extended by the applicant, **the 120 days will expire on: January 5, 2019.**

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed to the Landmarks Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on October 1, 2018** at 1900 SW Fourth Ave. Appeals can be filed at the 5th floor reception desk of 1900 SW 4th Avenue Monday through Friday between 8:00 am and 4:30 pm. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization’s boundaries. The vote to appeal must be in accordance with the organization’s bylaws. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Landmarks Commission is

final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Landmarks Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision will be recorded with the Multnomah County Recorder.

- *Unless appealed*, the final decision will be recorded on or after **October 2, 2018** by the Bureau of Development Services.

The applicant, builder, or a representative does not need to record the final decision with the Multnomah County Recorder.

For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

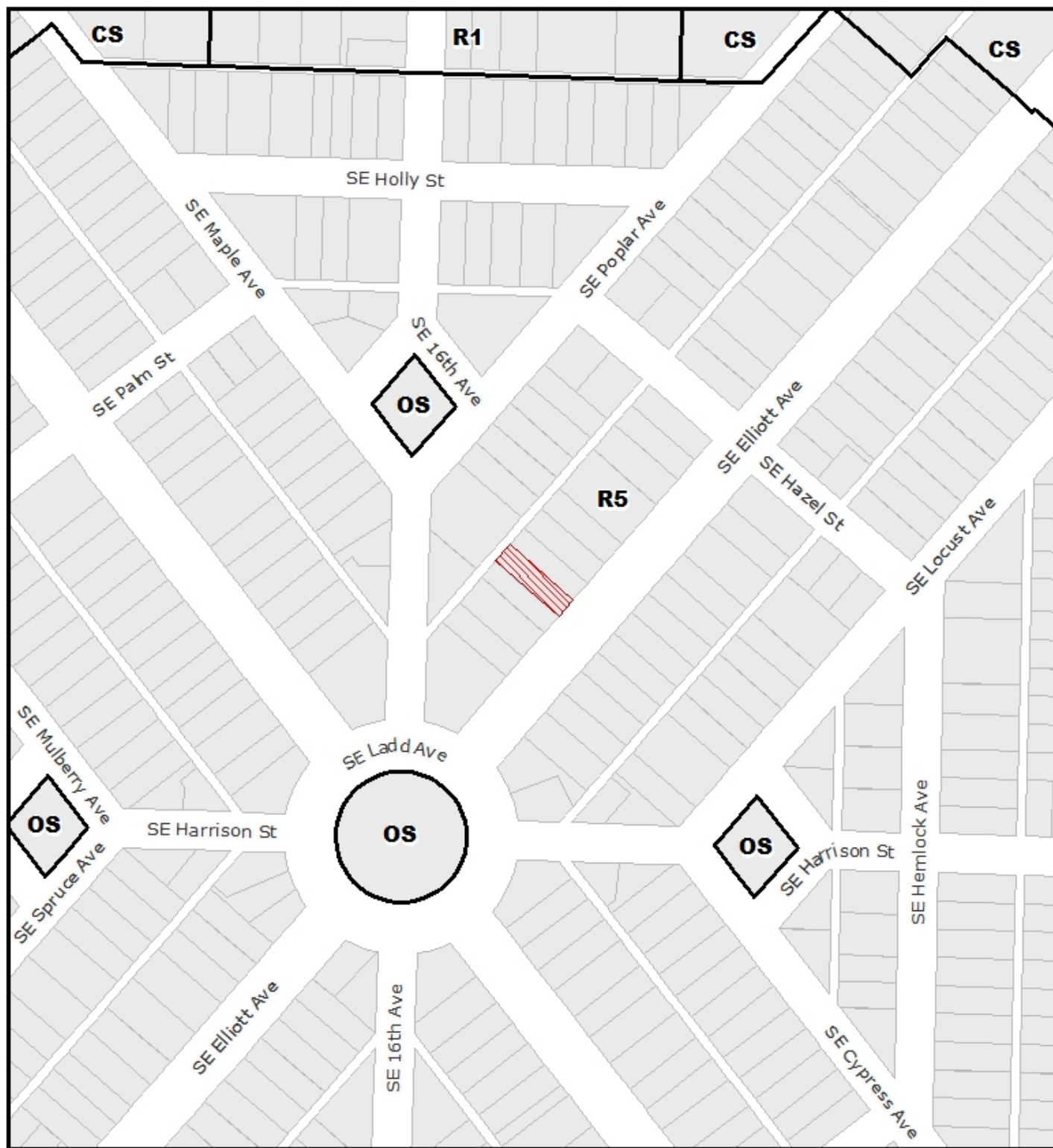
Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

EXHIBITS
NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
 - 1. Original Narrative
 - 2. Original Plan Set, Not approved-for review only
 - 3. Photographs
 - 4. Applicant memo, in response to Incomplete letter, 4/27/18
 - 5. Revised Plan Set, Not approved-for review only, 4/27/18
 - 6. Manufacturers Cutsheets, 4/27/18
 - 7. Photographs
 - 8. Feedback drawings, 6/11/2018
 - 9. Feedback drawings, 6/13/2018
 - 10. Request to hold application incomplete, 6/12/18
 - 11. Applicant memo proposing gable dormer roof revisions, 6/20/18
 - 12. Precedent gable dormer photographs
 - 13. Gable and shed dormer elevations and perspectives
 - 14. Revised plan set, not approved- for review only, 7/30/18
 - 15. Request to hold application incomplete, 7/31/18
 - 16. Request to declare application complete, 8/8/18
 - 17. Revised plan set, not approved- for review only, 8/3/18
 - 18. Revised cut sheets, not approved- for review only, 8/3/18
- B. Zoning Map (attached)
- C. Plans/Drawings:
 - 1. Site Plan (attached)
 - 2. Existing and proposed north-east, south-east elevation (attached)
 - 3. Existing and proposed south-west, north-west elevation
 - 4. As built floor plan
 - 5. Proposed main level floor plan
 - 6. 2nd level floor plan
 - 7. Building Sections
 - 8. Detailed window sections
 - 9. Detailed window sections
 - 10. Detailed window and skylight sections
 - 11. Detailed Door sections
 - 12. Manufacturers cut sheets
- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Responses:
 - 1. Fire Bureau
 - 2. Site Development Review Section of BDS
- F. Correspondence:
 - 1. Henry C. Kunowski, 8/28/18, wrote in support of the proposal.
- G. Other:
 - 1. Original LU Application
 - 2. Incomplete letter send by staff, 4/7/2018
 - 3. Staff feedback regarding dormer design, 6/18/2018
 - 4. Staff feedback regarding guidelines, 7/5/2018
 - 5. Permit to replace existing garage, 3/18/91
 - 6. Request for Extension of 120-day review period.

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).



ZONING 
 NORTH
 THIS SITE LIES WITHIN THE:
 LADD'S ADDITION HISTORIC DISTRICT

 Site

File No.	LU 18-145469 HR
1/4 Section	3232
Scale	1 inch = 200 feet
State ID	1S1E02DB 7800
Exhibit	B Apr 06, 2018

4:12 SHED ROOF DORMER

Job Description:

Building Coverage:

Homeowner:

Jim McCandlish

Contractor:

Drawings:

LU 18-145469 HR

DISCLAIMER:

To the best of knowledge these plans are drawn to comply with owner's and/ or builder's specifications and any changes made on them after prints are made will be done at the owner's and / or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. Designer is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.



VICINITY MAP

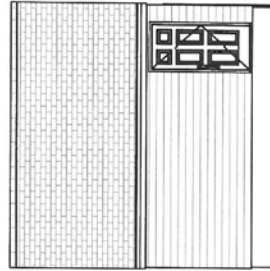
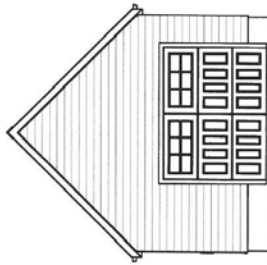
NTS

Approved
City of Portland
Bureau of Development Services
Planner *jk*
Date *9-12-18*

• This approval applies only to the reviews requested and it is not for all conclusions of approval.
A subsequent review requested after this may vary.

C-1

pg. 1

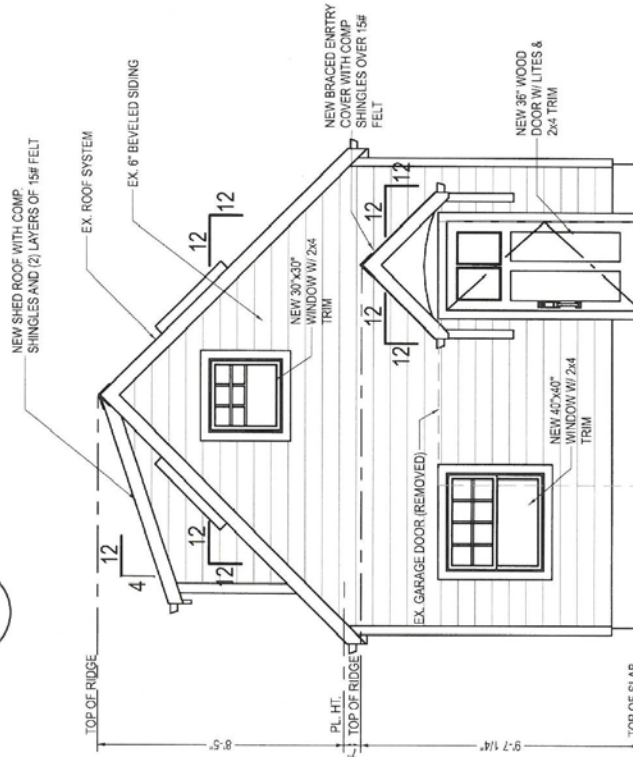


Approved
City of Portland
Bureau of Development Services
Planner pb
Date 9.12.18
* This approval applies only to the reviews requested and is subject to all conditions of approval.
Additional notes: [] If other units may apply.

A EX. NORTH-EAST ELEVATION

1/8" = 1'-0"

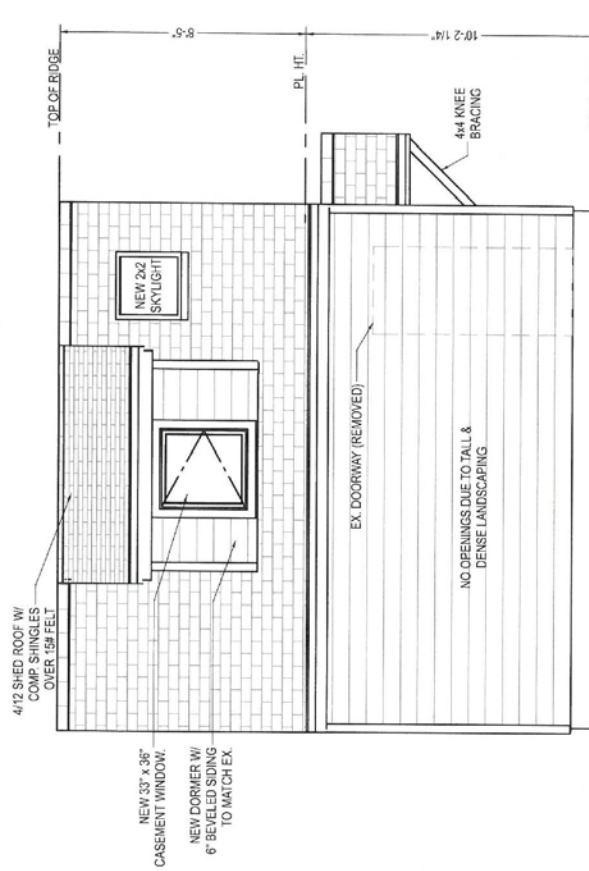
2



B EX. SOUTH-EAST ELEVATION

1/8" = 1'-0"

2



C PROP. NORTH-EAST ELEVATION

1/4" = 1'-0"

2

D PROP. SOUTH-EAST ELEVATION

1/4" = 1'-0"

2

C-2

	A	C	D	F	F	
	ENDORSEMENT	INFO1	INFO2	NAME	ADDRESS/IO ADDRESS	CITY/STATE/ZIP/ADDRESSER
1	RETURN SERVICE REQUESTED	151802DB 9400	YEGGY JULIE S TR	& CONALES J PATRICK TR	1820 SE 16TH AVE	PORTLAND OR 97214
2	RETURN SERVICE REQUESTED	151802DB 9300	SHAHSEN ROBERT J TR	POQUE ROBERT G & POQUE RITA M	1804 SE 16TH AVE	PORTLAND OR 97214-4724
3	RETURN SERVICE REQUESTED	151802DB 6900	MILLER GRAYDON M & MILLER JOAN A	1719 SE LAOD AVE	1719 SE LAOD AVE	PORTLAND OR 97214
4	RETURN SERVICE REQUESTED	151802DB 7500	LOWES SCOTT M & LOWES REA	1752 SE POPLAR AVE	1752 SE POPLAR AVE	PORTLAND OR 97214-4732
5	RETURN SERVICE REQUESTED	151802DB 9100	GIFFORD JILL C	2401 SE 15TH AVE	2401 SE 15TH AVE	PORTLAND OR 97214
6	RETURN SERVICE REQUESTED	151802DB 6800	FOSTER JENNIFER R	1919 SE ELLIOTT AVE	1919 SE ELLIOTT AVE	PORTLAND OR 97214-4815
7	RETURN SERVICE REQUESTED	151802DB 8200	CHASS HEIDI	3535 SW CALIFORNIA ST	3535 SW CALIFORNIA ST	PORTLAND OR 97219-1615
8	RETURN SERVICE REQUESTED	151802DB 6700	CICCANTI MELBA L TR	36 RAUSCH ST	36 RAUSCH ST	GRESHAM OR 97080-8028
9	RETURN SERVICE REQUESTED	151802DB 7900	TENE LILACH	1927 SE ELLIOTT AVE	1927 SE ELLIOTT AVE	SAN FRANCISCO CA 94103
10	RETURN SERVICE REQUESTED	151802DB 7501	SHEN CHARLTON & SHEN PHOEBE	1852 SE ELLIOTT AVE	1852 SE ELLIOTT AVE	PORTLAND OR 97214-4815
11	RETURN SERVICE REQUESTED	151802DB 6400	PAULUS WILLIAM P	1838 SE ELLIOTT AVE	1838 SE ELLIOTT AVE	PORTLAND OR 97214-4814
12	RETURN SERVICE REQUESTED	151802DB 8100	KUHNSHAUSEN MARILYN A & NEAL S	1845 SE ELLIOTT AVE	1845 SE ELLIOTT AVE	PORTLAND OR 97214-4813
13	RETURN SERVICE REQUESTED	151802DB 8100	COFFEL WILLIAM J	1752 SE POPLAR AVE	1752 SE POPLAR AVE	PORTLAND OR 97214-4829
14	RETURN SERVICE REQUESTED	151802DB 9200	JACOBSEN LAWRENCE A TR	1216 SE 8TH AVE	1216 SE 8TH AVE	PORTLAND OR 97202-2507
15	RETURN SERVICE REQUESTED	151802DB 7100	DUNN SUSAN P TR &	1853 SE ELLIOTT AVE	1853 SE ELLIOTT AVE	PORTLAND OR 97214-4811
16	RETURN SERVICE REQUESTED	151802DB 7000	PETERSON DOBERTH JOYCE M	1736 SE POPLAR AVE	1736 SE POPLAR AVE	PORTLAND OR 97214-4829
17	RETURN SERVICE REQUESTED	151802DB 8000	BAILEY ELIZABETH M	1909 SE ELLIOTT AVE	1909 SE ELLIOTT AVE	PORTLAND OR 97214
18	RETURN SERVICE REQUESTED	151802DB 9000	151802DB 7700	1938 SE ELLIOTT AVE	1938 SE ELLIOTT AVE	PORTLAND OR 97214
19	RETURN SERVICE REQUESTED	151802DB 7200	151802DB 7200	1966 SE LAOD AVE	1966 SE LAOD AVE	PORTLAND OR 97214
20	RETURN SERVICE REQUESTED	151802DB 7200	151802DB 7200	1962 SE LAOD AVE	1962 SE LAOD AVE	PORTLAND OR 97214
21	RETURN SERVICE REQUESTED	151802DB 7200	151802DB 7200	1943 SE ELLIOTT AVE	1943 SE ELLIOTT AVE	PORTLAND OR 97214
22	RETURN SERVICE REQUESTED	151802DB 7200	151802DB 7200	1935 SE ELLIOTT AVE	1935 SE ELLIOTT AVE	PORTLAND OR 97214
23	RETURN SERVICE REQUESTED	151802DB 7200	151802DB 7200	1928 SE ELLIOTT AVE #2	1928 SE ELLIOTT AVE #2	PORTLAND OR 97214
24	RETURN SERVICE REQUESTED	151802DB 7200	151802DB 7200	1928 SE ELLIOTT AVE #1	1928 SE ELLIOTT AVE #1	PORTLAND OR 97214
25	RETURN SERVICE REQUESTED	151802DB 7200	151802DB 7200	1914 SE 16TH AVE	1914 SE 16TH AVE	PORTLAND OR 97214
26	RETURN SERVICE REQUESTED	151802DB 7200	151802DB 7200	1906 SE ELLIOTT AVE	1906 SE ELLIOTT AVE	PORTLAND OR 97214
27	RETURN SERVICE REQUESTED	151802DB 7200	151802DB 7200	1864 SE ELLIOTT AVE	1864 SE ELLIOTT AVE	PORTLAND OR 97214
28	RETURN SERVICE REQUESTED	151802DB 7200	151802DB 7200	1861 SE ELLIOTT AVE	1861 SE ELLIOTT AVE	PORTLAND OR 97214
29	RETURN SERVICE REQUESTED	151802DB 7200	151802DB 7200	1844 SE ELLIOTT AVE	1844 SE ELLIOTT AVE	PORTLAND OR 97214
30	RETURN SERVICE REQUESTED	151802DB 7200	151802DB 7200	1819 SE ELLIOTT AVE	1819 SE ELLIOTT AVE	PORTLAND OR 97214
31	RETURN SERVICE REQUESTED	151802DB 7200	151802DB 7200	1837 SE ELLIOTT AVE	1837 SE ELLIOTT AVE	PORTLAND OR 97214
32	RETURN SERVICE REQUESTED	151802DB 7200	151802DB 7200	2036 SE SPRUCE AVE	2036 SE SPRUCE AVE	PORTLAND OR 97214
33	RETURN SERVICE REQUESTED	151802DB 7200	151802DB 7200	1621 NE BROADWAY #721	1621 NE BROADWAY #721	PORTLAND OR 97232
34	RETURN SERVICE REQUESTED	151802DB 7200	151802DB 7200	1903 SE ELLIOTT AVE	1903 SE ELLIOTT AVE	PORTLAND OR 97214-4815
35	RETURN SERVICE REQUESTED	151802DB 7200	151802DB 7200	PO BOX 15271	PO BOX 15271	PORTLAND OR 97293
36	RETURN SERVICE REQUESTED	151802DB 7200	151802DB 7200	3534 SE MAIN ST	3534 SE MAIN ST	PORTLAND OR 97214
37	RETURN SERVICE REQUESTED	151802DB 7200	151802DB 7200	C/O SE UPLIFT 1514 SE MAIN ST	C/O SE UPLIFT 1514 SE MAIN ST	PORTLAND OR 97214
38	RETURN SERVICE REQUESTED	151802DB 7200	151802DB 7200	1800 SW FIRST AVE SUITE 300	1800 SW FIRST AVE SUITE 300	PORTLAND OR 97201
39	RETURN SERVICE REQUESTED	151802DB 7200	151802DB 7200	PO BOX 1529	PO BOX 1529	PORTLAND OR 97208
40	RETURN SERVICE REQUESTED	151802DB 7200	151802DB 7200	615 CAPITAL ST NE #150	615 CAPITAL ST NE #150	SALEM OR 97301
41	RETURN SERVICE REQUESTED	151802DB 7200	151802DB 7200	18330 NW SAUVIE ISL RD	18330 NW SAUVIE ISL RD	PORTLAND OR 97231
42	RETURN SERVICE REQUESTED	151802DB 7200	151802DB 7200	ATTN LAND USE CONTACT	ATTN LAND USE CONTACT	128/METRO
43	RETURN SERVICE REQUESTED	151802DB 7200	151802DB 7200	PDC	PDC	8125
44	RETURN SERVICE REQUESTED	151802DB 7200	151802DB 7200	OWEN KRANTZ	OWEN KRANTZ	3239/R5000
45	RETURN SERVICE REQUESTED	151802DB 7200	151802DB 7200	1300 NW 4TH AVE #5000	1300 NW 4TH AVE #5000	PORTLAND OR 97261

3/26/2018

Re: APPROVAL CRITERIA (IVR NUMBER: 4186312)
PERMIT NUMBER: 18-145469-000-00-LU



Description of property

This house is located at 1903 SE Elliott Ave. lot size is 3484 SQ. The house was built in 1925. We are proposing to convert existing two story single car garage in ADU. The ADU will have a full kitchen - living space, one full bathroom in first floor and second floor will have a bedroom. All new exterior trim, siding, windows, fascia, roof and gutters will match with existing house. ADU will be located in alley which will reduce the visibility from street.

Ladd's addition conservation district guidelines – Exterior Rehabilitation

1. Façades Oriented to a Street. In rehabilitating existing buildings, the architectural integrity of street-oriented façades should be maintained. Additions and structural alterations should be limited to the rear and side yard façades and be minimally visible from the street.

Responds:

This garage was replaced in MAR/15/1991, garage is located behind primary house, close to alley. The façade facing NE Elliot Avenue, will have a dormer in existing second floor of garage witch will have one 30"x42" egress window and one 2'x 2' skylight ; however, this façade is not visible from NE Elliott Avenue.

2. Foundations: changes to the foundation should match or be compatible with the original foundation in height and materials

Responds:

Foundation was replace in MAR/15/1991

3. Exterior Siding Material. Restoration and maintenance of original siding materials is encouraged. Materials used on additions should match or be compatible with the predominant materials used on the original structure. Most single family residences and duplexes in Ladd's Addition feature stucco, horizontal wood siding, wood shingles, brick or a combination of these materials. Most commercial and multi-family structures feature stucco or brick. The following materials are discouraged: plywood, used brick, shakes, exposed concrete block and metal.

Respond:

The existing exterior finish material on the garage is lap fiber cement siding, this siding will be retained and filled in with lap fiber siding to match where existing openings are closed and new dormer in second floor.

4. Roof form. Repair and alteration of roofs should retain:
 - A. The original roof shape and pitch;
 - B. Original structural and decorative features such as gables , dormers, chimneys, cornices, parapets, pediments, frieze boards , exposed rafters and other ornamental details; and,

A-1

LU18-145469 HR

C. Whenever possible the original type, size, color, and pattern of roofing materials. New roof features including roof additions and new dormers should be compatible in size, scale, materials, and color with the original building. Skylights, solar, mechanical and service equipment, and new roof features should be inconspicuous from the street

Respond:

The existing roof will be retained and new dormer in second floor will match roof pitch of primary, contributing front porch house, skylight won't be visible from Se Elliot Avenue

5. Front façade detailing: Original entrances to building, front porches and projecting features, such as balconies, bays and dormer windows should be retained or restored.

Respond:

We are not changing anything in primary, contributing house

6. Windows and Doors. Original windows and doors, including trim, should be retained or restored. If repair is not feasible, new windows or doors on additions should match or be compatible with original windows in form, materials, type, pattern and placement of openings. On residences, the removal of original wood sash windows and replacement with aluminum sash is especially discouraged. Restoration of commercial storefront windows with large fixed glass panes below and smaller glass panes above is especially encouraged.

Respond: All the windows are proposed to be exterior white fiber glass and interior wood and style will match primary, contributing house, exterior molding will be match with primary , contributing house

8. COLOR: Restoration of original colors, or colors appropriate to the style and era of the building, is encouraged.

Respond:

After all work has been done in this ADU, exterior of ADU will be repainted with the same colors than existing garage which match with primary, contributing house

12. Required on-site parking should be located in the rear yard and within original garages, if possible. Original garages should be maintained for vehicle storage and parking and not converted to other uses. Parking areas, providing space for three or more cars, should be screened from adjacent properties; hedges and canopy trees are recommended for screening. Parking areas and driveways should not be placed in the front yard

Respond:

The proposal of converting existing garage to living space as an ADU; this garage is not original and was replaced in MAR/15/1991, onsite parking is maintained by a parking pad on north side of garage. We are not making changes to front yard

13. Crime Prevention. Crime prevention elements should be included in the design with specific attention to landscaping, parking areas, walkways, lighting, entries, and visibility. Windows and entries should not be obscured. Parking areas, walkways, and entries should be adequately illuminated for visibility.

Respond:

The main entry to ADU will be located on the north side of the building which will be facing the onsite parking, the door will be 2/3 solid and 1/3 upper side of door with double paint tempered glass and new window on the right side of door, we will add one more window on the north side of second floor which will look into onsite parking and we will add 3 more 18 x18 picture windows in west side of building facing alley, existing fence will stay in the same location, all this extra windows and door will help for a better transparency between the new ADU, onsite parking and alley

Casa Bonita LLC
Omar Martinez, General Contractor
1631 NE Broadway #721
Portland, OR 97232
503-956-4866
casabonitallc@gmail.com
www.casabonitallc.net
CCB #189948
Bonded and Insurance

1903 SE Elliot Ave.
Portland, OR 97214

Jim McCandlish

Contractor:

Casa Bonita LLC

1631 NE Broadway St. #721

Portland, OR 97232

CCB: 189948

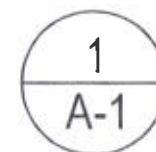
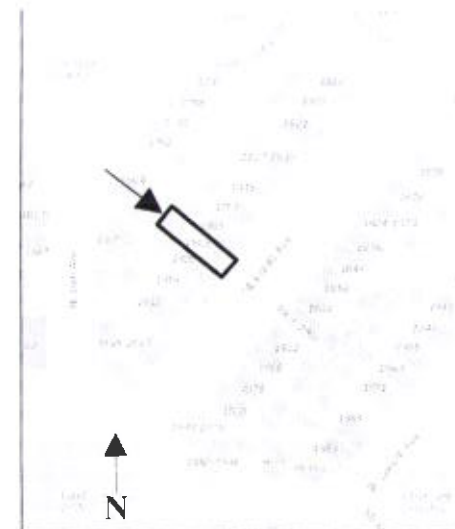
Drawings:

Precision

9655 SW Sunshine Ct. #700

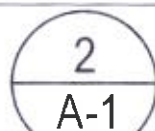
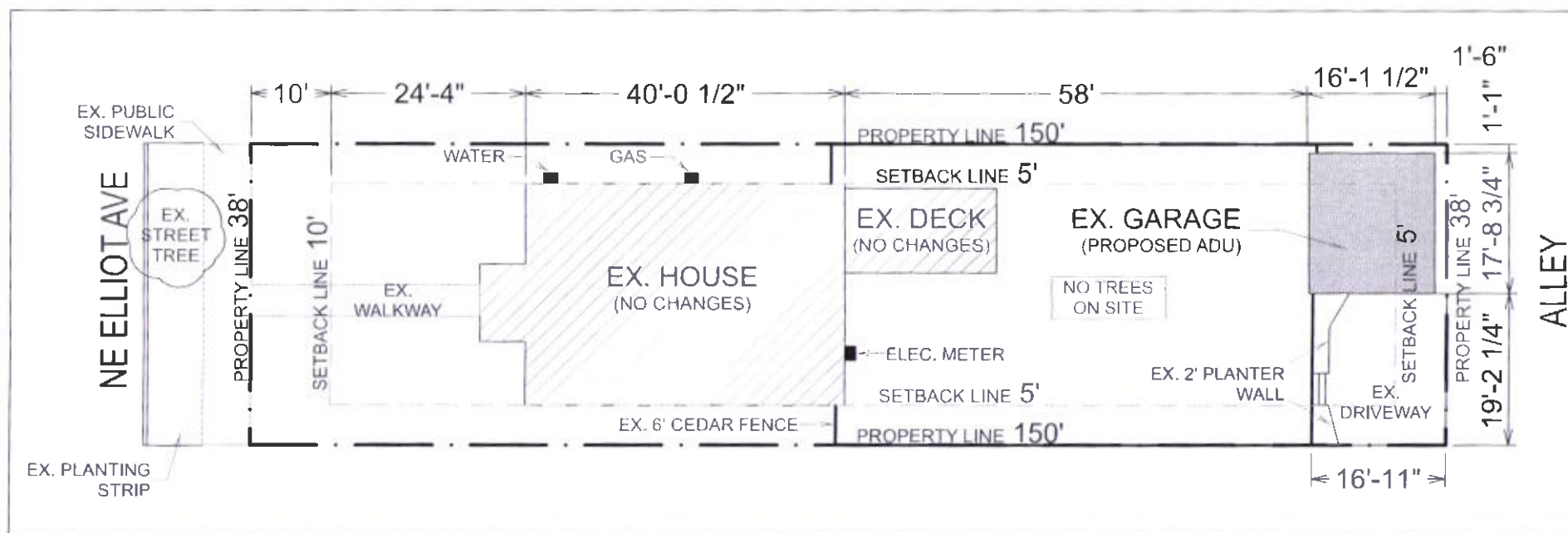
Beaverton, OR 97005

CCB: 174274



VICINITY MAP

NTS

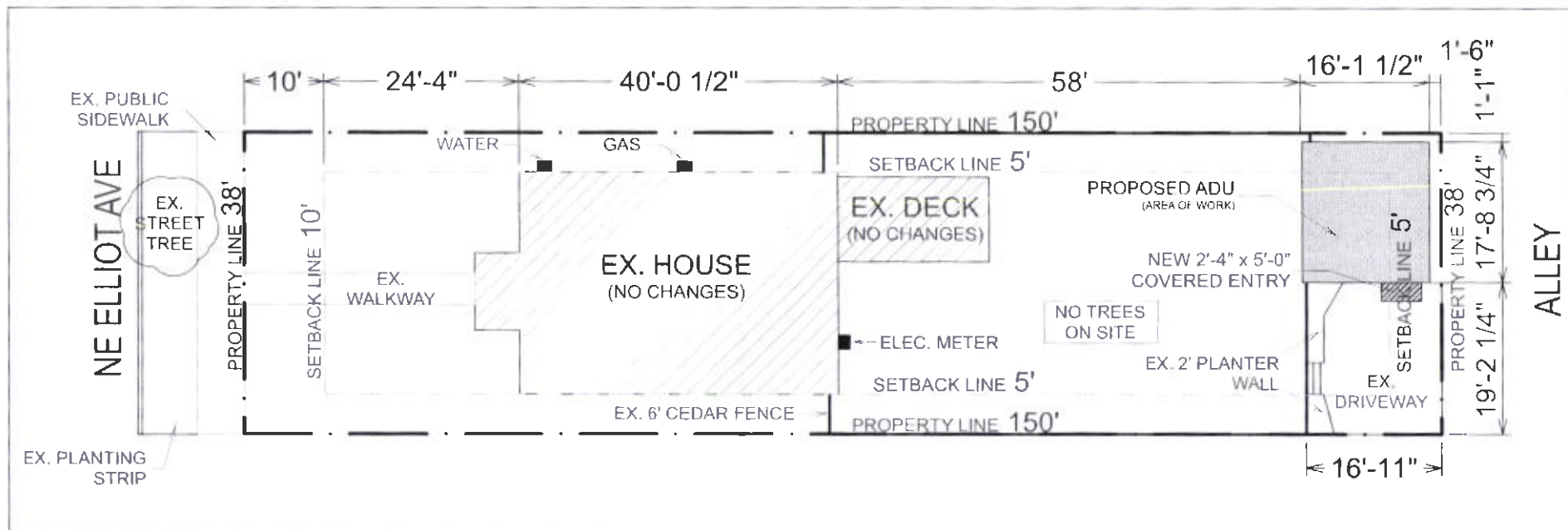


EXISTING SITE PLAN

$$1'' = 20'$$

A-2

LA 18 - 145469 HR



1
A-2

PROPOSED SITE PLAN

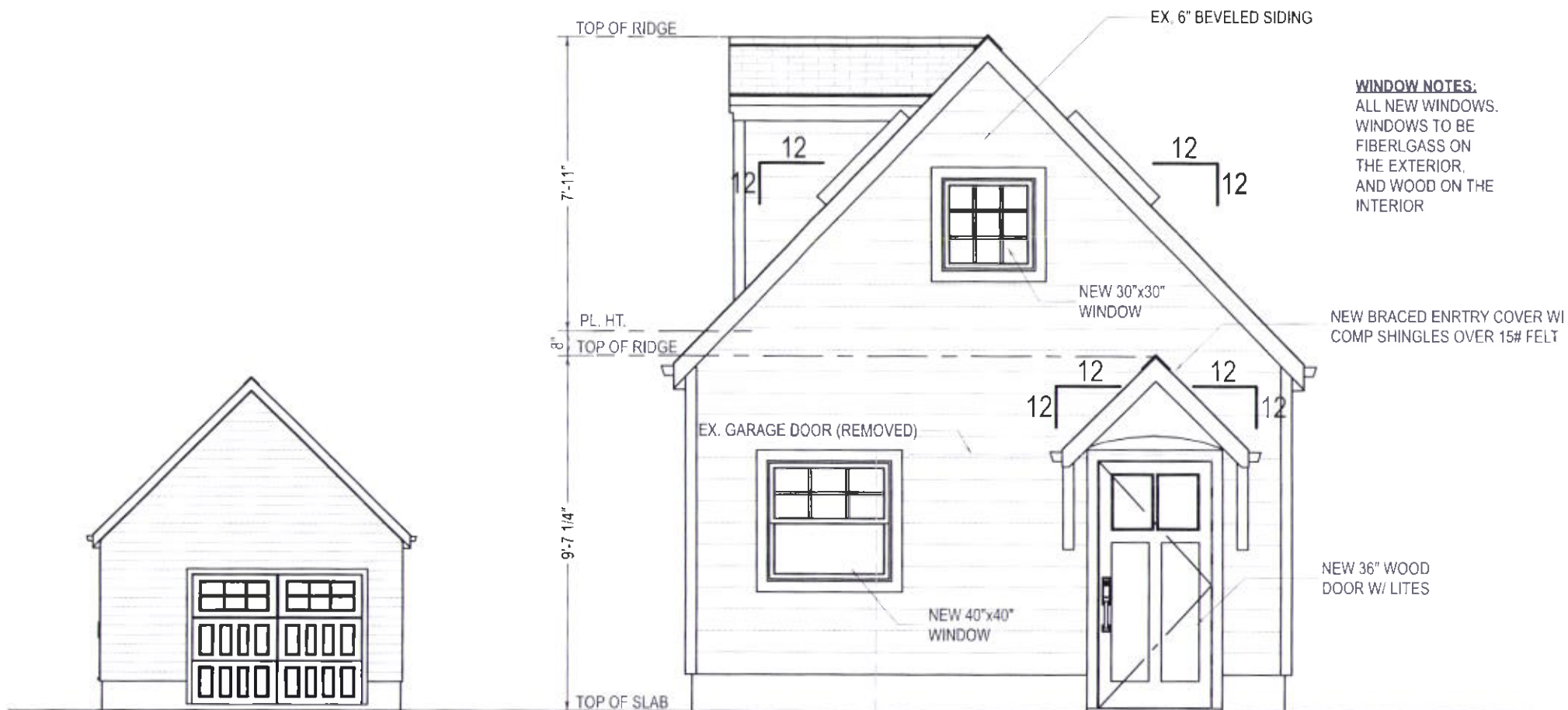
1" = 20'



DISCLAIMER:

To the best of knowledge these plans are drawn to comply with owner's and/ or builder's specifications and any changes made on them after prints are made will be done at the owner's and / or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. Designer is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

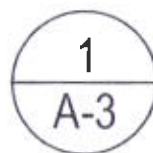
LU 18-145469 HR



WINDOW NOTES:
ALL NEW WINDOWS.
WINDOWS TO BE
FIBERGLASS ON
THE EXTERIOR,
AND WOOD ON THE
INTERIOR

EX. NORTH-EAST ELEVATION

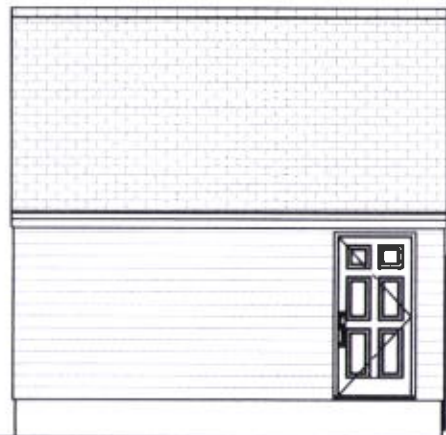
1/8" = 1'-0"



PROP. NORTH-EAST ELEVATION

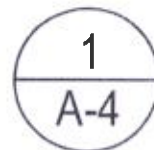
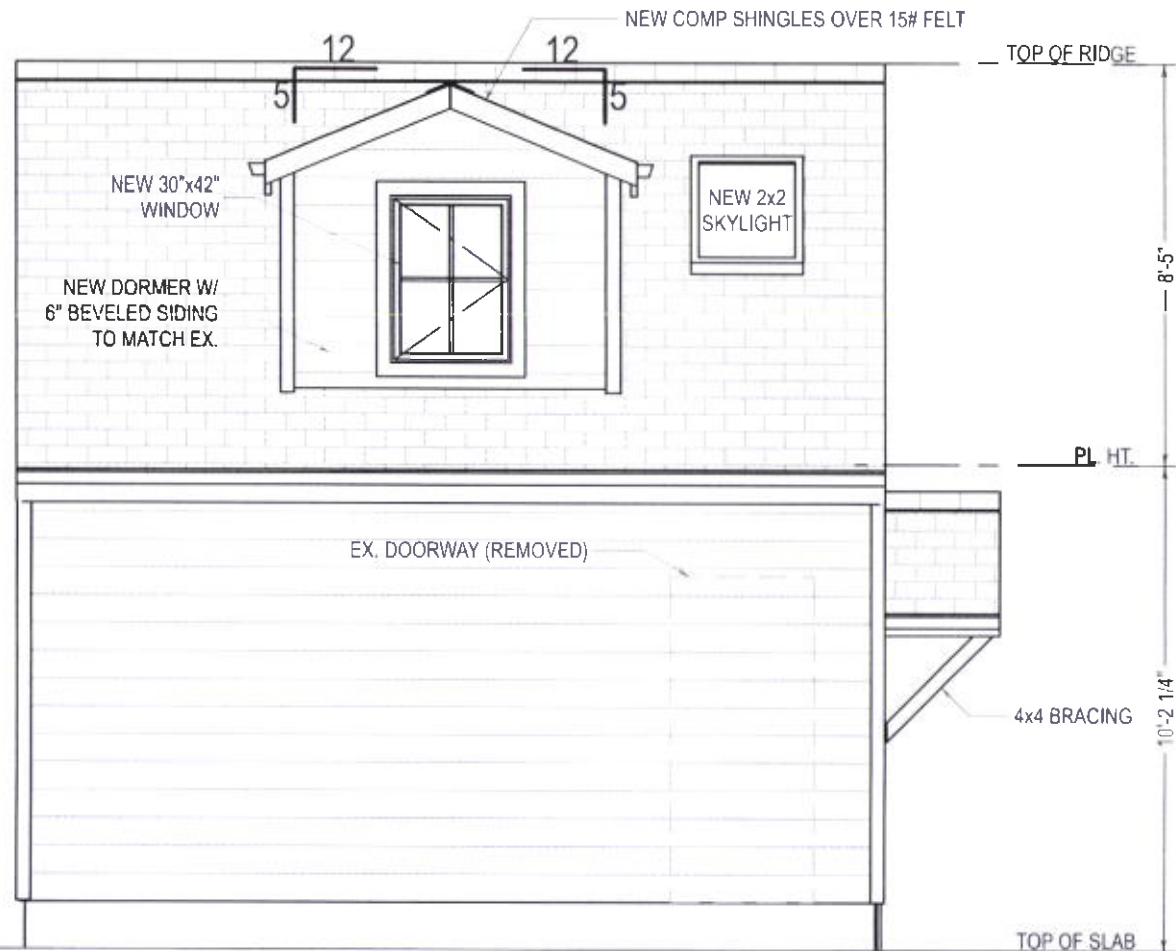
1/4" = 1'-0"

LU 18-145469 HR



EX. SOUTH-EAST ELEVATION

1/8" = 1'-0"



PROP. SOUTH-EAST ELEVATION

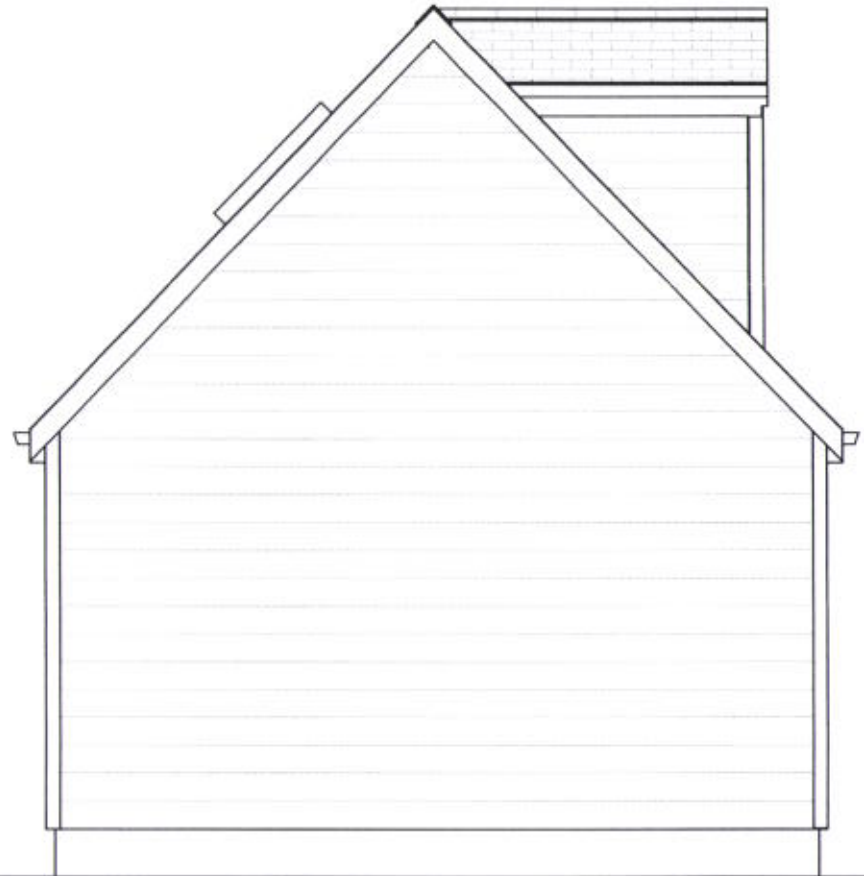
1/4" = 1'-0"

LU 18-145469 HR



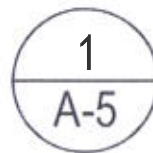
EX. SOUTH-WEST ELEVATION

1/8" = 1'-0"



PROP. SOUTH-WEST ELEVATION

1/4" = 1'-0"



LU 18-145469 HR



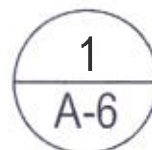
EX. NORTH-WEST ELEVATION

1/8" = 1'-0"



PROP. NORTH-WEST ELEVATION

1/4" = 1'-0"



LU 18-145469 HE



BLACK LIVES
MATTER

LA 18-145469 HR
A-3



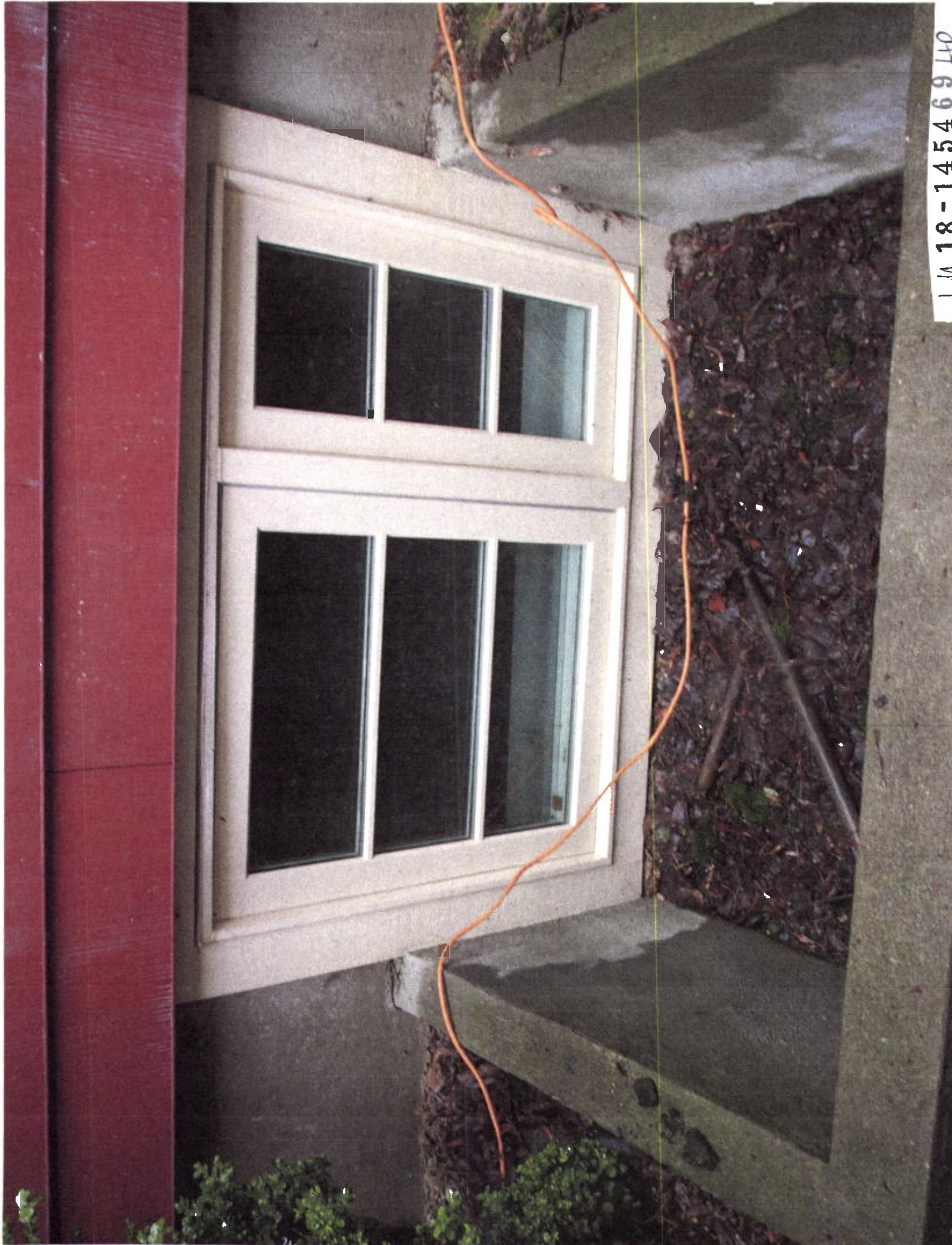
LA 18-145469 H2



LU 18-145469HR



LM 18-145469 HR



LM 18-145469 HR



April 27, 2018

Puja Bhutani
City of Portland
Land Use Services
1900 SW 4th Avenue, Suite #5000
Portland, OR 97201

Re: APPROVAL CRITERIA (IVR NUMBER: 4186312)
PERMIT NUMBER: 18-145469-000-00-LU

Dear Puja Bhutani:

In response to letter sent on April 17, 2018 regarding Land Use Review LU 18-145469 HR – ADU Conversion for 1903 SE Elliott Avenue.

I. Information Necessary to Complete Application

The following information must be submitted before your proposal can be evaluated:

1. Existing and proposed floor plans for the ADU, to scale and dimensioned
You will find information on page #5 and #6 of the attached plans
2. Building Coverage calculation for the site
You will find information on page #1 of the attached plans
3. Typical wall sections, through doors, windows, dormer, entrance, canopy etc.
You will find information of page #7 of the attached plans
4. Enlarge sections through existing and proposed windows and doors, to scale and dimensioned. Typical sections should be provided through the proposed windows/doors, and typical original window/door of the residence do that staff can evaluate whether their profiles, trim and location depth in the wall match. See discussion about windows in the "Issues to Consider" below
You will find information on page #8 to #10 of the attached plans
5. Manufacturers cut sheet- for the proposed windows and doors
You will find document attached to email

II. Issues to Consider

While not necessary to determine the application complete, additional information may be need to show that your proposal meets the applicable approval criteria, which are the Ladd's Addition Conservation District Guidelines, and can be found here. You are encouraged to address the following issues regarding the approvability of your proposal:

- Dormer. The proposed dormer appears too large for the existing accessory structure, and its roof pitch does not seem compatible with the steeply pitched roofs of both the accessory and the main residence. Consider an appropriately size shed roof, as it could provide a more compatible response. (guidelines 4-Roof form)

We changed roof style from gable style to shed style and you will find new style on page #2 and #7 of the attached plans

- Fiberglass windows. The new windows should be wood and detailed to match the original windows in material, form, type, pattern and placement of opening, (guideline 6- windows & doors)

We are changing material of windows from fiberglass to wood windows. New wood windows will match the main residence windows, please see manufacturer cut sheet and window quote to show style and type of material

- South East Elevation. The building façade facing the house is proposed as a blank wall, and should include windows. This is especially the case since blank walls are also proposed for the two other elevation, and very small windows are proposed for the ally facing façade. Information should be provided if there are existing condition, like a fence or dense landscaping that might preclude windows

South wall is a 2 hr firewall and we cannot make any penetrations like windows. South wall is 1'1" away from property line. The South wall of proposed ADU is right next to the neighbor's garage, please see (south side of existing garage picture and section 1 and 2 on page #7 from plans).

Note: Existing vent on south wall will be closed off using same system for 2 hr fire-wall

East wall is 2hr firewall and this side of wall has dense landscaping (please see (existing SE elevation and section 1 and 2 in page #7 from plans)

Please let us know if you have any additional questions.

Sincerely,

Omar Martinez
President
Casa Bonita LLC

Casa Bonita LLC
Omar Martinez, General Contractor
1631 NE Broadway #721
Portland, OR 97232
503-956-4866
casabonitallc@gmail.com

www.casabonitallc.net

CCB #189948

Bonded and Insurance

1903 SE Elliot Ave.
Portland, OR 97214

Convert existing detached garage into ADU.

Adding a dormer.

New exterior wood door with lites.

New wood windows.

New Covered Entry.

Existing: 1,458 SF
Proposed: 1,458 SF (No Changes)

Jim McCandlish

Contractor:

Casa Bonita LLC

1631 NE Broadway St. #721

Portland, OR 97232

CCB: 189948

Drawings:

Precision

9655 SW Sunshine Ct. #700

Beaverton, OR 97005

CCB: 174274



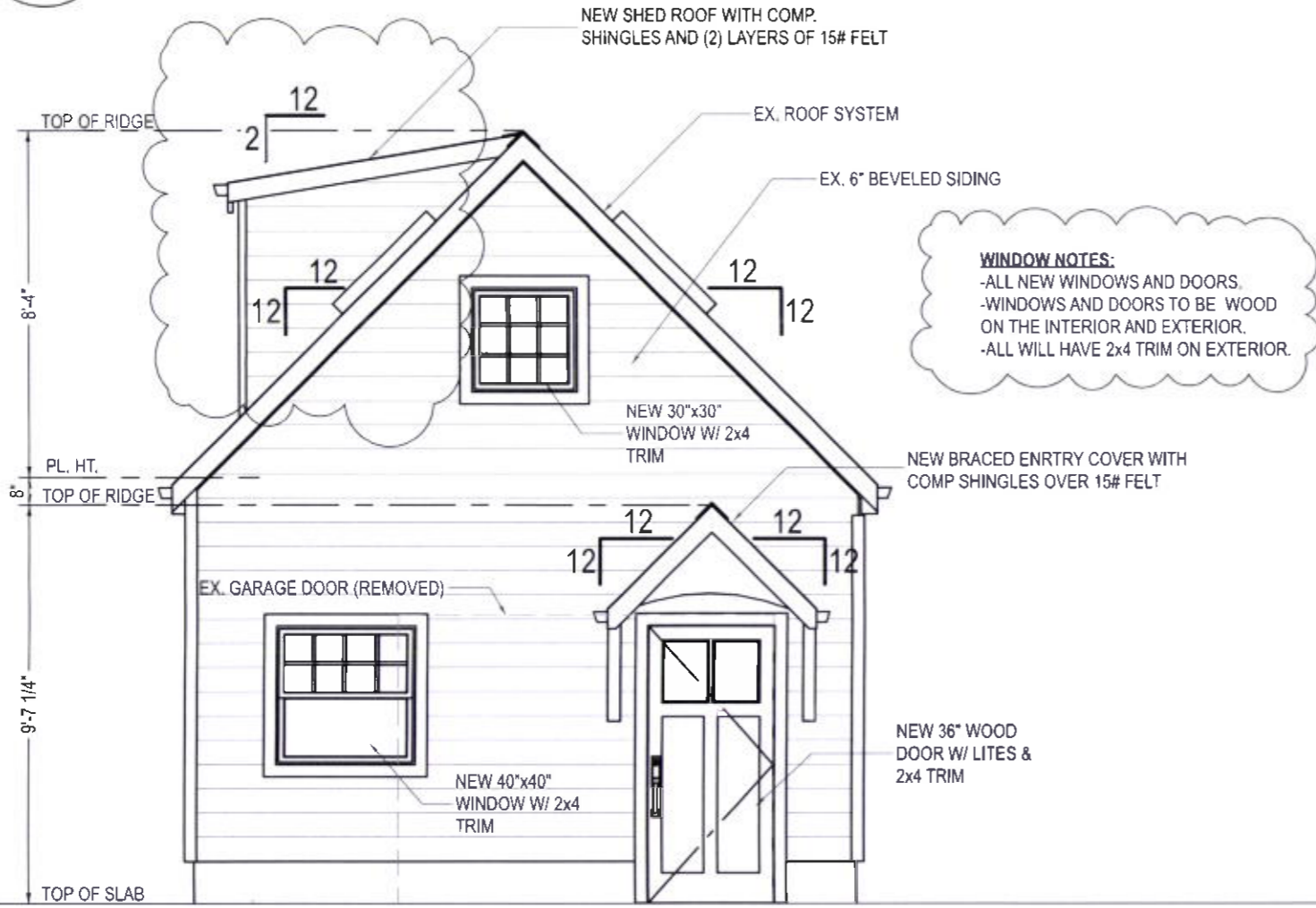
To the best of knowledge these plans are drawn to comply with owner's and/ or builder's specifications and any changes made on them after prints are made will be done at the owner's and / or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. Designer is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.



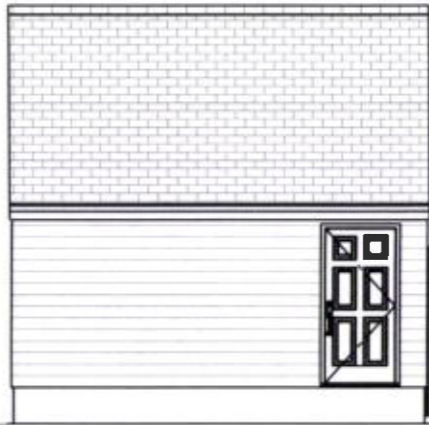
A
2

EX. NORTH-EAST ELEVATION

1/8" = 1'-0"



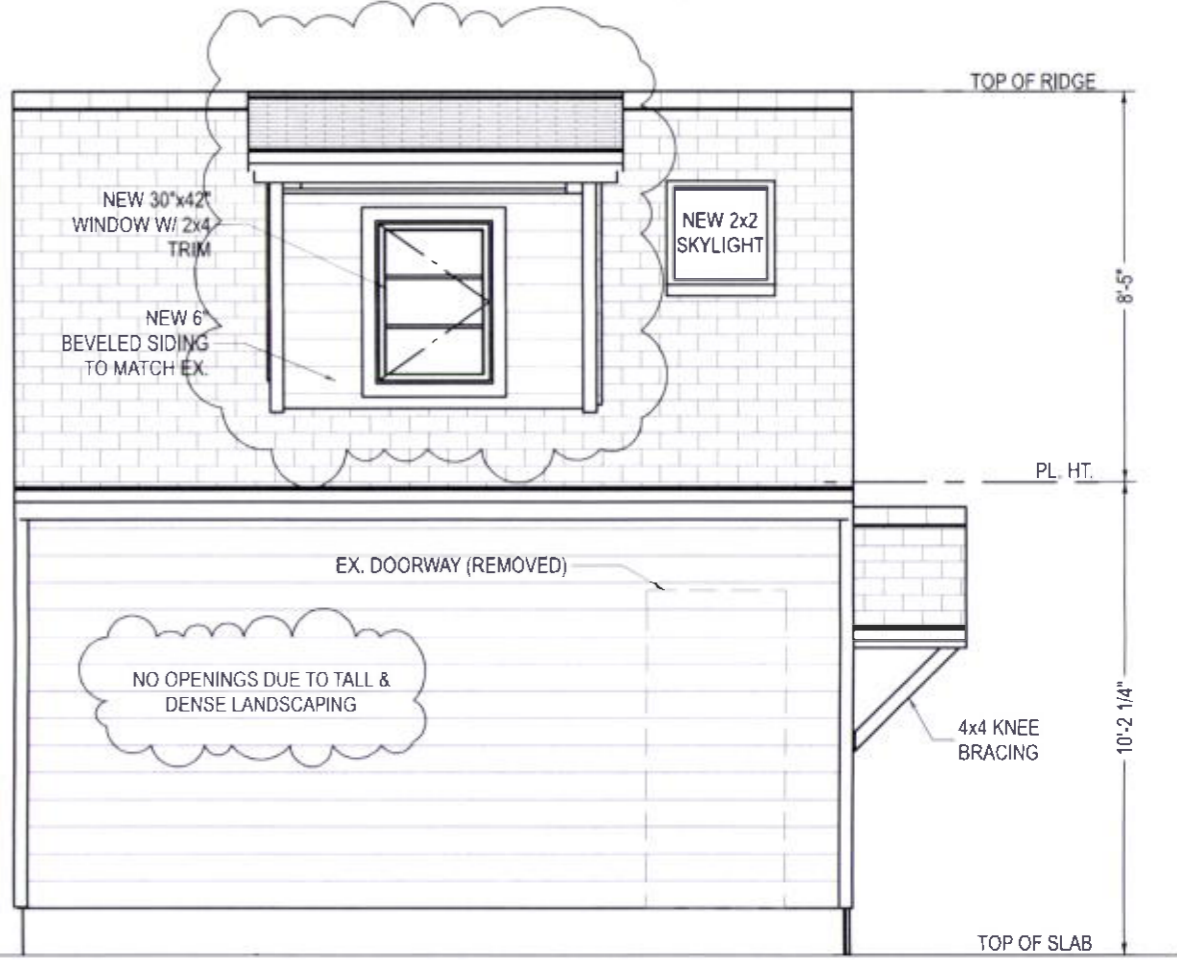
WINDOW NOTES:
-ALL NEW WINDOWS AND DOORS.
-WINDOWS AND DOORS TO BE WOOD ON THE INTERIOR AND EXTERIOR.
-ALL WILL HAVE 2x4 TRIM ON EXTERIOR.



B
2

EX. SOUTH-EAST ELEVATION

1/8" = 1'-0"



C
2

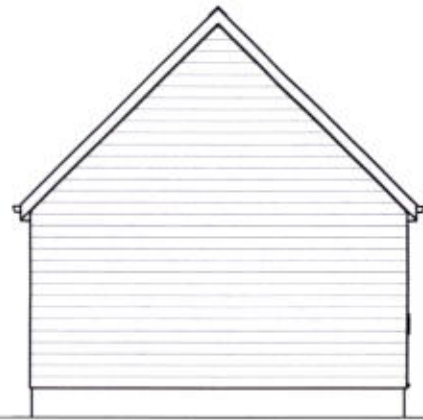
PROP. NORTH-EAST ELEVATION

1/4" = 1'-0"

D
2

PROP. SOUTH-EAST ELEVATION

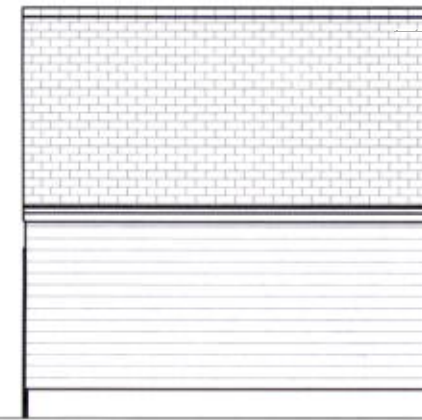
1/4" = 1'-0"



A
3

EX. SOUTH-WEST ELEVATION

1/8" = 1'-0"



B
3

EX. NORTH-WEST ELEVATION

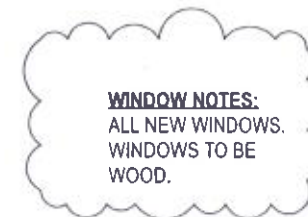
1/8" = 1'-0"



C
3

PROP. SOUTH-WEST ELEVATION

1/4" = 1'-0"



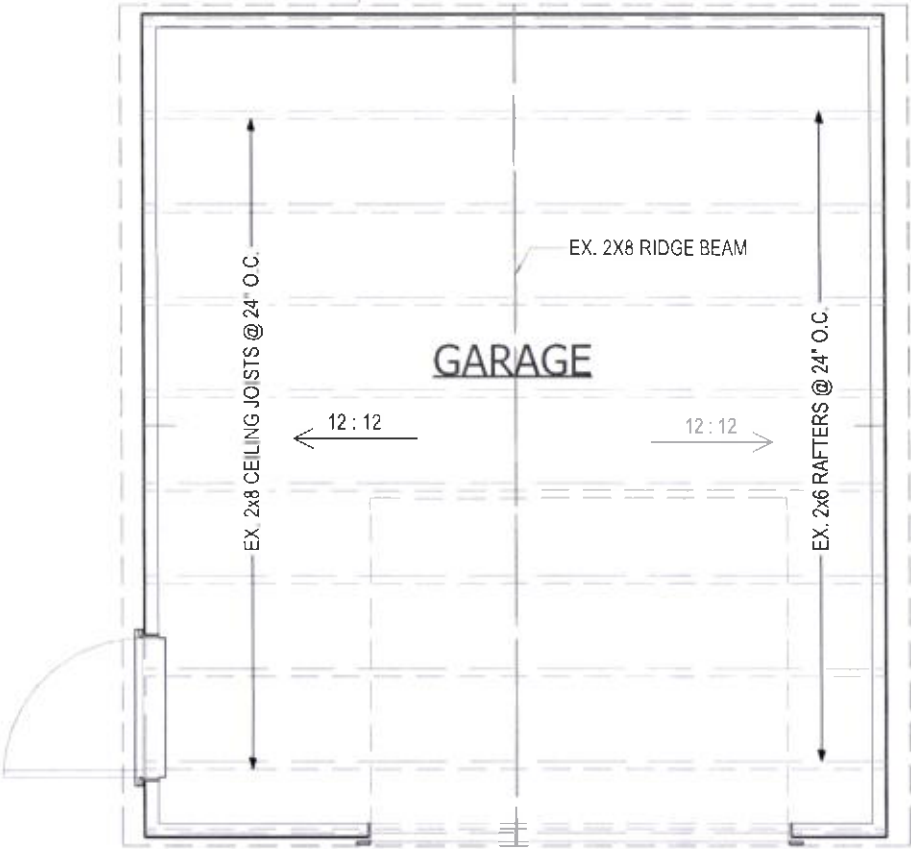
WINDOW NOTES:
ALL NEW WINDOWS.
WINDOWS TO BE
WOOD.



D
3

PROP. NORTH-WEST ELEVATION

1/4" = 1'-0"



A
4

AS-BUILT FLOOR PLAN

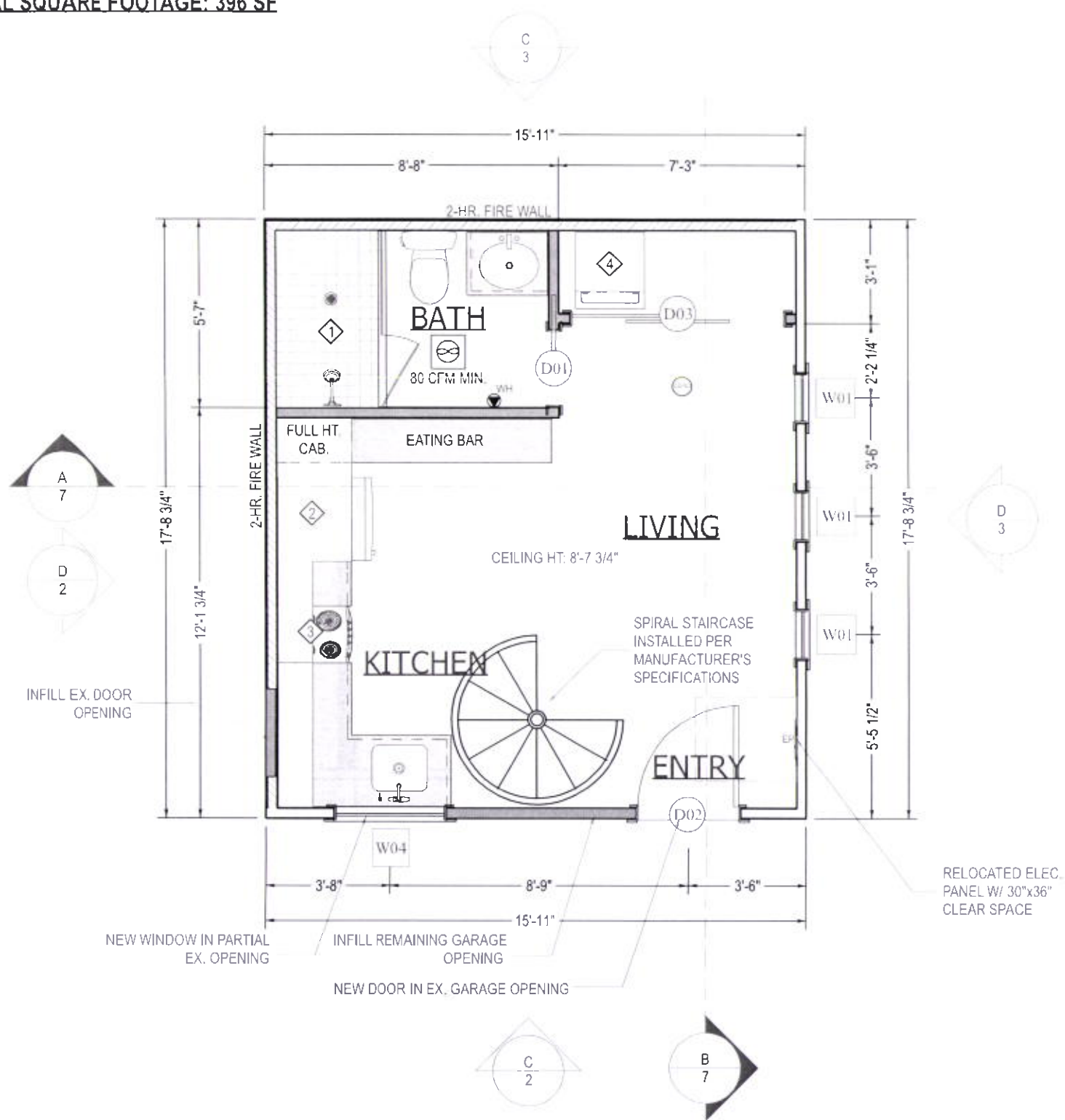
1/4" = 1'-0"

McCANDLISH ADU

MAIN LEVEL SQUARE FOOTAGE: 262 SF

2nd LEVEL SQUARE FOOTAGE: 134 SF

TOTAL SQUARE FOOTAGE: 396 SF



DOOR SCHEDULE							
NUMBER	QTY	FLOOR	WIDTH	HEIGHT	HINGE SIDE	DESCRIPTION	COMMENTS
D01	1	1	26 "	80 "	L	POCKET-PANEL	
D02	1	1	36 "	80 "	R	EXT. ENTRY DOOR W/ LITES	
D03	1	1	74 "	80 "	R	BI-PASS CLOSET DOOR	

WINDOW SCHEDULE								
NUMBER	QTY	FLOOR	WIDTH	HEIGHT	EGRESS	TEMPERED	DESCRIPTION	COMMENTS
W01	3	1	18 "	18 "			FIXED GLASS	
W02	1	2	30 "	30 "			FIXED GLASS	
W03	1	2	30 "	42 "	YES		SINGLE CASEMENT-HR	
W04	1	1	40 "	40 "			SINGLE HUNG	

- 1

TILE SHOWER
- 2

30" REFRIGERATOR
- 3

20" HOOD & RANGE
- 4

STACKED WASHER & DRYER
- 5

TANKLESS WATER HEATER.
ENCLOSING CABINET BUILT TO MANUFACTURERS
MINS.
NEEDS A 20.25" WIDE, 3' TALL, 9.5" DEEP CABINET.
PRODUCT BASED ON "RHEEM, MODEL #RETEX-11"

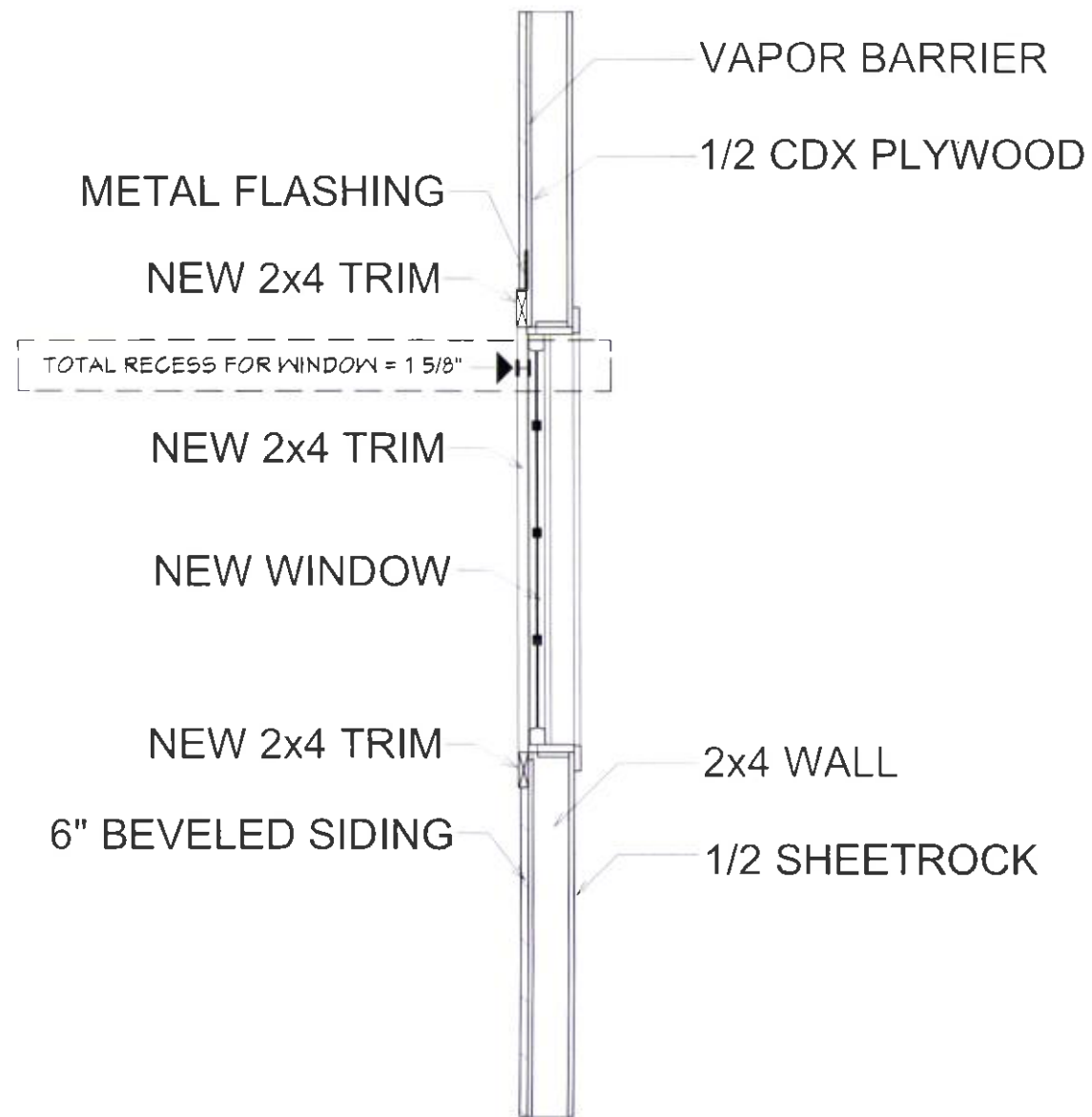
- LEGEND:**
- = EXISTING WALL
- = NEW WALL
- = FIRE WALL
- = CARBON/SMOKE DETECTOR COMBO
- = SMOKE DETECTOR
- = EXHAUST FAN
- = WALL HEATER

A

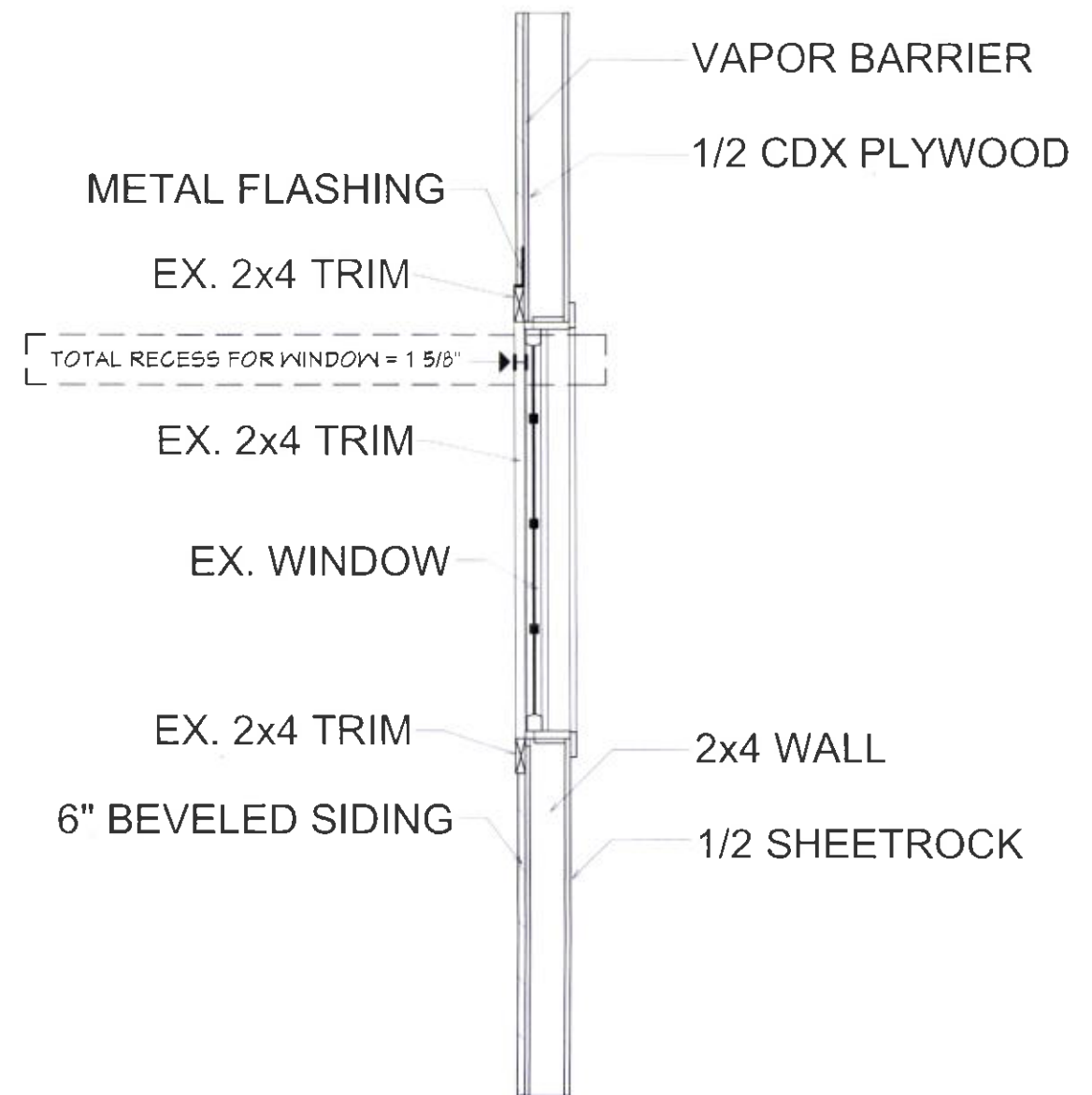
5

MAIN LEVEL FLOOR PLAN

1/4" = 1'-0"



NEW CASEMENT
WINDOW
(ADU)



EXISTING CASEMENT
WINDOW
(RESIDENCE)

Casa Bonita_McCannlish

All wood

Quote #: TWDCZFG

A Proposal for Window and Door Products prepared for:

End Customer:

Casa Bonita

Shipping Address:

PARR LUMBER CO-ALOHA
5600 NW CENTURY BLVD
HILLSBORO, OR 97124-8620

KORY JONES
PARR LUMBER CO-ALOHA
5630 NW CENTURY BLVD
HILLSBORO, OR 97124-8620
Phone: (503) 488-1403
Fax: (503) 614-8595
Email: kory.jones@parr.com

This report was generated on 4/27/2018 1:52:22 PM using the Marvin Order Management System, version 0002.19.00 (Current). Price in USD. Unit availability and price are subject to change. Dealer terms and conditions may apply.

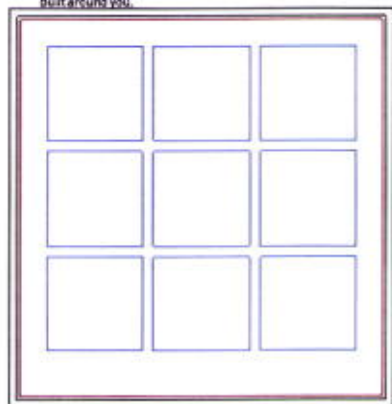
Featuring products from:



LINE ITEM QUOTES

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

Line #1	Mark Unit: STATIONARY	Net Price:	647.40
Qty: 1		Ext. Net Price:	USD 647.40



As Viewed From The Exterior

Entered As: CN

CN 3032

FS 30" X 31 1/8"

RO 31" X 31 5/8"

Egress Information

No Egress Information available.

Performance Information

U-Factor: 0.28

Solar Heat Gain Coefficient: 0.22

Visible Light Transmittance: 0.38

Condensation Resistance: 59

CPD Number: MAR-N-354-05766-00001

ENERGY STAR: NC, SC, S

Performance Grade

Licensee #977

AAMA/WDMA/CSA/101/1 S 2/A440-08

CW-PG50 1016X1220.72 mm (40X48.06 in)

CW-PG50 DP +50/-50

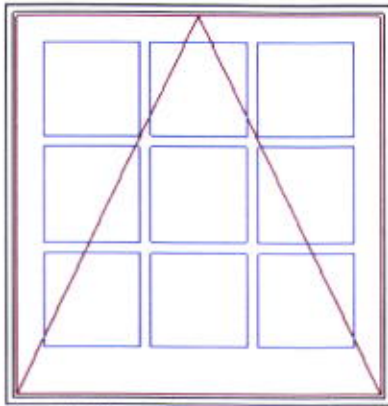
FL13180

Primed Pine Exterior
Primed Pine Interior
Basic Unit
Wood Ultimate Awning - Stationary
CN 3032
Rough Opening w/o Subsill
31" X 31 5/8"
Frame Size w/o Subsill
30" X 31 1/8"
Primed Pine Sash Exterior
Primed Pine Sash Interior
IG - 3/4"
Low E2 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 3W3H
Primed Pine Ext - Primed Pine Int
Match WUDH Interior and Exterior Sash Profiles and Divided Lite Bars
Ovolo Interior Glazing Profile
Tall Bottom Rail
White Weather Strip
Solid Wood Covers
4 9/16" Jambos
Exterior Casing - None
No Subsill
Installed Installation Brackets

Line #2	Mark Unit: VENTING	Net Price:	818.22
Qty: 1		Ext. Net Price:	USD 818.22



Primed Pine Exterior
Primed Pine Interior
Basic Unit
Wood Ultimate Awning - Roto Operating
CN 3032
Rough Opening w/o Subsill
31" X 31 5/8"
Frame Size w/o Subsill
30" X 31 1/8"
Primed Pine Sash Exterior
Primed Pine Sash Interior
IG - 3/4"
Low E2 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 3W3H
Primed Pine Ext - Primed Pine Int
Match WUDH Interior and Exterior Sash Profiles and Divided Lite Bars



As Viewed From The Exterior

Entered As: CN

CN 3032

FS 30" X 31 1/8"

RO 31" X 31 5/8"

Egress Information

No Egress Information available.

Performance Information

U-Factor: 0.28

Solar Heat Gain Coefficient: 0.22

Visible Light Transmittance: 0.38

Condensation Resistance: 59

CPD Number: MAR-N-354-05766-00001

ENERGY STAR: NC, SC, S

Performance Grade

Licensee #977

AAMA/WDMA/CSA/101/ I.S.2/A440-08

CW-PG50 1016X1221 mm (40X48.06 in)

CW-PG50 DP +50/-50

FL13180

Ovolo Interior Glazing Profile
Tall Bottom Rail
White Weather Strip
Oil Rubbed Bronze Folding Handle
Oil Rubbed Bronze Multi - Point Lock
Aluminum Screen
White Surround
Charcoal Fiberglass Mesh
4 9/16" Jamb
Exterior Casing - None
No Subsill
Installed Installation Brackets

Project Subtotal Net Price: USD	1,465.62
0.000% Sales Tax: USD	0.00
Project Total Net Price: USD	1,465.62

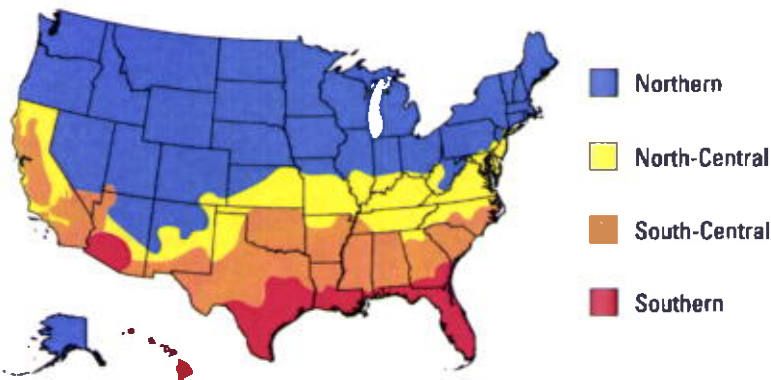
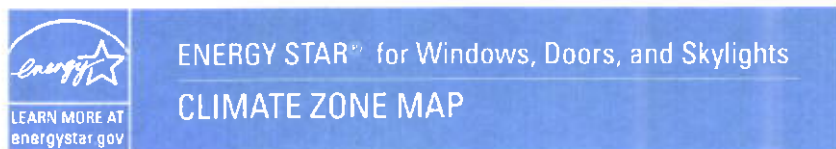
Product and Performance Information

NFRC energy ratings and values may vary depending on the exact configuration of glass thickness used on the unit. This data may change over time due to ongoing product changes or updated test results or requirements.

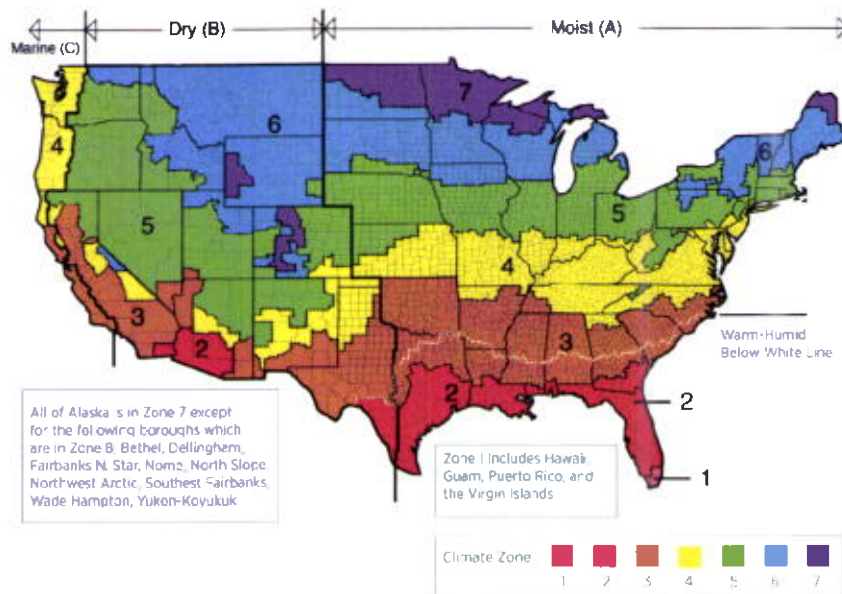
The National Fenestration Rating Council (NFRC) has developed and operates a uniform national rating system for the energy performance of fenestration products, including windows and doors. For additional information regarding this rating system, see www.nfrc.org/WindowRatings.

NFRC energy values and ratings may change over time due to ongoing product changes, updated test results or requirements.

Review the map below to determine if your units meet ENERGY STAR for your location.



International Energy Conservation Code (IECC) Climate Regions



PARR LUMBER 755 NW 185TH ALOHA OR, 97006

SOLD TO:	Casa Bonita	CONTRACTOR	PO#
SHIP TO:	PARR HILLSBORO LOGISTICS	SALESPERSON:	KORY JONES
	Jim McCanlish	ORDER DATE	
		DELIVERY DATE:	
		PARR 'S ORDER #	
		PHONE	
		VENDOR ORDER #:	

ALLIANCE																			
LINE	QTY	SIZE	SWING	THICK	CORE	SPECIES	STYLE	LOCK	BORE	E/P	SIZE	TYPE	SPECIES	SILL	B/M	FINISH	W/S	ROOM	PRICE
1	1	3/0 x 6/8	?			FIR	6802		2		6-9/16		F/J-Primed	B 'Z'					\$820.00
2																			
3																			
4																			
5																			
6																			
7																			
8																			
9																			
10																			
11																			
12																			
13																			
14																			
15																			
16																			
17																			
18																			
19																			
20																			



LEFT HAND	INSIDE	RIGHT HAND
RIGHT HAND OUT	OUTSIDE	LEFT HAND OUT

COMMENT
APPROVAL

\$ (UNLESS NOTED OTHERWISE)

Casa Bonita_McCanlish

All Wood

Quote #: 67PAZP4

A Proposal for Window and Door Products prepared for:

End Customer:

Casa Bonita

Shipping Address:

PARR LUMBER CO-ALOHA
5600 NW CENTURY BLVD
HILLSBORO, OR 97124-8620

KORY JONES
PARR LUMBER CO-ALOHA
5630 NW CENTURY BLVD
HILLSBORO, OR 97124-8620
Phone: (503) 488-1403
Fax: (503) 614-8595
Email: kory.jones@parr.com

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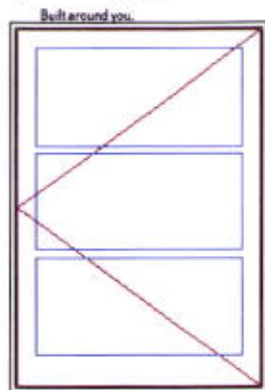
Featuring products from:



LINE ITEM QUOTES

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

Line #1	Mark Unit: standard size	Net Price:	776.88
Qty: 1		Ext. Net Price:	776.88



As Viewed From The Exterior

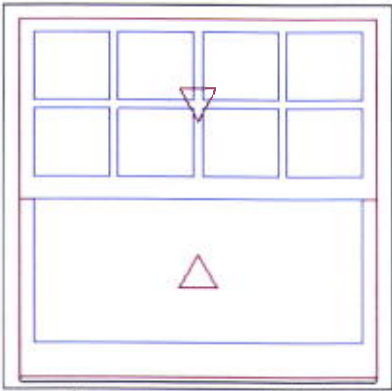
Entered As: CN
CN 3044
FS 30" X 43 1/8"
RO 31" X 43 5/8"
Egress Information
Width: 22 57/64" Height: 38 1/64"
Net Clear Opening: 6.04 SqFt
Performance Information
U-Factor: 0.28
Solar Heat Gain Coefficient: 0.25
Visible Light Transmittance: 0.42
Condensation Resistance: 59
CPD Number: MAR-N-347-07204-00001
ENERGY STAR: NC, SC, S
Performance Grade
Licensee #1067
AAMA/WDMA/CSA/101/ I.S.2/A440-08
CW-PG50 914X2442 mm (36X96.13 in)
CW-PG50 DP +50/-50
FL 13145

Primed Pine Exterior
Primed Pine Interior
Basic Unit
Wood Ultimate Casement - Left Hand
CN 3044
Rough Opening w/o Subsill
31" X 43 5/8"
Frame Size w/o Subsill
30" X 43 1/8"
Primed Pine Sash Exterior
Primed Pine Sash Interior
IG - 3/4"
Low E2 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 1W3H
Primed Pine Ext - Primed Pine Int
Match WUDH Interior and Exterior Sash Profiles and Divided Lite Bars
Ovolo Interior Glazing Profile
Tall Bottom Rail
White Weather Strip
Oil Rubbed Bronze Folding Handle
Oil Rubbed Bronze Multi - Point Lock
Aluminum Screen
White Surround
Charcoal Fiberglass Mesh
4 9/16" Jambs
Exterior Casing - None
No Subsill
Installed Installation Brackets

Line #2	Mark Unit: standard size	Net Price:	806.52
Qty: 1		Ext. Net Price:	806.52



Primed Pine Exterior
Primed Pine Interior
Basic Unit
Wood Ultimate Double Hung
CN 3616
Rough Opening w/o Subsill
42 3/8" X 40 13/32"
Top Sash
Primed Pine Sash Exterior
Primed Pine Sash Interior
IG
Low E2 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Standard Cut 4W2H
Primed Pine Ext - Primed Pine Int
Ovolo Exterior Glazing Profile

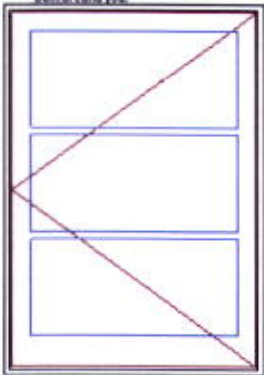


As Viewed From The Exterior

Entered As: CN
CN 3616
FS 41 3/8" X 39 29/32"
RO 42 3/8" X 40 13/32"
Egress Information
Width: 37 13/16" Height: 14 1/4"
Net Clear Opening: 3.74 SqFt
Performance Information
U-Factor: 0.29
Solar Heat Gain Coefficient: 0.26
Visible Light Transmittance: 0.45
Condensation Resistance: 57
CPD Number: MAR-N-75-05573-00001
ENERGY STAR: NC
Performance Grade
Licensee #1109
AAMA/WDMA/CSA/101/ I.S.2/A440-08
LC-PG40 1051X2464 mm (41.38X97 in)
LC-PG40 DP +40/-40
FL15206

Ovolo Interior Glazing Profile
Bottom Sash
Primed Pine Sash Exterior
Primed Pine Sash Interior
IG - 1 Lite
Low E2 w/Argon
Stainless Perimeter Bar
Ovolo Exterior Glazing Profile
Ovolo Interior Glazing Profile
Oil Rubbed Bronze Sash Lock
Beige Jamb Hardware
Non Finger-Jointed Blindstop
Aluminum Screen
Stone White Surround
Charcoal Fiberglass Mesh
***Screen/Combo Ship Loose
4 9/16" Jamb
Exterior Casing - None
No Subsill
Non Finger-Jointed Sill
Installed Installation Brackets
***Note: Screen/Combo/Storm OSM based on factory applied casing and subsill. Field application may require special sizing.

Line #3	Mark Unit: Custom size	Net Price:		849.42
Qty: 1		Ext. Net Price:	USD	849.42



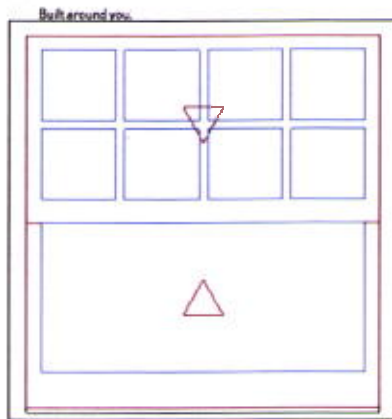
As Viewed From The Exterior

Entered As: RO
FS 29" X 41 1/2"
RO 30" X 42"
Egress Information
Width: 21 57/64" Height: 36 25/64"
Net Clear Opening: 5.53 SqFt
Performance Information
U-Factor: 0.28
Solar Heat Gain Coefficient: 0.25
Visible Light Transmittance: 0.42

Primed Pine Exterior
Primed Pine Interior
Basic Unit
Wood Ultimate Casement - Left Hand
Rough Opening w/o Subsill
30" X 42"
Frame Size w/o Subsill
29" X 41 1/2"
Primed Pine Sash Exterior
Primed Pine Sash Interior
IG - 3/4"
Low E2 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 1W3H
Primed Pine Ext - Primed Pine Int
Match WUDH Interior and Exterior Sash Profiles and Divided Lite Bars
Ovolo Interior Glazing Profile
Tall Bottom Rail
White Weather Strip
Oil Rubbed Bronze Folding Handle
Oil Rubbed Bronze Multi - Point Lock
Aluminum Screen
White Surround
Charcoal Fiberglass Mesh
4 9/16" Jamb
Exterior Casing - None
No Subsill
Installed Installation Brackets

Condensation Resistance: 59
CPD Number: MAR-N-347-07204-00001
ENERGY STAR: NC, SC, S
Performance Grade
Licensee #1067
AAMA/WDMA/CSA/101/ I.S. 2/A440-08
CW-PG50 914X2442 mm (36X96.13 in)
CW-PG50 DP +50/-50
FL 13145

Line #4	Mark Unit: Custom size	Net Price:		917.28
Qty: 1		Ext. Net Price:	USD	917.28



As Viewed From The Exterior

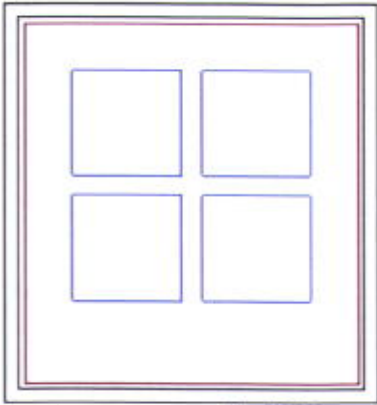
Entered As: RO
FS 39" X 39 1/2"
RO 40" X 40"
Egress Information
Width: 35 7/16" Height: 14 3/64"
Net Clear Opening: 3.46 SqFt
Performance Information
U-Factor: 0.29
Solar Heat Gain Coefficient: 0.26
Visible Light Transmittance: 0.45
Condensation Resistance: 57
CPD Number: MAR-N-75-05573-00001
ENERGY STAR: NC
Performance Grade
Licensee #1109
AAMA/WDMA/CSA/101/ I.S. 2/A440-08
LC-PG40 1051X2464 mm (41.38X97 in)
LC-PG40 DP +40/-40
FL15206

Primed Pine Exterior
Primed Pine Interior
Basic Unit
Wood Ultimate Double Hung
Rough Opening w/o Subsill
40" X 40"
Top Sash
Primed Pine Sash Exterior
Primed Pine Sash Interior
IG
Low E2 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 4W2H
Primed Pine Ext - Primed Pine Int
Ovolo Exterior Glazing Profile
Ovolo Interior Glazing Profile
Bottom Sash
Primed Pine Sash Exterior
Primed Pine Sash Interior
IG - 1 Lite
Low E2 w/Argon
Stainless Perimeter Bar
Ovolo Exterior Glazing Profile
Ovolo Interior Glazing Profile
Oil Rubbed Bronze Sash Lock
Beige Jamb Hardware
Non Finger-Jointed Blindstop
Aluminum Screen
Stone White Surround
Charcoal Fiberglass Mesh
***Screen/Combo Ship Loose
4 9/16" Jamb
Exterior Casing - None
No Subsill
Non Finger-Jointed Sill
Installed Installation Brackets
***Note: Screen/Combo/Storm OSM based on factory applied casing and subsill. Field application may require special sizing

Line #5	Mark Unit: standard size	Net Price:		470.34
Qty: 3		Ext. Net Price:	USD	1,411.02



Primed Pine Exterior
Primed Pine Interior
Basic Unit
Wood Ultimate Casement - Stationary
CN 1618
Rough Opening w/o Subsill
17" X 17 5/8"
Frame Size w/o Subsill
16" X 17 1/8"
Primed Pine Sash Exterior
Primed Pine Sash Interior
IG - 3/4"
Low E2
Capillary Tube



As Viewed From The Exterior

Entered As: CN

CN 1618

FS 16" X 17 1/8"

RO 17" X 17 5/8"

Egress Information

No Egress Information available.

Performance Information

Product Performance Information is currently unavailable in the OMS for this product and glazing option. To request product performance information not in the OMS, contact your Marvin representative or submit an Assistance Request.

Performance Grade

Licensee #1067

AAMA/WDMA/CSA/101/ I.S.2/A440-08

CW-PG50 914X2442 mm (36X96.13 in)

CW-PG50 DP +50/-50

FL 13145

Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 2W2H
Primed Pine Ext - Primed Pine Int
Ogee Interior Glazing Profile
Tall Bottom Rail
White Weather Strip
Solid Wood Covers
4 9/16" Jambs
Exterior Casing - None
No Subsill
Installed Installation Brackets

Project Subtotal Net Price: USD	4,761.12
0.000% Sales Tax: USD	0.00
Project Total Net Price: USD	4,761.12

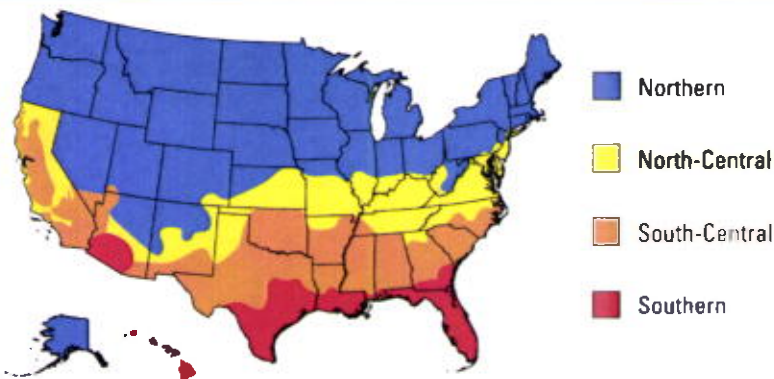
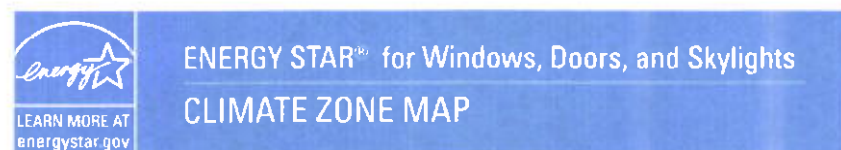
Product and Performance Information

NFRC energy ratings and values may vary depending on the exact configuration of glass thickness used on the unit. This data may change over time due to ongoing product changes or updated test results or requirements.

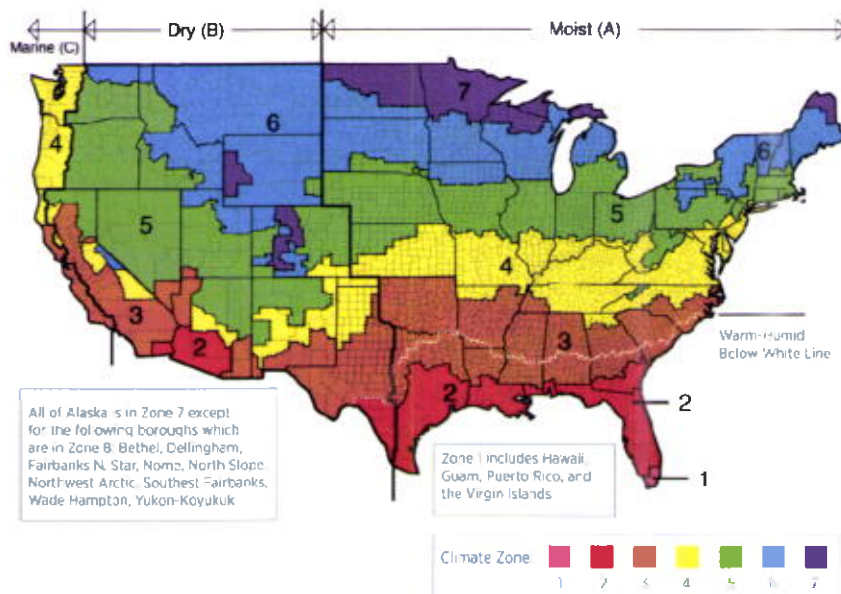
The National Fenestration Rating Council (NFRC) has developed and operates a uniform national rating system for the energy performance of fenestration products, including windows and doors. For additional information regarding this rating system, see www.nfrc.org/WindowRatings.

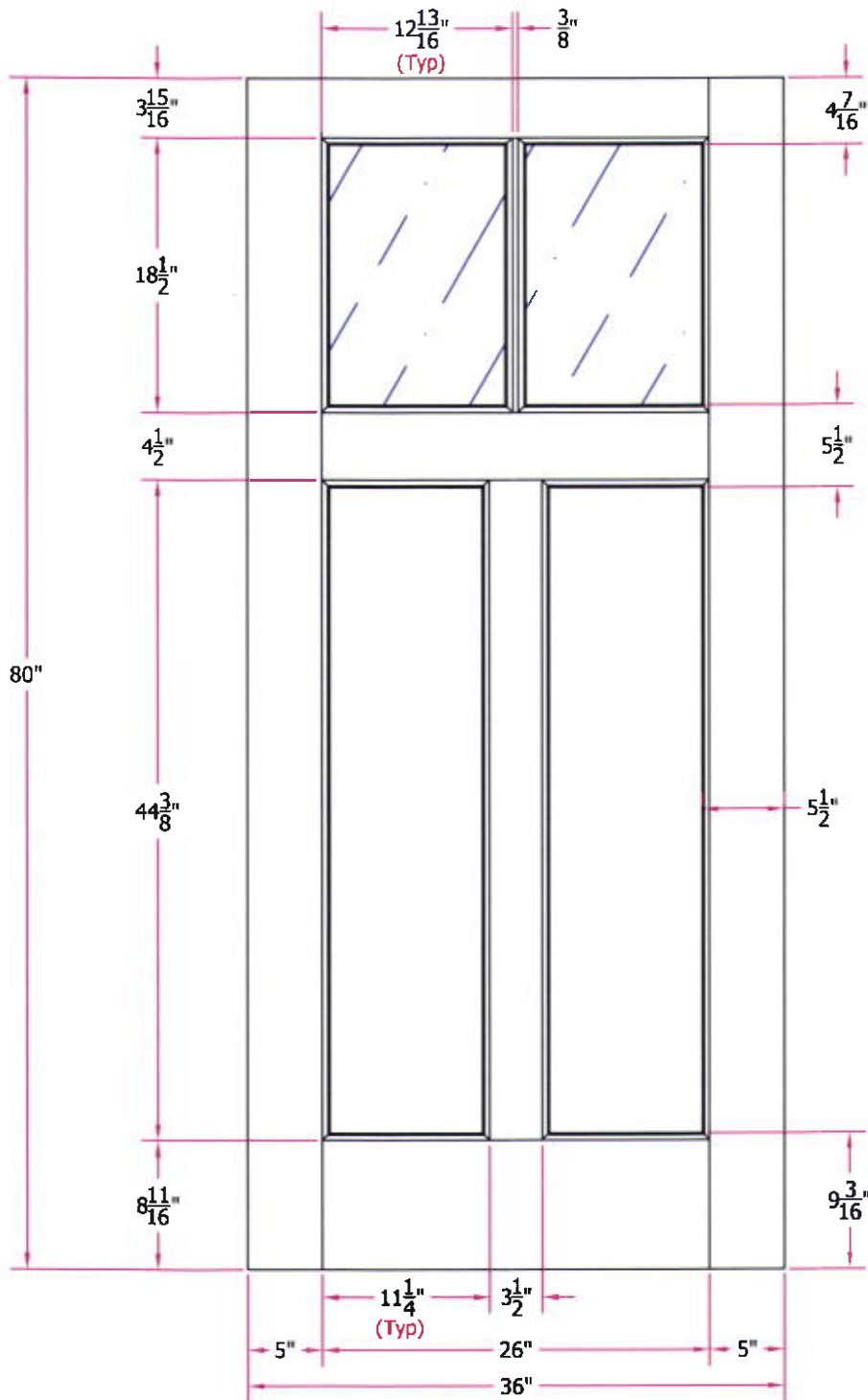
NFRC energy values and ratings may change over time due to ongoing product changes, updated test results or requirements.

Review the map below to determine if your units meet ENERGY STAR for your location.



International Energy Conservation Code (IECC) Climate Regions





THIS DRAWING AND THE INFORMATION CONTAINED HEREIN IS PROPRIETARY TO SIMPSON DOOR COMPANY AND SHALL NOT BE REPRODUCED, COPIED OR DISCLOSED IN WHOLE OR PART, OR USED FOR MANUFACTURE OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF SIMPSON DOOR COMPANY.

Revisions

Rev. #	Description	Date	by Whom

TITLE 6802 3/0 x 6/8
Customer Layout

DRAWING NO. D-6802-300-608-0700

LAYOUT 00 SCALE NTS PATTERN # 7013

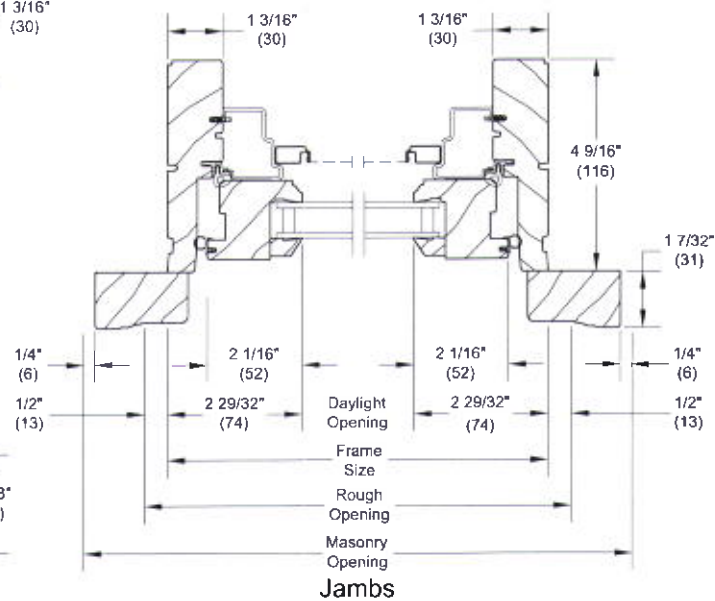
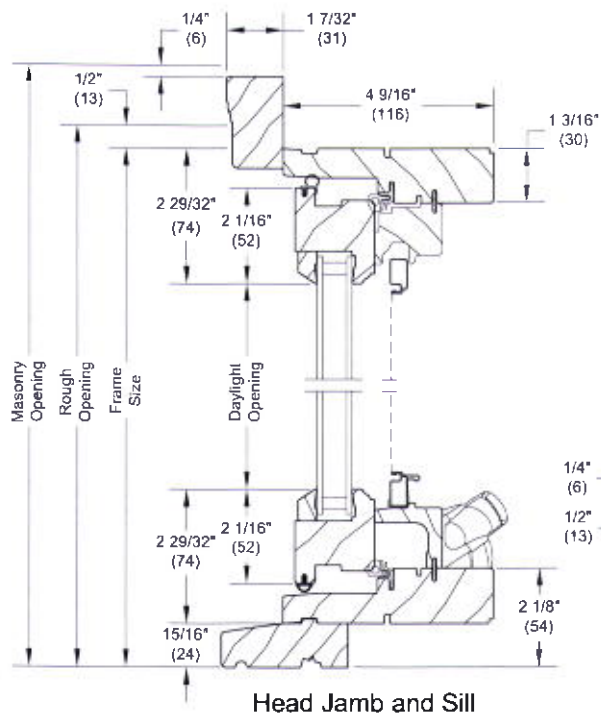
DRAWN BY: J. Decker DATE 10/20/05

Simpson®

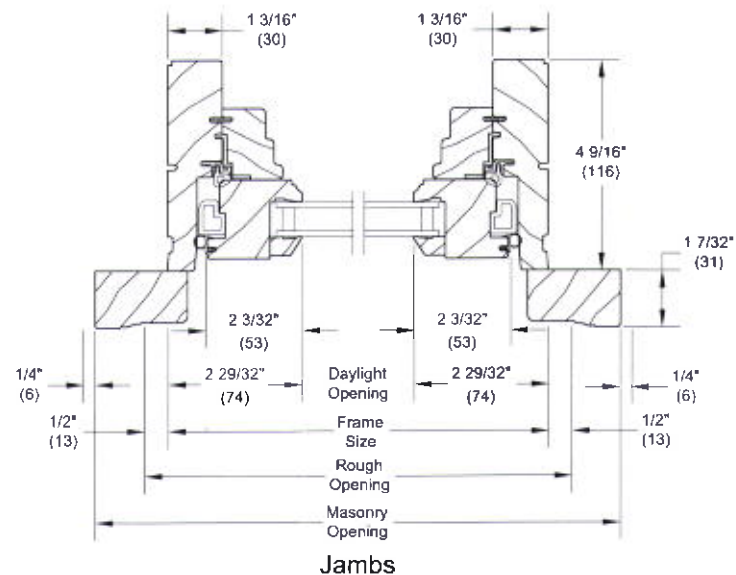
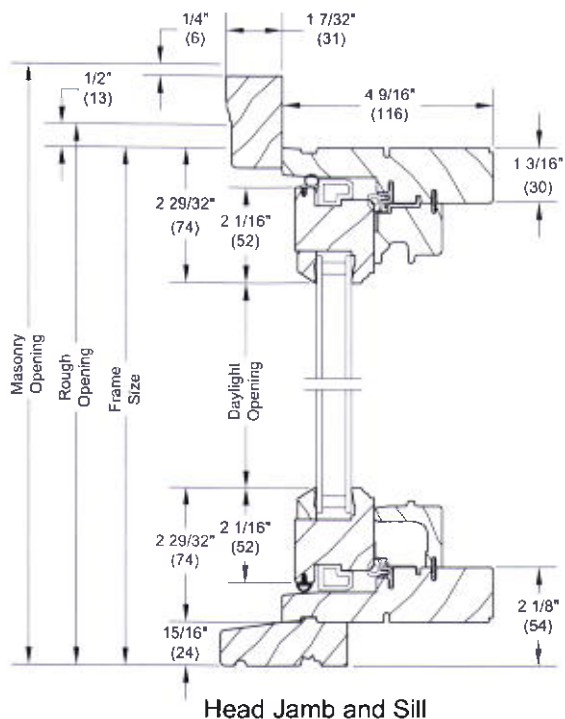
Section Details: Operating and Stationary / Picture - 3/4" (19) IG

Scale: 3" = 1' 0"

Operating



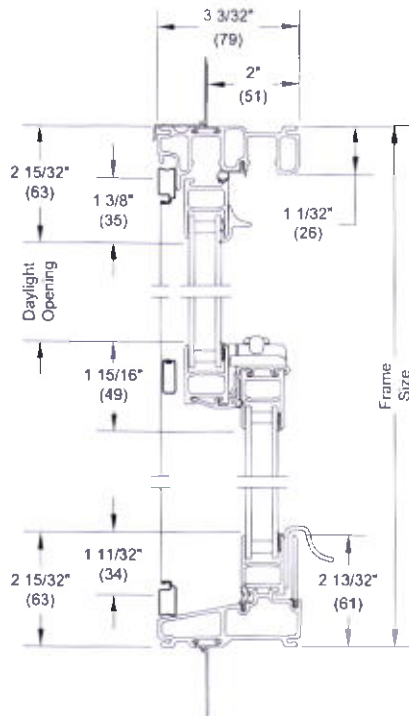
Stationary



All Ultrex Double Hung

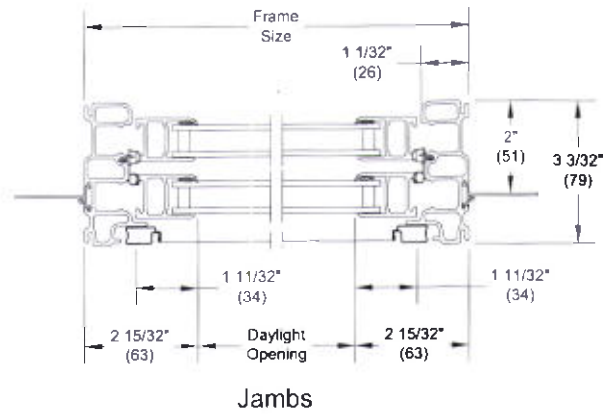
Section Details: Operator

Scale: 3" = 1' 0"

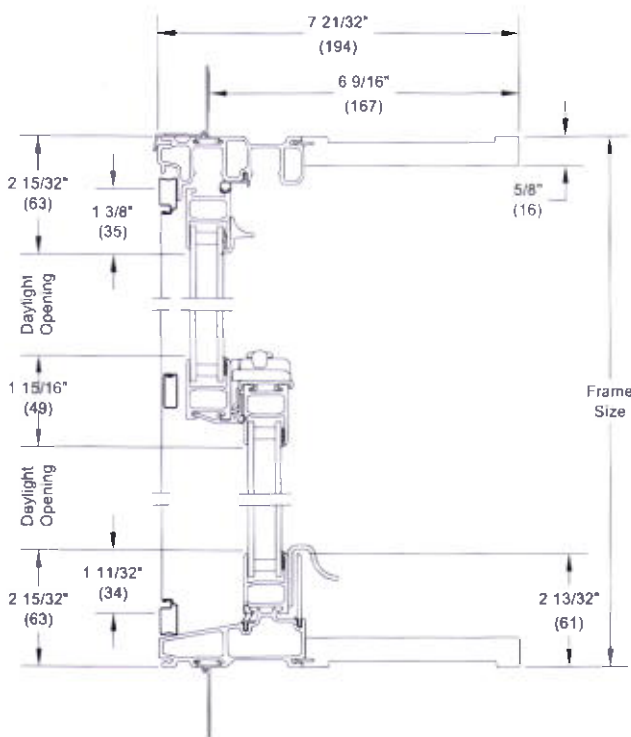


Head Jamb and Sill

Operating - 2" (51)

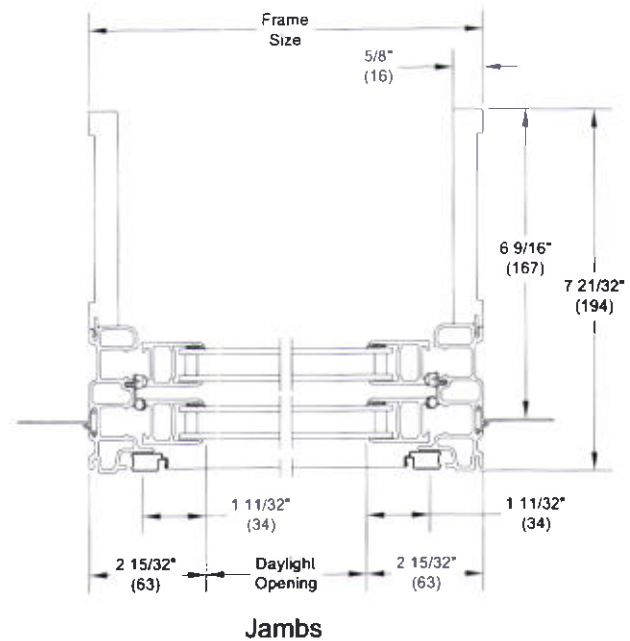


Jambs



Head Jamb and Sill

Operating - 6 9/16" (167)



Jambs

NOTE: Units also available with 4 9/16" jamb. Same jamb extension profile as 6 9/16" jamb extension shown.



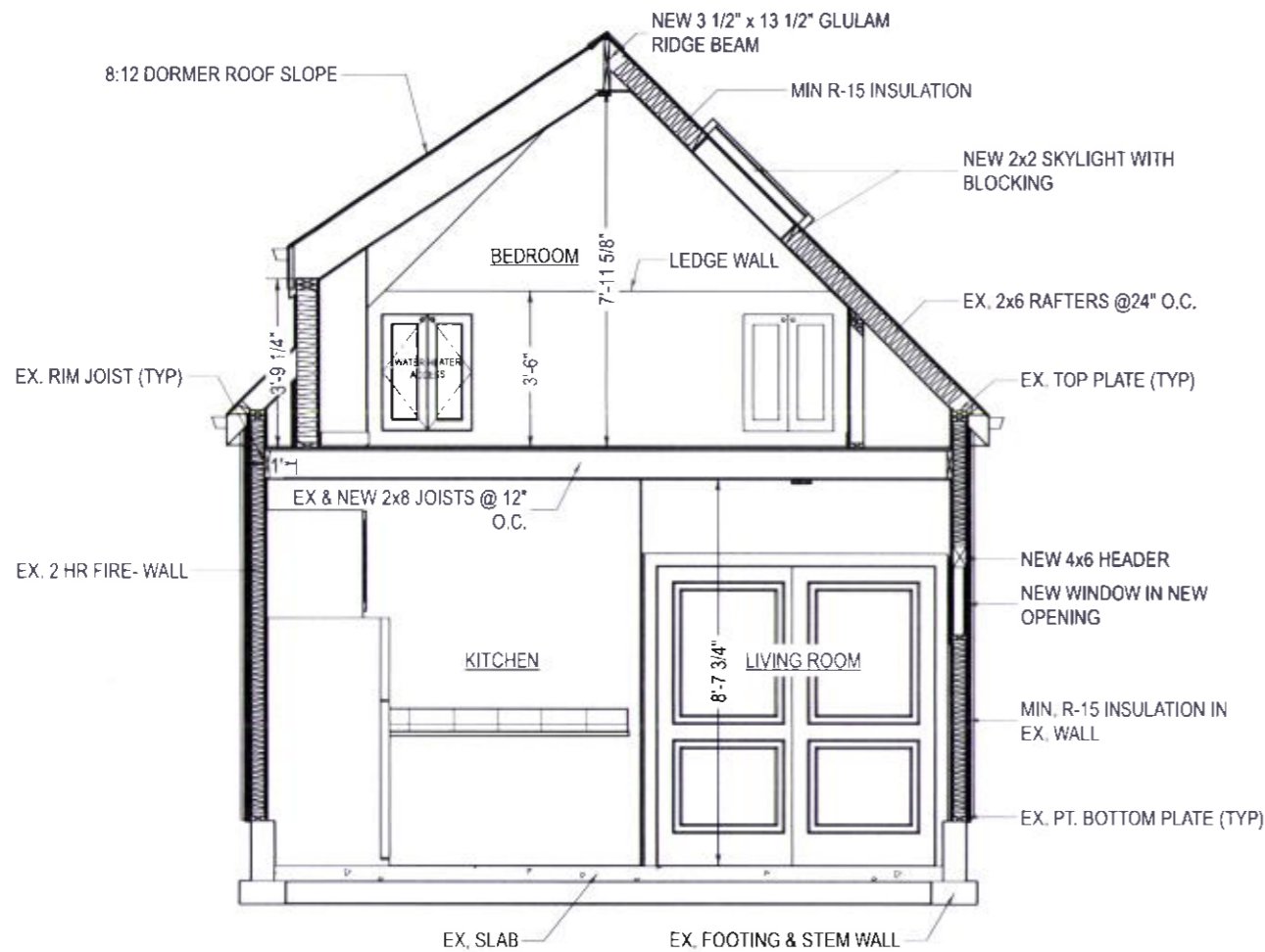






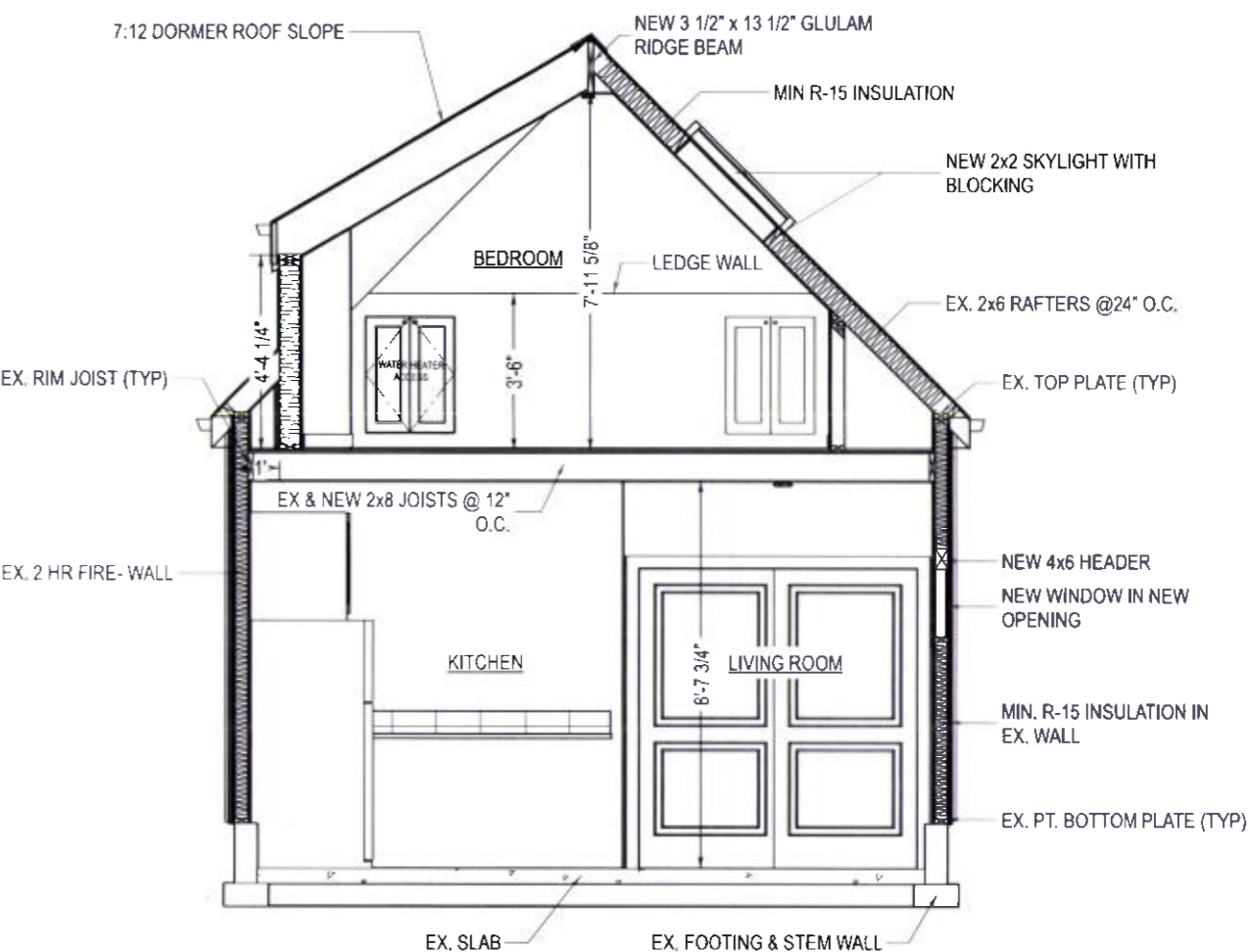
McCANDLISH ADU

SHED DORMER ROOF REVIEW
STRUCTURAL DETAILS & ANNOTATIONS INCOMPLETE.
DRAWINGS FOR SHED DORMER REVIEW ONLY.



A
1 DORMER SECTION 8:12
1/4" = 1'-0"

8:12 SHED ROOF DOES NOT ALLOW FOR EGRESS WINDOW.
CEILING HEIGHT DOES NOT MEET MINIMUM REQUIREMENT
OF 6'-8" COMPRISING AT LEAST 50% OF ROOM AREA.
CEILINGS UNDER 5'-0" DO NOT COUNT TOWARDS ROOM
AREA.



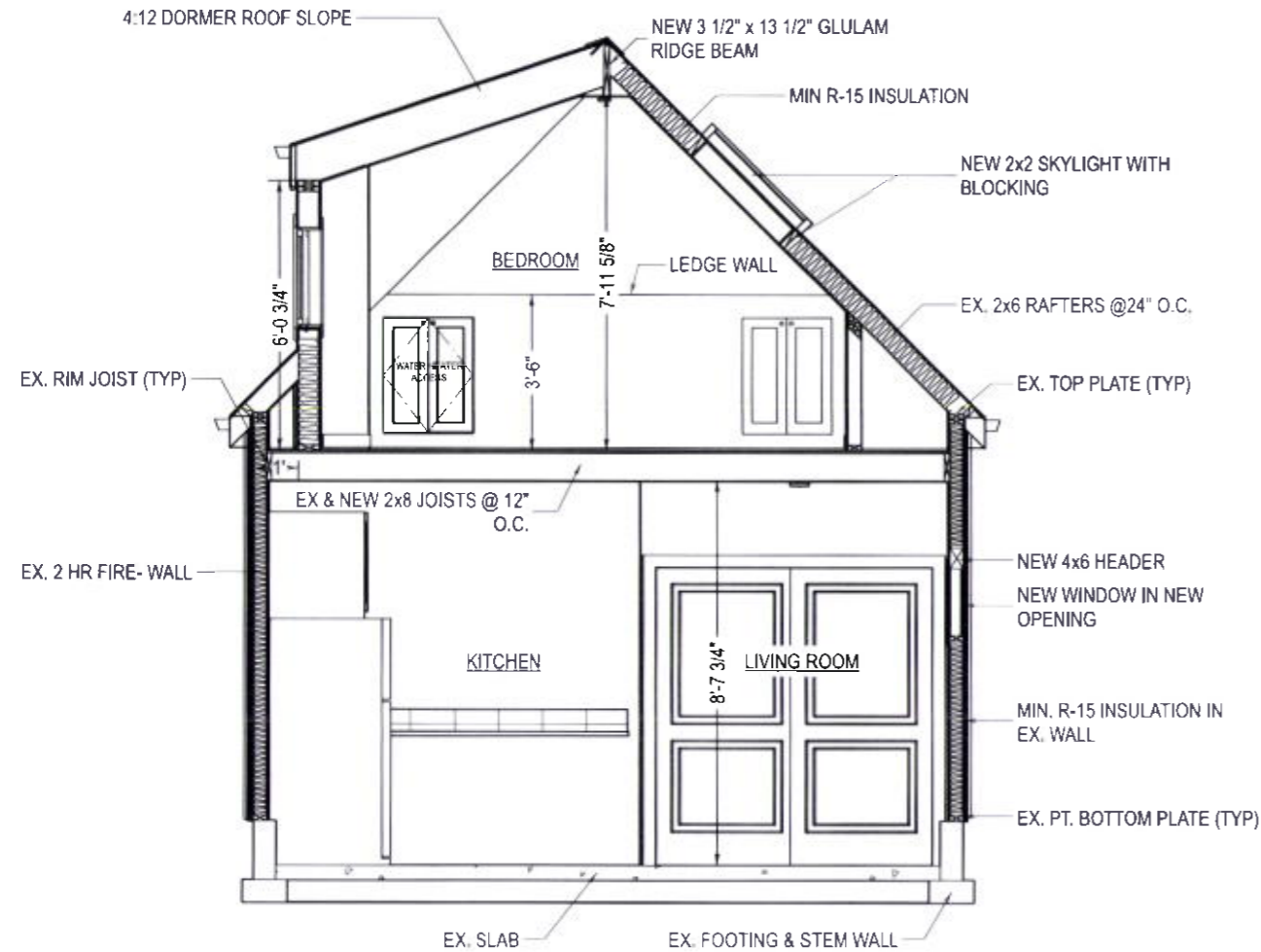
A
2 DORMER SECTION 7:12
1/4" = 1'-0"

7:12 SHED ROOF DOES NOT ALLOW FOR EGRESS WINDOW.
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McCANDLISH ADU

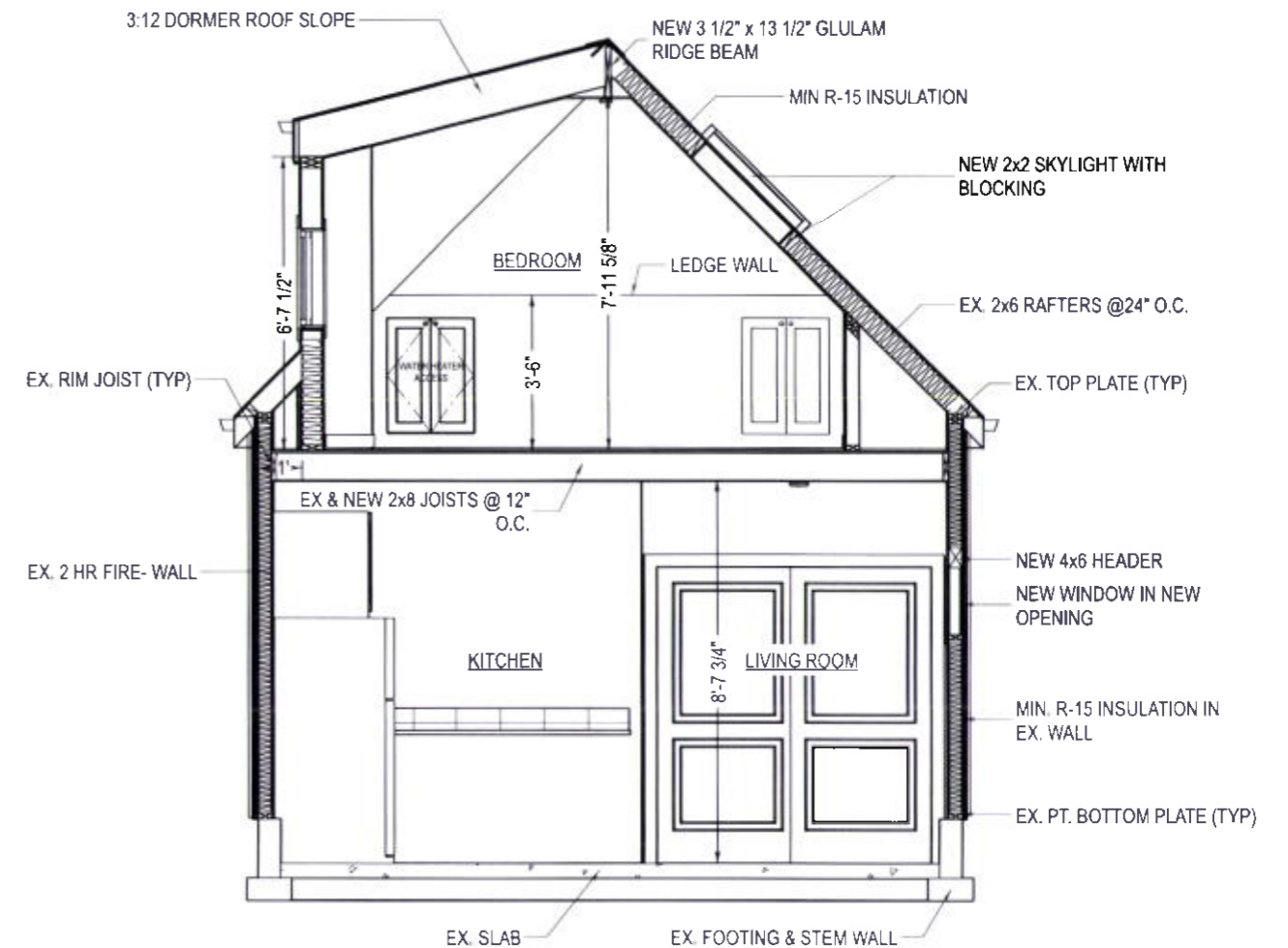
SHED DORMER ROOF REVIEW
STRUCTURAL DETAILS & ANNOTATIONS INCOMPLETE.
DRAWINGS FOR SHED DORMER REVIEW ONLY.

5.7598ft
20/24"



C
1 DORMER SECTION 4:12
1/4" = 1'-0"

4:12 SHED ROOF DOES ALLOW FOR EGRESS WINDOW.
CEILING HEIGHT DOES NOT MEET MINIMUM REQUIREMENT
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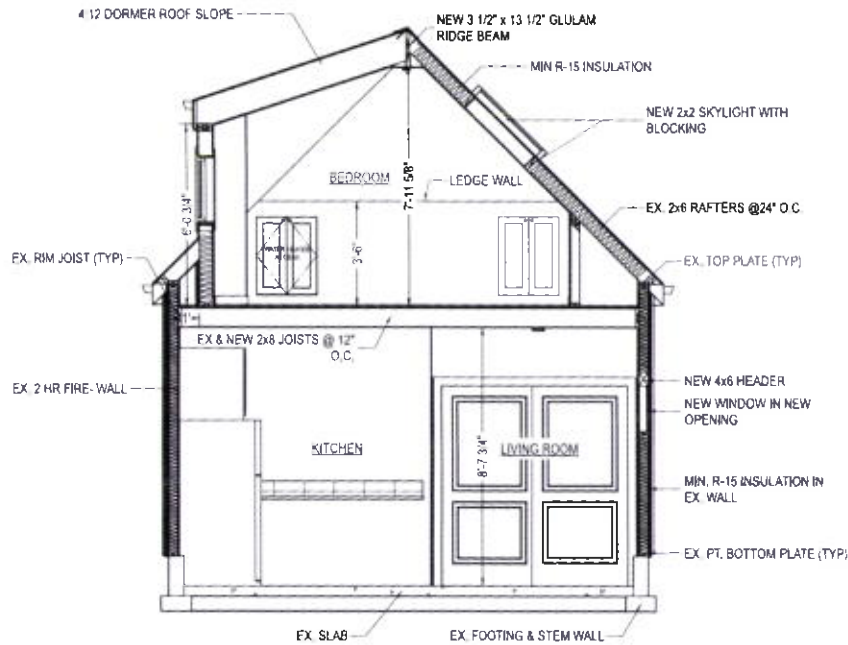
C
2 DORMER SECTION 3:12
1/4" = 1'-0"

6:12 SHED ROOF DOES ALLOW FOR EGRESS WINDOW.
CEILING HEIGHT DOES MEET MINIMUM REQUIREMENT OF
6'-8" COMPRISING AT LEAST 50% OF ROOM AREA.
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AREA.

6-13

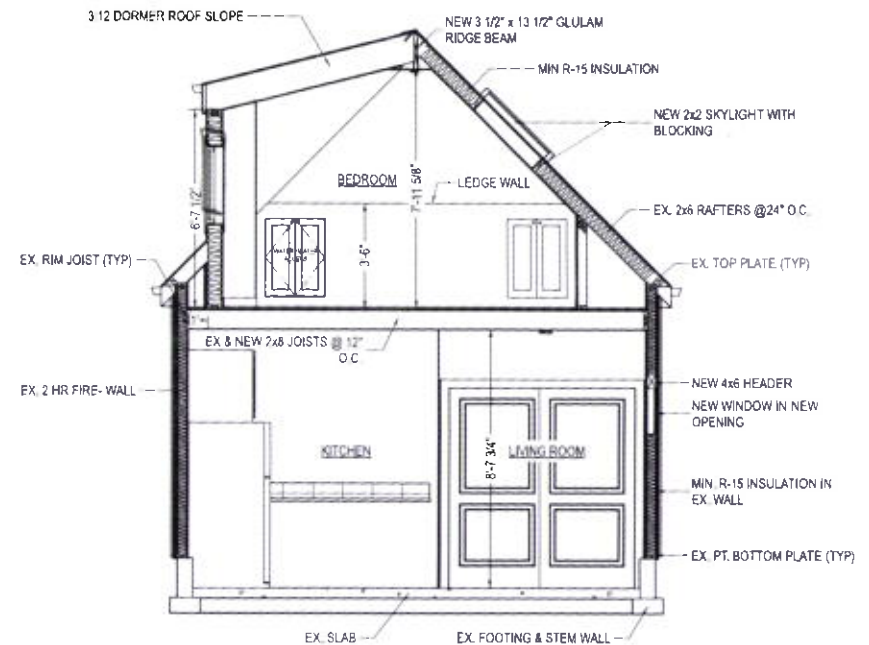
McCANDLISH ADU

SHED DORMER ROOF REVIEW
STRUCTURAL DETAILS & ANNOTATIONS INCOMPLETE,
DRAWINGS FOR SHED DORMER REVIEW ONLY.



C-1
1 DORMER SECTION 4:12
1/4" = 1'-0"

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C-1
2 DORMER SECTION 3:12
1/4" = 1'-0"

6:12 SHED ROOF DOES ALLOW FOR EGRESS WINDOW.
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AREA.

A-9

SHED DORMER ROOF REVIEW
STRUCTURAL DETAILS & ANNOTATIONS INCOMPLETE.
DRAWINGS FOR SHED DORMER REVIEW ONLY.



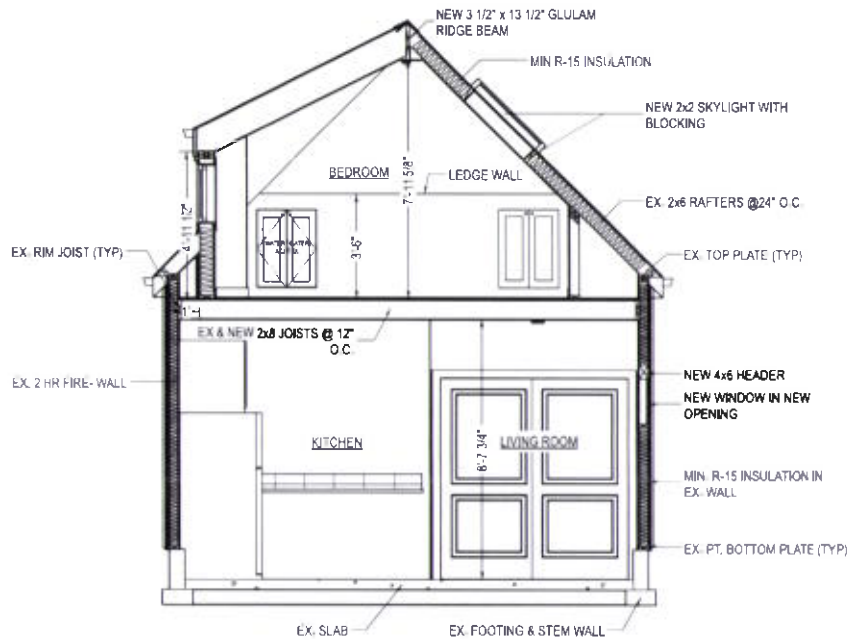
C-2
2

DORMER SECTION 3:12
1/4" = 1'-0"

6:12 SHED ROOF DOES ALLOW FOR EGRESS WINDOW.
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6'-8" COMPRISING AT LEAST 50% OF ROOM AREA.
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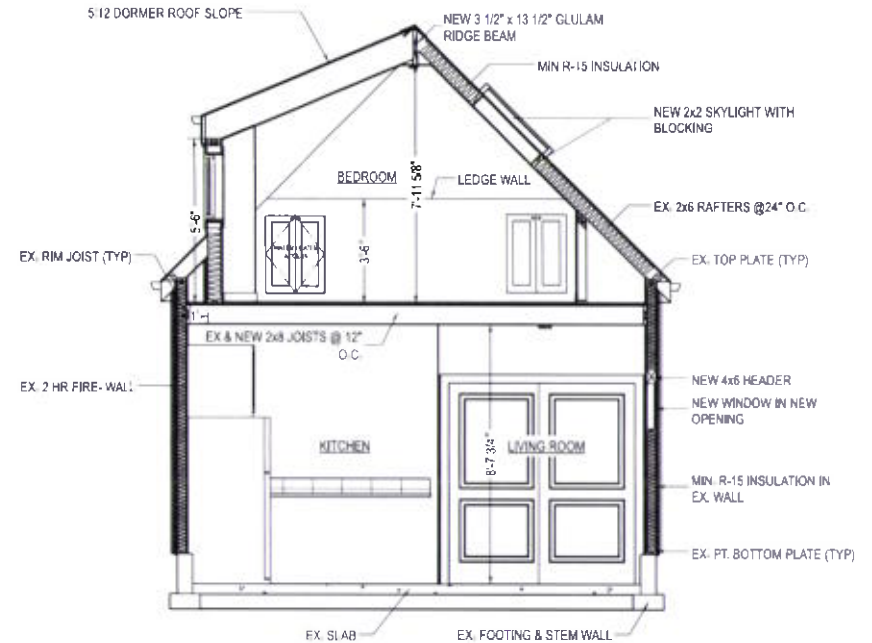
McCANDLISH ADU

SHED DORMER ROOF REVIEW
STRUCTURAL DETAILS & ANNOTATIONS INCOMPLETE.
DRAWINGS FOR SHED DORMER REVIEW ONLY.



B-1
1 **DORMER SECTION 6:12**
1/4" = 1'-0"

6:12 SHED ROOF MIGHT ALLOW FOR EGRESS WINDOW.
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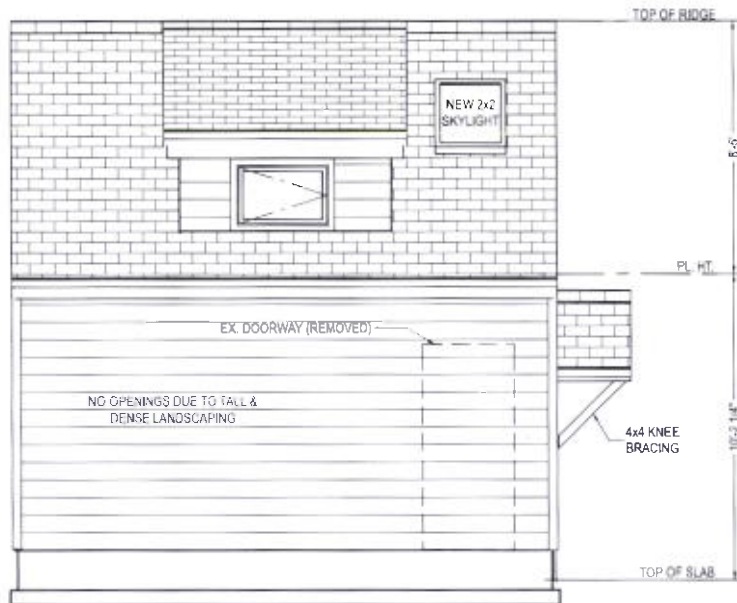


B-1
2 **DORMER SECTION 5:12**
1/4" = 1'-0"

5:12 SHED ROOF DOES ALLOW FOR EGRESS WINDOW.
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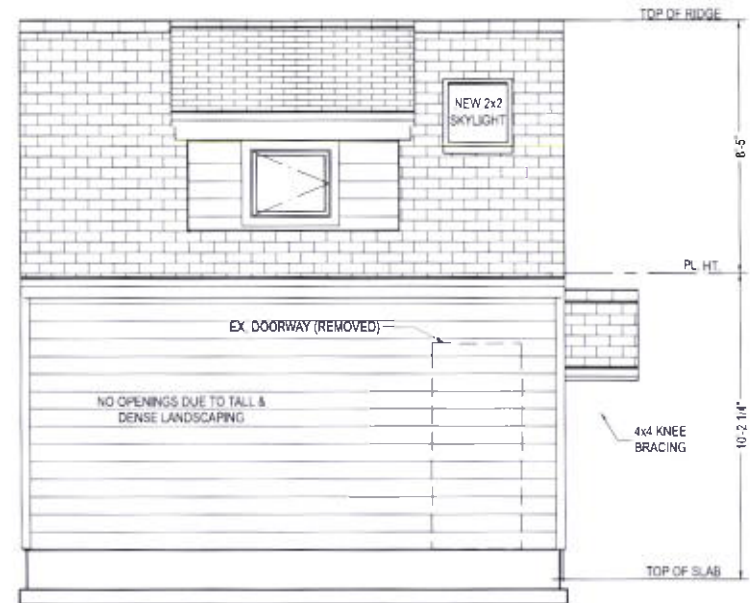
McCANDLISH ADU

SHED DORMER ROOF REVIEW
STRUCTURAL DETAILS & ANNOTATIONS INCOMPLETE.
DRAWINGS FOR SHED DORMER REVIEW ONLY.



B-2
1 **DORMER SECTION 6:12**
1/4" = 1'-0"

6:12 SHED ROOF MIGHT ALLOW FOR EGRESS WINDOW.
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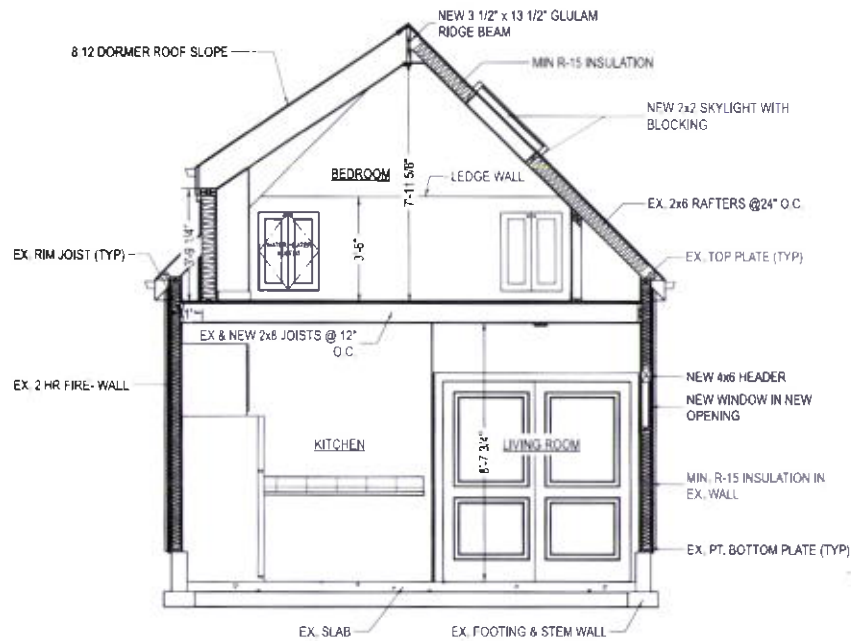


B-2
2 **DORMER SECTION 5:12**
1/4" = 1'-0"

5:12 SHED ROOF DOES ALLOW FOR EGRESS WINDOW.
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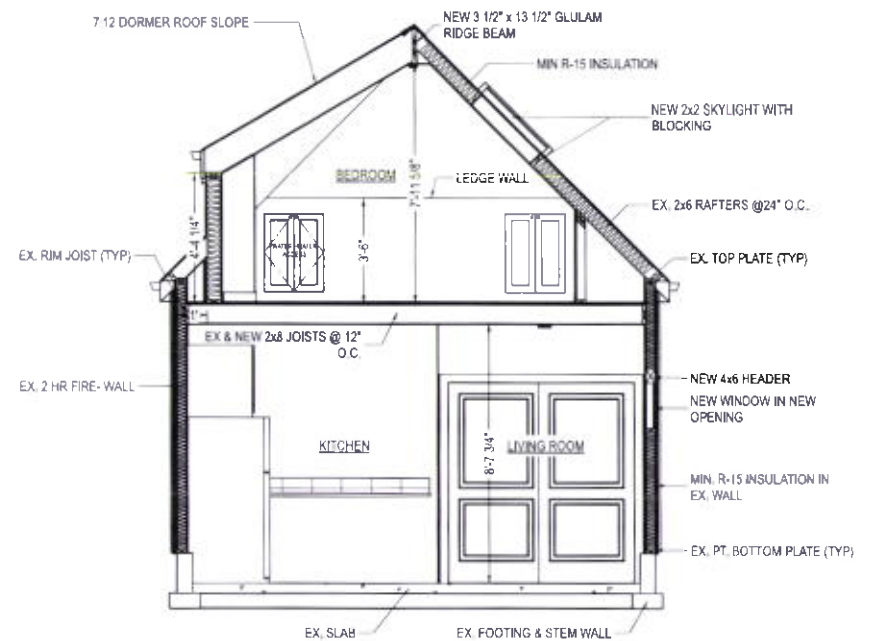
McCANDLISH ADU

SHED DORMER ROOF REVIEW
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A-1
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DORMER SECTION 8:12
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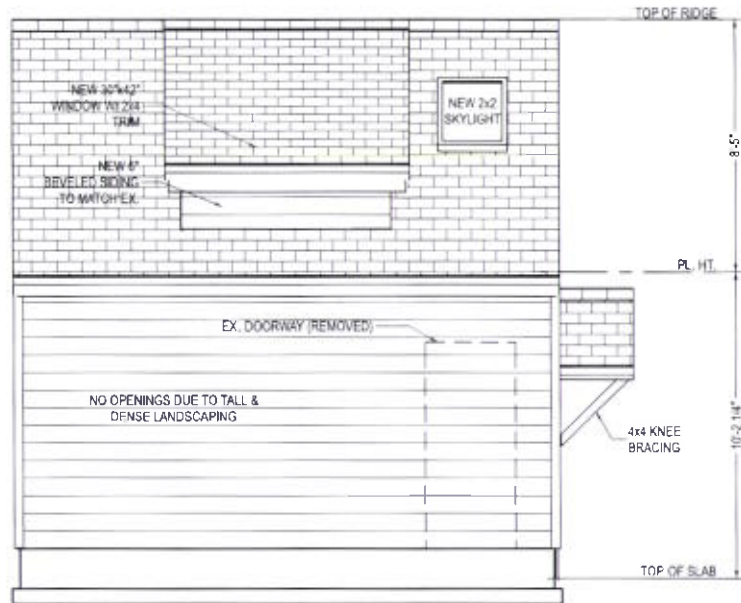


A-1
2
DORMER SECTION 7:12
1/4" = 1'-0"

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McCANDLISH ADU

SHED DORMER ROOF REVIEW
STRUCTURAL DETAILS & ANNOTATIONS INCOMPLETE.
DRAWINGS FOR SHED DORMER REVIEW ONLY.

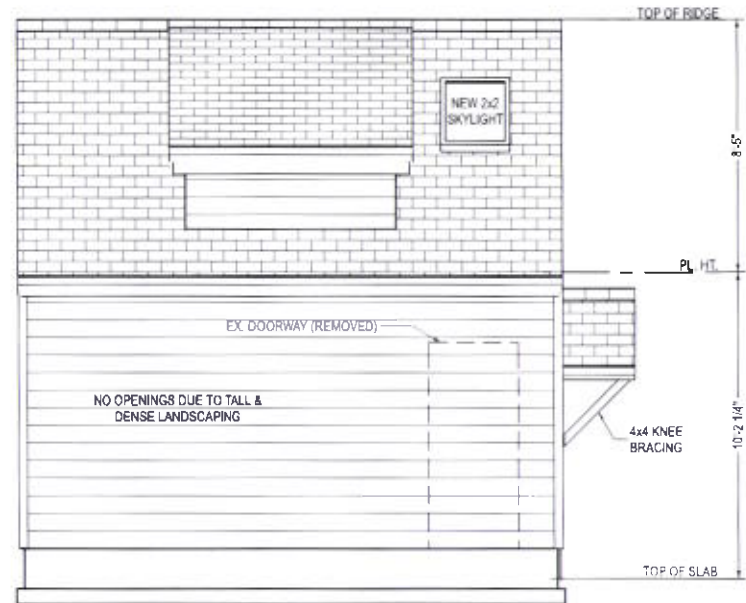


A-2
1

DORMER SECTION 8:12

1/4" = 1'-0"

8:12 SHED ROOF DOES NOT ALLOW FOR EGRESS WINDOW.
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AREA.



A-2
2

DORMER SECTION 7:12

1/4" = 1'-0"

7:12 SHED ROOF DOES NOT ALLOW FOR EGRESS WINDOW.
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OF 6'-8" COMPRISING AT LEAST 50% OF ROOM AREA.
CEILINGS UNDER 5'-0" DO NOT COUNT TOWARDS ROOM
AREA.

Bhutani, Puja

From: Omar Martinez <casabonitallc@gmail.com>
Sent: Tuesday, June 12, 2018 12:47 PM
To: Bhutani, Puja
Subject: Re: McCandlish

Hi,
Please hold the application as incomplete.
Thank you.
Omar

Sent from my iPhone

> On Jun 12, 2018, at 9:19 AM, Bhutani, Puja <Puja.Bhutani@portlandoregon.gov> wrote:
>
> please confirm asap that you would like to hold the application incomplete.
> Thank you.

Bhutani, Puja

From: James McCandlish <jmccandlish@comcast.net>
Sent: Wednesday, June 20, 2018 7:50 PM
To: Bhutani, Puja
Cc: Omar Martinez; Amanda Haynes
Subject: Re: LU18-145469HR- dormer alternatives
Attachments: McCandlish Shed & Gable 6.20.pdf; ADU Title Company Lot Map of Neighborhood and Neighbor Approvals of Gable Dormer Style.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

Puja,

Thank you for your response. Both Omar and Amanda inform me that your first two suggestions below do not meet code requirements. The third avenue you propose, the 4/12 shed roof style dormer, we agree does meet code; but is at the heart of our only remaining difference to be resolved. Towards that end, I've done two things to further address the dormer shed vs. gable style issue:

1. Amanda has prepared the attached renderings to orthographic scale and schematics for both styles,.
2. I've surveyed the closest neighbors, showing them the renditions and asking for their preference. The results are here, 100% in favor of the gable style. Also included is a color key on a plot map of the neighborhood identifying the residences.

Why the unanimous preference? The shed style disrupts the symmetry of the garage over-arching roof pitch. The renderings make this clear. The gable style creates a perfect triangle, or at least an isocetes triangle in the dormer interface with the garage roof. The 90 degree angles of the gable style match the pitch of the garage roof. In contrast, the shed style creates an inharmonious triangle with an approximate 110 degree grossly visible angle. Additionally, the gable style creates a visible sloping roof of indeterminate pitch, whereas the shed style shows only an unsightly roof line with zero pitch.

I appreciate your taking the time to consider these views. Best regards, Jim Mc

James E. McCandlish
 GRIFFIN & McCANDLISH
 1000 S.W. Broadway, Ste. 2400
 Portland, OR 97205
 Tel.: 503.206.8437
 Fax : 503.224.9201
jmccandlish@comcast.net

This e-mail contains confidential and/or privileged information intended for the addressee only. Please DO NOT read, copy or disseminate this communication unless you are in fact the intended addressee. If you believe you have received it in error, please call me immediately at 503.224.2349, and hit the reply button to let me know about the problem. Thank you. Jim Mc

On Jun 18, 2018, at 2:10 PM, Bhutani, Puja <Puja.Bhutani@portlandoregon.gov> wrote:

Hi James,

Thank you for the photographs and the voicemail. Most of the images are of a primary residence with roof pitches that are not as steep as the subject ADU. As I discussed with you earlier, staff acknowledges that many contributing resources have gabled dormers. However, the gable dormer form and roof pitch that is currently being proposed for the subject steeply pitched garage- a smaller secondary structure- is atypical. However, of the images provided, the following could be considered:

1. A gable dormer with roof pitches similar to the garage or the front porch of the existing house, as shown in the image provided below.

<image002.jpg>

2. A cross-dormer, as discussed earlier with Omar, and similar to the photograph provided below:
<image003.jpg>

3. A shed dormer with a 4:12 pitch, as discussed earlier with Omar.

You are, of course, welcome to discuss the proposal with the neighbors and the neighborhood association. As a Type II review, a notice of proposal is mailed out to all within 400 feet of your residence, once the application is complete. Public comment is invited and taken into consideration by staff, when writing the decision. In case staff decision is appealed, the public comments will be part of the case file, and will be presented to the Landmarks Commission. Additional public comments can also be presented at the hearing.

I would like to ascertain that this is a Type II review. If the affected area is less than 150sf, then this would qualify as a Type I review with reduced fees and a quicker timeline. Omar, can you provide a calculation of the area of exterior alterations (front and side) to make sure that this is being processed under a correct review.

Please feel free to call me in case of additional questions.
Thanks.

Puja Bhutani, AICP
Planner II | Design and Historic Review
City of Portland | Bureau of Development Services
1900 SW 4th Ave | Ste 5000
Portland OR, 97201

e: puja.bhutani@portlandoregon.gov
p: 503-823-7226 | f: 503.823.5630

Work hours: Tue-Fri 7:30AM – 5:00PM

From: James McCandlish [<mailto:jmccandlish@comcast.net>]
Sent: Thursday, June 14, 2018 12:21 PM
To: Bhutani, Puja <Puja.Bhutani@portlandoregon.gov>

Cc: Omar Martinez <casabonitallc@gmail.com>

Subject: Fwd:

I saw this one this morning bicycling to New Seasons, and included it because it is steep, and like our proposal, you can't tell whether it matches the pitch of the over all structure.

The basic problem that I have is that a shed roof destroys the symmetrical pitch of the garage from the only public viewing area (the alley). Thanks, for your hard work. Best regards, Jim Mc

James E. McCandlish
GRIFFIN & McCANDLISH
1000 S.W. Broadway, Ste. 2400
Portland, OR 97205
Tel.: 503.206.8437
Fax : 503.224.9201
jmccandlish@comcast.net

This e-mail contains confidential and/or privileged information intended for the addressee only. Please DO NOT read, copy or disseminate this communication unless you are in fact the intended addressee. If you believe you have received it in error, please call me immediately at 503.224.2349, and hit the reply button to let me know about the problem. Thank you. Jim Mc

Begin forwarded message:

From: James McCandlish <jmccandlish@comcast.net>
Date: June 14, 2018 at 11:50:40 AM PDT
To: James McCandlish <jmccandlish@comcast.net>

<image001.jpg>

Jim Mc Sent from my iPhone



The pitches of the two gables match the front porch; but not the house. You can't really tell that from this angle. Similarly, you can't tell that in our proposal either.



Not a matching pitch.



steep pitch. Looks like its matching because you can see the front and the side pitch in the same visual; unlike our situation.



Looking at the side of the house behind. Very large gable. Can't tell if pitches are matching.



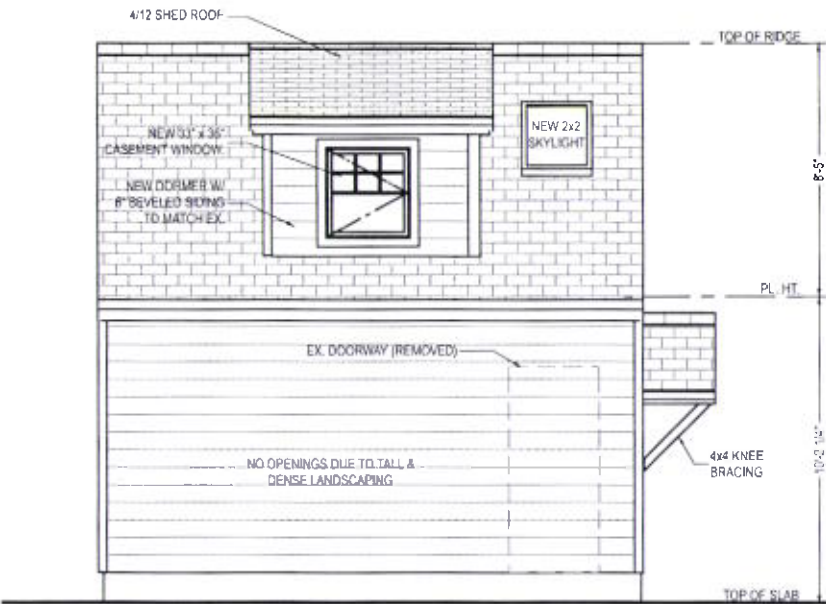
An example of matching slopes that are visible from the sidewalk...included because it is so common in this neighborhood.



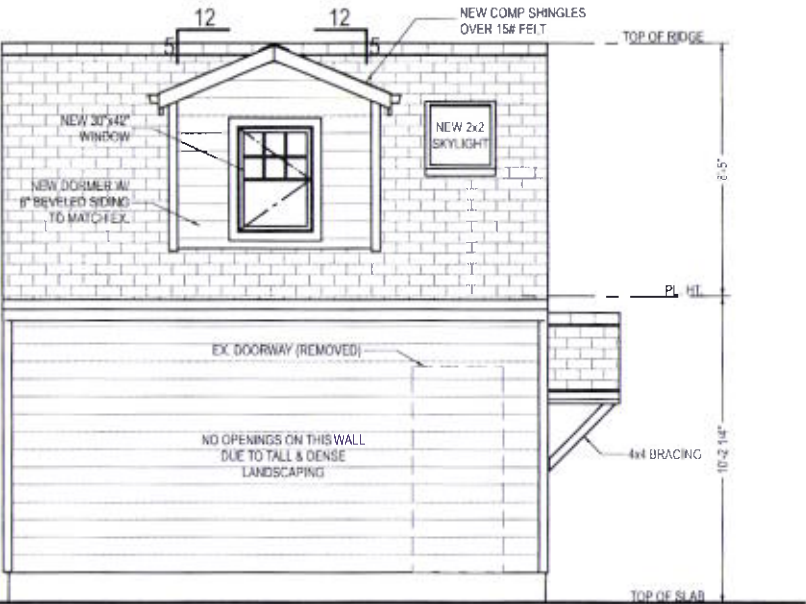
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The basic problem that I have is that a shed roof destroys the symmetrical pitch of the garage from the only public viewing area (the alley).

McCANDLISH ADU



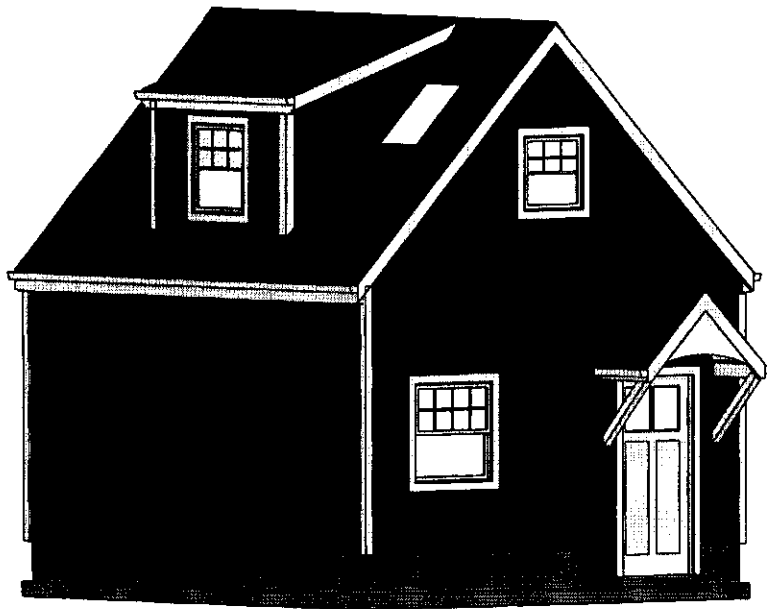
1
A DORMER ELEVATION 4/12
1/4" = 1'-0"



2
A DORMER ELEVATION 4/12
1/4" = 1'-0"

McCANDLISH ADU

Orthographic Scale:
1/4" = 1'-0"



SHED- EAST RENDERING



GABLE- EAST RENDERING

McCANDLISH ADU

Orthographic Scale:
1/4" = 1'-0"



SHED- NORTH EAST RENDERING



GABLE- NORTH EAST RENDERING

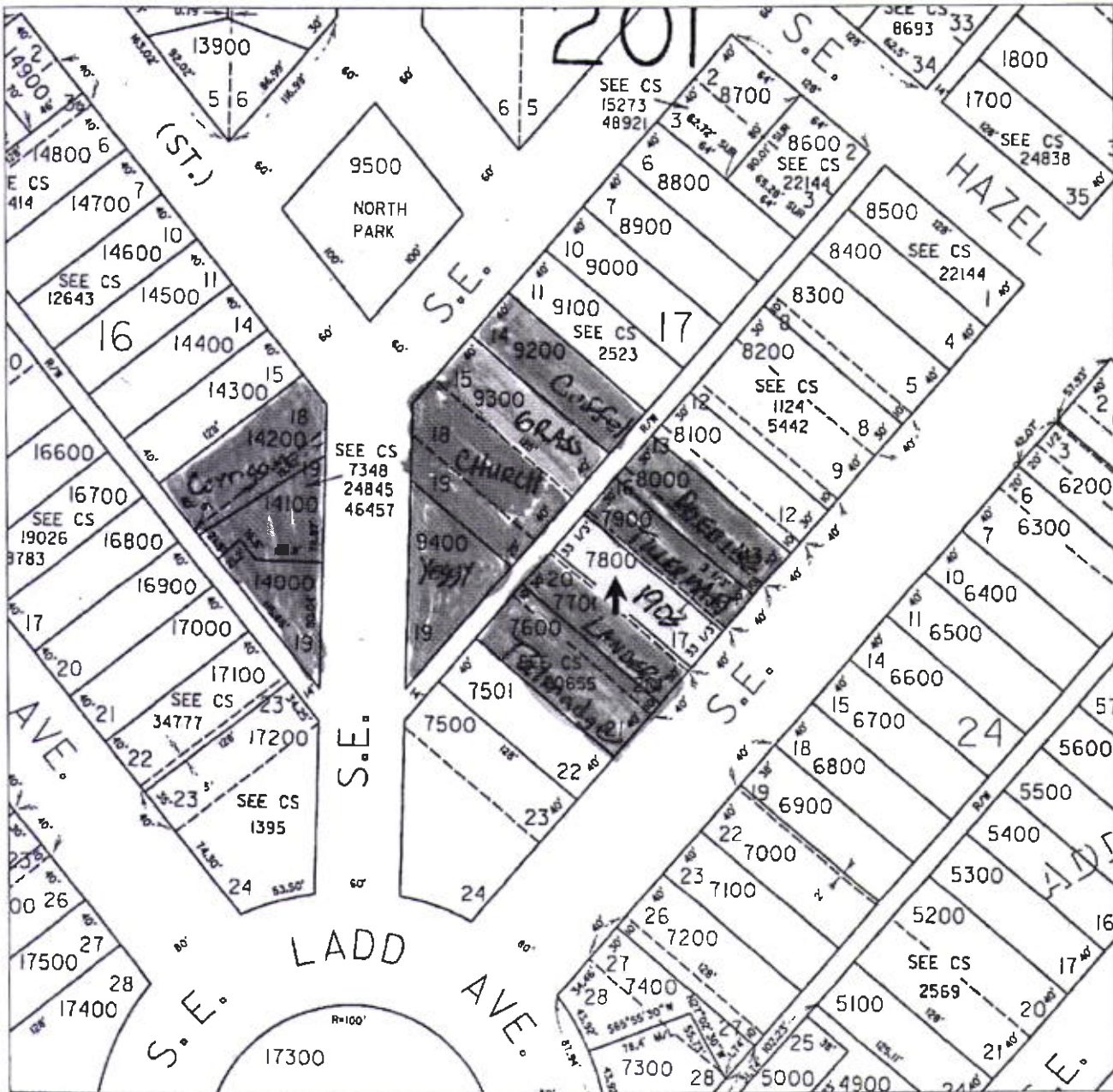


First American Title Insurance Company of Oregon

An assumed business name of TITLE INSURANCE COMPANY OF OREGON

This map is provided as a convenience in locating property
First American Title Insurance Company assumes no liability for any variations as may be disclosed by an actual survey

Reference Parcel Number 1S1E02DB 07800



Neighbors Favoring Gable



1903 SE Elliott



Church



Grass--Open Space

A-14

McCANDLISH ADU

Orthographic Scale:
1/4" = 1'-0"

Name William + Kathryn Coffel

Address 1752 SE Poplar Ave

Contact 503-312-6728

Approve

Shed

Gable



SHED- NORTH EAST RENDERING



GABLE- NORTH EAST RENDERING

Comment We prefer the Gable design

McCANDLISH ADU

Orthographic Scale:
1/4" = 1'-0"

Name Julie Yeager

Address 1820 SE 16th Ave 97214

Contact 503) 539-8389

Approve

Shed

Gable



SHED- NORTH EAST RENDERING



GABLE- NORTH EAST RENDERING

Comment approve - I think they look very
similar and there ^{are} ~~are~~ many
examples of gabled roofs in our neighborhood

McCANDLISH ADU

Orthographic Scale:
1/4" = 1'-0"

Name TALMADGE FOSTER

Address 1919 SE ELLIOTT AVE

Contact 911-263-4253 foster.tad@gmail.com

Approve

Shed

Gable



SHED- NORTH EAST RENDERING



GABLE- NORTH EAST RENDERING

Comment Shed roof looks cheap / crappy

McCANDLISH ADU

Orthographic Scale:
1/4" = 1'-0"

Name

Charles Corrigan

Address

1767 SE Maple Ave 97214

Contact

Chuck Corrigan 503 291 0677

Approve

Shed

Gable



SHED- NORTH EAST RENDERING



GABLE- NORTH EAST RENDERING

Comment

By far Superior

light of neighborhood character

McCANDLISH ADU

Orthographic Scale:
1/4" = 1'-0"

Name Marvin W Doering

Address 1853 SE Elliott Ave

Contact 503-232-2678

Approve

Shed

Gable



SHED- NORTH EAST RENDERING



GABLE- NORTH EAST RENDERING

Comment _____

McCANDLISH ADU

Orthographic Scale:
1/4" = 1'-0"

Name RANDALL TIMMERMAN

Address 1863 SE ELLIOTT AVE.

Contact (503) 730-6869

Approve

Shed

Gable



SHED- NORTH EAST RENDERING



GABLE- NORTH EAST RENDERING

Comment IT MATCHES THE ORIGINAL PLAN OF
MRS. LADD, PROPERTY MANAGER NEXT
DOOR.

McCANDLISH ADU

Orthographic Scale:

1/4" = 1'-0"

Name ALEX LANDERS

Address 1909 SE ELLIOTT AVE

Contact 503-781-0745

Approve

Shed

Gable



SHED- NORTH EAST RENDERING



GABLE- NORTH EAST RENDERING

Comment JUST DO IT!

McCANDLISH ADU

1903 SE Elliot Ave.

Portland, OR 97214

Job Description:

Convert existing detached garage into ADU.

Adding a dormer.

New exterior wood door with lites.

New wood windows.

New covered entry.

Building Coverage:

Existing: 1,458 SF

Proposed; 1,458 SF (No Changes)

Homeowner:

Jim McCandlish

Contractor:

Casa Bonita LLC

1631 NE Broadway St. #721

Portland, OR 97232

CCB: 189948

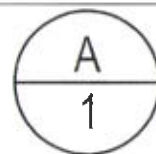
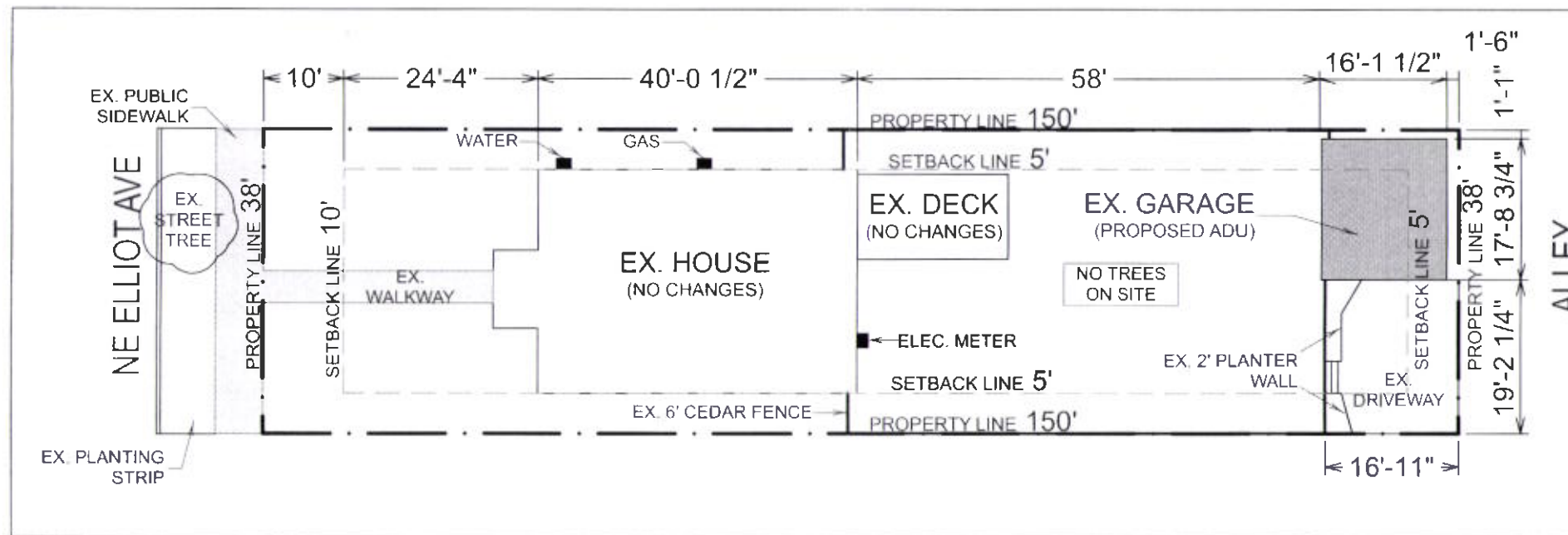
Drawings:

Precision

9655 SW Sunshine Ct. #700

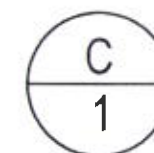
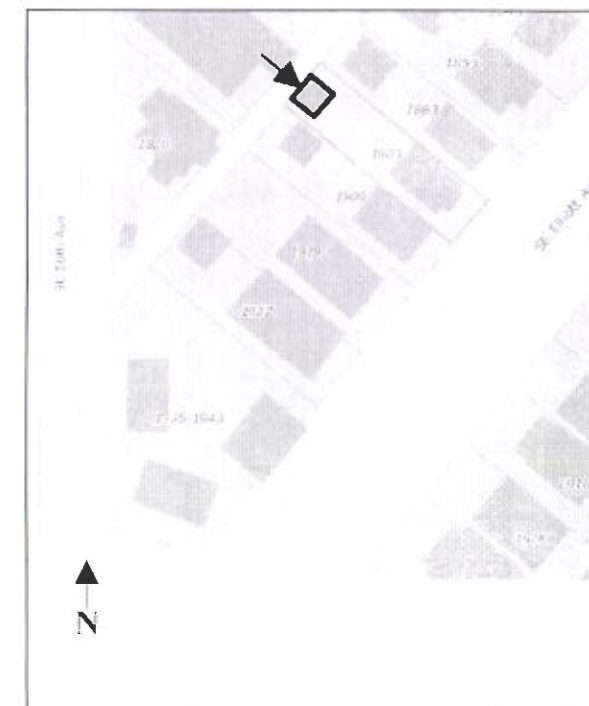
Beaverton, OR 97005

CCB: 174274



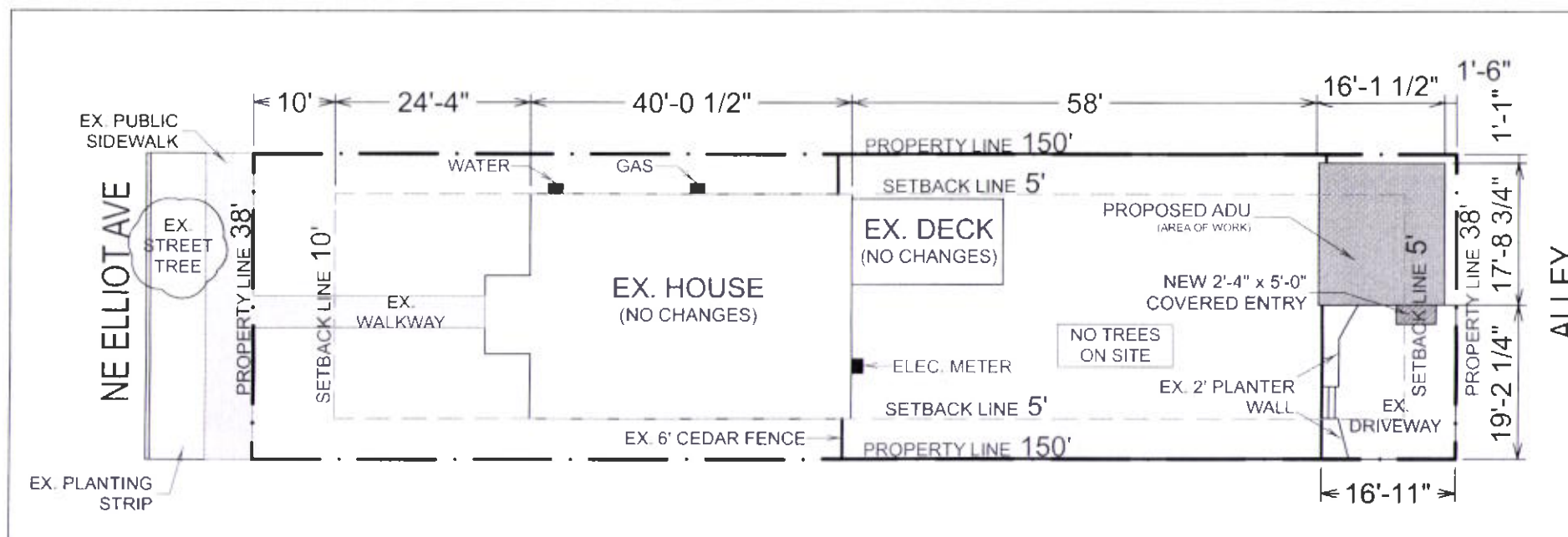
EXISTING SITE PLAN

1" = 20'



VICINITY MAP

NTS



PROPOSED SITE PLAN

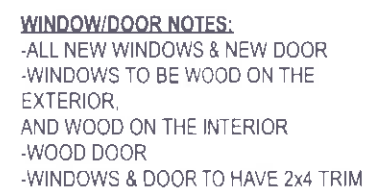
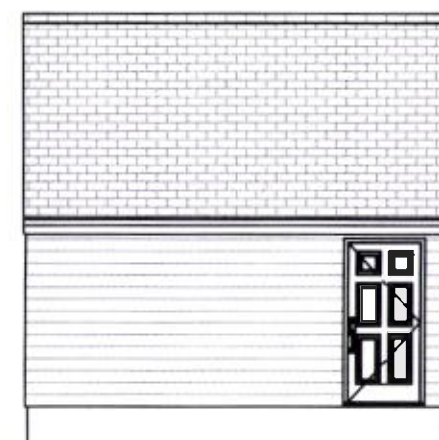
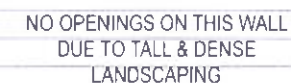
1" = 20'

DISCLAIMER:

To the best of knowledge these plans are drawn to comply with owner's and/ or builder's specifications and any changes made on them after prints are made will be done at the owner's and / or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. Designer is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

A-14

PG. 1

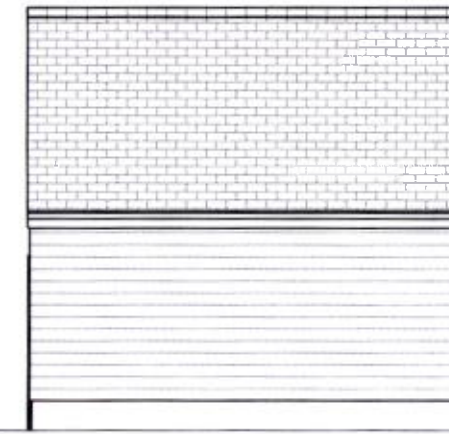
$$1/8'' = 1'-0''$$

$$1/4" = 1'-0"$$

$$1/8" = 1'-0"$$

$$1/4" = 1'-0"$$



A
3

EX. SOUTH-WEST ELEVATION

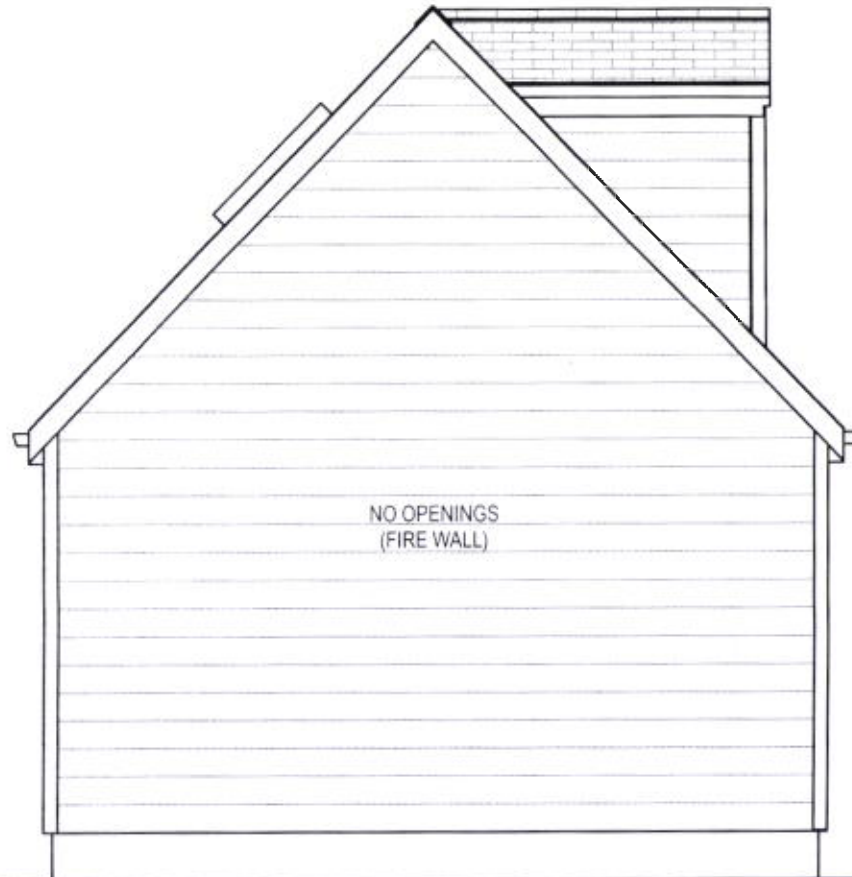
1/8" = 1'-0"



B
3

EX. NORTH-WEST ELEVATION

1/8" = 1'-0"



C
3

PROP. SOUTH-WEST ELEVATION

1/4" = 1'-0"

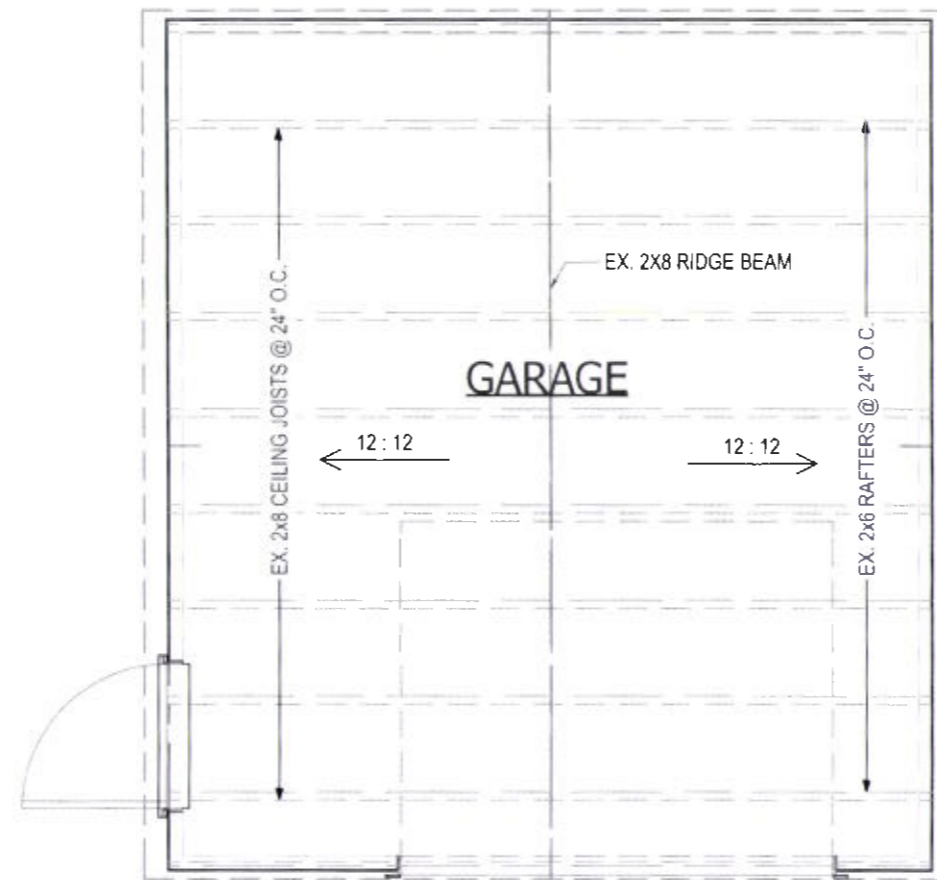
WINDOW/DOOR NOTES:
-ALL NEW WINDOWS & NEW DOOR
-WINDOWS TO BE WOOD ON THE EXTERIOR,
AND WOOD ON THE INTERIOR
-WOOD DOOR
-WINDOWS & DOOR TO HAVE 2x4 TRIM



D
3

PROP. NORTH-WEST ELEVATION

1/4" = 1'-0"



A
4

AS-BUILT FLOOR PLAN

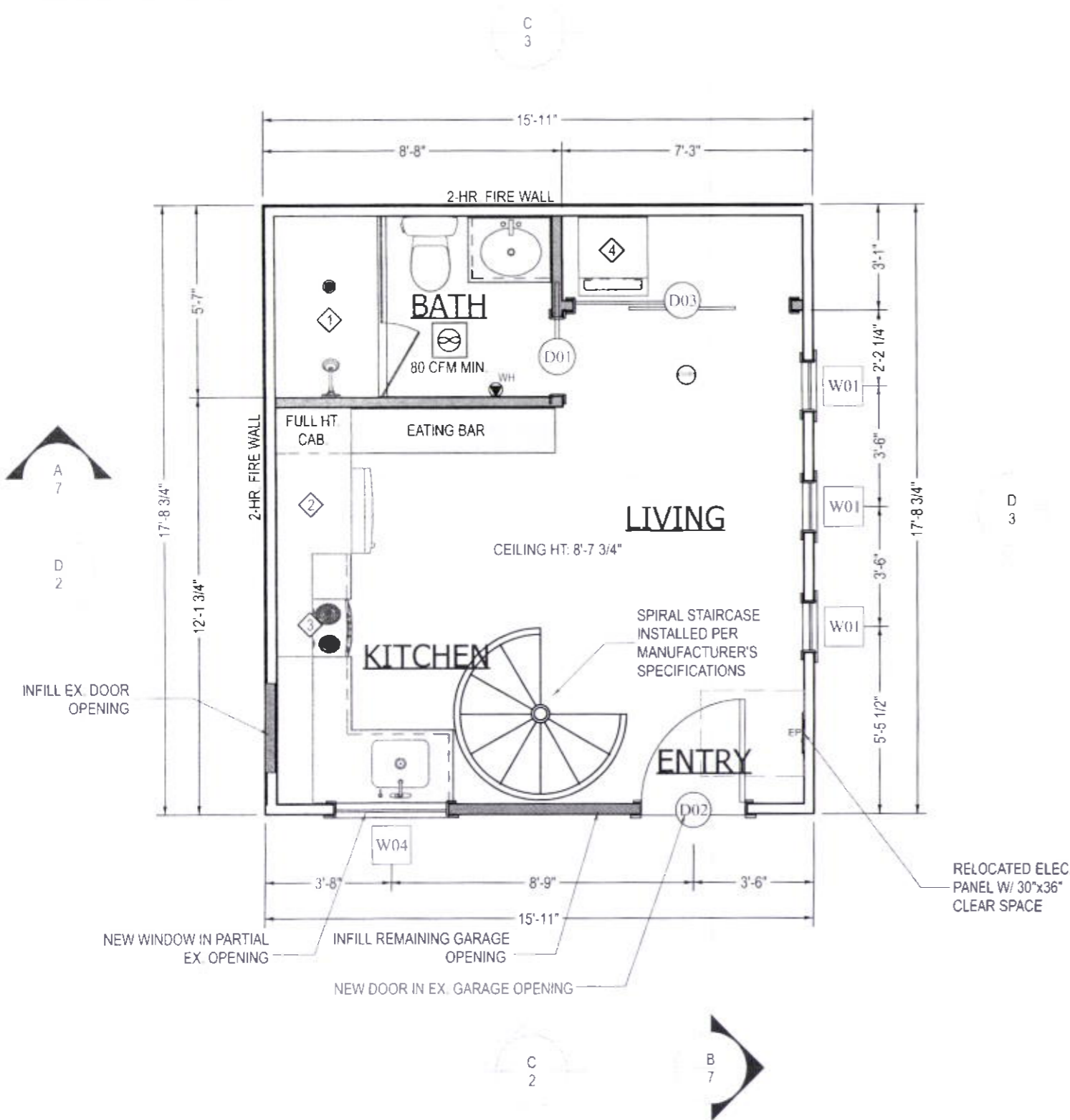
1/4" = 1'-0"

McCANDLISH ADU

MAIN LEVEL SQUARE FOOTAGE: 262 SF

2nd LEVEL SQUARE FOOTAGE: 134 SF

TOTAL SQUARE FOOTAGE: 396 SF



DOOR SCHEDULE							
NUMBER	QTY	FLOOR	WIDTH	HEIGHT	HINGE SIDE	DESCRIPTION	COMMENTS
D01	1	1	26 "	80 "	L	POCKET-PANEL	
D02	1	1	36 "	80 "	R	EXT. ENTRY DOOR W/ LITES	
D03	1	1	74 "	80 "	R	BI-PASS CLOSET DOOR	

WINDOW SCHEDULE								
NUMBER	QTY	FLOOR	WIDTH	HEIGHT	EGRESS	TEMPERED	DESCRIPTION	COMMENTS
W01	3	1	18 "	18 "			FIXED GLASS	
W02	1	2	30 "	30 "			FIXED GLASS	
W03	1	2	30 "	42 "	YES		SINGLE CASEMENT-HR	
W04	1	1	40 "	40 "			DOUBLE HUNG	

- 1 TILE SHOWER
- 2 30" REFRIGERATOR
- 3 20" HOOD & RANGE
- 4 STACKED WASHER & DRYER

- LEGEND:
- [Line] = EXISTING WALL
 - [Thick Line] = NEW WALL
 - [Dashed Line] = REMOVED WALL
 - [Circle with cross] = CARBON/SMOKE DETECTOR COMBO
 - [Circle with dot] = SMOKE DETECTOR
 - [Circle with fan] = EXHAUST FAN
 - [Circle with WH] = WALL HEATER

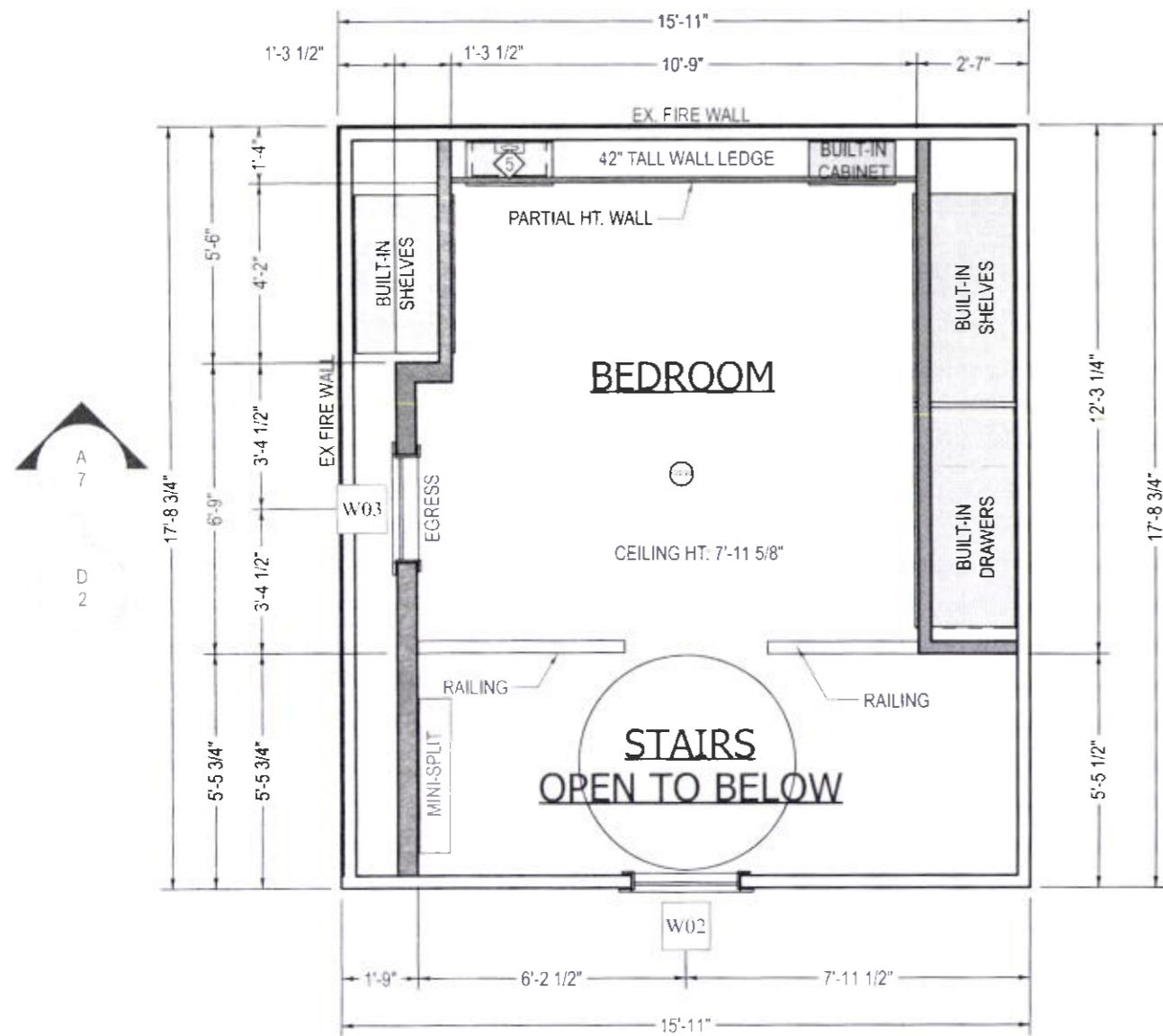
MAIN LEVEL FLOOR PLAN
1/4" = 1'-0"

McCANDLISH ADU

MAIN LEVEL SQUARE FOOTAGE: 262 SF

2nd LEVEL SQUARE FOOTAGE: 134 SF

TOTAL SQUARE FOOTAGE: 396 SF



WINDOW SCHEDULE								
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W01	3	1	18 "	18 "			FIXED GLASS	
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W03	1	2	30 "	42 "	YES		SINGLE CASEMENT-HR	
W04	1	1	40 "	40 "			DOUBLE HUNG	

5

TANKLESS WATER HEATER.
ENCLOSING CABINET BUILT TO MANUFACTURERS
MINS.
NEEDS A 20.25" WIDE, 3' TALL, 9.5" DEEP CABINET.
PRODUCT BASED ON "RHEEM, MODEL #RETEX-11"

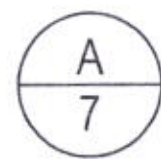
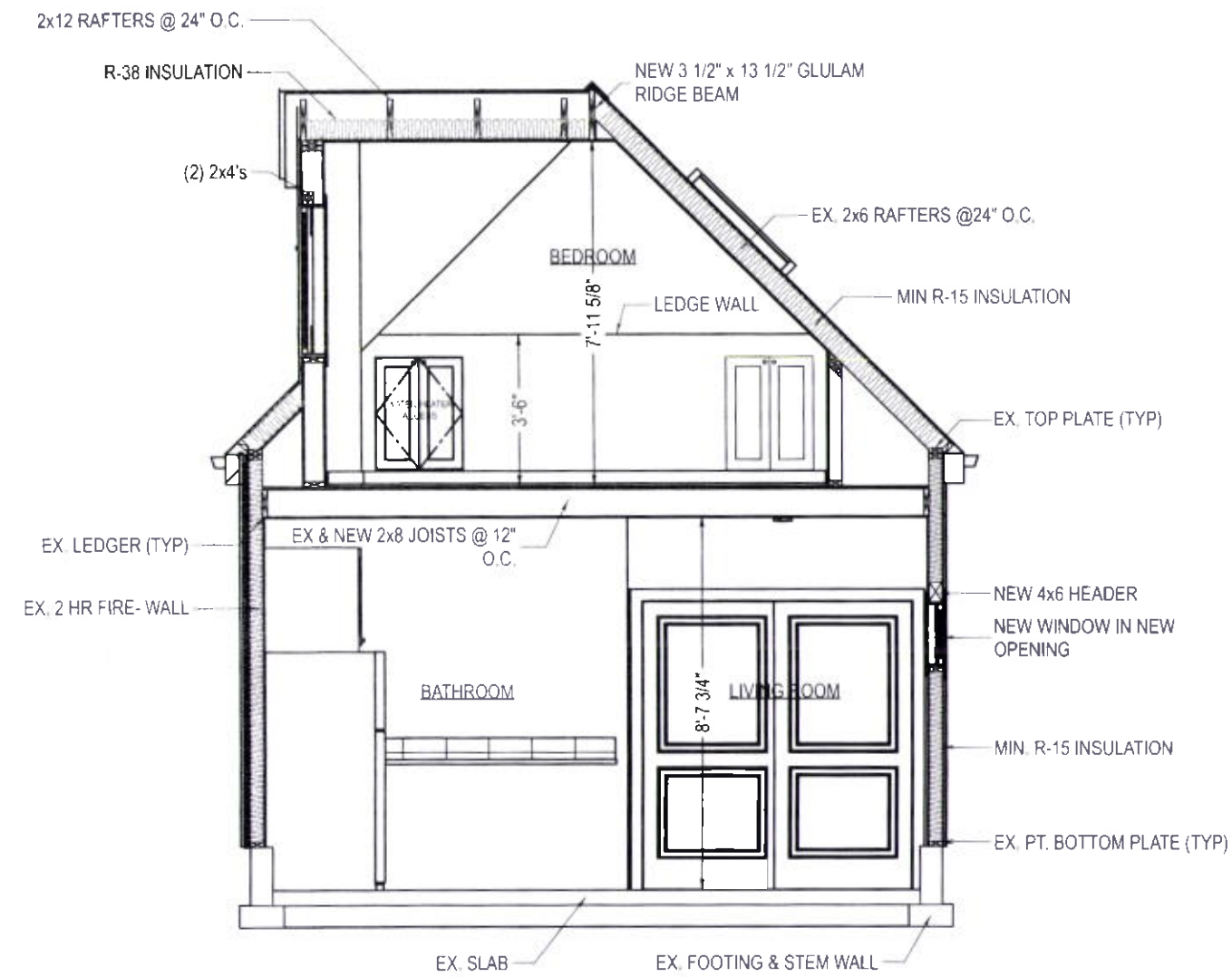
LEGEND:

- = EXISTING WALL
- = NEW WALL
- = REMOVED WALL
- = CARBON/SMOKE DETECTOR COMBO
- = SMOKE DETECTOR
- = EXHAUST FAN
- = WALL HEATER

A
6

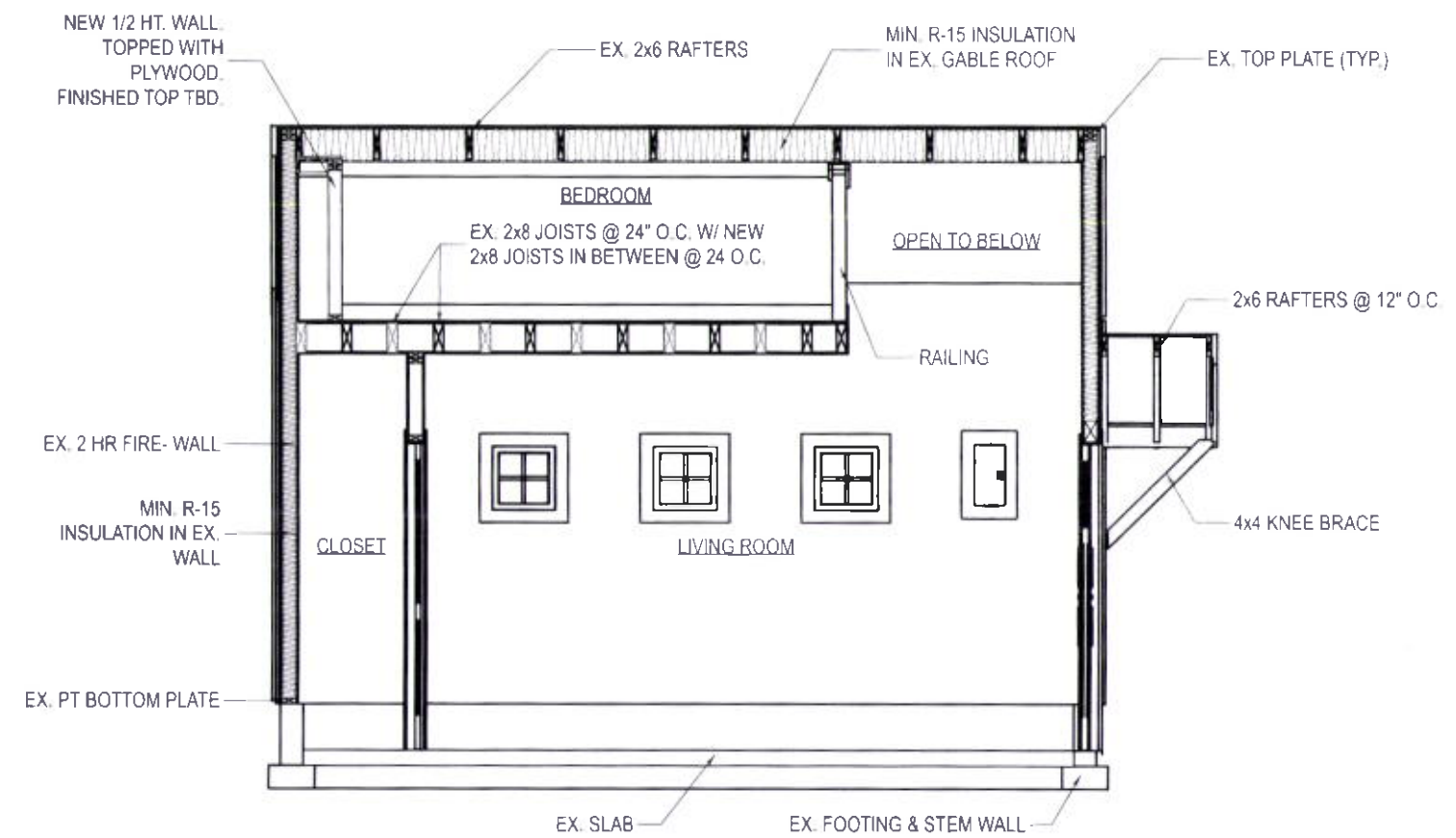
2nd LEVEL FLOOR PLAN

1/4" = 1'-0"



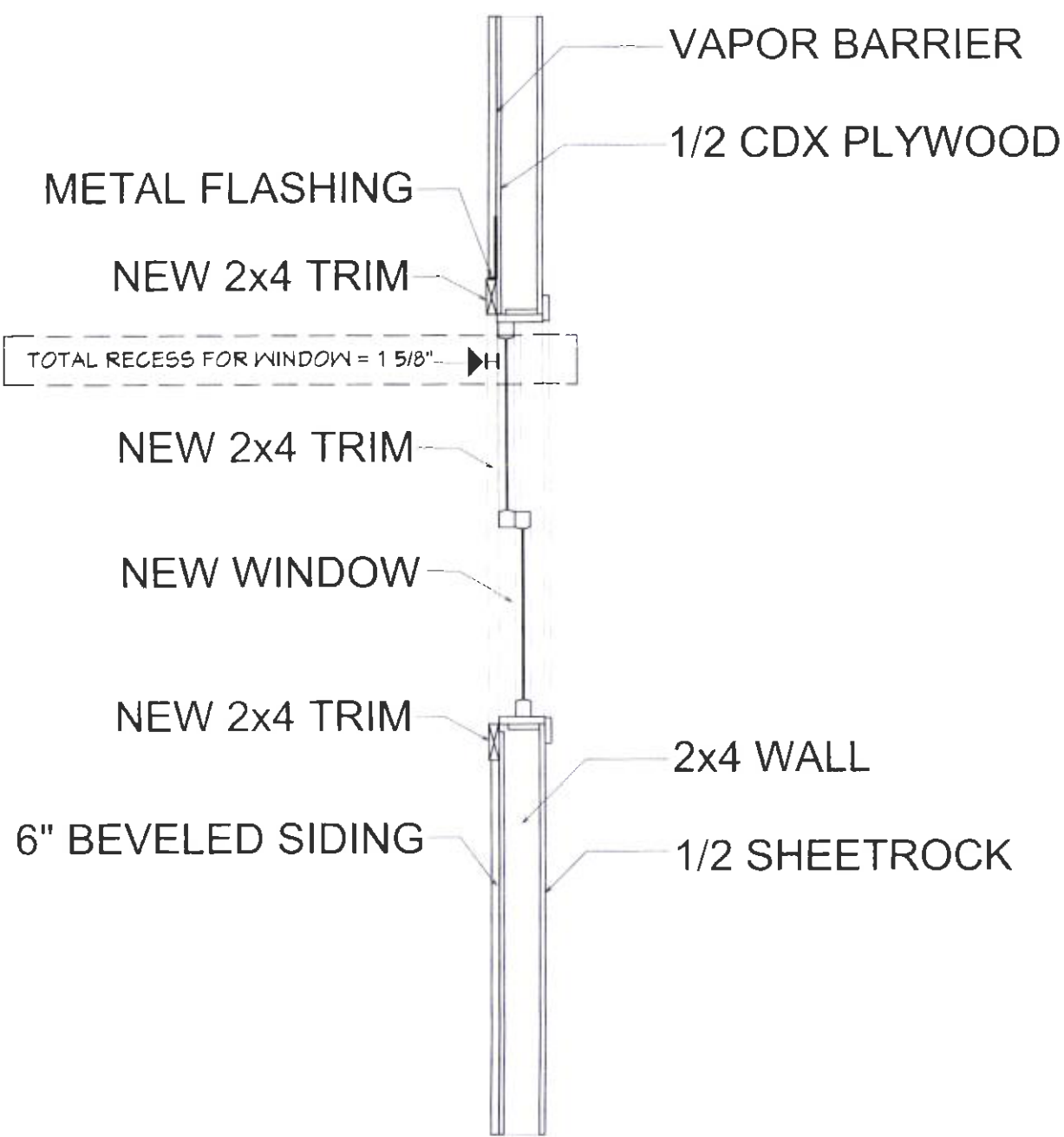
SECTION 1

1/4" = 1'-0"

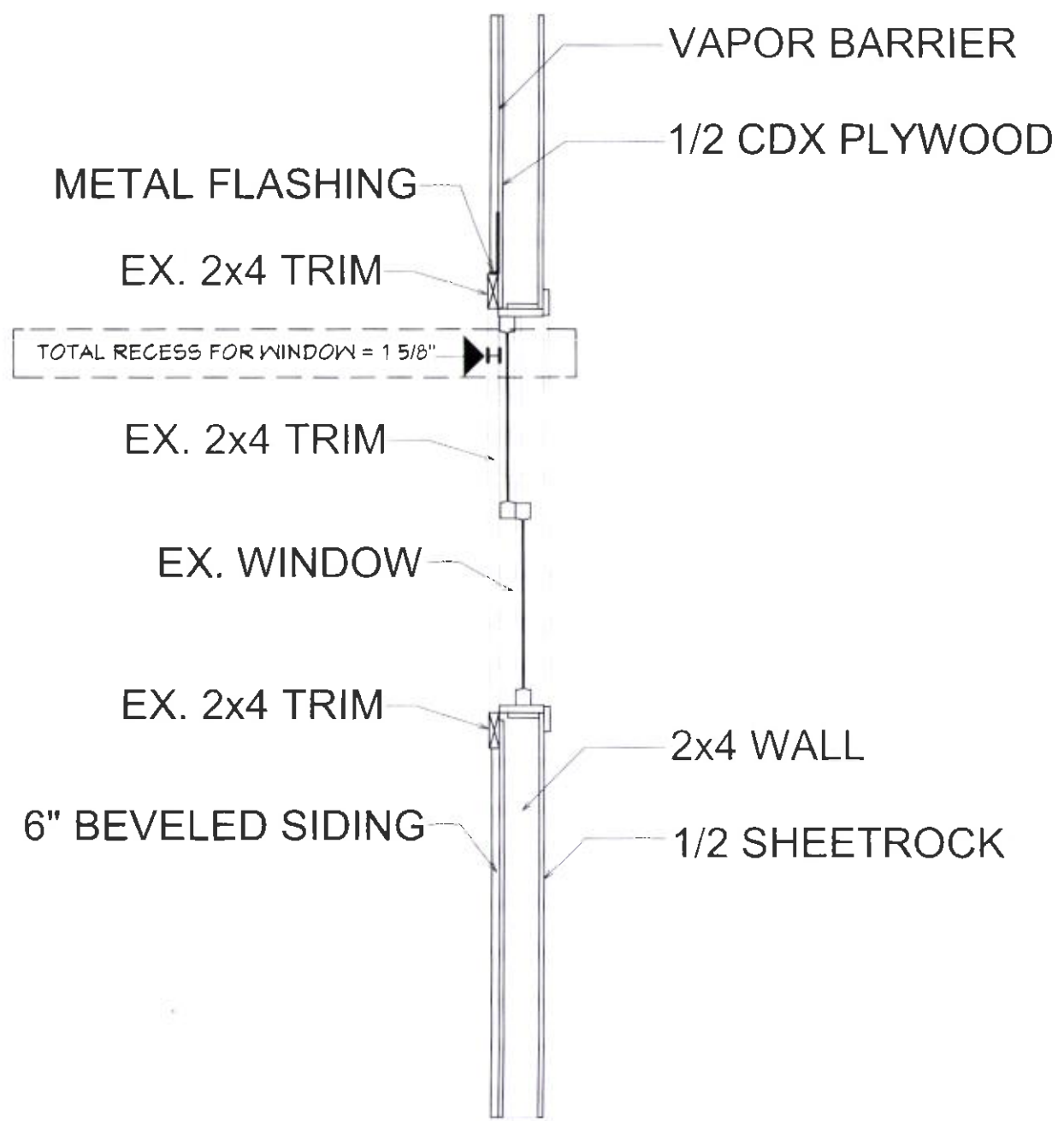


SECTION 2

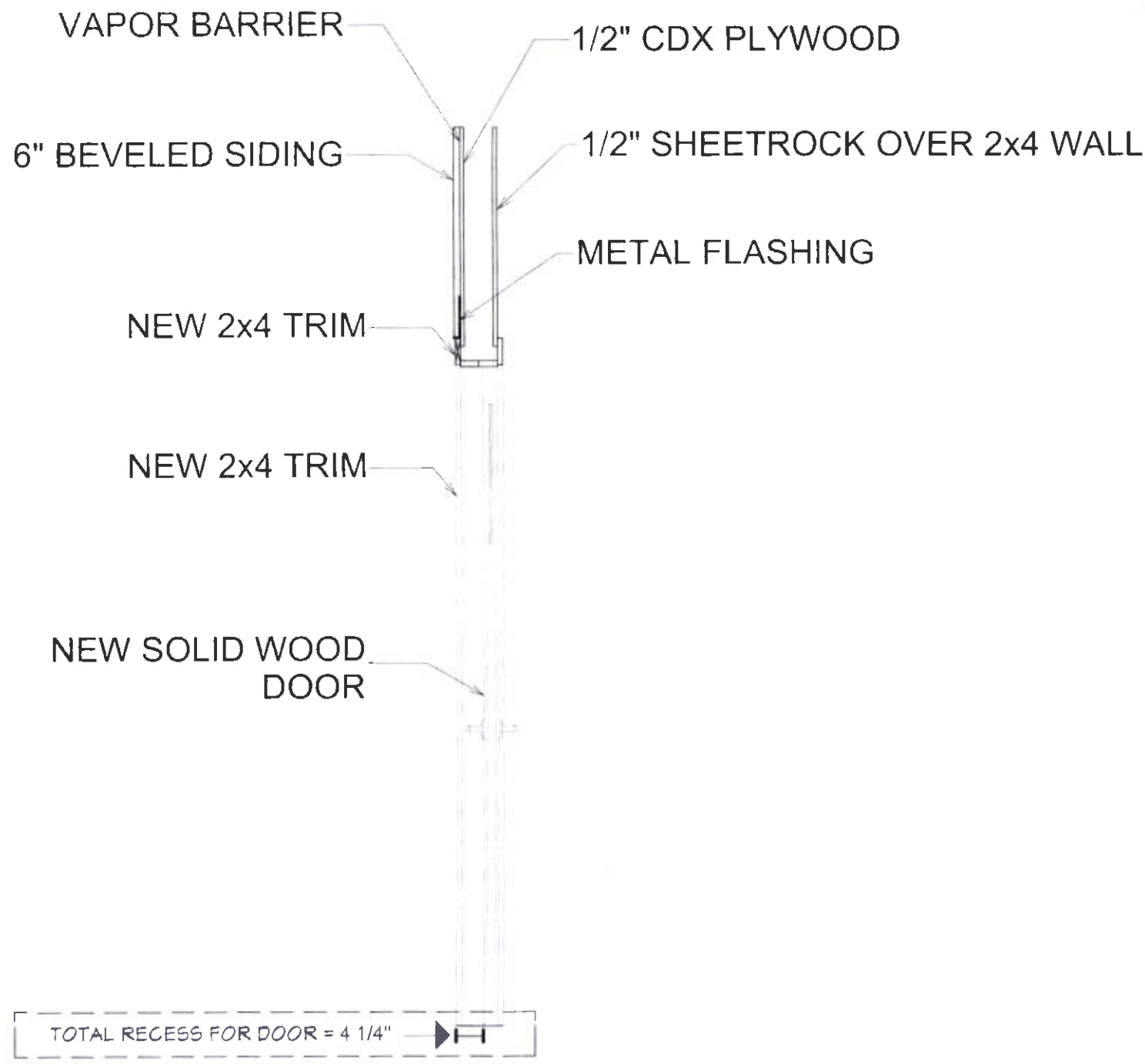
1/4" = 1'-0"



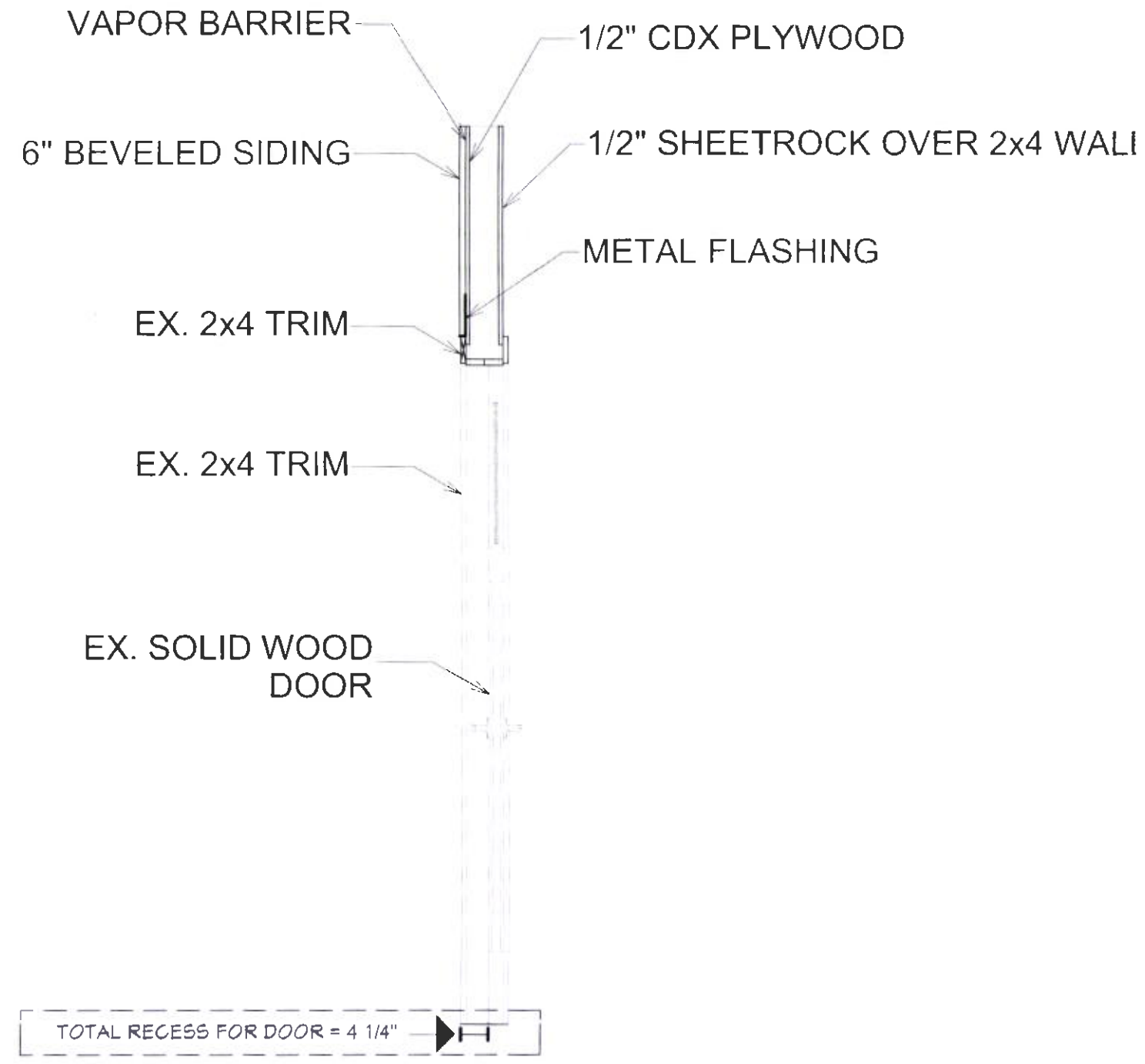
NEW DOUBLE HUNG
WINDOW
(ADU)



EXISTING DOUBLE
HUNG WINDOW
(RESIDENCE)



NEW DOOR
(ADU)



EXISTING DOOR
(RESIDENCE)

Bhutani, Puja

From: Casa Bonita LLC <casabonitalc@gmail.com>
Sent: Tuesday, July 31, 2018 5:01 PM
To: Bhutani, Puja; James McCandlish
Subject: Re: Historical Review for Jim Mccanlish

Puja, please hold application, I will send you details proposed tomorrow at the end of the day. Are this the only things we need to add ?

Omar

On Tue, Jul 31, 2018 at 4:52 PM, Bhutani, Puja <Puja.Bhutani@portlandoregon.gov> wrote:

Omar,

The drawing packet does not include accurate detailed sections for the proposed 4 window types. The window sections should also reflect that double panes are being proposed for the windows. The window schedule should be cross-referenced to the manufacturers cut-sheets. Note that casement windows with a fake meeting rail does not meet the approval criteria and hence are not approvable. True double hung windows should be provided. Egress could potentially be achieved through the skylight as discussed earlier.

A detailed section is also needed for the skylights, and the entrance canopy and knee brace. These details should be provided as soon as possible. Staff cannot issue a decision in support of the proposal if the requested information is not provided.

Please let me know whether to hold the application incomplete till these details are provided, or whether to deem it complete and issue the notice of proposal.

Thanks.

Puja Bhutani, AICP

Planner | Design and Historic Review

City of Portland | Bureau of Development Services

[1900 SW 4th Ave | Ste 5000](#)

Portland OR, 97201

e: puja.bhutani@portlandoregon.gov

p: 503-823-7226 | f: 503.823.5630

Work hours: Tue-Fri 7:30AM – 5:00PM

From: Casa Bonita LLC <casabonitallc@gmail.com>
Sent: Tuesday, July 31, 2018 4:27 PM
To: Bhutani, Puja <Puja.Bhutani@portlandoregon.gov>
Cc: James McCandlish <jmccandlish@comcast.net>
Subject: Re: Historical Review for Jim Mccanlish.

Hi Omar,

Thanks for submitting the information requested below. I am declaring the application complete and will be mailing out the notice of proposal shortly. Please clarify the following information asap:

- The dormer window is shown as a double hung, but the swing seems to suggest that it's a casement window. Please clarify.

It looks like a double hung window to match the rest of the house. It is actually an egress window.

- The Marvin window cutsheets suggest that a double pane window is being used, while the detailed section appears to be single pane window.

They are double paned.

Thanks,

Omar



Virus-free. www.avast.com

On Tue, Jul 31, 2018 at 2:59 PM, Bhutani, Puja <Puja.Bhutani@portlandoregon.gov> wrote:

Hi Omar,

Thanks for submitting the information requested below. I am declaring the application complete and will be mailing out the notice of proposal shortly. Please clarify the following information asap:

- The dormer window is shown as a double hung, but the swing seems to suggest that it's a casement window. Please clarify.
- The Marvin window cutsheets suggest that a double pane window is being used, while the detailed section appears to be single pane window.

Thanks.

Puja Bhutani, AICP

Planner | Design and Historic Review

City of Portland | Bureau of Development Services

[1900 SW 4th Ave | Ste 5000](#)

Portland OR, 97201

e: puja.bhutani@portlandoregon.gov

p: 503-823-7226 | f: 503.823.5630

Work hours: Tue-Fri 7:30AM – 5:00PM

From: Bhutani, Puja
Sent: Thursday, July 19, 2018 8:08 AM
To: 'Omar Martinez' <casabonitalc@gmail.com>
Subject: RE: Historical Review for Jim Mccanlish.

Thank you Omar. Please deliver 2 sets of 11x17 plans that include the following items, as listed in the incomplete letter dated 4/17/2018:

1. Typical wall sections, through doors, windows, dormers, entrance canopy etc.
5. Manufacturers cut sheets – for the proposed window and doors.

The plans can be delivered to the 5th floor reception to my attention. Please also provide an updated electronic copy that includes the above.

Thank you

Puja Bhutani, AICP

Planner II | Design and Historic Review

City of Portland | Bureau of Development Services

[1900 SW 4th Ave | Ste 5000](#)

Portland OR, 97201

e: puja.bhutani@portlandoregon.gov

p: 503-823-7226 | f: 503.823.5630

Work hours: Tue-Fri 7:30AM – 5:00PM

From: Omar Martinez [<mailto:casabonitallc@gmail.com>]
Sent: Wednesday, July 18, 2018 10:20 PM
To: Bhutani, Puja <Puja.Bhutani@portlandoregon.gov>
Subject: Historical Review for Jim Mccanlish.

Puja,

Here is the historic set of plans that we would like to submit for the historic review. Please let me know if you need me to send windows cut sheets. Thanks

Sent from my iPhone

--
Omar Martinez, President
Rebecca Martinez, Vice President
Casa Bonita LLC
[1631 NE Broadway St. #721](#)
Portland, Oregon 97232
503-956-4866, 503-956-0036
www.casabonitallc.net

--
Omar Martinez, President
Rebecca Martinez, Vice President
Casa Bonita LLC
1631 NE Broadway St. #721
Portland, Oregon 97232
503-956-4866, 503-956-0036
www.casabonitallc.net

Bhutani, Puja

From: Omar Martinez <casabonitallc@gmail.com>
Sent: Thursday, August 09, 2018 1:34 PM
To: Bhutani, Puja
Subject: Re: MCandlish Historical, 4-12 SHED, New Window Style.pdf

Puja,
Please declare the application completed.
Thanks

Sent from my iPhone

On Aug 9, 2018, at 1:27 PM, Bhutani, Puja <Puja.Bhutani@portlandoregon.gov> wrote:

Hi Omar,
I am glad to see that you are going forward with the shed roof option.

Please note that the following information is still needed:

- Manufacturers cutsheets- provide cutsheets that are referenced to the window (especially for W03), and door schedule, and skylights. Window W03 should not have a double hung window expression and could also be just a simple single glass pane window.
- A detailed section is also needed for the skylights, and the entrance canopy and knee brace. These details should be provided as soon as possible. Staff cannot issue a decision in support of the proposal if the requested information is not provided.
- The proposed fixed window section should be revised to show a window recess consistent with other casement windows, or the lower pane of the double hung window.

Please let me know whether you would like me to declare the application complete with the understanding that the above information will be provided as soon as possible, and before the end of the public comment period.

Thanks.

Puja Bhutani, AICP
Planner | Design and Historic Review
City of Portland | Bureau of Development Services
1900 SW 4th Ave | Ste 5000
Portland OR, 97201

e: puja.bhutani@portlandoregon.gov
p: 503-823-7226 | f: 503.823.5630

Work hours: Tue-Fri 7:30AM – 5:00PM

From: Omar Martinez <casabonitallc@gmail.com>
Sent: Wednesday, August 08, 2018 9:10 PM

To: Bhutani, Puja <Puja.Bhutani@portlandoregon.gov>

Subject: MCandlish Historical, 4-12 SHED, New Window Style.pdf

Here is the proposal for historic review, as you can see we are submitting the shed roof option.
Thanks

Sent from my iPhone

4:12 SHED ROOF DORMER

1903 SE Elliot Ave.

Portland, OR 97214

Job Description:

Convert existing detached garage into ADU.

Adding a dormer.

New exterior wood door with lites.

New wood windows.

New covered entry.

Building Coverage:

Existing: 1,458 SF

Proposed; 1,458 SF (No Changes)

Homeowner:

Jim McCandlish

Contractor:

Casa Bonita LLC

1631 NE Broadway St. #721

Portland, OR 97232

CCB: 189948

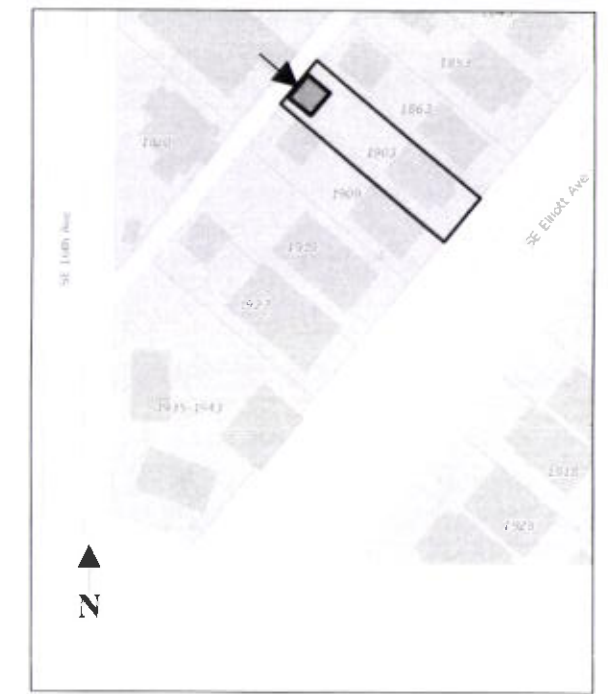
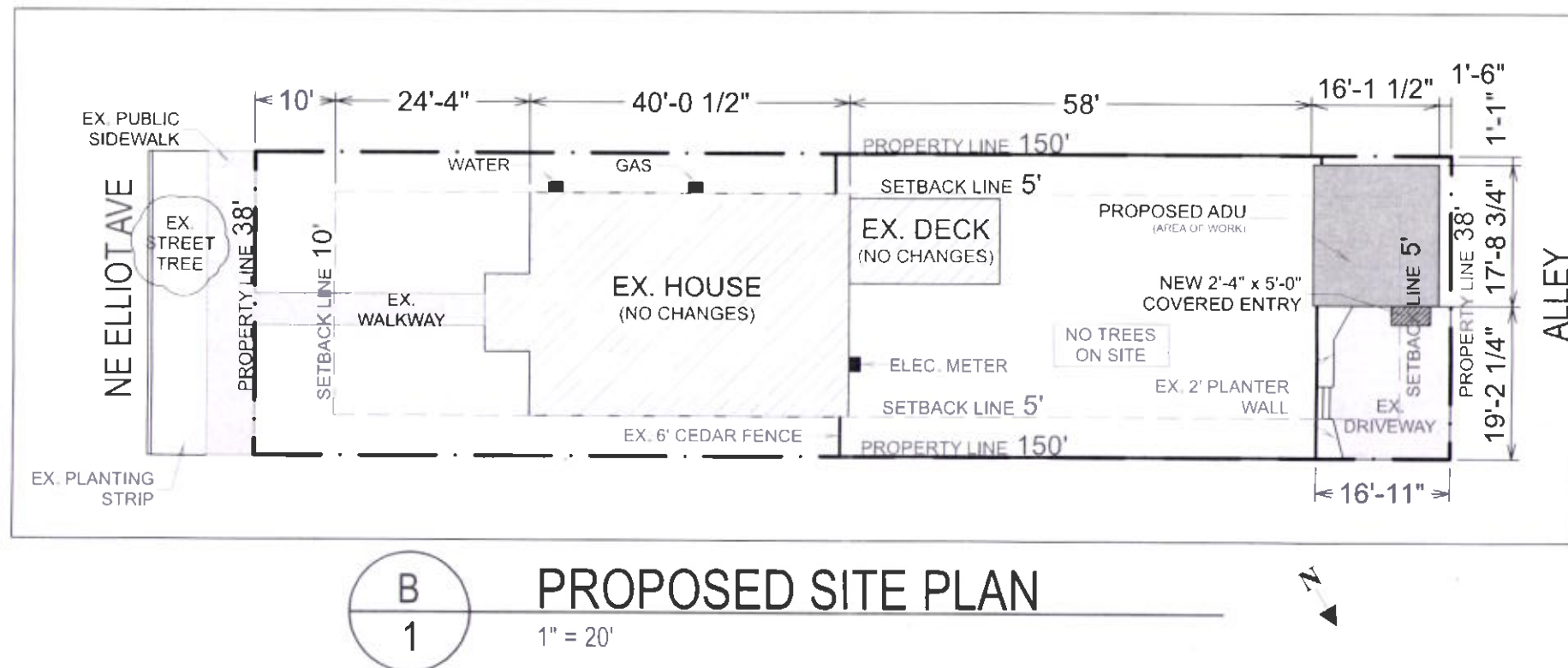
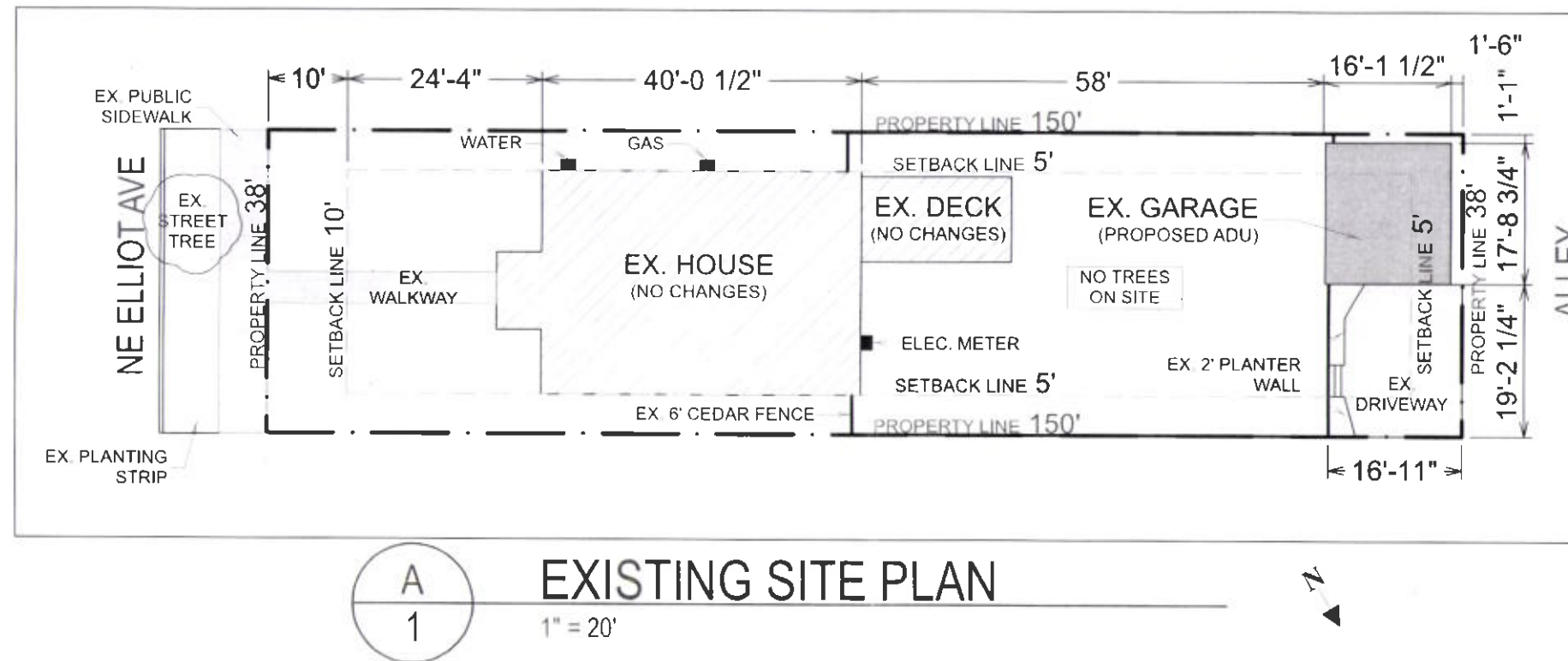
Drawings:

Precision

9655 SW Sunshine Ct. #700

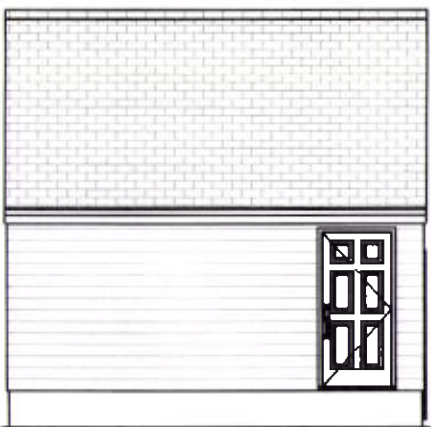
Beaverton, OR 97005

CCB: 174274



DISCLAIMER:

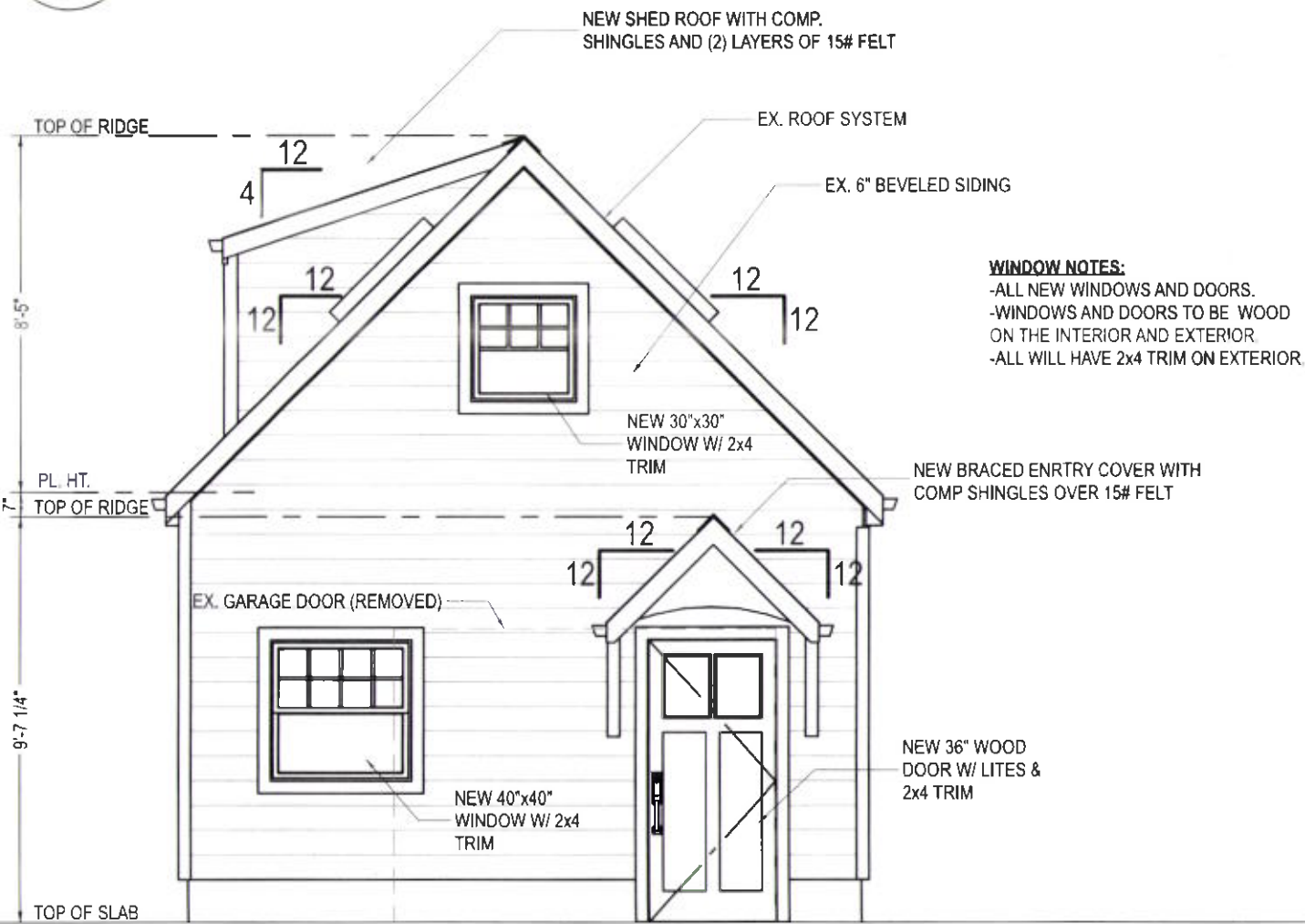
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A
2

EX. NORTH-EAST ELEVATION

1/8" = 1'-0"



B
2

EX. SOUTH-EAST ELEVATION

1/8" = 1'-0"



C
2

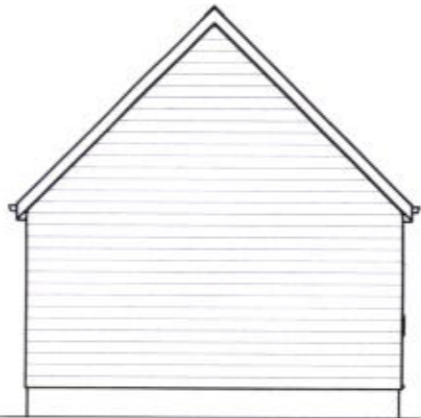
PROP. NORTH-EAST ELEVATION

1/4" = 1'-0"

D
2

PROP. SOUTH-EAST ELEVATION

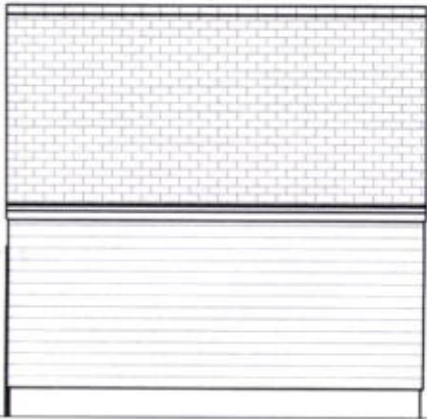
1/4" = 1'-0"



A
3

EX. SOUTH-WEST ELEVATION

1/8" = 1'-0"



B
3

EX. NORTH-WEST ELEVATION

1/8" = 1'-0"



C
3

PROP. SOUTH-WEST ELEVATION

1/4" = 1'-0"

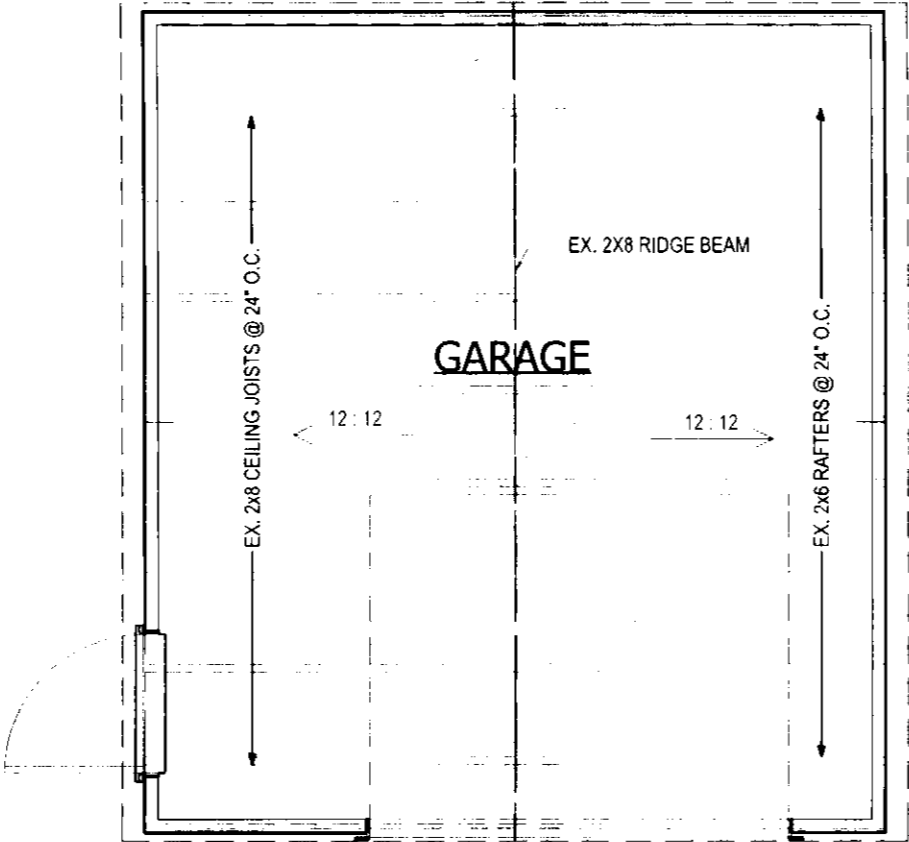
- WINDOW/DOOR NOTES:**
- ALL NEW WINDOWS & NEW DOOR
 - WINDOWS TO BE WOOD ON THE EXTERIOR, AND WOOD ON THE INTERIOR
 - WOOD DOOR
 - WINDOWS & DOOR TO HAVE 2x4 TRIM



D
3

PROP. NORTH-WEST ELEVATION

1/4" = 1'-0"



A
4

AS-BUILT FLOOR PLAN

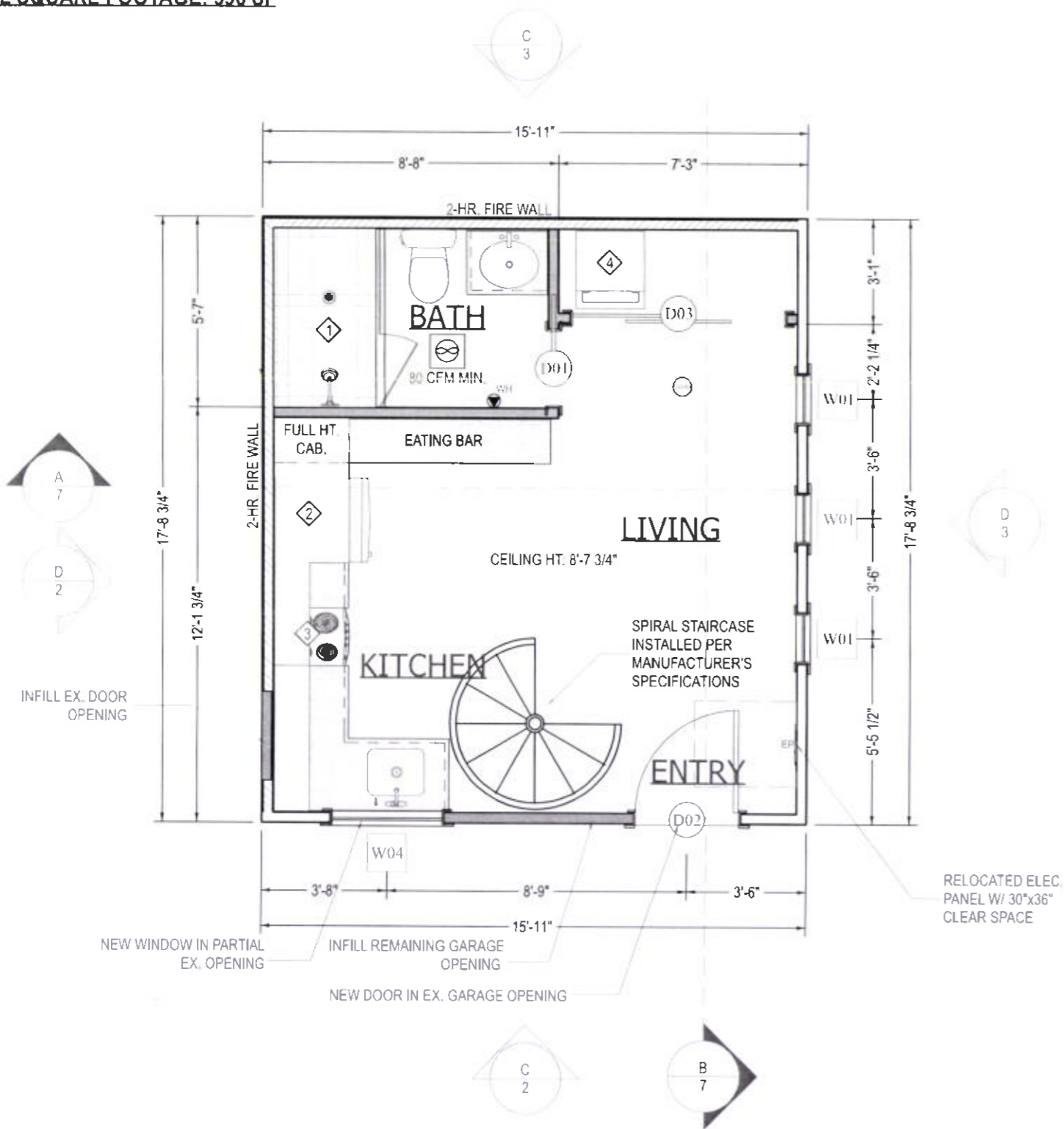
1/4" = 1'-0"

McCANDLISH ADU

MAIN LEVEL SQUARE FOOTAGE: 262 SF

2nd LEVEL SQUARE FOOTAGE: 134 SF

TOTAL SQUARE FOOTAGE: 396 SF



DOOR SCHEDULE								
NUMBER	QTY	FLOOR	WIDTH	HEIGHT	HINGE SIDE	DESCRIPTION	COMMENTS	
D01	1	1	26 "	80 "	L	POCKET-PANEL		
D02	1	1	36 "	80 "	R	EXT. ENTRY DOOR W/ LITES		
D03	1	1	74 "	80 "	R	BI-PASS CLOSET DOOR		

WINDOW SCHEDULE								
NUMBER	QTY	FLOOR	WIDTH	HEIGHT	EGRESS	TEMPERED	DESCRIPTION	COMMENTS
W01	3	1	18 "	18 "			FIXED GLASS	
W02	1	2	30 "	30 "			FIXED GLASS	
W03	1	2	33 "	36 "	YES		SINGLE CASEMENT-HR	
W04	1	1	40 "	40 "			SINGLE HUNG	

- 1 TILE SHOWER
- 2 30" REFRIGERATOR
- 3 20" HOOD & RANGE
- 4 STACKED WASHER & DRYER

LEGEND:

- [Solid line] = EXISTING WALL
- [Thick solid line] = NEW WALL
- [Dashed line] = REMOVED WALL
- [Circle with cross] = CARBON/SMOKE DETECTOR COMBO
- [Circle with SD] = SMOKE DETECTOR
- [Circle with fan] = EXHAUST FAN
- [Square with WH] = WALL HEATER

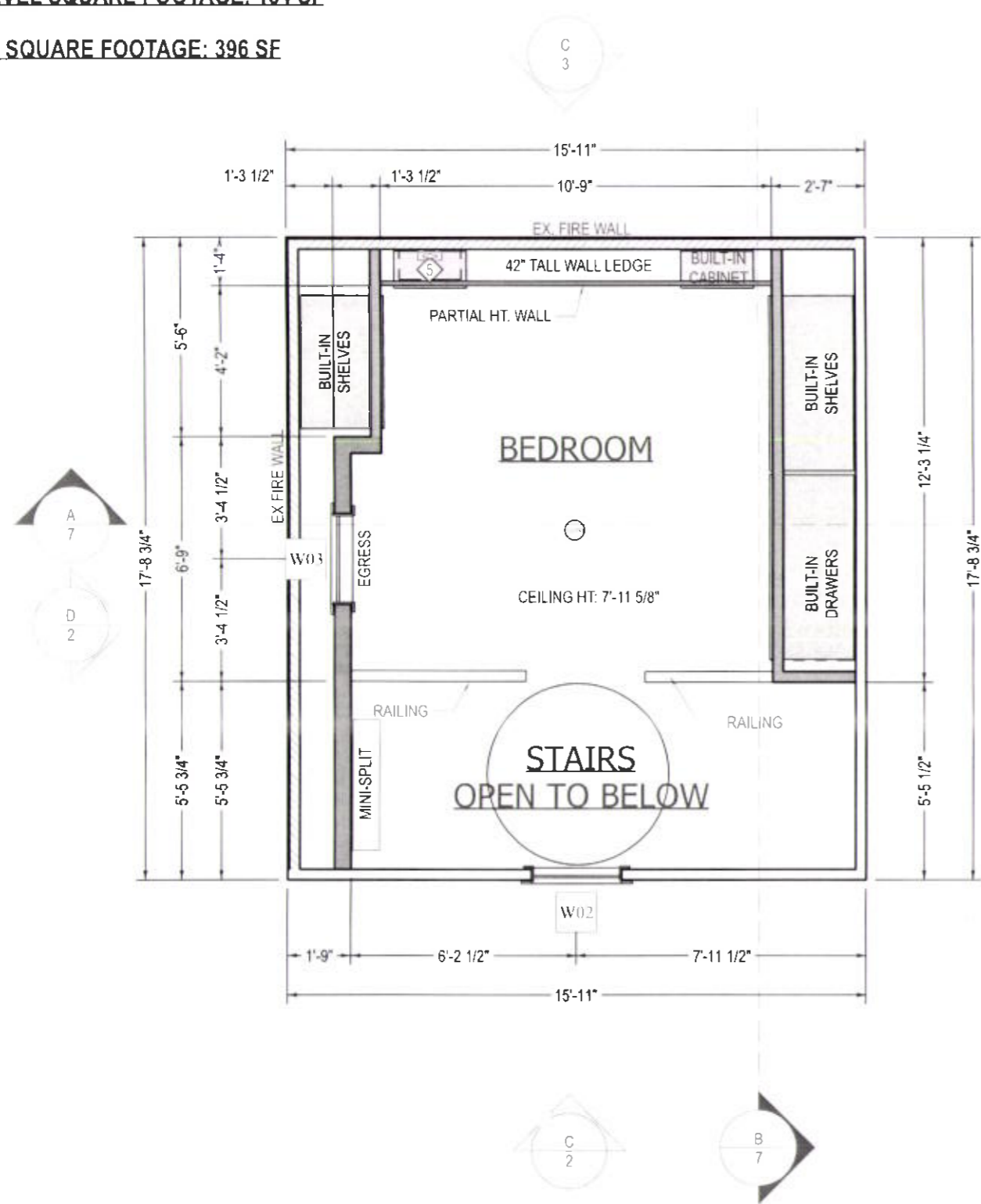
A 5 MAIN LEVEL FLOOR PLAN
1/4" = 1'-0"

McCANDLISH ADU

MAIN LEVEL SQUARE FOOTAGE: 262 SF

2nd LEVEL SQUARE FOOTAGE: 134 SF

TOTAL SQUARE FOOTAGE: 396 SF



WINDOW SCHEDULE								
NUMBER	QTY	FLOOR	WIDTH	HEIGHT	EGRESS	TEMPERED	DESCRIPTION	COMMENTS
W01	3	1	18 "	18 "			FIXED GLASS	
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W03	1	2	33 "	36 "	YES		SINGLE CASEMENT-HR	
W04	1	1	40 "	40 "			SINGLE HUNG	

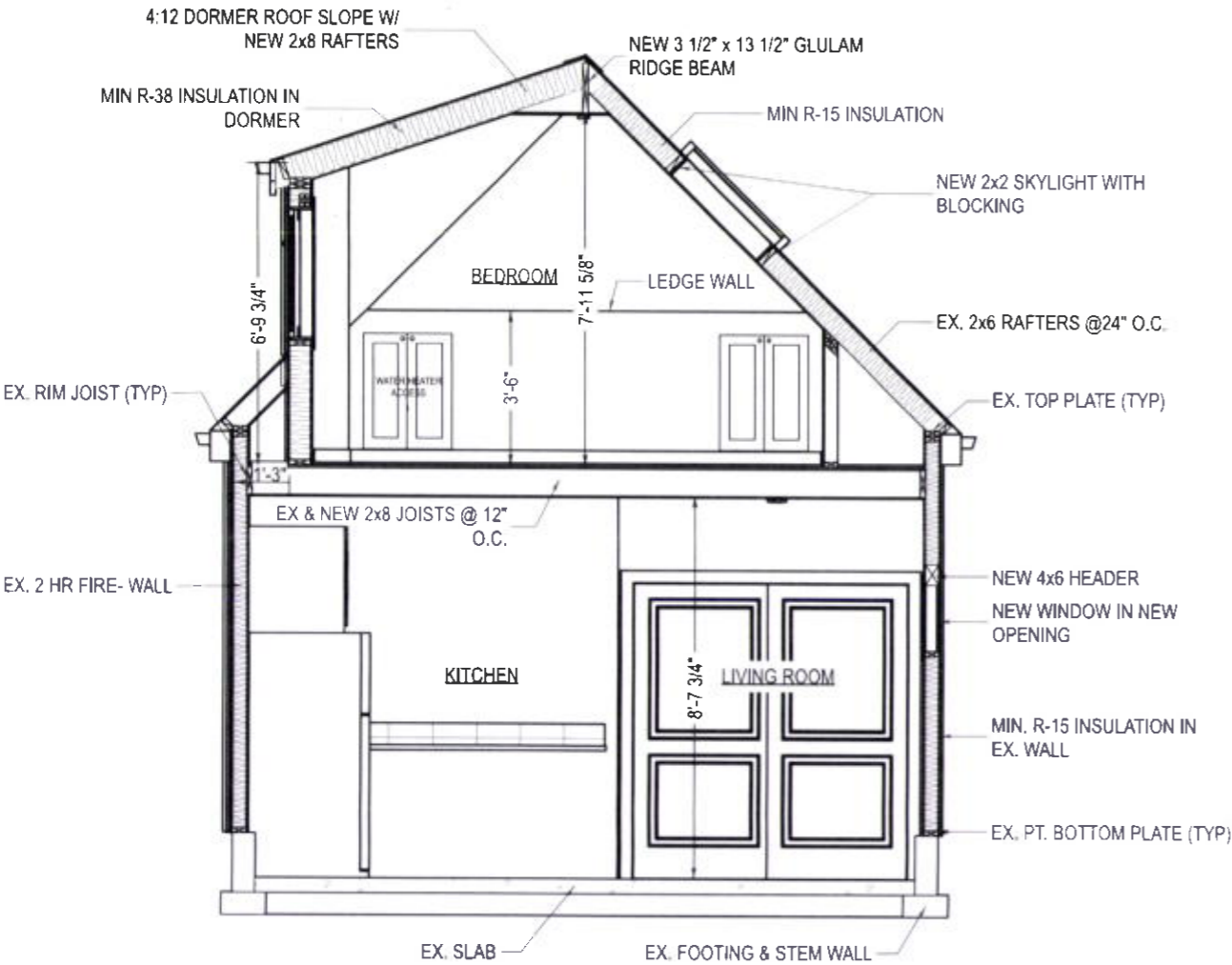
5 TANKLESS WATER HEATER.
ENCLOSING CABINET BUILT TO MANUFACTURERS
MINS.
NEEDS A 20.25" WIDE, 3' TALL, 9.5" DEEP CABINET.
PRODUCT BASED ON "RHEEM, MODEL #RETEX-11"

- LEGEND:
- [Solid line] = EXISTING WALL
 - [Dashed line] = NEW WALL
 - [Dotted line] = REMOVED WALL
 - [Circle with cross] = CARBON/SMOKE DETECTOR COMBO
 - [Circle with dot] = SMOKE DETECTOR
 - [Circle with X] = EXHAUST FAN
 - [Circle with W] = WALL HEATER

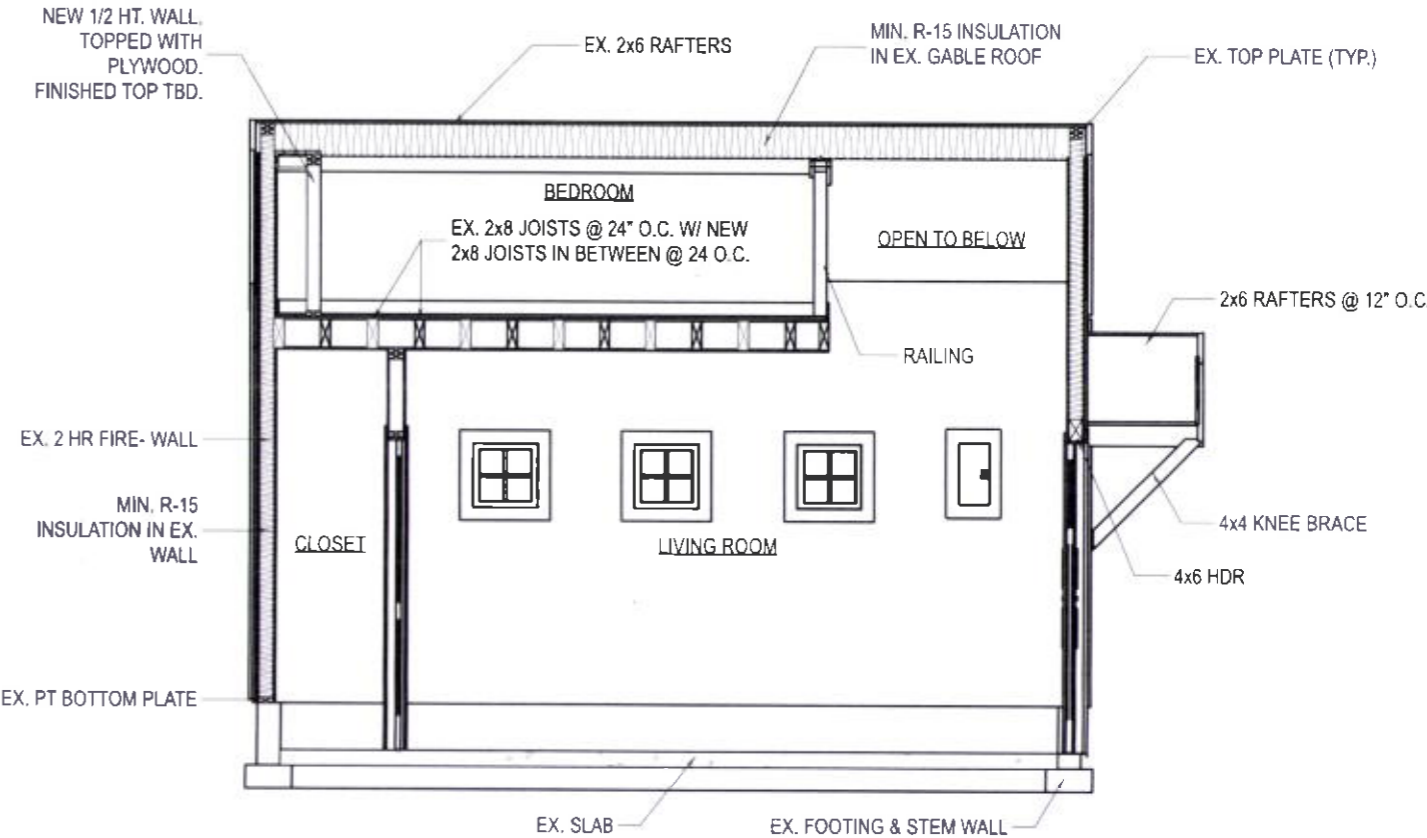
A
6

2nd LEVEL FLOOR PLAN

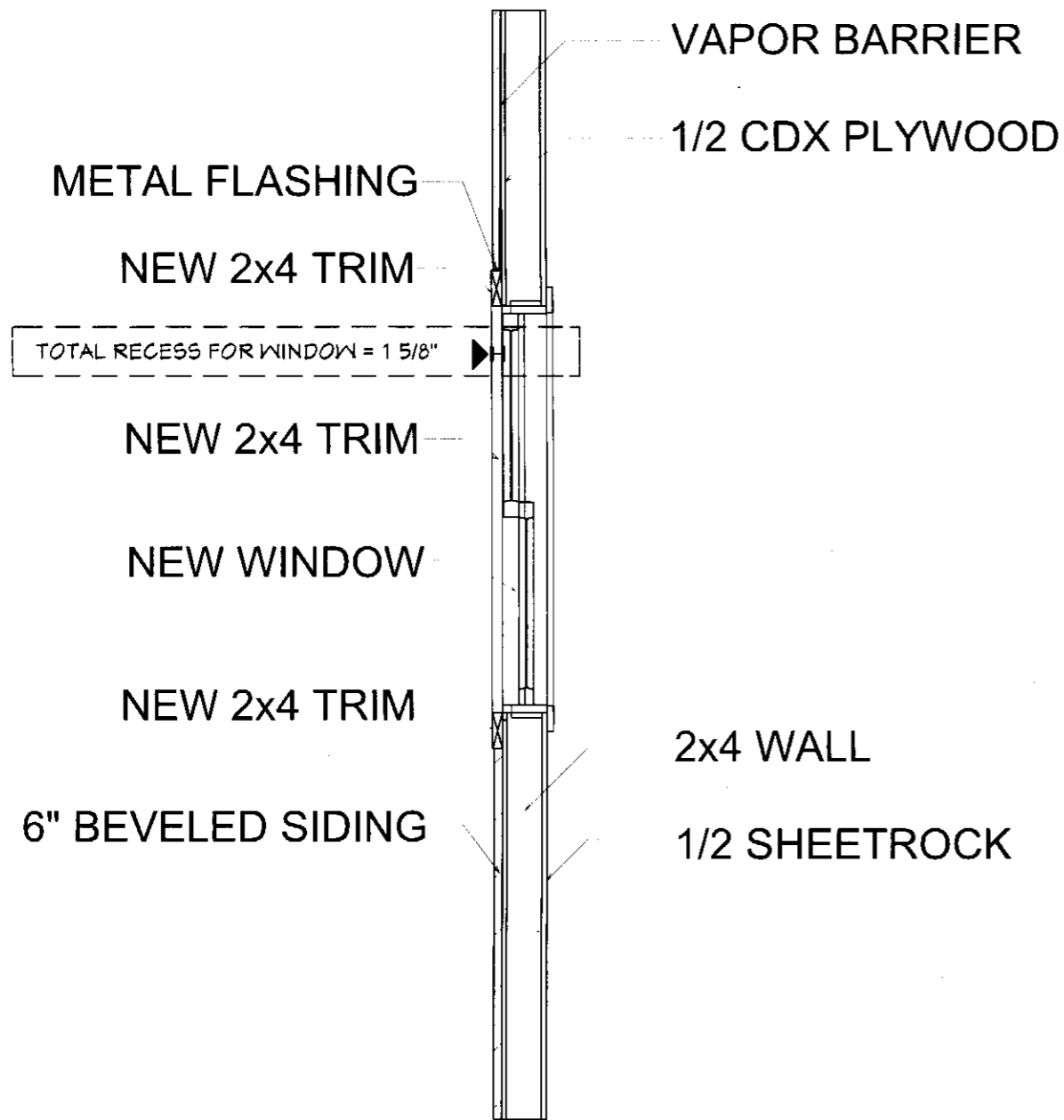
1/4" = 1'-0"



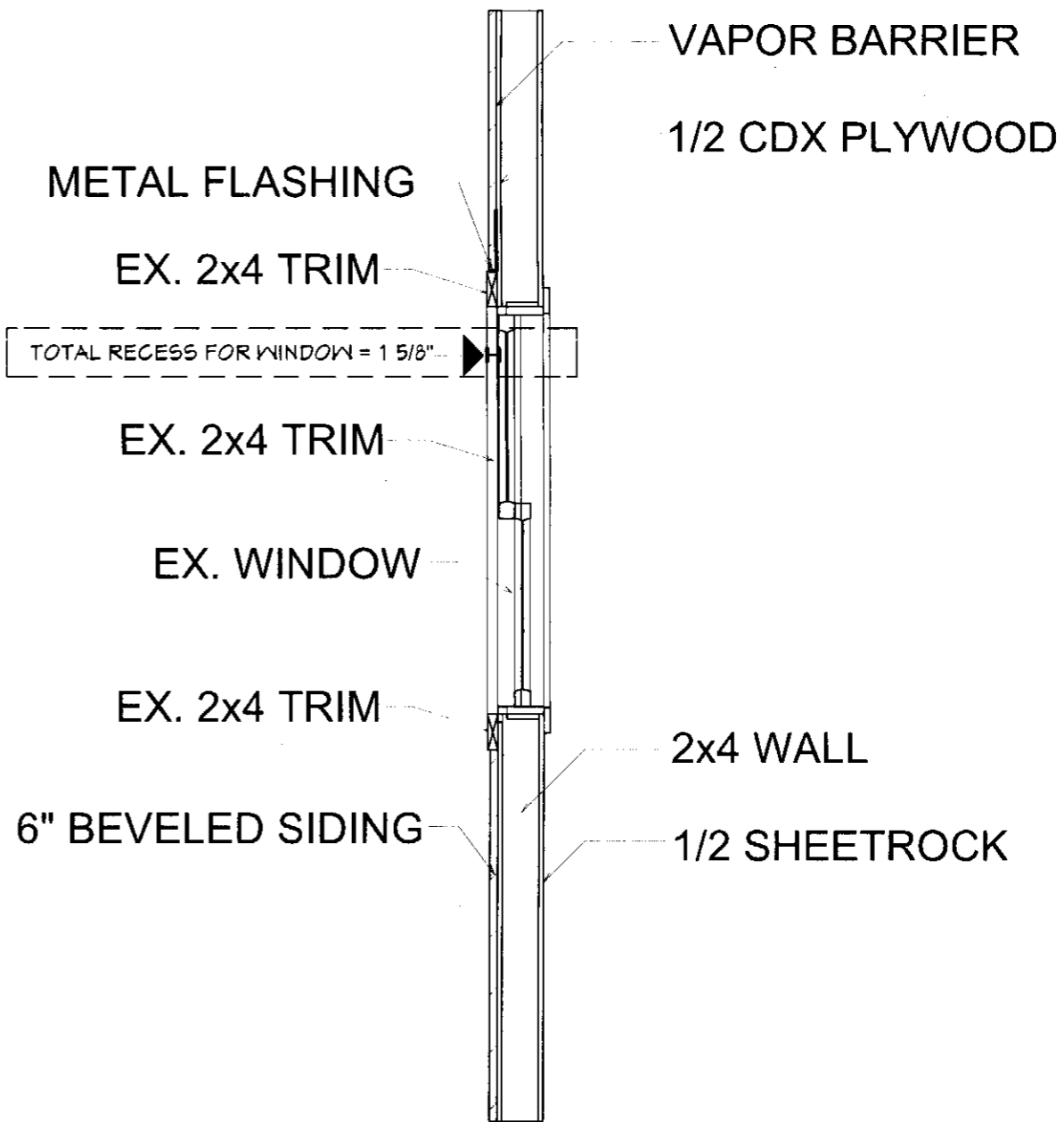
SECTION 1
1/4" = 1'-0"



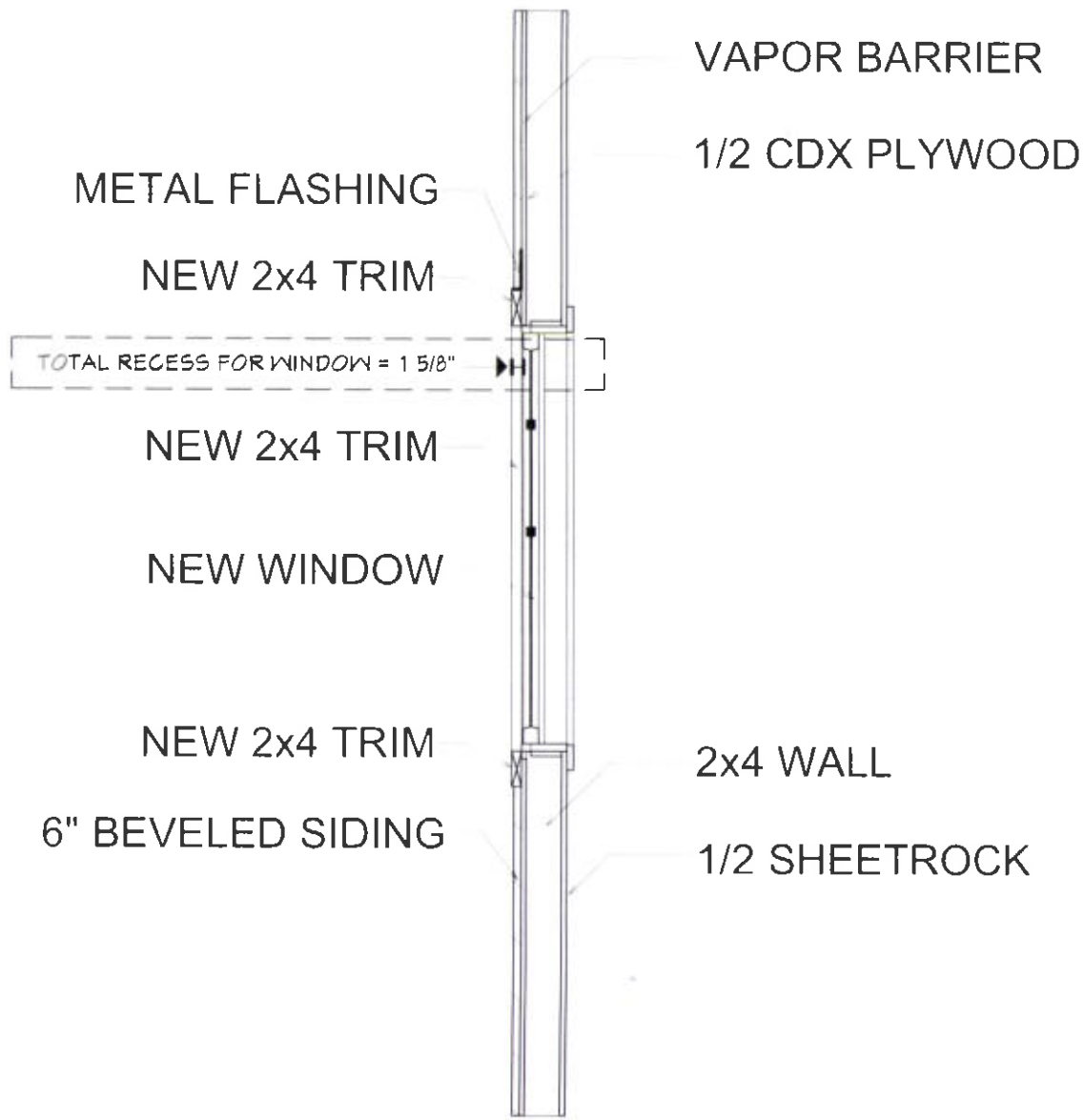
SECTION 2
1/4" = 1'-0"



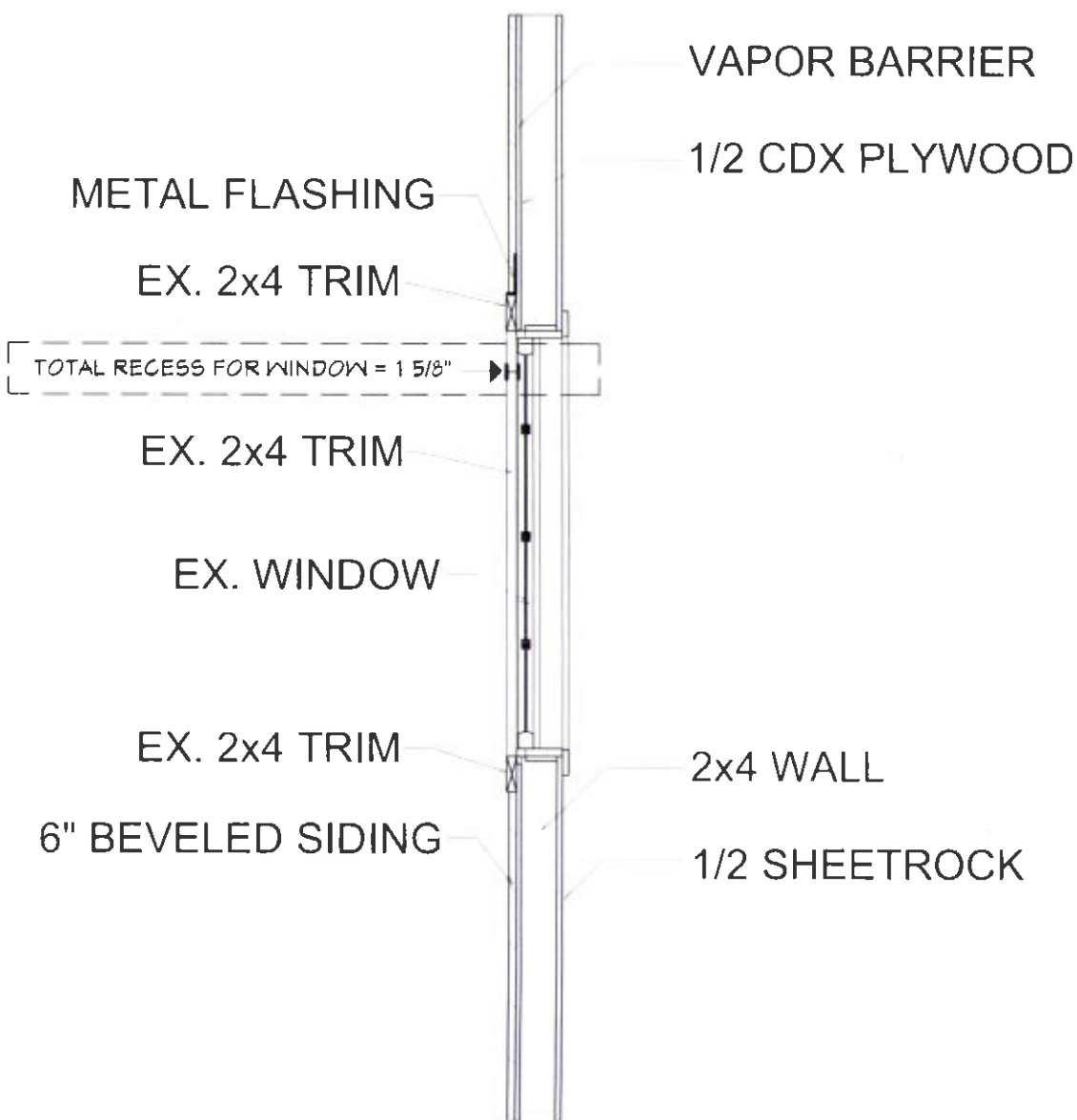
NEW DOUBLE HUNG
WINDOW
(ADU)



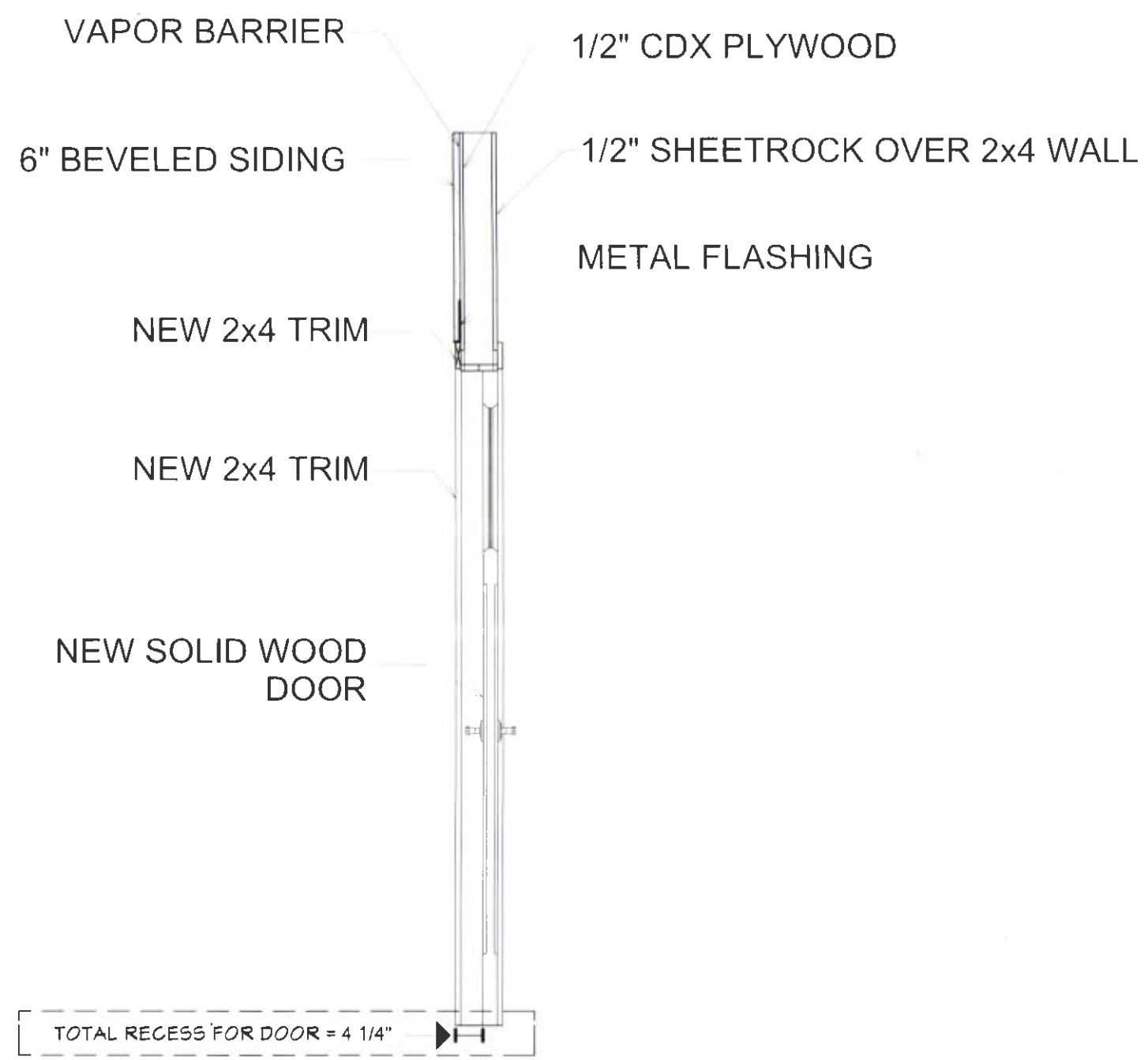
EXISTING DOUBLE
HUNG WINDOW
(RESIDENCE)



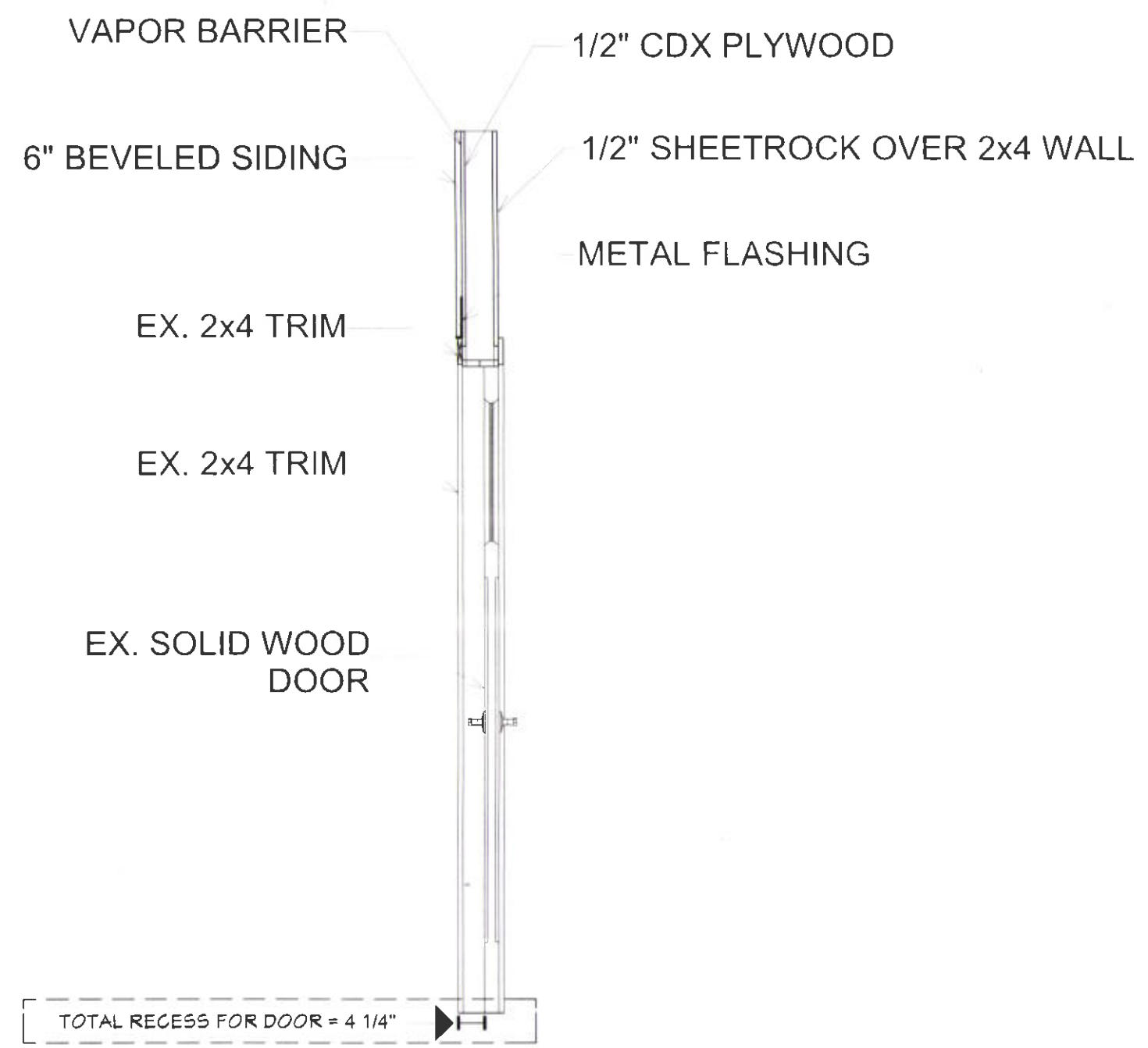
NEW CASEMENT
WINDOW
(ADU)



EXISTING CASEMENT
WINDOW
(RESIDENCE)



NEW DOOR
(ADU)



EXISTING DOOR
(RESIDENCE)

Casa Bonita_McCandleish

All wood

Quote #: Y5MDHGU

A Proposal for Window and Door Products prepared for:

Shipping Address:

PARR LUMBER CO-ALOHA
5600 NW CENTURY BLVD
HILLSBORO, OR 97124-8620

KORY JONES
PARR LUMBER CO-ALOHA
5630 NW CENTURY BLVD
HILLSBORO, OR 97124-8620
Phone: (503) 488-1403
Fax: (503) 614-8595
Email: kory.jones@parr.com

This report was generated on 7/24/2018 10:34:08 AM using the Marvin Order Management System, version 0002 21.00 (Current). Price in USD. Unit availability and price are subject to change. Dealer terms and conditions may apply.

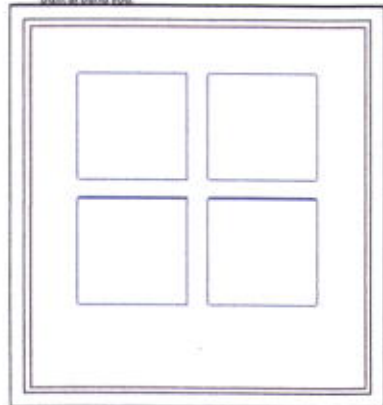
Featuring products from:



LINE ITEM QUOTES

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

Line #1	Mark Unit: W01	Net Price:		510.72
Qty: 3		Ext. Net Price:	USD	1,532.16



As Viewed From The Exterior

Entered As: CN

CN 1618

FS 16" X 17 1/8"

RO 17" X 17 5/8"

Egress Information

No Egress Information available.

Performance Information

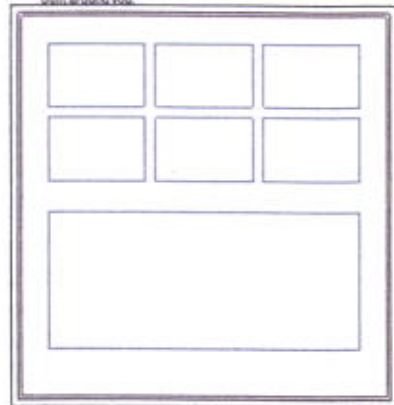
Product Performance Information is currently unavailable in the OMS for this product and glazing option. To request product performance information not in the OMS, contact your Marvin representative or submit an Assistance Request.

Performance Grade

No Performance Grade Information available.

Primed Pine Exterior
Primed Pine Interior
Basic Unit
Wood Ultimate Casement - Stationary
CN 1618
Rough Opening w/o Subsill
17" X 17 5/8"
Frame Size w/o Subsill
16" X 17 1/8"
Primed Pine Sash Exterior
Primed Pine Sash Interior
IG - 3/4"
Low E2
Capillary Tube
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 2W2H
Primed Pine Ext - Primed Pine Int
Match WUDH Interior and Exterior Sash Profiles and Divided Lite Bars
Ovolo Interior Glazing Profile
Tall Bottom Rail
White Weather Strip
Solid Wood Covers
4 9/16" Jambs
Exterior Casing - None
No Subsill
Installed Installation Brackets

Line #2	Mark Unit: W02	Net Price:		703.76
Qty: 1		Ext. Net Price:	USD	703.76



As Viewed From The Exterior

Entered As: CN

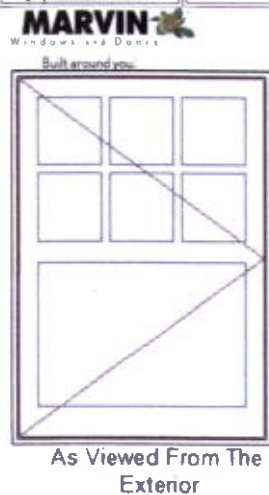
CN 3032

Primed Pine Exterior
Primed Pine Interior
Basic Unit
Wood Ultimate Casement - Stationary
CN 3032
Rough Opening w/o Subsill
31" X 31 5/8"
Frame Size w/o Subsill
30" X 31 1/8"
Primed Pine Sash Exterior
Primed Pine Sash Interior
IG - 3/4"
Low E2 w/Argon
Stainless Perimeter and Spacer Bar
2 13/32" Simulated Rail Rectangular
Standard 1.0:2.0
7/8" SDL - With Spacer Bar - Stainless
Top Cut 3W2H - Bottom Cut 1W1H
7 Rect Lites
Primed Pine Ext - Primed Pine Int
Match WUDH Interior and Exterior Sash Profiles and Divided Lite Bars
Ovolo Interior Glazing Profile
Tall Bottom Rail

FS 30" X 31 1/8"
RO 31" X 31 5/8"
Egress Information
No Egress Information available.
Performance Information
U-Factor: 0.28
Solar Heat Gain Coefficient: 0.25
Visible Light Transmittance: 0.42
Condensation Resistance: 59
CPD Number: MAR-N-347-07204-00001
ENERGY STAR: NC, SC, S
Performance Grade
Licensee #1067
AAMA/WDMA/CSA/101/ I.S.2/A440-08
CW-PG50 914X2442 mm (36X96.2 in)
CW-PG50 DP +50/-50
FL13145

White Weather Strip
Solid Wood Covers
4 9/16" Jambs
Exterior Casing - None
No Subsill
Installed Installation Brackets

Line #3	Mark Unit: W03	Net Price:	900.60
Qty: 1		Ext. Net Price: USD	900.60



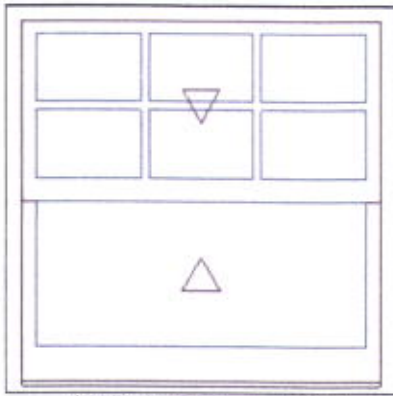
Entered As: CN
CN 3044
FS 30" X 43 1/8"
RO 31" X 43 5/8"
Egress Information
Width: 22 57/64" Height: 38 1/64"
Net Clear Opening: 6.04 SqFt
Performance Information
U-Factor: 0.28
Solar Heat Gain Coefficient: 0.25
Visible Light Transmittance: 0.42
Condensation Resistance: 59
CPD Number: MAR-N-347-07204-00001
ENERGY STAR: NC, SC, S
Performance Grade
Licensee #1067
AAMA/WDMA/CSA/101/ I.S.2/A440-08
CW-PG50 914X2442 mm (36X96.2 in)
CW-PG50 DP +50/-50
FL13145

Primed Pine Exterior
Primed Pine Interior
Basic Unit
Wood Ultimate Casement - Right Hand
CN 3044
Rough Opening w/o Subsill
31" X 43 5/8"
Frame Size w/o Subsill
30" X 43 1/8"
Primed Pine Sash Exterior
Primed Pine Sash Interior
IG - 3/4"
Low E2 w/Argon
Stainless Perimeter and Spacer Bar
2 13/32" Simulated Rail Rectangular
Standard 1.0:2.0
7/8" SDL - With Spacer Bar - Stainless
Top Cut 3W2H - Bottom Cut 1W1H
7 Rect Lites
Primed Pine Ext - Primed Pine Int
Match WUDH Interior and Exterior Sash Profiles and Divided Lite Bars
Ovolo Interior Glazing Profile
Tall Bottom Rail
White Weather Strip
Oil Rubbed Bronze Folding Handle
Oil Rubbed Bronze Multi - Point Lock
Aluminum Screen
White Surround
Charcoal Fiberglass Mesh
4 9/16" Jambs
Exterior Casing - None
No Subsill
Installed Installation Brackets

Line #4	Mark Unit: W04	Net Price:	779.76
Qty: 1		Ext. Net Price: USD	779.76



Primed Pine Exterior
Primed Pine Interior
Basic Unit
Wood Ultimate Double Hung
CN 3616



As Viewed From The Exterior

Entered As: CN
CN 3616
FS 41 3/8" X 39 29/32"
RO 42 3/8" X 40 13/32"
Egress Information
Width: 37 13/16" Height: 14 1/4"
Net Clear Opening: 3.74 SqFt
Performance Information
U-Factor: 0.29
Solar Heat Gain Coefficient: 0.26
Visible Light Transmittance: 0.45
Condensation Resistance: 57
CPD Number: MAR-N-68-05573-00001
ENERGY STAR: NC
Performance Grade
Licensee #1109
AAMA/WDMA/CSA/101/ I.S.2/A440-08
LC-PG40 1051X2464 mm (41.4X97 in)
LC-PG40 DP +40/-40
FL15162

Rough Opening w/o Subsill
42 3/8" X 40 13/32"
Top Sash
Primed Pine Sash Exterior
Primed Pine Sash Interior
IG
Low E2 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 3W2H
Primed Pine Ext - Primed Pine Int
Ovolo Exterior Glazing Profile
Ovolo Interior Glazing Profile
Bottom Sash
Primed Pine Sash Exterior
Primed Pine Sash Interior
IG - 1 Lite
Low E2 w/Argon
Stainless Perimeter Bar
Ovolo Exterior Glazing Profile
Ovolo Interior Glazing Profile
Oil Rubbed Bronze Sash Lock
White Jamb Hardware
Non Finger-Jointed Blindstop
No Screen
4 9/16" Jamb
Exterior Casing - None
No Subsill
Non Finger-Jointed Sill
Installed Installation Brackets

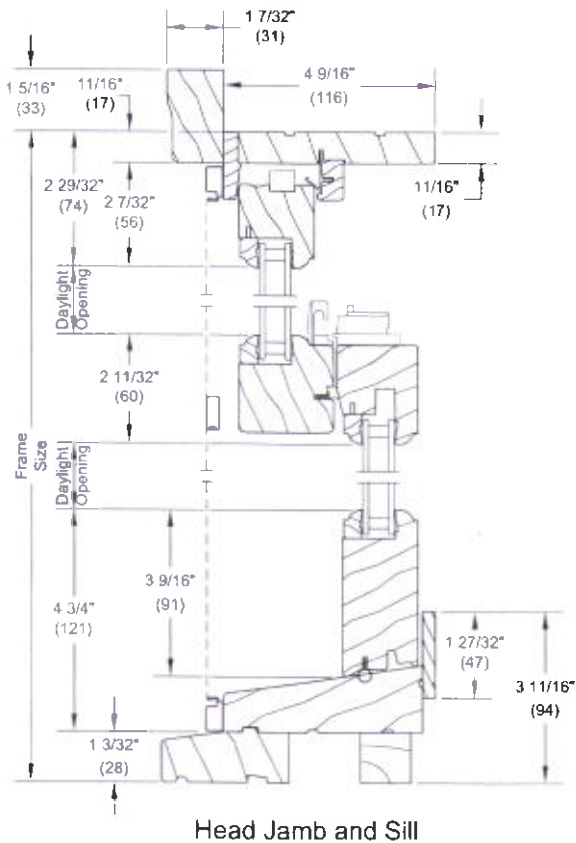
Project Subtotal Net Price: USD	3,916.28
0.000% Sales Tax: USD	0.00
Project Total Net Price: USD	3,916.28

Wood Ultimate Double Hung

Section Details: Operating

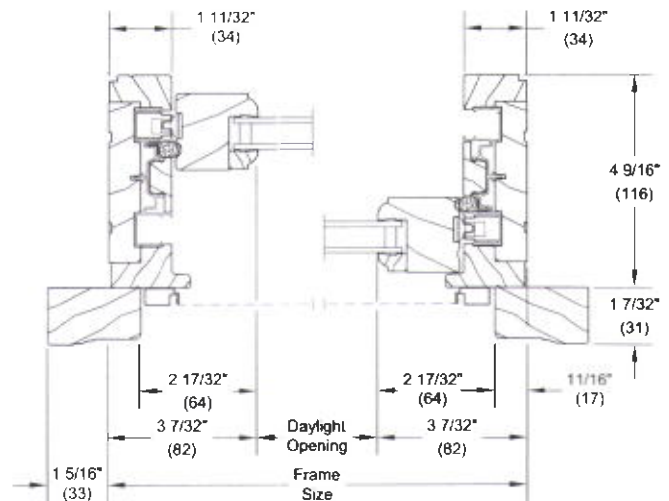
Scale: 3" = 1' 0"

Double Hung



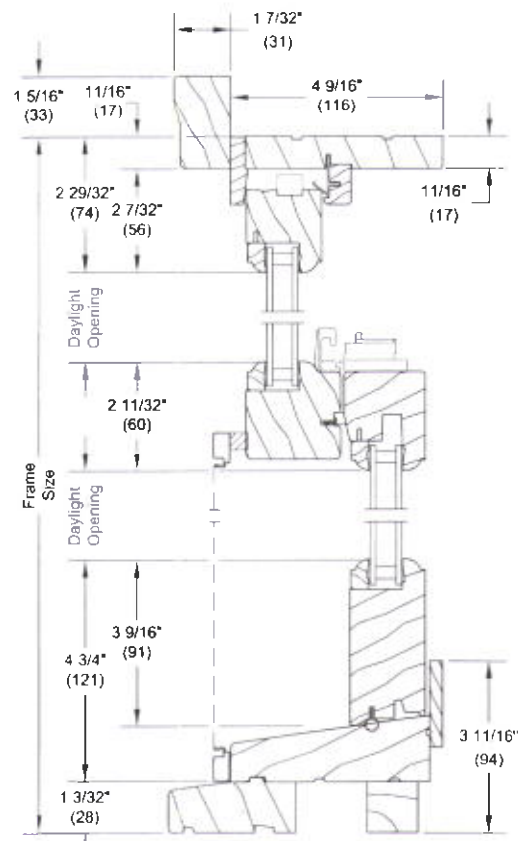
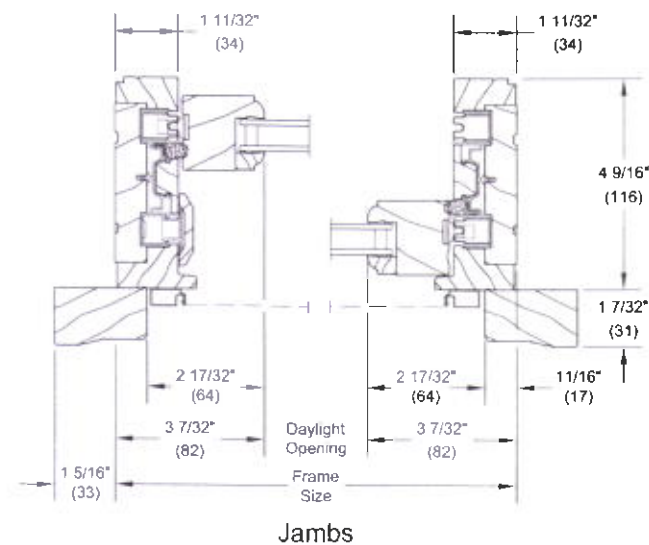
Lower Sash

Upper Sash



Jambs

Single Hung



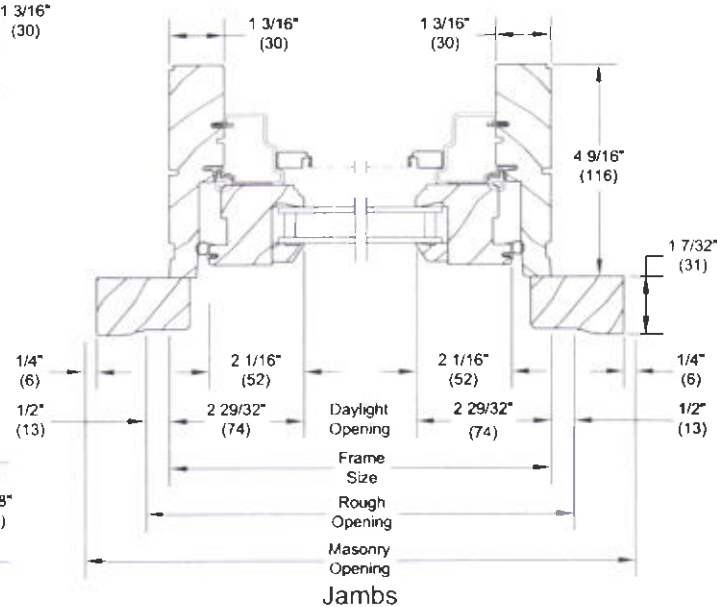
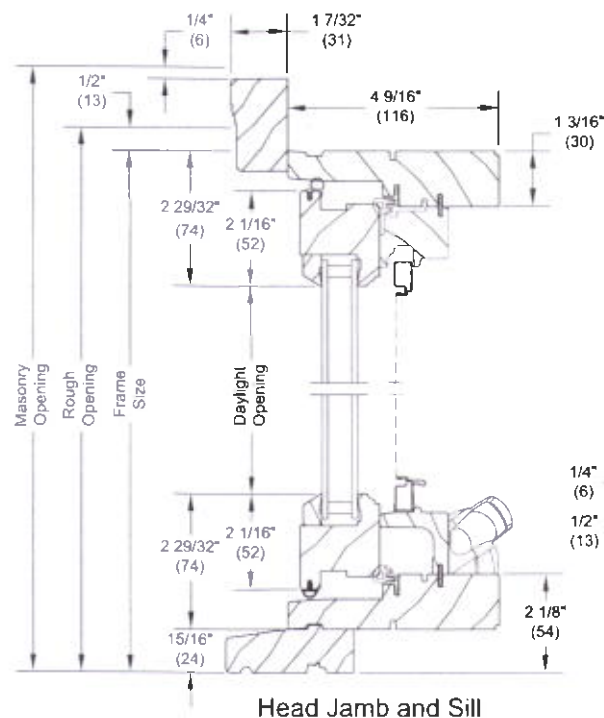
Head Jamb and Sill

Wood Ultimate Casement, Awning and Picture

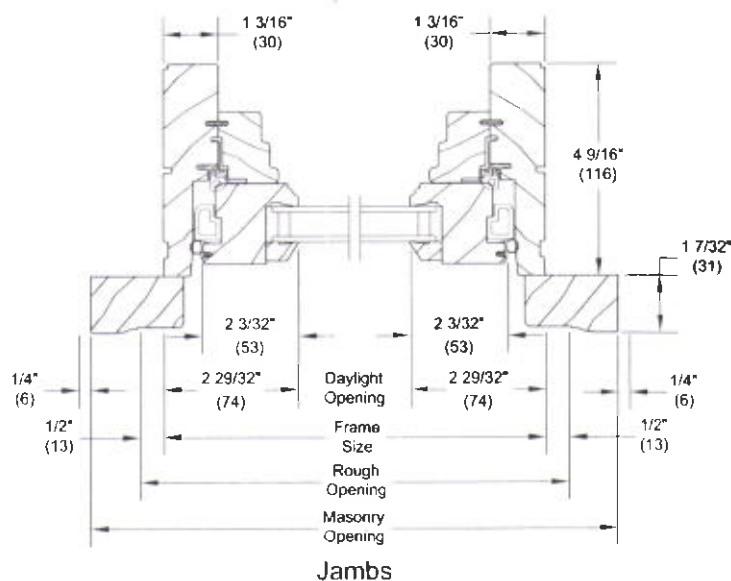
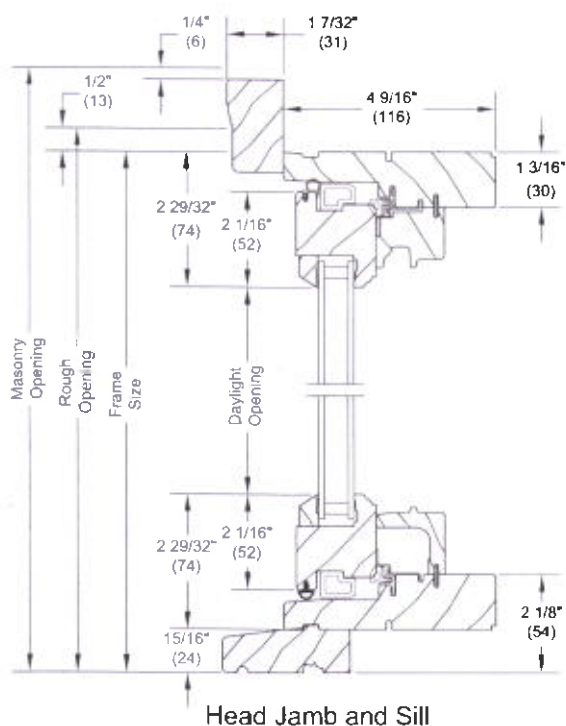
Section Details: Operating and Stationary / Picture - 3/4" (19) IG

Scale: 3" = 1' 0"

Operating









Stationary



SOLD TO:	Casa Bonita	CONTRACTOR	PO#	
	McCandlish		SALESPERSON:	KORY JONES
SHIP TO:	PARR HILLSBORO LOGISTICS		ORDER DATE	
		PHONE	DELIVERY DATE:	
		VENDOR ORDER #:	PARR 'S ORDER #	



LEFT HAND	INSIDE	RIGHT HAND	COMMENT
			APPROVAL
			
RIGHT HAND OUT	OUTSIDE	LEFT HAND OUT	

\$ (UNLESS NOTED OTHERWISE)



ZONING



Site

THIS SITE LIES WITHIN THE:
LADD'S ADDITION HISTORIC DISTRICT

File No.	LU 18-145469 HR
1/4 Section	3232
Scale	1 inch = 200 feet
State ID	1S1E02DB 7800
Exhibit	B Apr 06, 2018

McCANDLISH ADU

4:12 SHED ROOF DORMER

1903 SE Elliot Ave.
Portland, OR 97214

Job Description:

Convert existing detached garage into ADU.
Adding a dormer.
New exterior wood door with lites.
New wood windows.
New covered entry.

Building Coverage:

Existing: 1,458 SF
Proposed; 1,458 SF (No Changes)

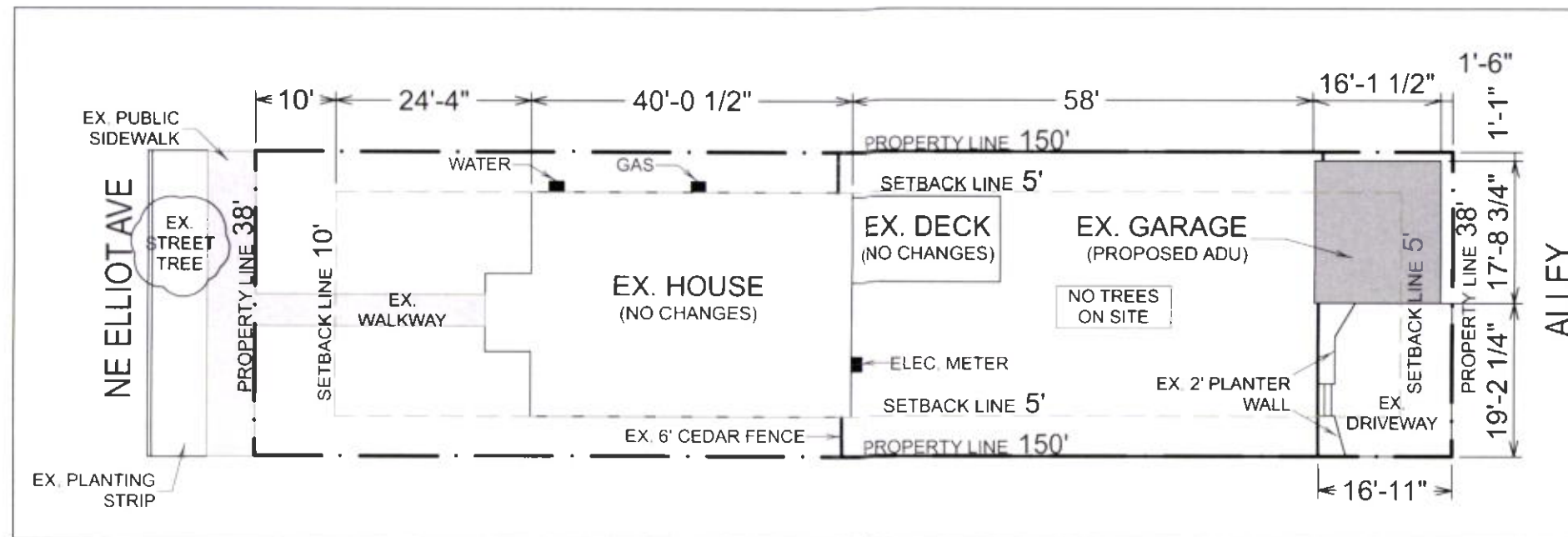
Homeowner:

Jim McCandlish

Contractor:

Casa Bonita LLC
1631 NE Broadway St. #721
Portland, OR 97232
CCB: 189948
Drawings:
Precision
9655 SW Sunshine Ct. #700
Beaverton, OR 97005
CCB: 174274

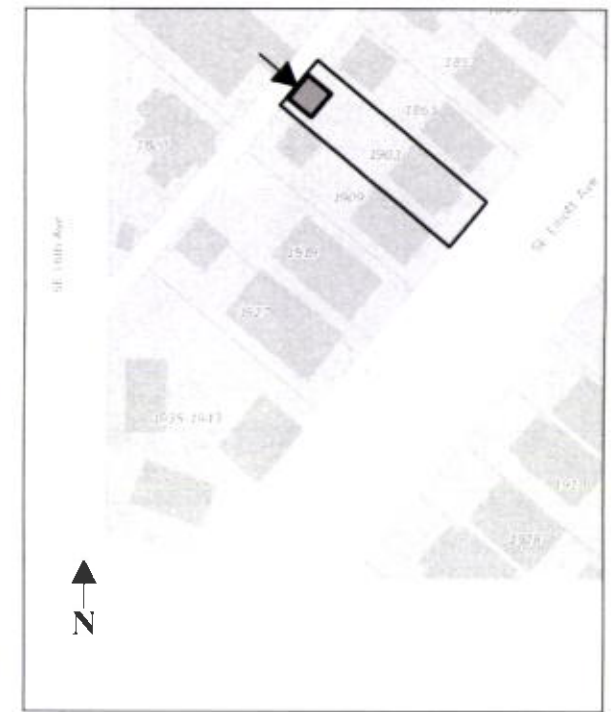
2469451-8107



A
1

EXISTING SITE PLAN

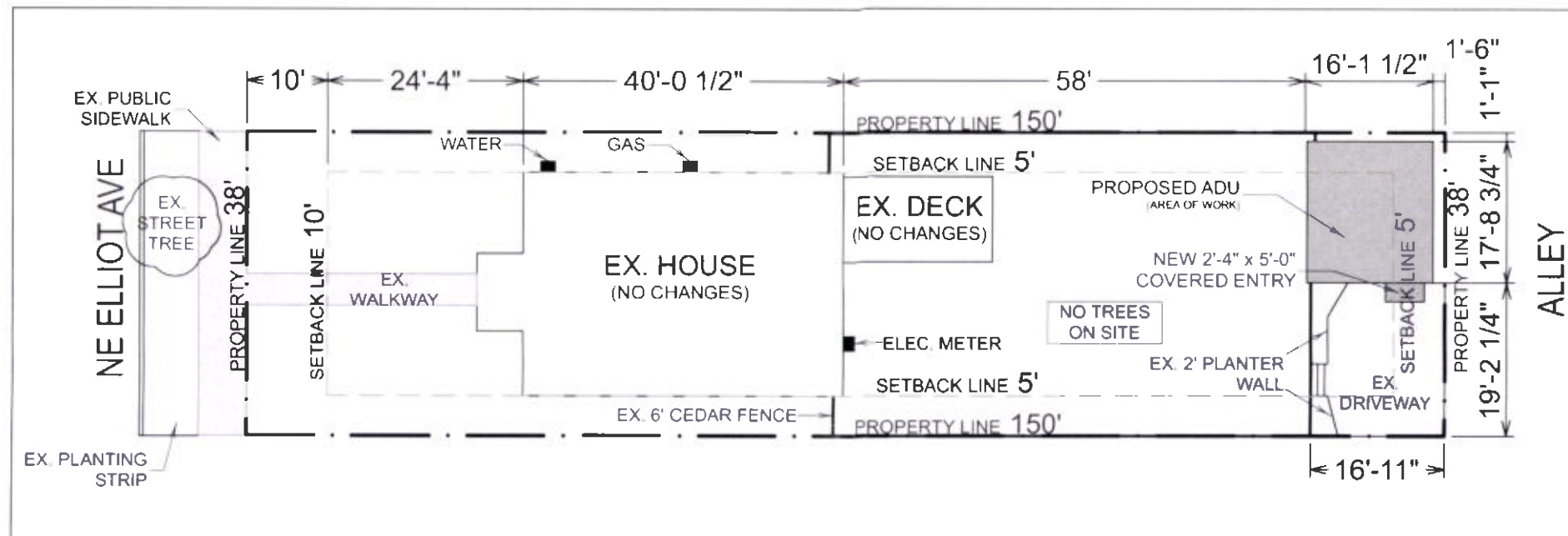
1" = 20'



C
1

VICINITY MAP

NTS



B
1

PROPOSED SITE PLAN

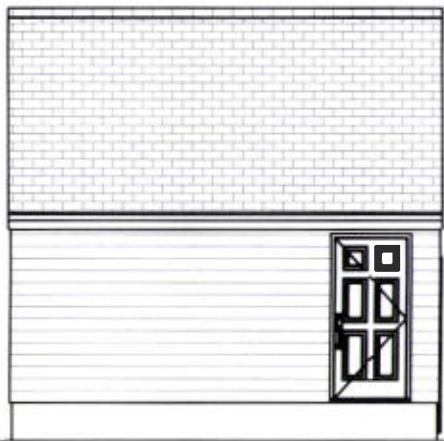
1" = 20'



C-1

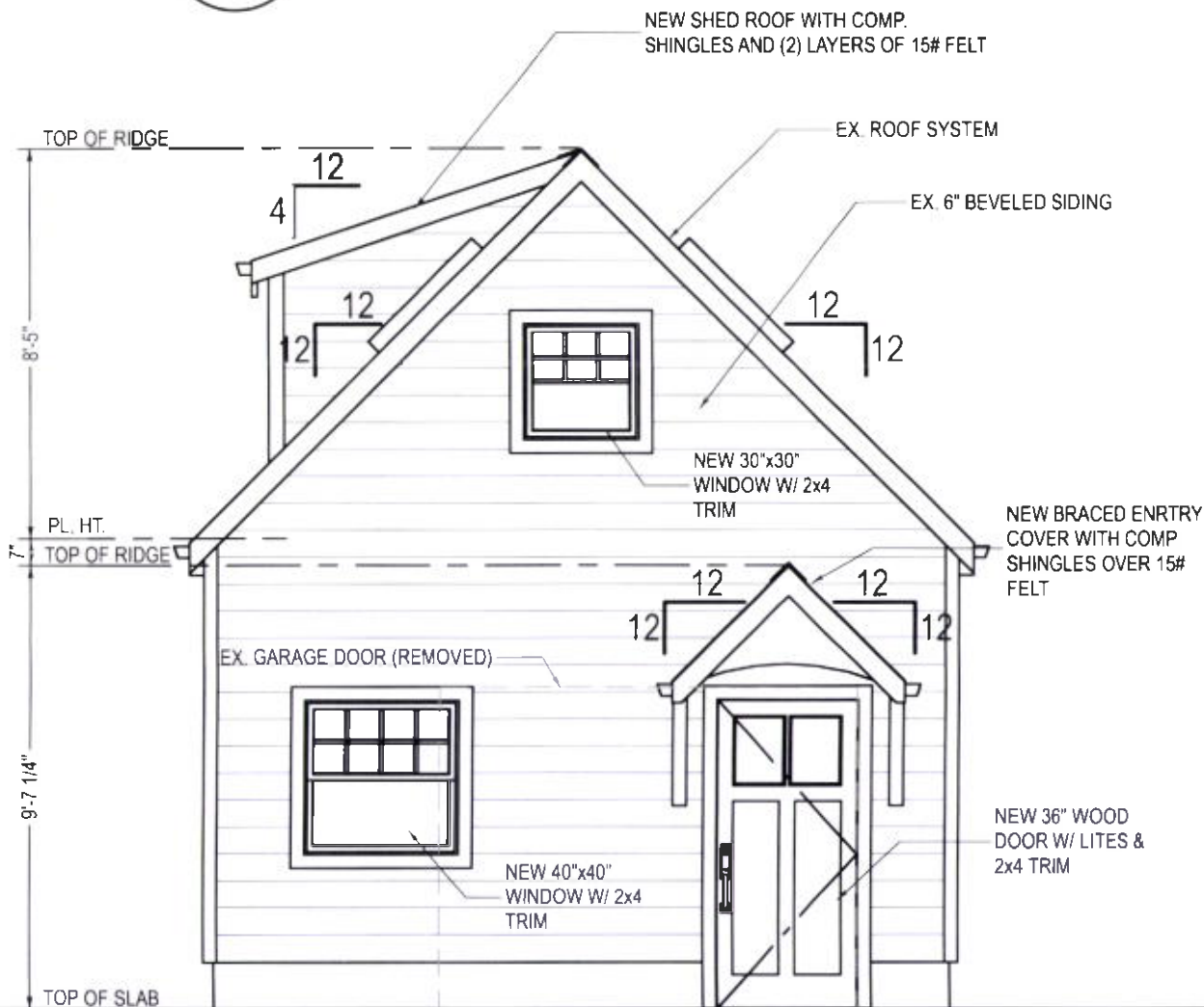
DISCLAIMER:

To the best of knowledge these plans are drawn to comply with owner's and/ or builder's specifications and any changes made on them after prints are made will be done at the owner's and / or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. Designer is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

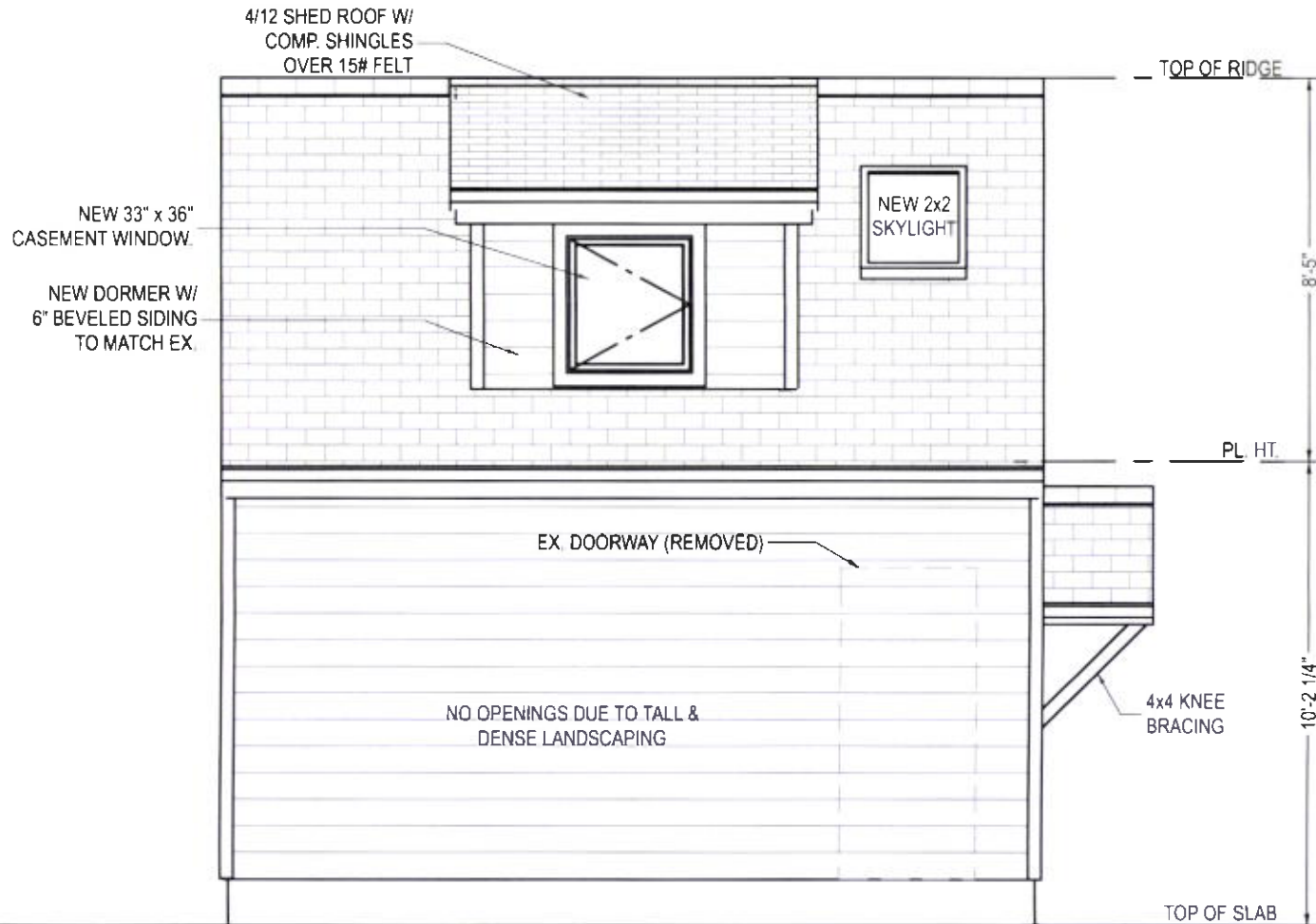


A
2
EX. NORTH-EAST ELEVATION
1/8" = 1'-0"

B
2
EX. SOUTH-EAST ELEVATION
1/8" = 1'-0"



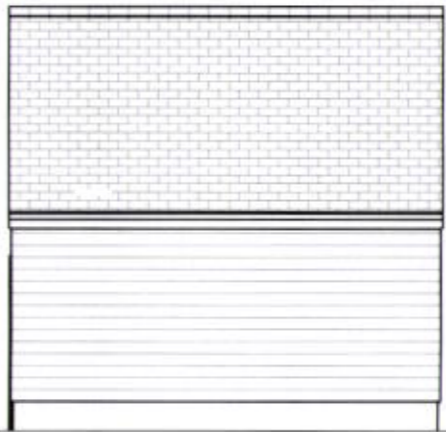
GENERAL NOTES:
-ALL NEW SIDING, ROOF, & TRIM TO MATCH EXISTING MATERIALS & COLORS
WINDOW NOTES:
-ALL NEW WINDOWS AND DOORS
-WINDOWS AND DOORS TO BE WOOD ON THE INTERIOR AND EXTERIOR.
-ALL WILL HAVE 2x4 TRIM ON EXTERIOR.



C
2
PROP. NORTH-EAST ELEVATION
1/4" = 1'-0"

D
2
PROP. SOUTH-EAST ELEVATION
1/4" = 1'-0"

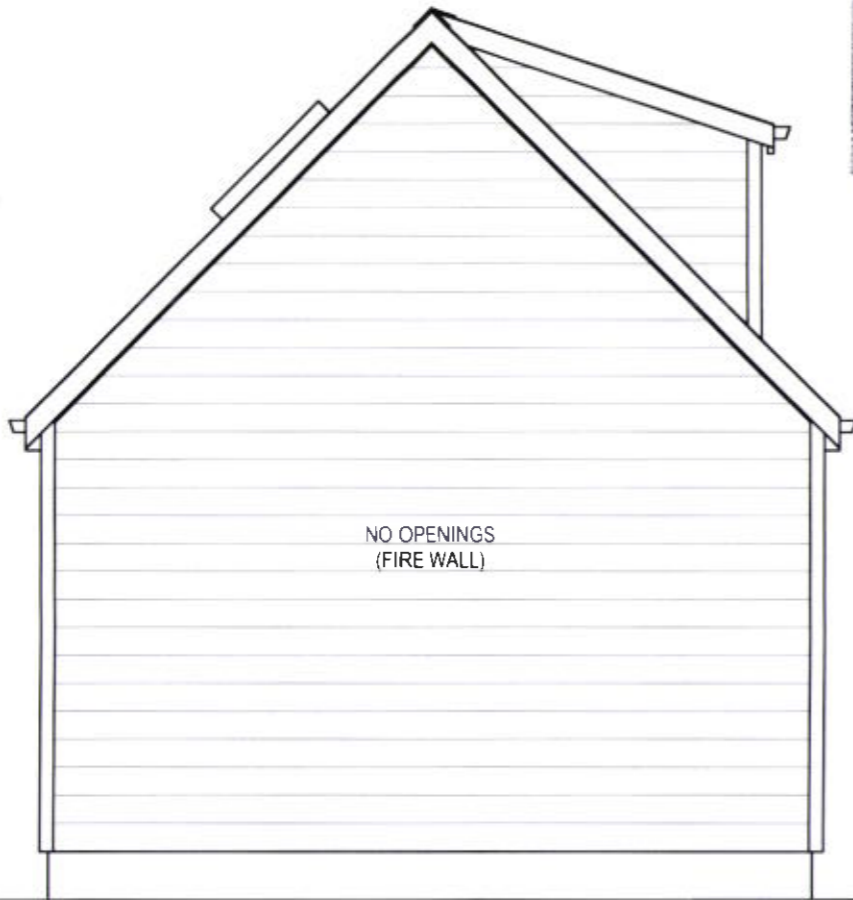
10-18-145469 HR



A
3

EX. SOUTH-WEST ELEVATION

1/8" = 1'-0"



Approved
City of Portland
Bureau of Development Services
Planner pb
Date 9-12-18
* This approval applies only to the
reviews requested and is subject to all
conditions of approval.
Additional zoning requirements may apply.

WINDOW NOTES:
ALL NEW WINDOWS
WINDOWS TO BE
WOOD.

B
3

EX. NORTH-WEST ELEVATION

1/8" = 1'-0"



C
3

PROP. SOUTH-WEST ELEVATION

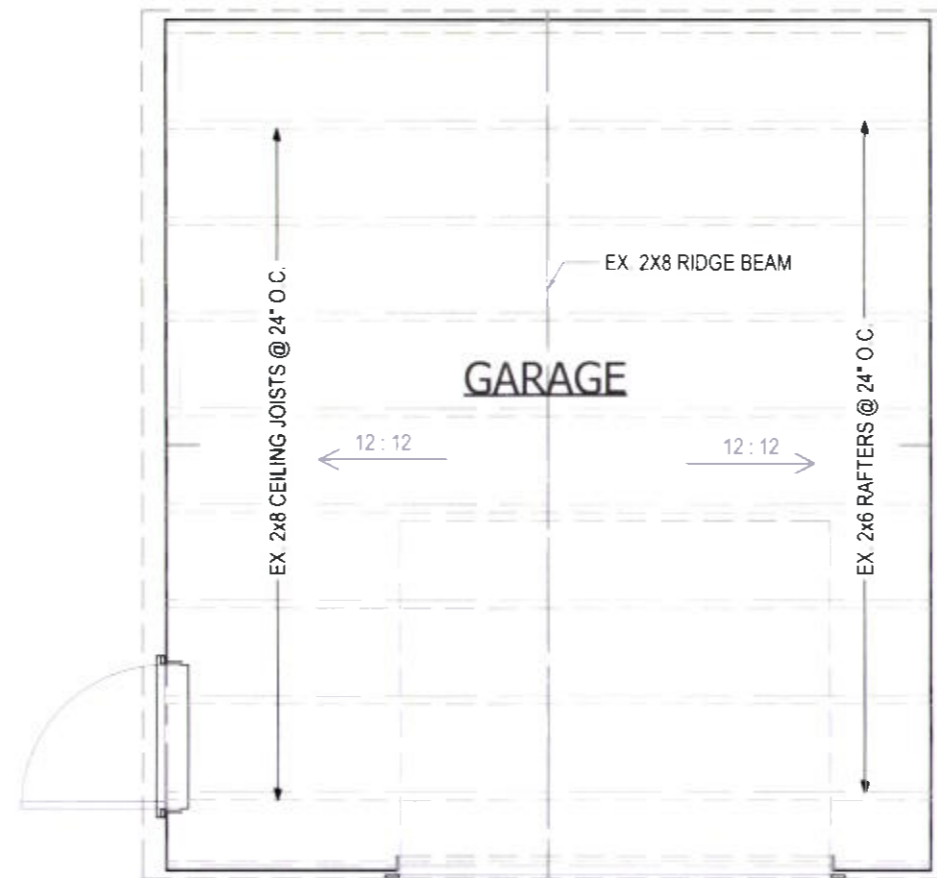
1/4" = 1'-0"

D
3

PROP. NORTH-WEST ELEVATION

1/4" = 1'-0"

LU 18-145469 HR



A
4

AS-BUILT FLOOR PLAN

1/4" = 1'-0"



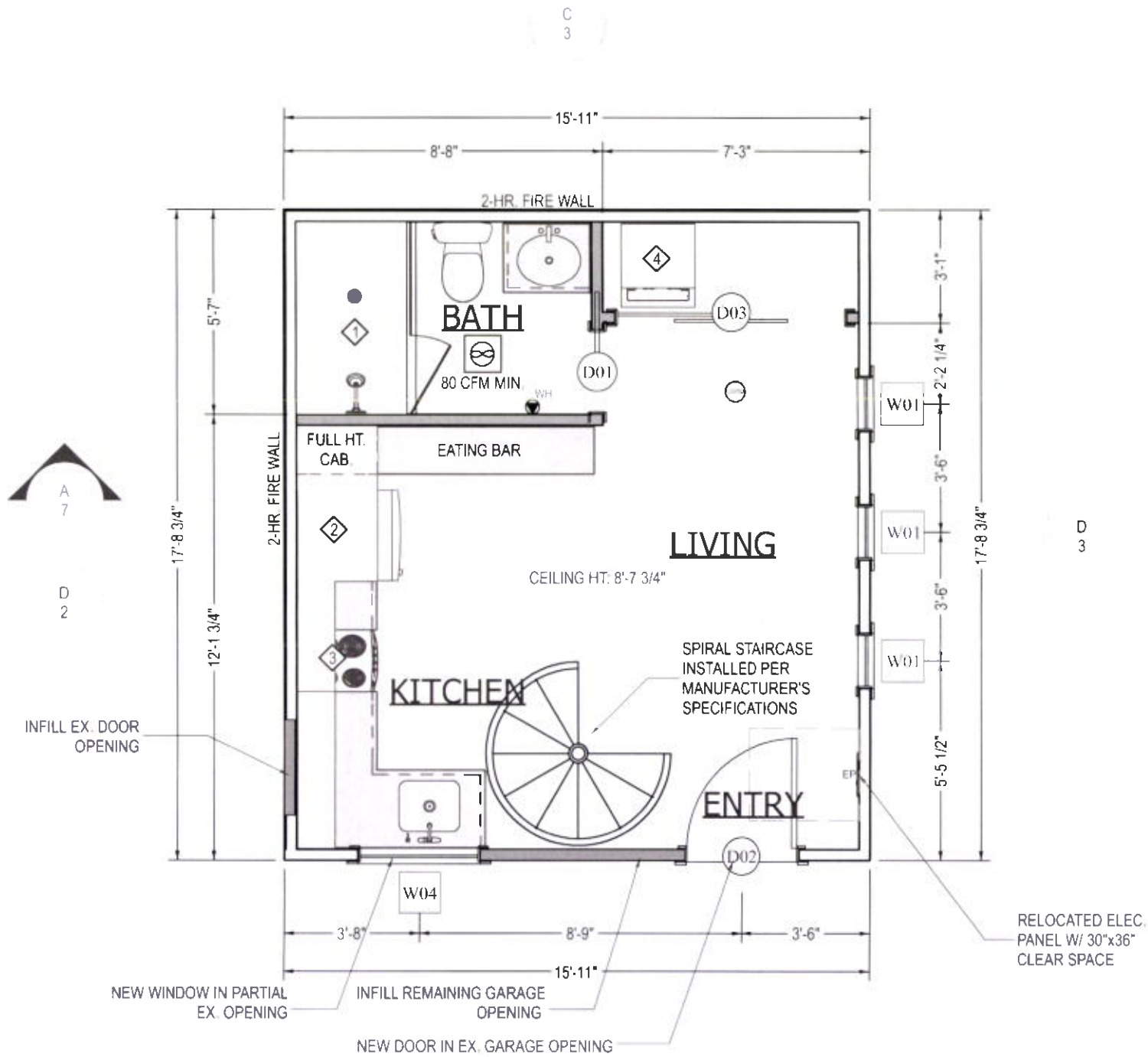
LU 18-145469 HR

McCANDLISH ADU

MAIN LEVEL SQUARE FOOTAGE: 262 SF

2nd LEVEL SQUARE FOOTAGE: 134 SF

TOTAL SQUARE FOOTAGE: 396 SF



DOOR SCHEDULE							
NUMBER	QTY	FLOOR	WIDTH	HEIGHT	HINGE SIDE	DESCRIPTION	COMMENTS
D01	1	1	26 "	80 "	L	POCKET-PANEL	
D02	1	1	36 "	80 "	R	EXT. ENTRY DOOR W/ LITES	
D03	1	1	74 "	80 "	R	BI-PASS CLOSET DOOR	

WINDOW SCHEDULE								
NUMBER	QTY	FLOOR	WIDTH	HEIGHT	EGRESS	TEMPERED	DESCRIPTION	COMMENTS
W01	3	1	18 "	18 "			FIXED GLASS	
W02	1	2	30 "	30 "			FIXED GLASS	
W03	1	2	33 "	36 "	YES		SINGLE CASEMENT-HR	
W04	1	1	40 "	40 "			SINGLE HUNG	

- 1 TILE SHOWER
- 2 30" REFRIGERATOR
- 3 20" HOOD & RANGE
- 4 STACKED WASHER & DRYER

- LEGEND:**
- [Solid line] = EXISTING WALL
 - [Thick solid line] = NEW WALL
 - [Dashed line] = REMOVED WALL
 - [Circle with cross] = CARBON/SMOKE DETECTOR COMBO
 - [Circle with S] = SMOKE DETECTOR
 - [Circle with X] = EXHAUST FAN
 - [Circle with W] = WALL HEATER

Approved
City of Portland
Bureau of Development Services
Planner
Date 9.2.18
* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

MAIN LEVEL FLOOR PLAN
1/4" = 1'-0"

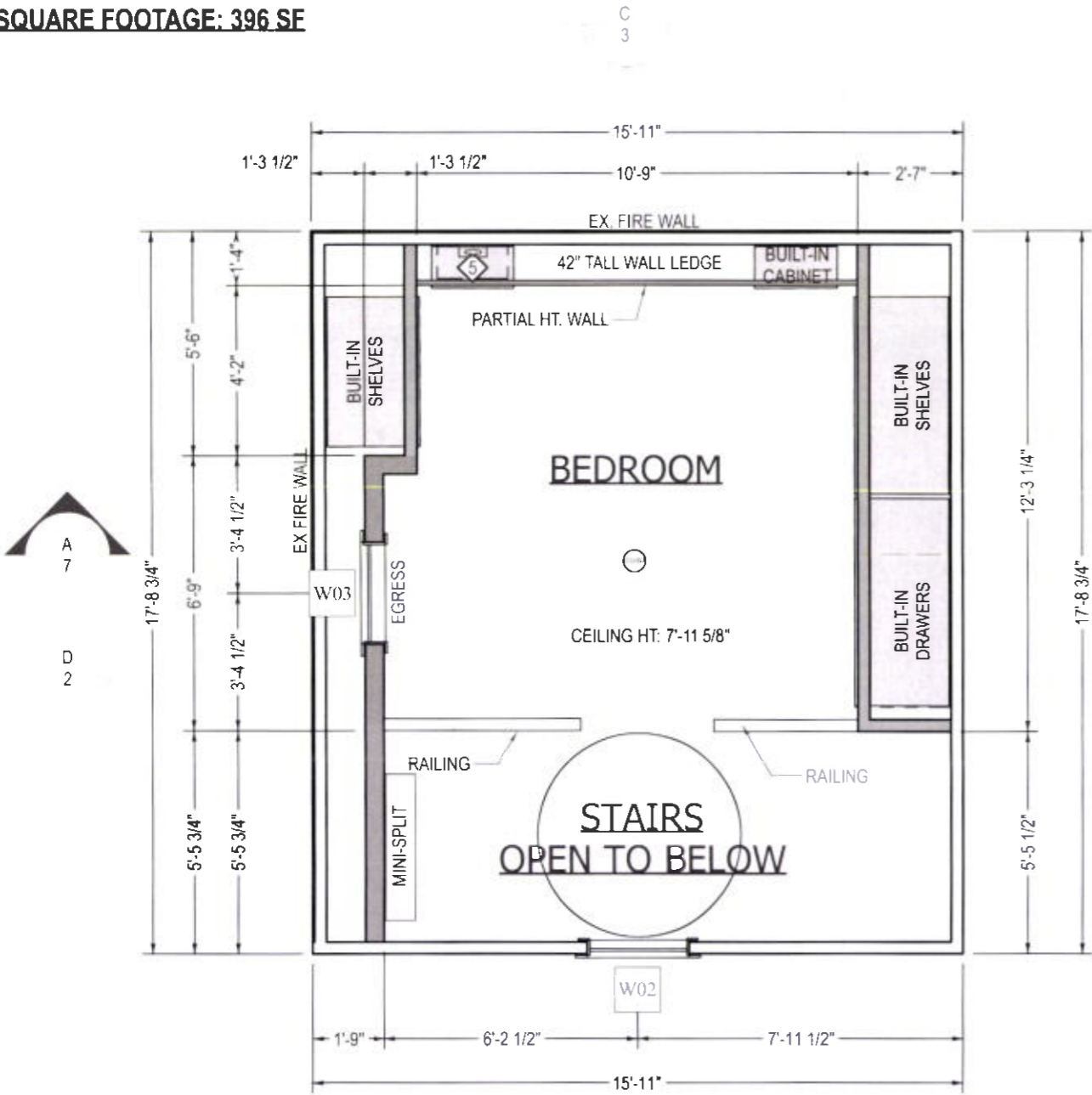
LU 18-145460 HR

McCANDLISH ADU

MAIN LEVEL SQUARE FOOTAGE: 262 SF

2nd LEVEL SQUARE FOOTAGE: 134 SF

TOTAL SQUARE FOOTAGE: 396 SF



WINDOW SCHEDULE								
NUMBER	QTY	FLOOR	WIDTH	HEIGHT	EGRESS	TEMPERED	DESCRIPTION	COMMENTS
W01	3	1	18 "	18 "			FIXED GLASS	
W02	1	2	30 "	30 "			FIXED GLASS	
W03	1	2	33 "	36 "	YES		SINGLE CASEMENT-HR	
W04	1	1	40 "	40 "			SINGLE HUNG	



TANKLESS WATER HEATER.
ENCLOSING CABINET BUILT TO MANUFACTURERS
MINS.
NEEDS A 20 25" WIDE, 3' TALL, 9 5" DEEP CABINET.
PRODUCT BASED ON "RHEEM, MODEL #RETEX-11"

LEGEND:

- = EXISTING WALL
- = NEW WALL
- = REMOVED WALL
- = CARBON/SMOKE DETECTOR COMBO
- = SMOKE DETECTOR
- = EXHAUST FAN
- = WALL HEATER

Approved

City of Portland

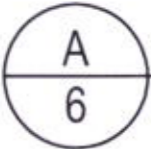
Bureau of Development Services

Planner fb

Date 9.12.18

* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

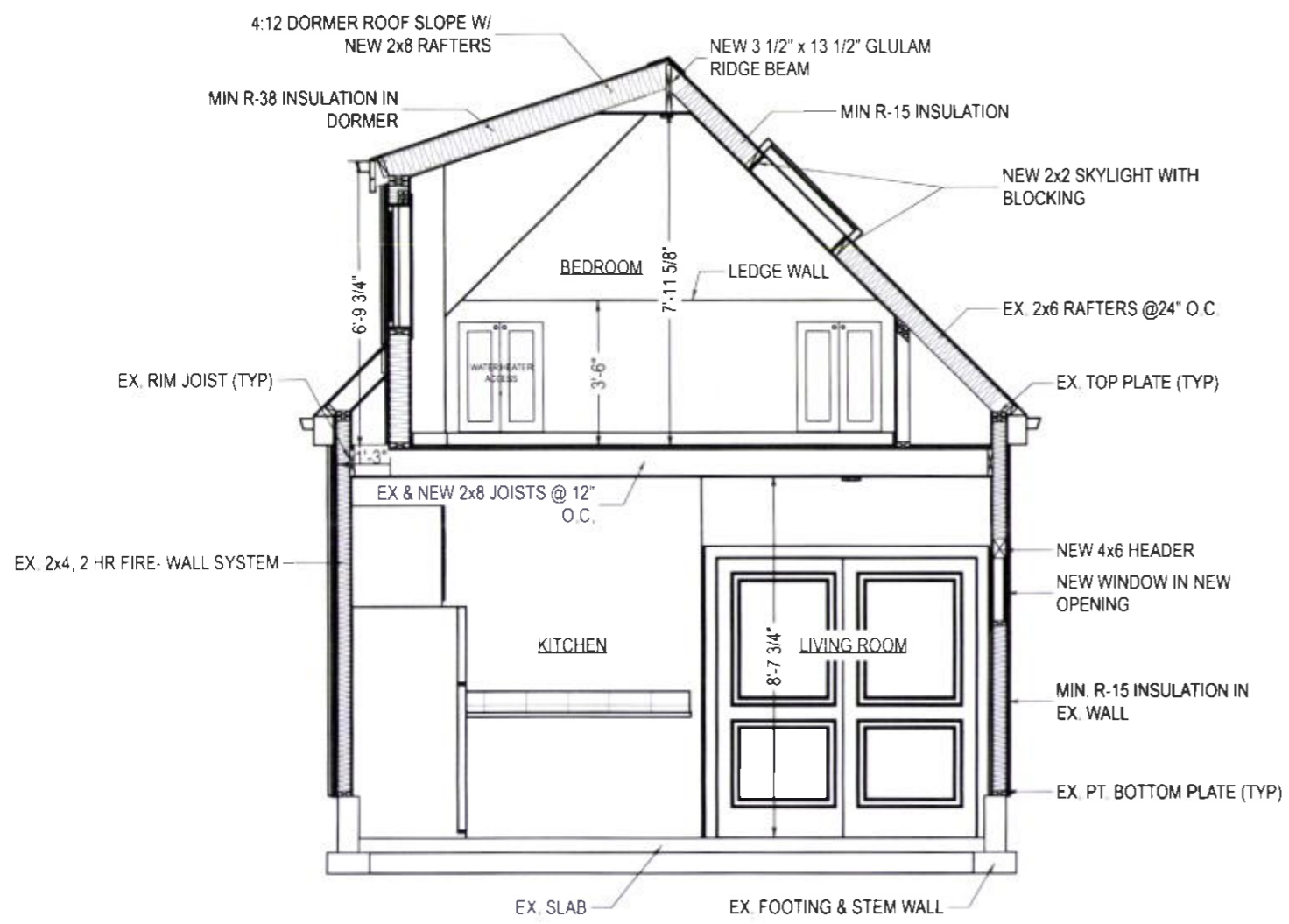
LU 18-145469 HR



2nd LEVEL FLOOR PLAN

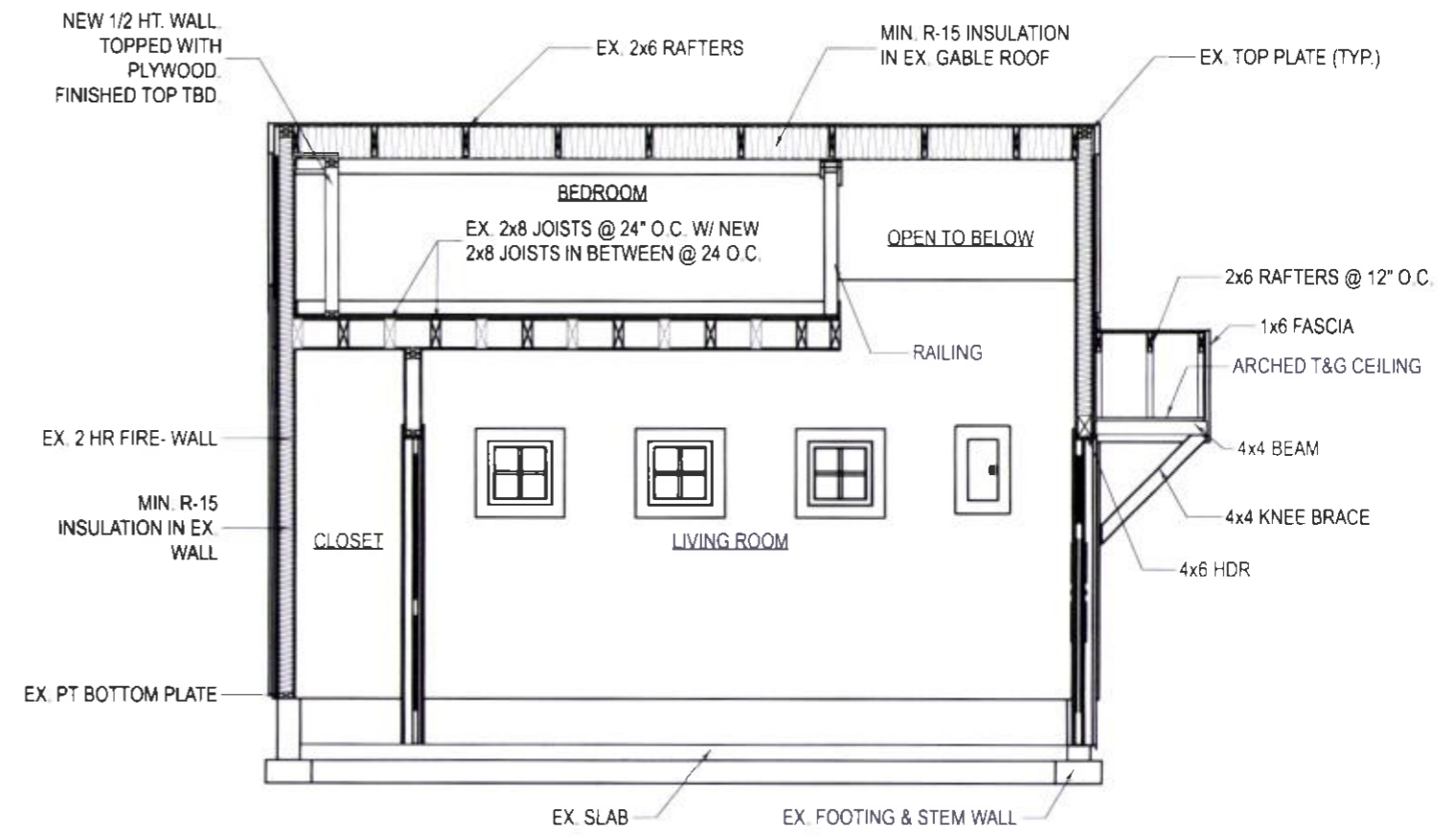
1/4" = 1'-0"

Approved
City of Portland
Bureau of Development Services
Planner jb
Date 4-12-18
* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning and other rules may apply.



A
7

SECTION 1
1/4" = 1'-0"



B
7

SECTION 2
1/4" = 1'-0"

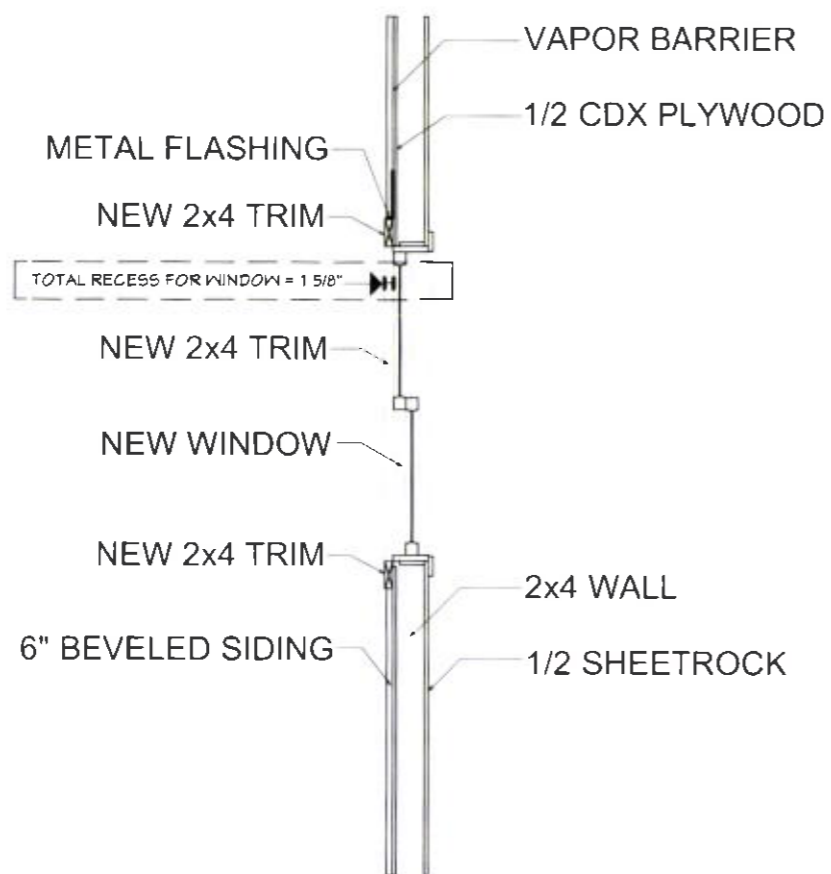
LU 18-145469 HR

Approved
City of Portland
Bureau of Development Services

Planner fel

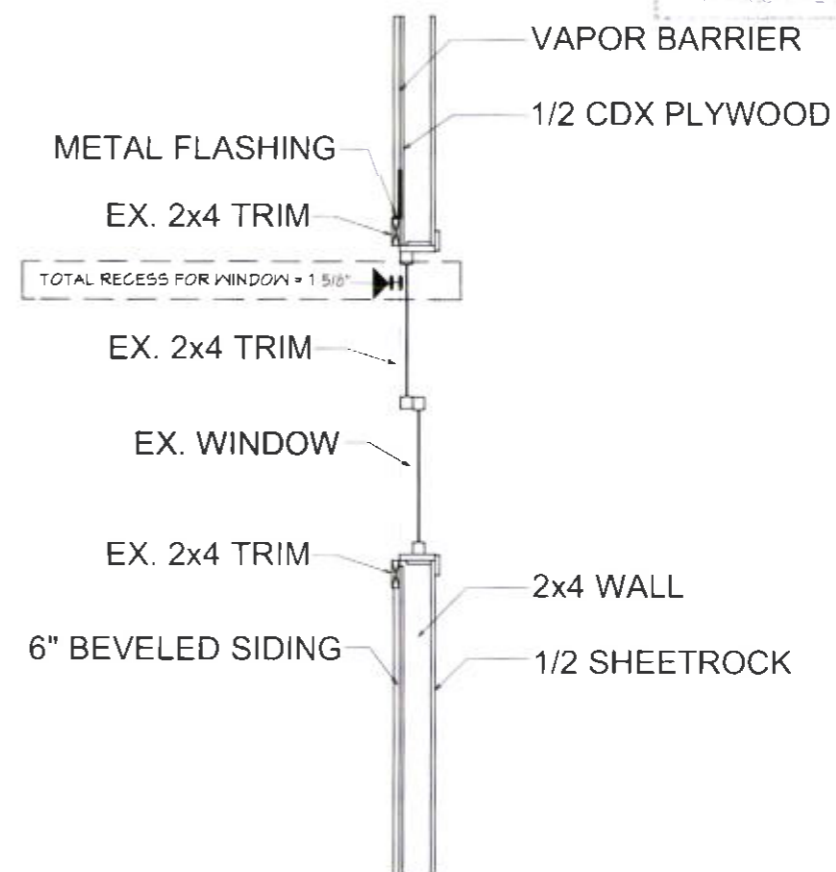
Date 9-12-18

* This approval applies only to the reviews requested and is subject to all conditions of approval.
Additional zoning requirements may apply.



NEW DOUBLE HUNG
WINDOW
(ADU)

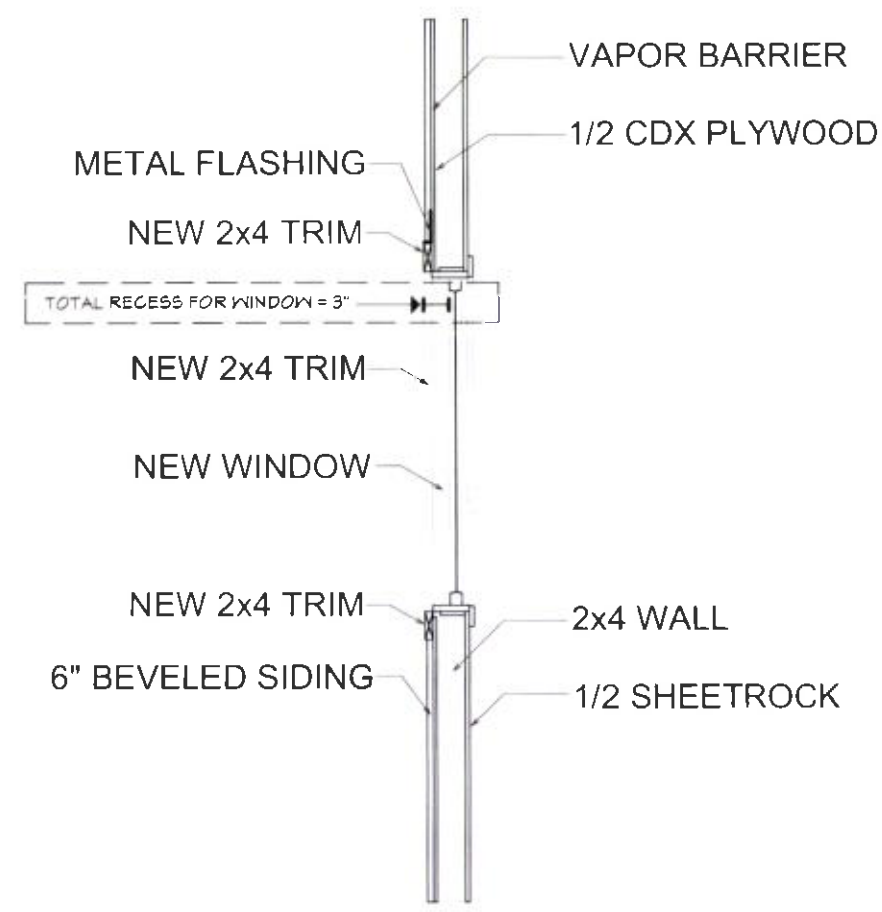
SCALE: 1/2" - 1'-0"



EXISTING DOUBLE
HUNG WINDOW
(RESIDENCE)

SCALE: 1/2" - 1'-0"

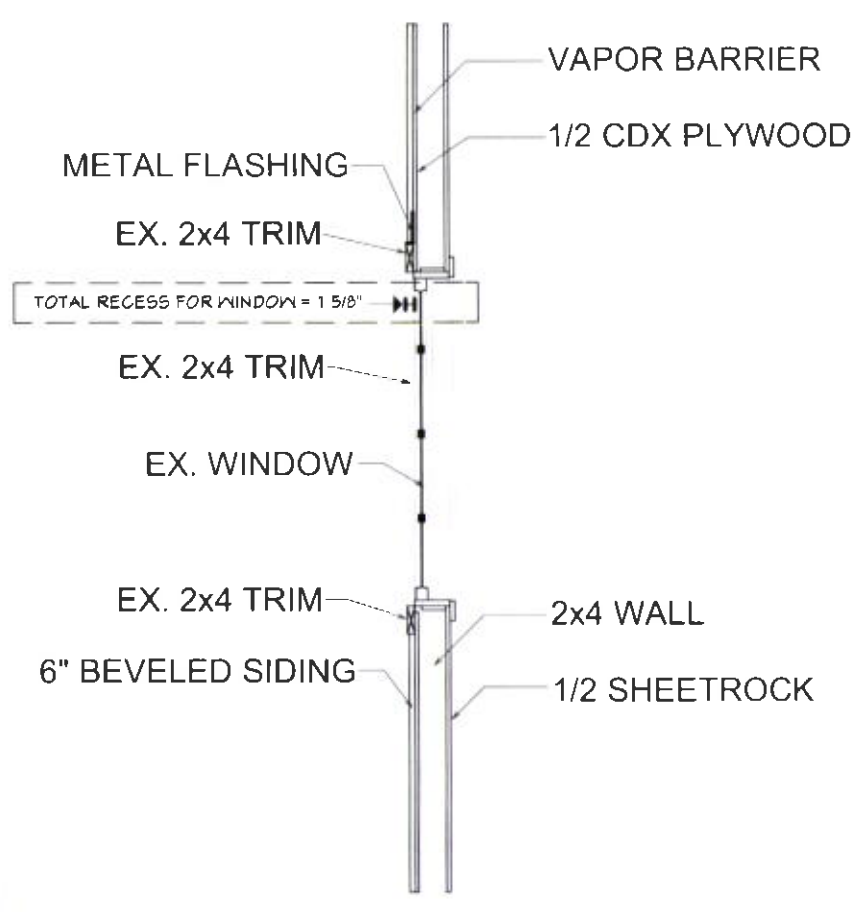
LU 18-145469 HR



NEW CASEMENT
WINDOW
(ADU)

SCALE: 1/2" - 1'-0"

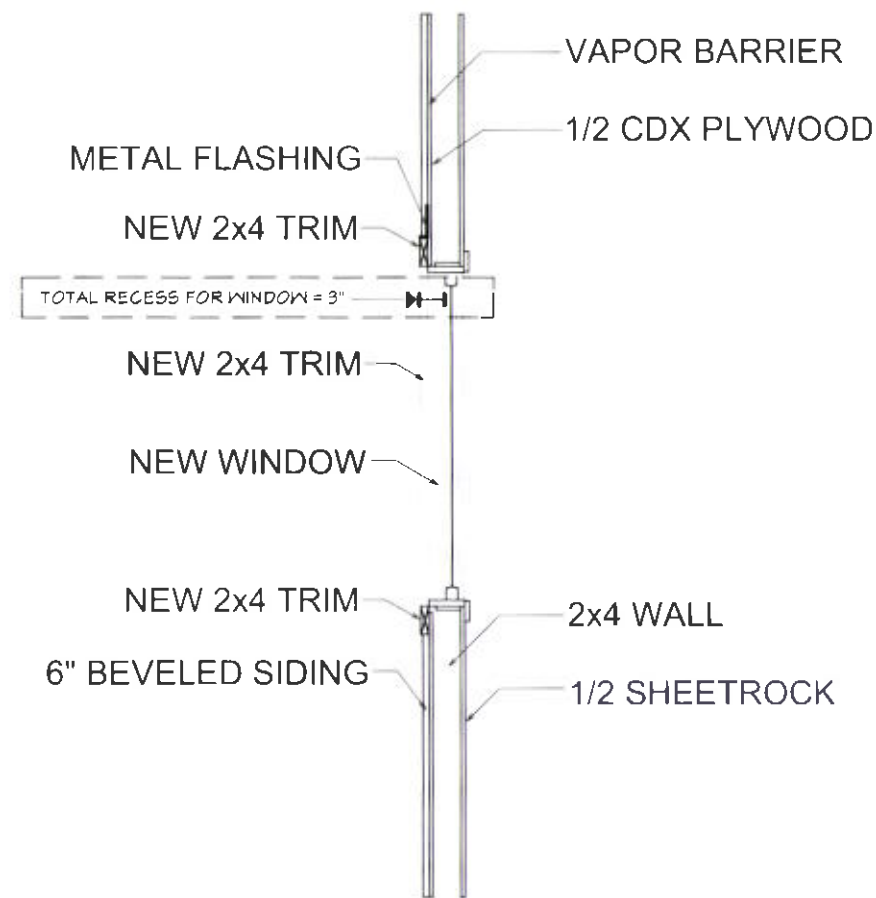
Approved
City of Portland
Bureau of Development Services
Planner pb
Date 9.12.18
* This approval applies only to the
project shown and is not valid for all
projects. It is not a license to build.
It is not a warranty of performance.
It is not a guarantee of quality.



EXISTING CASEMENT
WINDOW
(RESIDENCE)

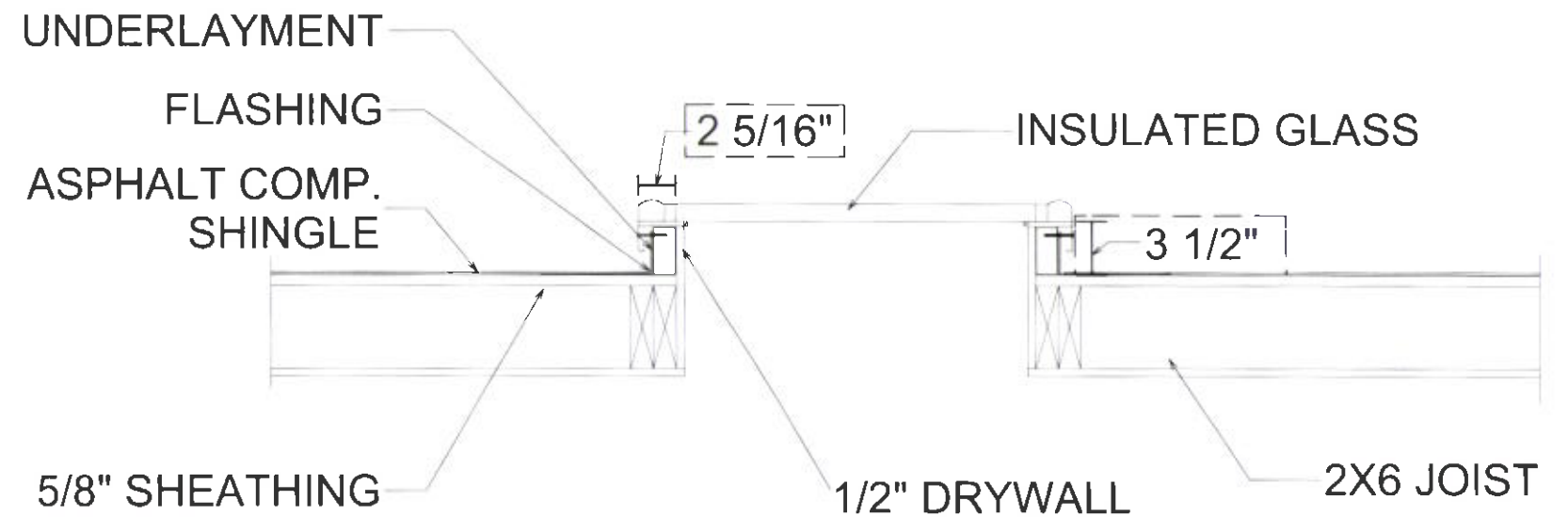
SCALE: 1/2" - 1'-0"

LU 18-145469 HR



NEW FIXED WINDOW
(ADU)

SCALE: 1/2" - 1'-0"



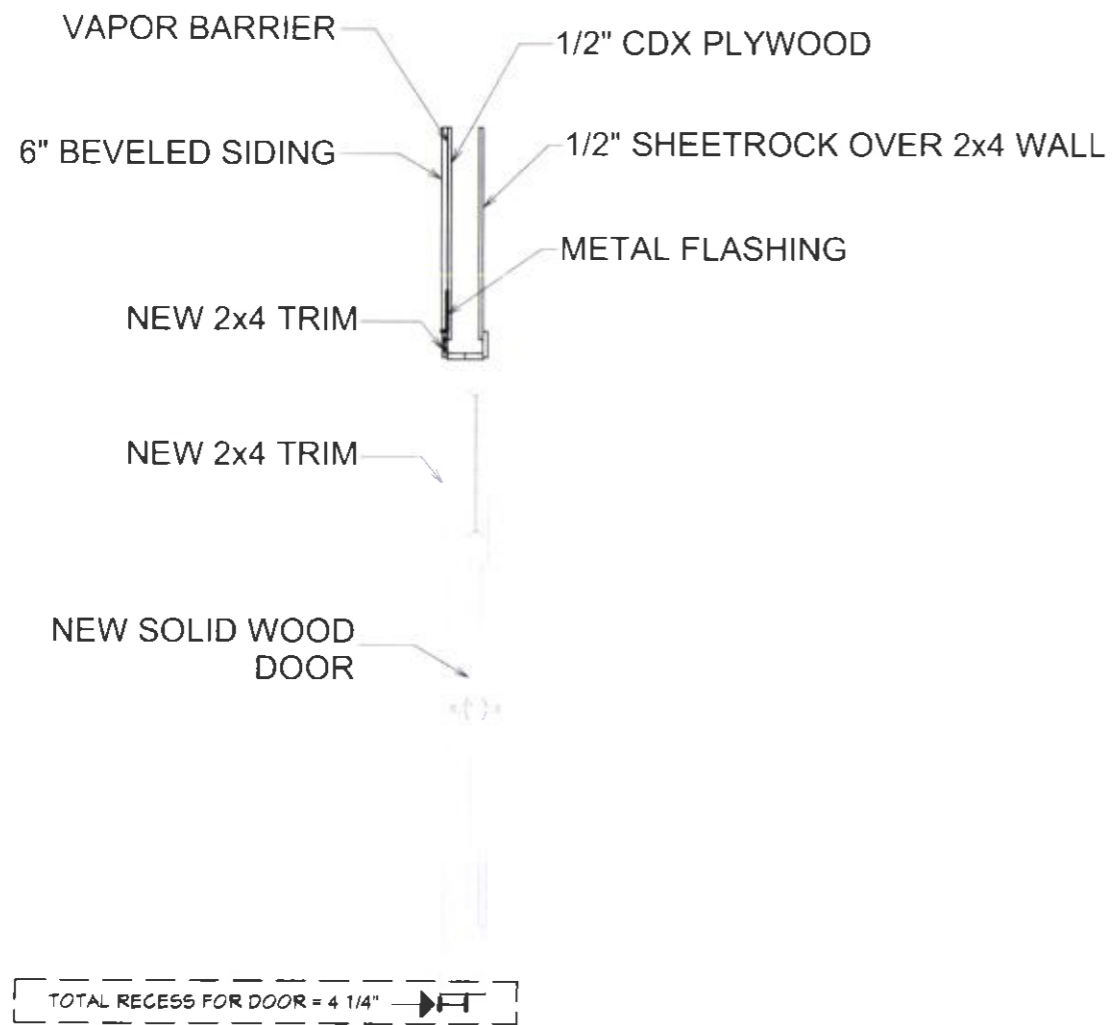
NEW SKYLIGHT

SCALE: 1" - 1'-0"

Approved
City of Portland
Bureau of Development Services
Planner pb
Date 9.12.18
* This approval applies only to the reviews requested and is subject to all conditions of approval.
Additional zoning requirements may apply.

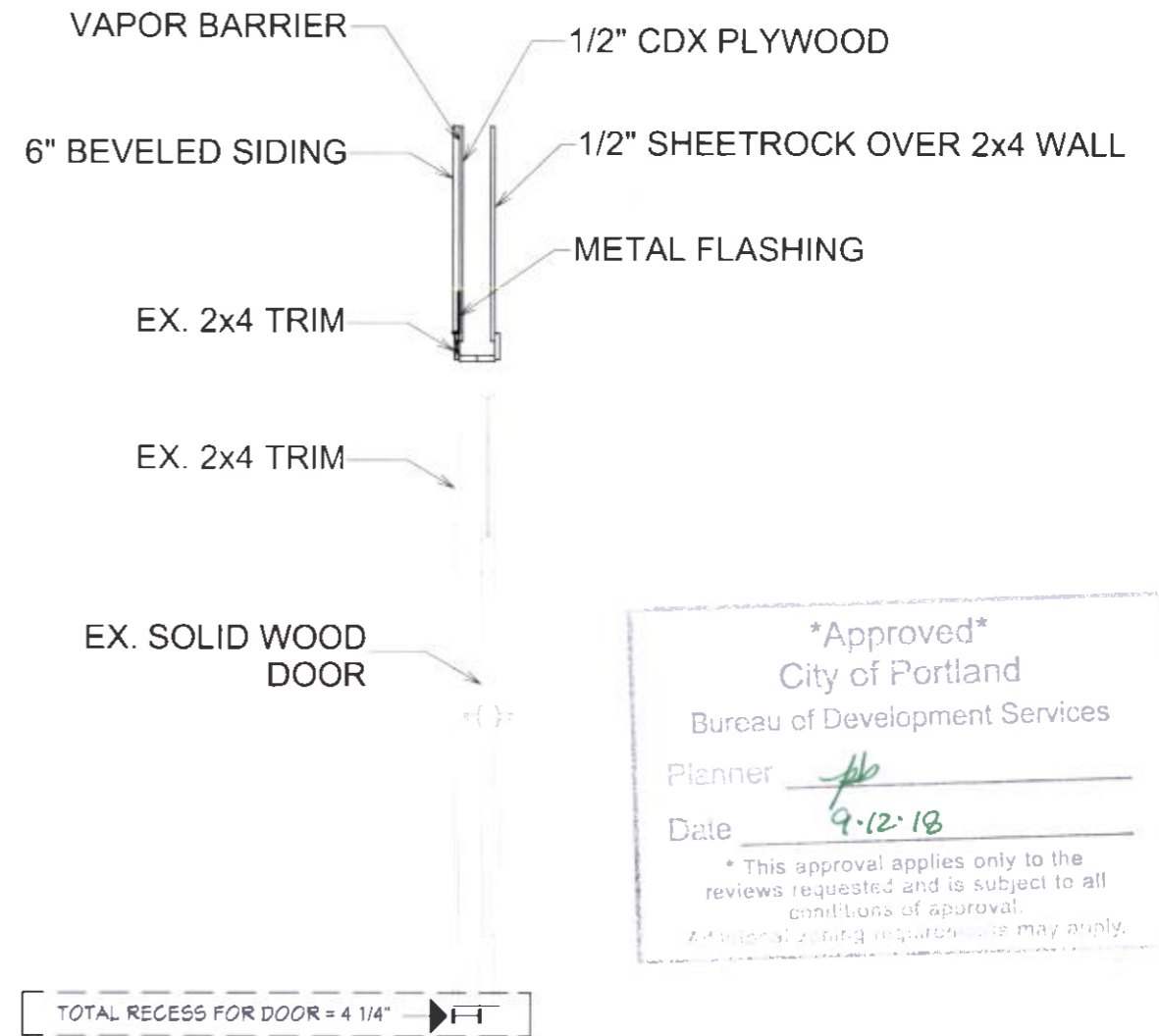
LU 18-145469 HR

C-10



NEW DOOR
(ADU)

SCALE: 1/2" - 1'-0"



EXISTING DOOR
(RESIDENCE)

SCALE: 1/2" - 1'-0"



Cut sheet for skylight

Approved
City of Portland

Bureau of Development Services

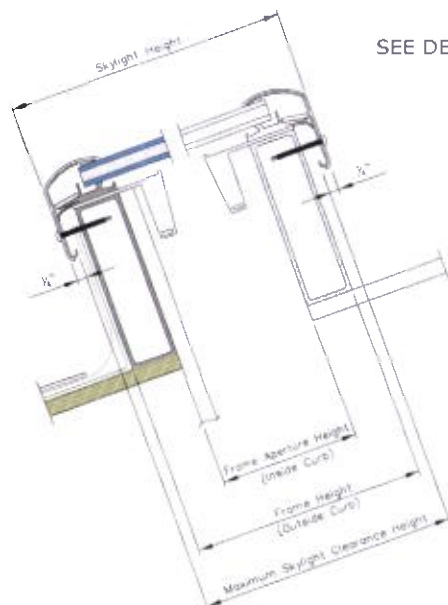
Planner

pkb
9.12.18

Stippled
Inventory

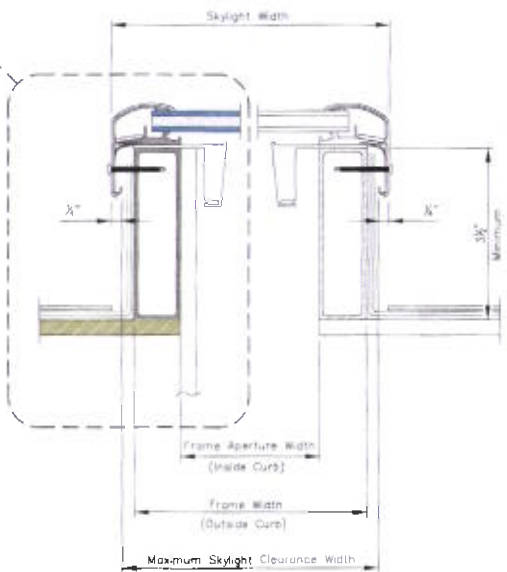
Date

* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

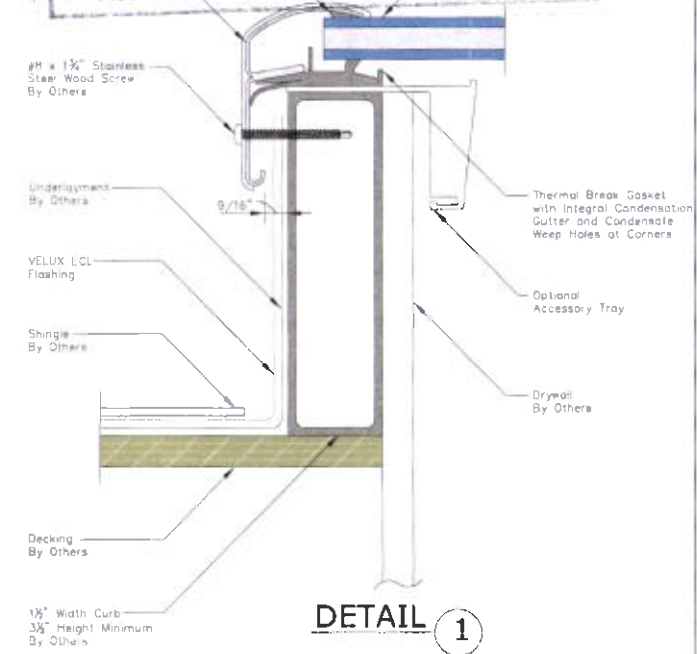


VERTICAL CROSS SECTION

SEE DETAIL 1



HORIZONTAL CROSS SECTION



DETAIL 1

PRODUCT DIMENSIONS									
METRIC UNITS (MILLIMETERS)									
Size	Frame Width	Frame Aperture Width	Skylight Width	Maximum Skylight Clearance Width	Frame Height	Frame Aperture Height	Skylight Height	Maximum Skylight Clearance Height	Daylight Area (Sq. Meters)
1430	445	388	480	475	851	775	862	879	0.28
1448	445	388	480	475	1257	1181	1289	1288	0.43
2232	648	572	688	678	851	775	862	879	0.53
2250	648	572	688	678	851	775	862	879	0.44
2254	648	572	688	678	953	878	994	981	0.50
2248	648	572	688	678	1257	1181	1289	1288	0.86
2275	648	572	688	678	1887	1780	1905	1893	1.02
3030	851	775	892	879	851	775	862	879	0.80
3048	851	775	892	879	851	1181	1289	1288	0.82
3434	953	878	994	981	953	878	994	981	0.71
3448	953	878	994	981	1257	1181	1289	1288	1.03
4822	1257	1181	1388	1388	851	775	862	879	0.88
4848	1257	1181	1388	1388	1257	1181	1289	1288	1.39
IMPERIAL UNITS (INCHES)									
Size	Frame Width	Frame Aperture Width	Skylight Width	Maximum Skylight Clearance Width	Frame Height	Frame Aperture Height	Skylight Height	Maximum Skylight Clearance Height	Daylight Area (Sq. Feet)
1430	17 1/2	14 1/2	18 1/2	18 5/8	33 1/2	30 1/2	34 1/8	34 5/8	3.07
1448	17 1/2	14 1/2	18 1/2	18 5/8	48 1/2	45 1/2	51 1/8	50 3/8	4.68
2232	25 1/2	22 1/2	27 1/2	26 3/8	33 1/2	30 1/2	34 1/8	34 5/8	5.52
2250	25 1/2	22 1/2	27 1/2	26 3/8	33 1/2	30 1/2	34 1/8	34 5/8	4.76
2254	25 1/2	22 1/2	27 1/2	26 3/8	37 1/2	34 1/2	38 1/8	38 3/8	5.39
2248	25 1/2	22 1/2	27 1/2	26 3/8	48 1/2	45 1/2	51 1/8	50 3/8	7.27
2275	25 1/2	22 1/2	27 1/2	26 3/8	73 1/2	70 1/2	76 1/8	74 3/8	11.01
3030	33 1/2	30 1/2	36 1/2	34 5/8	33 1/2	30 1/2	34 1/8	34 5/8	8.46
3048	33 1/2	30 1/2	36 1/2	34 5/8	48 1/2	45 1/2	51 1/8	50 3/8	9.85
3434	37 1/2	34 1/2	40 1/2	38 3/8	37 1/2	34 1/2	38 1/8	38 3/8	8.27
3448	37 1/2	34 1/2	40 1/2	38 3/8	48 1/2	45 1/2	51 1/8	50 3/8	11.14
4822	49 1/2	46 1/2	51 1/2	50 3/8	33 1/2	30 1/2	34 1/8	34 5/8	7.87
4848	49 1/2	46 1/2	51 1/2	50 3/8	48 1/2	45 1/2	51 1/8	50 3/8	11.92

STANDARD GLAZING OPTIONS

- * Laminated LowE3 (04)
- * Tempered LowE3 (05)
- * Impact (06)
- * Miami-Dade (07)
- * White Laminated (08)

COMPATIBLE FLASHINGS:

- * ECL Step Flashing
- * ECW Tile Flashing

VELUX

Sky-Global Product Management

VELUX
1418 Evans Pond Road
Greenville, SC 29649
1 800 88-VELUX
www.VELUXUSA.com

FCM - Fixed Curb Mounted Skylight

This drawing is an instrument of service and is provided for informational use only.

© 2017 VELUX GROUP

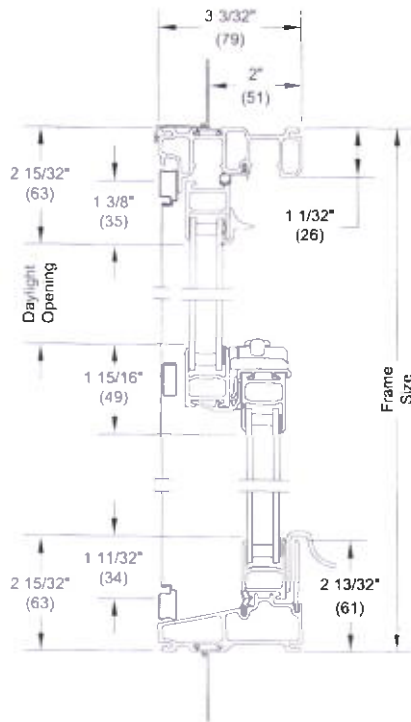
VELUX is a registered trademark

LU 18-145469 HR
C-12
1/4

All Ultrex Double Hung

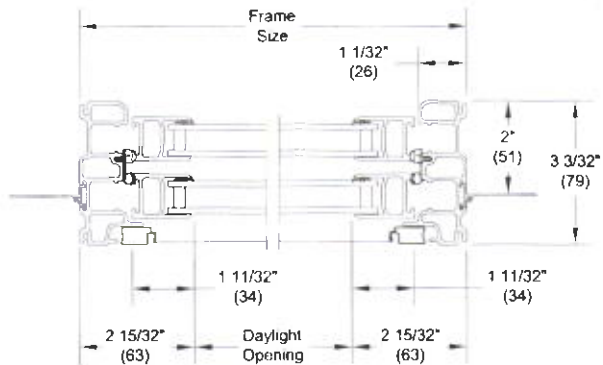
Section Details: Operator

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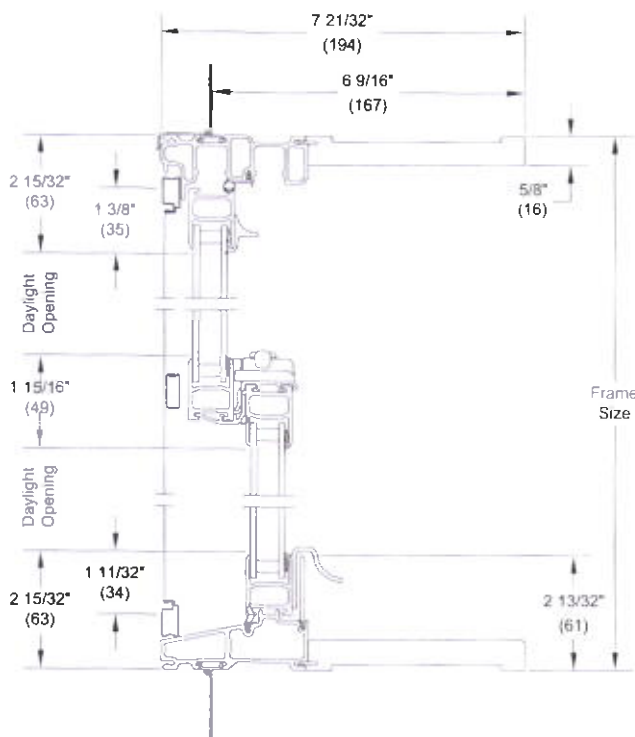


Head Jamb and Sill

Operating - 2" (51)

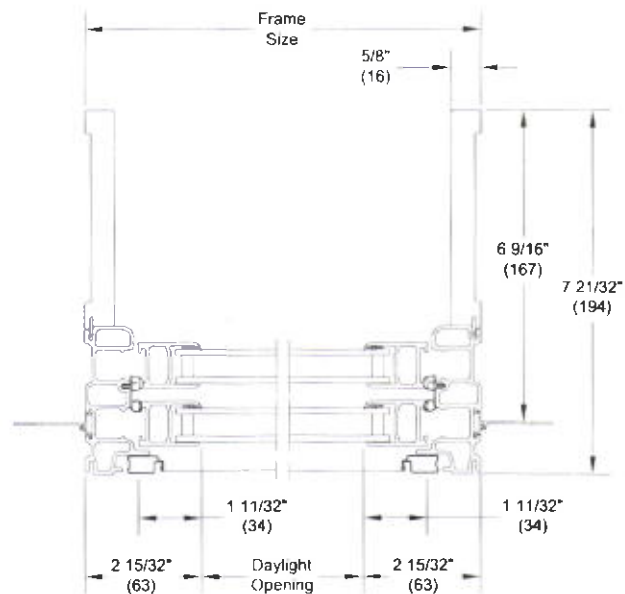


Jambs



Head Jamb and Sill

Operating - 6 9/16" (167)



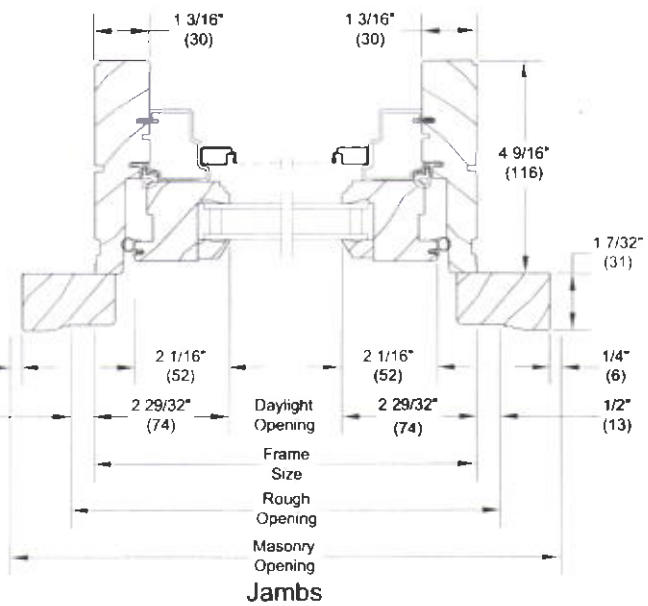
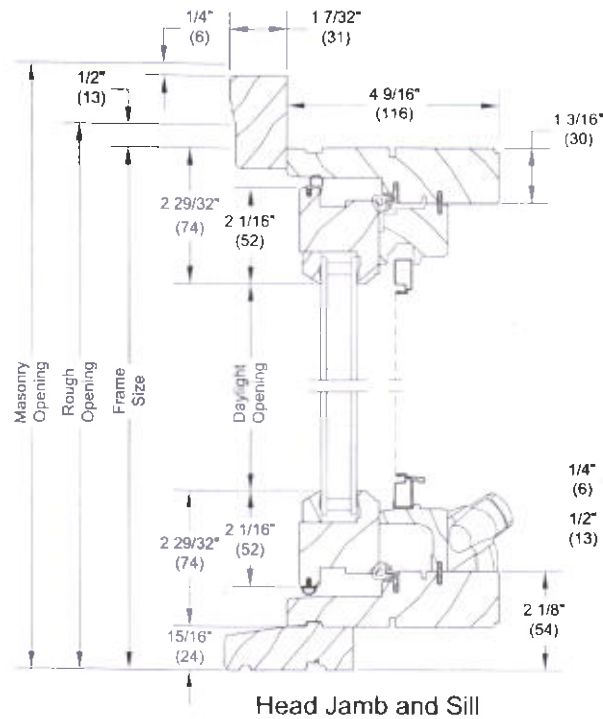
Jambs

NOTE: Units also available with 4 9/16" jamb. Same jamb extension profile as 6 9/16" jamb extension shown.

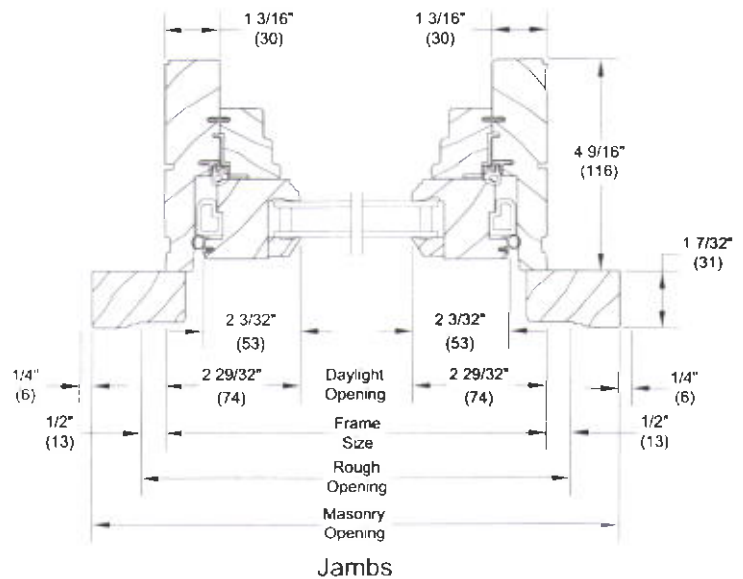
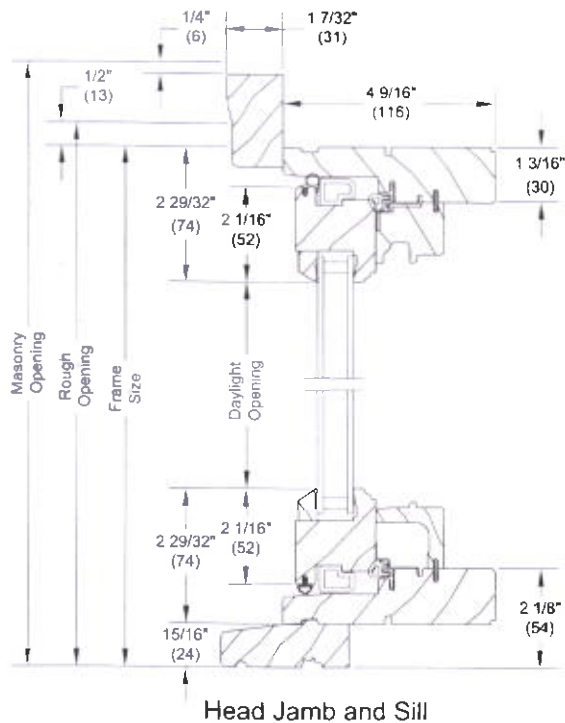
Section Details: Operating and Stationary / Picture - 3/4" (19) IG

Scale: 3" = 1' 0"

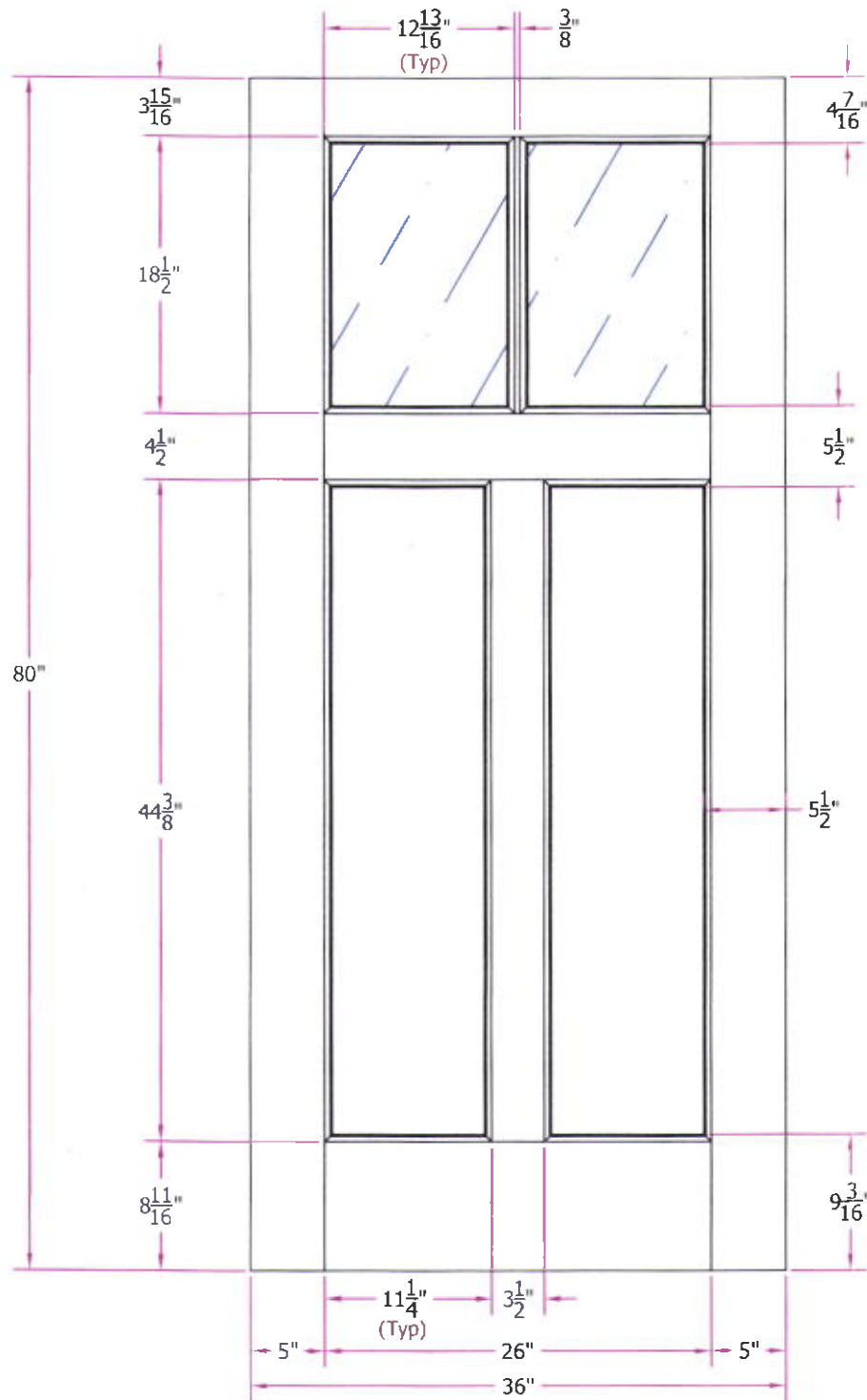
Operating



Stationary



Cut sheet for ext wood door



THIS DRAWING AND THE INFORMATION CONTAINED HEREIN IS PROPRIETARY TO SIMPSON DOOR COMPANY AND SHALL NOT BE REPRODUCED, COPIED OR DISCLOSED IN WHOLE OR PART, OR USED FOR MANUFACTURE OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF SIMPSON DOOR COMPANY.

Revisions

Rev. #	Description	Date	by Whom

TITLE 6802 3/0 x 6/8
Customer Layout

DRAWING NO. D-6802-300-608-0700

LAYOUT 00	SCALE NTS	PATTERN # 7013
DRAWN BY: J. Decker	DATE 10/20/05	

Simpson®

C.12 4/4

	A	B	C	D	E	F
1	ENDORSEMENT	INFO1	INFO2	NAME	ADDRESS/10 ADDRESS	CITY/STATE/ZIP/ADDRESSEE
2	RETURN SERVICE REQUESTED	1S1E02DB 9400	YEGGY JULIE E TR	& GONZALES J PATRICK TR	1820 SE 16TH AVE	PORTLAND OR 97214
3	RETURN SERVICE REQUESTED		1S1E02DB 9300	SHAHNEN ROBERT J TR	1804 SE 16TH AVE	PORTLAND OR 97214-4724
4	RETURN SERVICE REQUESTED		1S1E02DB 6900	POGGE ROBERT G & POGGE RITA M	1912 SE ELLIOTT AVE	PORTLAND OR 97214
5	RETURN SERVICE REQUESTED		1S1E02DB 7500	MILLER GRAYDON M & MILLER JOAN A	1719 SE LADD AVE	PORTLAND OR 97214-4732
6	RETURN SERVICE REQUESTED		1S1E02DB 9100	LOMAS SCOTT M & LOMAS REA	1748 SE POPLAR AVE	PORTLAND OR 97214
7	RETURN SERVICE REQUESTED		1S1E02DB 6800	CLIFFORD JILL C	3403 SE 15TH AVE	PORTLAND OR 97202
8	RETURN SERVICE REQUESTED	1S1E02DB 7400	FOSTER JENNIFER R	FOSTER MARCHELLE M	1919 SE ELLIOTT AVE	PORTLAND OR 97214-4815
9	RETURN SERVICE REQUESTED		1S1E02DB 8200	CHASE HEIDI	3535 SW CALIFORNIA ST	PORTLAND OR 97219-1615
10	RETURN SERVICE REQUESTED		1S1E02DB 6700	CECCANTI MELBA L TR	3881 SW ELEVEN MILE AVE	GRESHAM OR 97080-8678
11	RETURN SERVICE REQUESTED		1S1E02DB 7900	TEWE LITACH	36 RAUSCH ST	SAN FRANCISCO CA 94103
12	RETURN SERVICE REQUESTED		1S1E02DB 7501	SHEN CHARLTON & SHEN PROBBE	1927 SE ELLIOTT AVE	PORTLAND OR 97214-4815
13	RETURN SERVICE REQUESTED	1S1E02DB 6600	VIVIANO JENNIFER L	PAULUS WILLIAM F	1852 SE ELLIOTT AVE	PORTLAND OR 97214-4814
14	RETURN SERVICE REQUESTED		1S1E02DB 6400	KIRNHUSEN MARILYN A & NEAL S	1838 SE ELLIOTT AVE	PORTLAND OR 97214-4814
15	RETURN SERVICE REQUESTED		1S1E02DB 8100	COHEN BRADLEY E & MOLNAR DANIELA N	1845 SE ELLIOTT AVE	PORTLAND OR 97214-4813
16	RETURN SERVICE REQUESTED	1S1E02DB 9200	COFFEL KATHRYN A	COFFEL WILLIAM J	1752 SE POPLAR AVE	PORTLAND OR 97214-4829
17	RETURN SERVICE REQUESTED	1S1E02DB 7100	JACOBSEN LAWRENCE A TR	& SMITH CRAIG E TR	3216 SE 8TH AVE	PORTLAND OR 97202-2507
18	RETURN SERVICE REQUESTED	1S1E02DB 7000	DUNN SUSAN P TR &	KOKRENA MARGARET M TR	1918 SE ELLIOTT AVE	PORTLAND OR 97214
19	RETURN SERVICE REQUESTED	1S1E02DB 8000	PETERSON-DOERING JOYCE M	DOERING MARVIN W	1853 SE ELLIOTT AVE	PORTLAND OR 97214-4813
20	RETURN SERVICE REQUESTED	1S1E02DB 9000	BATLEY ELIZABETH M	STEPHENS JOE K	1736 SE POPLAR AVE	PORTLAND OR 97214-4829
21	RETURN SERVICE REQUESTED		1S1E02DB 7700	LANDERS ALEX & LANDERS STACY	1909 SE ELLIOTT AVE	PORTLAND OR 97214
22	RETURN SERVICE REQUESTED		1S1E02DB 7200	BASCO MATTHEW & BASCO HILARY R	1938 SE ELLIOTT AVE	PORTLAND OR 97214
23				CURRENT RESIDENT	1966 SE LADD AVE	PORTLAND OR 97214
24				CURRENT RESIDENT	1962 SE LADD AVE	PORTLAND OR 97214
25				CURRENT RESIDENT	1943 SE ELLIOTT AVE	PORTLAND OR 97214
26				CURRENT RESIDENT	1935 SE ELLIOTT AVE	PORTLAND OR 97214
27				CURRENT RESIDENT	1928 SE ELLIOTT AVE #2	PORTLAND OR 97214
28				CURRENT RESIDENT	1928 SE ELLIOTT AVE #1	PORTLAND OR 97214
29				CURRENT RESIDENT	1914 SE 16TH AVE	PORTLAND OR 97214
30				CURRENT RESIDENT	1906 SE ELLIOTT AVE	PORTLAND OR 97214
31				CURRENT RESIDENT	1906 SE 16TH AVE	PORTLAND OR 97214
32				CURRENT RESIDENT	1864 SE ELLIOTT AVE	PORTLAND OR 97214
33				CURRENT RESIDENT	1863 SE ELLIOTT AVE	PORTLAND OR 97214
34				CURRENT RESIDENT	1844 SE ELLIOTT AVE	PORTLAND OR 97214
35				CURRENT RESIDENT	1839 SE ELLIOTT AVE	PORTLAND OR 97214
36				CURRENT RESIDENT	1837 SE ELLIOTT AVE	PORTLAND OR 97214
37	RETURN SERVICE REQUESTED	APPLICANT	CASA BONITA LLC	MARTINEZ OMAR	1631 NE BROADWAY #721	PORTLAND OR 97232
38	RETURN SERVICE REQUESTED	OWNERS	1S1E02DB 7800	MCCANDLISH JAMES E & YUNHUA Y	1903 SE ELLIOTT AVE	PORTLAND OR 97214-4815
39	RETURN SERVICE REQUESTED		LAND USE CONTACT	DIVISION/CLINTON BUSINESS ASSOC	C/O SE UPLIFT 3534 SE MAIN ST	PORTLAND OR 97214
40	RETURN SERVICE REQUESTED		LAND USE CONTACT	HAWTHORNE BLVD BUSINESS ASSOC	PO BOX 15271	PORTLAND OR 97293
41	RETURN SERVICE REQUESTED		LAND USE CONTACT	NEIGHBORHOOD DISTRICT	C/O SE UPLIFT 3534 SE MAIN ST	PORTLAND OR 97214
42	RETURN SERVICE REQUESTED		HOSFORD-ABERNETHY	TRANSIT DEVELOPMENT	1800 SW FIRST AVE SUITE 300	PORTLAND OR 97201
43	RETURN SERVICE REQUESTED			PORT OF PORTLAND PLANNING	PO BOX 3529	PORTLAND OR 97208
44	RETURN SERVICE REQUESTED			PLAN AMENDMENT SPECIALIST	635 CAPITAL ST NE #150	SALEM OR 97301
45	RETURN SERVICE REQUESTED			STATE FISH & WILDLIFE	1830 NW SAVOYE ISL RD	PORTLAND OR 97231
46	RETURN SERVICE REQUESTED		LEAH FISHER	SOUTHEAST UPLIFT	3534 SE MAIN ST	PORTLAND OR 97214
47					ATTN LAND USE CONTRACT	128/METRO
48					PDC	B129
49					DANN KRANTZ	B299/R5000
50	RETURN SERVICE REQUESTED		18-145469 PROP	08-14-18	CASE FILE BHUTANI	PORTLAND OR 97201



CITY OF PORTLAND
Bureau of Development Services
1900 SW Fourth Avenue, Suite 5000
Portland, OR 97201 **P524**
Land Use Notice Enclosed
Case # LU 18-145469 HR

16

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CombisPrice



U.S. POSTAGE >>> PITNEY BOWES

ZIP 97204 **\$ 000.37⁸**
02 1W
0001392854 AUG 14 2018

RETURN SERVICE REQUESTED

18-145469 PROP 08-14-18
CASE FILE BHUTANI
1900 SW 4TH AVE #5000
PORTLAND OR 97201

60 GRANN51 97201



City of Portland, Oregon | Bureau of Development Services | 1900 SW Fourth Avenue, Portland, Oregon 97201 | www.portlandoregon.gov/bds



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For accommodations, modifications, translation, interpretation or other services, please call 503-823-7300,
the TTY at 503-823-6868 or the Oregon Relay Service at 711.

503-823-7300 | BDS@PortlandOregon.gov | www.PortlandOregon.gov/bds/translated

Traducción e interpretación | Chuyên Ngữ hoặc Phiên Dịch | 翻译或传译
Turjumida ama Fasiraadda | 翻訳または通訳 | Письменные или устные перевод
Traducere sau Interpretare | 번역 및 통역 | الشفوية أو التحريرية
Translating or Interpreting | Письмовий або усний переклад

D-2



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Chloe Eudaly, Commissioner
Rebecca Esau, Director
Phone: (503) 823-7300
Fax: (503) 823-5630
TTY: (503) 823-6868
www.portlandoregon.gov/bds

Date: August 14, 2018
To: Interested Person
From: Puja Bhutani, Land Use Services
503-823-7226/Puja.Bhutani@portlandoregon.gov

NOTICE OF A TYPE II PROPOSAL IN YOUR NEIGHBORHOOD

Development has been proposed in your neighborhood. The proposed development requires a land use review. The proposal, review process, and information on how to respond to this notice are described below. A copy of the site plan and zoning map is attached. I am the staff person handling the case. Please call me if you have questions regarding this proposal. Please contact the applicant if you have questions regarding any future development on the site.

Because we must publish our decision within 28 days, **we need to receive your written comments by 5 p.m. on 9/4/2018**. Please mail or deliver your comments to the address at the bottom of the page, and include the Case File Number, LU 18-145469 HR, in your letter. It also is helpful to address your letter to me, Puja Bhutani. You can also e-mail your comments to me at my e-mail address identified above.

CASE FILE NUMBER: LU 18-145469 HR – ADU CONVERSION

Applicant: Omar Martinez Barrera, Casa Bonita LLC
1631 NE Broadway #721, Portland, OR 97232

Owner: James E Mccandlish & Yunhua Y Mccandlish
1903 SE Elliott Ave, Portland, OR 97214-4815

Site Address: 1903 SE ELLIOTT AVE

Legal Description: BLOCK 17 SWLY 33 1/3' OF NELY 36 2/3' OF LOT 17, LADDS ADD
Tax Account No.: R463303830
State ID No.: 1S1E02DB 07800
Quarter Section: 3232

Neighborhood: Hosford-Abernethy, contact chair@handpdx.org.
Business District: Hawthorne Blvd. Bus. Assoc., contact Greg Moon at gmoon@westernseminary.edu
District Coalition: Southeast Uplift, contact Leah Fisher at 503-232-0010.

Plan District: None
Other Designations: Non-contributing resource in the Ladd's Addition Historic District. The garage is listed as a contributing resource.

Zoning: R5 – Residential 5,000, Single-Dwelling Residential Zone

Case Type: HR – Historic Resource Review
Procedure: Type II, an administrative decision with appeal to the Landmarks Commission.

Proposal:

The applicants are seeking historic resource review approval to convert an existing garage into an accessory dwelling unit in the Ladd's Addition Historic District. The proposed exterior alterations include:

1. North East Elevation: Remove the existing garage door. Add two new wood windows, and an entrance which includes a pitched canopy and a wood door with lites.
2. South East Elevation: Remove the existing doorway and finish the opening to match the existing exterior lap siding. The roof will include a new 4/12 pitch shed dormer and a new 24"x24" skylight.
3. North West Elevation: Three (3) new 18" x18" fixed windows and two (2) new 24"x24" skylights are proposed.

Historic Resource Review is required because the proposal is for non-exempt exterior alterations to a structure within the Ladd's Addition Historic District.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant criteria are:

- Ladd's Addition Historic District Guidelines

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. This application was submitted on April 4, 2018 and determined to be complete on 8/8/2018.

DECISION MAKING PROCESS

The Bureau of Development Services will make a decision on this proposal. We will consider your comments, and

- Approve the proposal.
- Approve the proposal with conditions.
- Deny the proposal.

The neighborhood association listed on the first page of this notice may take a position on this application. They may also schedule an open meeting prior to making their recommendation to the Bureau of Development Services. Please contact the person listed as the neighborhood contact to determine the time and date of this meeting.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be extended at the request of the applicant.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

APPEAL PROCESS

If you disagree with the Bureau of Development Services administrative decision, you can appeal the decision to the Landmarks Commission. This review body will hold a public hearing for the appeal. When the decision is mailed, the criteria used to make the decision and information on how to file an appeal will be included. If you do not send any comments, you can still appeal the decision. There is a 14-day deadline to file an appeal beginning on the day the decision is mailed. The reason for the appeal must be specifically defined in order for the

review body to respond to the appeal. If an appeal is filed, you will be notified of the time and location of the appeal hearing.

There is a fee charged for appeals. Recognized neighborhood associations may qualify for an appeal fee waiver.

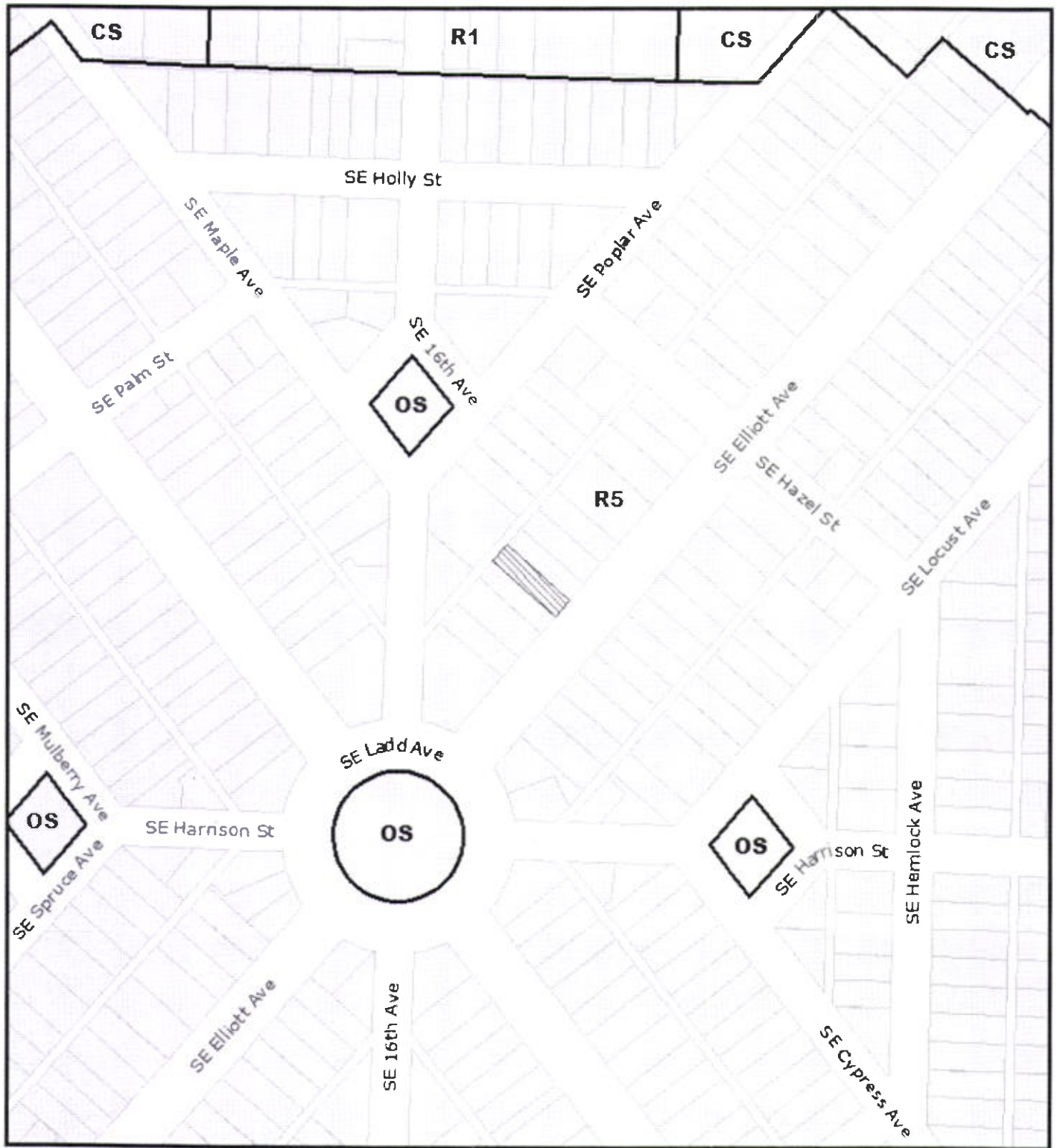
APPEAL OF THE FINAL CITY DECISION

After an appeal hearing, the review body decision may be appealed to the Oregon Land Use Board of Appeals (LUBA) at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283. The phone number for LUBA is 1-503-373-1265. Issues that may provide the basis for an appeal to LUBA must be raised prior to the comment deadline or prior to the conclusion of the hearing if a local appeal is requested. If you do not raise an issue with enough specificity to give the Bureau of Development Services an opportunity to respond to it, that may also preclude an appeal to LUBA on that issue.

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).

Enclosures:

Zoning Map
Site Plan
Elevations



ZONING



THIS SITE LIES WITHIN THE:
LADD'S ADDITION HISTORIC DISTRICT

File No.	LU 18-145469 HR
1/4 Section	3232
Scale	1 inch = 200 feet
State ID	1S1E02DB 7800
Exhibit	B Apr 06, 2018

4:12 SHED ROOF DORMER

Job Description:

average into April

Adding a dormer.

New wood windows.

Building Coverage:

Proposed: 1.458 SF (No Changes)

Jim McCandlish

Case Bonita 112

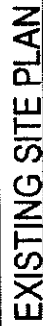
1631 NE Broadway S

CCB: 189948

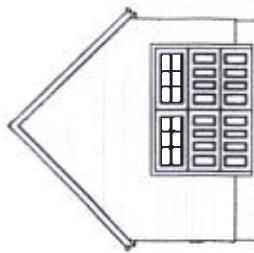
Precision

Beaverton OR 97005

C.C.B. 17A274

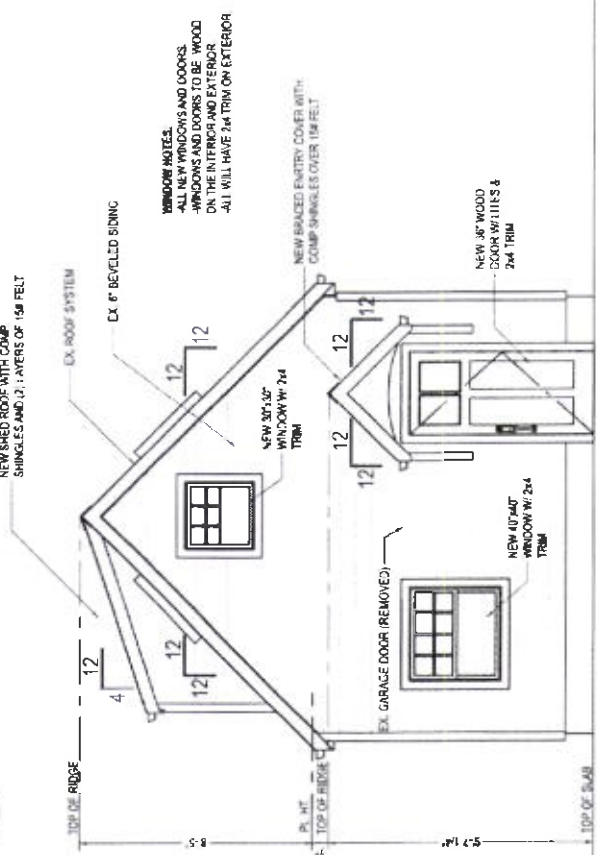


DISCLAIMER: To the best of knowledge these plans are drawn to comply with owner's and/or builder's specifications and any changes made on them after prints are made will be done at the owner's and/or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. Designer is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

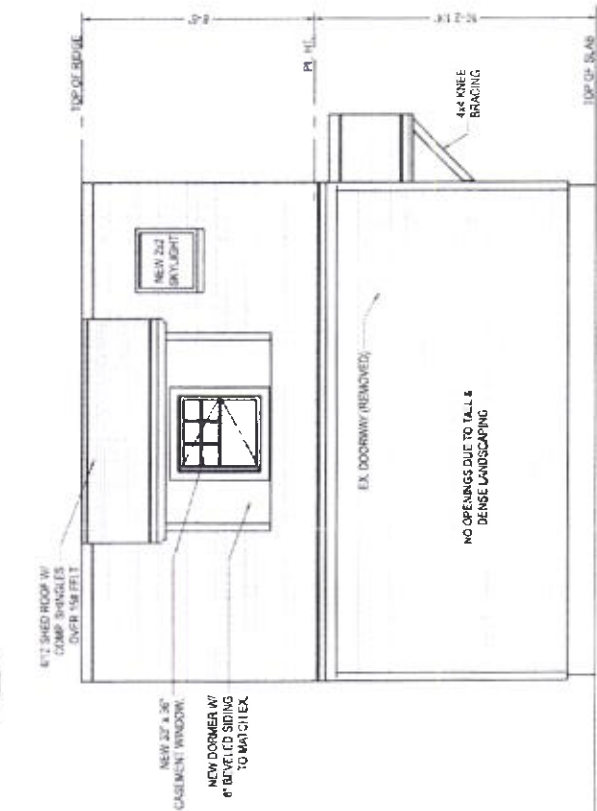


A EX. NORTH-EAST ELEVATION
2 1/8" = 1'-0"

B EX. SOUTH-EAST ELEVATION
2 1/8" = 1'-0"

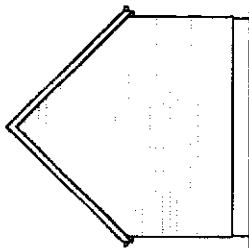


C PROP. NORTH-EAST ELEVATION
2 1/4" = 1'-0"

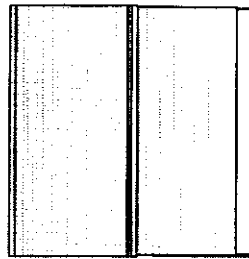


D PROP. SOUTH-EAST ELEVATION
2 1/4" = 1'-0"

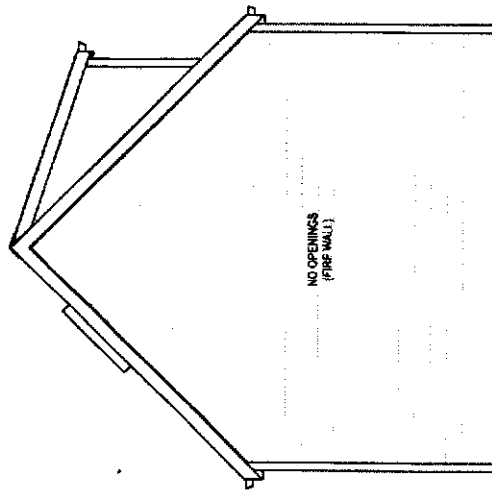
McCANDLISH ADU



A EX. SOUTH-WEST ELEVATION
1/8" = 1'-0"

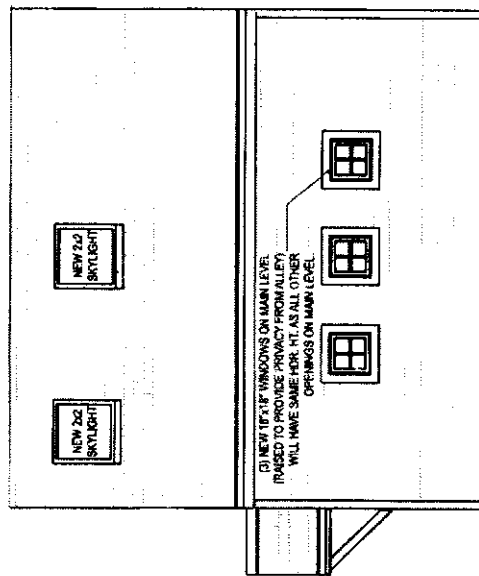


B EX. NORTH-WEST ELEVATION
1/8" = 1'-0"



C PROP. SOUTH-WEST ELEVATION
1/4" = 1'-0"

WINDOW/DOOR JUTES:
-ALL NEW WINDOWS & NEW DOOR
-WINDOWS TO BE WOOD ON THE
EXTERIOR,
-WOOD ON THE INTERIOR
-WINDOWS & DOOR TO HAVE 2x4 TRIM



D PROP. NORTH-WEST ELEVATION
1/4" = 1'-0"

AMANDA 7

General Folder

1903 SE ELLIOTT AVE [...]

15

Q

🔔

?

Folder | Property(1) | People(3) | Info(86) | Fee(2) | Process(15) | Document(4) | File | Comment(1) | Attachment(7) | Correspondence(11)

📄 2018 145469 000 00 LU Land Use Review

Recorded

Collapse All Sections

Options

Recording

Completed

10/03/2018

10/04/2018

10/09/2018

Life Safety (1)

Life Safety Review - LU

Response Sen...

08/14/2018

09/04/2018

09/04/2018

09/04/2018

Fire Bureau (1)

Fire Review - LU

No concerns

08/14/2018

09/04/2018

08/31/2018

08/31/2018

LU 18-145469 HR Exhibit E1



**City of
Portland, Oregon**
Bureau of Development Services
FROM CONCEPT TO CONSTRUCTION

Chloe Eudaly, Commissioner
Rebecca Esau, Director
Phone: (503) 823-7300
Fax: (503) 823-6983
TTY: (503) 823-6868
www.portlandoregon.gov/bds

LIFE SAFETY RESIDENTIAL PLAN REVIEW RESPONSE

To: Puja Bhutani
From: Chanel Horn, Life Safety Plans Examiner
Date: September 4, 2018
RE: 1903 SE ELLIOTT AVE, 18-145469-LU

The following comments are based on the plans and documents provided to the Life Safety Plan Reviewer. They are intended to provide the applicant with preliminary Building Code information that could affect this Land Use review and/or future Building Permit reviews. The comments may not identify all conflicts between this proposal and the Building Codes. A complete Life Safety plan review will be provided at the time of Building Permit submittal. The comments are based on the 2017 Oregon Residential Specialty Code (ORSC), henceforward referred to as the Building Code.

RESPONSE SUMMARY

Life Safety Plan Review does not object to the approval of this proposal. The applicant should be aware that several building code requirements may impact the final design of this building. For information regarding future compliance, see the **GENERAL LIFE SAFETY COMMENTS** below.

GENERAL LIFE SAFETY COMMENTS

Item # Comment

- 1** A separate Building Permit is required for the work proposed and the proposal must be designed to meet all applicable building codes and ordinances. More information regarding building code requirements can be obtained by visiting the Bureau of Development Services Center - 1900 SW 4th Ave, 1st floor. The Development Services Center is open Monday through Friday from 8:00 a.m. to 3:00 p.m. (close at noon on Thursday). No appointment is necessary. Building Code information is also available online at: <http://www.portlandonline.com/bds/>, or by calling (503) 823-1456.
- 2** Where an Accessory Dwelling Unit is created by converting non-habitable space within an existing detached garage, the conversion shall comply with the 2017 Oregon Residential Specialty Code (ORSC), except as modified by the Accessory Dwelling Unit Program Guide. See the following link for more information: <https://www.portlandoregon.gov/bds/article/68689>
- 3** It is recommended the applicant visit the Development Services Center for more information at 1900 SW 4th Ave, 1st floor.

Bhutani, Puja

From: Henry Kunowski <onri.henri@gmail.com>
Sent: Tuesday, August 28, 2018 11:40 AM
To: Bhutani, Puja
Cc: Christopher Eykamp; Nettekoven, Linda
Subject: Regarding LU 18-145469 HR - ADU Conversion

Dear Puja Bhutani, Land Use Services. In regards to you August 14, 2018 Notice of a Type II Proposal as noted above.

Plan District: None Other Designations: Non-contributing resource in the Ladd's Addition Historic District. **The garage is listed as a contributing resource.** As stated in the Notice: Historic Resource Review is required because the proposal is for non-exempt exterior alterations to a structure within the Ladd's Addition Historic District.

According to the City of Portland database on the status of properties in the Ladd's Addition, the subject garage is not a Contributing Resource. It appears that the garage of the 1988 survey was demolished some time ago and a new, non-historic garage built in it's place. Therefore, The Historic Review Sub-Committee of the HAND land Use Committee finds that the proposed garage ADU conversion project will have no effect on a historic property and, the design of the new ADU is compatible with the Ladd's Guidelines.

Please feel free to contact if you have any questions

Henry

Henry C. Kunowski
2036 SE Spruce Avenue | Portland | Oregon | 97214
Direct: 503.680.8596 | onri.henri@gmail.com



City of Portland, Oregon - Bureau of Development Services

1900 SW Fourth Avenue • Portland, Oregon 97201 | 503-823-7300 | www.portlandoregon.gov/bds



Land Use Review Application

File Number: LU 18-145469 HR

FOR INTAKE, STAFF USE ONLY

Date Rec 4/1/18 by Mary

☐ Type I ☐ Type IX ☒ Type II ☐ Type IIX ☐ Type III ☐ Type IV

LU Reviews HR

[Y] ☒ Unincorporated MC

[Y] ☐ Flood Hazard Area (LD & PD only)

[Y] ☐ Potential Landslide Hazard Area (LD & PD only)

NOT IN 100YR FLOODPLAIN OR DOWNE

Qtr Sec Map(s) 3232 Zoning R5

Plan District NONE

Historic Land/or Design District Ladd's Addition

Neighborhood Hosford-Abernethy

District Coalition SEU

Business Assoc Hawthorne Blvd

Related File #

APPLICANT: Complete all sections below that apply to the proposal. Please print legibly.

Development Site

Address or Location 1903 SE Elliot Ave, Portland, OR 97214

Cross Street SE ELLIOT AVE Sq. ft./Acreage .10 acres

Site tax account number(s)

R 463303830 = R 200115 R

R R R

Adjacent property (in same ownership) tax account number(s)

R R R

Describe project (attach additional page if necessary)

Convert existing garage to ADU
Non-contributing structure

Describe proposed stormwater disposal methods

Identify requested land use reviews

Type II - Tier C

• Design & Historic Reviews - For new development, provide project valuation.

\$

For renovation, provide exterior alteration value.

\$ 9,800

~~AND provide total project valuation~~

\$ 65,000

• Land Divisions - Identify number of lots (include lots for existing development).

New street (public or private)?

☐ yes ☒ no

Continued / over

Applicant Information

- Identify the primary contact person, applicant, property owner and contract purchaser. Include any person that has an interest in your property or anyone you want to be notified. Information provided, including telephone numbers and e-mail addresses, may be included in public notices.
- For all reviews, the applicant must sign the Responsibility Statement.
- For land divisions, all property owners must sign the application.

What contact below do you want recording documents sent to: _____

PRIMARY CONTACT, check all that apply ☒ Applicant ☐ Owner ☐ Other _____

Name Omar Martinez Signature 

Company/Organization Casa Bonitalle

Mailing Address 1631 NE Broadway St #721

City Portland State OR Zip Code 97214

Day Phone 503-956-4866 FAX _____ email casabonitalle@gmail.com

Check all that apply ☐ Applicant ☐ Owner ☐ Other _____

Name _____ Signature _____

Company/Organization _____

Mailing Address _____

City _____ State _____ Zip Code _____

Day Phone _____ FAX _____ email _____

Check all that apply ☐ Applicant ☐ Owner ☐ Other _____

Name _____ Signature _____

Company/Organization _____

Mailing Address _____

City _____ State _____ Zip Code _____

Day Phone _____ FAX _____ email _____

Check all that apply ☐ Applicant ☐ Owner ☐ Other _____

Name _____ Signature _____

Company/Organization _____

Mailing Address _____

City _____ State _____ Zip Code _____

Day Phone _____ FAX _____ email _____

Responsibility Statement As the applicant submitting this application for a land use review, I am responsible for the accuracy of the information submitted. The information being submitted includes a description of the site conditions. I am also responsible for gaining the permission of the owner(s) of the property listed above in order to apply for this review and for reviewing the responsibility statement with them. If the proposal is approved, the decision and any conditions of the approval must be recorded in the County Deed Records for the property. The City of Portland is not liable if any of these actions are taken without the consent of the owner(s) of the property. In order to process this review, City staff may visit the site, photograph the property, or otherwise document the site as part of the review. I understand that the completeness of this application is determined by the Director. By my signature, I indicate my understanding and agreement to the Responsibility Statement.

Print name of person submitting this application Omar Martinez Barrera

Signature 

Phone number 503-956-4866 Date 3/26/2018



CITY OF
PORTLAND, OREGON
BUREAU OF DEVELOPMENT SERVICES
1900 SW 4th Ave., Suite 5000
Portland, OR 97201



RECEIPT #: 2101089

4/4/2018

Site Address: 1903 SE ELLIOTT AVE

IVR Number: **4186312**

Permit Number: 18-145469-000-00-LU

Land Use Review

APPLICANT CASA BONITA LLC *OMAR MARTINEZ BARRERA* Phone: (503) 956-4866

Fee Code	Fee Description	Fee Amount	Paid to Date	Balance	This Transaction	New Balance
2504	Life Safety Review - Land Use	\$66.00				
2520	Design / Historic Review Type C	\$925.00				
Bill #4292613	Sub Total	\$991.00	\$0.00	\$991.00	\$991.00	\$0.00
TOTAL		\$991.00	\$0.00	\$991.00	\$991.00	\$0.00

Shaded items indicate fees not yet calculated.

* Fees marked with an asterisk are due at application.

PAYOR CASA BONITA LLC *OMAR MARTINEZ BARRERA* Phone: (503) 956-4866
Payment #: 2101089 Method of Payment: 109704 VS CASA BONITA Receipt By: Aan Gondoputro

CITY CONTACT Phone:
E-Mail: Fax: (503) 823-4172

Notice: This document is not a permit. This document may not represent all fees owing for this permit. All fees are subject to change based on new or corrected information. For more information, consult your City of Portland Contact listed above.



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Chloe Eudaly, Commissioner
Rebecca Esau, Director
Phone: (503) 823-7300
Fax: (503) 823-5630
TTY: (503) 823-6868
www.portlandoregon.gov/bds

April 17, 2018

Omar Martinez Barrera
Casa Bonita LLC
1631 NE Broadway #721
Portland, OR 97232

Re: Land Use Review LU 18-145469 HR – ADU Conversion

Dear Omar Martinez Barrera:

The Bureau of Development Services received your application for a Historic Resource Review located at 1903 SE Elliott Avenue on April 4, 2018. Your case has been assigned to me, Puja Bhutani. In order to continue to review your application, additional information is needed. Once you submit this information, your application will be considered complete, and I will proceed with a full review of your proposal. Up to this point, your application has been reviewed only to determine if all required information has been submitted. The application has not been fully reviewed to determine if it meets the relevant approval criteria, however some issues you may want to consider are identified in Section II below.

I. Information Necessary to Complete Application

The following information must be submitted before your proposal can be evaluated:

1. Existing and proposed floor plans for the Accessory Dwelling Unit (ADU), to scale and dimensioned.
2. Building Coverage calculations for the site.
3. Typical wall sections, through doors, windows, dormers, entrance canopy etc.
4. Enlarged sections through existing and proposed windows and doors, to scale and dimensioned. Typical sections should be provided through the proposed windows/door and a typical original window/door of the residence so that staff can evaluate whether their profiles, trim and location depth in the wall match. See discussion about windows in the "Issues to Consider" below.
5. Manufacturers cut sheets – for the proposed window and doors.

II. Issues to Consider

While not necessary to determine the application complete, additional information may be needed to show that your proposal meets the applicable approval criteria, which are the Ladd's Addition Conservation District Guidelines, and can be found [here](#). You are encouraged to address the following issues regarding the approvability of your proposal:

- Dormer. The proposed dormer appears too large for the existing accessory structure, and its roof pitch does not seem compatible with the steeply pitched roofs of both the accessory and the main residence. Consider an appropriately sized shed roof, as it could provide a more compatible response. (Guidelines 4- Roof Form.)

- **Fiberglass windows.** The new windows should be wood and detailed to match the original windows in materials, form, type, pattern and placement of opening. (Guideline 6- Windows & Doors)
- **South East Elevation.** The building façade facing the house is proposed as a blank wall, and should include windows. This is especially the case since blank walls are also proposed for the two other elevations, and very small windows are proposed for the alley facing façade. Information should be provided if there are existing conditions, like a fence or dense landscaping that might preclude windows.

III. Time to Complete Application

The Portland Zoning Code allows you up to 180 days to complete your application. Since the 180-day period began on the day we received the application, the deadline to make your application complete is **Monday, October 1, 2018**.

IV. Determination of a Complete Application

The application will be determined complete when you have submitted:

1. All of the requested information included in Section I, above. If you cannot provide all of the requested information at one time and intend to submit additional information, please include a written statement with each separate submittal indicating that you still intend to provide the additional missing information by the **Monday, October 1, 2018** deadline, **or**
2. Some of the requested information included in Section I, above, and a written statement that no additional information will be provided; **or**
3. A written statement that none of the requested information included in Section I, above, will be provided.

Please be aware that not submitting the requested information may result in your application being denied. The information is needed to demonstrate the approval criteria are met. Once the application is deemed complete, review of your application can proceed using the information you have provided.

Your application will be approved if it meets the relevant land use review approval criteria. It is your responsibility to document how the approval criteria are met. The items listed above will help provide that documentation.

Voiding of Application

If your application is not complete by **Monday, October 1, 2018**, it will be voided, and the application fee will not be refunded. The City's land use review procedures are outlined in Chapter 33.730 of the Portland Zoning Code.

Please contact me if you have any questions about this letter. My telephone number is **503-823-7226**, and my e-mail address is Puja.Bhutani@portlandoregon.gov. You may mail correspondence to me at the Bureau of Development Services, Suite 5000, 1900 SW Fourth Avenue, Portland, OR 97201. If you deliver the requested material in person, please bring it to the **fifth** floor receptionist at 1900 SW Fourth Avenue. Please label all correspondence and materials you submit with the case number LU 18-145469.

Sincerely,



Puja Bhutani, Planner
Land Use Services Division
cc: Application Case File

Bhutani, Puja

From: Bhutani, Puja
Sent: Monday, June 18, 2018 2:10 PM
To: 'James McCandlish'
Cc: Omar Martinez
Subject: LU18-145469HR- dormer alternatives

Hi James,

Thank you for the photographs and the voicemail. Most of the images are of a primary residence with roof pitches that are not as steep as the subject ADU. As I discussed with you earlier, staff acknowledges that many contributing resources have gabled dormers. However, the gable dormer form and roof pitch that is currently being proposed for the subject steeply pitched garage- a smaller secondary structure- is atypical. However, of the images provided, the following could be considered:

1. A gable dormer with roof pitches similar to the garage or the front porch of the existing house, as shown in the image provided below.



2. A cross-dormer, as discussed earlier with Omar, and similar to the photograph provided below:



3. A shed dormer with a 4:12 pitch, as discussed earlier with Omar.

You are, of course, welcome to discuss the proposal with the neighbors and the neighborhood association. As a Type II review, a notice of proposal is mailed out to all within 400 feet of your residence, once the application is complete. Public comment is invited and taken into consideration by staff, when writing the decision. In case staff decision is appealed, the public comments will be part of the case file, and will be presented to the Landmarks Commission. Additional public comments can also be presented at the hearing.

I would like to ascertain that this is a Type II review. If the affected area is less than 150sf, then this would qualify as a Type I review with reduced fees and a quicker timeline. Omar, can you provide a calculation of the area of exterior alterations (front and side) to make sure that this is being processed under a correct review.

Please feel free to call me in case of additional questions.
Thanks.

Puja Bhutani, AICP
Planner II | Design and Historic Review
City of Portland | Bureau of Development Services
1900 SW 4th Ave | Ste 5000
Portland OR, 97201

e: puja.bhutani@portlandoregon.gov
p: 503-823-7226 | f: 503.823.5630

Work hours: Tue-Fri 7:30AM – 5:00PM

From: James McCandlish [mailto:jmccandlish@comcast.net]
Sent: Thursday, June 14, 2018 12:21 PM
To: Bhutani, Puja <Puja.Bhutani@portlandoregon.gov>
Cc: Omar Martinez <casabonitallc@gmail.com>
Subject: Fwd:

I saw this one this morning bicycling to New Seasons, and included it because it is steep, and like our proposal, you can't tell whether it matches the pitch of the over all structure.

The basic problem that I have is that a shed roof destroys the symmetrical pitch of the garage from the only public viewing area (the alley). Thanks, for your hard work. Best regards, Jim Mc

James E. McCandlish
GRIFFIN & McCANDLISH
1000 S.W. Broadway, Ste. 2400
Portland, OR 97205
Tel.: 503.206.8437
Fax : 503.224.9201
jmccandlish@comcast.net

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Bhutani, Puja

From: Bhutani, Puja
Sent: Thursday, July 05, 2018 11:29 AM
To: 'James McCandlish'
Cc: Omar Martinez; Amanda Haynes
Subject: RE: LU18-145469HR- dormer alternatives
Attachments: Ladds Addition.pdf

James,

Please see my comments in red below. The Ladd's addition Historic District nomination is attached for your information. Let me know how you would like to proceed.
Thanks.

Puja Bhutani, AICP
Planner II | Design and Historic Review
City of Portland | Bureau of Development Services
1900 SW 4th Ave | Ste 5000
Portland OR, 97201

e: puja.bhutani@portlandoregon.gov
p: 503-823-7226 | f: 503.823.5630

Work hours: Tue-Fri 7:30AM – 5:00PM

From: James McCandlish [mailto:jmccandlish@comcast.net]
Sent: Thursday, June 28, 2018 1:14 PM
To: Bhutani, Puja <Puja.Bhutani@portlandoregon.gov>
Cc: Omar Martinez <casabonitallc@gmail.com>; Amanda Haynes <amandah@precisionhomesbuilding.com>
Subject: Re: LU18-145469HR- dormer alternatives

Puja,

Three things: First Type II vs Type 1. I reviewed the applicable regulations and guidelines, and prefer the hearing/Historic Landmarks Commission review in the event we are not able to agree, so we will continue as a Type II application. But thank you for the suggestion. From a quick review it appears that the total area of exterior alterations would probably exceed 150 sf, and so a Type II application would probably apply. Please provide area calculations for all exterior changes (original garage door, windows, dormers etc.) so that staff can verify.

Second, the Ladd's Addition Conservation District Guidelines at p. 14, Sec. 4 describes in three sections the features that "[r]epair and alteration of roofs should retain". The first section reads "The original roof shape and pitch". The gable dormer style that we are proposing and uniformly favored by the neighbors is in keeping with "the original roof shape". Gable on gable style is maintained. The shed style violates this directive. At p. 12 the Guidelines illustrate the distaste for the shed style by comparing the original gabled look of the Donahoe House front facade with the shed style remodel from 1989. The shed roof pictured is an "EXAMPLE OF INAPPROPRIATE EXTERIOR CHANGES".

The guideline4, (pg 14) states that new roof features including new dormers should be compatible in size, scale, materials and colors with the original building. Staff had provided two options for a gable dormer addition which would comply with the approval criteria- gable dormer with roof pitches similar to the garage or the front porch of the existing house, or a cross dormer. The gable dormer as proposed with a shallow roof pitch would not be compatible with the

original resource, and hence not meet the approval criteria. Since gable roofs do not seem to be an option, a shed dormer with an appropriate pitch would be the next best option to meet the compatibility criteria.

Please note that the residence and garage are both contributing resources in the Ladd's Historic District. Furthermore, the Ladd's district HR nomination states:

"The alleys bisecting the blocks have their own spatial order, with narrow streets, private gardens, and garages, many of them small scale versions of the houses for which they were built"; (2nd page)

"All but three are garages or carports, and all are considered to be "Utilitarian" in style. They usually have eight to ten foot high eaves; single or double bay garage doors; gable, jerkinhead gable, hipped or flat roofs, usually reflecting the roof form of the houses for which they were built; horizontal board siding or stucco. The roof forms, siding and fenestration often match the houses for which they were built." (pg 7.7, section #7)

"Because of the distinctive layout of the district, the alleys have been determined to be a significant physical feature with their own characteristic spatial ordering system. Thus, all auxiliary buildings, most of them garages located along the edges of the alleys, have been counted as resources within the district." (pg 7.18, Section #7)

"A number of the auxiliary buildings have been altered.... These factors alter the ratio of contributing to non-contributing resources in the district as a whole, despite the fact that most of the auxiliary resources are not visible from the streets in Ladd's Addition." Pg. 7.19, Section #7

Compliance with this guideline is important given the emphasis placed in the Historic District nomination on the auxiliary buildings, and their contribution to the character of the resource and historic district.

The example on page 12 cannot be taken to imply that shed style roofs "violates this directive." The example is illustrating a shed roof dormer built on the front façade of a steeply pitched gable wall of a primary structure, which clearly is not appropriate. Staff is recommending an appropriately pitched shed dormer that is not located on the gable façade and for an auxiliary structure.

And finally, although it is contained in the New Construction section (pp 8-11), the Guidelines expressly and clearly favor gabled construction. P. 10, Section 9 reads:

"ROOF FORM: Non-commercial buildings should have gable or hip roofs with medium to steep pitch. Dormers and gable roofed projections are encouraged."

New construction section is not applicable. This guideline applies only for new structures.

Thank you for the opportunity to present these views. Best regards, Jim Mc

James E. McCandlish
GRIFFIN & McCANDLISH
1000 S.W. Broadway, Ste. 2400
Portland, OR 97205
Tel.: 503.206.8437
Fax : 503.224.9201
jmccandlish@comcast.net

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On Jun 25, 2018, at 12:32 PM, Bhutani, Puja <Puja.Bhutani@portlandoregon.gov> wrote:

Hi James,

All the applicable guidelines under "Exterior Rehabilitation" would apply. For instance, guideline 9 & 12 would not apply since you are not proposing signs or parking. I pulled out Guideline 4- roof form just to note the guideline that specifically applies to the proposed dormer.

Regards,

Puja Bhutani, AICP

Planner II | Design and Historic Review

City of Portland | Bureau of Development Services

1900 SW 4th Ave | Ste 5000

Portland OR, 97201

e: puja.bhutani@portlandoregon.gov

p: 503-823-7226 | f: 503.823.5630

Work hours: Tue-Fri 7:30AM – 5:00PM

From: James McCandlish [<mailto:jmccandlish@comcast.net>]

Sent: Monday, June 25, 2018 12:11 PM

To: Bhutani, Puja <Puja.Bhutani@portlandoregon.gov>

Cc: Omar Martinez <casabonitallc@gmail.com>; Amanda Haynes

<amandah@precisionhomesbuilding.com>

Subject: Re: LU18-145469HR- dormer alternatives

Hi Puja. Your responsiveness has been greatly appreciated. It's important on this end for sure. I searched the link to find "Guideline 4, Exterior Rehabilitation Guideline", and came up with this from the Ladd's Addition Conservation District Guidelines":

Roof Form

Repair and alteration of roofs should retain:

- a. The original roof shape and pitch;
- b. Original structural and decorative features such as gables, dormers, chimneys, cornices, parapets, pediments, frieze boards, exposed rafters and other ornamental details; and,
- c. Whenever possible the original type, size, color, and pattern of roofing materials. New roof features including roof additions and new dormers should be compatible in size, scale, materials, and color with the original building. Skylights, solar, mechanical and service equipment, and new roof features should be inconspicuous from the street.

Am I correct that this is the applicable guideline you are using? Is there any other guideline or regulation in play here that I should take into consideration? Best regards, Jim Mc

James E. McCandlish
GRIFFIN & McCANDLISH
1000 S.W. Broadway, Ste. 2400
Portland, OR 97205
Tel.: 503.206.8437
Fax : 503.224.9201
jmccandlish@comcast.net

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On Jun 21, 2018, at 5:48 PM, Bhutani, Puja <Puja.Bhutani@portlandoregon.gov> wrote:

Hi James,

Thank you for the drawings and neighborhood responses. We have had an extensive discussion earlier as to why the gable dormer, as proposed, would not be compatible with the form of the subject secondary structure which has a steeply pitched roof. This is also supported by the photographs you provided. We have tried our best to work with you to find an acceptable option for a gable dormer, as suggested in the email below. If this is not feasible, then the shed dormer would be an acceptable option. Please refer to Guideline 4, Exterior Rehabilitation Guidelines linked [here](#), which provide the approval criteria for this proposal.

Best regards,

Puja Bhutani, AICP
Planner II | Design and Historic Review
City of Portland | Bureau of Development Services
1900 SW 4th Ave | Ste 5000
Portland OR, 97201

e: puja.bhutani@portlandoregon.gov
p: 503-823-7226 | f: 503.823.5630

Work hours: Tue-Fri 7:30AM – 5:00PM

From: James McCandlish [<mailto:jmccandlish@comcast.net>]
Sent: Wednesday, June 20, 2018 7:50 PM
To: Bhutani, Puja <Puja.Bhutani@portlandoregon.gov>
Cc: Omar Martinez <casabonitallc@gmail.com>; Amanda Haynes

6. Function or Use

Historic Functions (enter categories from instructions)

Domestic--Single Dwelling
Domestic--Multiple Dwelling
Landscape--Park
Domestic--Garage

Current Functions (enter categories from instructions)

Domestic--Single Dwelling
Domestic--Multiple Dwelling
Landscape--Park
Domestic--Garage

7. Description

Architectural Classification

(enter categories from instructions)

Bungalow/Craftsman
Late 19th and 20th Century Revivals
Other: 20th Century Colonial

Materials (enter categories from instructions)

foundation Concrete
walls Weatherboard
Shingle
roof Asphalt
other Wood (porches)
Stucco (Walls)

Describe present and historic physical appearance.

Ladd's Addition is a cohesive neighborhood of early twentieth century buildings, primarily residential, platted in a distinctive formal geometric pattern which differentiates it from any of its contemporaries on the West Coast. The 126 acre rectangular district, located on the east side of Portland's Willamette River, has a hierarchical series of intersecting diagonal and right-angle streets, creating thirty-two polygonal blocks of varying sizes and shapes organized around a circular central park and four secondary diamond-shaped parks. The clear two-dimensional layout of the district creates complex spatial sequences and unexpected visual juxtapositions when experienced in three dimensions. It is one of the few plats in Portland with alleys. This reinforces the continuity of the street elevations, largely uninterrupted by curb cuts, giving the buildings on each block the appearance of being placed in a large garden. More than eighty-seven percent of the buildings in the neighborhood were built between 1905 and 1939, resulting in an architecturally rich mix of compatible early twentieth century styles. With the exception of the Ladd Circle Grocery, located in the heart of the district, commercial development has been limited to the outermost edges of the neighborhood, providing a transition from the auto-oriented thoroughfares delineating the boundaries to the district's residential streets. Five dedicated public parks, nine religious buildings, a public school and nine apartment buildings within Ladd's Addition reinforce its historic functional, social and typologic completeness as an inner-city neighborhood. The alleys bisecting the blocks have their own spatial order, with narrow streets, private gardens, and garages, many of them small scale versions of the houses for which they were built; seventy percent of these auxiliary buildings were constructed between 1905 and 1939.

The Setting

Ladd's Addition is part of the Hosford-Abernethy Neighborhood Development, an irregularly shaped inner-city district extending east from the edge of the Willamette River, which bisects the City of Portland along a north-south axis, to S.E. 29th Avenue, and south from Hawthorne Boulevard to Powell Boulevard. Hosford-Abernethy encompasses a wide range of building types, land uses, and periods of development, ranging from the earliest east side residential district in Portland, Stephen's Addition, to the inner east side industrial area of warehouses and manufacturing along the river. The Southern Pacific Railroad mainline tracks, cross the southwest corner of Hosford-Abernethy enroute to California. Ladd's Addition extends south from the northern border of Hosford-Abernethy, beginning approximately 1/2 mile east of the Willamette River.

The east side was initially settled by farmers occupying Donation Land claims oriented along Township lines; the claim boundaries became roads, then, often, streetcar routes, and finally major automobile arterials. Rapid residential development of the east side followed the 1891 consolidation of the east and west sides of the Willamette River into one city, and the construction of bridges in the late 1880s. Pieces of east side farmland were sold to real estate companies who frequently worked with streetcar

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Section number 7 Page 7.7

Porches are generally supported by modified classical columns, or consist of bracketed overdoors sheltering concrete stoops. Wall cladding is primarily narrow weatherboards, shingles or stucco. Fenestration generally consists of double-hung windows with multiple lights in the upper sashes. Most were built according to stock plans available to builders; a few were designed by architects, and have a slightly higher design quality.

Forty-eight houses and multi-family residences were built in the English Cottage style (6.9%); twenty-three in the Norman Farmhouse style (3%); and three (0.4%) in the Tudor style. The characteristics of these styles have been discussed above. There are two small California Mission style residences dating to this period, with flat roofs, shaped parapets and stuccoed siding; five identical California Mission style duplexes, and a pair of identical triplexes. The duplexes, with flat roofs, shaped parapets and stuccoed siding, were not particularly well built and have experienced some unfortunate alterations. The triplexes, constructed as a pair with a central court, are better built, and have several ornamental features, such as niches, which distinguish them from other residential units built in this style within the district.

Eighty (12.4%) of the 643 major buildings in the district were built after the historic period. The styles of the post-World War II residential buildings have been discussed. There are, in addition, several post-historic commercial buildings, most of which have no identifiable stylistic attributes: these have been categorized by building type, such as Commercial Strip and Modern Commercial. There is one Half-Modern religious building, and two Post-Modern structures built within the last five years. The features of these buildings are discussed in the Inventory later in this section.

The remaining 4% of the major buildings in the district are constructed in a variety of styles: several of these are historic buildings with unique stylistic attributes within the district. There are two Twentieth Century Italian Renaissance brick ecclesiastic structures, built in 1913 and 1916; one 1891 Gothic Revival church, moved into the district in 1911; one 1909 Twentieth Century Gothic church; one Prairie style church building, constructed in 1924; one 1928 Art Deco commercial building, and several Early Commercial and Stripped Classical buildings dating to the 1920s. Most of these are contributing structures, compatible in scale, proportion and materials with other buildings in the district; their particular attributes are addressed in the Inventory later in this section.

There are 469 auxiliary buildings within the district. All but three are garages or carports, and all are considered to be "Utilitarian" in style. They usually have eight to ten foot high eaves; single or double bay garage doors; gable, jerkinhead gable, hipped or flat roofs, usually reflecting the roof form of the houses for which they were built; horizontal board siding or stucco. The roof forms, siding and fenestration often match the houses for which they were built.

IFICATE OF OCCUPANCY REQUIRED ☐

FINAL APPROVAL ☐

SANITATION	PLUMBING	P/W USE	ZONING	BUILDING	FIRE DEPT.	ELECTRICAL	HVAC

1903 SE ELLIOTT AV

PERMIT
NUMBER 91-101246

BLOCK 17

TAX LOT

ACCTR463303830

DATE
ISSUED 03/18/91

N LADDS ADD

MAP 3232

SEC

T/R

PLAN
EXAMINER SLS

LARRY WASSERMAN/OWNER

ZONER5

VALUATION

3765

NTJUDITH ROMANO/LARRY WASSERMAN

PHONE 646-3466

EXISTING GARAGE, SAME FOUNDATION

IRP. R3 M1

CODE ED

CONSTRUCTION TYPE VN

N

DETEC Y

VZ

CU

INSP.

M PLANS EXAMINERS

11/2/88



City of Portland, Oregon - Bureau of Development Services

1900 SW Fourth Avenue • Portland, Oregon 97201 | 503-823-7300 | www.portlandoregon.gov/bds



Request for Extension of 120-Day Review Period

State law requires the City to issue a final decision on land use reviews within 120 days of receiving a complete application. State law also allows the applicant to request in writing an extension of the 120-day review period for up to an additional 245 days. When extensions are requested, it is important to ensure that there is adequate time to accommodate the required public review, drafting the decision, and any required hearings (including appeals) within the extended review period. Generally, a final decision must be rendered approximately 60 days prior to the end of the review period in order to accommodate appeals.

If requesting an extension of the 120-day review period, please sign this form and return it to the Bureau of Development Services (BDS) planner assigned to your case.

Case Information

1. Applicant Name: Omar Martinez Barrera

2. Land Use Case Number: LU # LU 18-145469 HR

3. BDS Planner Name: Puja Bhutani

Extension Request

Please check one of the following:

☒ Extend the 120-day review period for an additional 30 days.
(insert number)

☐ Maximum allowed extension: 245 days

The total number of extensions requested cannot exceed 245 days.

By signing this form, I acknowledge that the 120-day review period for my land use review application will be extended for the number of days specified.

Applicant Signature: _____

Date

9/16/18

BDS Staff Complete This Section

Received by (print name): _____

Date

Received _____