



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Carmen Rubio, Commissioner
Rebecca Esau, Director
Phone: (503) 823-7310
TTY: (503) 823-6868
www.portland.gov/bds

RECORDER

Please stamp the County Recorder's copy of the recording sheet and return with the attached decision to City of Portland, BDS 299/5000/BDS LUR

Multnomah County Official Records **2023-073789**
E Murray, Deputy Clerk
11/29/2023 01:16:01 PM
LUA-LUA Pgs=10 Stn=77 ATLR \$121.00
\$50.00 \$11.00 \$60.00

FINAL FINDINGS AND DECISION BY THE LANDMARKS COMMISSION RENDERED ON OCTOBER 23, 2023

FINAL DECISION BY THE HISTORIC LANDMARKS COMMISSION

The Historic Landmarks Commission has **approved** a proposal in your neighborhood. This document is only a summary of the decision. The reasons for the decision, including the written response to the approval criteria and to public comments received on this application, are included in the version located on the BDS website <https://www.portland.gov/bds/zoning-land-use/news/notices>. Click on the relevant Neighborhood, and search the case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

CASE FILE NUMBER: LU 23-068457 HR
PC # 23-013495
St Mary's Church Administration Offices

BUREAU OF DEVELOPMENT SERVICES STAFF: Tanya Paglia 503-865-6518 /
Tanya.Paglia@portlandoregon.gov

GENERAL INFORMATION

Owner: St Mary Catholic Cathedral of Immaculate Conception of Portland Oregon
1716 NW Davis St | Portland, OR 97209

Applicant: Michael Roberts and Zachary Freund | LRS Architects
720 NW Davis St #300 | Portland, OR 97209
503-806-5147, mroberts@lrsarchitects.com

Owner's Rep: Jo Willhite | Archdiocese of City of Portland
2858 E Burnside St | Portland, OR 97214

Party of Interest: Pat O'Brien | O'Brien Construction
208 NW 21st Ave., #201 | Portland, OR 97209

Site Address: 1715 NW COUCH ST

Legal Description: BLOCK 167 LOT 1-8, COUCHS ADD
Tax Account No.: R180215070
State ID No.: 1N1E33DB 05400
Quarter Section: 3028

Neighborhood: Northwest District, contact Greg Theisen at
contact@northwestdistrictassociation.org

Business District: Northwest, contact at nobhillportland@gmail.com, Pearl District
Business Association, contact at info@explorethepearl.com

District Coalition: Neighbors West/Northwest, contact Darlene Urban Garrett at
darlene@nwnw.org

Plan District: Northwest

Other Designations: Contributing Resource in the Alphabet Historic District, listed in the
National Register of Historic Places on November 16, 2000

Zoning: **RM4d** – Residential Multi-Dwelling 4 zone with Design and Historic
Resource Protection overlays

Case Type: **HR** – Historic Resource Review

Procedure: **Type III**, with a public hearing before the Landmarks Commission. The
decision of the Landmarks Commission can be appealed to City Council.

Proposal:

Type III Historic Resource Review for a proposal to make exterior alterations to buildings that are part of the St Mary's Cathedral property, a contributing resource in the Alphabet Historic District historically known as the *Cathedral of the Immaculate Conception* located in the Northwest Plan District. The exterior alterations accompany a full-scale interior demolition and renovation of the existing administration buildings including seismic strengthening, new interior elevator system, new lobby and stairway, mechanical, electrical, and plumbing (MEP) systems upgrades, and accessibility improvements.

The project will involve replacing a connecting structure between the Rectory building (also referenced in plans as "north building") and the Archbishop's Residence and Parish Center building (which will become the Parish Center and Archdiocese of Portland Building and is also referenced in the plans as "south building"). The project will allow the Archdiocese Administration of Portland Oregon which is currently located at 2838 E Burnside St to relocate its Pastoral offices into the two buildings. The new connector will be an aluminum curtainwall system with plate metal cladding and a pre-cast concrete base and will have an aluminum skylight system. The connector will be recessed between the two historic buildings. A portion of the south building's eaves will be cut into and removed, and some clay tile roofing material will have to be removed from both the south and north buildings to accommodate the connector's roof.

The project also includes:

- South Building: Archbishop's Residence and Parish Center building
 - East Elevation - NW 17th Ave frontage
 - New aluminum-clad wood full-lite entry door in the existing opening at the north end of the east elevation including new security camera above door and new wall sconce lighting fixtures on either side.
 - Infill the two garage openings at the south end of the east elevation with two sets of new double-hung aluminum-clad wood windows above a pre-cast concrete base.
 - Existing gas meter relocated into the recess of the South Building.
 - New metal gate and fencing to secure the recessed area in front of the new connecting structure.
 - Removal of existing non-original chimney.
 - New signage.
 - West Elevation – Interior courtyard frontage
 - New cast-in-place concrete exterior stair providing a courtyard entry to a lower-level community space which will have a new double-door storefront entry.
 - Two new wood single-hung windows on first floor beneath arcade to match existing windows, and demolish two doors below new windows and infill with small wood fixed windows to match existing basement windows as well as salvaged brick masonry.
 - New guardrail with ornamental malleable iron spindles and stanchions at new stairs.
 - New mechanical units at recessed niche on west side of South Building.
 - Replacement LED semi-flush mount ceiling light fixtures at arcades.
 - New security camera above door at south end of building.
 - South Elevation – NW Couch frontage
 - Replacement LED flush mount ceiling light fixtures at entry.
 - Two new surface-mounted security cameras at top of building below roof line.
- North Building: Rectory building
 - East Elevation - NW 17th Ave frontage
 - New carriage-style sectional overhead garage door replacing residential-style garage door within same rough opening at the east side of the Rectory building with new wall sconce lighting fixtures on either side.
 - West Elevation – Interior courtyard frontage
 - Reduce height and laterally reinforce existing chimney.
 - New aluminum-clad wood door in the existing opening including new security camera adjacent to top of door.
 - North Elevation – NW Davis frontage
 - Two new surface-mounted security cameras at top of building below roof line.

Historic resource review is required because the proposal is for non-exempt exterior alterations on a resource in the Alphabet Historic District.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The relevant approval criteria are:

- Community Design Guidelines
- Alphabet Historic District Community Design Guidelines Addendum

CONCLUSIONS

The proposed alterations to buildings that are part of the St Mary’s Cathedral property, a contributing resource in the Alphabet Historic District, including replacing a connecting structure between the Rectory building and the Archbishop’s Residence/Parish Center building, will bring a significant improvement in building functionality without significantly impacting the site’s historic character. The new connecting structure is of a quality and style that complements the character of the historic site, and it will retain the integrity of the existing buildings by being significantly set back from their main façade line. Generally, the proposed alterations are compatible with the existing character and design of the contributing site, as well as the historic district. The purpose of the Historic Resource Review process is to ensure that additions, new construction, and exterior alterations to historic resources do not compromise their ability to convey historic significance. This proposal meets the applicable Historic Resource Review criteria and therefore warrants approval.

LANDMARKS COMMISSION DECISION

It is the decision of the Landmarks Commission to approve Historic Design Review for a proposal to make exterior alterations to buildings that are part of the St Mary’s Cathedral property, a contributing resource in the Alphabet Historic District historically known as the *Cathedral of the Immaculate Conception* located in the Northwest Plan District, including replacing a connecting structure between the Rectory building (north building) and the Archbishop’s Residence and Parish Center building (south building).

Approvals per Exhibits C.1-C-26, signed, stamped, and dated 10/23/2023, subject to the following conditions:

- A.** As part of the building permit application submittal, the following development-related conditions (B – D) must be noted on each of the 4 required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled “ZONING COMPLIANCE PAGE- Case File LU 23-068457 HR. All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled “REQUIRED.”
- B.** At the time of building permit submittal, a signed Certificate of Compliance form (<https://www.portlandoregon.gov/bds/article/623658>) must be submitted to ensure the permit plans comply with the Design/Historic Resource Review decision and approved exhibits.
- C.** The approved design shall be the alternate design that features a taller curtain wall on the tower structure per drawings C-12, C-20, and C-23.
- D.** No field changes allowed.

=====

By: 
Andrew Smith, Historic Landmarks Commission Chair

Application Filed: 7/28/2023
Decision Filed: 10/24/2023

Decision Rendered: 10/23/2023
Decision Mailed: 11/9/2023

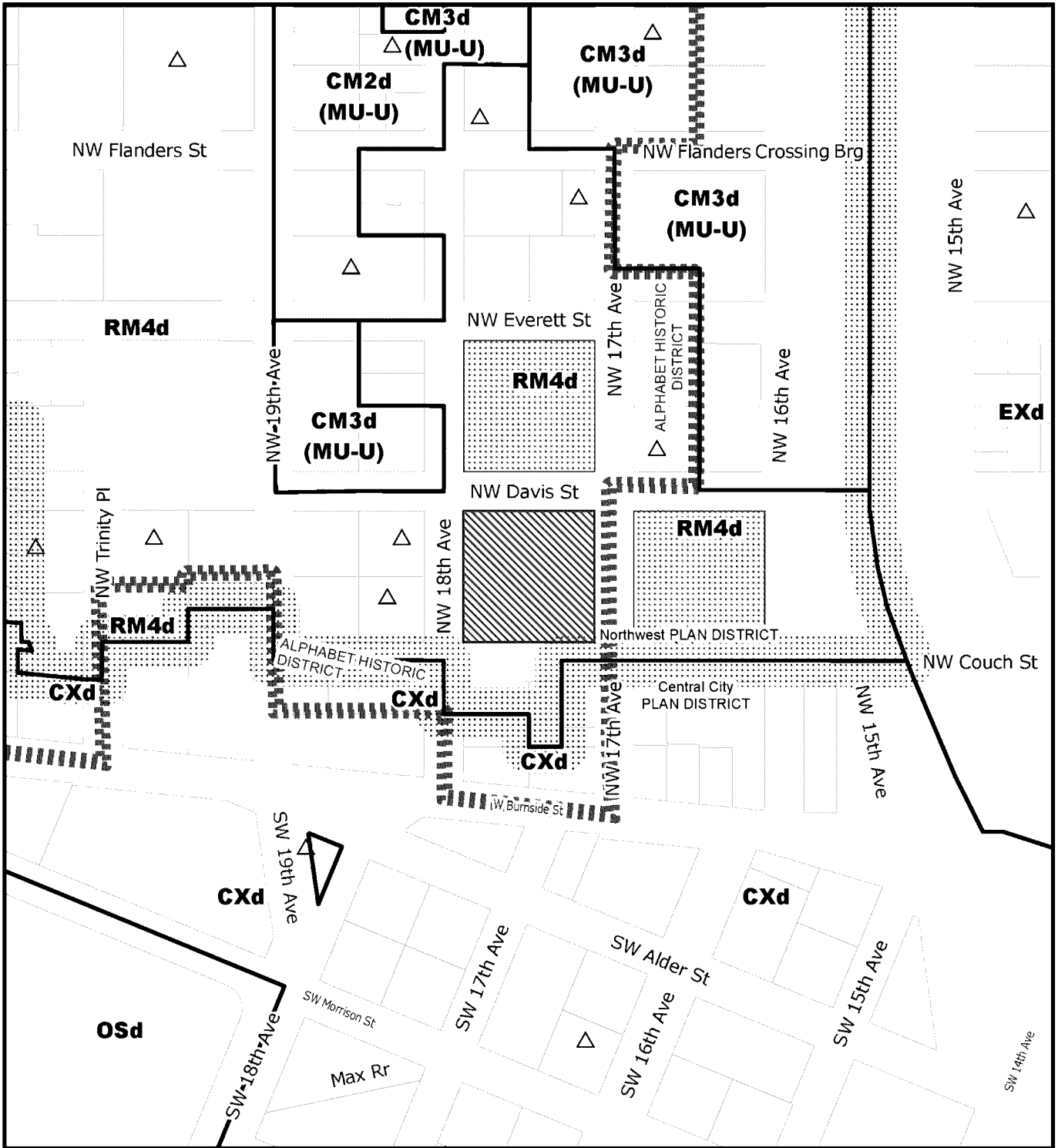
Last date to Appeal: November 27, 2023 by 4:30 pm
Effective Date (if no appeal): November 28, 2023 Decision may be recorded on this date

Kimberly Tallant, Principal Planner

City of Portland
Bureau of Development Services
1900 SW Fourth Ave, #5000
Portland, OR 97201

Date: November 28, 2023



Representative



For Zoning Code in Effect Post October 1, 2022

ZONING

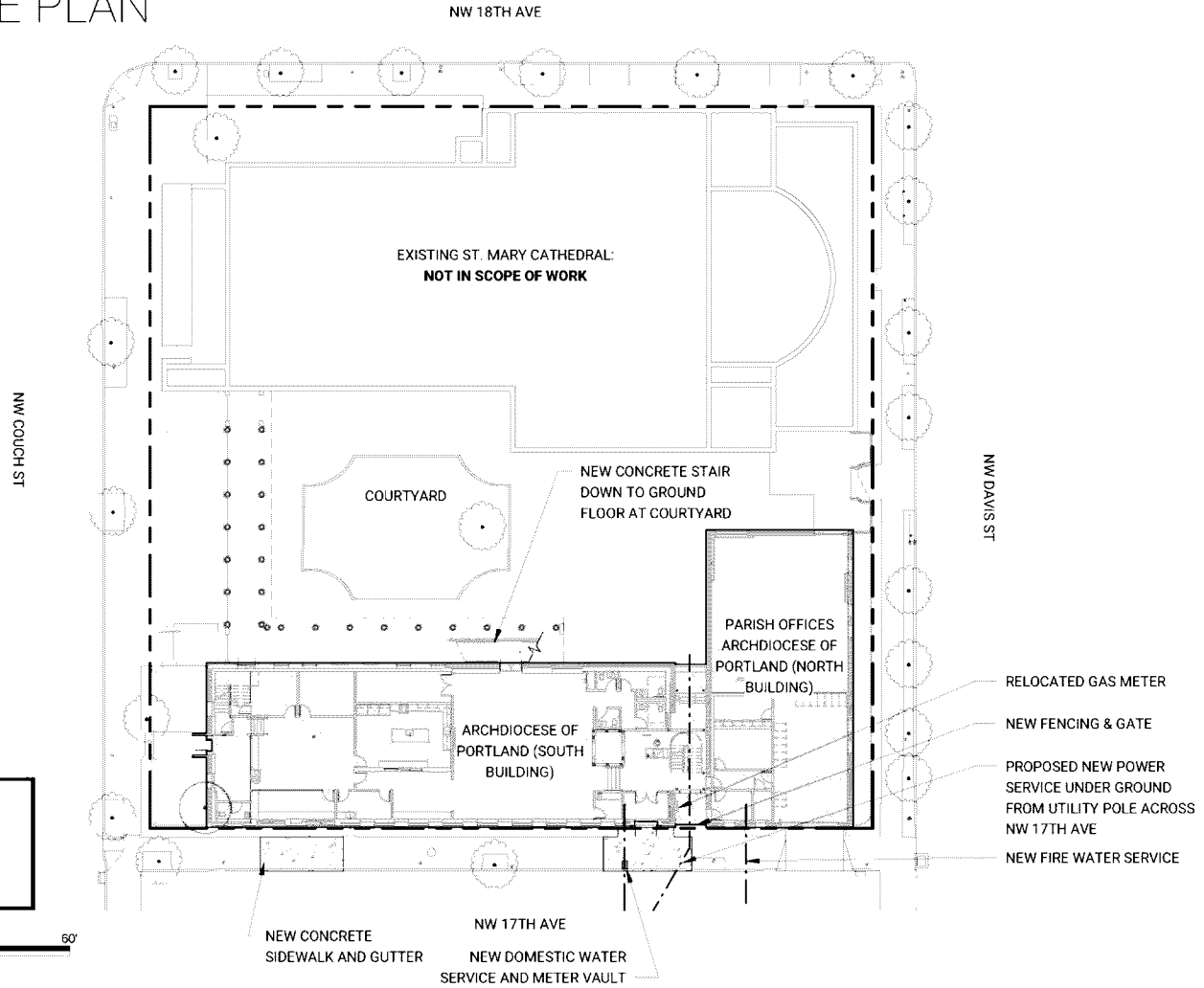
THIS SITE LIES WITHIN THE:
NORTHWEST PLAN DISTRICT
ALPHABET HISTORIC DISTRICT

-  Site
-  Also Owned Parcels
-  Plan District
-  Historic District
-  Historic Landmark

File No.	<u>LU 23 - 068457 HR</u>
1/4 Section	<u>3028</u>
Scale	<u>1 inch = 200 feet</u>
State ID	<u>1N1E33DB 5400</u>
Exhibit	<u>B Jul 26, 2023</u>

PROPOSED SITE PLAN

C8



Approved
 City of Portland
 Bureau of Development Services
 Planner: *[Signature]*
 Date: 10/23/2023
 * This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

Scale: 1" = 30'-0"
 0 15' 30' 60'

LRS ARCHITECTS 221084 | ARCHDIOCESE PASTORAL CENTER OFFICES | 10.05.2023

NOT FOR CONSTRUCTION

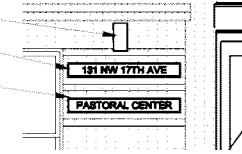


LU 23-068457 HR C-5

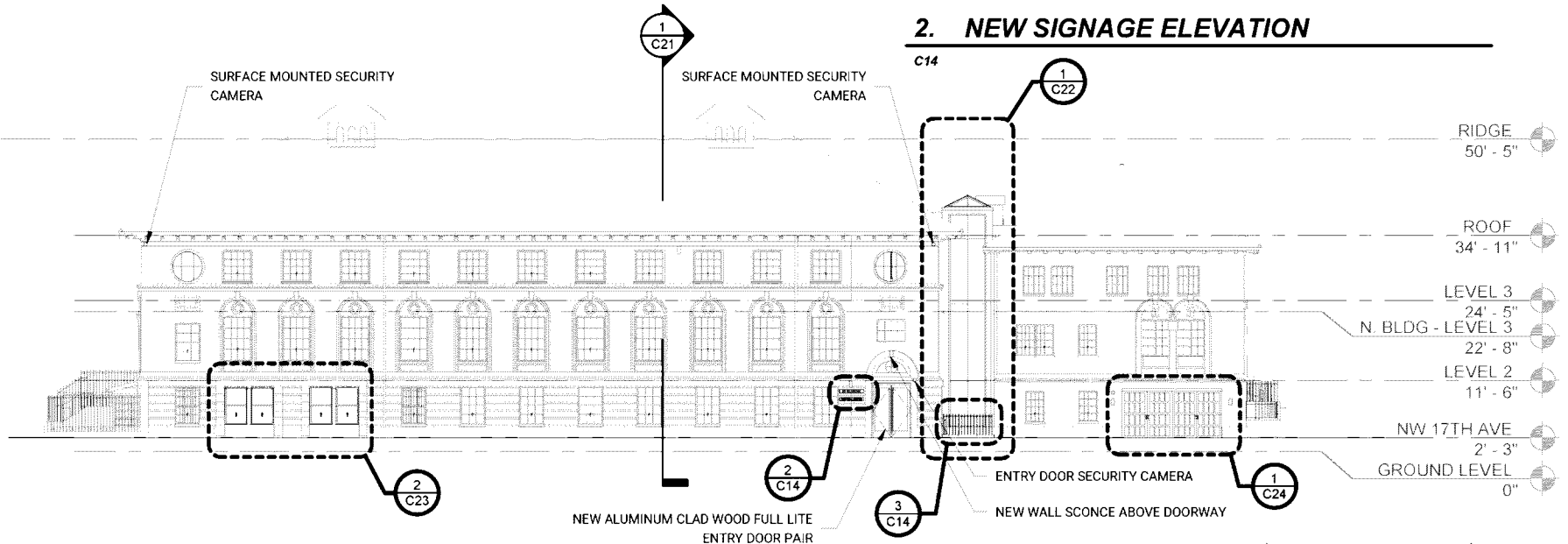
PROPOSED ELEVATION - EAST

C14 UPDATE WITH TALLER CURTAINWALL / GLASS AREA

NEW LIGHT ABOVE TO ILLUMINATE SIGNAGE
 NEW ADDRESS SIGNAGE
 NEW BUILDING SIGNAGE. METAL
 PLAQUE WITH METAL LETTERING.

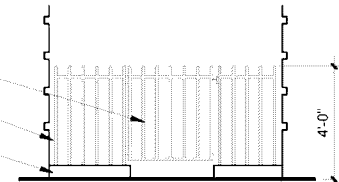


2. NEW SIGNAGE ELEVATION



- RIDGE 50' - 5"
- ROOF 34' - 11"
- LEVEL 3 24' - 5"
- N. BLDG - LEVEL 3 22' - 8"
- LEVEL 2 11' - 6"
- NW 17TH AVE 2' - 3"
- GROUND LEVEL 0"

METAL GATE FOR MAINTENANCE ACCESS
 METAL FENCING TO MATCH EXISTING
 CONCRETE CURB



3. FENCE & GATE ELEVATION

Scale: As indicated



221084 | ARCHDIOCESE PASTORAL CENTER OFFICES |
 10.05.2023

NOT FOR CONSTRUCTION

C14

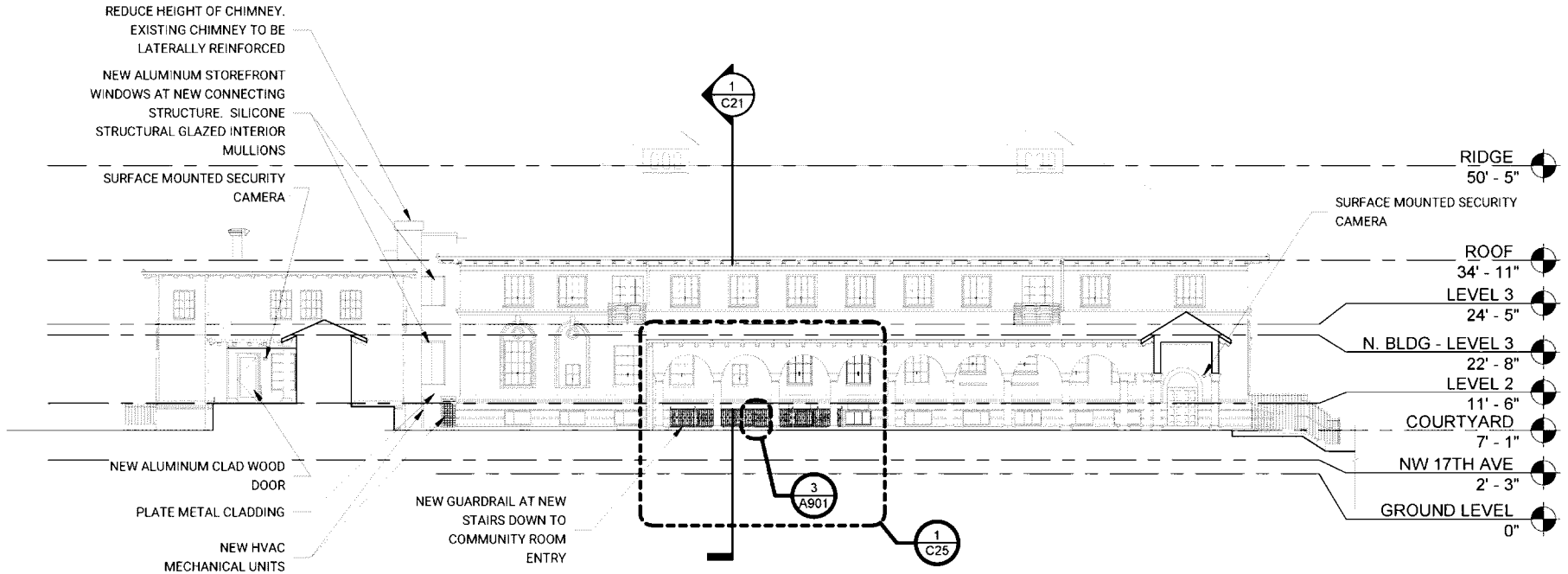
Approved
 City of Portland
 Bureau of Development Services
 Planner *Jimmy Seagle*
 Date 10/23/2023



* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply. LU-23-068457 HR C-12

PROPOSED ELEVATION - WEST

C18



Scale: 1/16" = 1'-0"

LRS ARCHITECTS | 221084 | ARCHDIOCESE PASTORAL CENTER OFFICES | 10.05.2023

NOT FOR CONSTRUCTION

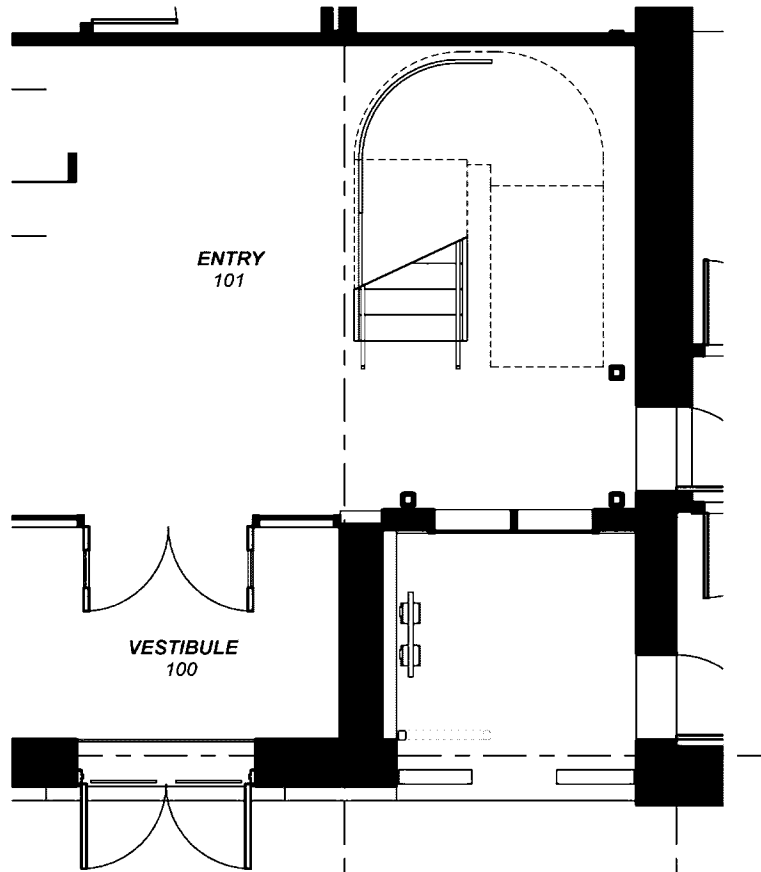
Approved
 City of Portland
 Bureau of Development Services
 Planner *[Signature]*
 Date 10/23/2023
 * This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



LU 23-068457 HR C-16

BUILDING SECTION - RATS ALLEY

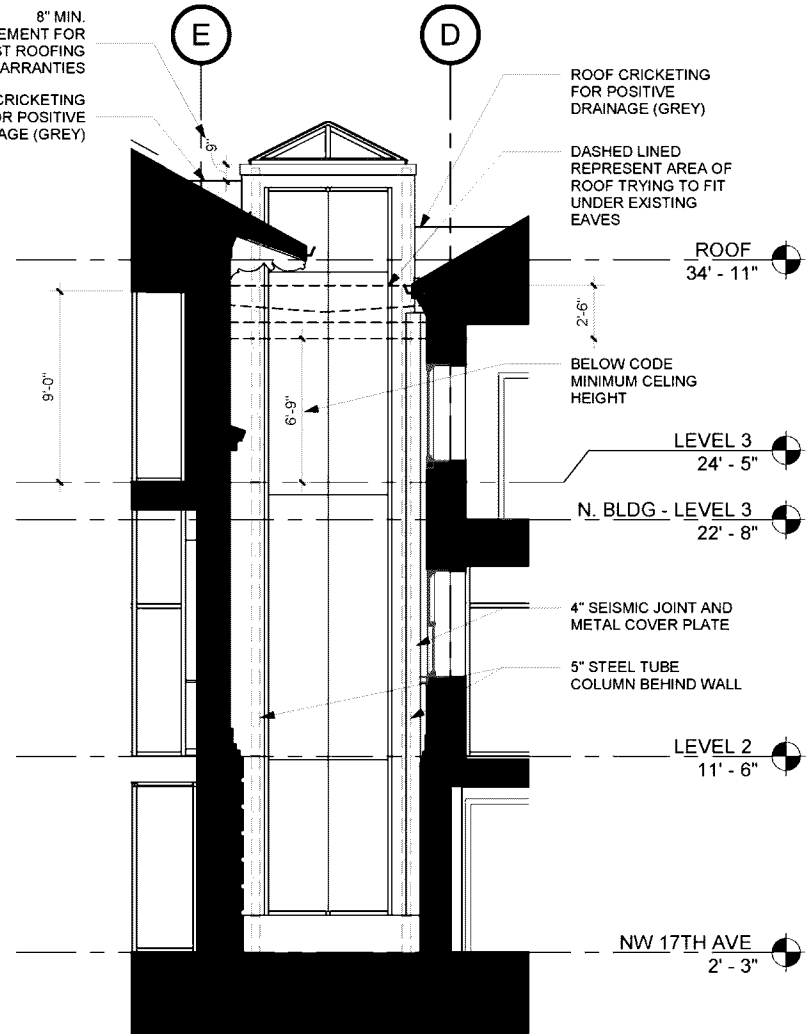
C21. UPDATE WITH TALLER CURTAINWALL / GLASS AREA



Scale: 3/16" = 1'-0"

LRS ARCHITECTS
 221084 | ARCHDIOCESE PASTORAL CENTER OFFICES |
 10.05.2023

8" MIN.
 REQUIREMENT FOR
 MOST ROOFING
 WARRANTIES
 ROOF CRICKETING
 FOR POSITIVE
 DRAINAGE (GREY)



NOT FOR CONSTRUCTION

Approved
 City of Portland
 Bureau of Development Services
 Planner *Jimmy Sayle*
 Date 10/23/2023
 * This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



LU 23-068457 HR C-20



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Carmen Rubio, Commissioner
Rebecca Esau, Director
Phone: (503) 823-7310
TTY: (503) 823-6868
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PC # 23-013495
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BUREAU OF DEVELOPMENT SERVICES STAFF: Tanya Paglia 503-865-6518 /
Tanya.Paglia@portlandoregon.gov

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503-806-5147, mroberts@lrsarchitects.com

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Tax Account No.: R180215070
State ID No.: 1N1E33DB 05400
Quarter Section: 3028

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contact@northwestdistrictassociation.org

Business District: Northwest, contact at nobhillportland@gmail.com, Pearl District
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District Coalition: Neighbors West/Northwest, contact Darlene Urban Garrett at darlene@nwnw.org

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Other Designations: Contributing Resource in the Alphabet Historic District, listed in the National Register of Historic Places on November 16, 2000

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Historic resource review is required because the proposal is for non-exempt exterior alterations on a resource in the Alphabet Historic District.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The relevant approval criteria are:

- Community Design Guidelines
- Alphabet Historic District Community Design Guidelines Addendum

ANALYSIS

Site and Vicinity: The site is located on a full block bounded by NW 17th Ave, NW 18th Ave, NW Couch St, and Davis St within the Alphabet Historic District and within the Northwest Plan District. The St. Mary's Cathedral property is a contributing resource in the Alphabet Historic District and is listed on the City of Portland's Historic Resource Inventory (HRI). It was historically known as the *Cathedral of the Immaculate Conception* located in the Northwest Plan District.

This historic Northwest Portland property contains three structures of historic significance constructed early in the 20th century. The first building on the site was the Archbishop's Residence and Parish Center building, built in 1914 as the Parish House and School building. It was designed by Whitehouse & Fouilhoux, Jacobberger & Smith. Both the Rectory building, and the main Cathedral building were constructed in 1925, and were designed by Jacobberger & Smith. The three structures wrap the block forming a cloister with a private landscaped

courtyard filling the center between them. The existing connecting structure to be demolished was built circa 1965.

All three structures were designed in an Italian Renaissance style with unreinforced brick masonry, cast stone elements and tracery, wood windows, and hipped gable clay tile roofs. A classic arcade connects and wraps around the courtyard connecting the structures together. Since the Parish House & School Building was constructed in 1914 the property has been owned and maintained by the Catholic Church. The team of architects, Josef Jacobberger & Alfred H. Smith, are considered to be one of the notable architects in Portland from the time and designed many structures of historic significance that remain to this day in Portland.

The Rectory (north building) is very much the same building it has been since it was constructed in 1925. The building still contains administrative offices for the Cathedral and a permanent residence for the Cathedral's Monsignor. Generally speaking, this building's top floor has been well preserved with plaster walls, ceilings, fireplaces and other elements installed about 100 years ago.

The Parish House & School Building (south building) has had many more alterations than the Rectory. The structure originally contained classrooms, an assembly hall, and a third-floor gymnasium with lofty ceiling height under existing roof trusses. A prominent feature of the original design was a loggia-covered recessed playground with two stairs that faced the interior courtyard. In 1965 the building was entirely repurposed into the Convent & Parish Center, by Franks & Norman Architects. At this time the arcade was expanded and enclosed the interior courtyard. The Convent contained eight bedrooms, servant rooms, classrooms, a library, community spaces, and a chapel. Around the time of this renovation, a physical upper-level connection build-out was made between the two buildings. Impacts to the building's exterior walls and eaves are still in place today. Due to the occupancy of the Church's new convent the southern half of the structure was separated by a large three-story area separation wall. This change created two new interior exit stairways with new doorways added to the courtyard wall.

In 1987 The Convent & Parish Center was remodeled by Di Benedetto / Thomson Architects to be used as the Archbishop's Residence. During this renovation, lower level spaces facing NW 17th Ave were converted into a garage and a section of the upper floor was dedicated to the Archbishops residence and use. This renovation mainly affected the southern half of the of the Parish house building.

The cathedral features a red tiled gable roof, cast-stone Corinthian columns, and a square tower with copper cornices. The marble floor in the apse was laid in 1926. The new marble on the floor is the remainder of the cathedral is a pattern of several Italian marbles. The doors are white oak in cast bronze on the exterior. Letters on the granite sign are Roman majuscules from the Trajan inscription in Rome. The coat of arms on the sign is of the Archdiocese of Portland in Oregon. The three bells of the tower were cast in the late 1880s and originally installed in the former cathedral at Third and Stark Streets. They were manually pealed until 2017, when the bells and yokes were refurbished and fitted with linear ringing motors. They sound at the pitches of D¹, F¹, and Ab¹.

The site is located within the Northwest Pedestrian District. The City's Transportation System Plan (TSP) classifies the site as "close to transit" and classifies the abutting rights-of-way (ROWs) as follows:

- NW Davis St: Local service bicycle, pedestrian, transit, traffic, and design street.
- NW Couch St: City Bikeway, Neighborhood Walkway, local service transit, traffic, and design street.
- NW 17th Ave: Local service bicycle, pedestrian, transit, traffic, and design street.
- NW 18th Ave: Major City Bikeway, City Walkway, transit access, local service traffic, and design street.

The Alphabet Historic District, recognized by listing in the National Register of Historic Places in 2000, encompasses an entire neighborhood. It is significant for associations with both individuals and historic trends, and also for its architectural expressions. The district includes

a broad mix of building types, ranging from single-family residences to quarter-block apartment buildings to one- and two-story commercial structures to substantial religious institutions. The period of significance is also quite broad, 1880 to 1940, meaning that a significant range of stylistic approaches, from Italianate to Art Deco, is represented. Overall district cohesiveness is supported by a regular pattern of tree-lined streets and a consistent mid-range scale of buildings punctuated by an occasional larger structure. The neighborhood plan for the area is the “Northwest District Plan.”

Zoning: The RM4 zone is a high density, urban-scale multi-dwelling zone applied near the Central City, and in town centers, station areas, and along civic corridors that are served by frequent transit and are close to commercial services. It is intended to be an intensely urban zone with a high percentage of building coverage and a strong building orientation to the pedestrian environment of streets, with buildings located close to sidewalks with little or no front setback. This is a mid-rise to high-rise zone with buildings of up to seven or more stories. The Design overlay zone is applied to this zone.

The historic resource overlay zone protects historic resources that have been identified as significant to the history of the city and region. The regulations implement Portland's Comprehensive Plan policies that address historic preservation. These policies recognize the role historic resources have in promoting education and enjoyment for those living in and visiting the region. The regulations foster awareness, memory, and pride among the region's current and future residents in their city and its diverse architecture, culture, and history. Historic preservation recognizes social and cultural history, retains significant architecture, promotes economic and environmental health, and stewards important resources for the use, education, and enjoyment of future generations.

The Design overlay zone ensures that Portland is both a city designed for people and a city in harmony with nature. The Design overlay zone supports the city's evolution within current and emerging centers of civic life. The overlay promotes design excellence in the built environment through the application of additional design standards and design guidelines that:

- Build on context by enhancing the distinctive physical, natural, historic and cultural qualities of the location while accommodating growth and change;
- Contribute to a public realm that encourages social interaction and fosters inclusivity in people's daily experience; and
- Promotes quality and long-term resilience in the face of changing demographics, climate and economy.

The Northwest Plan District implements the Northwest District Plan, providing for an urban level of mixed-use development including commercial, office, housing, and employment. Objectives of the plan district include strengthening the area's role as a commercial and residential center. The regulations of this chapter: promote housing and mixed-use development; address the area's parking scarcity while discouraging auto-oriented developments; enhance the pedestrian experience; encourage a mixed-use environment, with transit supportive levels of development and a concentration of commercial uses, along main streets and the streetcar alignment; and minimize conflicts between the mixed-uses of the plan district and the industrial uses of the adjacent Guild's Lake Industrial Sanctuary.

Land Use History: City records indicate that prior land use reviews include:

- LU 21-090868 HR – Historic Resource Review approval to replace two columns on the south elevation of the belfry at the top of the St Mary Catholic Cathedral Church bell tower.
- LU 17-112471 CU – Withdrawn proposal for new 6-story multi-dwelling building on north lot.
- LU 17-112462 HR – Withdrawn proposal for new 6-story multi-dwelling building on north lot.
- LU 02-151409 CU – Conditional Use approval for expansion of St. Mary's Cathedral and an increase to the number of parking spaces on north lot.

- LU 00-007364 CU AD – Conditional Use approval for cathedral expansion with Adjustments to landscaping and setbacks on east lot.
- LU 65-001485 CU (ref. file CU 032-65) – Conditional Use for convent and Parish Center for St. Mary's Cathedral.
- LU 61-003662 CU (ref. file CU 107-61) – Conditional Use approval for a parochial school and secondary religious building.

Agency Review: A “Notice of Proposal in Your Neighborhood” was mailed on **September 26, 2023**.

The following six Bureaus, Divisions and/or Sections responded with no objections and four of these included comments found in Exhibits E-1 to E-4:

- Life Safety Division of the Bureau of Development Services (Exhibit E-1)
- Bureau of Transportation Engineering and Development Review (Exhibit E-2)
- Fire Bureau (Exhibit E-3)
- Site Development Review Section of Bureau of Development Services (Exhibit E-4)
- Water Bureau
- Bureau of Environmental Services

The Bureau of Environmental Services responded with the following comment:

From the submitted site plans, it appears that the proposed project will add or redevelop less than 500 square feet of impervious area. Therefore, the stormwater management requirements of the SWMM are not triggered. Because the proposed redevelopment is less than 500 square feet, stormwater from the addition can be directed into the existing storm system if it has available capacity and is in adequate condition. BES does not object to approval of the Historic Resource review application.

The following Bureaus responded with an objection and included comments found in Exhibit E-5:

- Urban Forestry responded with concerns about a potential street tree removal (Exhibit E-5)

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on **September 26, 2023**. No written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

Procedural History:

Historic Resource Review Hearing #1

The Historic Resource Review application was submitted on July 28, 2023, was deemed incomplete on August 18, 2023, and deemed complete on September 11, 2023. The first and only hearing for this case with the Landmarks Commission took place on Monday, October 23, 2023, within 51 days of completeness.

The Staff Report recommended approval with the following condition of approval labeled as “C” (in addition to the 3 standard conditions of approval, labeled “A”, “B”, and “D”):

- C. The approved design shall be the alternate design that features a taller curtain wall on the tower structure per drawings C-12, C-20, and C-23.

Following a discussion with the applicants about the proposed condition at the hearing, the Commission accepted the Staff Report’s recommendation of approval with the recommended condition of approval noted above.

ZONING CODE APPROVAL CRITERIA

Chapter 33.846.060 - Historic Resource Review

Purpose of Historic Resource Review

Historic Resource Review ensures the conservation and enhancement of the special characteristics of historic resources.

Historic Resource Review Approval Criteria

Requests for Historic Resource Review will be approved if the review body finds the applicant has shown that all of the approval criteria have been met.

Findings: The site is located within the Alphabet Historic District and the proposal is for a non-exempt treatment. Therefore Historic Resource Review approval is required. The approval criteria are the *Community Design Guidelines* and the *Historic Alphabet District Community Design Guidelines Addendum*.

Staff has considered all guidelines and addressed only those applicable to this proposal.

Historic Alphabet District - Community Design Guidelines Addendum

- 1. Historic Changes.** Most properties change over time; those changes that have acquired historic significance will be preserved.
- 2. Differentiate New from Old.** New additions, exterior alterations, or related new construction will retain historic materials that characterize a property to the extent practicable. Replacement materials should be reasonable facsimiles of the historic materials they replace. The design of new construction will be compatible with the historic qualities of the district as identified in the Historic Context Statement.
- 3. Hierarchy of Compatibility.** Exterior alterations and additions will be designed to be compatible primarily with the original resource, secondarily with adjacent properties, and finally, if located within a historic or conservation district, with the rest of the District. Where practical, compatibility will be pursued on all three levels. New development will seek to incorporate design themes characteristic of similar buildings in the Historic Alphabet District.

Community Design Guidelines

- P1. Plan Area Character.** Enhance the sense of place and identity by incorporating site and building design features that respond to the area's desired characteristics and traditions.
- P2. Historic and Conservation Districts.** Enhance the identity of historic and conservation districts by incorporating site and building design features that reinforce the area's historic significance. Near historic and conservation districts, use such features to reinforce and complement the historic areas.
- E3. The Sidewalk Level of Buildings.** Create a sense of enclosure and visual interest to buildings along sidewalks and pedestrian areas by incorporating small scale building features, creating effective gathering places, and differentiating street level facades.
- D2. Main Entrances.** Make the main entrances to houses and buildings prominent, interesting, pedestrian-accessible, and transit-oriented.
- D4. Parking Areas and Garages.** Integrate parking in a manner that is attractive and complementary to the site and its surroundings. Locate parking in a manner that minimizes negative impacts on the community and its pedestrians. Design parking garage exteriors to visually respect and integrate with adjacent buildings and environment.
- D5. Crime Prevention.** Use site design and building orientation to reduce the likelihood of crime through the design and placement of windows, entries, active ground level uses, and outdoor areas.
- D6. Architectural Integrity.** Respect the original character of buildings when making modifications that affect the exterior. Make additions compatible in scale, color, details, material proportion, and character with the existing building.

D7. Blending into the Neighborhood. Reduce the impact of new development on established neighborhoods by incorporating elements of nearby, quality buildings such as building details, massing, proportions, and materials.

D8. Interest, Quality, and Composition. All parts of a building should be interesting to view, of long lasting quality, and designed to form a cohesive composition.

Findings for HADCDGA 1, 2, 3; CDGs P1, P2, E3, D2, D4, D5, D6, D7, D8: The proposed project will bring a significant improvement in building functionality without significantly impacting the site's historic character. The subject property, whose historic name is the *Cathedral of the Immaculate Conception*, is a contributing resource in the Alphabetic Historic District. The proposed alterations will maintain the historic character and architectural integrity of the contributing site and will complement the historic district while allowing for the renovation and re-connection of two circa 100-year-old structures. The Rectory (north building) and the Parish House and School Building (south building) will be updated to be seismically resilient and to meet the modern needs of the occupants. Given the compatibility and limited scope of the exterior alterations proposed, the historic character of the property, surrounding area, and historic district will be retained and preserved.

While the interiors of the north and south buildings will be almost entirely gutted, the exterior alterations are fairly minor and are harmonious with the existing buildings. Each building will maintain its individual character, mass, form, and roof. Only non-original infill elements on the exterior of the structures will be removed. None of these non-original exterior features to be removed such as the roll-up garage doors, west side doors, or the existing connector, built circa 1965, have gained historic significance.

The project utilizes high-quality, durable materials that respond to the context of the surrounding area and will hold up over time, conveying permanence. The proposed alterations are compatible in quality, scale, details, and character with the existing building.

The project greatly improves the pedestrian experience by creating a more active frontage along NW 17th Ave. Multiple elements of the project enhance the pedestrian realm. These include replacing two garage doors with windows, the creation of a more prominent main entrance, and replacing the opaque connector with a glazed structure that will contain an active stairway area adding eyes on the street and view opportunities between the building and the sidewalk.

The new windows on the east elevation to replace garage doors will match the size and proportion of the ground floor windows along NW 17th Ave. These, however, will be paired windows which are not identical to original windows to provide more light to the lower-level office space. When the garage doors were brought into the building in 1987 the structure was modified at these openings and steel posts and beams were installed with new concrete foundations. Removal of this steel structure to bring back the original rhythm and pattern along NW 17th Ave was not practical. However, the change from garage doors to windows is a huge improvement to the public realm, nonetheless. All new windows at the courtyard (west) side will align with existing window planes.

While the existing connecting structure between the north and south buildings will be demolished, the historic character of the site will not be diminished. The existing connecting structure has not acquired meaningful significance and is utilitarian in character. Its east front is a hodgepodge of stairs, utility lines, windows, steel posts, and infill walls while its back side is a brick veneer wall whose mortar coursing doesn't align.

The two historic structures will be rejoined with a new connector as part of an interior reconfiguration that will include a new entry lobby, stairway, and elevator, greatly improving the functionality of the buildings. In the process of remodeling the double doors and stairway at NW 17th Ave to become the new main entry, the design team reviewed various options for reconfiguring and moving the stairs to enhance the entry

sequence for building staff and visitors. By moving the main building stairs into the new connecting structure, a true lobby and three-story vertical volume will be created. Vertical exterior glazing at the new connecting structure will highlight and showcase the stairs. The existing brick masonry of the north building will be exposed within the lobby and stairway allowing the exposed brick to become an interior finish element which will also be visible from the public realm.

The new main entrance and lobby will provide accessible entry and accessible routes to all floors of the existing structures. The new elevator will facilitate accessibility throughout all levels of the building with four stops in the three-story structure. The new elevator was located south of the entry door to keep the elevator overrun and hoistway inside the building's existing attic space with no exterior impact.

The two buildings have different eave heights and floor levels which presented challenges to creating a successful connector that worked aesthetically and seismically. The proposed connecting structure overcomes those challenges and forms a cohesive composition with the historic structures while also not calling a great deal of attention to itself. The new connector is not taller than the existing buildings and is set back approximately 9 feet from their main façade building line, which is equivalent to its width. This helps it to remain secondary to the original buildings. The form of the connecting structure is rectangular with a flat rooftop. A new skylight on its roof is set back to differentiate it and to create a shadow line along with a sloped hipped form which is compatible with the clay tile roofs of the historic structures.

The connector will be constructed primarily of steel plate, aluminum trim, and a glass curtain wall system. The flush glazing system will provide a distinct contrast between old and new. The field that surrounds the glazing will be color-matched steel plate cladding which provides a contrast with the historic masonry texture and material of the existing historic structures. The metal color is compatible having been derived from the darkest umber brick found in the existing masonry blend on the two buildings.

A major component of this project is seismically strengthening the existing structures. Towards this end, the design includes a 4" seismic joint between the north and south building which is located at the interface of the new connecting structure and the north building. The joint becomes visible at the exterior with an aluminum cover plate which is integrated into the adjacent metal plate cladding and aluminum curtainwall system.

The third-floor levels of the north and south buildings do not align, nor do their eaves. The design team reviewed options for locating the roof of the new connecting structure vertically between the south building eave and north building eaves to minimize its height and presence. The applicants have stated that after study it was determined that a height sitting under the existing south building eave could not be achieved while also providing a building-code-compliant ceiling height for the third floor and also maintaining a watertight design. Per the applicants, the height of the connecting structure is based on the minimum height required to provide a consistent interior ceiling plane, roofing crickets, and flashing to provide positive drainage at the affected roof area, and a tall enough coping and counterflashing to obtain a roofing warranty.

While the new tower impacts the existing eaves, the eaves will only be clipped back a small amount on the south building where the new connecting structure conflicts with the eaves. The north building currently has a notch in the eaves, or area void of overhang, along the south side. This roof configuration was original to the structure and can be seen in drawings dated 1925 by Jacobberger and Smith Architects. The project follows this pattern, notching the eaves of the south building to allow the connecting structure to pass vertically through the existing eave area and create waterproof conditions.

The modern curtainwall tower design is effective at differentiating the two historic brick buildings which were built at different times and were not designed to run together and read as a single building. The connector is also set back significantly from the two

historic facades which contributes to their identity as two individual buildings. It will interconnect the buildings internally yet maintain the two-building historical aesthetic. Were the proposed connector a simple brick infill piece more akin to the existing design, it would create the perception of a single building. Instead, the proposed design respects the history of the two individual buildings and allows them to present as separate structures, while also unifying the interior space.

In reviewing this project, staff had concerns about the window-to-wall ratio of the tower's street-facing façade as proposed with the top of the tower being largely opaque. In response, the design team included an alternate design that carries the glazing higher on the tower's front façade. The tower design with the taller curtain wall glazing lightens the connector's expression and is preferable to the primary option which reads as heavier and is visually distracting. Thus a condition was added approving this alternate design and was thus accepted as better meeting the approval criteria by the Landmarks Commission.

With a Condition of Approval that the approved design shall be the alternate design that features a taller curtain wall on the tower structure per drawings C-12, C-20, and C-23, these guidelines are met.

CONCLUSIONS

The proposed alterations to buildings that are part of the St Mary's Cathedral property, a contributing resource in the Alphabet Historic District, including replacing a connecting structure between the Rectory building and the Archbishop's Residence/Parish Center building, will bring a significant improvement in building functionality without significantly impacting the site's historic character. The new connecting structure is of a quality and style that complements the character of the historic site, and it will retain the integrity of the existing buildings by being significantly set back from their main façade line. Generally, the proposed alterations are compatible with the existing character and design of the contributing site, as well as the historic district. The purpose of the Historic Resource Review process is to ensure that additions, new construction, and exterior alterations to historic resources do not compromise their ability to convey historic significance. This proposal meets the applicable Historic Resource Review criteria and therefore warrants approval.

LANDMARKS COMMISSION DECISION

It is the decision of the Landmarks Commission to approve Historic Design Review for a proposal to make exterior alterations to buildings that are part of the St Mary's Cathedral property, a contributing resource in the Alphabet Historic District historically known as the *Cathedral of the Immaculate Conception* located in the Northwest Plan District, including replacing a connecting structure between the Rectory building (north building) and the Archbishop's Residence and Parish Center building (south building).

Approvals per Exhibits C.1-C-26, signed, stamped, and dated 10/23/2023, subject to the following conditions:

- A.** As part of the building permit application submittal, the following development-related conditions (B – D) must be noted on each of the 4 required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled "ZONING COMPLIANCE PAGE- Case File LU 23-068457 HR. All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED."
- B.** At the time of building permit submittal, a signed Certificate of Compliance form (<https://www.portlandoregon.gov/bds/article/623658>) must be submitted to ensure the permit plans comply with the Design/Historic Resource Review decision and approved exhibits.

C. The approved design shall be the alternate design that features a taller curtain wall on the tower structure per drawings C-12, C-20, and C-23.

D. No field changes allowed.

=====

By: 
Andrew Smith, Historic Landmarks Commission Chair

Application Filed: 7/28/2023
Decision Filed: 10/24/2023

Decision Rendered: 10/23/2023
Decision Mailed: 11/9/2023

This land use decision is **not a permit** for development. Permits may be required prior to any work.

Procedural Information. The application for this land use review was submitted on July 28, 2023, and was determined to be complete on September 11, 2023.

Zoning Code Section 33.700.080 states that land use review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore, this application was reviewed against the Zoning Code in effect on July 28, 2023.

ORS 227.178 states the City must issue a final decision on land use review applications within 120 days of the application being deemed complete. The 120-day review period may be extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period. **The 120 days expire on: 1/9/2024.**

Some of the information contained in this report was provided by the applicant.

As required by Zoning Code Section 33.800.060, the burden of proof is on the applicant to show that the approval criteria are met. This report is the final decision of the Landmarks Commission with input from other City and public agencies.

If you are interested in viewing the file, please contact the planner listed on the front of this notice. The planner can provide information over the phone or via email. Only digital copies of the material in the file are available for viewing.

Conditions of Approval. This approval may be subject to specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appeal of this decision. This decision is final unless appealed to City Council, who will hold a public hearing. **Appeals must be filed by 4:30 pm on 11/27/2023.** The appeal application form can be accessed at <https://www.portlandoregon.gov/bds/45477>. **The completed appeal application form must be e-mailed to LandUseIntake@portlandoregon.gov and to the**

planner listed on the first page of this decision. If you do not have access to e-mail, please telephone the planner listed on the front page of this notice about submitting the appeal application.

If you are interested in viewing information in the file, please contact the planner listed on the front of this decision. The planner can provide some information over the phone. Please note only digital copies of material in the file are available for viewing. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at <https://www.portlandoregon.gov/citycode/28197>.

If this decision is appealed, a hearing will be scheduled and you will be notified of the date and time of the hearing. The decision of City Council is the final local decision; any further appeal is to the Oregon Land Use Board of Appeals (LUBA).

Failure to raise an issue by the close of the record at or following the final Landmarks Commission hearing on this case, verbally or in writing, may preclude an appeal to City Council on that issue. Also, if you do not raise an issue with enough specificity to give City Council an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Who can appeal: You may appeal the decision only if you submit written comments which were received before the close of the record at the hearing or if you testified at the hearing, or if you are the property owner or applicant. Appeals must be filed within 14 days of the decision. The appeal application form can be accessed at https://www.portland.gov/sites/default/files/2020/lu_type3_appeal_form_073119.pdf. The completed appeal application form must be emailed to LandUseIntake@portlandoregon.gov and to the planner listed on the first page of this decision. If you do not have access to email, please telephone the planner listed on the front page of this notice about submitting the appeal application. **An appeal fee of \$5,789.00 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for Office of Community and Civic Life recognized organizations for the appeal of Type III decisions on property within the organization's boundaries. The vote to appeal must be in accordance with the organization's bylaws. Please contact the planner listed on the front page of this decision for assistance in filing the appeal and information on fee waivers. Please see the appeal form for additional information. Assistance in filing the appeal and information on fee waivers are available from the Bureau of Development Services website: <https://www.portlandoregon.gov/bds/article/411635>.

Recording the final decision.

If this land use review is approved the final decision will be recorded with the County Recorder. *Unless appealed*, the final decision will be recorded **on or after November 28, 2023**, by the Bureau of Development Services.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Applying for permits. A building permit, occupancy permit, or development permit must be obtained before carrying out this project. See <https://www.portland.gov/bds/permit-review-process/apply-or-pay-permits>. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed here.
- All applicable development standards, unless specifically exempted as part of this land use review.

- All requirements of the building code.
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).

EXHIBITS – NOT ATTACHED UNLESS INDICATED

A. Applicant's Submittal

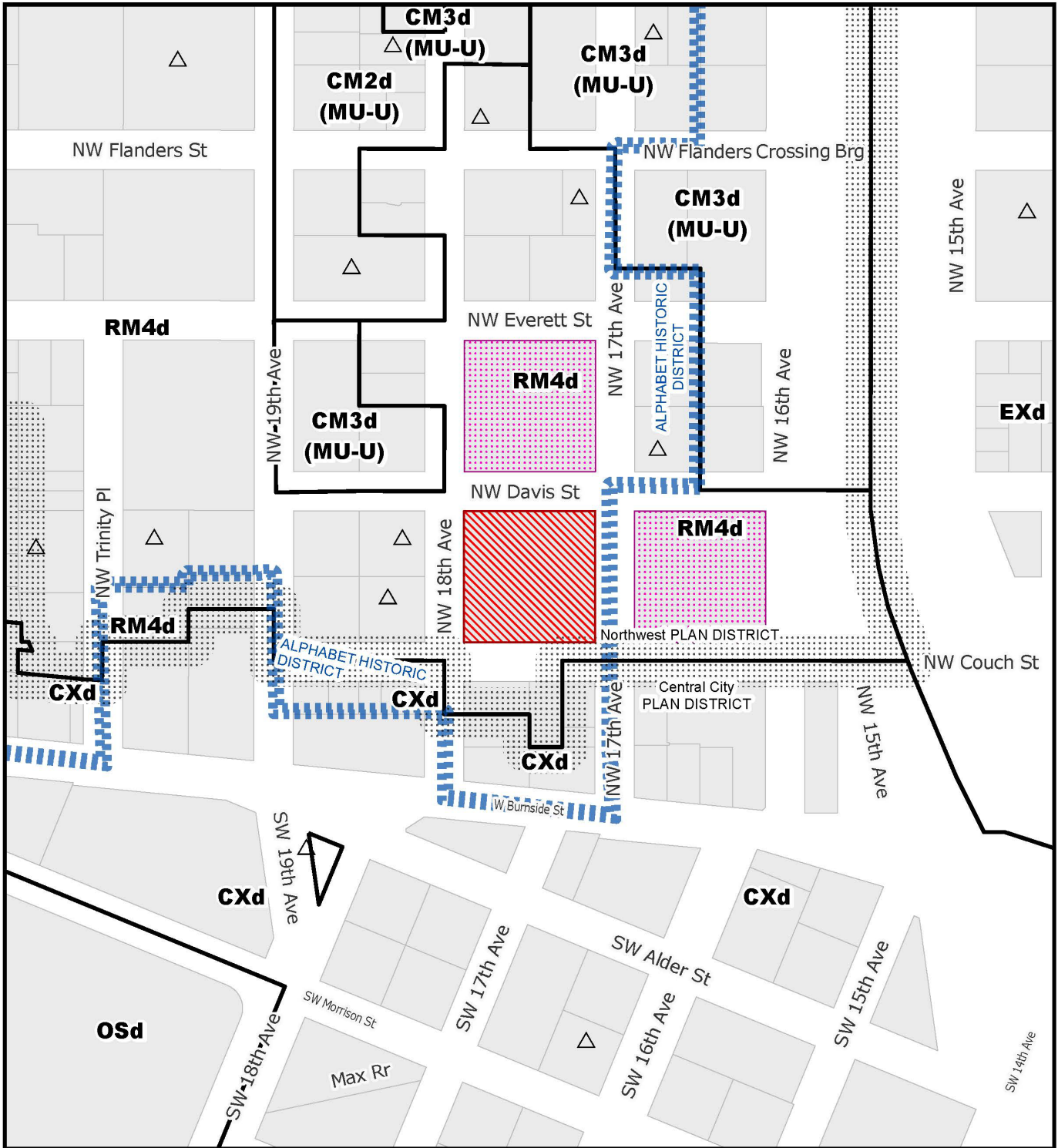
1. Applicant's original project narrative, response to approval criteria, zoning narrative, 7/26/2023
2. Original plan set – NOT APPROVED/reference only, 7/26/2023
3. Applicant's response to incomplete letter, 8/31/2023
4. Applicant's exhibits in response to incomplete letter – NOT APPROVED/reference only 8/31/2023
5. Applicant's second response to incomplete letter, 9/13/2023
6. Applicant's additional exhibits in response to incomplete letter – NOT APPROVED/reference only 9/13/2023
7. Revised plan set – NOT APPROVED/reference only, 9/21/2023
8. Drawing Set for Commission Hearing #1 – NOT APPROVED/reference only, 10/6/2023
9. Appendices
 - Plan set cover sheet
 - Site Context Photos (C3)
 - Site Context Photos (C3-1)
 - Historic Images (C5)
 - North Building South Elevation Clipped from Original Drawing Dated 1925
 - Renderings (C26, C27, C28)
 - Perspective Views with Alternate Taller Curtainwall Option (C28.1, C28.2, C28.3, C28.4)

B. Zoning Map (attached)

C. Plan & Drawings

1. Site Context Map
2. Property History Timeline
3. Two Building Diagram
4. Existing Site Plan
5. Proposed Site Plan (attached)
6. Proposed Ground Floor Plan
7. Proposed Second Floor Plan
8. Roof Plan
9. Enlarged Roof Plans
10. Existing East Elevation
11. Proposed East Elevation – Applicant's Preferred Curtainwall Option
12. Proposed East Elevation – Applicant's Alternate Taller Curtainwall Option (attached)
13. Existing North Elevation
14. Proposed North Elevation
15. Existing West Elevation
16. Proposed West Elevation (attached)
17. Existing South Elevation
18. Proposed South Elevation
19. Building Section – Rats Alley (Connector) – Applicant's Preferred Curtainwall Option
20. Building Section – Rats Alley (Connector) – Alternate Taller Curtainwall Option (attached)
21. South Building North Elevation – Demo






22. North Building South Elevation – Demo
 23. Enlarged Elevation/Section – Alternate Taller Curtainwall Option
 24. Enlarged Elevation/Section
 25. New Garage Door
 26. Enlarged Elevation/Section
- D. Notification information:
1. Request for response
 2. Posting letter sent to applicant
 3. Notice to be posted
 4. Applicant's statement certifying posting
 5. Mailed notice
 6. Mailing list
- E. Agency Responses:
1. Life Safety Division of the Bureau of Development Services
 2. Bureau of Transportation Engineering and Development Review
 3. Fire Bureau
 4. Site Development Review Section of Bureau of Development Services
 5. Urban Forestry
- F. Letters: None received
- G. Other
1. Original LUR Application
 2. Pre-Application Conference notes, EA 23-013495 PC, 3/14/2023
 3. Request for Completeness responses from BES and PBOT
 4. Incomplete letter, 8/18/2023
 5. Oregon Historic Site Record
 6. Historic Resource Inventory (HRI)
- H. Hearing
1. Staff Report
 2. Staff Memo
 3. Staff Presentation
 4. Testifier List



For Zoning Code in Effect Post October 1, 2022

ZONING

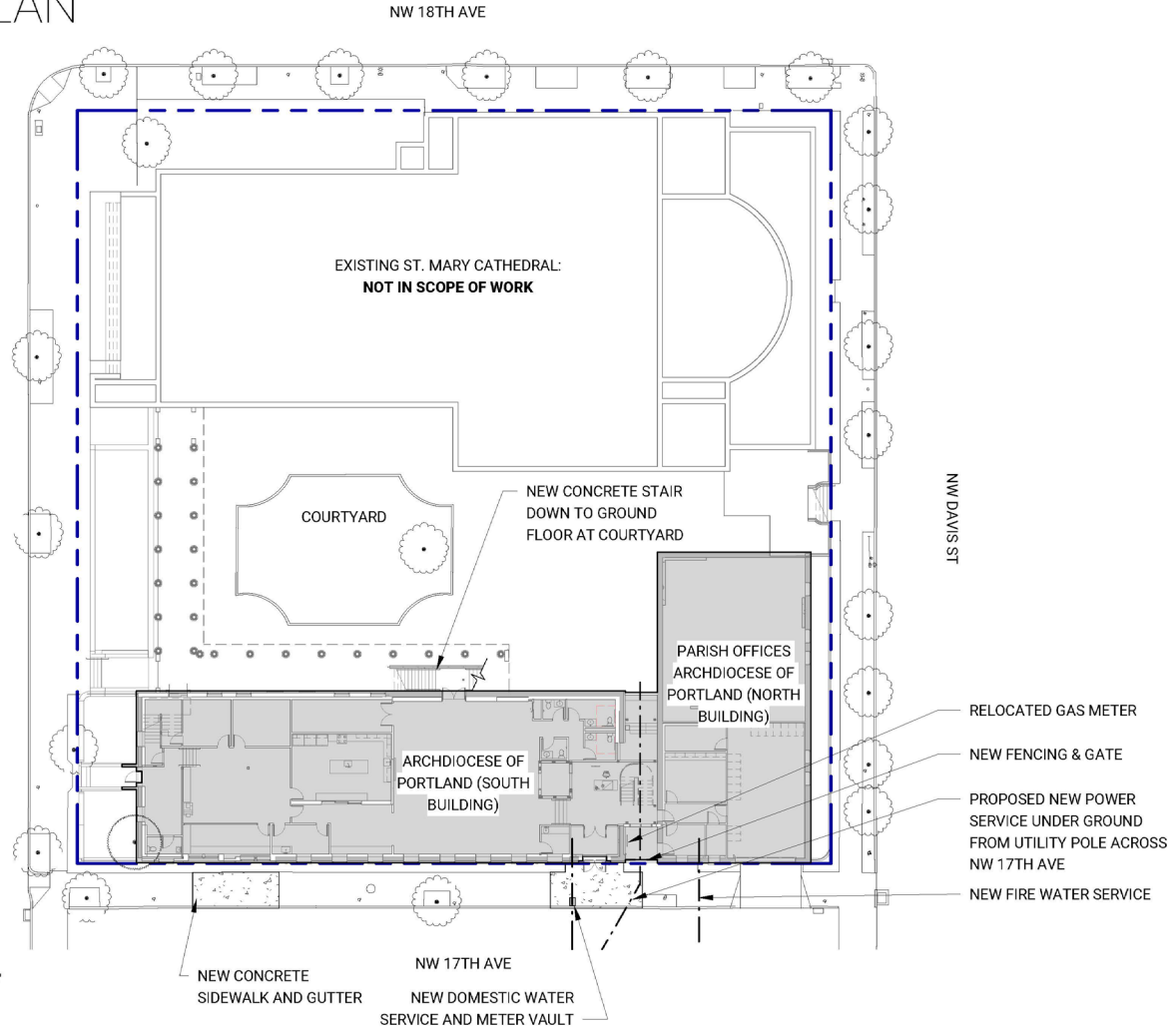
THIS SITE LIES WITHIN THE:
NORTHWEST PLAN DISTRICT
ALPHABET HISTORIC DISTRICT

-  Site
-  Also Owned Parcels
-  Plan District
-  Historic District
-  Historic Landmark

File No.	<u>LU 23 - 068457 HR</u>
1/4 Section	<u>3028</u>
Scale	<u>1 inch = 200 feet</u>
State ID	<u>1N1E33DB 5400</u>
Exhibit	<u>B Jul 26, 2023</u>

PROPOSED SITE PLAN

C8



Approved
 City of Portland
 Bureau of Development Services
 Planner: *[Signature]*
 Date: 10/23/2023
 *This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

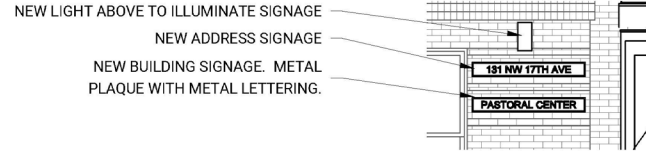
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 0 15' 30' 60'

NOT FOR CONSTRUCTION



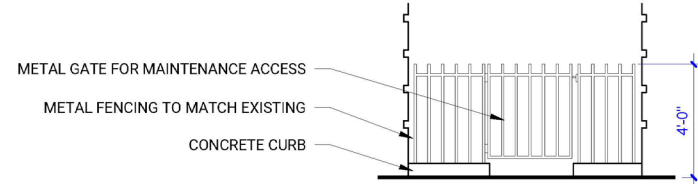
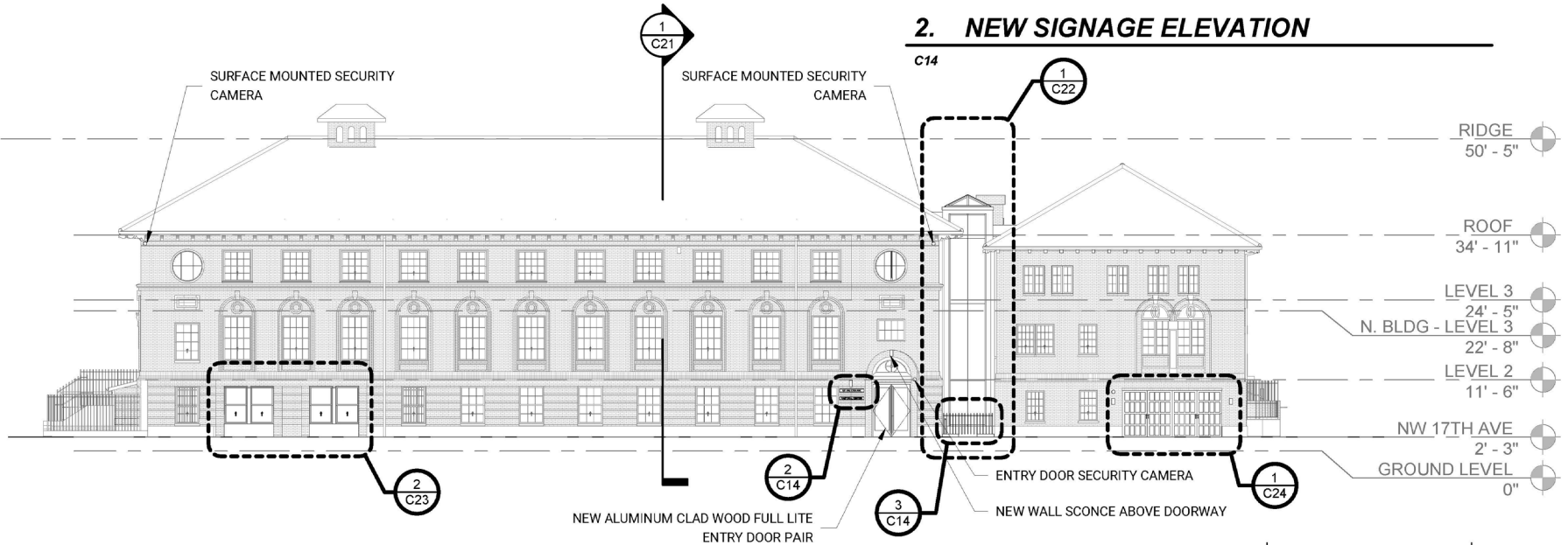
PROPOSED ELEVATION - EAST

C14 UPDATE WITH TALLER CURTAINWALL / GLASS AREA



2. NEW SIGNAGE ELEVATION

C14



3. FENCE & GATE ELEVATION

C14

Scale: As indicated 0 8' 16' 32'

LRS ARCHITECTS 221084 | ARCHDIOCESE PASTORAL CENTER OFFICES | 10.05.2023

NOT FOR CONSTRUCTION

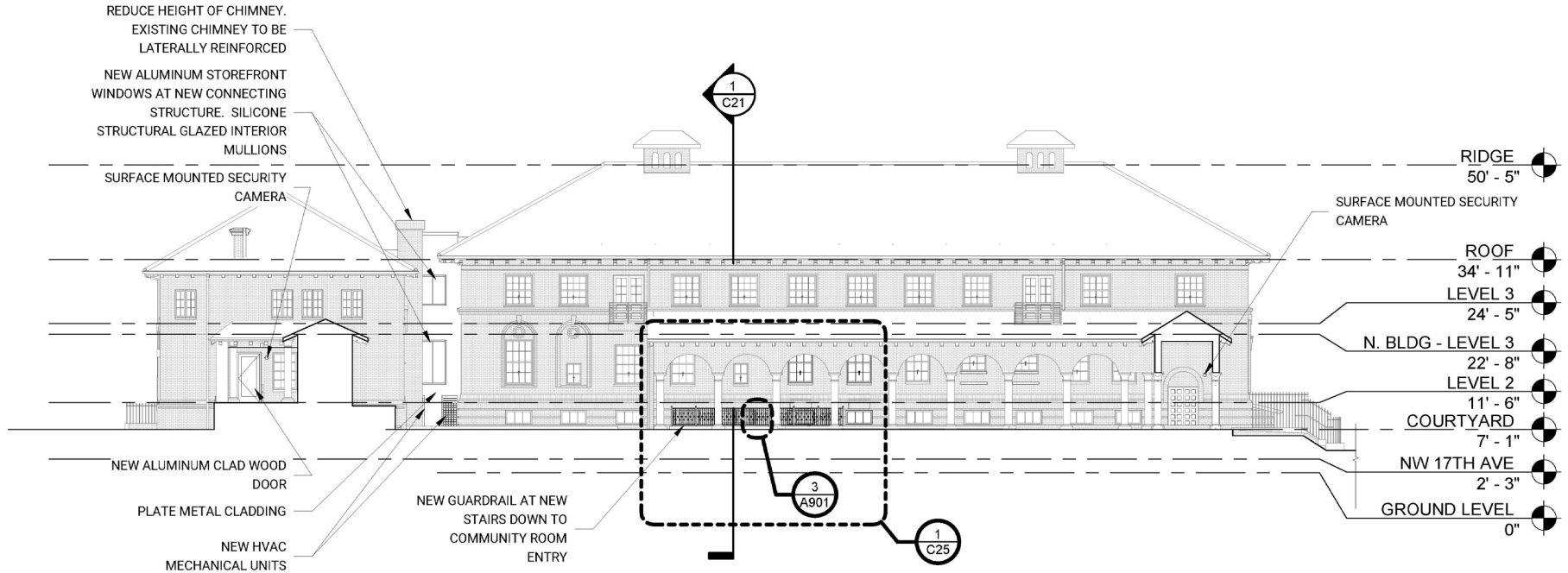
Approved
 City of Portland
 Bureau of Development Services
 Planner *[Signature]*
 Date 10/23/2023



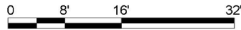
*This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply. LU-23-068457 HR C-12

PROPOSED ELEVATION - WEST

C18



Scale: 1/16" = 1'-0"



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 221084 | ARCHDIOCESE PASTORAL CENTER OFFICES |
 10.05.2023

NOT FOR CONSTRUCTION

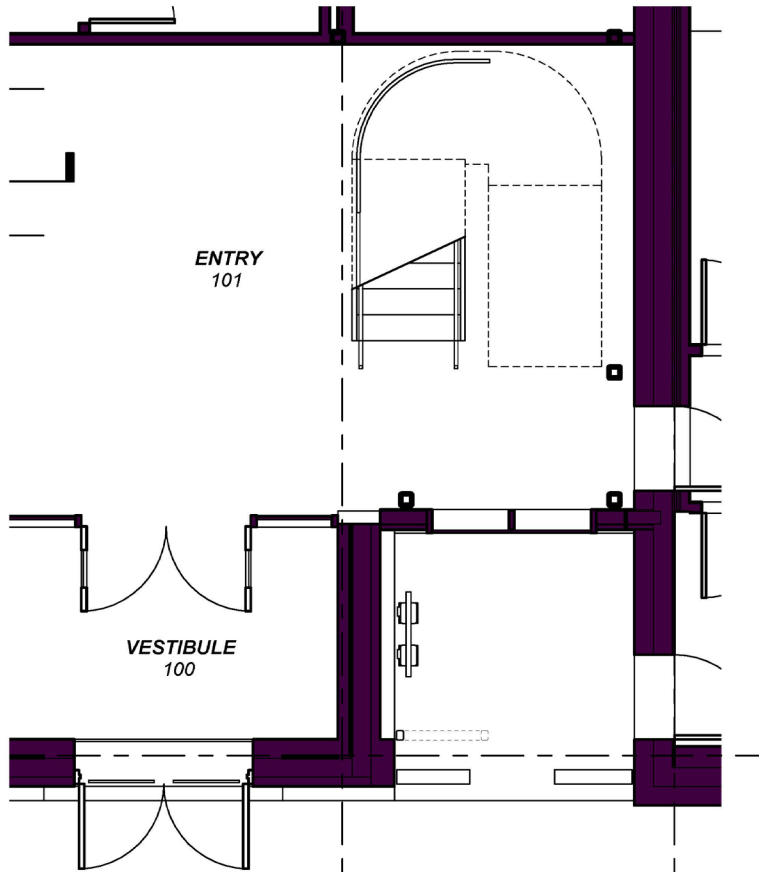
Approved
 City of Portland
 Bureau of Development Services
 Planner *Jenny Taylor*
 Date 10/23/2023
 *This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



LU 23-068457 HR C-16

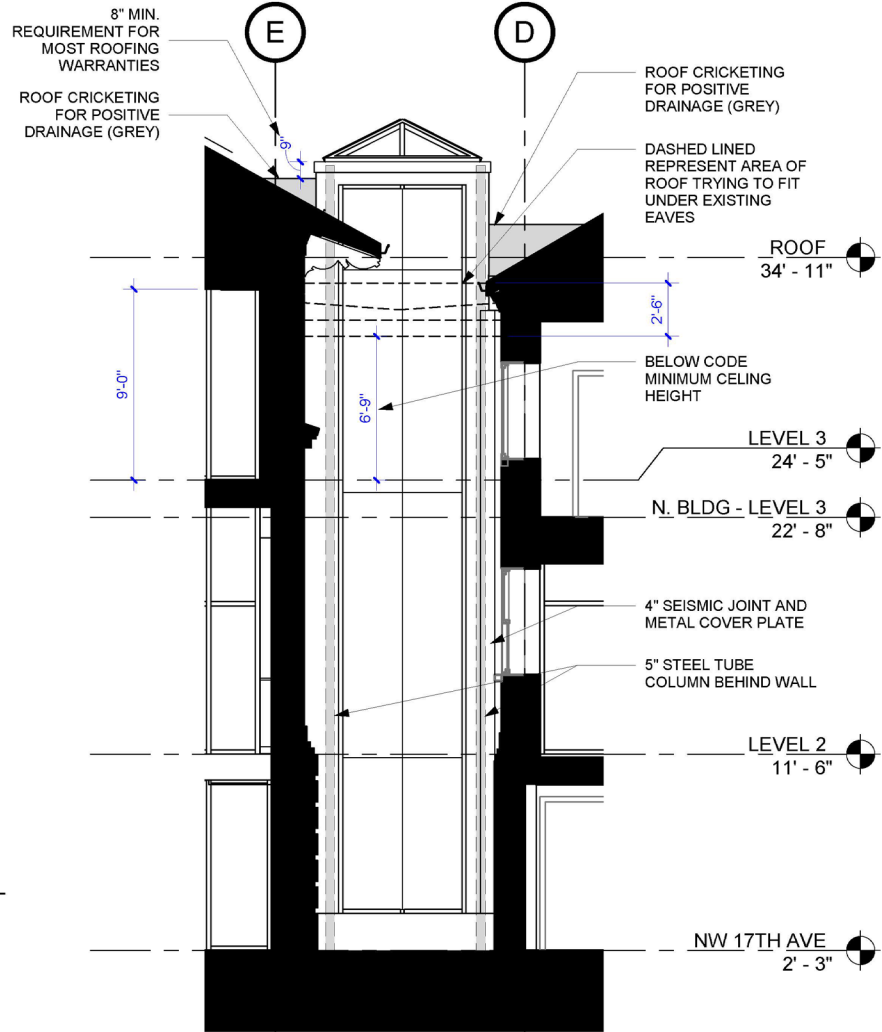
BUILDING SECTION - RATS ALLEY

C21. UPDATE WITH TALLER CURTAINWALL / GLASS AREA



Scale: 3/16" = 1'-0"

LRS ARCHITECTS
 221084 | ARCHDIOCESE PASTORAL CENTER OFFICES |
 10.05.2023



NOT FOR CONSTRUCTION

Approved
 City of Portland
 Bureau of Development Services
 Planner *Janey Layli*
 Date 10/23/2023
 *This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



LU 23-068457 HR C-20

HISTORIC RESOURCE REVIEW

Submittal for Procedure Type III

DATE

07.26.2023

LRS PROJECT

221084

Archdiocese Pastoral Center Renovation

St Mary's Cathedral of Immaculate Conception
1716 NW Davis St
Portland, Oregon 97209

FOR REVIEW BY

Bureau of Development Services, Land Use

City of Portland
1900 SW 4th Ave, Suite 5000
Portland, OR 97201

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1. General Information

OWNERS

St Mary Catholic Cathedral of Immaculate Conception of Portland Oregon
1716 NW Davis St, Portland, Oregon 97209
Contact: Jo Willhite, 503.233.8379

APPLICANT

LRS Architects Inc.
720 NW Davis Street Suite 300, Portland, OR 97209
Contact: Michael Roberts, Architect

PROJECT ADDRESS

St Mary Catholic Cathedral Pastoral Center
1716 NW Davis St, Portland, Oregon 97209

HISTORIC NAME

Cathedral of the Immaculate Conception

PROPERTY INFORMATION / ZONING

Block/Lot: Couch's Add, Block 167, Lot 1-8
Property ID: R140859
Quarter Section: 3028
Year Built: 1914 & 1925
Base Zone: RM4 Residential Multi-Dwelling 4 with "d" overlay

NOTE: Buildings & site under **Conditional Use** status.

Resource Type: Significant Resource of the Alphabet Historic District
District Classification: Contributing
Plan District: Northwest Plan District
Zoning Map: 2929

2. Vicinity Map



Image: Site Location, NW Portland Aerial View, North Δ

3. LUR Directive

The intent of this LUR application is to request Historic Resource Review approval for the renovation and re-connection of two existing structures on the St. Mary's Cathedral Property.

Locally and Historically known is the *Cathedral of the Immaculate Conception*.

REVIEW TYPE AND PROCEDURE

Historic Resource Review - Type III Procedure

DEVELOPMENT STANDARDS & CRITERIA

1. Historic Resource Review: 33.846.060.G (1-10)
2. Northwest Plan District: 33.562
3. Northwest Alphabet District Community Design Guidelines Addendum & Community Design Guidelines
4. Design Overlay Zone / Alphabet Historic District: 33.420
5. Parking & Loading: 33.266
6. Nonconforming Upgrades: 33.258
7. Landscaping & Screening: 33.248
8. Multi-Dwelling Zone: 33.120
9. Title 32 Sign Code

10. Title 11 Tree Code

4. Existing Building & Site

This historic Northwest Portland property contains three structures of historic significance constructed early in the 20th century. By order of Construction, The Parish House & School Building 1914 by Whitehouse & Fouilhoux, Jacobberger & Smith, The Cathedral of Immaculate Conception 1925 Jacobberger & Smith, and Cathedral Rectory 1925 also design by Jacobberger & Smith. The three structures wrap the block with a private landscaped courtyard filling the center between them.

All three structures were designed in an Italian Renaissance style with unreinforced brick masonry, cast stone elements and tracery, wood windows and hipped gable clay tile roofs. A classic arcade connects and wraps around the courtyard connecting the structures together.

Since the Parish House & School Building was constructed in 1914 – the property has been owned and maintained by the Catholic Church.

The team of Architects, Josef Jacobberger & Alfred H. Smith, are noted as one of the notable Architects in Portland at the time and designed many structures of historic significance which remain to this day in Portland.

Two of the three structures are part of the scope of work of this project.

The **Rectory** is very much the same building it has been since it was constructed in 1925. The building still contains administrative offices for the Cathedral and a permanent residence for Cathedral's Monsignor. Generally speaking, this building's top floor has been well preserved with plaster walls, ceilings, fireplaces and other elements installed about 100 years ago.

The **Parish House & School Building** has had many more alterations than the Rectory. The structure originally contained classrooms, an assembly hall, and a third floor gymnasium with lofty ceiling height under existing roof trusses. A prominent feature of the original design was a loggia covered recessed playground with two stairs that faced the interior courtyard. In 1965 the building was entirely repurposed into the Convent & Parish Center, by Franks & Norman Architects. At this time the arcade was expanded and enclosed the interior courtyard. The Convent contained eight bedrooms, servant rooms, classrooms, library, community spaces and chapel. Around the time of this renovation a physical upper level connection build-out was made between the two buildings. Impacts to the building's exterior walls and eaves are still in place today.

Due to the occupancy of the Church's new convent the southern half of the structure which was separated by a large three story area separation wall. This change created two new interior exit stairways with new doorways added to the courtyard wall.

In 1987 The Convent & Parish Center was remodeled by Di Benedetto / Thomson Architects to be used as the Archbishop's Residence. During this renovation a lower level spaces facing NW 17th Ave were converted into a garage and a section of the upper floor was dedicated to the Archbishops residence and use. This renovation mainly affected the southern half of the of the Parish house building.

Since the last work was completed in 1987, The Church has looked at a few other renovation proposals, but nothing stuck. Now, the Archdiocese Administration of Portland Oregon which is currently located at 2838 E Burnside St is planning to relocate its Pastoral offices into the two buildings.

(For simplicity the buildings will be referred to as noted below)

The Rectory = The North Building

The Parish House & School Building = The South Building

5. Description and Summary of new exterior work

Renovation of two existing rectory structures located at St. Mary's Cathedral of the Immaculate Conception in Northwest Portland. The two structures will be almost entirely gutted, and all interior walls, finishes, fixtures, and improvements will be removed. A past occupancy separation wall at the south building will be removed along with associated stairways that egress to the courtyard which are no longer required.

The two structures will be rejoined with a new entry lobby, stairway and elevator. This connection is often referred to as the "knuckle" or the connector. The new lobby and entry located off Northwest 17th Avenue will provide accessible entry and accessible route to all floors of the existing structures. The buildings will contain office space for the Archdiocese of Portland, St. Mary's Cathedral administration offices, and a multipurpose community space at the ground floor. A new exterior stair on the building's west side will provide courtyard entry to the lower community space.

The north building which has historically housed clergy and guests will continue to have residential functions on it's third floor.

The two existing masonry structures will be renovated with the following exterior improvements noted below. To be clear this renovation work is primarily at the building's interior with some exterior improvements and alternations. There is No addition.

- New exterior entry door and frames.
- New carriage style garage door at East side of the North Building.
- New perimeter windows and brick infill at the garage opening at the South building. (SE location)
- Access stairway along West courtyard side of the South building
- New infill windows at the West courtyard side of the South building
- New mechanical units at recessed niche at West side of the South Building.
- Existing gas meter relocated into recess of South Building.
- New metal plate and glass window connector build-out recessed between the two buildings.
- New skylight.
- Existing chimney reinforcement / height reduction.
- Exterior lighting and security cameras
- New signage

6. Historic Resource Criteria - 33.846.060.G (1-10) *

* And Historic Alphabet Community Design Guidelines Addendum

1. Historic Character. *The historic character of the property will be retained and preserved. Removal of historic materials or alteration of features and spaces that contribute to the property's historic significance will be avoided.*

- The historic character of the property is retained and preserved in the limited exterior alterations proposed. The garage doors removed at the south side of the property are not original, and the replacement windows are of quality and style to complement the character of existing windows. The existing connecting structure between the North and South Buildings has no meaningful significance and is utilitarian in character. It's East front is a hodgepodge of stairs, utility lines, windows, steel posts, and infill walls while its back side is a brick veneer wall that's mortar coursing doesn't even align.

✓ The requirements of the criteria are met.

2. Record of its Time. *Changes that create a false sense of historic development, such as adding conjectural features or architectural elements from other buildings will be avoided;*

- Only non-original infill elements on the exterior of the structure will be removed. Both buildings will still maintain their individual character, mass form and roof during this renovation. The connector build-out will be designed as new and distinct from the two historic buildings that will continue to maintain a record of its time.
- ✓ The requirements of the criteria are met.

3. Historic Changes. *Most properties change over time. Those changes that have acquired historic significance will be preserved,*

- After document and historic research with the Archdiocese and the City of Portland records team none of the non-original features like the roll-up garage doors, west side doors or the existing connector build-out circa 1965 have gained historic significance.
- ✓ The requirements of the criteria are met.

4. Historic Features. *Generally, deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement, the new feature will match the old in design, color, texture, and other visual qualities and, where practical, in materials. Replacement of missing features must be substantiated by documentary, physical, or pictorial evidence;*

- The Archdiocese of Portland has owned and cared for these building for 100 years. At this time there are no replacements of original historic features identified in the scope of work. Existing windows, brick masonry will be cleaned and maintained as part of this project during construction.
- ✓ The requirements of the criteria are met.

5. Historic Materials. *Historic materials will be protected. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials will not be used;*

- Historic materials will be protected during the installation, and no physical or chemical treatments will be used that may damage historic materials.
- ✓ The requirements of the criteria are met.

6. Archaeological Resources. *Significant archaeological resources affected by a proposal will be protected and preserved to the extent practical. When such resources are disturbed, mitigation measures will be undertaken.*

- There's no previous knowledge of archaeological resources on this building's improvement site, if any are found during construction, they will be protected and preserved by the Archdiocese.
- ✓ The requirements of the criteria are met.

7. Differentiate New from Old. *New additions, exterior alterations, or related new construction will not destroy historic materials that characterize a property. New work will be differentiated from the old;*

- The new structure which connects the North and South buildings will be constructed primarily of steel plate, aluminum trim, and a glass curtain wall system. The flush glazing system will provide distinct contrast between old and new and is also set back significantly from the two historic facades. The field that surrounds the glazing will be color matched steel plate cladding which again helps differentiates the new work from the existing historic structures. Dark bronze aluminum window finishes will be utilized on the connecting structure to differential itself from the existing off-white windows and trim, blended red brick masonry and light grey cast stone on the existing structures. The connector is vertical in pattern and use. A new interior main stair that connects all floor levels sits within it. The stair rises and connects to the top floor and is then capped with a skylight to end it. The selection of glass and metal plate to face the connector was an intentional design choice. This smoother, modern use of materials is successful at this location by its ability to present a higher level of differentiation from the masonry building due to its size.
- ✓ The requirements of the criteria are met.

8. Architectural Compatibility. *New additions, exterior alterations, or related new construction will be compatible with the resource's massing, size, scale, and architectural features. When retrofitting buildings or sites to improve accessibility for persons with disabilities, design solutions will not compromise the architectural integrity of the historic resource.*

- The new structure which connects the North and South buildings is not taller than the existing buildings and is set back approximately 9 feet from their main façade building line, which is equivalent to its width. This was done intentionally based upon historical hierarchy, for it is secondary to the original buildings. The form of this structure is rectangular with a flat roof top. A new skylight on its roof is set back to differentiate it (and to create a shadow line) along with a sloped hipped

form which is compatible with the clay tile roofs of the historic structures.

- ✓ The requirements of the criteria are met.

9. Preserve the Form and Integrity of Historic Resources. *New additions and adjacent or related new construction will be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic resource and its environment would be unimpaired.*

- In this hypothetical statement, If the new connector structure was removed the North and South buildings would remain vastly intact and retain their existing historic integrity. Infill work would be solely limited to the connection location alone.

- ✓ The requirements of the criteria are met.

10. Hierarchy of Compatibility. *Exterior alterations and additions will be designed to be compatible primarily with the original resource, secondarily with adjacent properties, and finally, if located within a Historic or Conservation District, with the rest of the district. Where practical, compatibility will be pursued on all three levels.*

- The exterior improvements of new windows replacing existing garage doors are compatible with the existing double hung windows in material, pattern and scale.
 - The new connecting build-out is also compatible in vertical appearance of glazing and retaining the integrity of the existing buildings by being significantly set back from the main façade line.
- ✓ The requirements of the criteria are met.

Historic Alphabet District: Community Design Guidelines Addendum

Historic Alphabet District Guideline 1. Historic changes.
Refer to **6.3** above.

Historic Alphabet District Guideline 2. Differentiate new from old.
Refer to **6.7** above.

Historic Alphabet District Guideline 3. Hierarchy of compatibility.
Refer to **6.10** above.

7. Historic Resource Review - 33.846

Per section 33.846, the Historic Resource Review procedure type per Table 846-3 is a Type III, for an exterior alteration greater than \$547,400 for proposals within Historic Districts.

8. Northwest Plan District: 33.562

Maximum Height - 33.562.210

- Per Map 562-4 the maximum height is determined by base zone. See base zone CM4 Requirements (No. 13) elsewhere in this narrative.
- ✓ The guideline is satisfied.

Floor Area Ratio – 33.562.220

- The minimum floor area ratio is 1.5:1, see also base zone CM4 Requirements (No. 13) elsewhere in this narrative.
- ✓ The guideline is satisfied.

Parking – 33.562.280

- No more than 20,000 square feet of surface parking is allowed on a site. The adjacent parking North lot property is only 10,000 square feet in size which is below the maximum allowed parking lot square footage.
- ✓ The guideline is satisfied.

9. Design Overlay Zone

Where These Regulations Apply

- This chapter does not apply to sites located within the boundary of a Historic Landmark, Conservation landmark, Historic District, or conservation District per 33.420.025.
- ✓ The guideline is not applicable.

10. Historic Resource Protection Overlay Zone

Where These Regulations Apply

- This project site is a Significant Resource contributing to a Historic District (Alphabet Historic District). This project is required to comply with 33.445.200 per table 445-1 as well as 33.445.010-33.445.060 & .400 & .500.

Development in a Historic District 33.445.200.D.1

- Historic Resource Review is required per item a. Exterior Alterations
- ✓ The guideline is satisfied.

11. Parking & Loading

Minimum Required Parking Spaces

- Project site is located less than 1500 feet from a transit station or 500 feet from a transit street with 20-minute peak hour service. There is no minimum parking requirement.
- ✓ The guideline is satisfied.

Maximum Allowed Parking Spaces

- Per Table 266-2 Standard B.
1 stall per 294 sq. ft. of office space. $22,900 \text{ sf} / 294 \text{ sf} = 78$ maximum stalls.
1 stall per 67 sq. ft. of religious institutions main assembly area. $8,000 \text{ sf} / 67 \text{ sf} = 119$ stalls
197 maximum stalls allowed
- ✓ The guideline is satisfied.

Maximum Required Bicycle Parking

- Long Term bike parking required: 15
1 bike stall per 1,800 sf of office: $(22,900 \text{ sf} / 1,800 \text{ sf}) = 13$
2 bike stalls per group living: 2
- ✓ The guideline is satisfied.
- Short Term bike parking required: 4
2 bike stall per office
2 bike stalls per group living
- ✓ The guideline is satisfied.

Loading

- One loading space meeting Standard A is required for buildings with at least 20,000 and up to 50,000 square feet of net building area in uses other than household living.
One standard A Loading space is required .
- ✓ The guideline is satisfied.

12. Nonconforming Situations -33.258

Development that must be brought into conformance.

- A. Landscaping and trees required for the following areas:
Exterior Display, storage, and activity area
Setbacks for surface parking and exterior development areas.
Interior Parking lot landscaping
Existing building setbacks
Minimum landscaped areas

On-site tree density

- B. Pedestrian circulation systems
- C. Bicycle parking
- D. Screening
- E. Paving of surface parking and exterior storage and display areas

On this particular parcel (Property ID R140859) there are no items listed above that need to be improved.

NOTE: Nonconforming development related to the site under this Ownership will be improved and brought into conformance on design documents and submitted with future permit submission documents.

13. Base Zone – RM4 Residential Multi-dwelling

Note: Similar to most residential base zones this church and school property has conditional use status : **Refer file CU 107-61**

Maximum FAR

- Site Maximum FAR is 4:1 or 3:1.
- ✓ Current FAR is roughly 1:1 - This requirement is met.

Base Height

- 75 ft Max
- ✓ This requirement is met.

Minimum Density

- 1 unit per 1,000 sf
- This requirement is Not met.

Minimum Setback

- Front 5ft. Side and rear 5/10ft. Garage 5/18ft.
- These requirements are Not met.

Maximum Setback

- 10ft
- ✓ This requirement is met.

Maximum Building Coverage

- 85% of site area
- ✓ Actual coverage is 67% - This requirement is met.

Minimum Landscape Area

- 15% of site area
- ✓ Actual coverage is 16% - This requirement is met.

Screening

- Mechanical equipment and garbage and recycling collection areas must be screened from the street and any abutting residential zones.
- ✓ No trash areas or mechanical equipment will be visible from the street or abutting properties - This requirement is met.

Pedestrian Standards

- Main entrance must have a connection to the street
- ✓ This requirement is met.
- Given there is more than one street frontage, additional pedestrian entry points are required.
- ✓ There are secondary entry points on secondary frontages. This requirement is met.

14. Tree Code

On-site Tree Density Standard

- Commercial / Office – 15% of site or development impact area.
Site area = 40,000 sf
15% = 6,000 sf
- ✓ This requirement is met.

15. Previous Land Use Reviews

LU 21-090868 HR

Historic Resource Review approval to replace two columns on the south elevation of the belfry at the top of the St Mary Catholic Cathedral Church bell tower.

LU 17-112471 CU

Withdrawn proposal for a new 6-story multi-dwelling building on the north lot.

LU 17-112462 HR

Withdrawn proposal for new 6-story multi-dwelling building on the north lot.

LU 02-151409 CU

Conditional Use approval for expansion of St. Mary's Cathedral and an increase to the number of parking spaces on north lot.

LU 00-007364 CU AD

Conditional Use approval for cathedral expansion with Adjustments to landscaping and setbacks on east lot.

LU 61-003662 CU

(Ref. File CU 107-61) – Conditional Use approval for a parochial school and secondary religious building.

ST MARY'S CATHOLIC CATHEDRAL OF IMMACULATE CONCEPTION
1716 NW DAVIS ST, PORTLAND, OREGON 97209

RENOVATION AND IMPROVEMENTS FOR THE
ARCHDIOCESE OF PORTLAND



LAND USE REVIEW EXHIBITS
TYPE III HISTORIC RESOURCE APPLICATION

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C1



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C12	GROUND FLOOR / SITE RCP
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C25	ENLARGED ELEVATION / SECTION
C26	RENDERINGS
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C29	DETAILS
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C33	CUT SHEETS - SECURITY CAMERA
C34	CUT SHEETS - LIGHTING
C35	CUT SHEETS - LIGHTING
C36	CUT SHEETS - CURTAINWALL
C37	CUT SHEETS - STOREFRONT
C38	CUT SHEETS - DOUBLE HUNG WINDOW
C39	CUT SHEETS - SKYLIGHT
C40	CUT SHEETS - ENTRY DOOR
C41	CUT SHEETS - EXPANSION JOINT

Scale:



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NOT FOR CONSTRUCTION



LU 23-068457 HR A-2

SITE CONTEXT MAP

C2



- PARKING LOT (UNDER SAME OWNERSHIP)
- 1716 NW DAVIS ST (SUBJECT PROPERTY)
- 110 NW 17TH AVE (UNDER SAME OWNERSHIP)

Scale:



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SITE CONTEXT PHOTOS

C3



NORTH ELEVATION ALONG NW DAVIS ST



EAST ELEVATION ALONG NW 17TH AVE

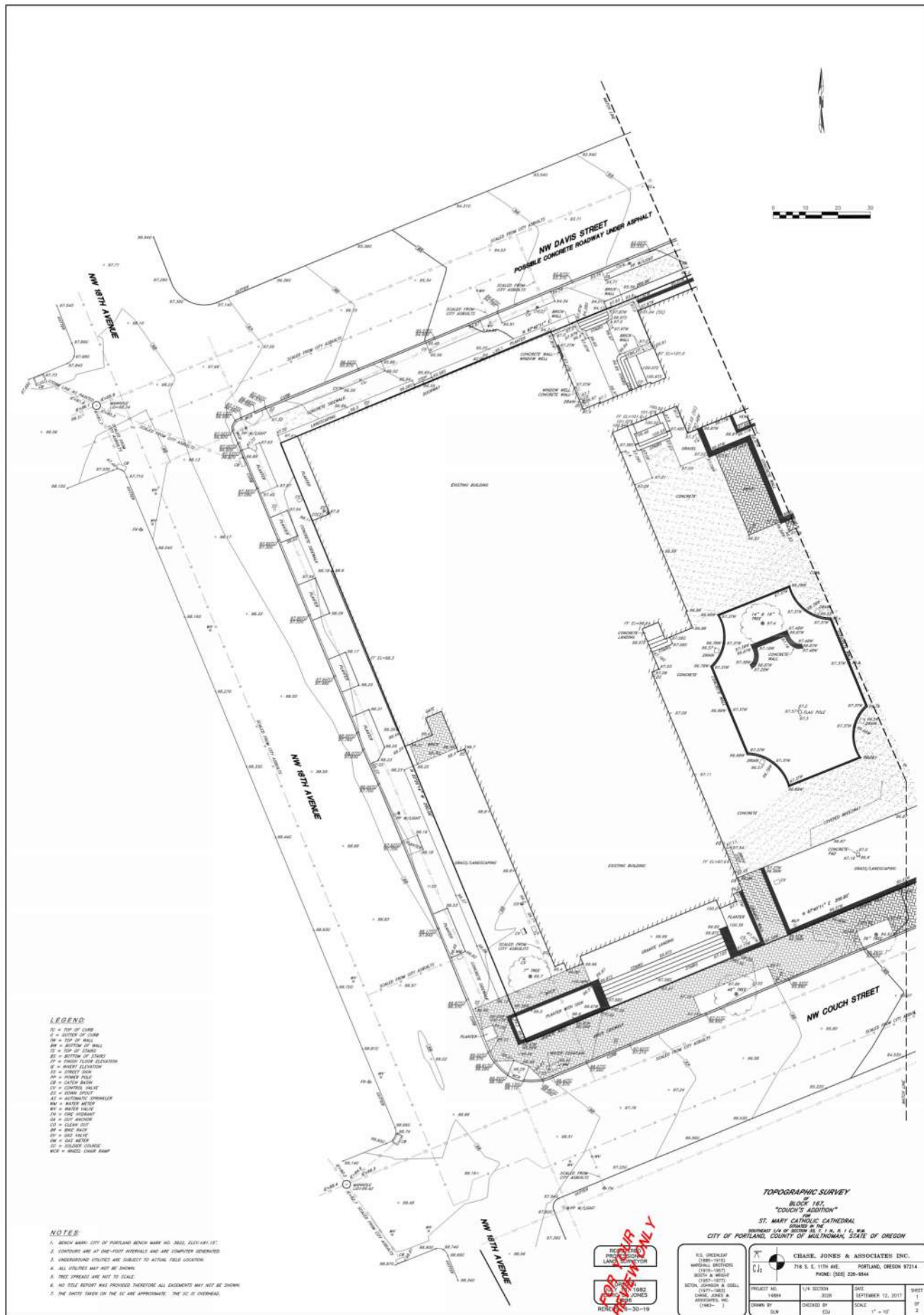


EAST ELEVATION ALONG NW 17TH AVE

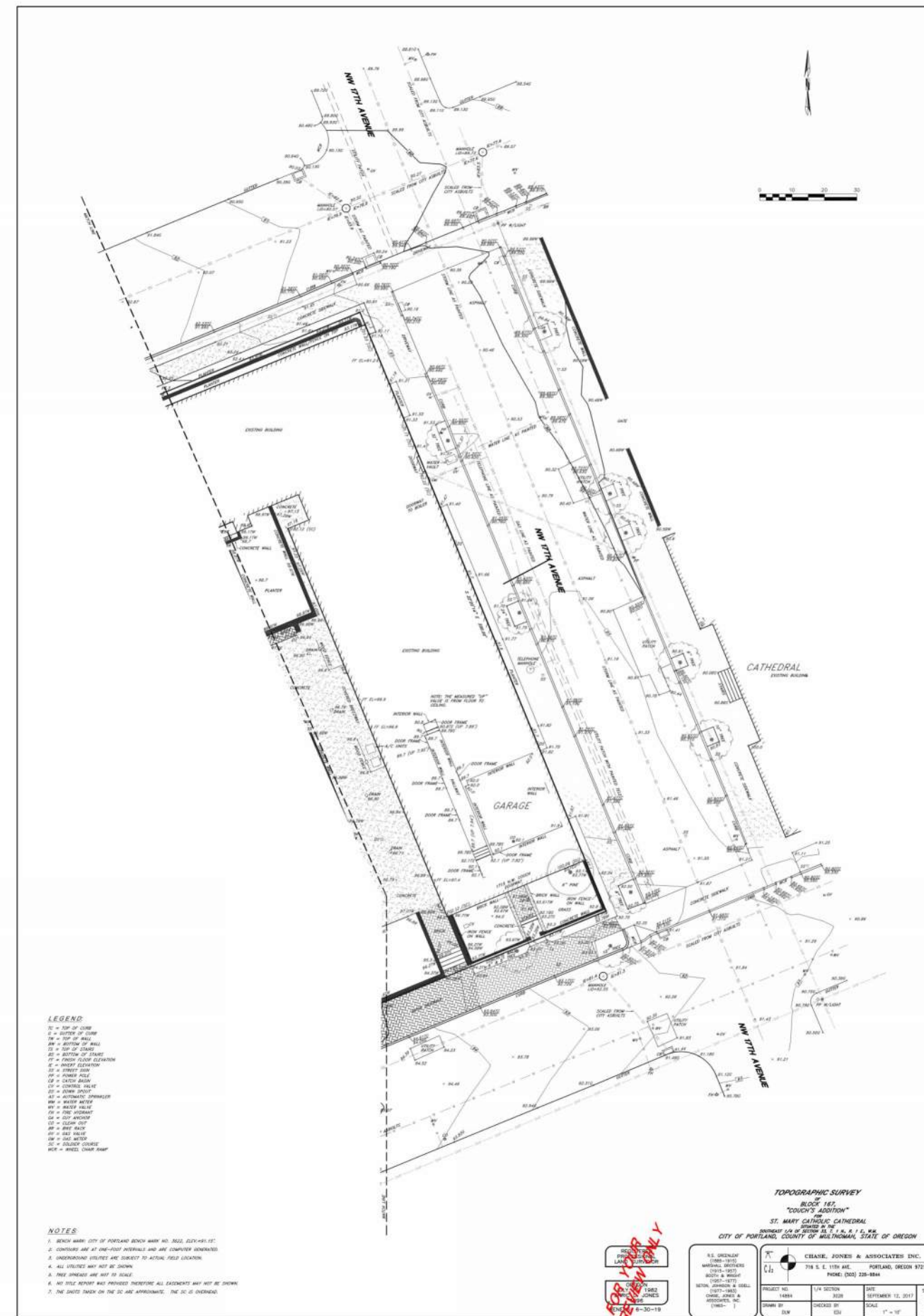
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NOT FOR CONSTRUCTION

SURVEY C4

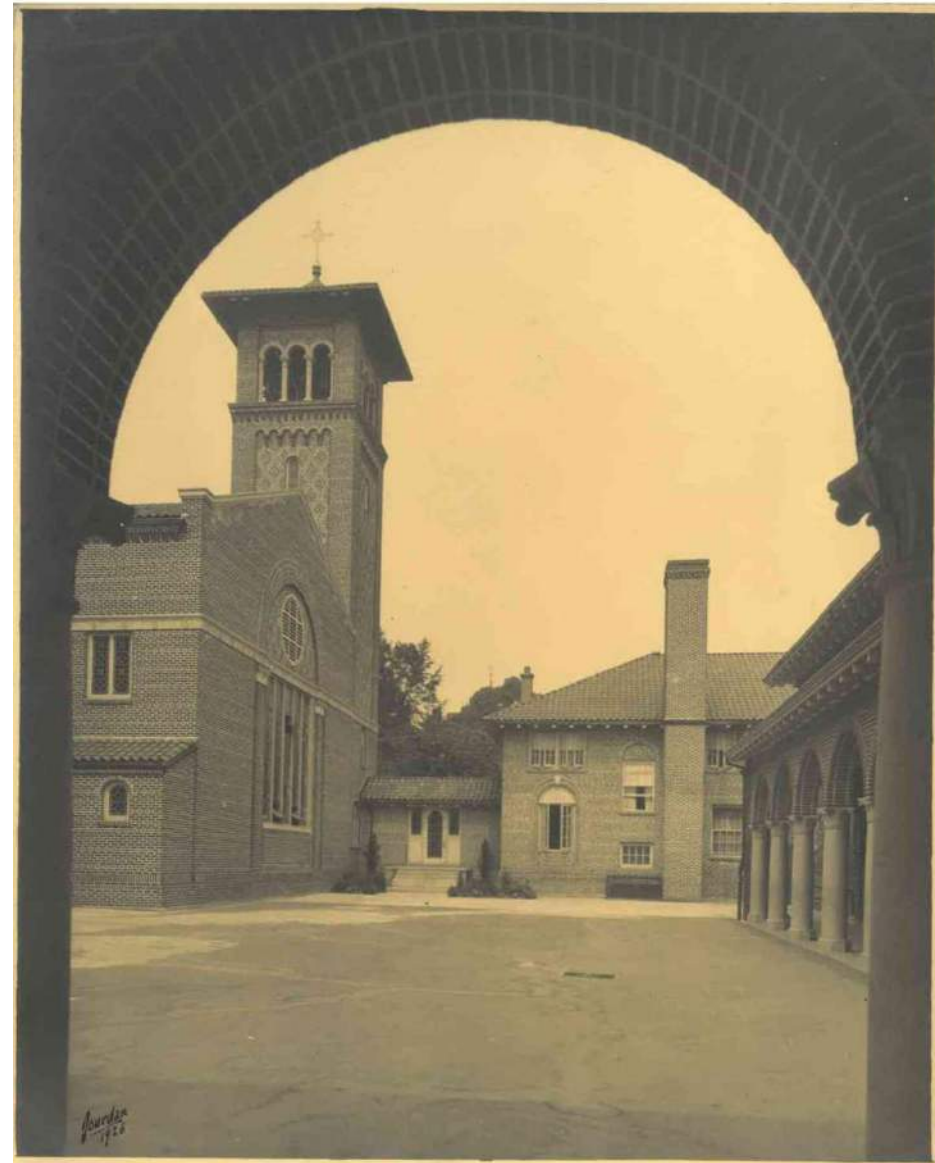


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HISTORIC IMAGES

C5



FACING NORTH INTO THE COURTYARD - 1926



ARCHITECT'S RENDERING

Scale:



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NOT FOR CONSTRUCTION

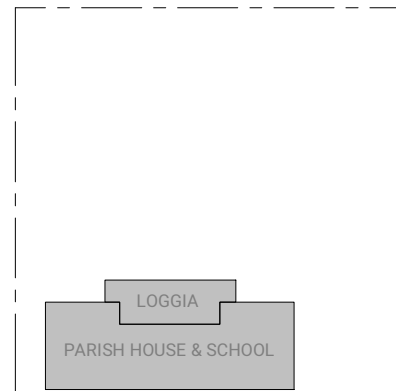


LU 23-068457 HR A-2

PROPERTY HISTORY TIMELINE

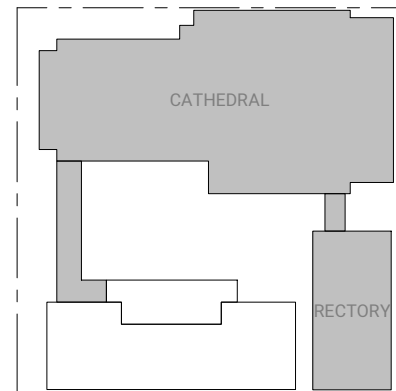
C6

1914



CONSTRUCTION OF THE PARISH HOUSE AND SCHOOL BUILDING.

1925



CONSTRUCTION OF ST. MARY'S CATHEDRAL OF IMMACULATE CONCEPTION AND THE RECTORY BUILDING.

1965



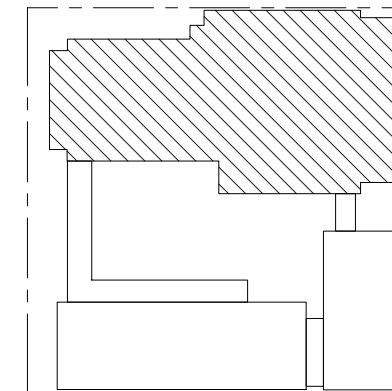
PARISH HOUSE AND SCHOOL IS CONVERTED INTO THE CONVENT AND PARISH CENTER.

1987



CONVERSION OF THE CONVENT TO THE ARCHBISHOPS RESIDENCE.

1994



SEISMIC AND MECHANICAL UPGRADES TO THE CATHEDRAL.

2024



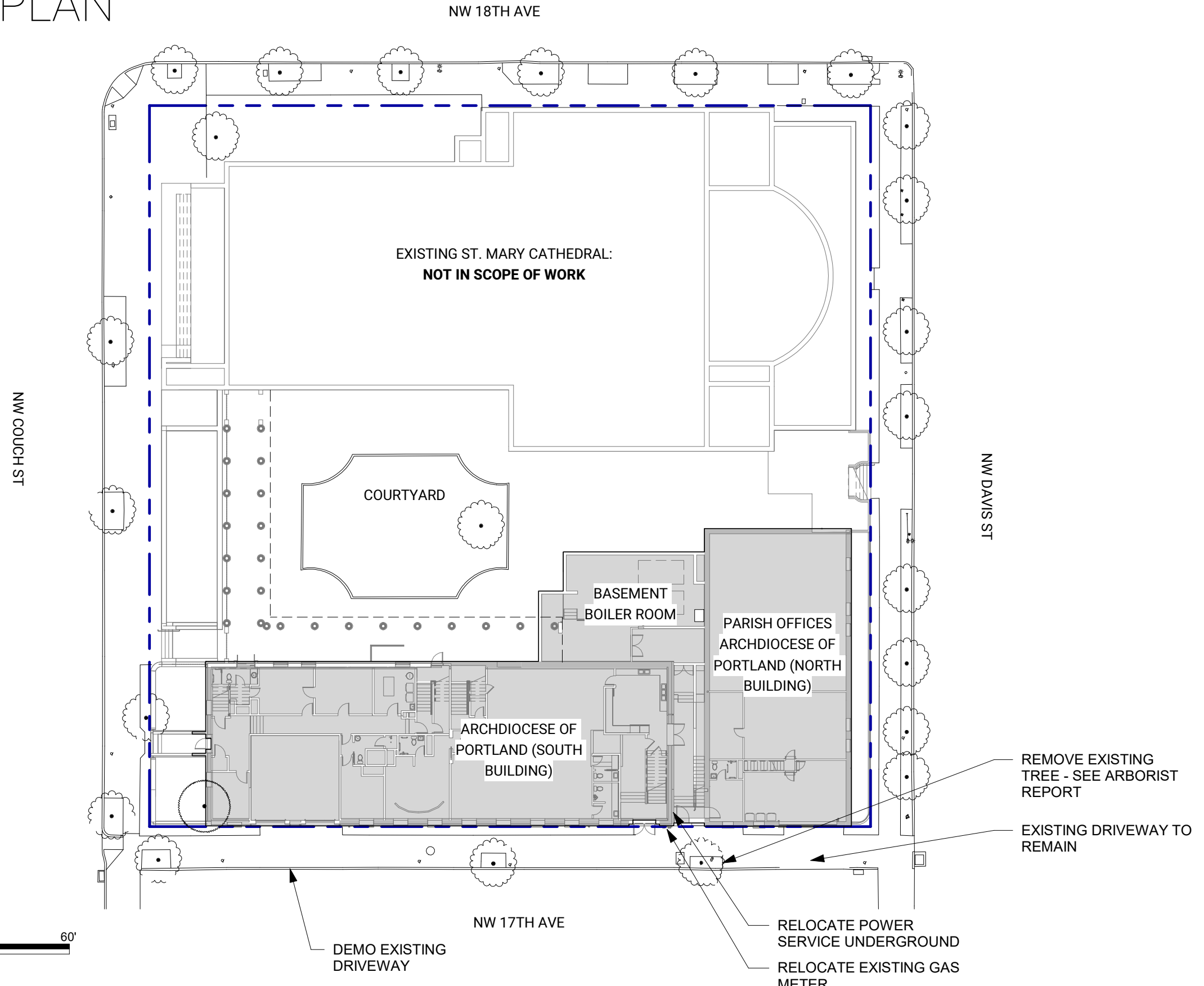
CURRENT:
CONVERSION OF THE ARCHBISHOPS RESIDENCE AND PARISH CENTER TO THE ARCHDIOCESE OF PORTLAND. A NEW AND IMPROVED CONNECTION IS MADE BETWEEN THE RENOVATED RECTORY AND ARCHDIOCESE OF PORTLAND STRUCTURES. BOTH BUILDINGS ARE SEISMICALLY UPGRADED AND HAVE NEW MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE SUPPRESSION SYSTEMS

Scale: 1" = 100'-0"

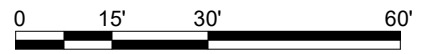


EXISTING SITE PLAN

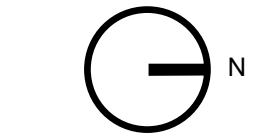
C7



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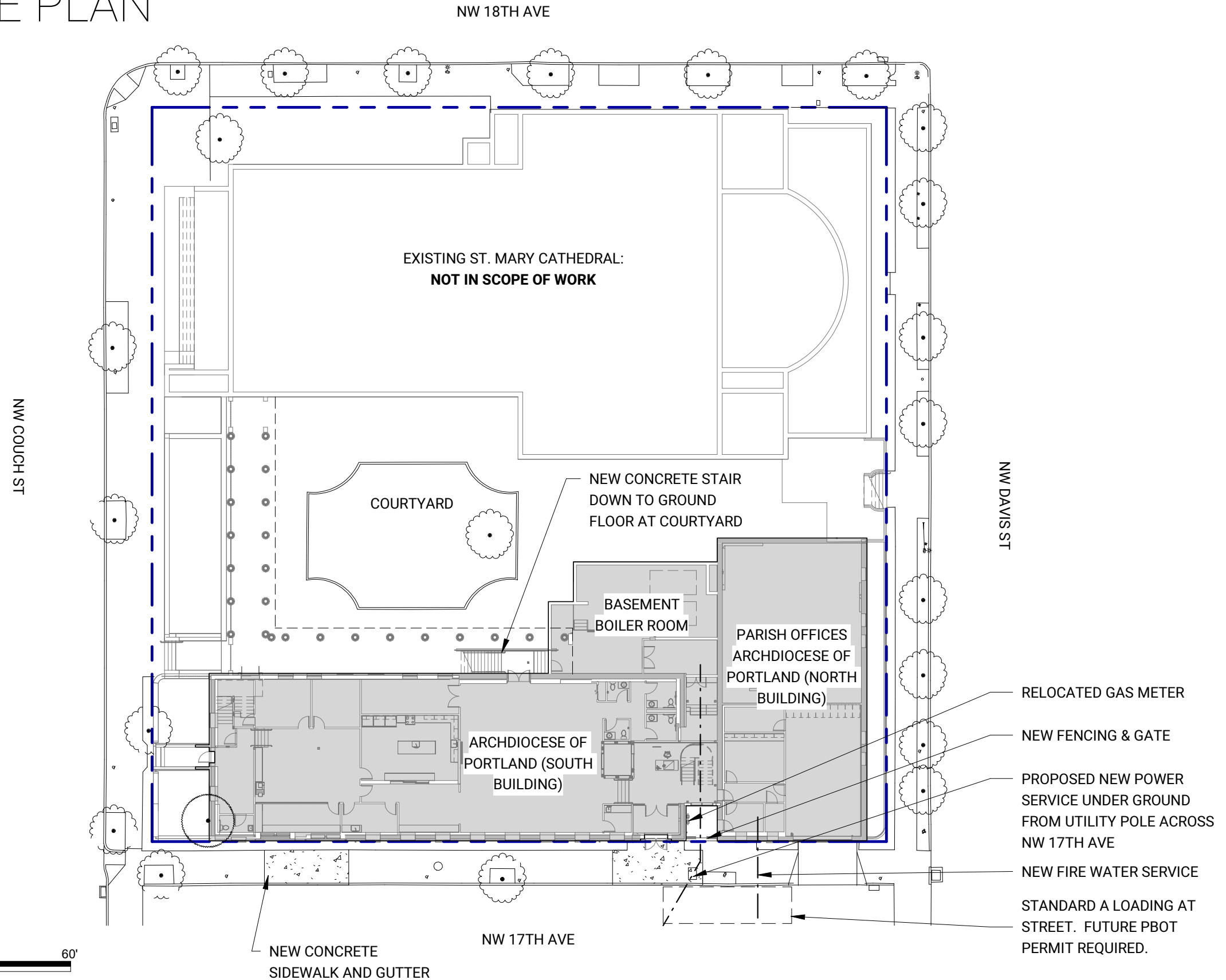


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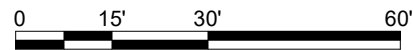


PROPOSED SITE PLAN

C8



Scale: 1" = 30'-0"



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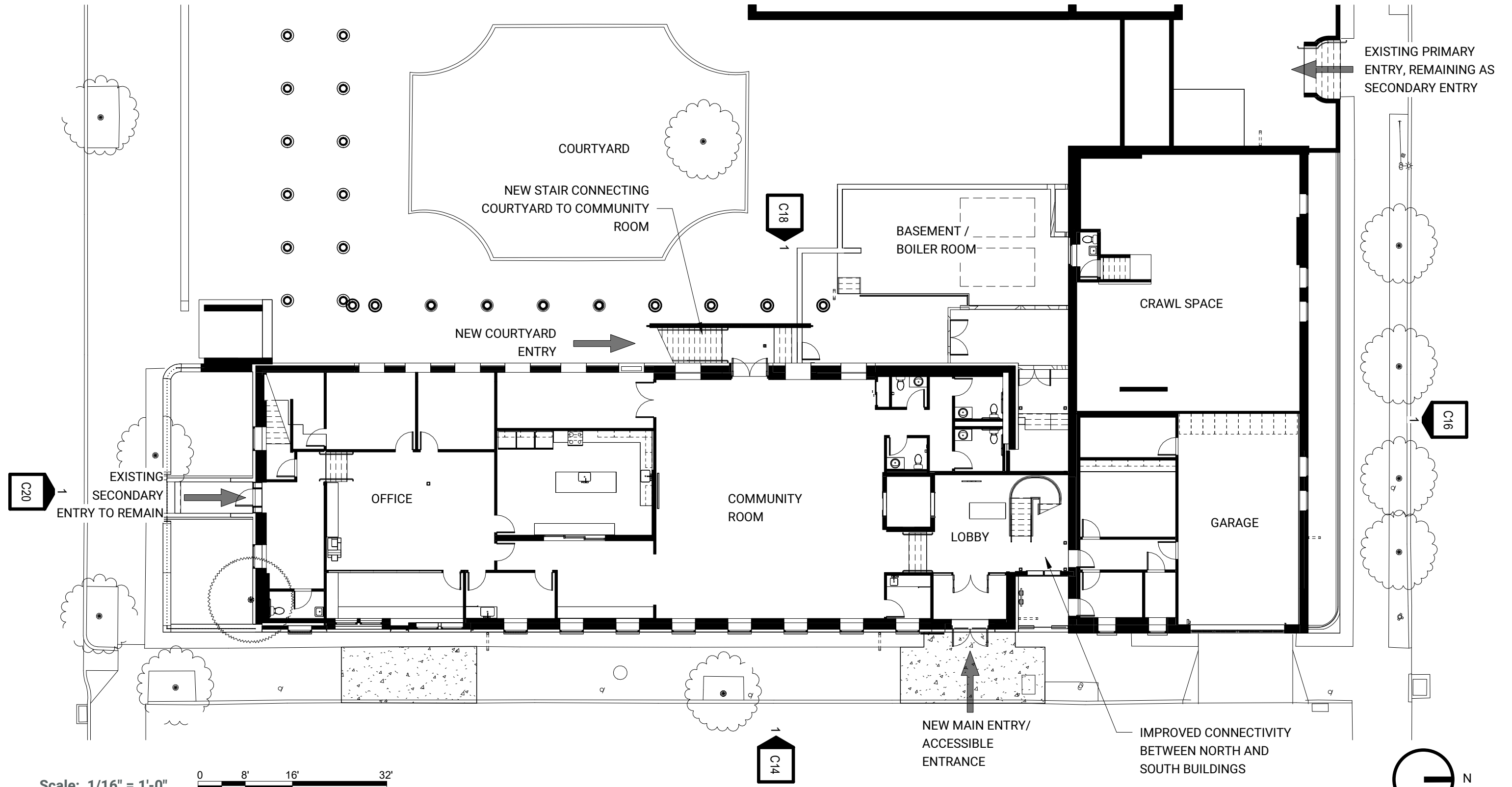
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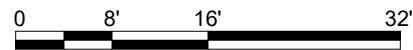
LU 23-068457 HR A-2

GROUND FLOOR PLAN

C9

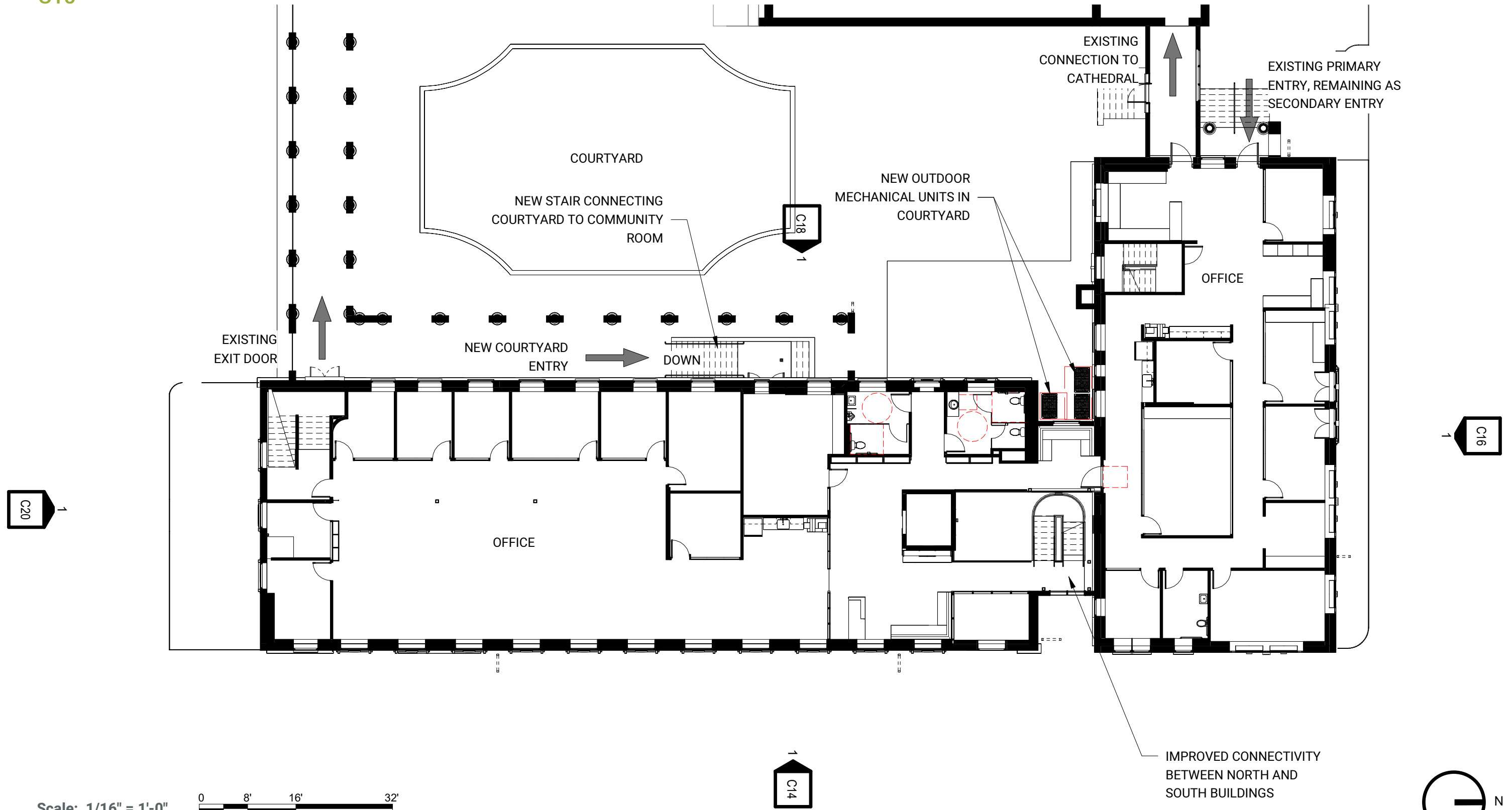


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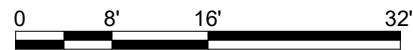


SECOND FLOOR PLAN

C10



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NOT FOR CONSTRUCTION



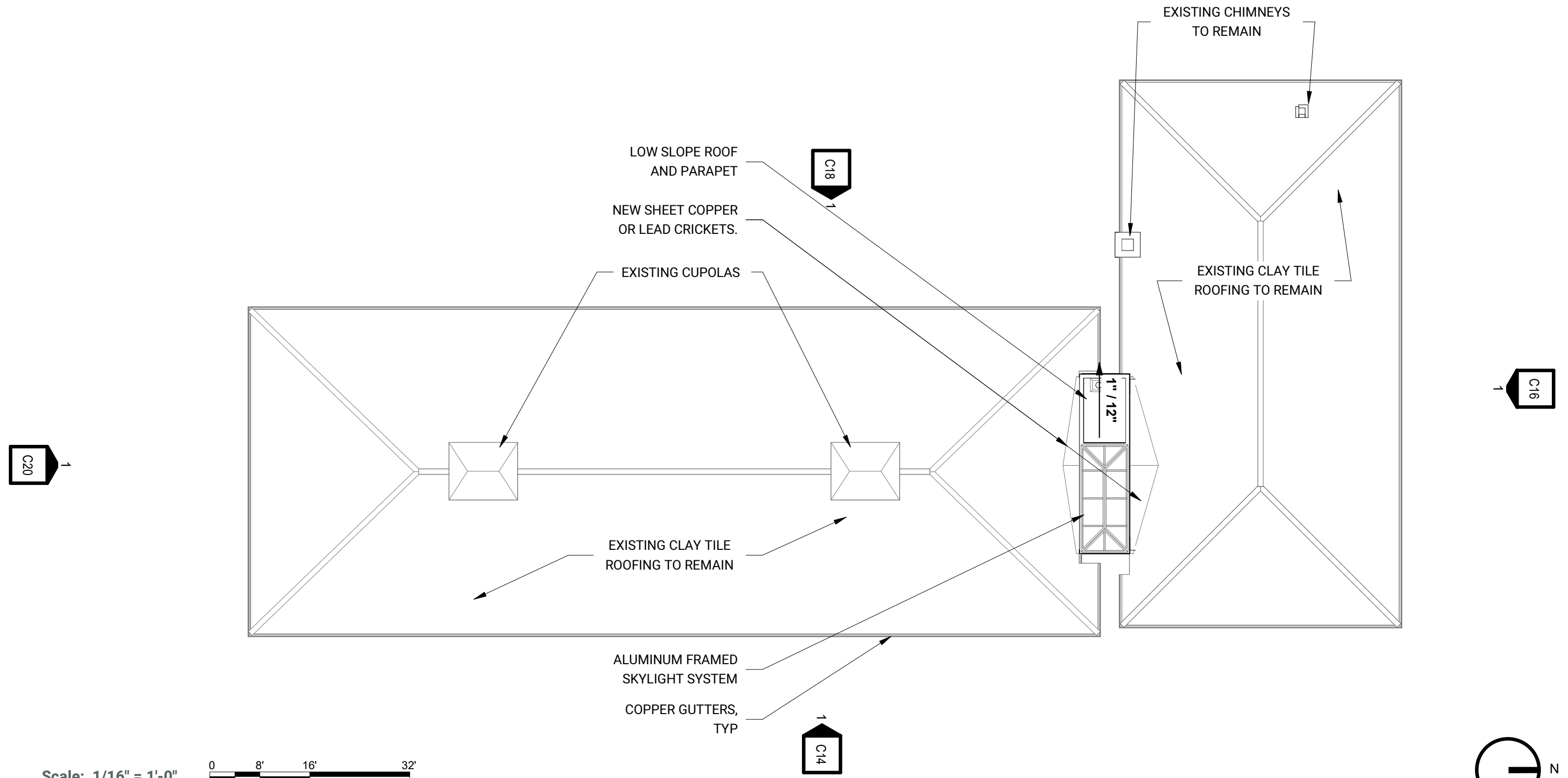
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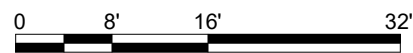
LU 23-068457 HR A-2

ROOF PLAN

C11

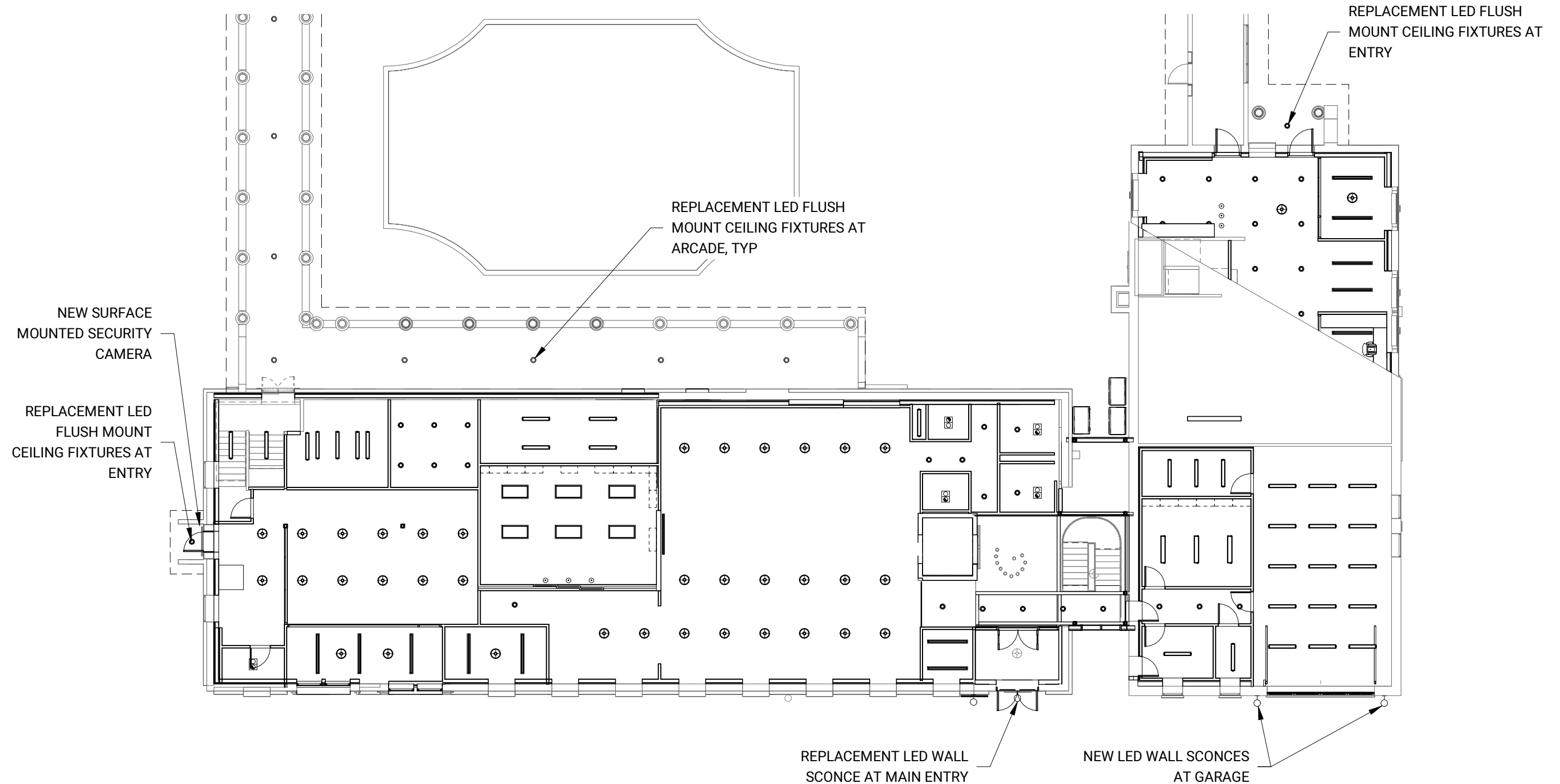


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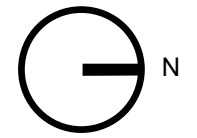


GROUND FLOOR / SITE RCP

C12

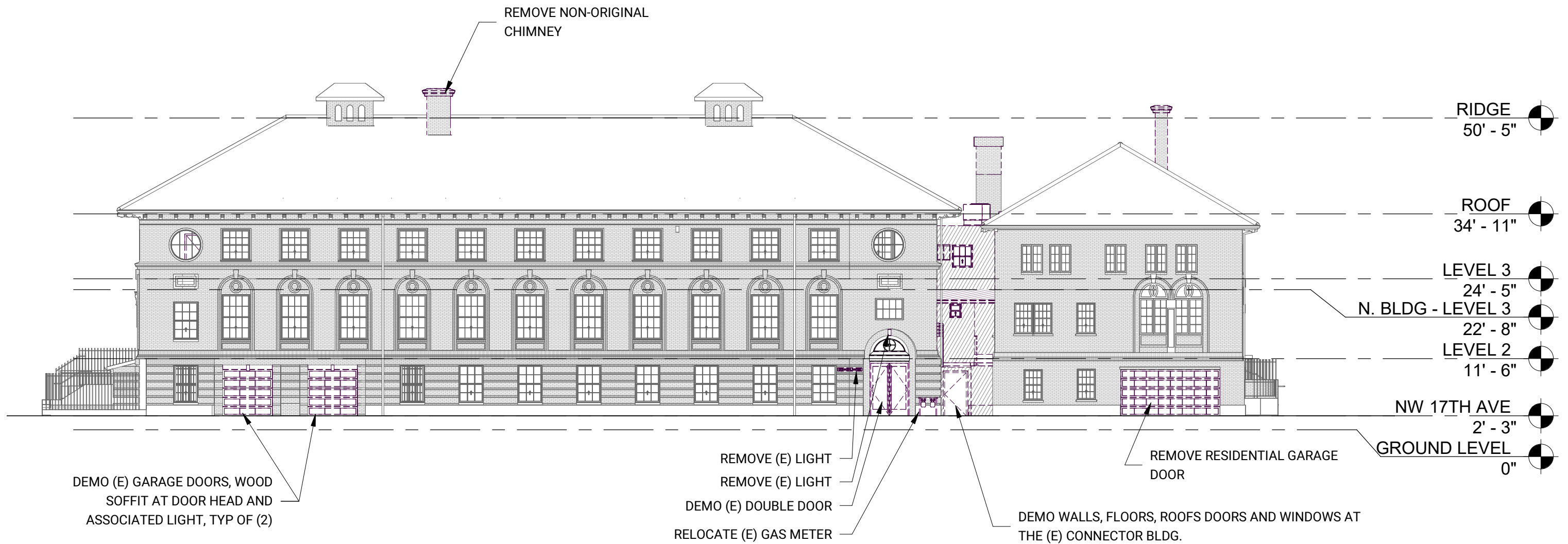


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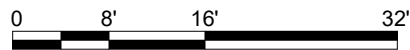


EXISTING ELEVATION - EAST

C13



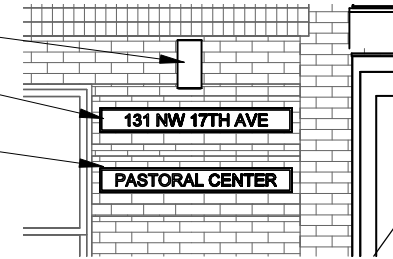
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PROPOSED ELEVATION - EAST

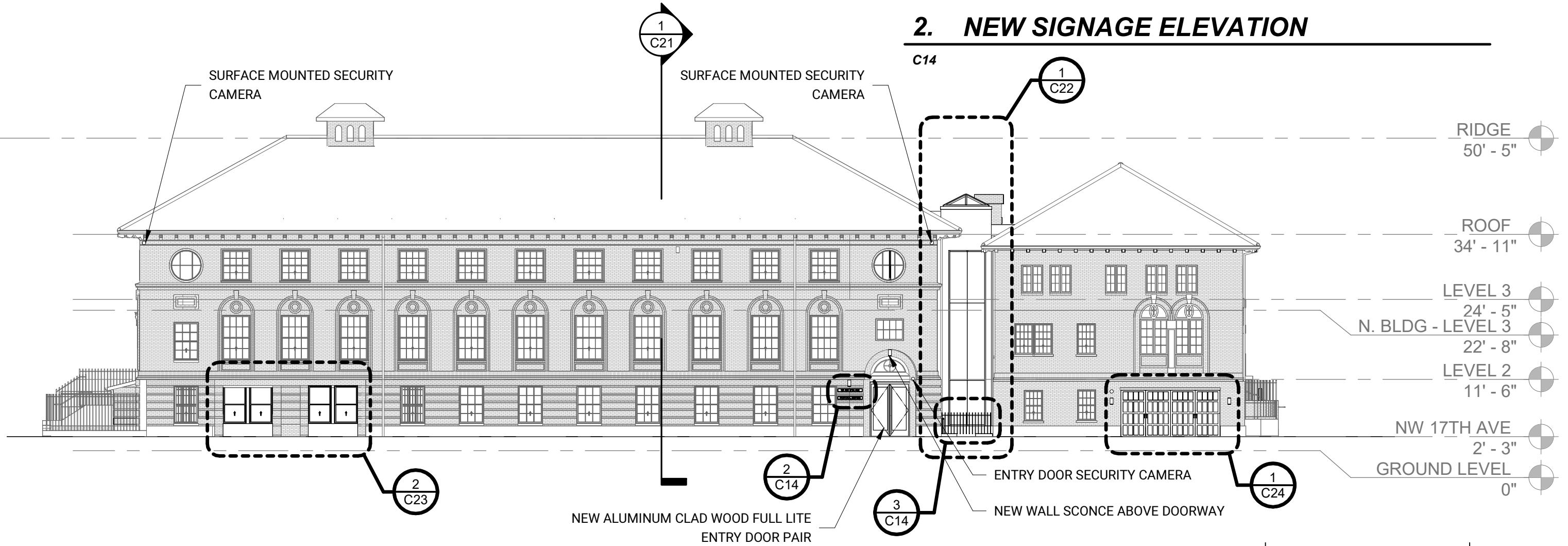
C14

- NEW LIGHT ABOVE TO ILLUMINATE SIGNAGE
- NEW ADDRESS SIGNAGE
- NEW BUILDING SIGNAGE. METAL PLAQUE WITH METAL LETTERING.

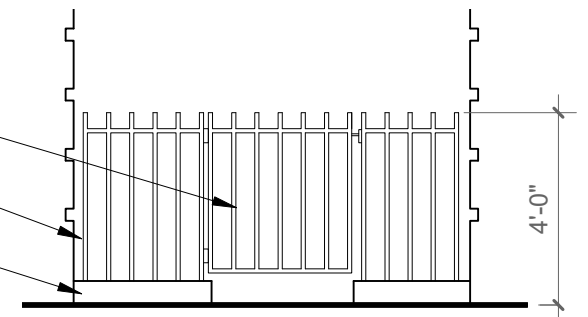


2. NEW SIGNAGE ELEVATION

C14



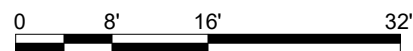
- METAL GATE FOR MAINTENANCE ACCESS
- METAL FENCING TO MATCH EXISTING
- CONCRETE CURB



3. FENCE & GATE ELEVATION

C14

Scale: As indicated



221084 | ARCHDIOCESE PASTORAL CENTER OFFICES |
07.26.2023

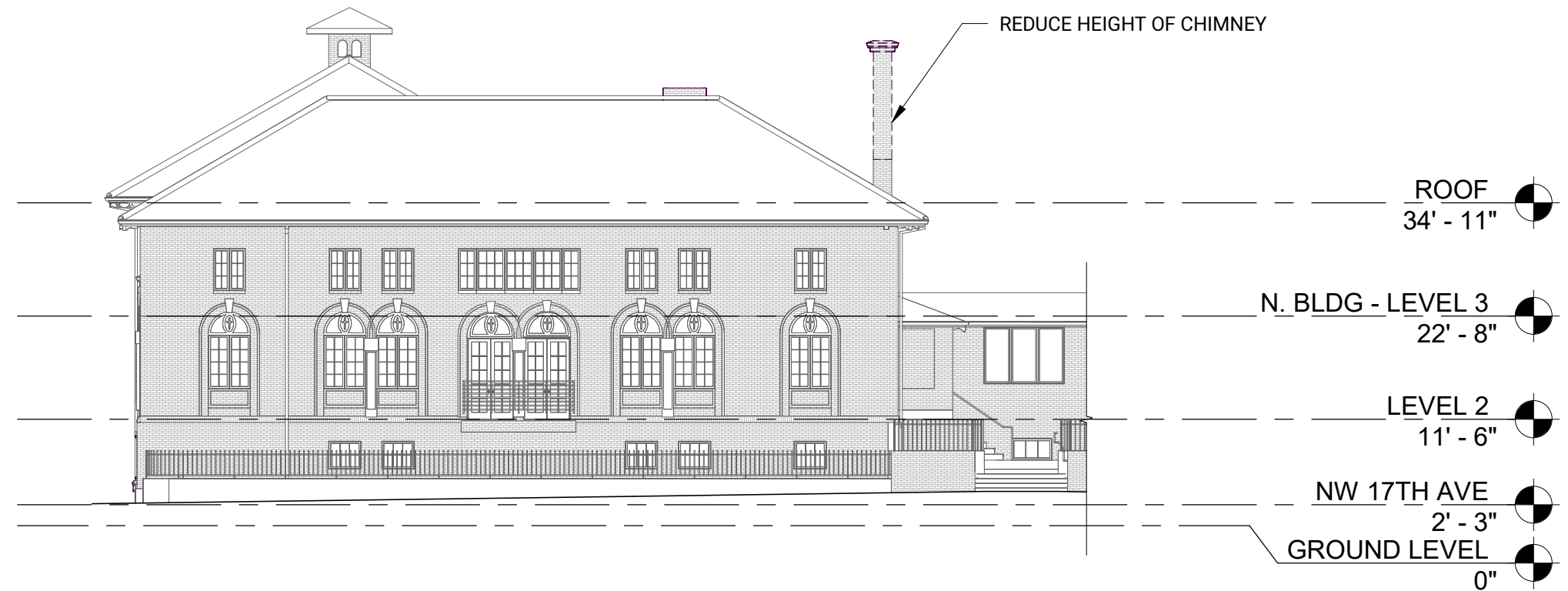
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LU 23-068457 HR A-2

EXISTING ELEVATION - NORTH

C15

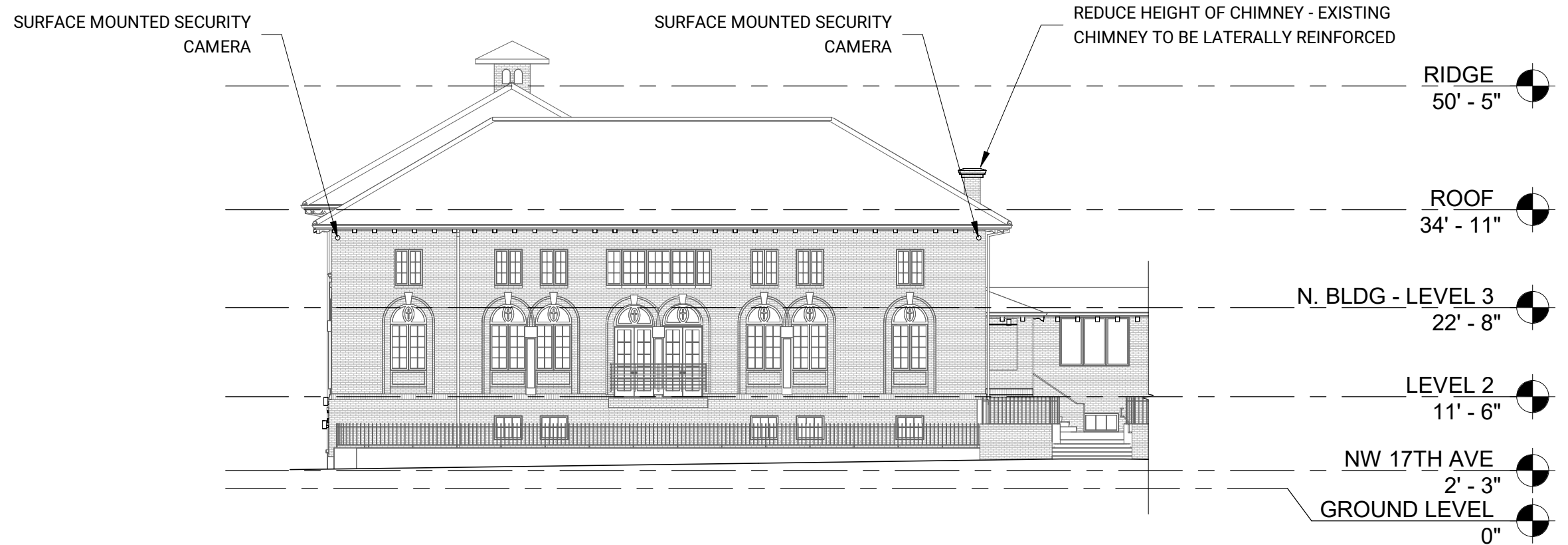


Scale: 1/16" = 1'-0"

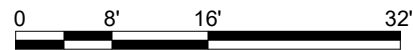


PROPOSED ELEVATION - NORTH

C16



Scale: 1/16" = 1'-0"



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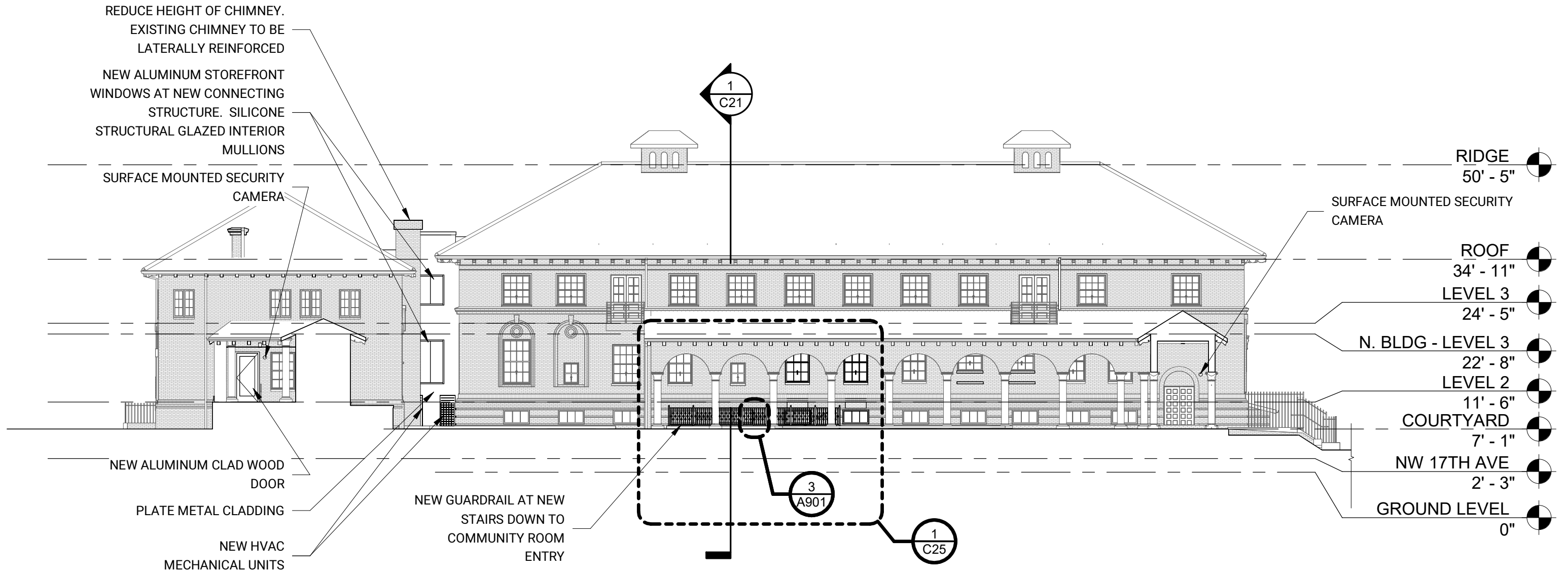
NOT FOR CONSTRUCTION



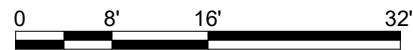
LU 23-068457 HR A-2

PROPOSED ELEVATION - WEST

C18



Scale: 1/16" = 1'-0"



EXISTING ELEVATION - SOUTH

C19

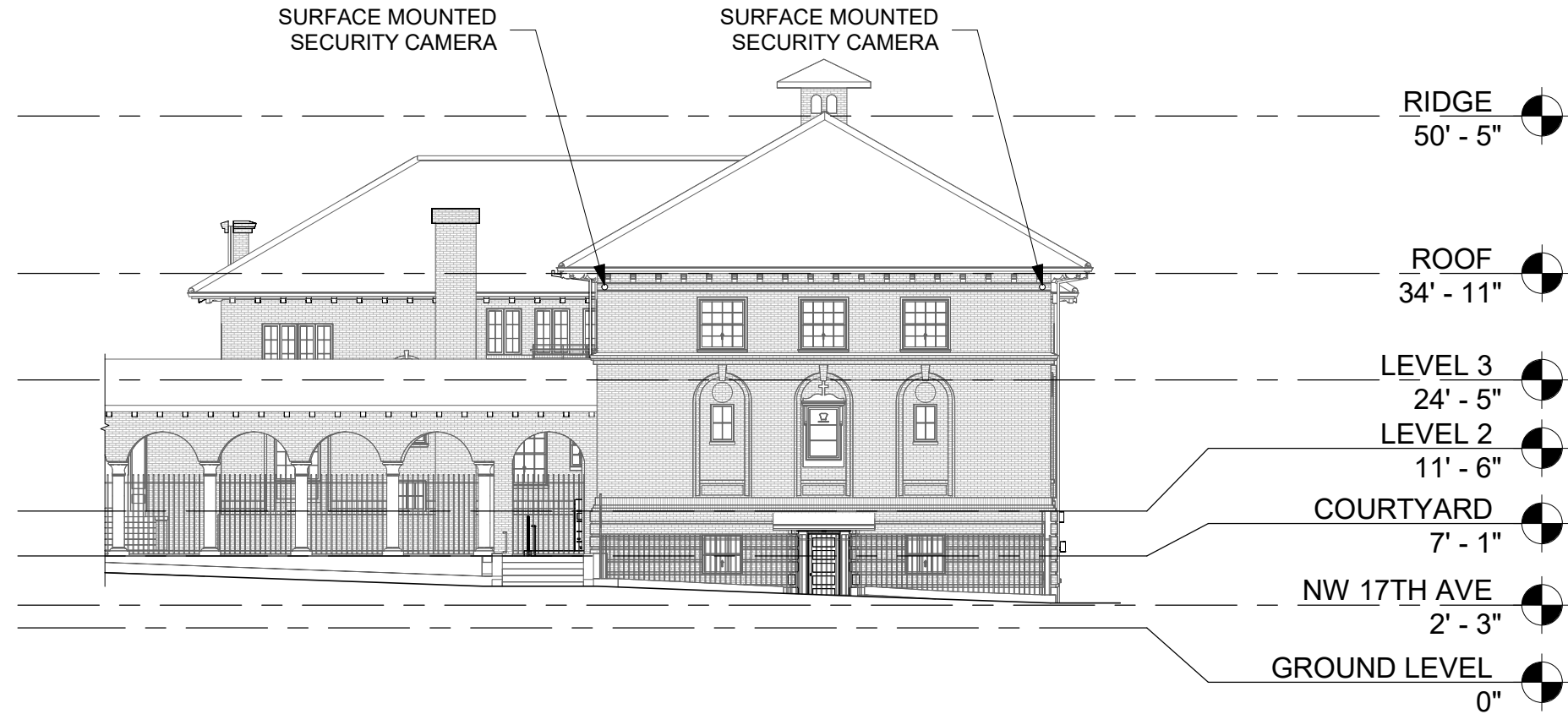


Scale: 1/16" = 1'-0"

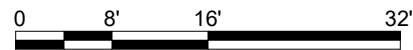


PROPOSED ELEVATION - SOUTH

C20



Scale: 1/16" = 1'-0"



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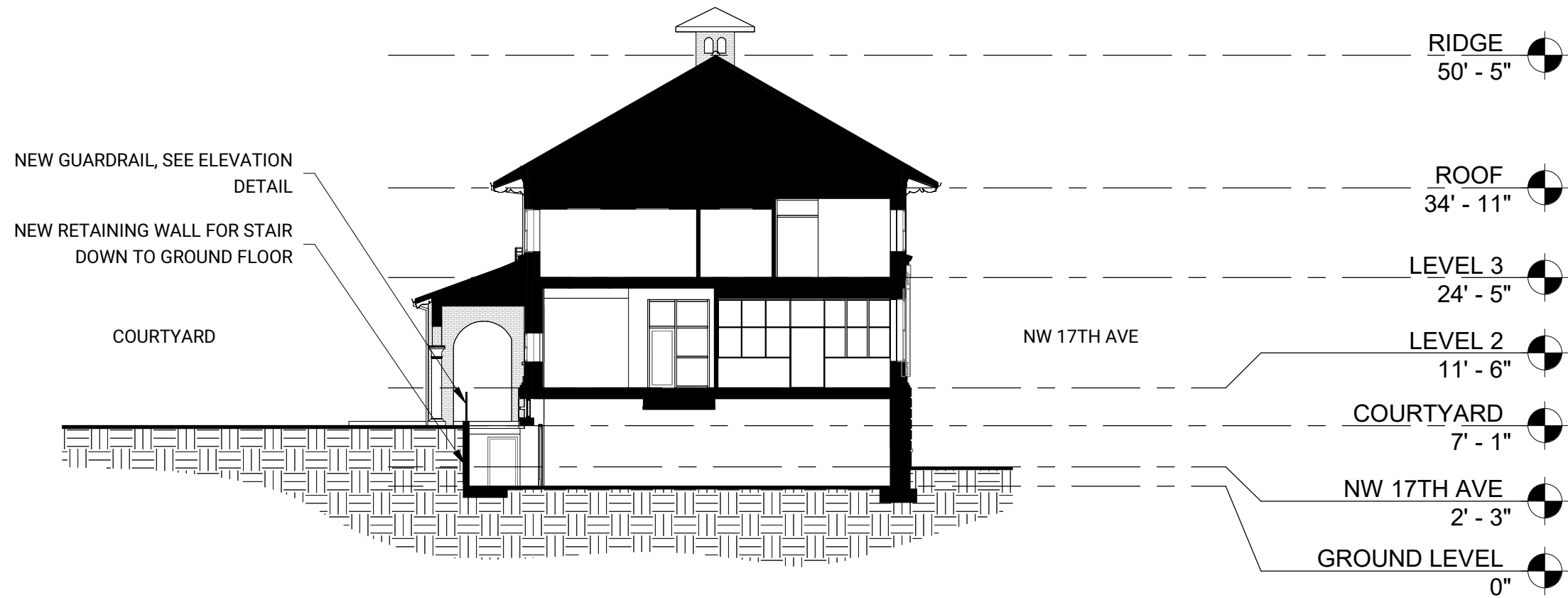
NOT FOR CONSTRUCTION



LU 23-068457 HR A-2

BUILDING SECTION

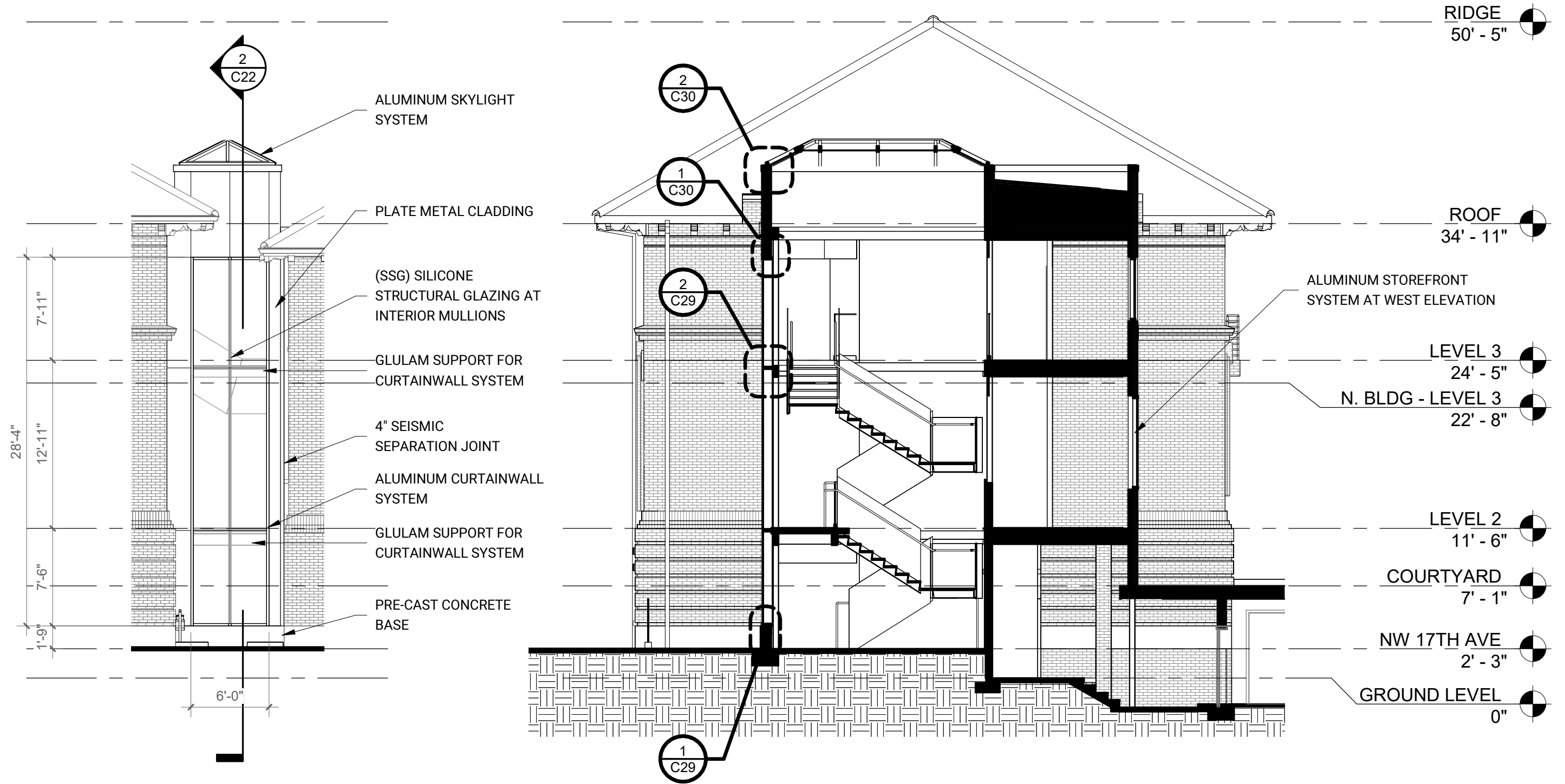
C21



Scale: 1/16" = 1'-0"

ENLARGED ELEVATION / SECTION

C22

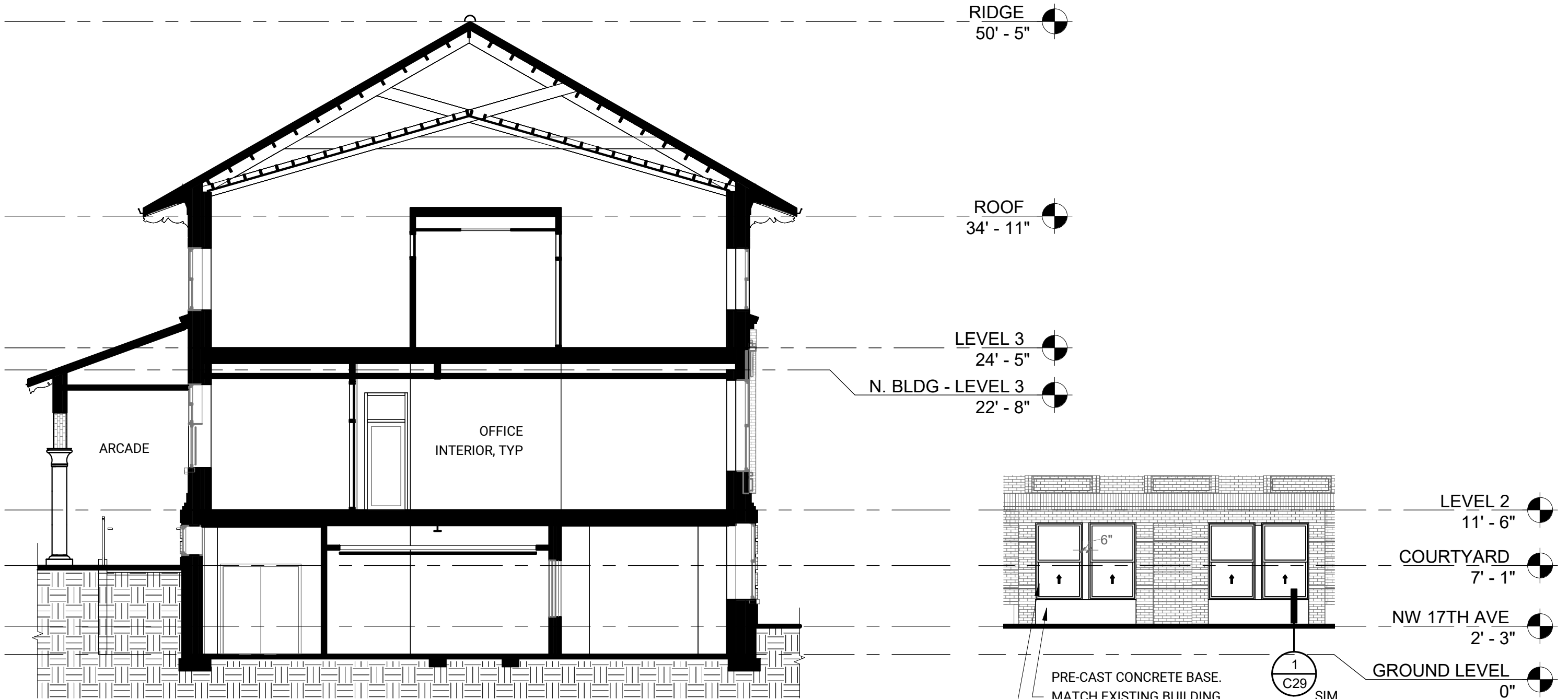


Scale: 1/8" = 1'-0"



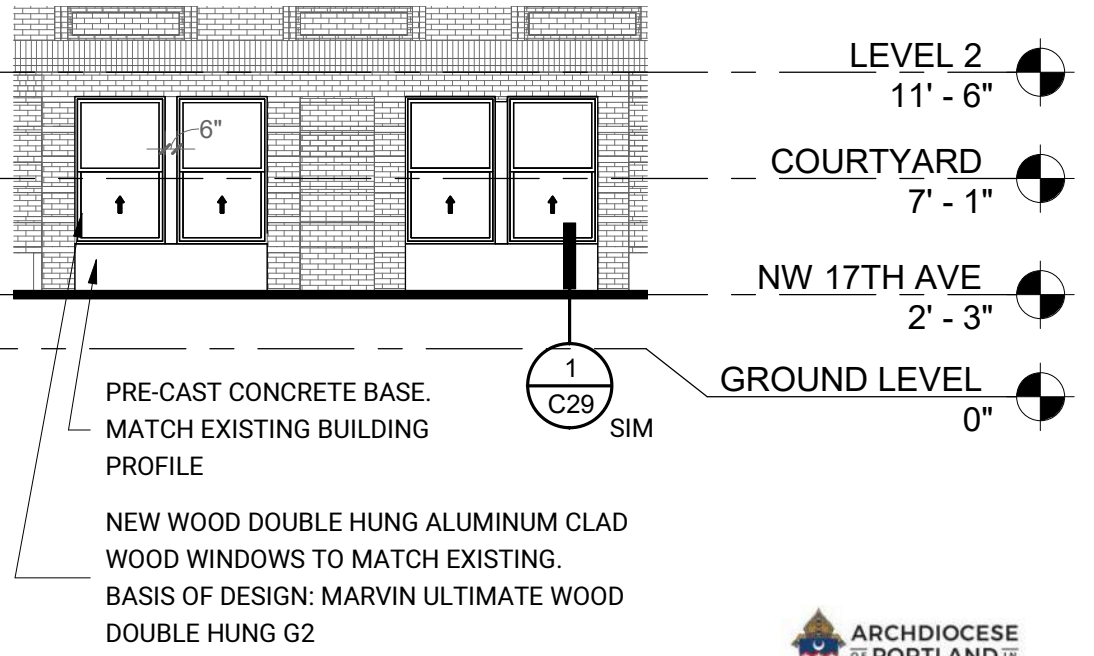
ENLARGED ELEVATION / SECTION

C23



Scale: 1/8" = 1'-0"
 0 4' 8' 16'

NOT FOR CONSTRUCTION



PRE-CAST CONCRETE BASE.
 MATCH EXISTING BUILDING
 PROFILE

NEW WOOD DOUBLE HUNG ALUMINUM CLAD
 WOOD WINDOWS TO MATCH EXISTING.
 BASIS OF DESIGN: MARVIN ULTIMATE WOOD
 DOUBLE HUNG G2

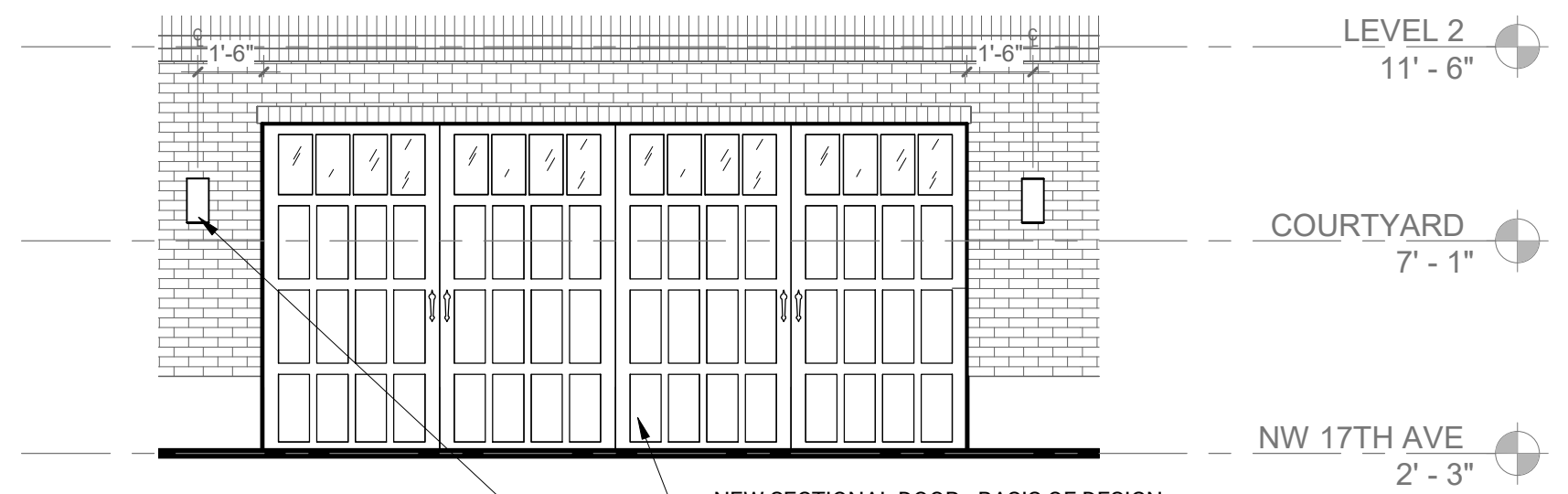
ENLARGED ELEVATION / SECTION

C24



Applied Products:

	Glass	Obscured	
	Windows	Carriage House Collection	16 Window Square 7"
	Paint	White Paint	White Paint
	Hardware	Pull Handle	Spear 15' x 8'
	Garage Door	Carriage House Collection	Model 308 10' x 8'



NEW SECTIONAL DOOR - BASIS OF DESIGN:
OVERHEAD DOOR COMPANY; MODEL 308
CARRIAGE HOUSE COLLECTION - 16 WINDOW
SQUARE 7"

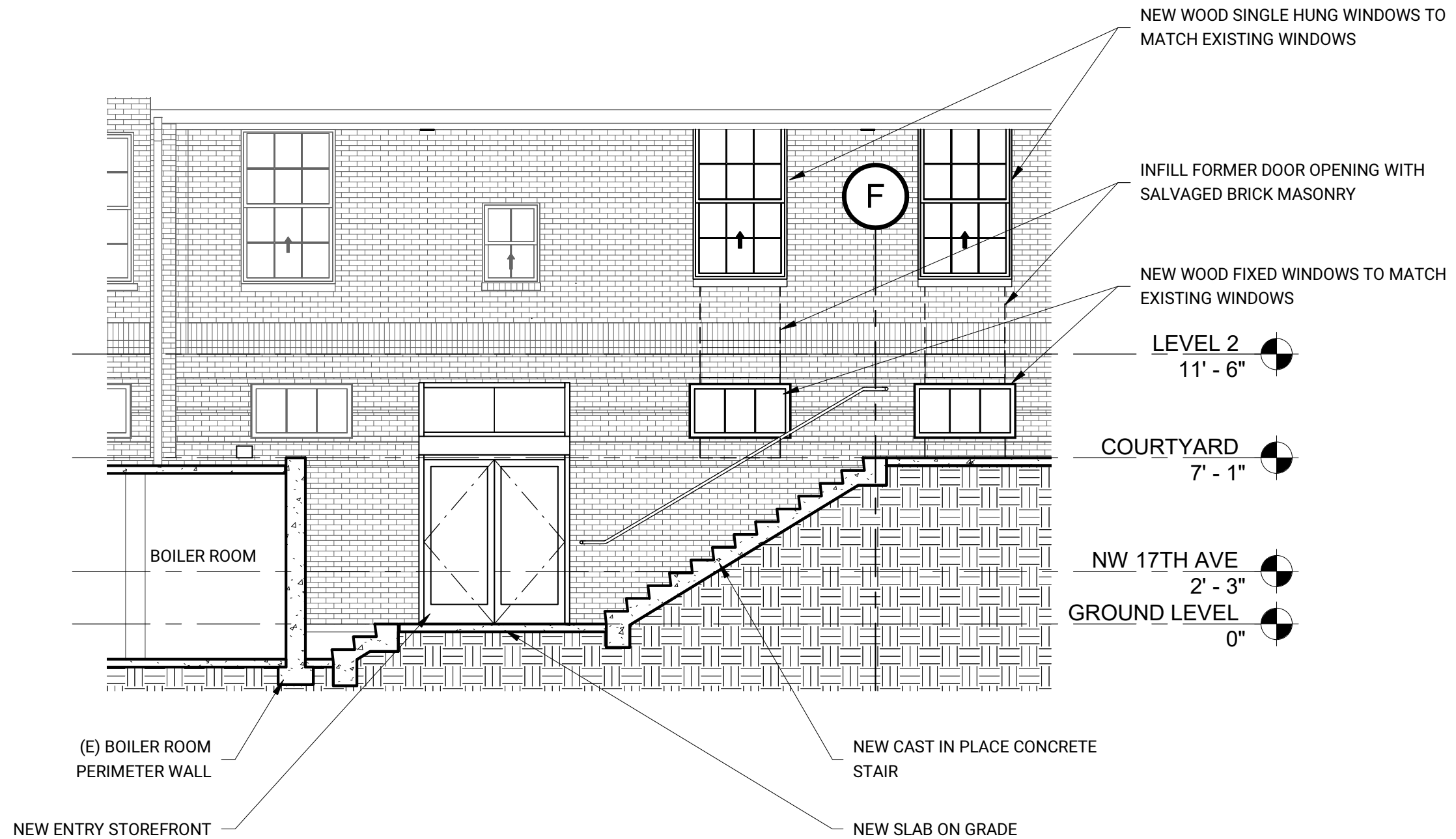
NEW WALL SCONCE.

NOT FOR CONSTRUCTION

Scale: 1/4" = 1'-0"

ENLARGED ELEVATION / SECTION

C25



Scale: 3/16" = 1'-0"



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LU 23-068457 HR A-2

RENDERINGS

C26



Scale:



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LU 23-068457 HR A-2

RENDERINGS

C27



Scale:



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LU 23-068457 HR A-2

RENDERINGS

C28



Scale:



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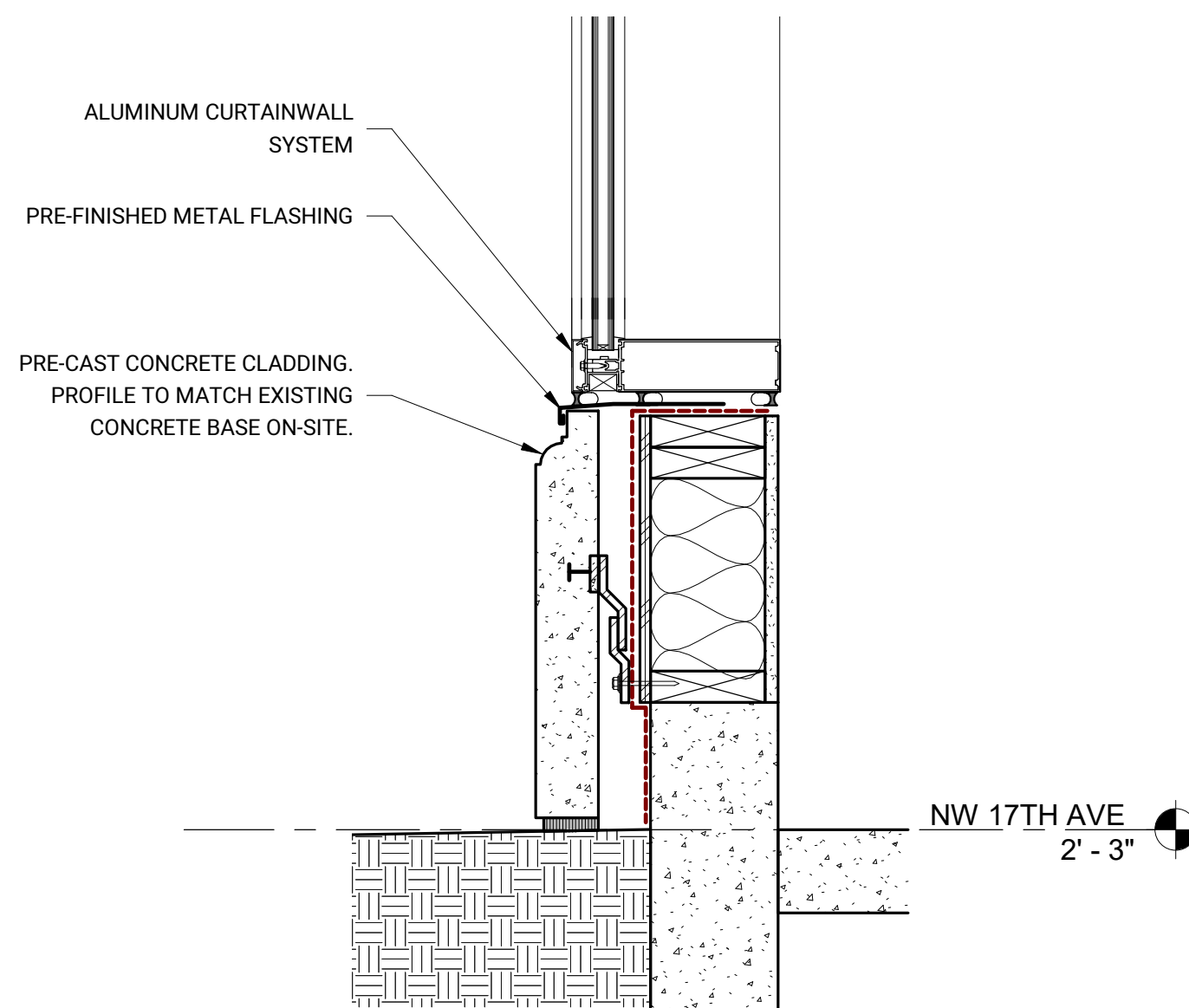
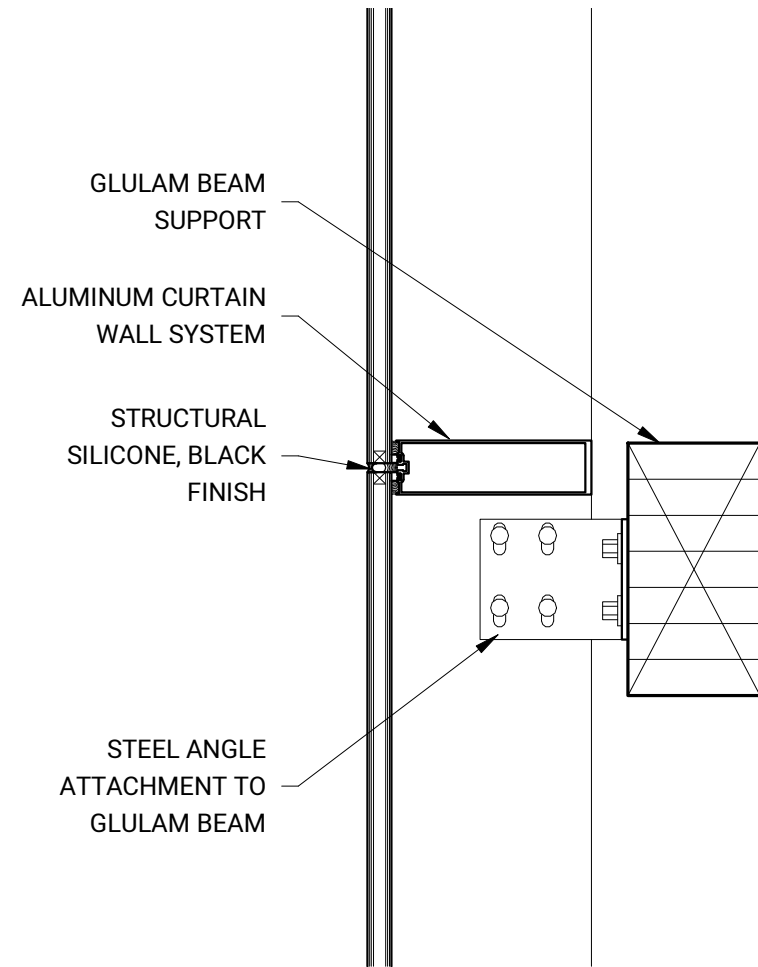
NOT FOR CONSTRUCTION



LU 23-068457 HR A-2

DETAILS

C29



2. CURTAINWALL TO GLB DETAIL

C29 SCALE: 1 1/2" = 1'-0"

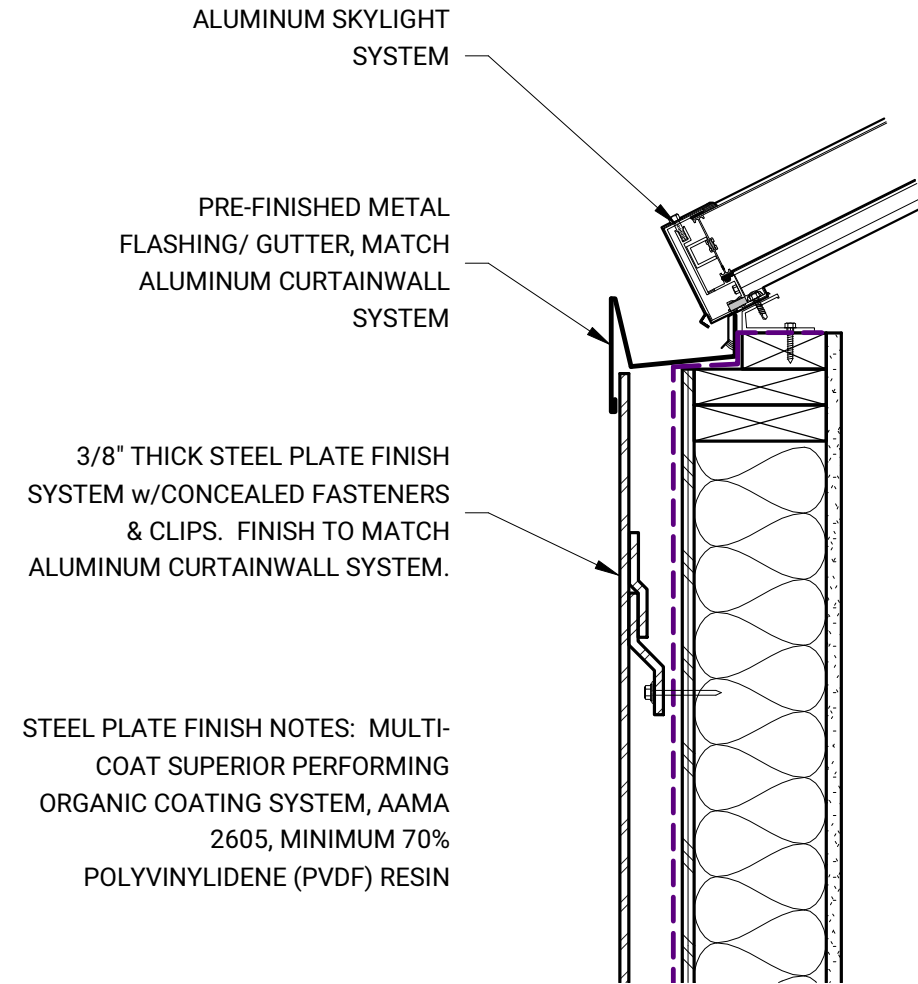
1. PRE-CAST CONCRETE BASE DETAIL

C29 SCALE: 1 1/2" = 1'-0"

Scale: 1 1/2" = 1'-0"

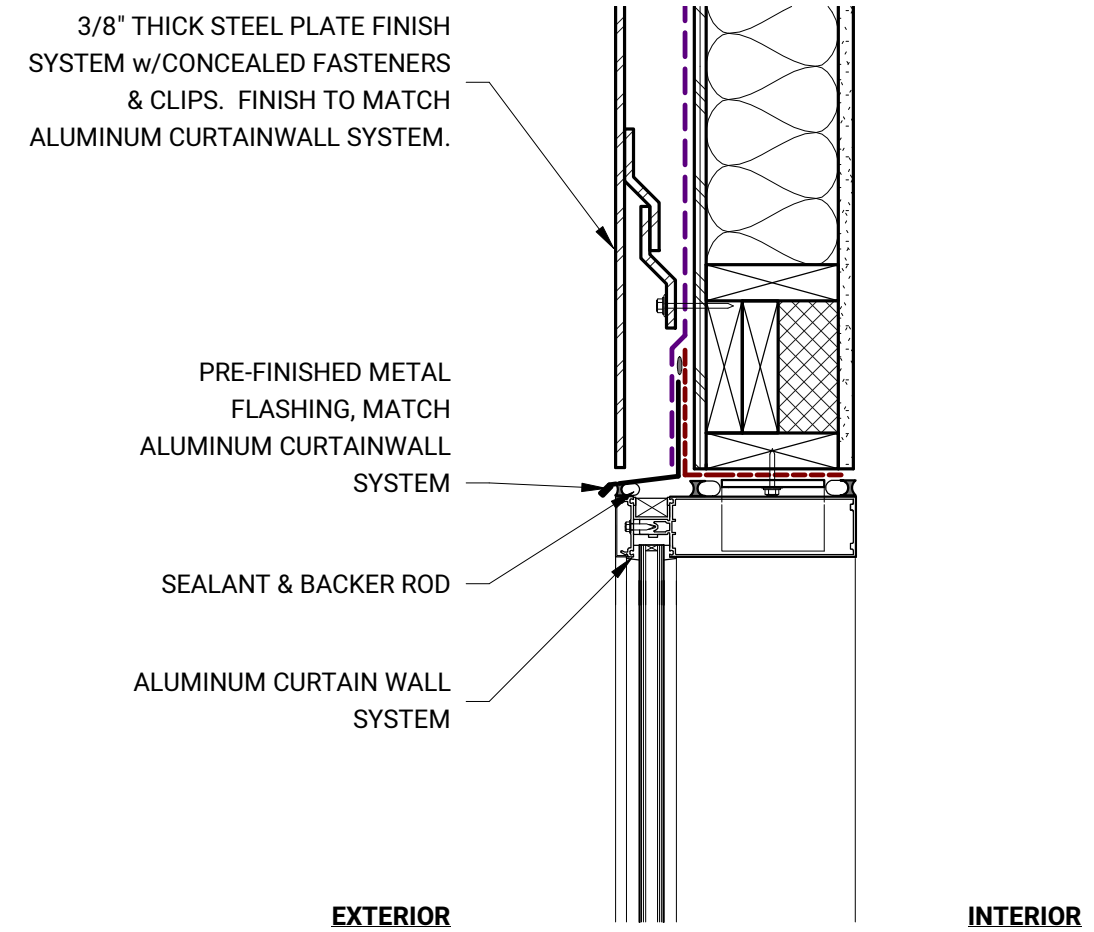
DETAILS

C30



2. SKYLIGHT TO COPING DETAIL

C30 SCALE: 1 1/2" = 1'-0"



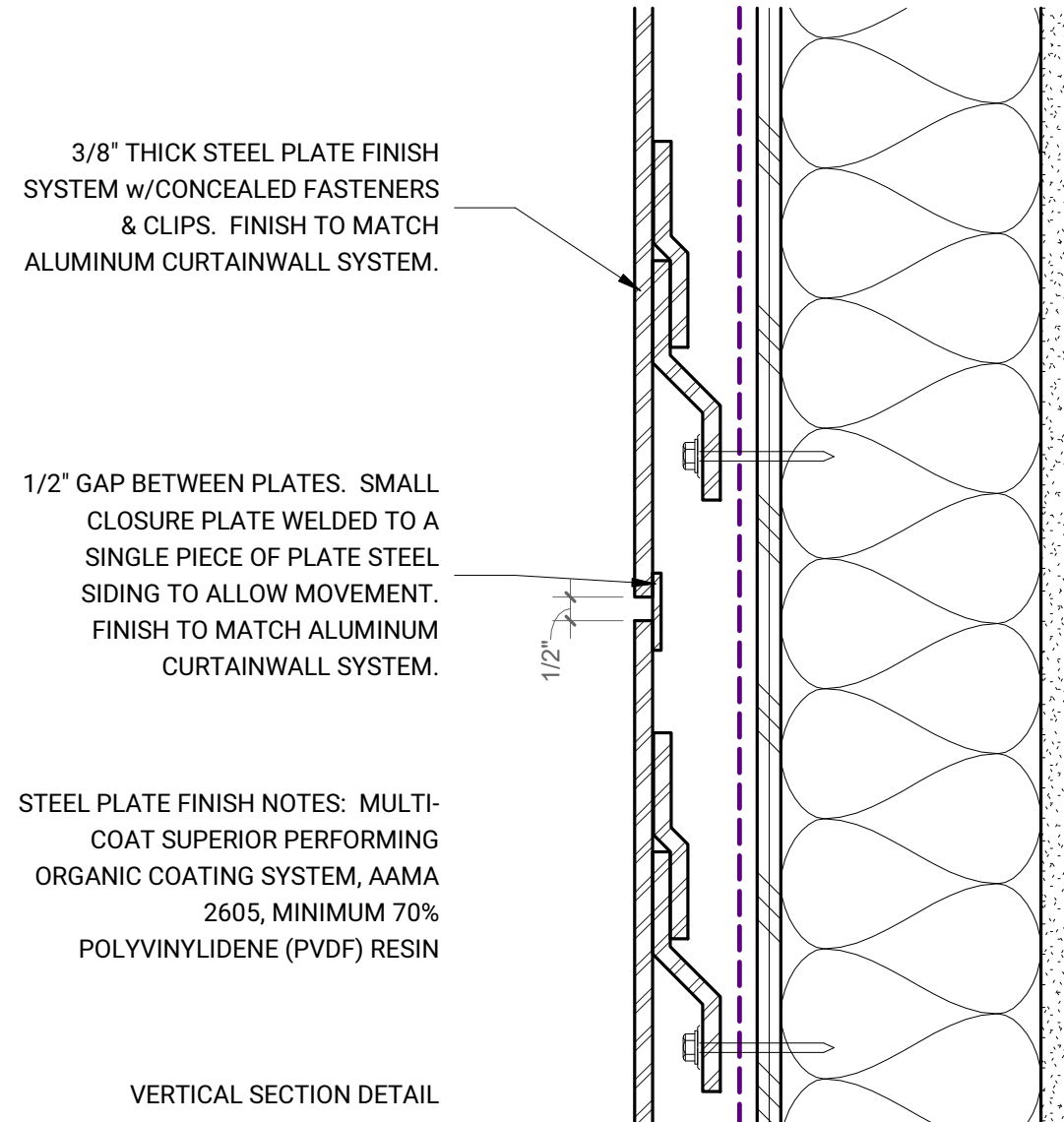
1. CURTAINWALL HEAD DETAIL

C30 SCALE: 1 1/2" = 1'-0"

Scale: 1 1/2" = 1'-0"

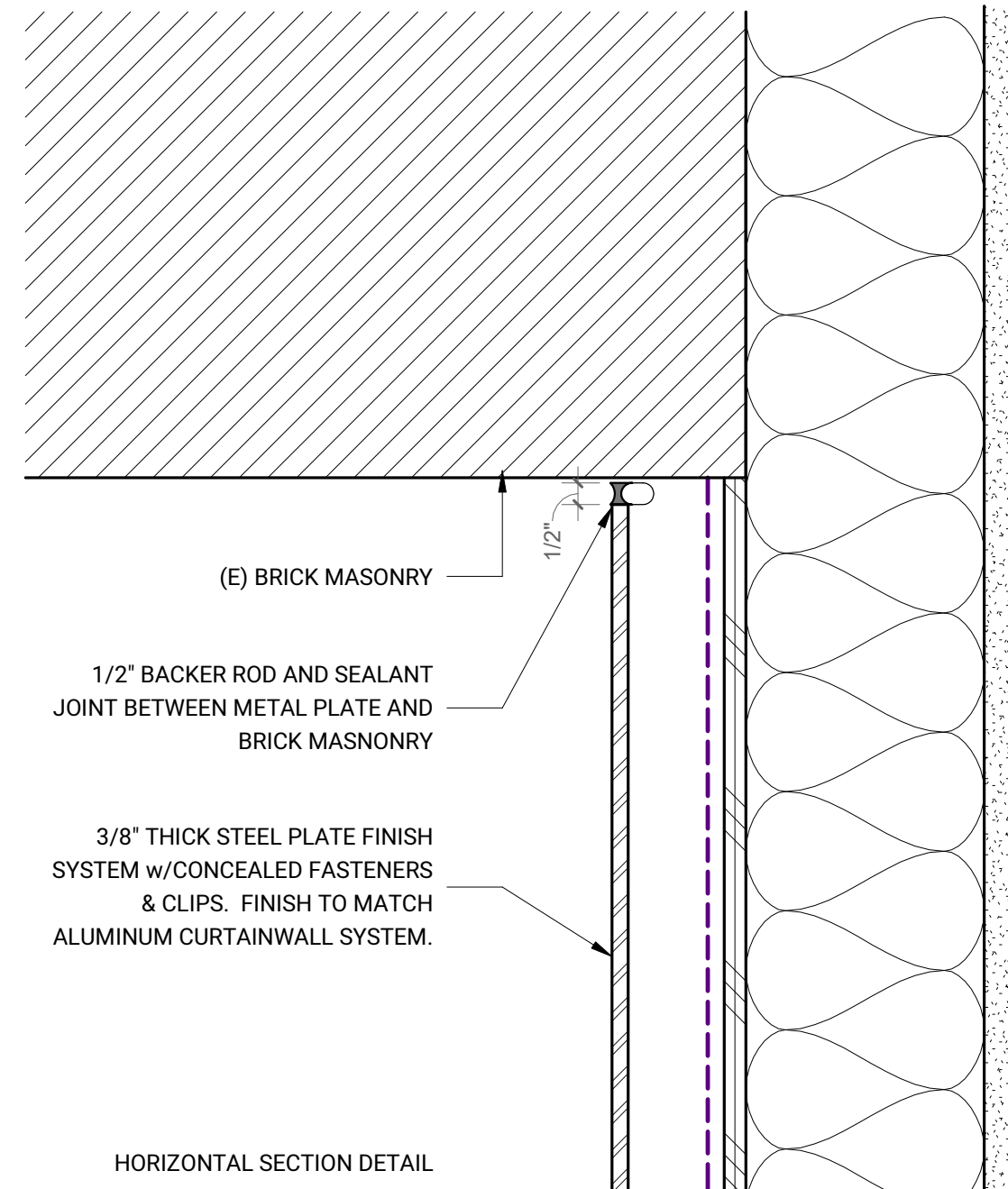
DETAILS

C31



1. METAL PLATE JOINT

C31 SCALE: 3" = 1'-0"



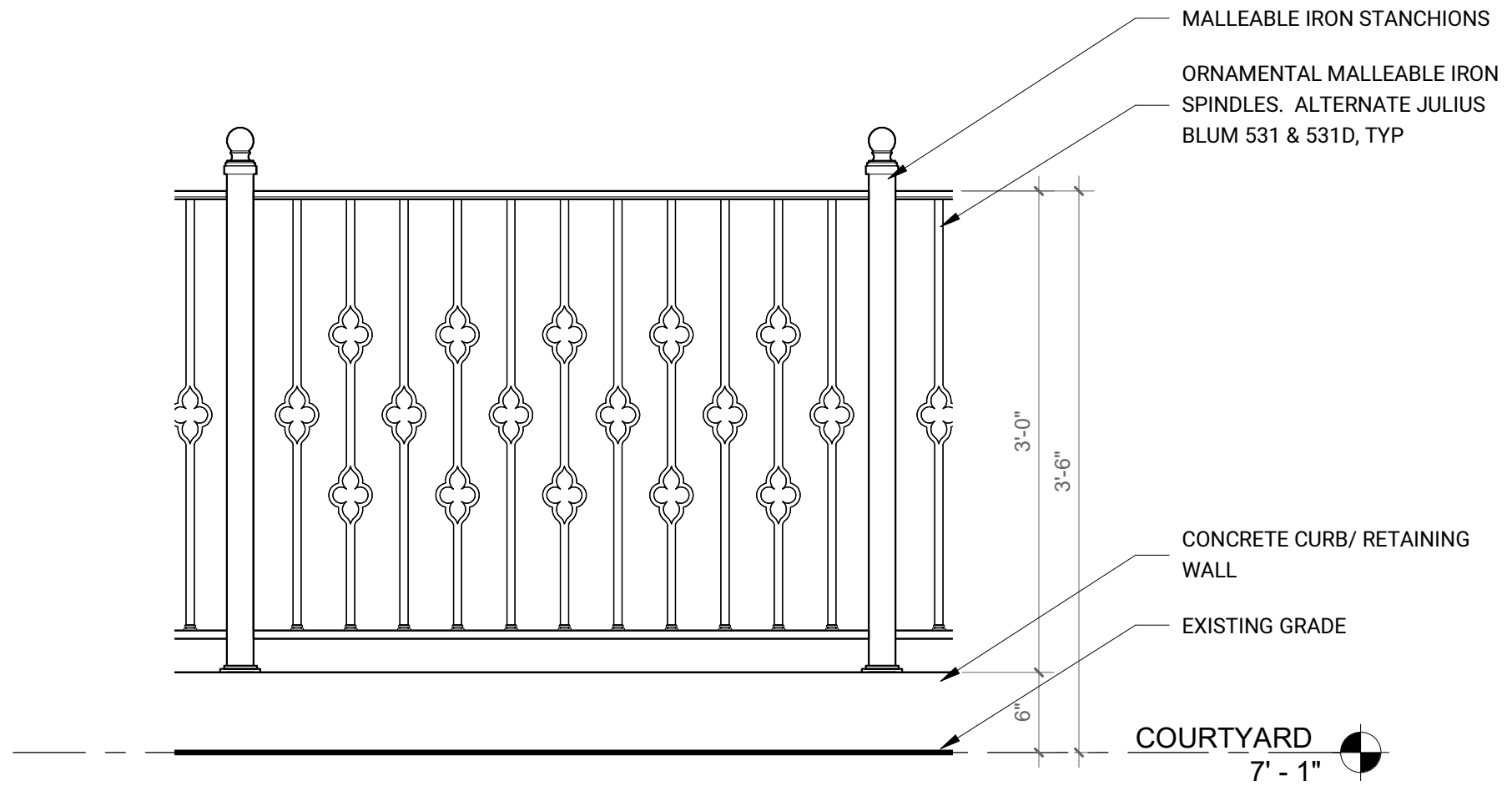
2. METAL PLATE @ BRICK MASONRY

C31 SCALE: 3" = 1'-0"

Scale: 3" = 1'-0"

DETAILS

C32



Scale: 1" = 1'-0"

CUT SHEETS - SECURITY CAMERA

C33

LOCATION: REFER TO ELEVATION DRAWINGS

BASIS OF DESIGN: AXIS DOMED SECURITY CAMERA

ADDITIONAL NOTES: NO EXPOSED CONDUIT. ROUTE CONDUIT/WIRES THROUGH MORTAR JOINTS ONLY



Datasheet



AXIS P3268-LVE Dome Camera

Outdoor 8 MP dome with IR and deep learning

Featuring Lightfinder 2.0, Forensic WDR, and OptimizedIR, AXIS P3268-LVE delivers excellent image quality under any light conditions. Based on the latest Axis system-on-chip (SoC), it includes a deep learning processing unit enabling advanced features and powerful analytics based on deep learning on the edge. Thanks to AXIS Object Analytics, it offers detection and classification of humans, vehicles, and types of vehicles—all tailored to your specific needs. Featuring audio and I/O connectivity, you can integrate equipment and extend the value of your system. Furthermore, this robust, IK10-rated, outdoor-ready camera includes built-in cybersecurity to help prevent unauthorized access and safeguard your system.

> [Excellent image quality in brilliant 4K](#)

> [Lightfinder 2.0, Forensic WDR, and OptimizedIR](#)

> [Analytics with deep learning](#)

> [Audio and I/O connectivity](#)

> [Built-in cybersecurity features](#)



Scale:



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CUT SHEETS - LIGHTING

C34

LOCATION: WALL SCONCE AT NW 17TH AVE ENTRY DOOR (SEE ELEVATIONS)

BASIS OF DESIGN: BEGA 66 655

ADDITIONAL NOTES: NO EXPOSED CONDUIT. ROUTE CONDUIT/WIRES THROUGH MORTAR JOINTS ONLY



Light emission on one-side							
	LED	β	A	B	C	D	Required wiring box
66 655	7.9 W	21°	4 1/4"	9 1/4"	6 1/4"	1 1/2"	19 537
24 034	12.1 W	17°	4 1/4"	9 1/4"	6 1/4"	1 1/2"	19 537
66 698	12.5 W	18°	5 1/4"	11"	7 3/4"	1 1/2"	19 537
24 035	18.1 W	15°	5 1/4"	11"	7 3/4"	1 1/2"	19 537

β = Beam angle

Scale:



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LOCATION: WALL SCONCE AT GARAGE DOORS & ENTRY DOOR SIGNAGE (SEE ELEVATIONS)

BASIS OF DESIGN: BEGA 24 502

ADDITIONAL NOTES: NO EXPOSED CONDUIT. ROUTE CONDUIT/WIRES THROUGH MORTAR JOINTS ONLY

LED wall luminaires - directed light

BEGA

Application

LED wall luminaires with directed light distribution designed for general illumination of pathways and building entrances from various mounting heights.

Materials

Luminaire housing constructed of die-cast marine grade, copper free (≤0.3% copper content) A360.0 aluminum alloy
Clear safety glass
Reflector made of pure anodized aluminum
Silicone applied robotically to casting, plasma treated for increased adhesion
High temperature silicone gasket
Mechanically captive stainless steel fasteners

NRTL listed to North American Standards, suitable for wet locations

Protection class IP64

Weight: 2.2 lbs

Electrical

Operating voltage 120-277V AC
Minimum start temperature -40° C
LED module wattage 14.0W
System wattage 17.0W
Controllability 0-10V, TRIAC, and ELV dimmable
Color rendering index Ra > 80
Luminaire lumens 1,216 lumens (3000K)
Lifetime at Ta = 15° C 320,000 h (L70)
Lifetime at Ta = 40° C 200,000 h (L70)

LED color temperature

- ⊖ 4000K - Product number + **K4**
- ⊕ 3500K - Product number + **K35**
- ⊖ 3000K - Product number + **K3**
- ⊖ 2700K - Product number + **K27**
- ⊖ 2200K - Product number + **K2**

BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

Finish

All BEGA standard finishes are matte, textured polyester powder coat with minimum 3 mil thickness.

Available colors Black (BLK) White (WHT) RAL:
 Bronze (BRZ) Silver (SLV) CUS:

Type:
BEGA Product:
Project:
Modified:



LED wall luminaire - directed light				
	LED	A	B	C
24 502	14.0W	4 3/4"	7 1/2"	4 3/4"



BEGA 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 info@bega-us.com

Due to the dynamic nature of lighting products and the associated technologies, luminaire data on this sheet is subject to change at the discretion of BEGA North America. For the most current technical data, please refer to bega-us.com © copyright BEGA 2018 Updated 11/05/19



LU 23-068457 HR A-2

CUT SHEETS - LIGHTING

C35

LOCATION: CEILING SEMI-FLUSH MOUNT AT ARCADES (SEE REFLECTED CEILING PLAN)

BASIS OF DESIGN: REJUVENATION LOMBARD SEMI-FLUSH MOUNT



Scale:

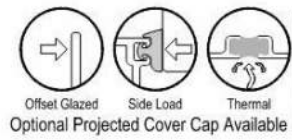
CUT SHEETS - CURTAINWALL

C36

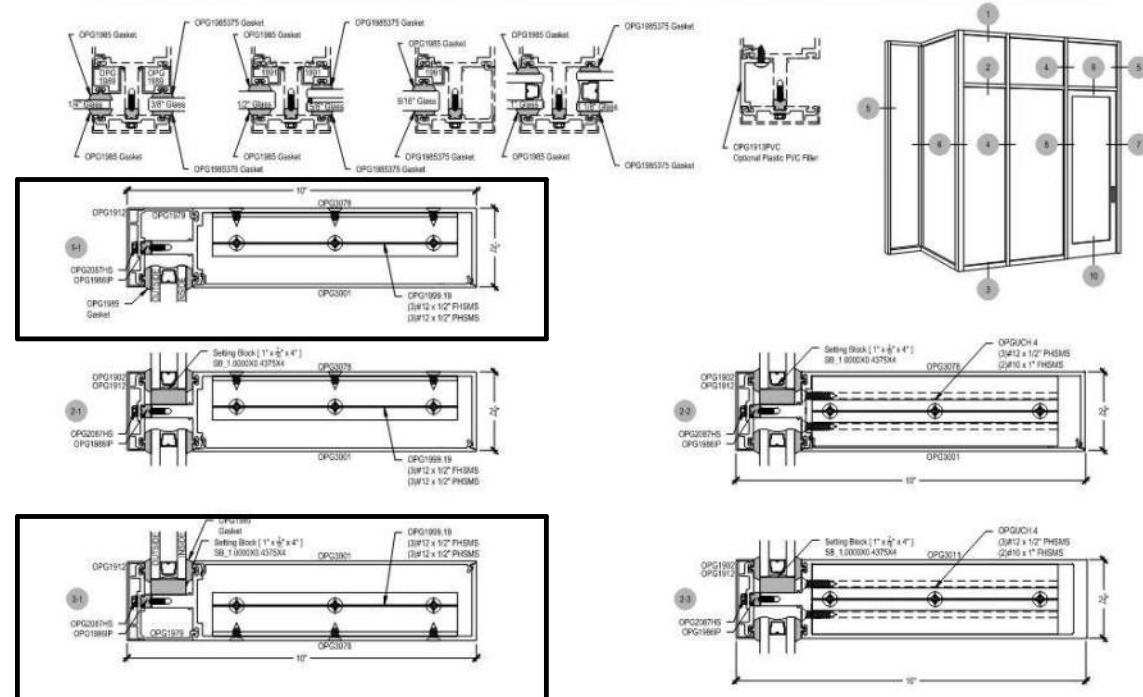
LOCATION: EAST WALL OF 'CONNECTOR' STRUCTURE

BASIS OF DESIGN: ARCADIA T500 (OPG3000) CURTAIN WALL SYSTEM

FINISH: DARK BRONZE ANODIZED

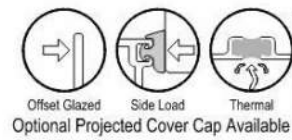


T500 (OPG3000) Series
 Description: 2 1/4" X 10" With 1/4" - 1 1/8" Glass
 Function: Curtain Wall
 Detail: Horizontals
 Scale: 3" = 1'-0"
 SHEET 1 OF 3

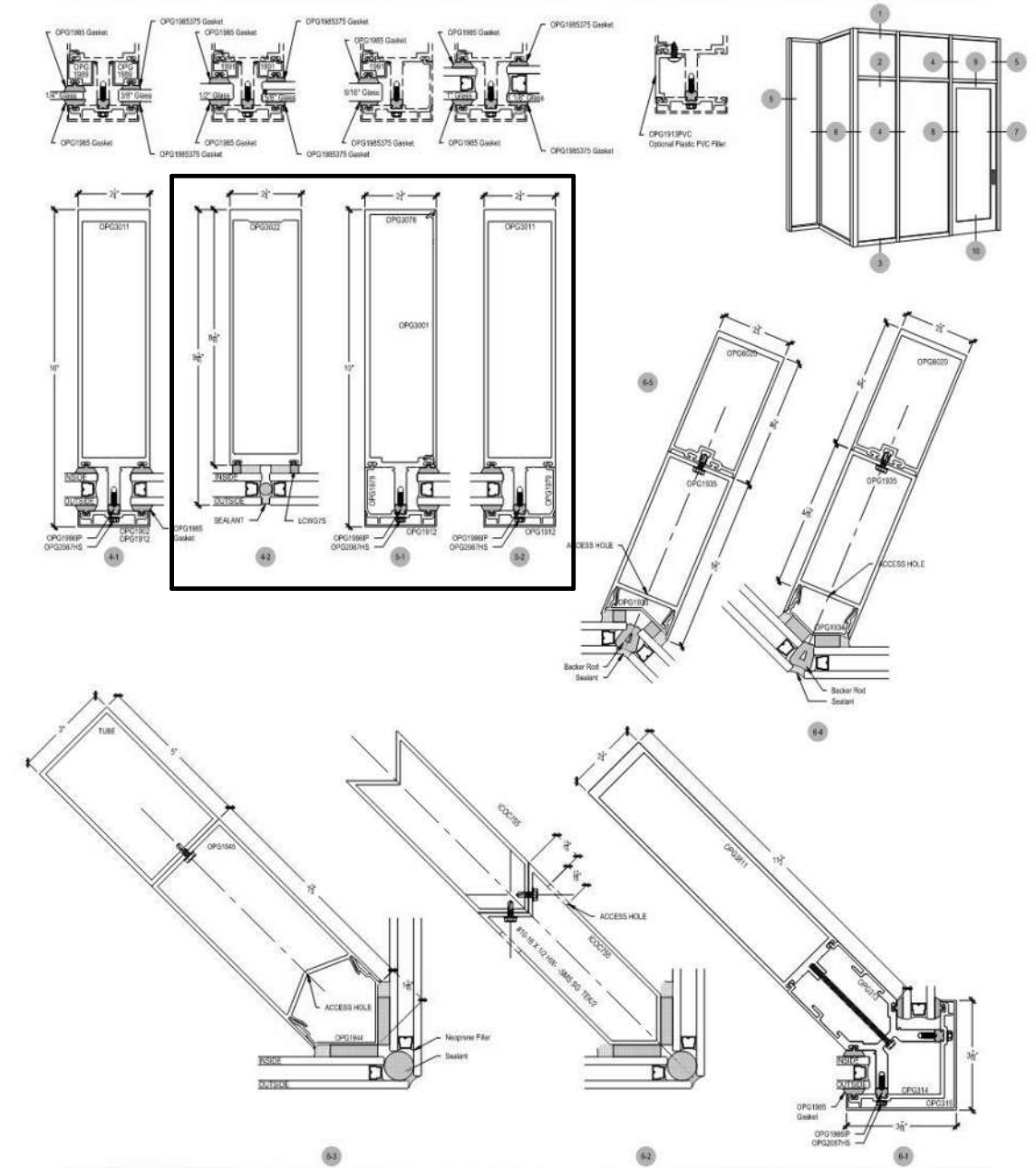


FRAMING-ARCADIA-THERMAL-OPG3000-ALL-SERIES.pdf

As of: 11/16/18



T500 (OPG3000) Series
 Description: 2 1/4" X 10" With 1/4" - 1 1/8" Glass
 Function: Curtain Wall
 Detail: Verticals
 Scale: 3" = 1'-0"
 SHEET 2 OF 3



FRAMING-ARCADIA-THERMAL-OPG3000-ALL-SERIES.pdf

As of: 07/11/18

Scale:



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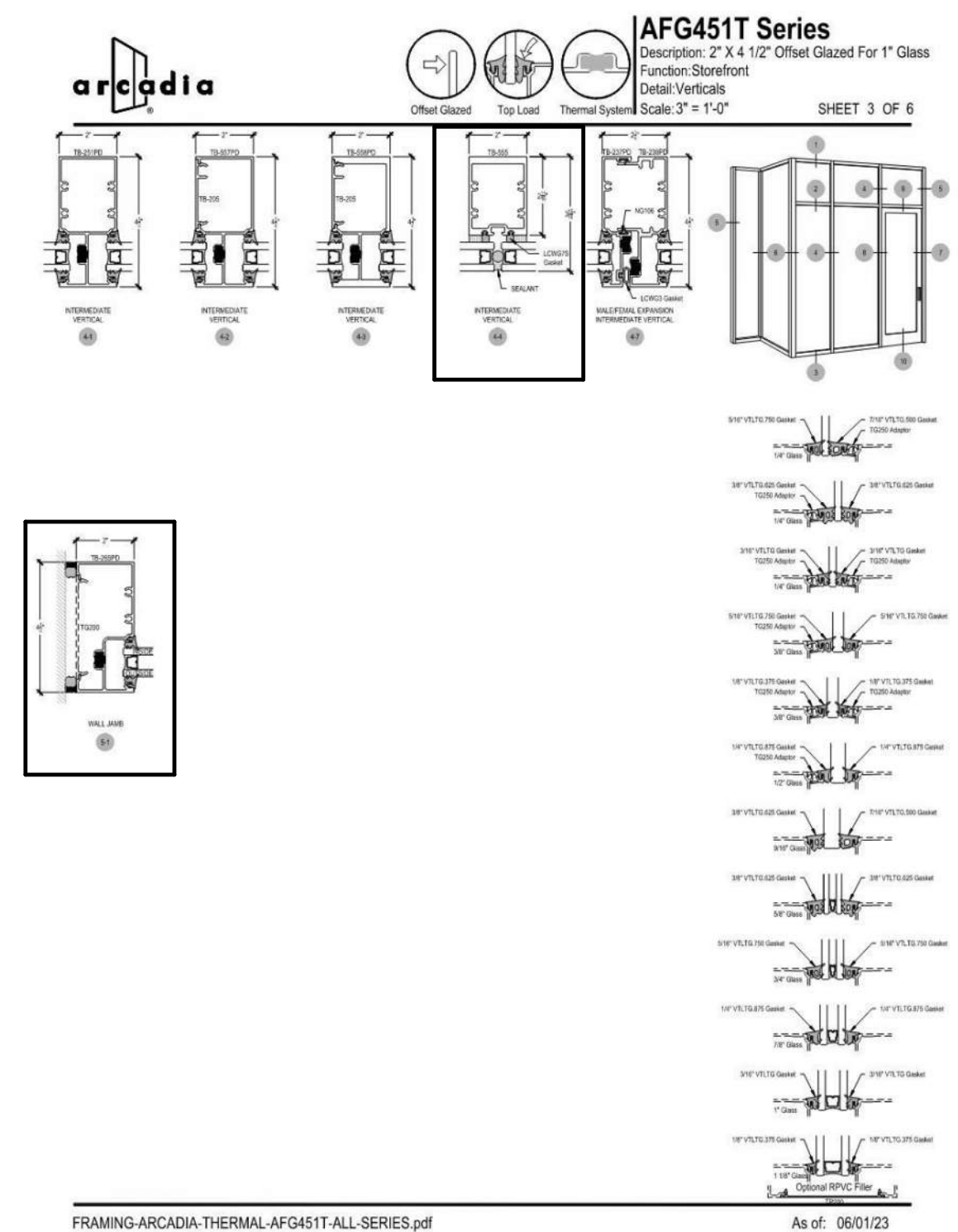
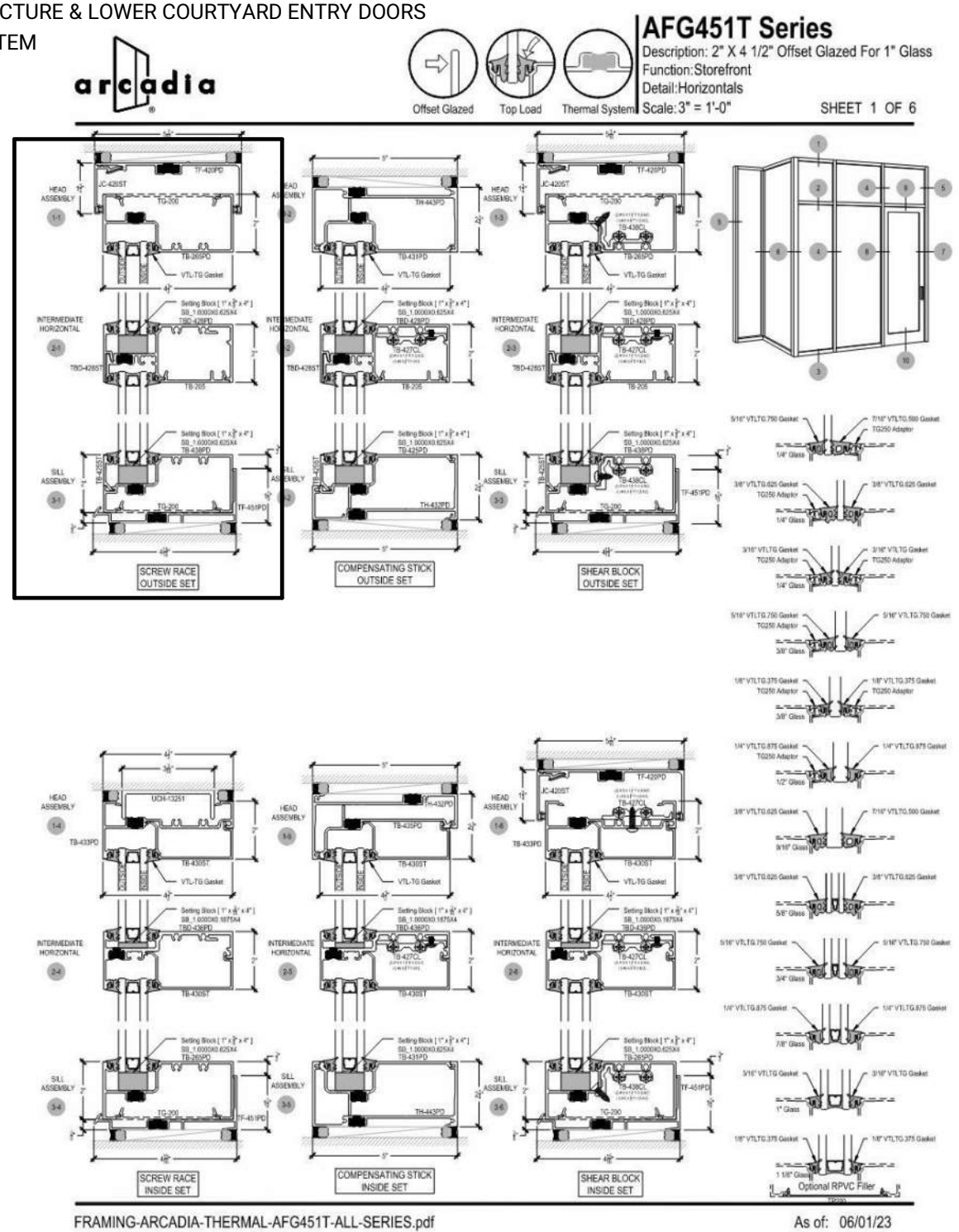
CUT SHEETS - STOREFRONT

C37

LOCATION: WEST WALL OF 'CONNECTOR' STRUCTURE & LOWER COURTYARD ENTRY DOORS

BASIS OF DESIGN: ARCADIA STOREFRONT SYSTEM

FINISH: DARK BRONZE ANODIZED



Scale:



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CUT SHEETS - DOUBLE HUNG WINDOW

C38

BASIS OF DESIGN: MARVIN ULTIMATE ALUMINUM CLAD WOOD DOUBLE HUNG G2 WINDOW
FINISH: STONE WHITE (MATCH EXISTING WOOD WINDOW PAINT)

[Return to Contents](#)

4" Mull Cover

A114

NOTE: Must also use accessory kerf weather strip - frame

Length	
150" (3810)	
Color	PN
Stone White	18800940
Bronze	18600780
Pebble	18600770
Brown	18600760
Evergreen	18600790
Wineberry	18800950
Ebony	18800952
Cashmere	19000118
Coconut Cream	19003118
Cadet Gray	19004118
Cascade Blue	19005118
Hampton Sage	19006118
Sierra White	19007118
Bright Silver	18861150
Copper	18861148
Clay	18872070
Gunmetal	18872066
Liberty Bronze	18872064
Suede	18872068

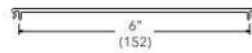


6" Mull Cover

A116

NOTE: Must also use accessory kerf weather strip - frame

Length	
150" (3810)	
Color	PN
Stone White	18800960
Bronze	18600830
Pebble	18600820
Brown	18600810
Evergreen	18600835
Wineberry	18800970
Ebony	18800972
Cashmere	19000120
Coconut Cream	19003120
Cadet Gray	19004120
Cascade Blue	19005120
Hampton Sage	19006120
Sierra White	19007120
Bright Silver	18861154
Copper	18861152
Clay	18872078
Gunmetal	18872074
Liberty Bronze	18872072
Suede	18872076



2022-10-14

Miscellaneous Mouldings, Extrusions and Accessories

Aluminum Parts

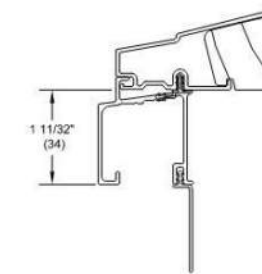
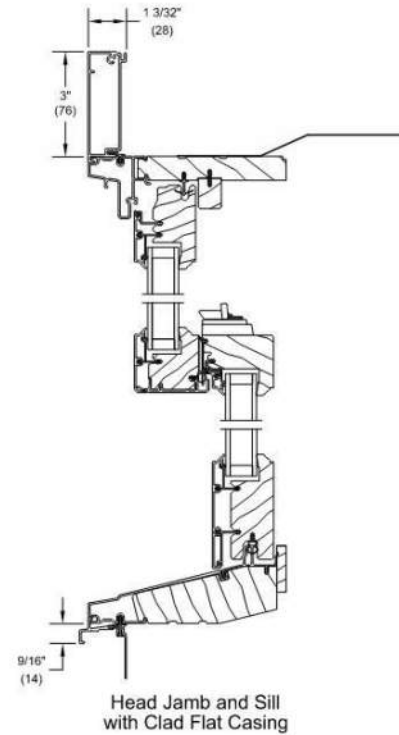
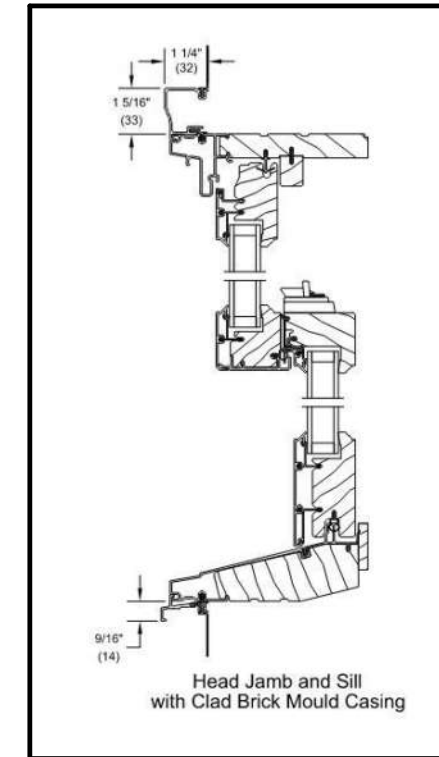
75



Ultimate Double Hung G2

Section Details: Casings

Scale: 3" = 1' 0"



Sill with (A217) Simulated Thick Subsill
Scale: 2:1

Ver 2019.3 2019-06-24

UDHG2 - 32

19972255
Marvin Architectural Detail Manual

Scale:



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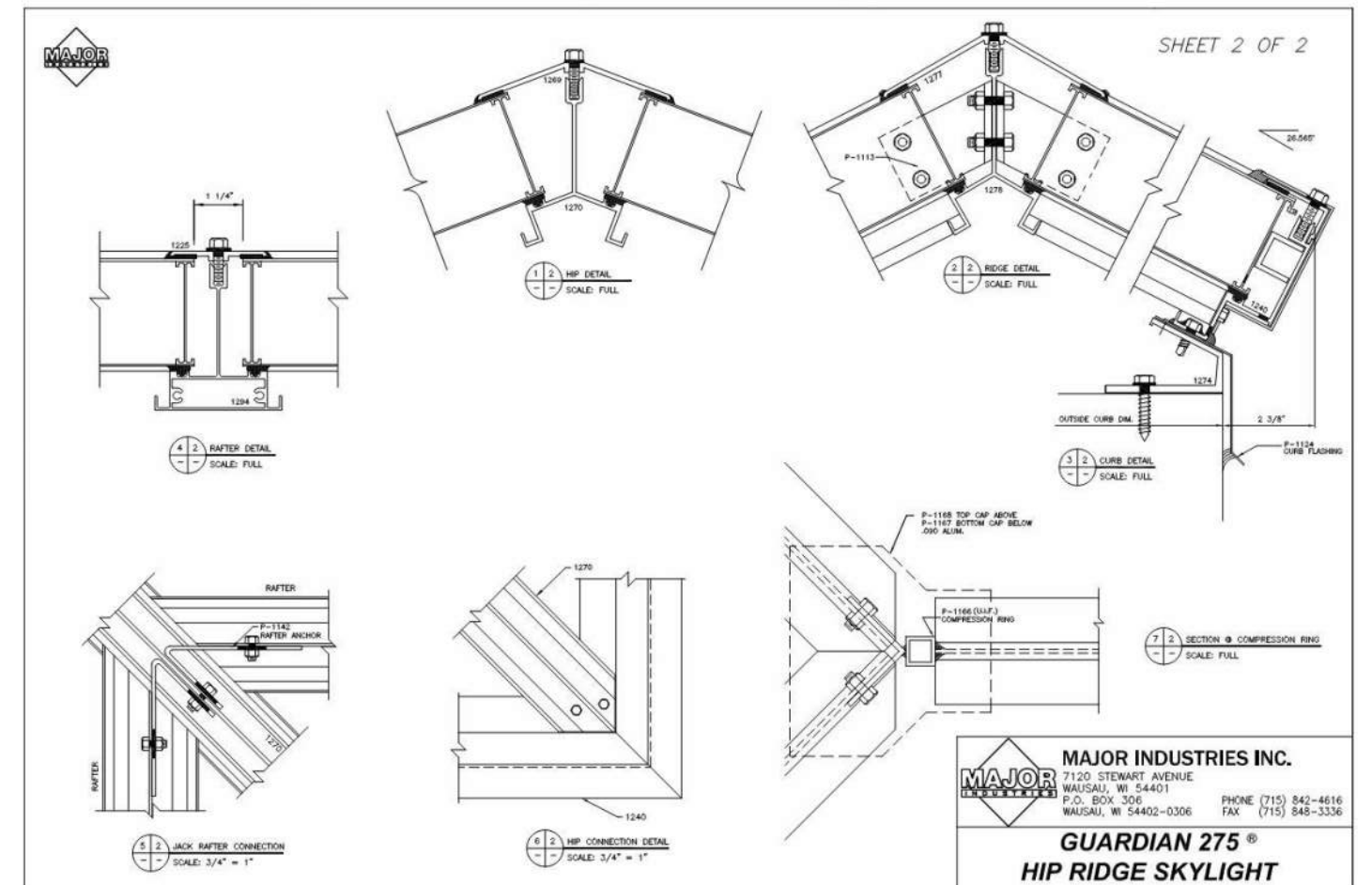
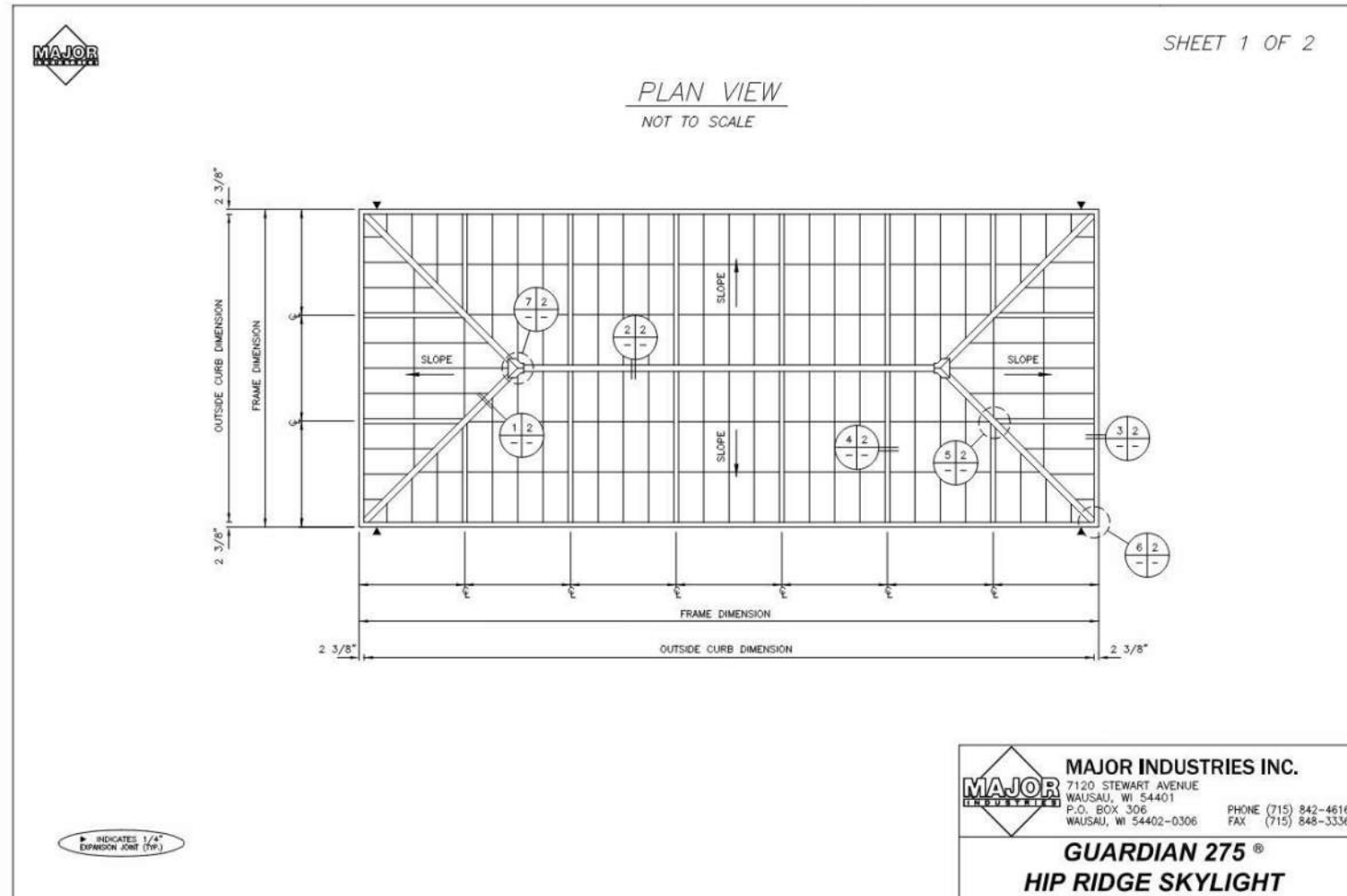
LU 23-068457 HR A-2

CUT SHEETS - SKYLIGHT

C39

BASIS OF DESIGN: MAJOR INDUSTRIES GUARDIAN 275 HIPPED SKYLIGHT

FINISH: ANODIZED DARK BRONZE



Scale:



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CUT SHEETS - ENTRY DOOR

C40

BASIS OF DESIGN: SIERRA PACIFIC ALUMINUM CLAD COMMERCIAL OUTSWING DOOR
FINISH: FRENCH LINEN OR SIMILAR (MATCH EXISTING WINDOW PAINT)



With substantial proportions, heavy-duty hinges, extra-thick extruded aluminum and endless design options, the Sierra Pacific Clad Commercial Door is the logical choice for your next commercial project. The **Wisconsin based** Clad Commercial Outswing door is specially constructed for the durability necessary to withstand the heaviest of foot traffic.

Standard Construction:

- ADA compliant 12" bottom rail; 6-1/2" stiles and top rail.
- Extruded 3 part bronze anodized ADA low profile sill.
- Clad frame is constructed with 0.050" thick extruded aluminum, mitered corners and mechanically fastened.
- 1-3/4" panel is dowel constructed with 0.093" thick extruded aluminum stile and top rail; 0.125" thick bottom rail. Optional 2-1/4" panel.
- 5-11/16" overall frame depth with standard 4-9/16" jamb depth.
- Heavy-duty 4-1/2" stainless steel ball bearing hinges (3 or 4 hinges depending on height).
- Compressible vinyl-covered foam weatherstrip is used on the head and side jambs. Pemko sweep used on the bottom of each panel. Double doors feature an adjustable Pemko weatherstrip at the meeting of the panels.



Pictured: Single panel Commercial Outswing Door with hardware as supplied by others.

MINIMUM / MAXIMUM FRAME SIZES			
Additional sizes may be available upon approval.			
1-WIDE OPERATING		2-WIDE OPERATING	
Minimum Frame Width	24-1/2"	Minimum Frame Width	46-3/4"
Minimum Frame Height	86-1/4"	Minimum Frame Height	86-1/4"
Maximum Frame Width	45-1/8"	Maximum Frame Width	87"
Maximum Frame Height	98-1/4"	Maximum Frame Height	98-1/4"

Performance Data:

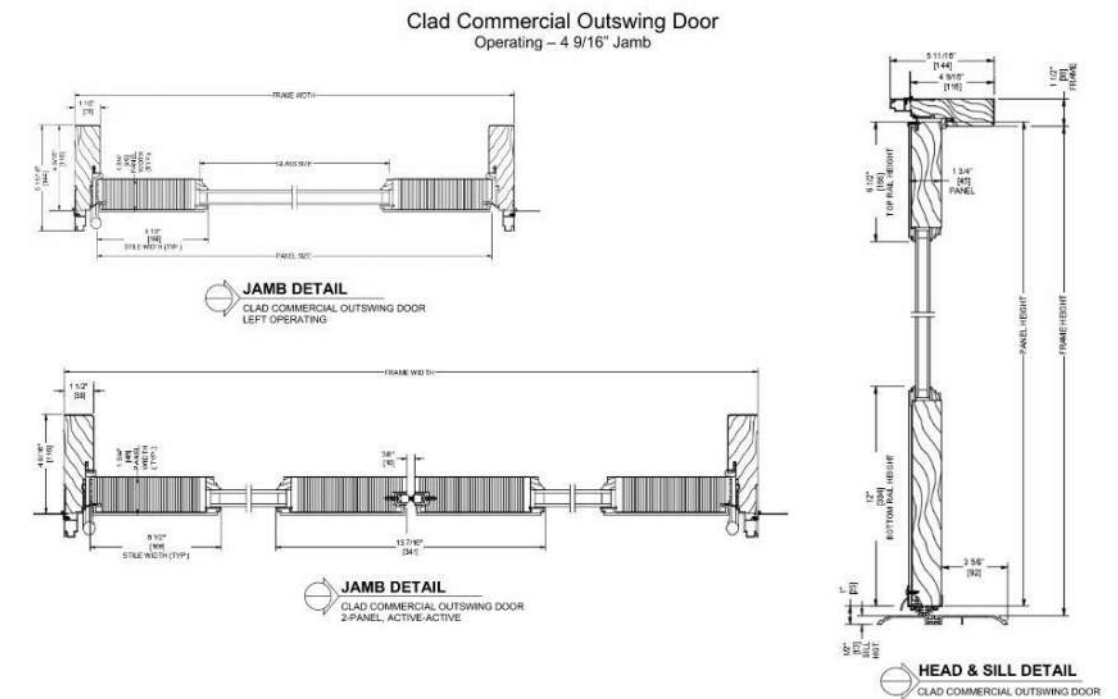
Due to the design of the low profile sill (ADA compliant) and the operating hardware being supplied by others, this product does not carry a Design Pressure (DP) rating for air or water infiltration.

Thermal Performance (NFRC):

Air Filled			Argon Filled		
Low-E Clear	Low-E 366	Low-E 366/189	Low-E Clear	Low-E 366	Low-E 366/189
U-FACTOR.....0.34	U-FACTOR.....0.34	U-FACTOR.....0.30	U-FACTOR.....0.32	U-FACTOR.....0.31	U-FACTOR.....0.29
SHGC.....0.22	SHGC.....0.15	SHGC.....0.14	SHGC.....0.21	SHGC.....0.14	SHGC.....0.14
VT.....0.36	VT.....0.32	VT.....0.31	VT.....0.36	VT.....0.32	VT.....0.31
CR.....58	CR.....58	CR.....46	CR.....58	CR.....58	CR.....50

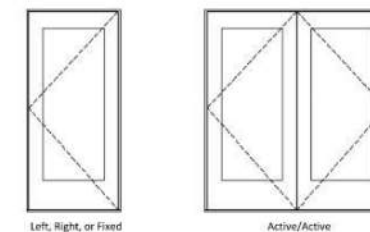
All values represent insulated glass units using standard black warm edge spacer. Additional glazing options available.

For a comprehensive list of glazing configurations, please refer to the Clad Commercial Outswing Door Product Performance Guide (NFRC) located in the Technical Resources Library on our website.



Additional product details may be found on our website www.sierrapacificwindows.com/ProfessionalResources/TechnicalLibrary

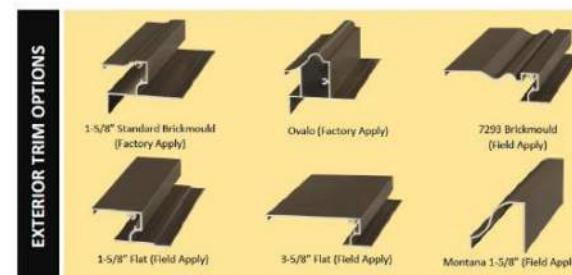
Typical configurations shown. Handing as viewed from the exterior. Contact us for additional options.



Clad Commercial Door Additional Features

- Color Palette of 70 powder coated finishes in six design collections that meet AAMA 2605 and AAMA 2604 specifications.
- Extensive offering of performance glass available using black warm edge or Cardinal spacer for optimum efficiency.
- Simulated Divided Lites available in 5/8", 7/8" and 1" Putty; 5/8", 7/8", 1", 1-1/4" and 2" Traditional and Contemporary.
- Grilles-Between-Glass available in 5/8" and 1" flat.
- Intermediate rails with optional panel inserts in multiple configurations.

Please visit our website www.sierrapacificwindows.com for additional details or to contact your nearest Sierra Pacific Branch or Dealer location.



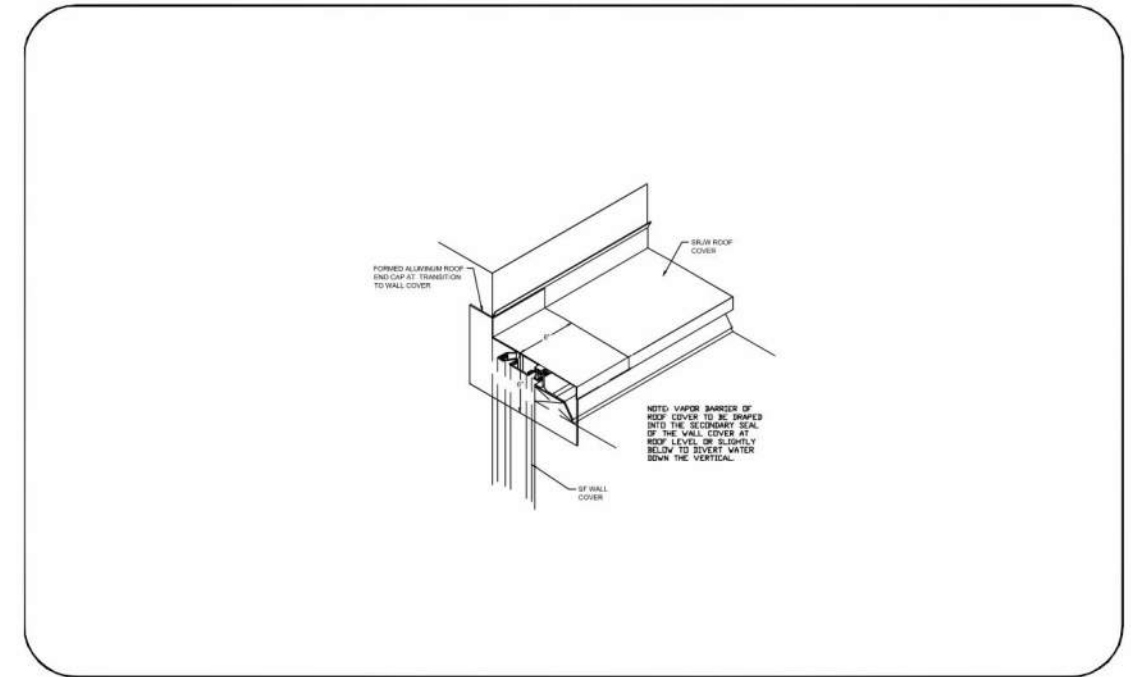
Scale:

CUT SHEETS - EXPANSION JOINT

C41

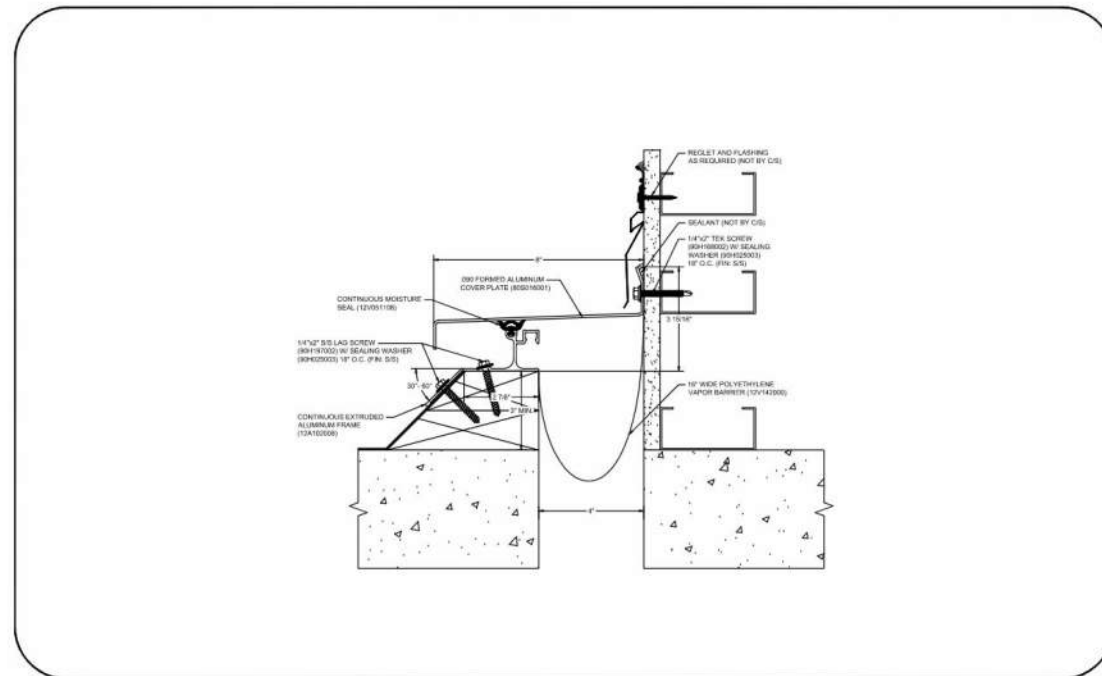
BASIS OF DESIGN: CONSTRUCTION SPECIALTIES CONSTROL JOINT SYSTEMS

FINISH: MATCH ADJACENT METAL PLATE & CURTAINWALL SYSTEM



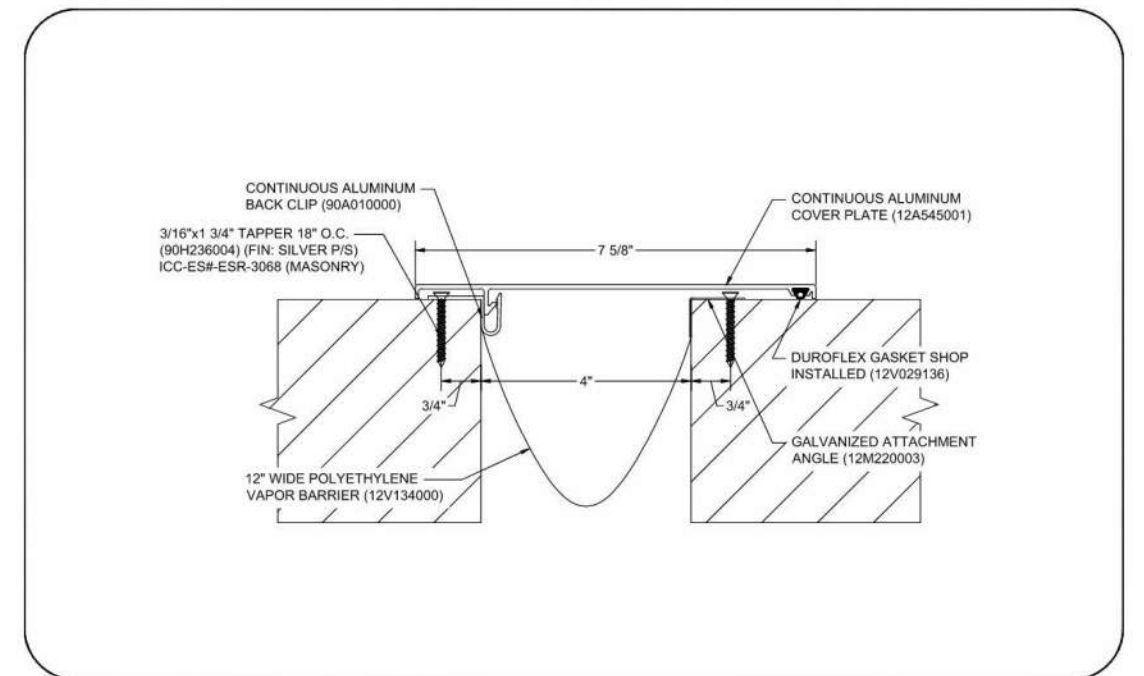
Model: **SRJW FEW END**

Construction Specialties www.csgroup.com 6696 Route 405 Highway, Muncy, PA, 17756 Phone: (800) 233-8483 / Fax: (717) 546-8022 895 Lakeshore Promenade, Mississauga, Ontario L5E 2C2 Canada Phone: (888) 895-8955 / Fax: (905) 274-6241	DISCLAIMER: This document is the property of Construction Specialties, Inc. and contains confidential proprietary information that is not to be disclosed to third parties outside the project without approval in writing from Construction Specialties, Inc.	PROJECT: _____	SCALE: 3" = 1'-0"
	CUSTOMER: _____	DATE: _____	
	LOCATION: _____	JOB NO.: _____	
	DRAWN BY: _____	SHEET NO.: _____	



Model: **SRJW-400**

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	CUSTOMER: _____	DATE: _____	
	LOCATION: _____	JOB NO.: _____	
	DRAWN BY: _____	SHEET NO.: _____	



Model: **ASM-400X**

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	CUSTOMER: _____	DATE: _____	
	LOCATION: _____	JOB NO.: _____	
	DRAWN BY: _____	SHEET NO.: _____	

Scale:

August 30, 2023

Tanya Paglia, Planner
Land Use Services Division
1900 SW 4th Avenue, Suite #500
Portland, Oregon 97201

RE: Land Use Review LU 23-068457 HR – St Mary's Church Complex Admin Buildings

Dear Tanya,

The Archdiocese of Portland design team has received your completeness letter for our Historic Resource Review application for the St. Mary's Cathedral property at 1715 NW Couch Street. As a follow up to our virtual meeting and discussion on August 22, 2023 we are providing the below response to be deemed complete, proceed with the Land Use Review Process, and present our case in front of the Landmarks Commission.

The outline of points below matches the items, numbering and naming in your completeness letter. We have also attached a few exhibits that have been requested.

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INTERIOR SPACE PLANNING & USER EXPERIENCE:

In the process of remodeling the double doors and stairway at NW 17th Avenue to become the new main entry the design team reviewed various options for reconfiguring and moving the stairs to enhance the entry sequence for building staff and visitors. By moving the main building stairs into the connecting structure, a true lobby and three-story vertical volume is created.



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A major component of this project is providing accessible routes to all floors of the building. The new elevator at the entry lobby facilitates accessibility throughout all levels of the building with four stops in the three-story structure.

EXISTING EAVE HEIGHTS:

The third-floor levels of the north and south buildings do not align, nor do their eaves. The design team reviewed options for locating the roof of the new connecting structure vertically between the south building eave and north building eaves to minimize its height and presence. In careful study it was determined we could not provide a building code minimum ceiling height at the third floor and achieve this lower overall height under the existing south building eave and achieve a watertight design. The height of the connecting structure is based on the minimum height required to provide a consistent interior ceiling plane, roofing crickets, and flashing to provide positive drainage at the affected roof area, and a tall enough coping and counterflashing to obtain a roofing warranty.

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the exterior with an aluminum cover plate which is integrated into the adjacent metal plate cladding and aluminum curtainwall system.

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COLOR:

The selected color was derived from review of the existing masonry blend, selection of the darkest umber brick from the mix, then making final adjustments to provide a color that was compatible with the curtainwall system options.

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Roof plan sheets, Exhibit B, representing existing and proposed conditions.

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Please see attached Building Section of 'Rat's Alley' – Exhibit H

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Our intent is to identify the new windows as non-original period style double hung windows which break from the existing pattern by not utilizing muntins in the six-over-six pattern seen elsewhere on the building.

7. NON-CONFORMING UPGRADE STATUS

Our team will be submitting a permit for the Parking Lot, 1715 WI / NW Couch street (R140858), in the next few weeks which will bring that property out of non-conformance.

Our team has reviewed the school property at 110 NW 17th Avenue (R140775) and we have noted the only non-conforming item as compliant screening of a trash and mechanical space visible from NW 16th Avenue.

We believe the main St. Mary's Cathedral property does not currently have any non-conforming situations and we will note this on our future permit documents once this Type III Land Use Process is complete.

8. INFRASTRUCTURE BUREAU COMPLETENESS ITEMS

BES LUR Completeness Letter: There are no items to respond to.

PBOT Pre-Application Conference Response: Our team will be submitting the Public Works Permit concept plan in the next few weeks which will start the PWP process. We will also be submitting a DDE in the next few months. In regards to the loading zone – we are awaiting your reply on whether or not we are required to have a loading space on this project before we respond.

BES Pre-Application Conference Response: Our team has reviewed BES comments and will incorporate any triggered requirements in our forthcoming building permit application when the Land Use process is finalized.

Site Development Pre-Application Conference Response: There are no items to respond to.

Water Bureau Pre-Application Conference Response: Our team has reviewed Water Bureau comments and will incorporate any triggered requirements in our forthcoming building permit application when the Land Use process is finalized.

Portland Fire Pre-Application Conference Response: There are no items to respond to.

Urban Forestry Pre-Application Conference Response: Our team currently has a permit under review with existing tree protection plan in place. We will continue to meet Urban

Forestry requirements in forthcoming permit application when the Land Use Review process is completed.

9. FAR

As noted on page 12 Item 13 of the Land Use Review Narrative dated 07.26.2023 – The current FAR is roughly 1:1 which is well under the maximum FAR of 3:1.

10. NOTES FROM PRELIMINARY LIFE SAFETY MEETING

There are no official notes from this meeting.

Sincerely,



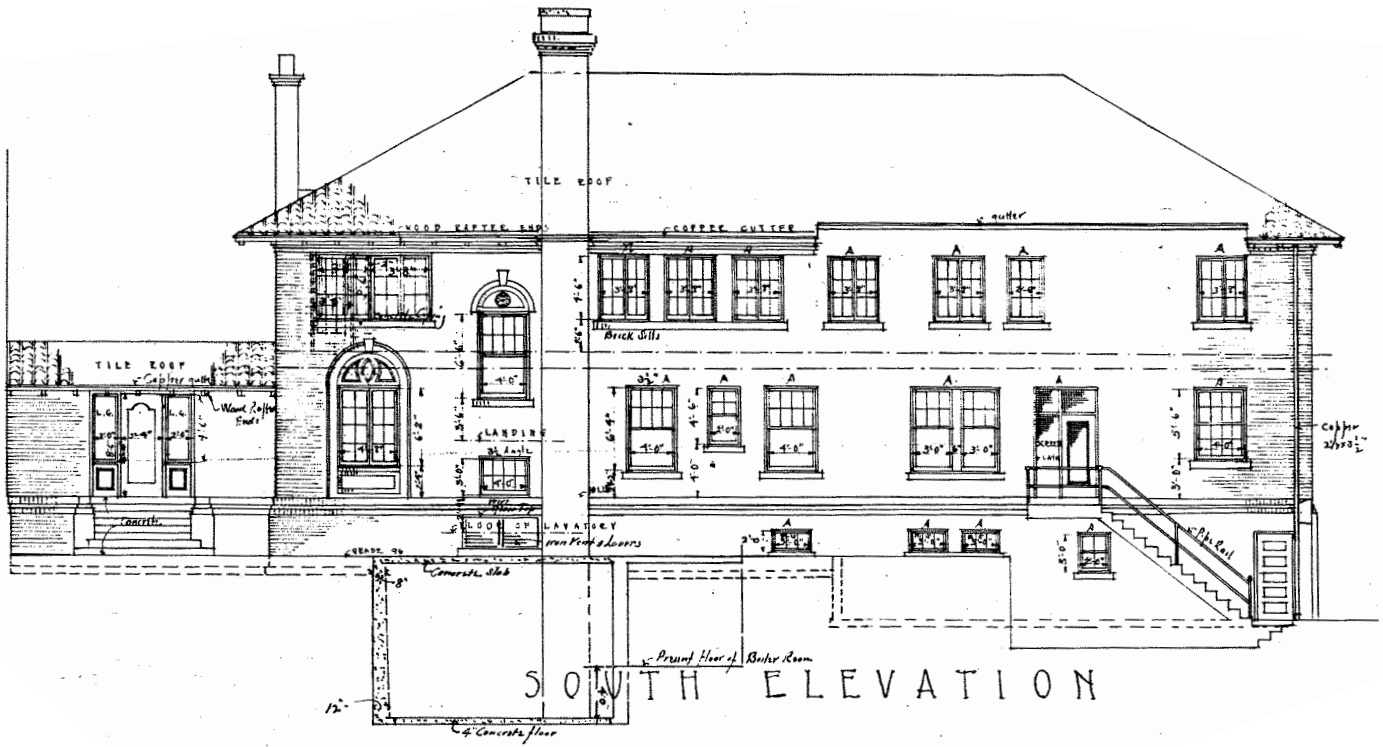
Zachary Freund, Project Architect

LRS Architects, Inc.



Michael Roberts, Senior Associate

LRS Architects, Inc.

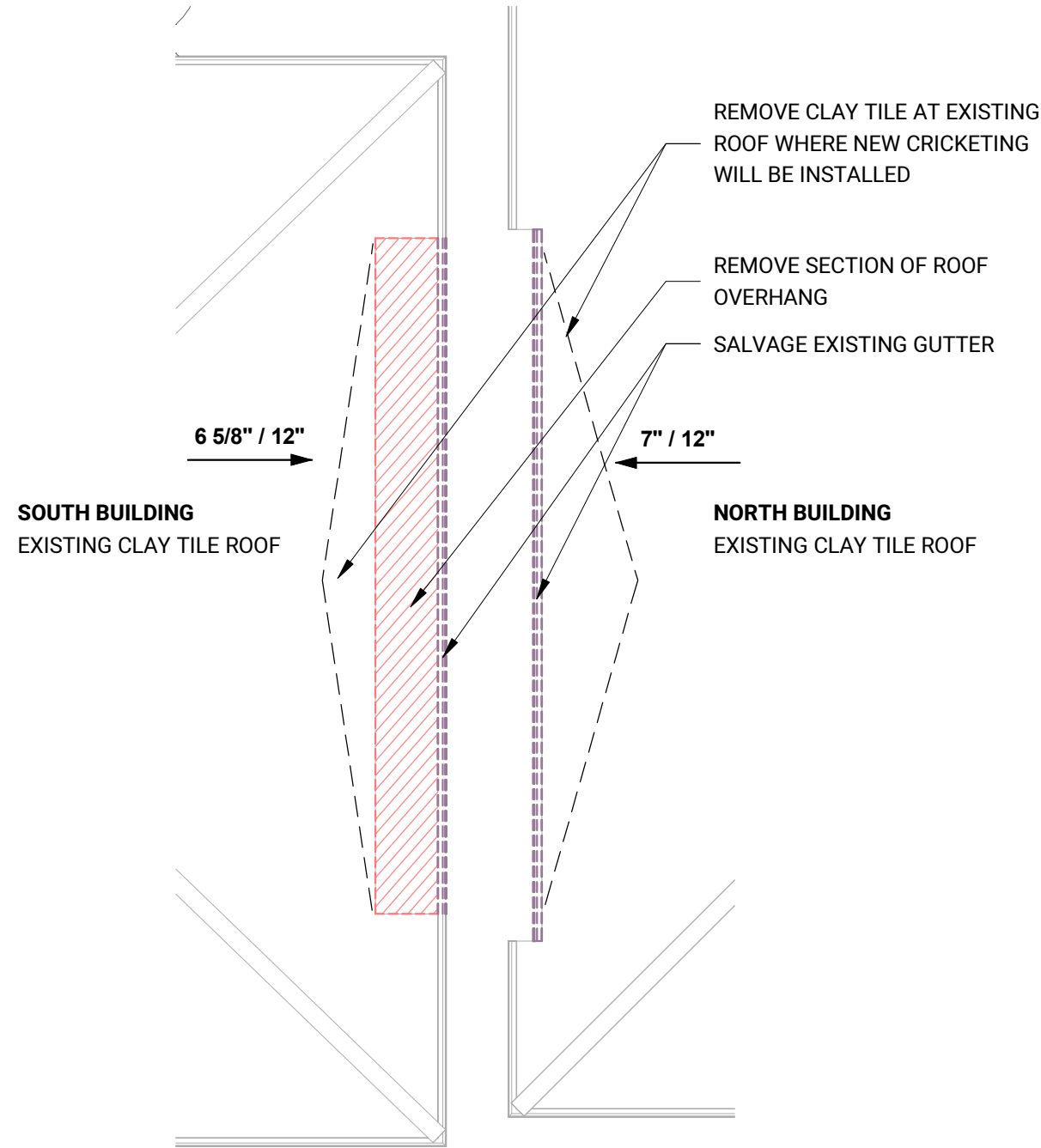


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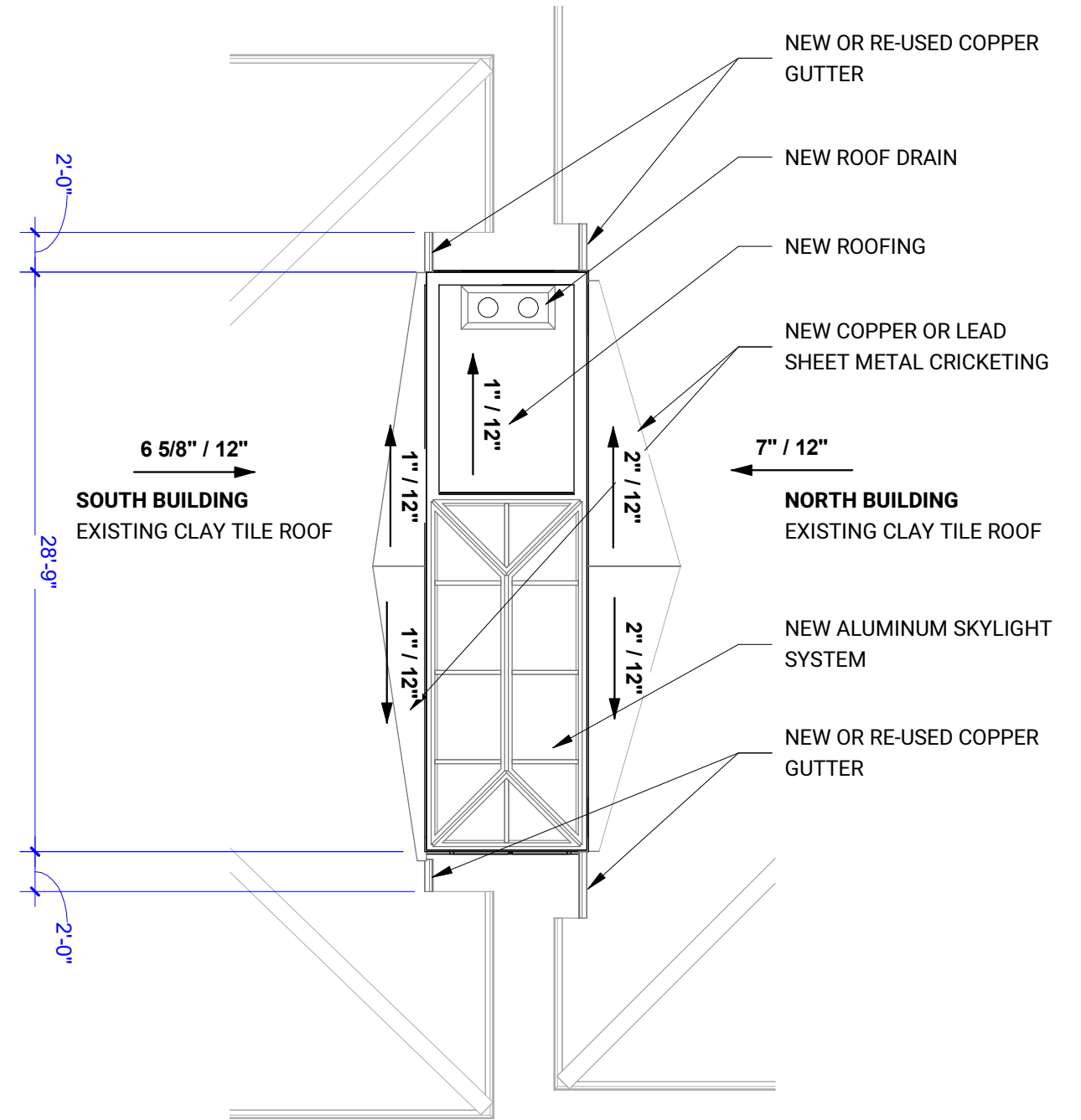
TITLE...ST. MARY'S CATHEDRAL...DATE...1925.....
 LOCATION...18th & COVCH STS...LOT.....BLK 147...
 JACOBBERGER AND SMITH ARCHITECTS
 617 Railway Exchange Bldg. Portland, Oregon

ENLARGED ROOF PLANS

C11-1



EXISTING ROOF PLAN
1/8" = 1'-0"



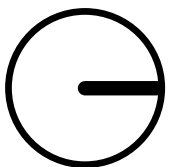
NEW ROOF PLAN
1/8" = 1'-0"

Scale: 1/8" = 1'-0"



221084 | ARCHDIOCESE PASTORAL CENTER OFFICES |
08.30.2023

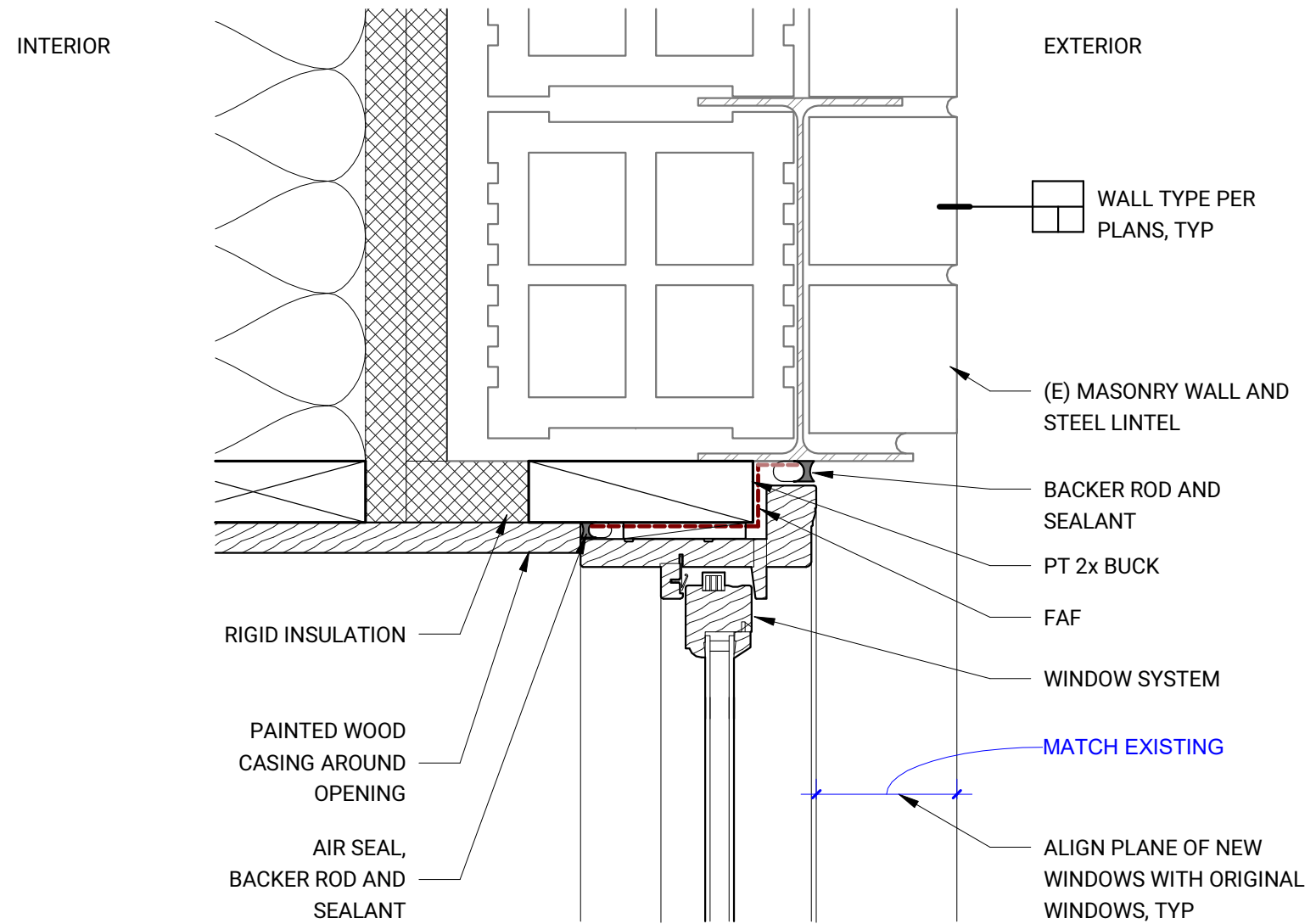
NOT FOR CONSTRUCTION



LU 23-068457 HR A-4

DETAILS

C32.1

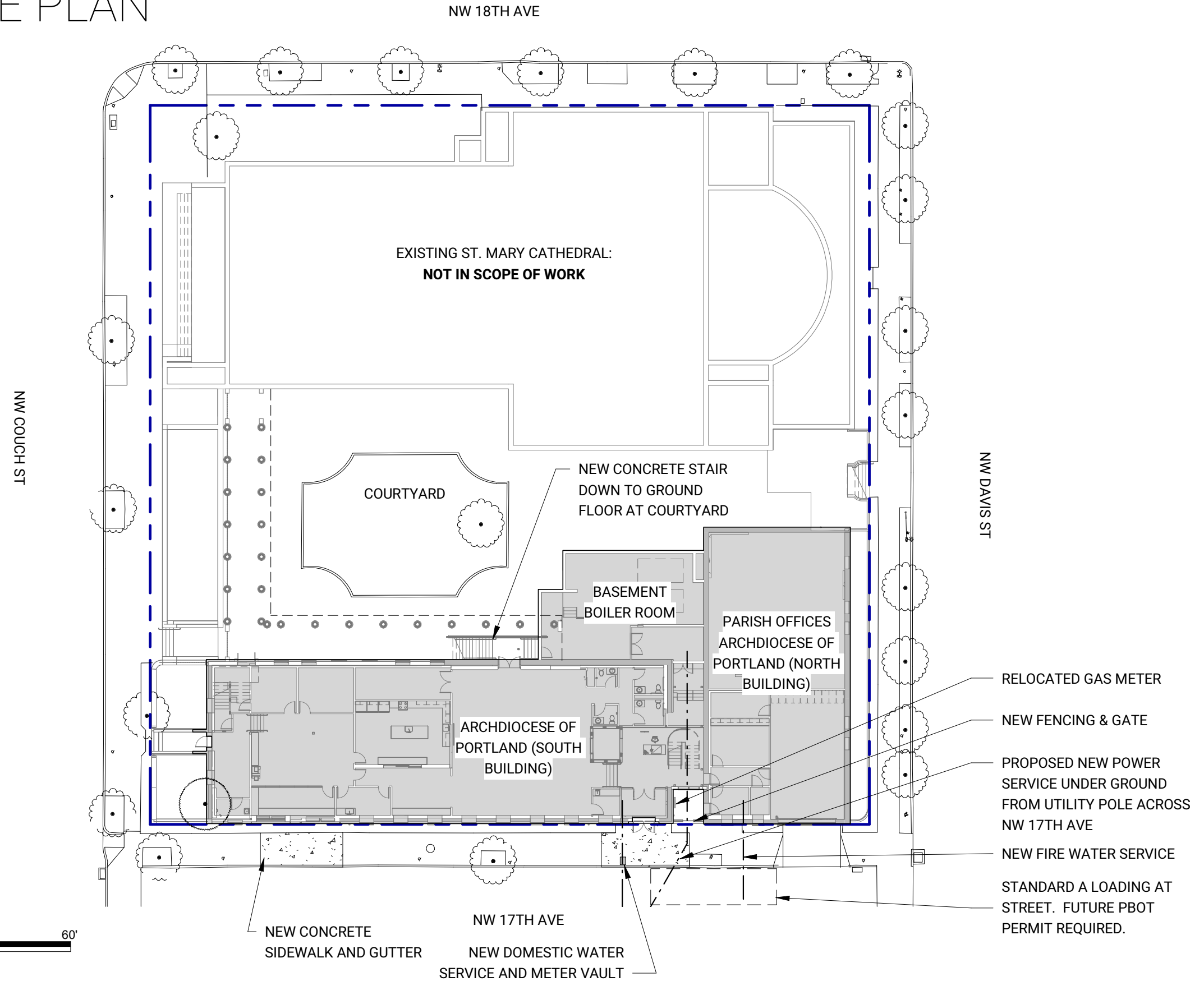


NEW WINDOW HEAD @ MASONRY DETAIL

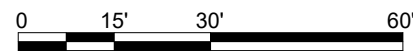
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PROPOSED SITE PLAN

C8



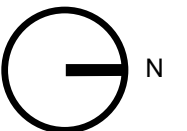
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NEW CONCRETE
SIDEWALK AND GUTTER

NW 17TH AVE
NEW DOMESTIC WATER
SERVICE AND METER VAULT

- RELOCATED GAS METER
- NEW FENCING & GATE
- PROPOSED NEW POWER SERVICE UNDER GROUND FROM UTILITY POLE ACROSS NW 17TH AVE
- NEW FIRE WATER SERVICE
- STANDARD A LOADING AT STREET. FUTURE PBOT PERMIT REQUIRED.

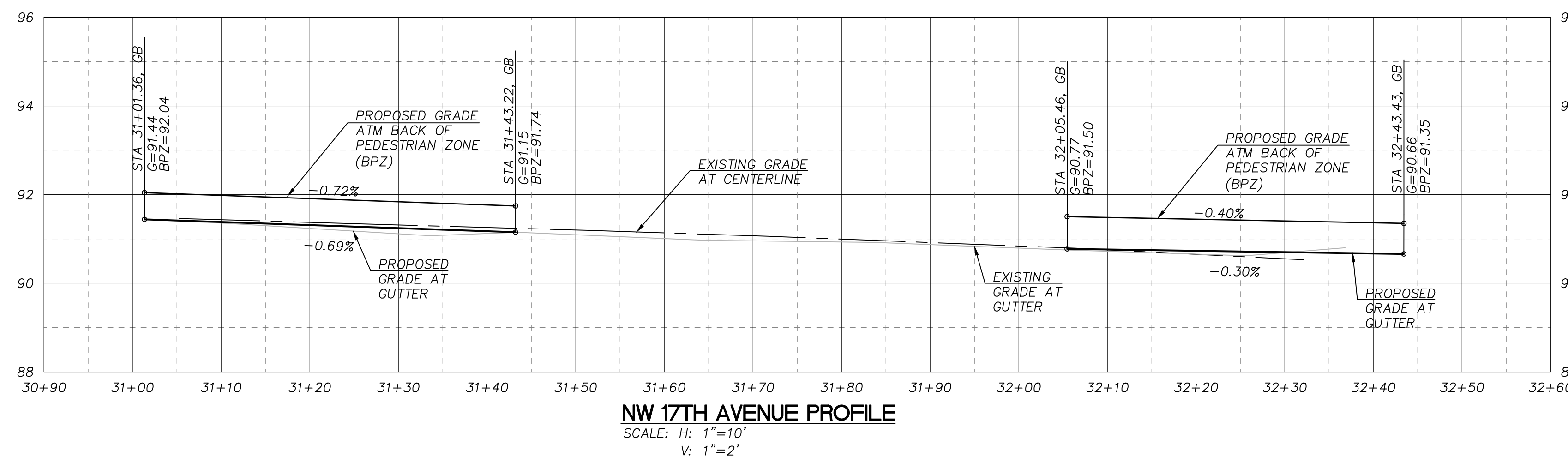


CONSTRUCTION NOTES

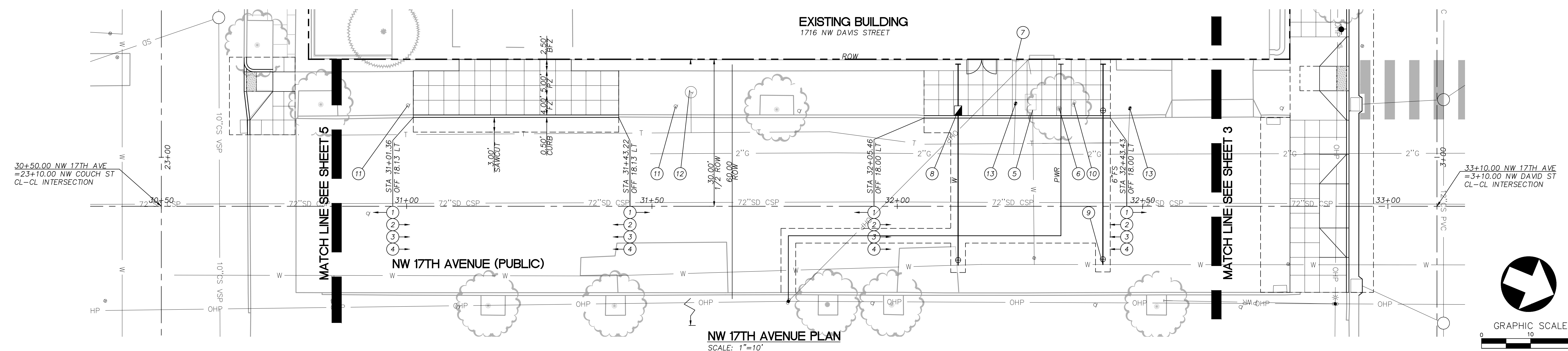
- 1 PROTECT EXISTING CURB AND SIDEWALK.
- 2 CONSTRUCT CONCRETE MONOLITHIC CURB AND SIDEWALK PER PBOT STD. DWG. NO. P-551 AND TYPICAL SECTION DETAIL 1, SHEET 2.
- 3 SAWCUT 3.0' FROM NEW CURB LOCATION PER PBOT STD. DWG. NO. P-518. REMOVE EXISTING A.C. PAVEMENT TO CUT LINE. SEE TYPICAL SECTION, DETAIL 1, SHEET 2.
- 4 CONSTRUCT A.C. PAVEMENT PER TYPICAL SECTION DETAIL 1, SHEET 2, AND PER PBOT STD. DWG. NO. P-506 & P-518. REMOVE EXISTING STREET TREE.
- 5 KILL EXISTING WATER SERVICE BY WATER BUREAU, UNDER SEPARATE PERMIT.
- 6 REMOVE EXISTING STREET TREE.
- 7 RELOCATE EXISTING GAS METER INTO BUILDING.
- 8 INSTALL NEW XX" WATER METER BY PORTLAND WATER BUREAU. APPLICANT MUST CONTACT PWB AT WBSTATESHED@PORTLANDOREGON.GOV TO REQUEST INSTALLATION. CONTRACTOR TO CONNECT TO THE SHORT STUB-OUT ON THE BACK-SIDE OF THE WATER METER.
- 9 INSTALL NEW FIRE SERVICE BY PORTLAND WATER BUREAU. APPLICANT MUST CONTACT PWB AT WBSTATESHED@PORTLANDOREGON.GOV TO REQUEST INSTALLATION. CONTRACTOR TO CONNECT TO THE SHORT STUB-OUT ON THE BACK-SIDE OF THE GATE VALVE.
- 10 REMOVE EXISTING WOOD UTILITY POLE.
- 11 PROTECT EXISTING SIGN AND POST.
- 12 PROTECT EXISTING TELECOMMUNICATION MANHOLE.
- 13 PROTECT EXISTING GAS VALVE.

CONCEPT PWP

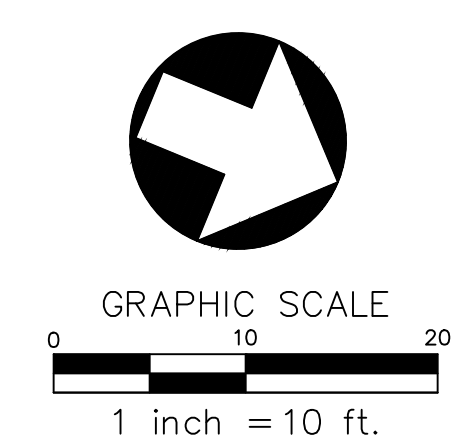
EXHIBIT E
PUBLIC WORKS PERMIT CONCEPT PLAN SUBMISSION
UTILITIES SHOW ENTERING THE BUILDINGS



NW 17TH AVENUE PROFILE
SCALE: H: 1"=10'
V: 1"=2'



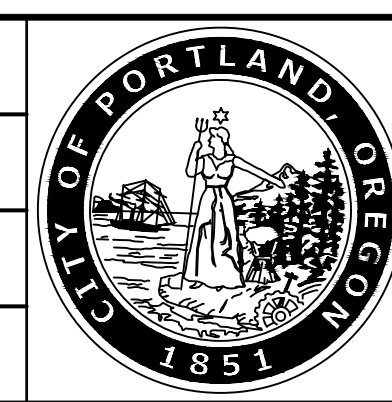
NW 17TH AVENUE PLAN
SCALE: 1"=10'



NO.	DATE	DESCRIPTION	APPD.
REVISIONS			

CONSTRUCTED BY _____	DESIGNED BY MCS	DATE APPROVED _____
PROJECT COMPLETED _____	CAD BY MCS	SECTION ENGR _____
MAP CORRECTED BY _____	CHECKED BY KAM	PBOT REVIEWER _____
CHECKED BY _____		

DESIGNED BY MCS	DATE APPROVED _____
CAD BY MCS	SECTION ENGR _____
CHECKED BY KAM	PBOT REVIEWER _____

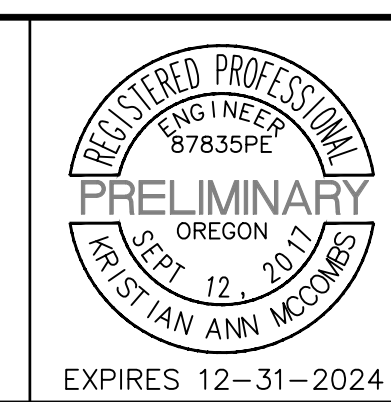


APPROVALS:	
PBOT PRINCIPAL ENGINEER _____	REG. PROF. ENGR. 75155PE
PBOT CITY ENGINEER _____	REG. PROF. ENGR. 18563PE

PORTLAND BUREAU OF TRANSPORTATION

MINGUS MAPPS COMMISSIONER
TODD LILES, P.E. CITY ENGINEER

Humber Design Group, Inc.
Portland, OR • 503.946.6690 • hdgpdx.com



FRONTAGE IMPROVEMENTS FOR
NW DAVIS STREET, NW 17TH AVENUE NW
COUCH STREET, AND NW 18TH AVENUE
NW 17TH AVENUE PLAN AND PROFILE

PBOT JOB NO. THXXXX
SHEET NO. 4 OF 6

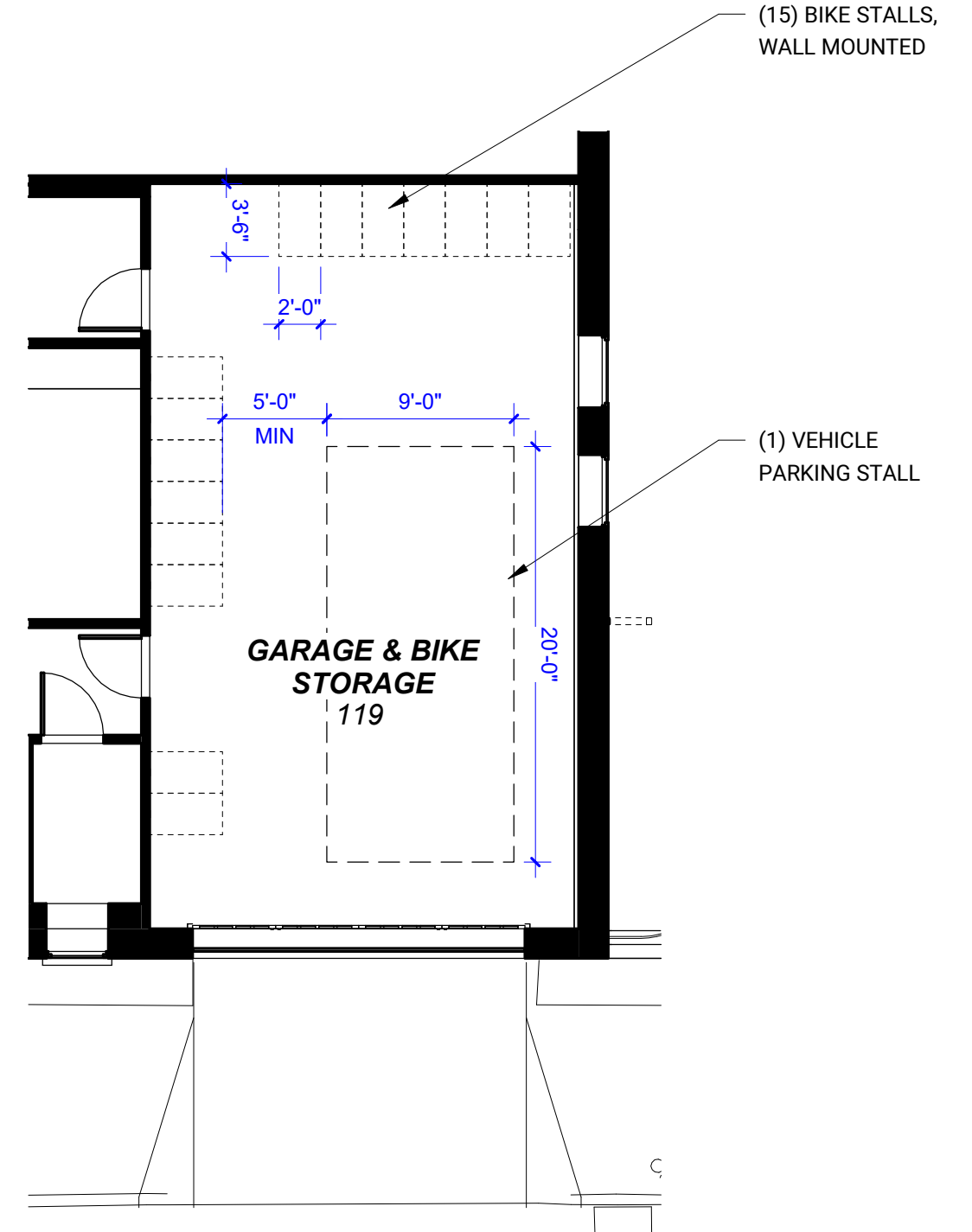
FILE: LRS033 - PWP.DWG ## 8/24/2023 11:22:29 AM - MIN.SONG

GROUND FLOOR GARAGE PLAN

C9.1

VEHICLE PARKING:
REQUIRED MINIMUM: NONE IN RM4 ZONE
REQUIRED MAX: 219
PROVIDED: EXISTING NORTH LOT - 1715 NW COUCH ST

BICYCLE PARKING REQUIRED: (STANDARD A)
LONG TERM: GROUP LIVING: 2
 OFFICE: 1 PER 1,800 SF: (22,900 SF / 1,800 SF = 12.7) = 13
TOTAL: 15
SHORT TERM: GROUP LIVING: 2
 OFFICE: 2
TOTAL: 4



Scale: 1/8" = 1'-0"

NOT FOR CONSTRUCTION

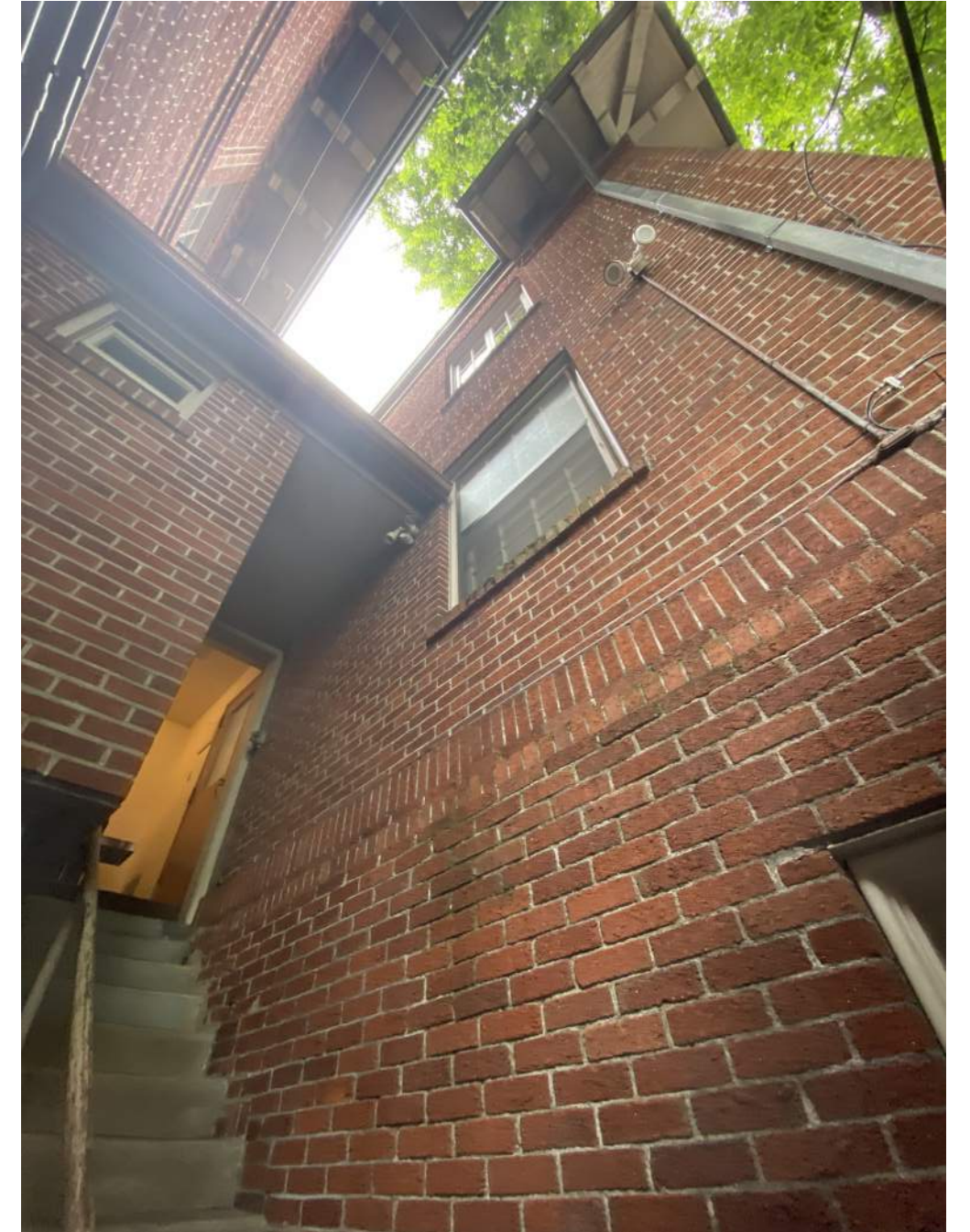


SITE CONTEXT PHOTOS

C3-1



LOOKING WEST FROM THE NW 17TH AVE DOORWAY INTO 'RAT'S ALLEY'

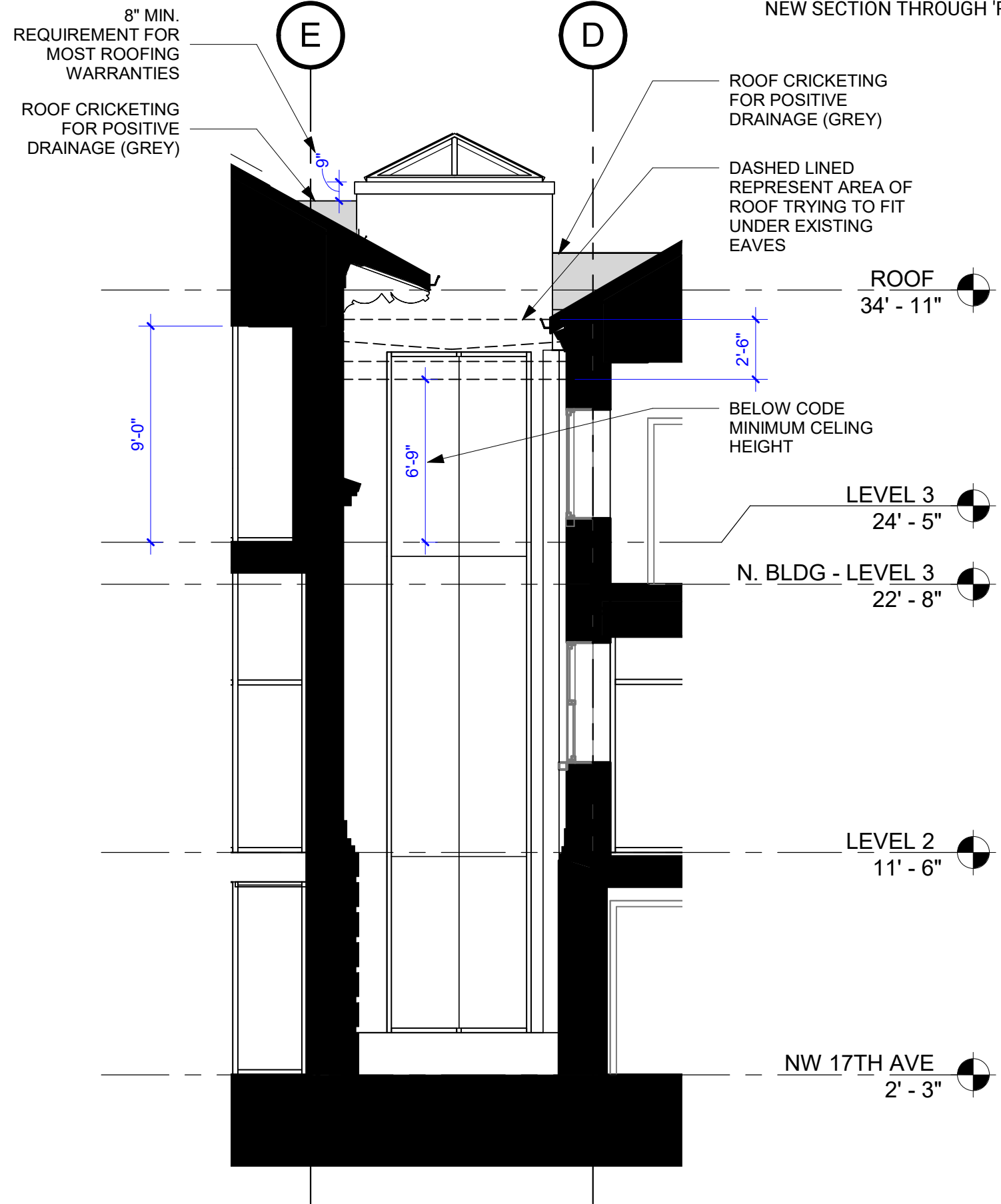


LOOKING UP AT ORIGINAL 'CLIPPED EAVES' OF THE NORTH BUILDING IN 'RAT'S ALLEY'

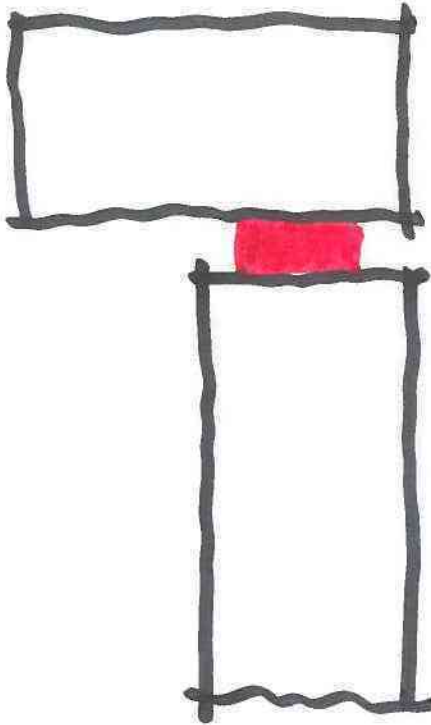
Scale:

BUILDING SECTION - RATS ALLEY

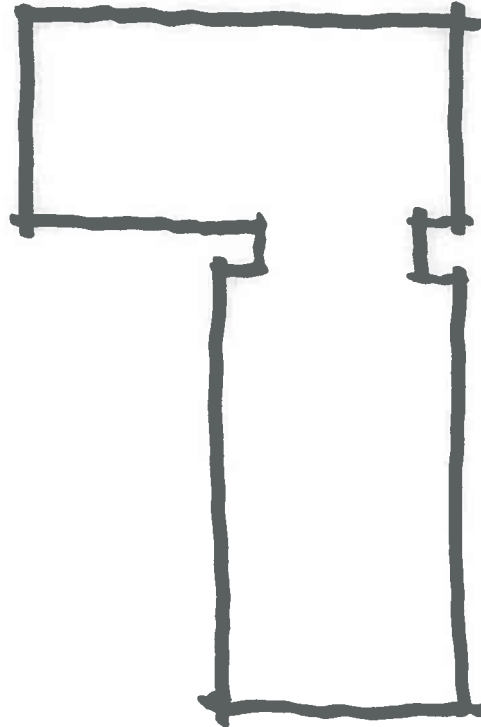
C21.1



Scale: 3/16" = 1'-0"



TWO-BUILDING DISTINCTION
RESPECT THE HISTORY OF (2)
STRUCTURES BUILT AT DIFFERENT
TIMES



CONSOLIDATION
BLEND BUILDINGS TOGETHER WITH
NO DIFFERENTIATION BETWEEN
OLD AND NEW

August 30, 2023

Rev: September 13, 2023

Tanya Paglia, Planner
Land Use Services Division
1900 SW 4th Avenue, Suite #500
Portland, Oregon 97201

RE: Land Use Review LU 23-068457 HR – St Mary’s Church Complex Admin Buildings

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Please see attached drawings : C21.1, C21.2 and C21.3

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Refer to updated demo plans & elevation drawings for clarification on impacts to perimeter masonry wall.

Refer to : C21.1, C21.2 and C21.3

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Our intent is to identify the new windows as non-original period style double hung windows which break from the existing pattern by not utilizing muntins in the six-over-six pattern seen elsewhere on the building.

7. NON-CONFORMING UPGRADE STATUS

Our team will be submitting a permit for the Parking Lot, 1715 WI / NW Couch street (R140858), in the next few weeks which will bring that property out of non-conformance.

Our team has reviewed the school property at 110 NW 17th Avenue (R140775) and we have noted the only non-conforming item as compliant screening of a trash and mechanical space visible from NW 16th Avenue.

We believe the main St. Mary's Cathedral property does not currently have any non-conforming situations and we will note this on our future permit documents once this Type III Land Use Process is complete.

8. INFRASTRUCTURE BUREAU COMPLETENESS ITEMS

BES LUR Completeness Letter: There are no items to respond to.

PBOT Pre-Application Conference Response: Our team will be submitting the Public Works Permit concept plan in the next few weeks which will start the PWP process. We will also be submitting a DDE in the next few months. In regards to the loading zone – we are awaiting your reply on whether or not we are required to have a loading space on this project before we respond.

BES Pre-Application Conference Response: Our team has reviewed BES comments and will incorporate any triggered requirements in our forthcoming building permit application when the Land Use process is finalized.

Site Development Pre-Application Conference Response: There are no items to respond to.

Water Bureau Pre-Application Conference Response: Our team has reviewed Water Bureau comments and will incorporate any triggered requirements in our forthcoming building permit application when the Land Use process is finalized.

Portland Fire Pre-Application Conference Response: There are no items to respond to.

Urban Forestry Pre-Application Conference Response: Our team currently has a permit under review with existing tree protection plan in place. We will continue to meet Urban Forestry requirements in forthcoming permit application when the Land Use Review process is completed.

9. FAR

As noted on page 12 Item 13 of the Land Use Review Narrative dated 07.26.2023 – The current FAR is roughly 1:1 which is well under the maximum FAR of 3:1.

10. NOTES FROM PRELIMINARY LIFE SAFETY MEETING

There are no official notes from this meeting.

REV ADD:

11. GLASS WALL RATIO

The connector's exterior East Elevation's glass to solid ratio was created based upon a few considerations. Foremost it was the character of the perimeter masonry walls of the North & South buildings. Both walls have traditional plinth bases at the height of the ground floor story that step back on the upper stories. Neither plinth is identical, nor do they align across Rat's alley. The North building has an intermediate cornice band between the second and third stories. The South does not. Neither is a straight vertical wall.

Due to these wall eccentricities and the structural need for a seismic joint at the connection to the North building a vertical steel plate veneer (easy to fab and cut) was decided upon to transition and properly weather seal between the existing historic brick masonry and the glass. The vertical veneer also allows a screen for the structural posts that support the new perimeter wall on each side of the glass.

Refer to : C21.1

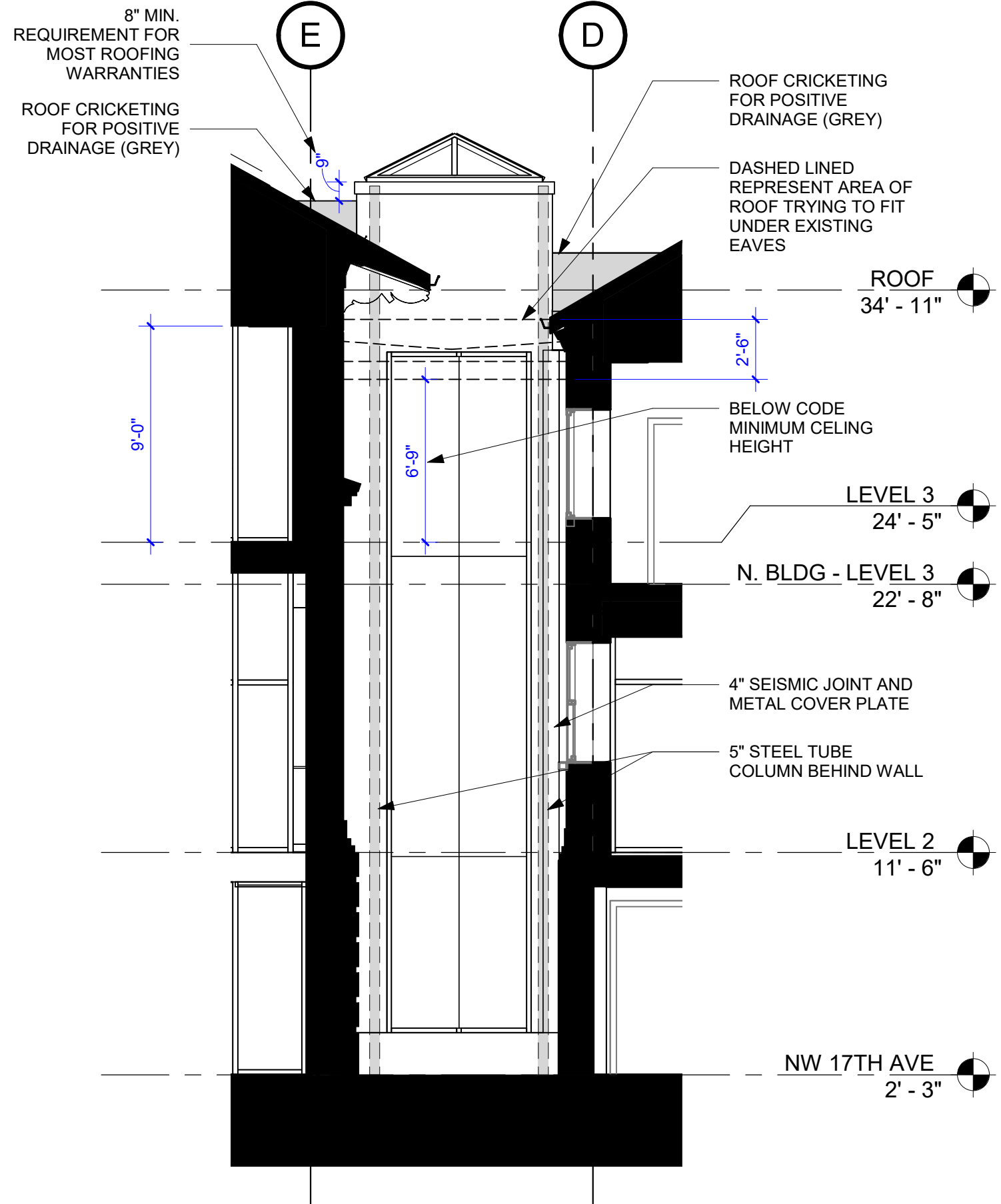
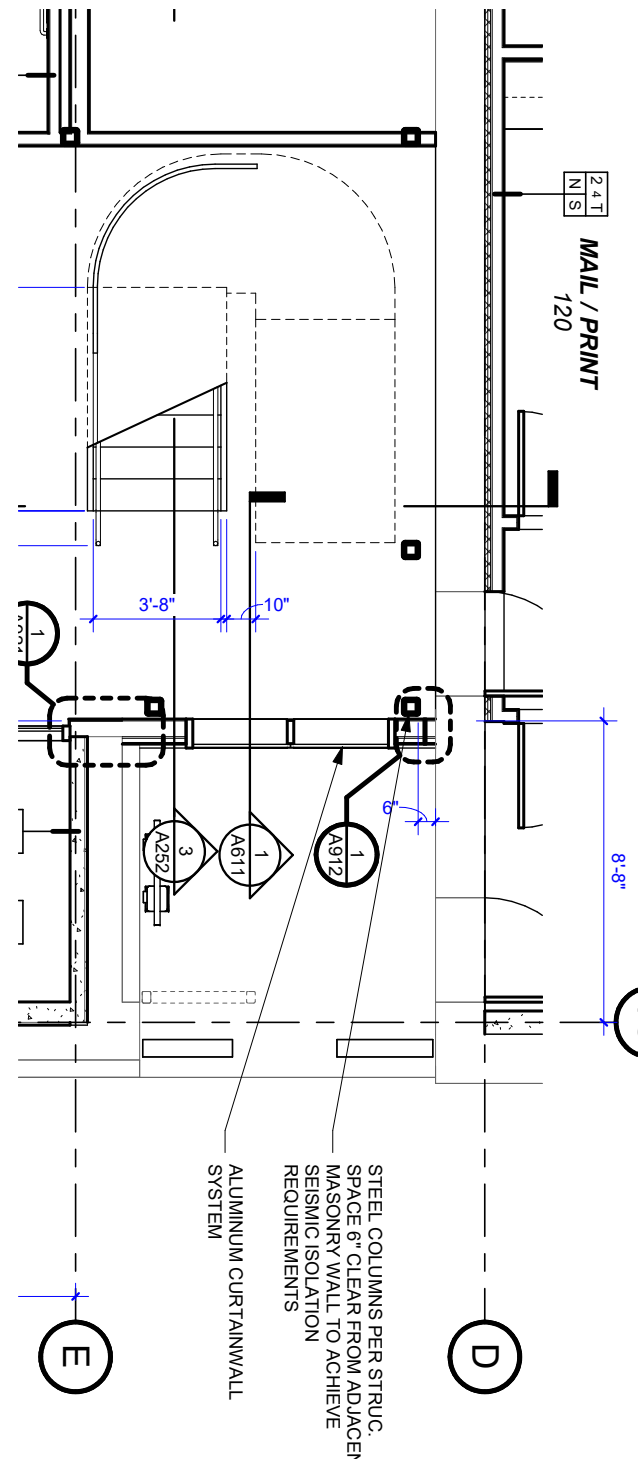
Sincerely,

Zachary Freund, Project Architect
LRS Architects, Inc.


Michael Roberts, Senior Associate
LRS Architects, Inc.

BUILDING SECTION - RATS ALLEY

C21.1



Scale: 3/16" = 1'-0"



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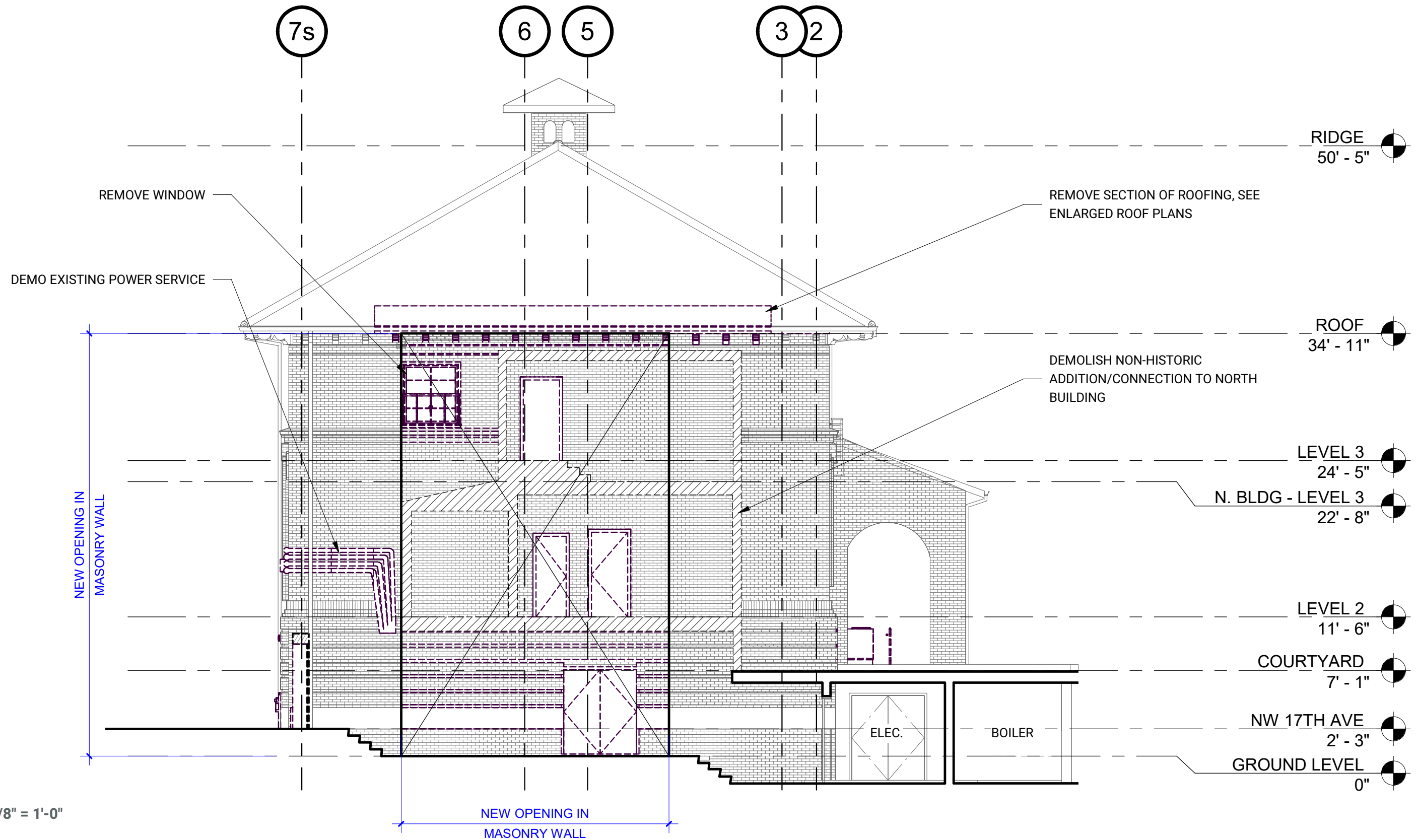
NOT FOR CONSTRUCTION



LU 23-068457 HR A-6

SOUTH BLDG NORTH ELEVATION - DEMO

C21.2



Scale: 1/8" = 1'-0"



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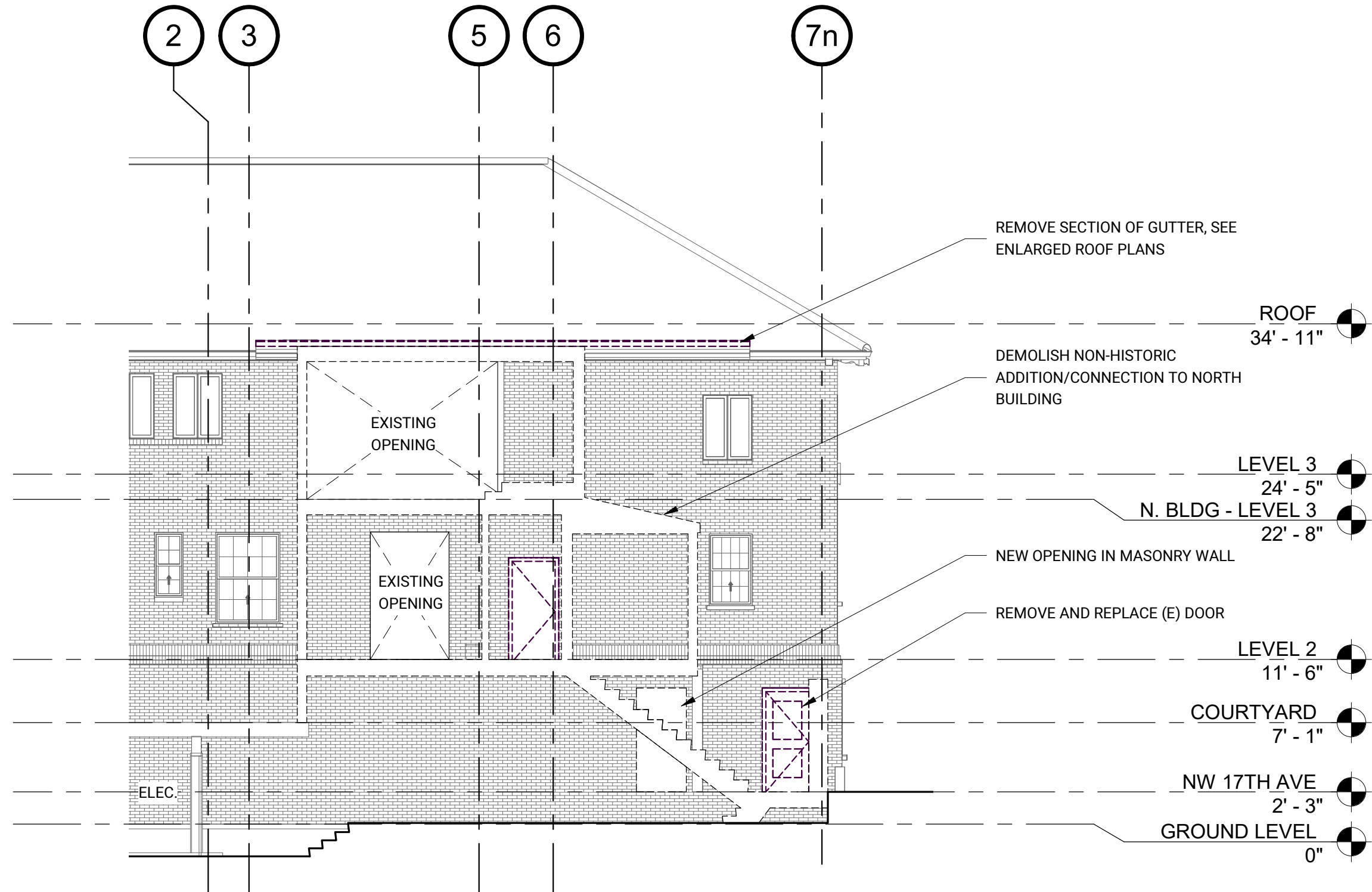
NOT FOR CONSTRUCTION



LU 23-068457 HR A-6

NORTH BLDG SOUTH ELEVATION - DEMO

C21.3



Scale: 1/8" = 1'-0"

ST MARY'S CATHOLIC CATHEDRAL OF IMMACULATE CONCEPTION
1716 NW DAVIS ST, PORTLAND, OREGON 97209

RENOVATION AND IMPROVEMENTS FOR THE
ARCHDIOCESE OF PORTLAND



LAND USE REVIEW EXHIBITS
TYPE III HISTORIC RESOURCE APPLICATION

DRAFT - 09/21/2023

SITE CONTEXT MAP

C2



- PARKING LOT (UNDER SAME OWNERSHIP)
- 1716 NW DAVIS ST (SUBJECT PROPERTY)
- 110 NW 17TH AVE (UNDER SAME OWNERSHIP)

Scale:



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LU 23-068457 HR A-7

SITE CONTEXT PHOTOS

C3



NORTH ELEVATION ALONG NW DAVIS ST



EAST ELEVATION ALONG NW 17TH AVE



EAST ELEVATION ALONG NW 17TH AVE

Scale:

NOT FOR CONSTRUCTION

SITE CONTEXT PHOTOS

C3-1



LOOKING WEST FROM THE NW 17TH AVE DOORWAY INTO 'RAT'S ALLEY'

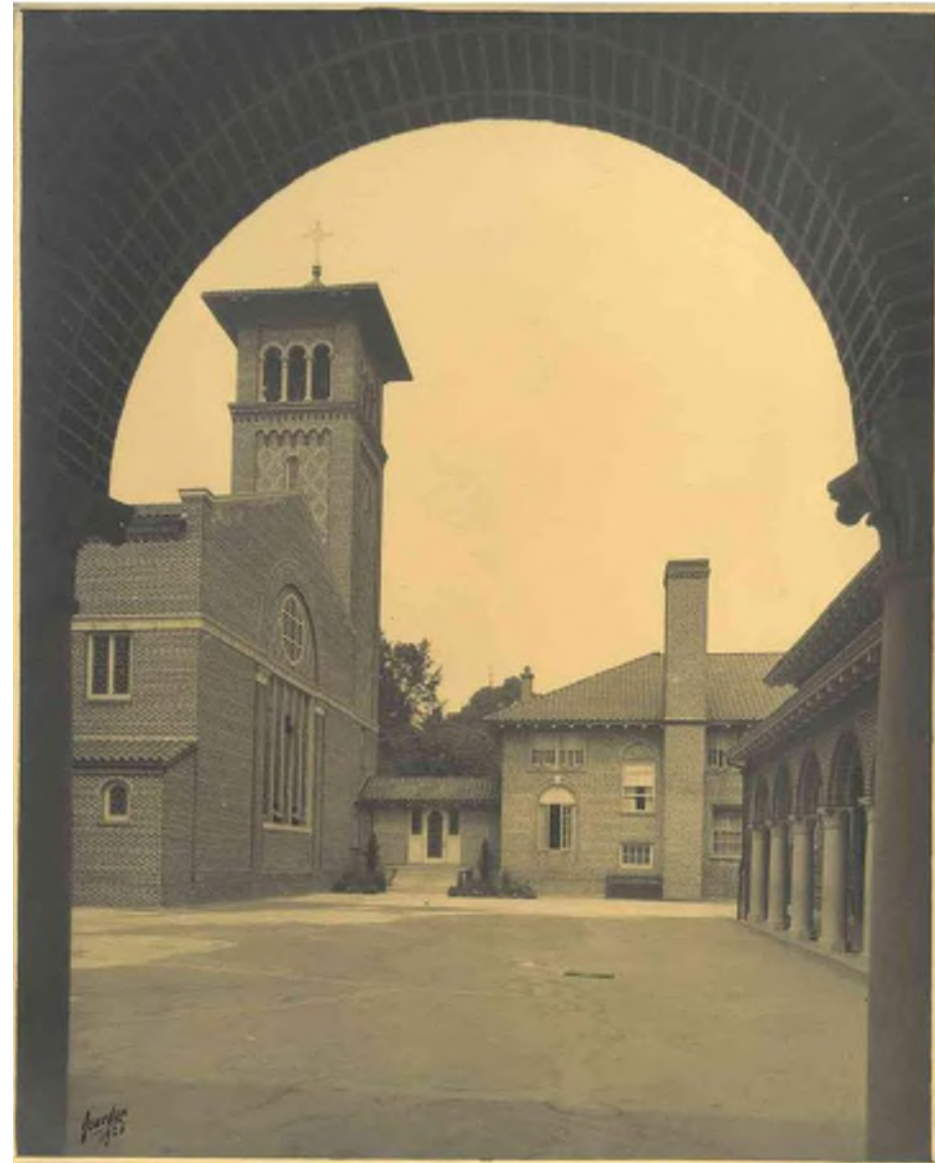


LOOKING UP AT ORIGINAL 'CLIPPED EAVES' OF THE NORTH BUILDING IN 'RAT'S ALLEY'

Scale:

HISTORIC IMAGES

C5



FACING NORTH INTO THE COURTYARD - 1926



ARCHITECT'S RENDERING

Scale:



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07.26.2023

NOT FOR CONSTRUCTION

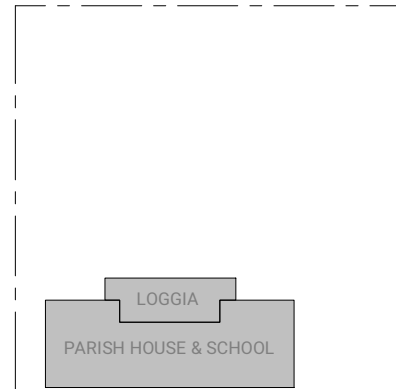


LU 23-068457 HR A-7

PROPERTY HISTORY TIMELINE

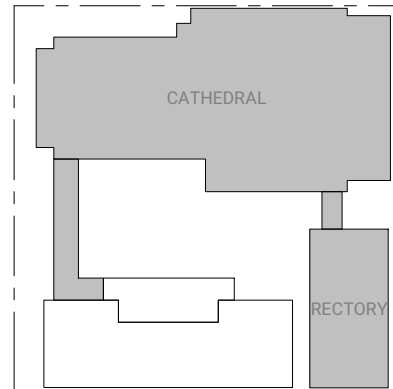
C6

1914



CONSTRUCTION OF THE PARISH HOUSE AND SCHOOL BUILDING.

1925



CONSTRUCTION OF ST. MARY'S CATHEDRAL OF IMMACULATE CONCEPTION AND THE RECTORY BUILDING.

1965



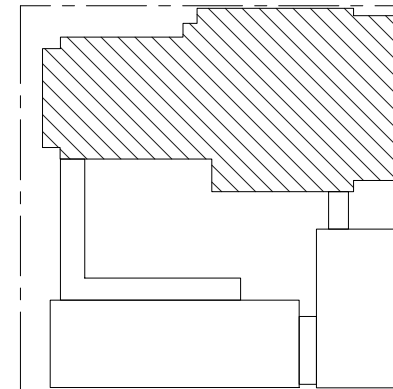
PARISH HOUSE AND SCHOOL IS CONVERTED INTO THE CONVENT AND PARISH CENTER.

1987



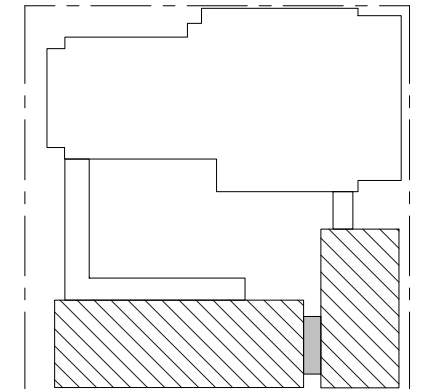
CONVERSION OF THE CONVENT TO THE ARCHBISHOPS RESIDENCE.

1994



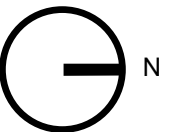
SEISMIC AND MECHANICAL UPGRADES TO THE CATHEDRAL.

2024



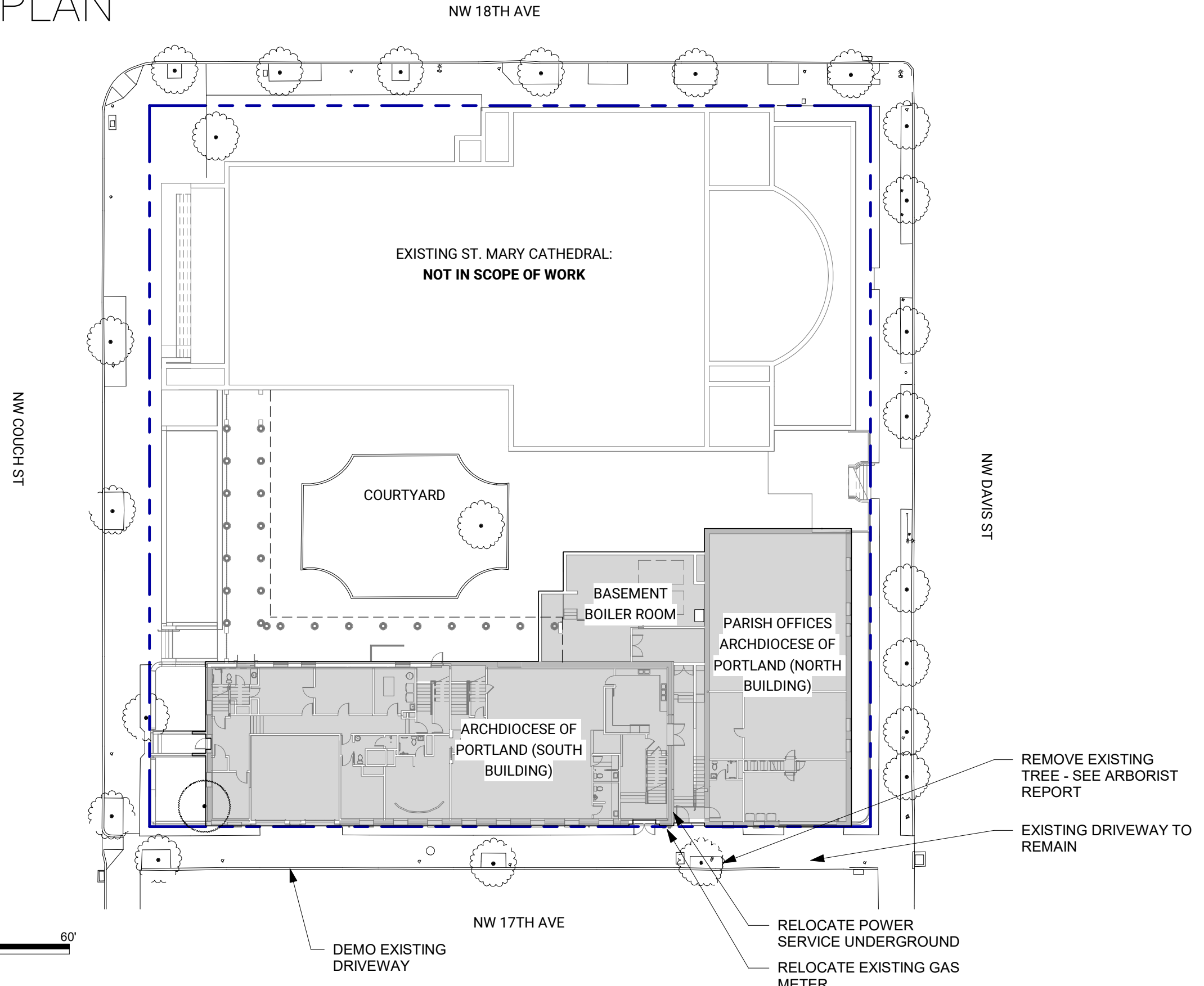
CURRENT:
CONVERSION OF THE ARCHBISHOPS RESIDENCE AND PARISH CENTER TO THE ARCHDIOCESE OF PORTLAND. A NEW AND IMPROVED CONNECTION IS MADE BETWEEN THE RENOVATED RECTORY AND ARCHDIOCESE OF PORTLAND STRUCTURES. BOTH BUILDINGS ARE SEISMICALLY UPGRADED AND HAVE NEW MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE SUPPRESSION SYSTEMS

Scale: 1" = 100'-0"

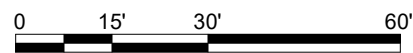


EXISTING SITE PLAN

C7



Scale: 1" = 30'-0"

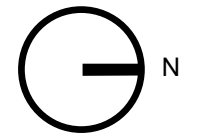


DEMO EXISTING DRIVEWAY

NW 17TH AVE

RELOCATE POWER SERVICE UNDERGROUND
RELOCATE EXISTING GAS METER

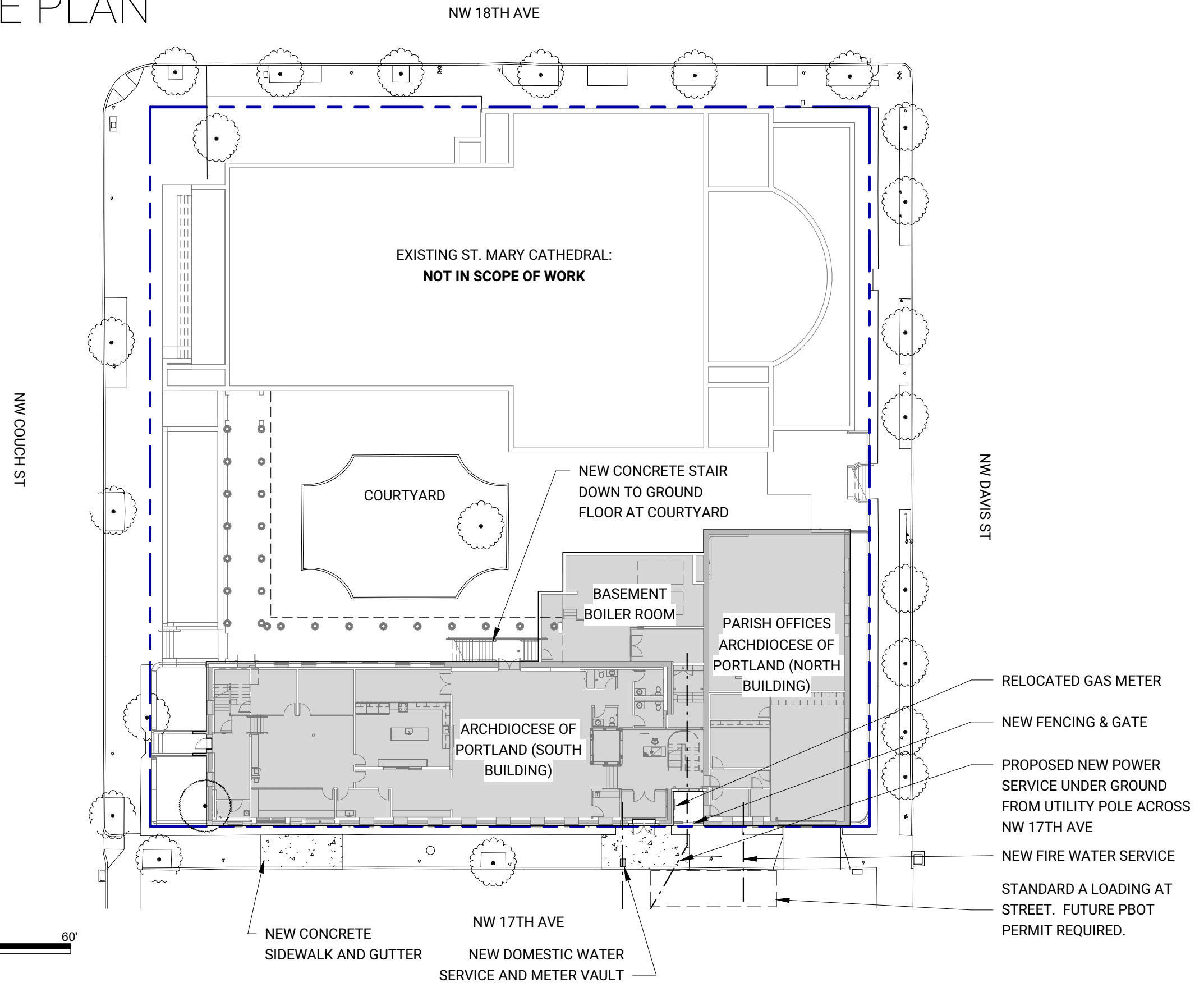
REMOVE EXISTING TREE - SEE ARBORIST REPORT
EXISTING DRIVEWAY TO REMAIN



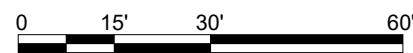
NOT FOR CONSTRUCTION

PROPOSED SITE PLAN

C8



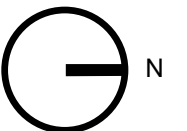
Scale: 1" = 30'-0"

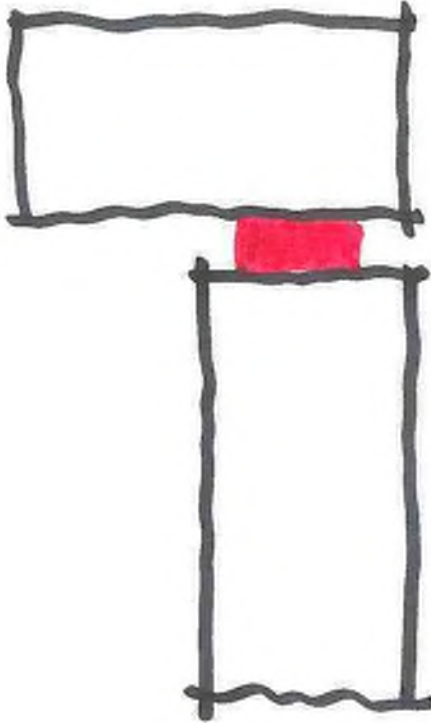


NEW CONCRETE
SIDEWALK AND GUTTER

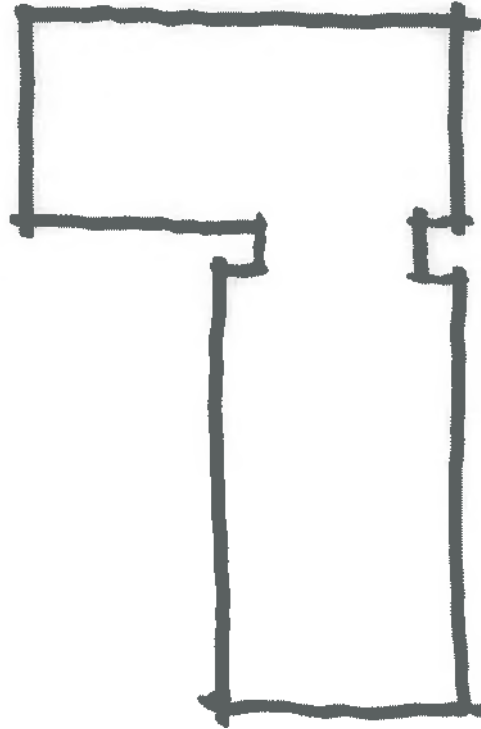
NW 17TH AVE
NEW DOMESTIC WATER
SERVICE AND METER VAULT

- RELOCATED GAS METER
- NEW FENCING & GATE
- PROPOSED NEW POWER SERVICE UNDER GROUND FROM UTILITY POLE ACROSS NW 17TH AVE
- NEW FIRE WATER SERVICE
- STANDARD A LOADING AT STREET. FUTURE PBOT PERMIT REQUIRED.





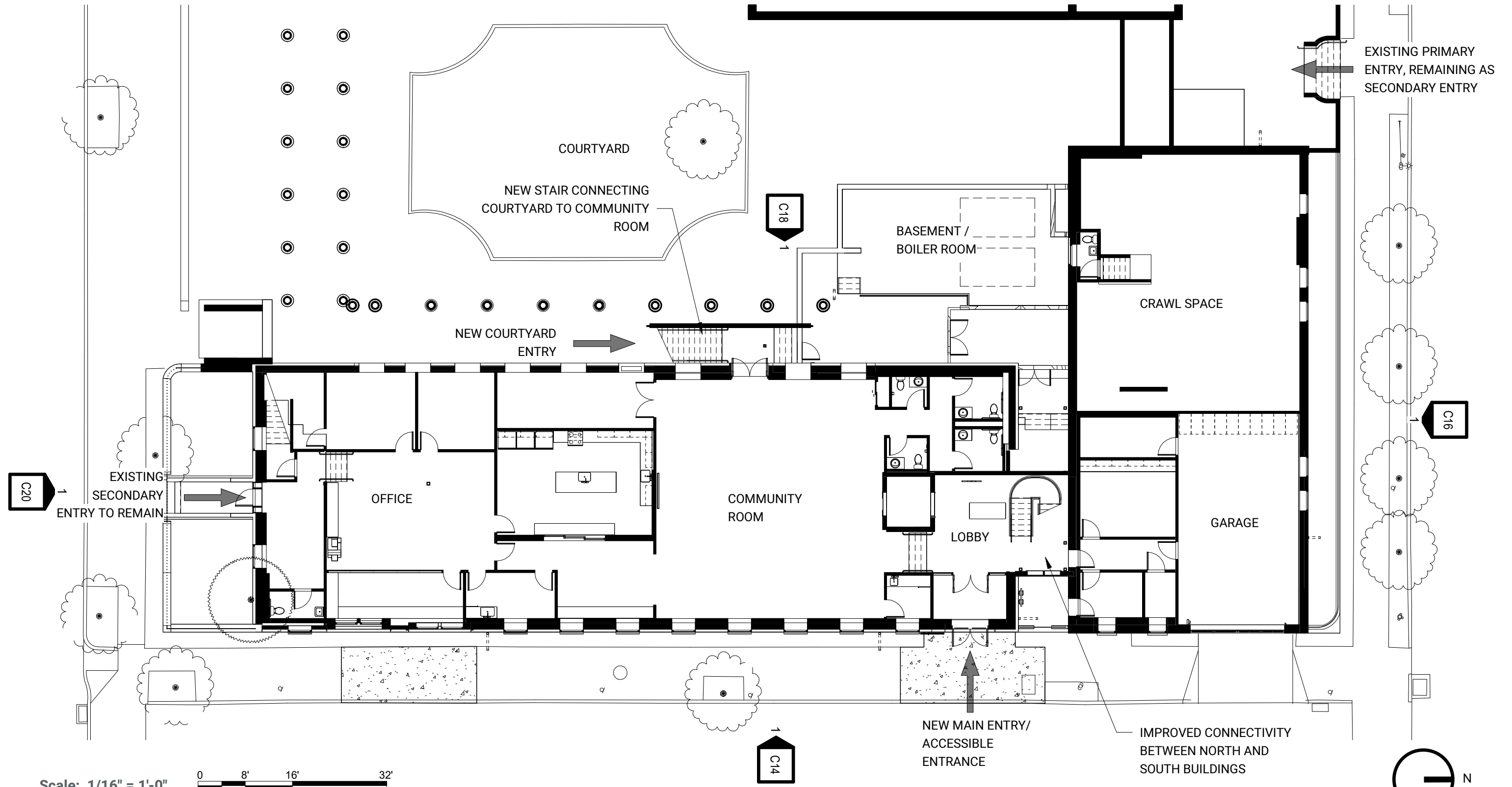
TWO-BUILDING DISTINCTION
RESPECT THE HISTORY OF (2)
STRUCTURES BUILT AT DIFFERENT
TIMES



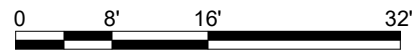
CONSOLIDATION
BLEND BUILDINGS TOGETHER WITH
NO DIFFERENTIATION BETWEEN
OLD AND NEW

GROUND FLOOR PLAN

C9

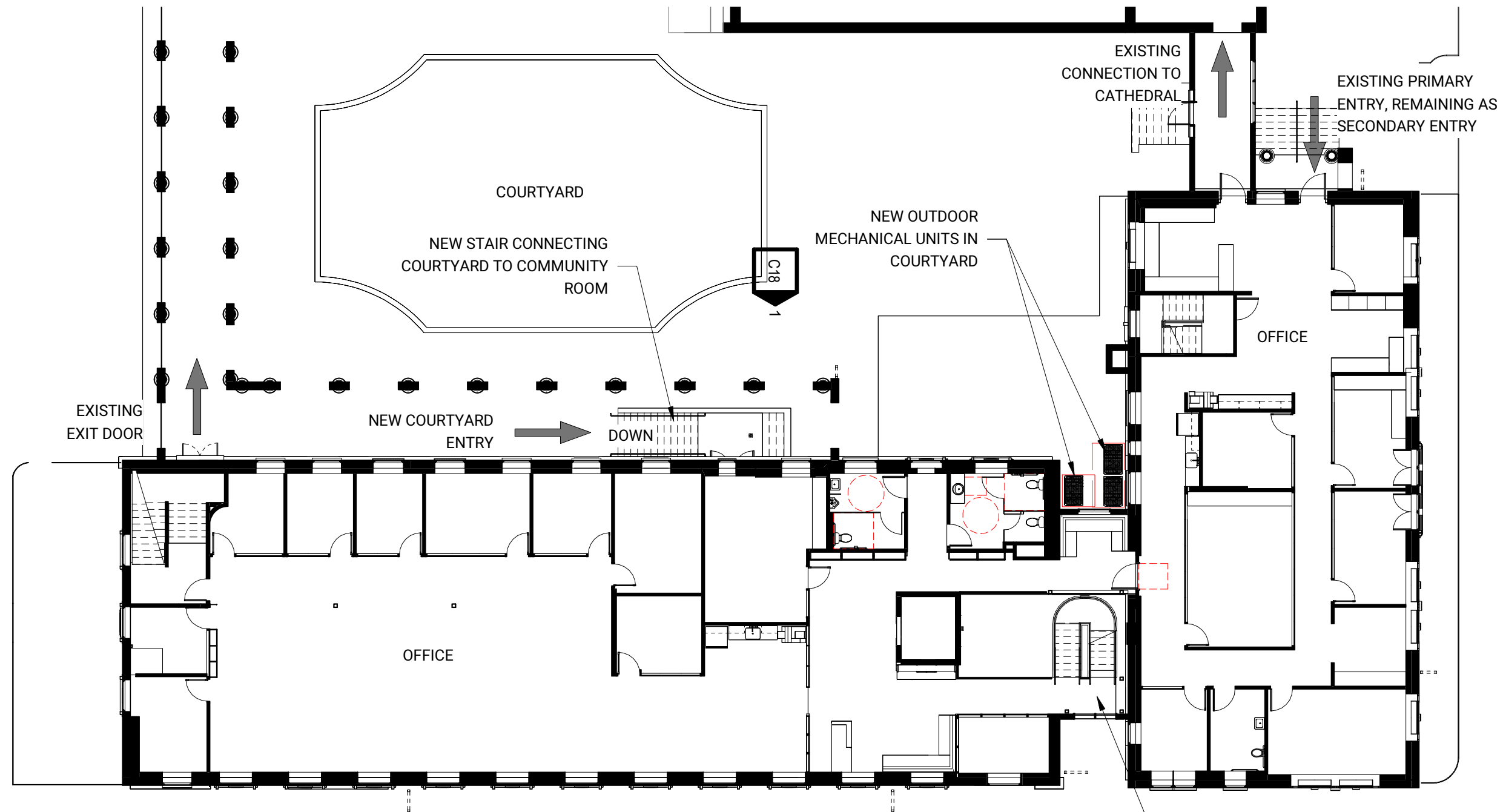


Scale: 1/16" = 1'-0"

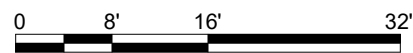


SECOND FLOOR PLAN

C10



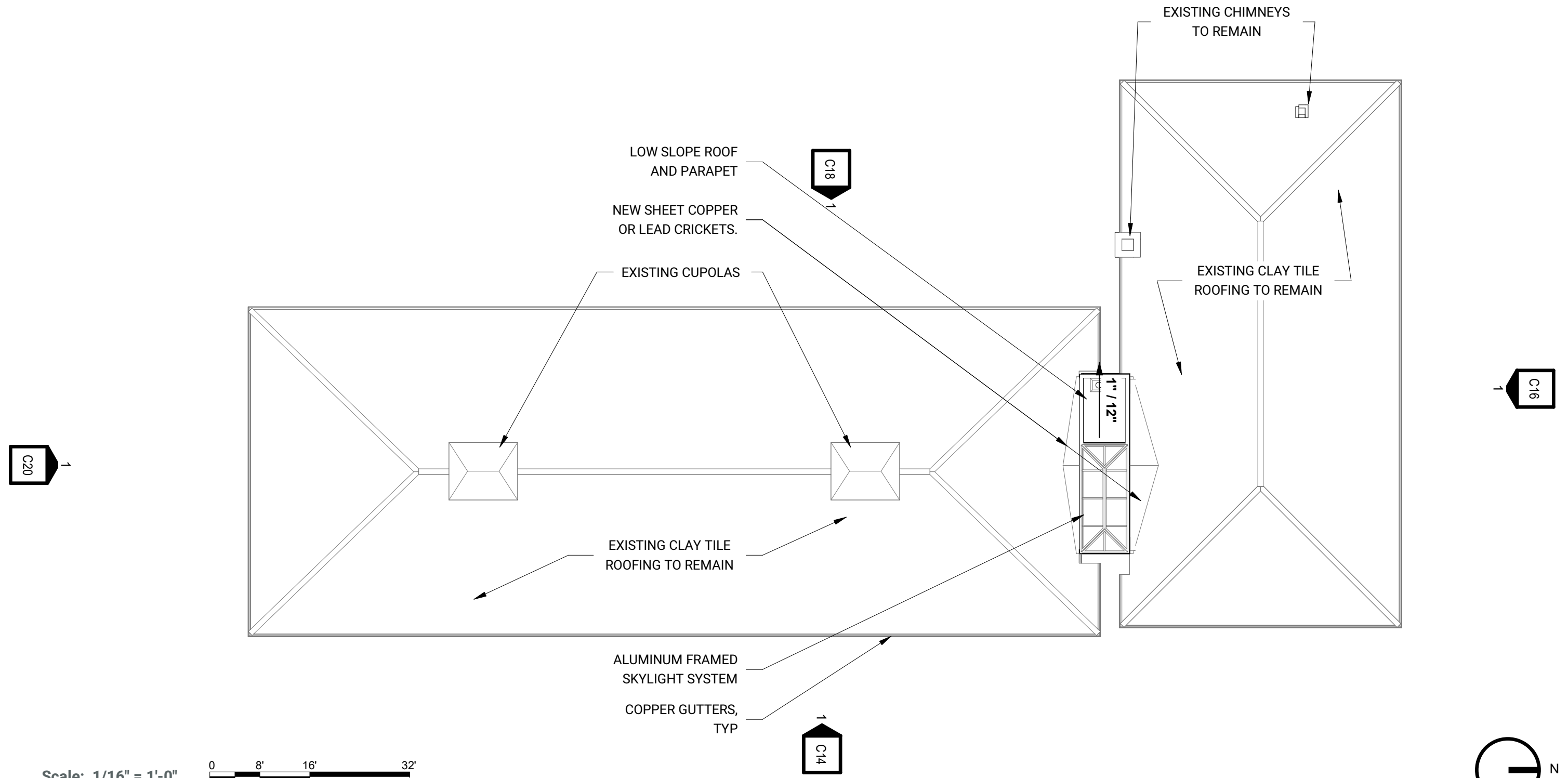
Scale: 1/16" = 1'-0"



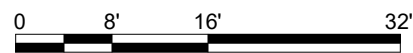
NOT FOR CONSTRUCTION

ROOF PLAN

C11



Scale: 1/16" = 1'-0"

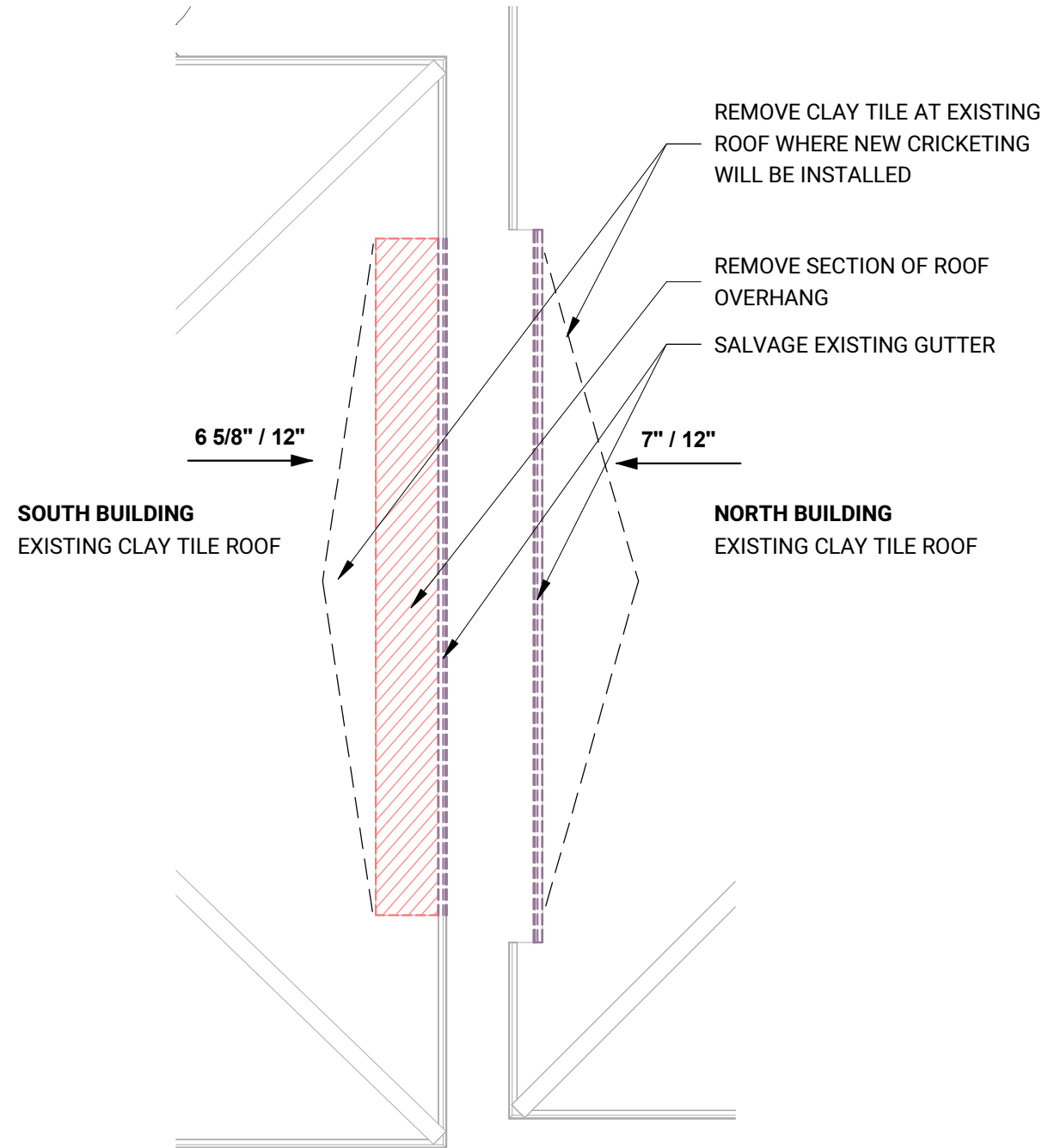


NOT FOR CONSTRUCTION

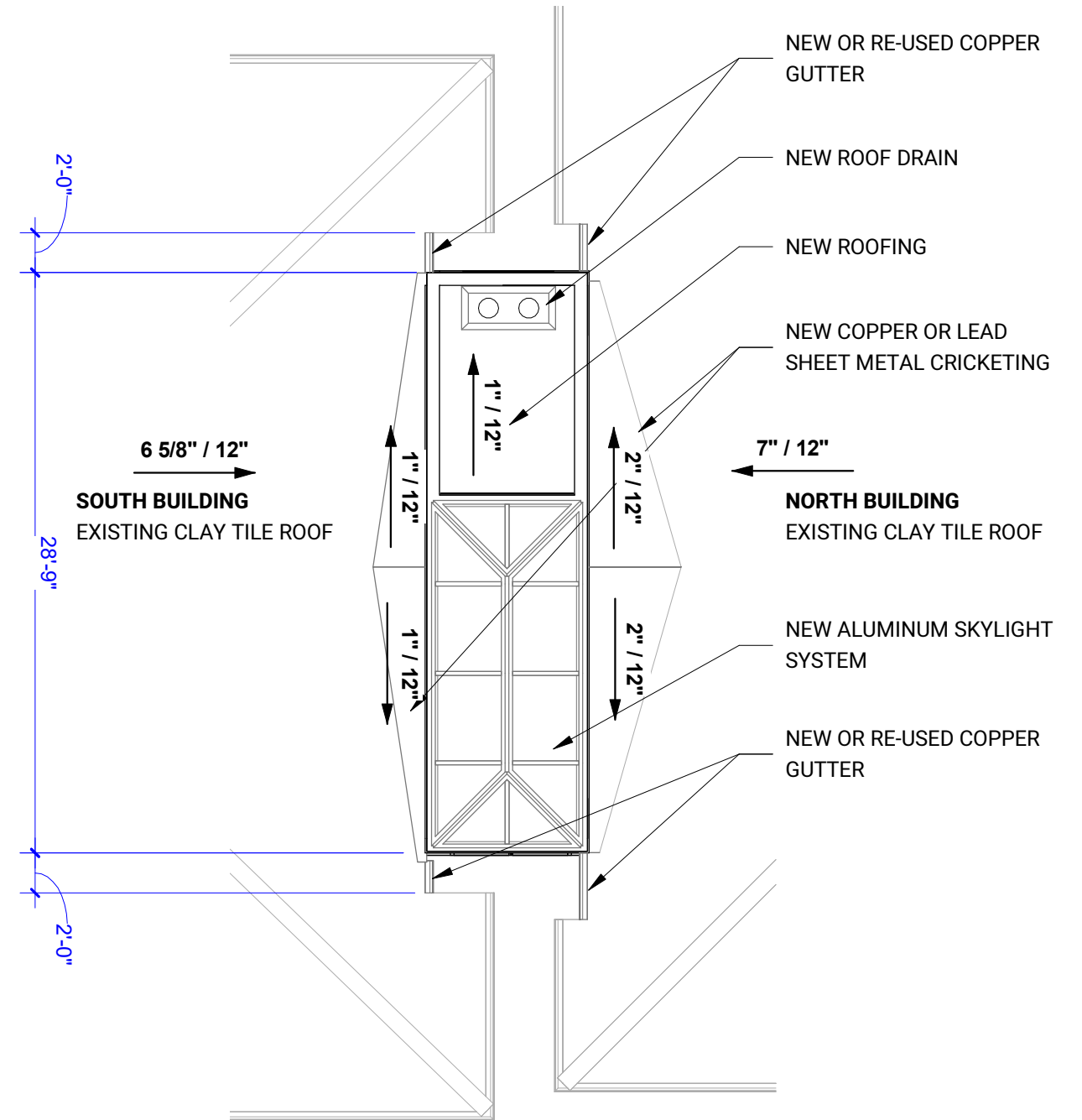


ENLARGED ROOF PLANS

C11-1



EXISTING ROOF PLAN
1/8" = 1'-0"



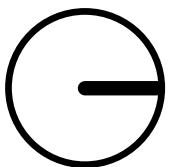
NEW ROOF PLAN
1/8" = 1'-0"

Scale: 1/8" = 1'-0"



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08.30.2023

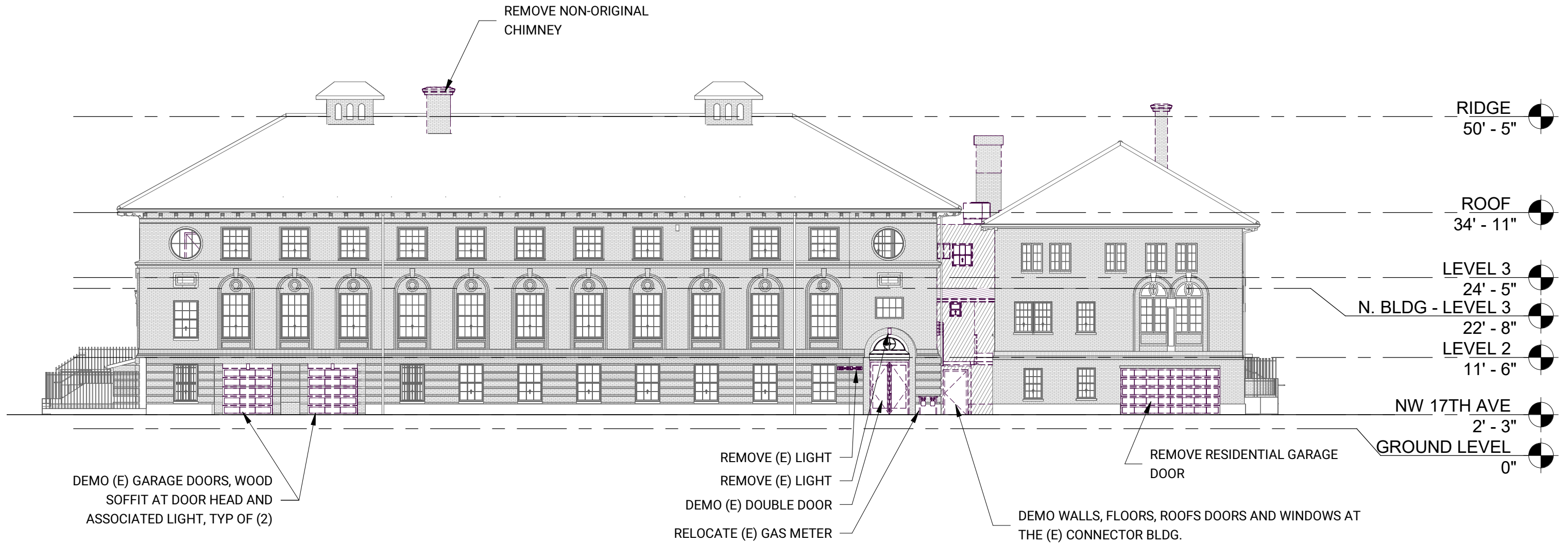
NOT FOR CONSTRUCTION



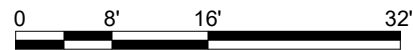
LU 23-068457 HR A-7

EXISTING ELEVATION - EAST

C13



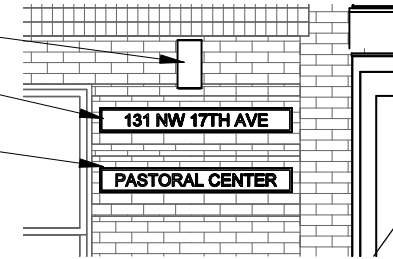
Scale: 1/16" = 1'-0"



PROPOSED ELEVATION - EAST

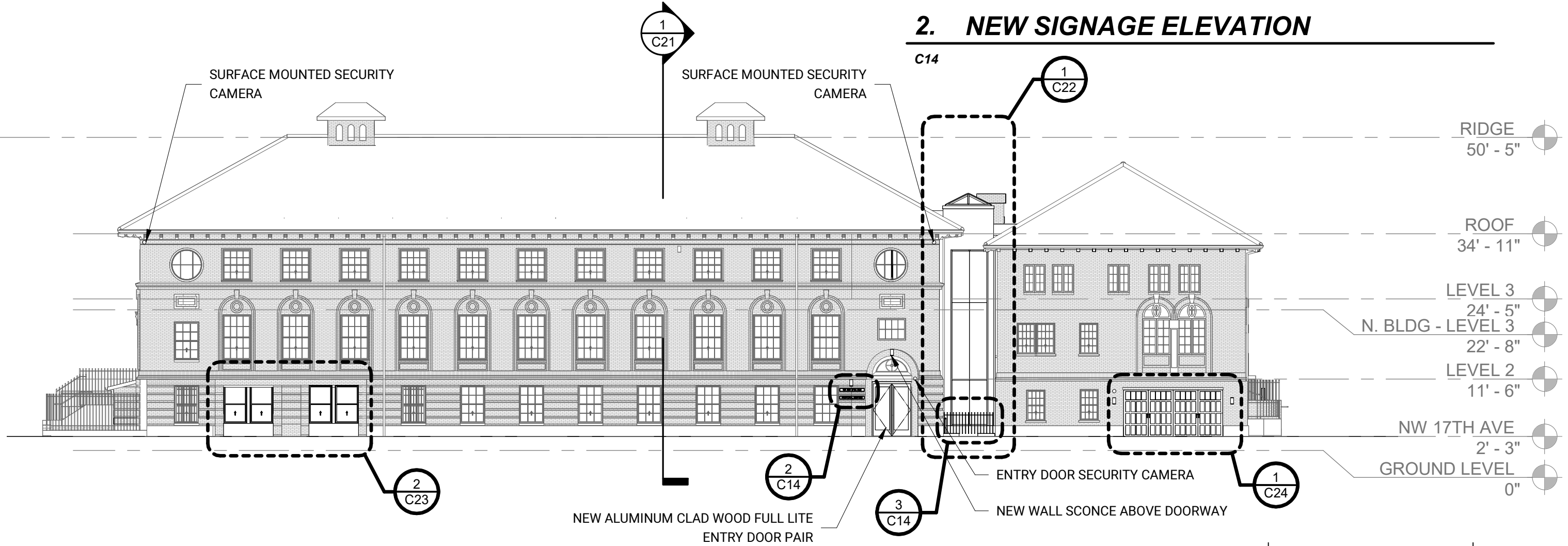
C14

NEW LIGHT ABOVE TO ILLUMINATE SIGNAGE
 NEW ADDRESS SIGNAGE
 NEW BUILDING SIGNAGE. METAL
 PLAQUE WITH METAL LETTERING.

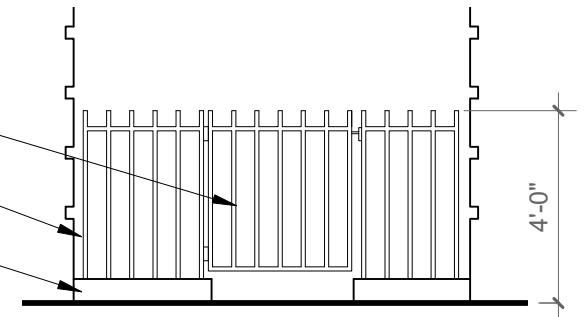


2. NEW SIGNAGE ELEVATION

C14



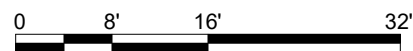
METAL GATE FOR MAINTENANCE ACCESS
 METAL FENCING TO MATCH EXISTING
 CONCRETE CURB



3. FENCE & GATE ELEVATION

C14

Scale: As indicated



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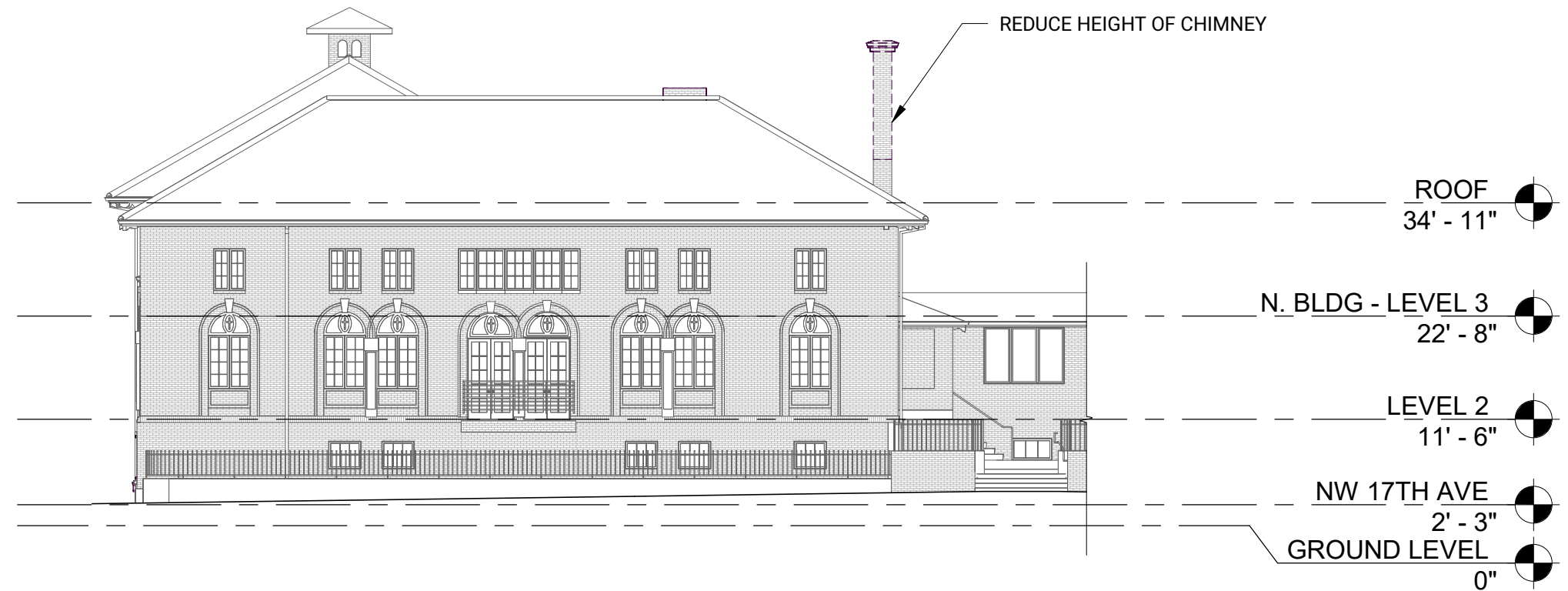
NOT FOR CONSTRUCTION



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EXISTING ELEVATION - NORTH

C15

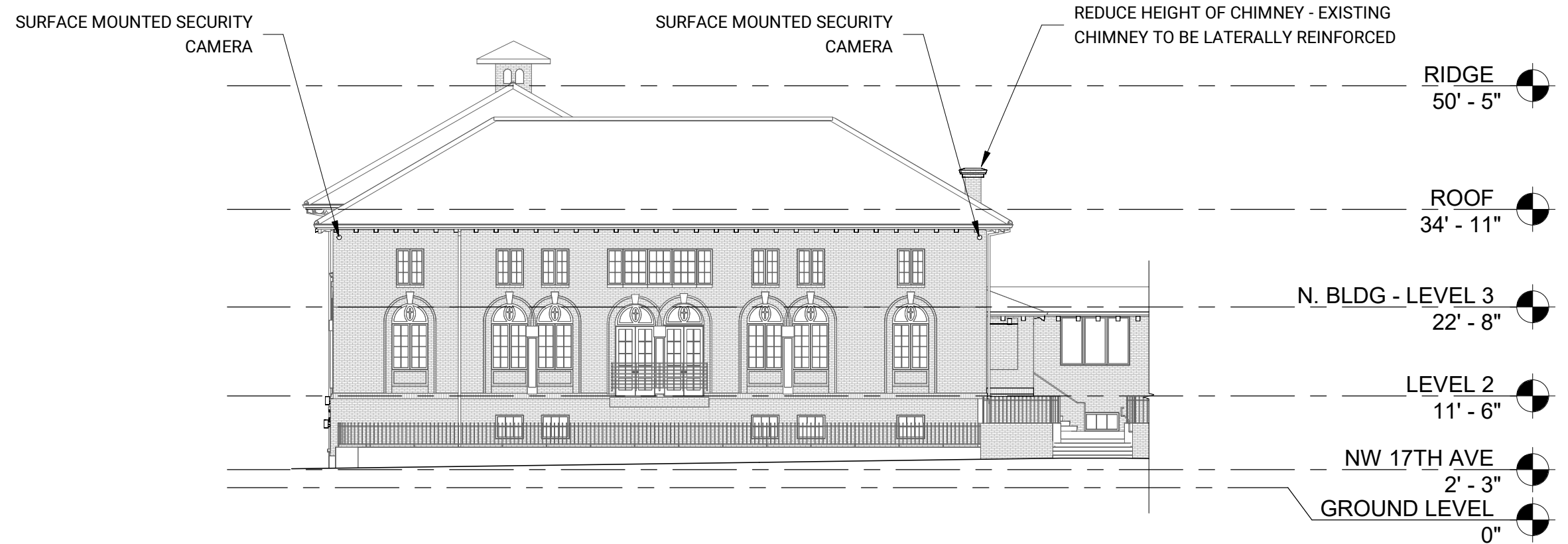


Scale: 1/16" = 1'-0"

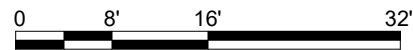


PROPOSED ELEVATION - NORTH

C16

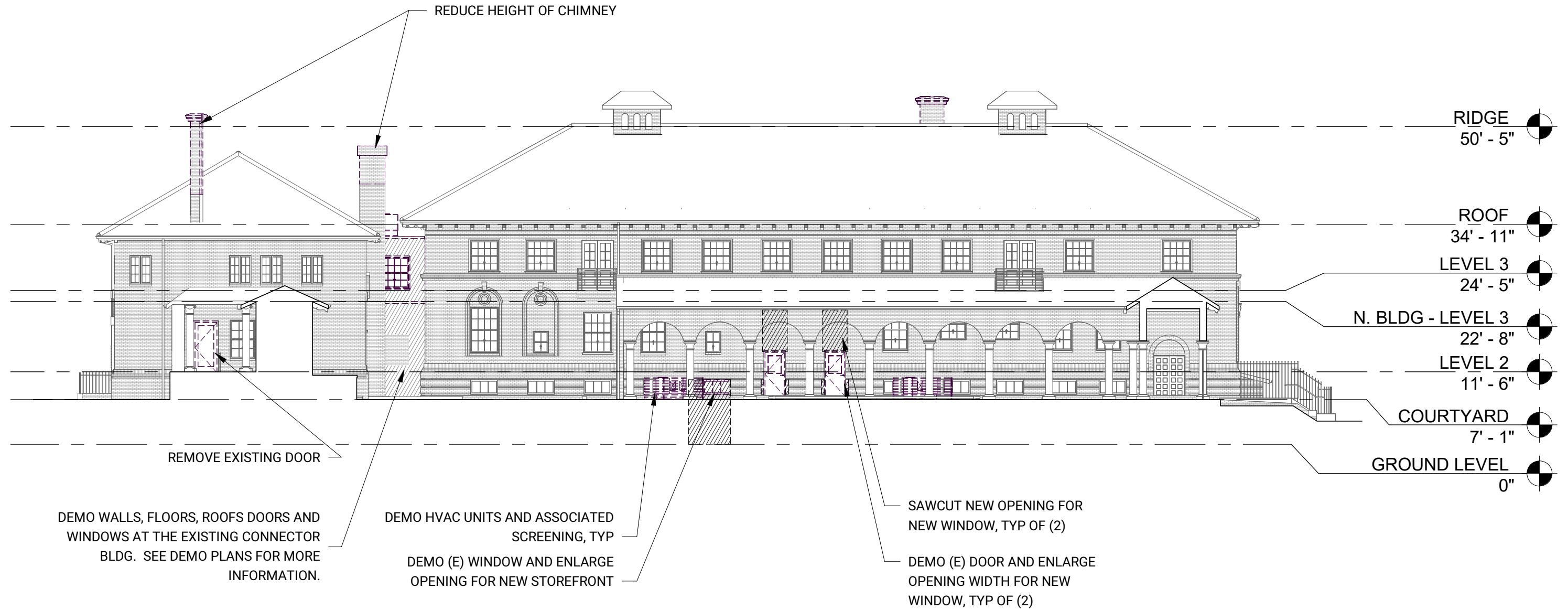


Scale: 1/16" = 1'-0"

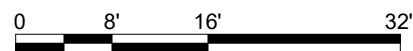


EXISTING ELEVATION - WEST

C17

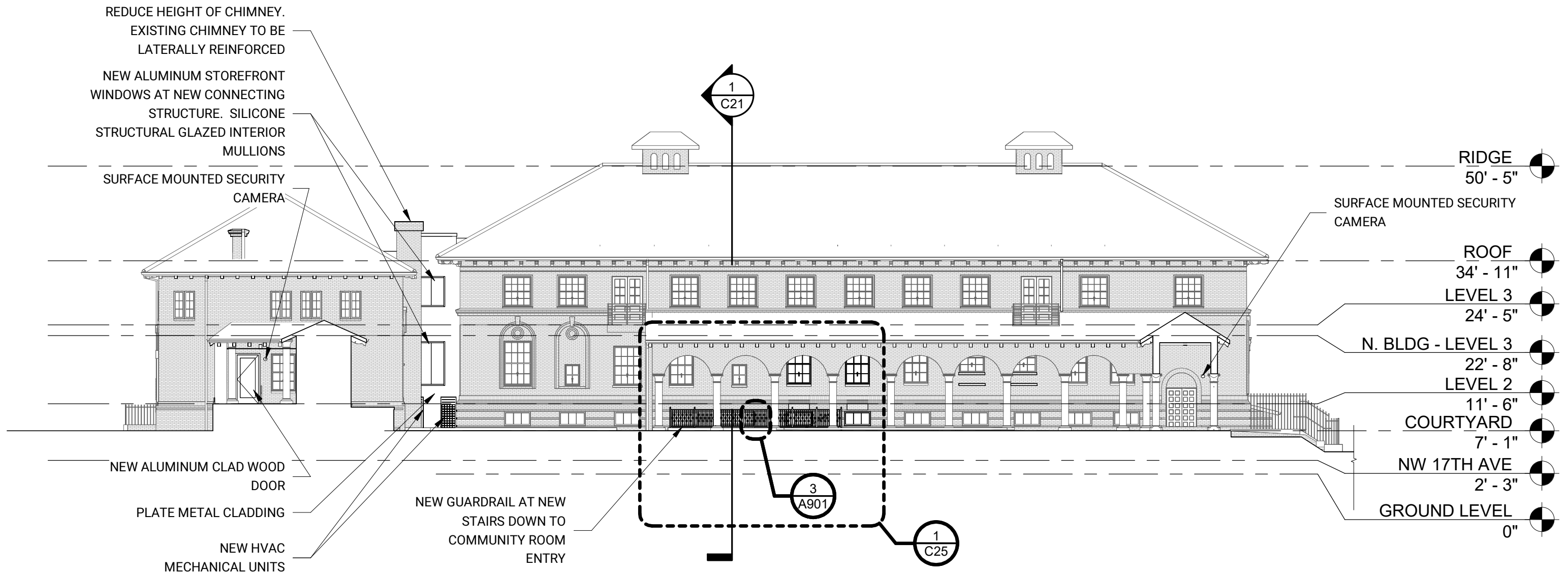


Scale: 1/16" = 1'-0"



PROPOSED ELEVATION - WEST

C18



Scale: 1/16" = 1'-0"

EXISTING ELEVATION - SOUTH

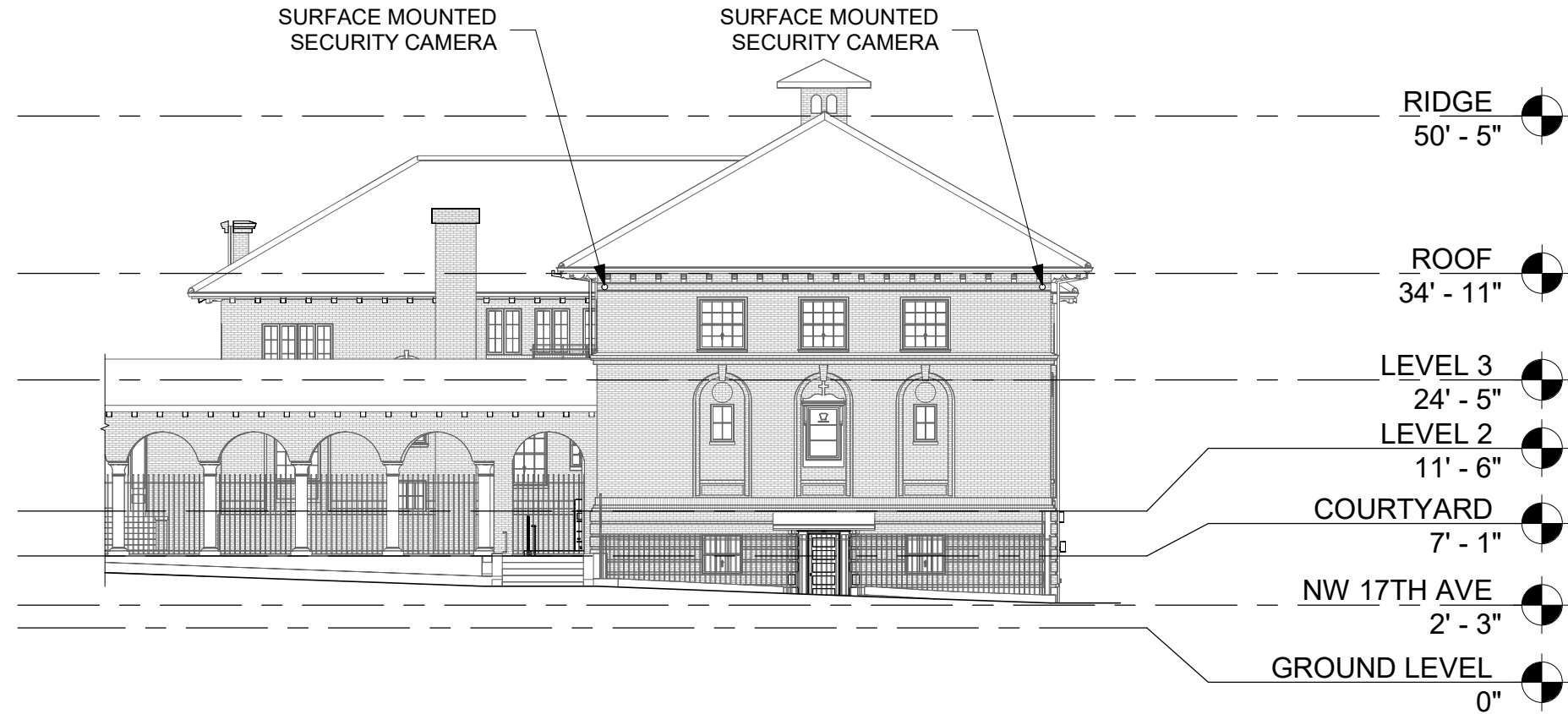
C19



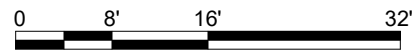
Scale: 1/16" = 1'-0"

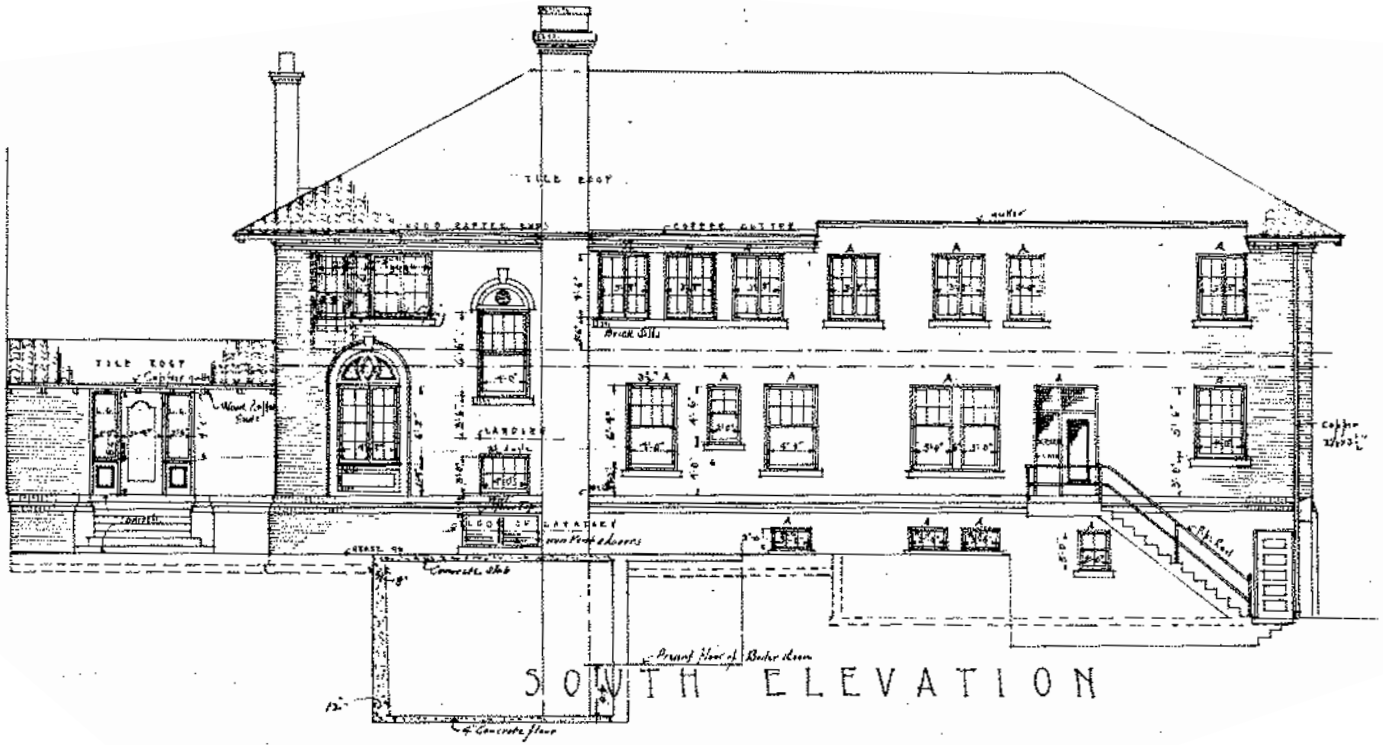
PROPOSED ELEVATION - SOUTH

C20



Scale: 1/16" = 1'-0"



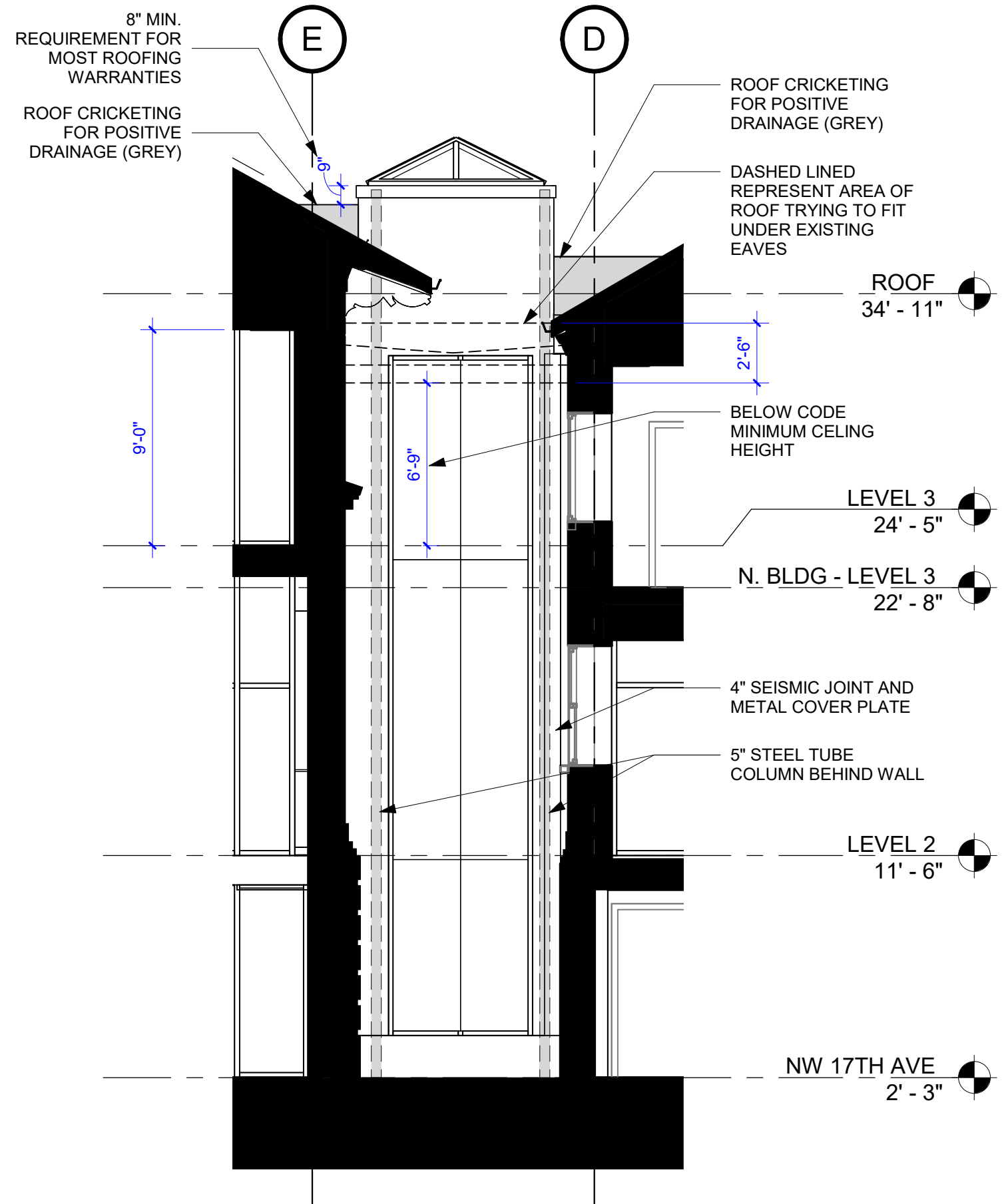


5

TITLE...ST. MARY'S CATHEDRAL...DATE...1925.....
 LOCATION...18th & COVCH STS...LOT.....BLK 167...
 JACOBBERGER AND SMITH ARCHITECTS
 617 Railway Exchange Bldg. Portland, Oregon

BUILDING SECTION - RATS ALLEY

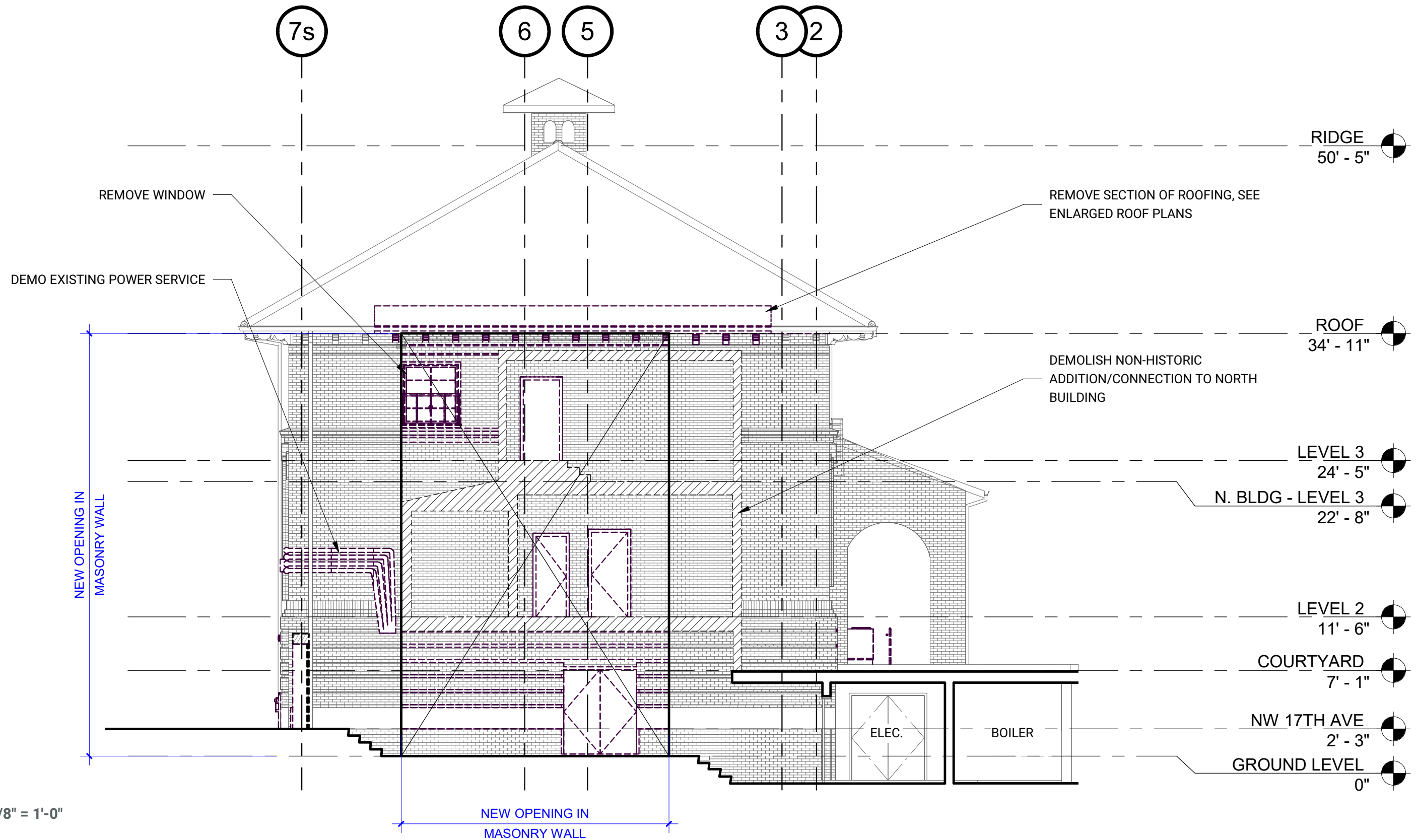
C21.1



Scale: 3/16" = 1'-0"

SOUTH BLDG NORTH ELEVATION - DEMO

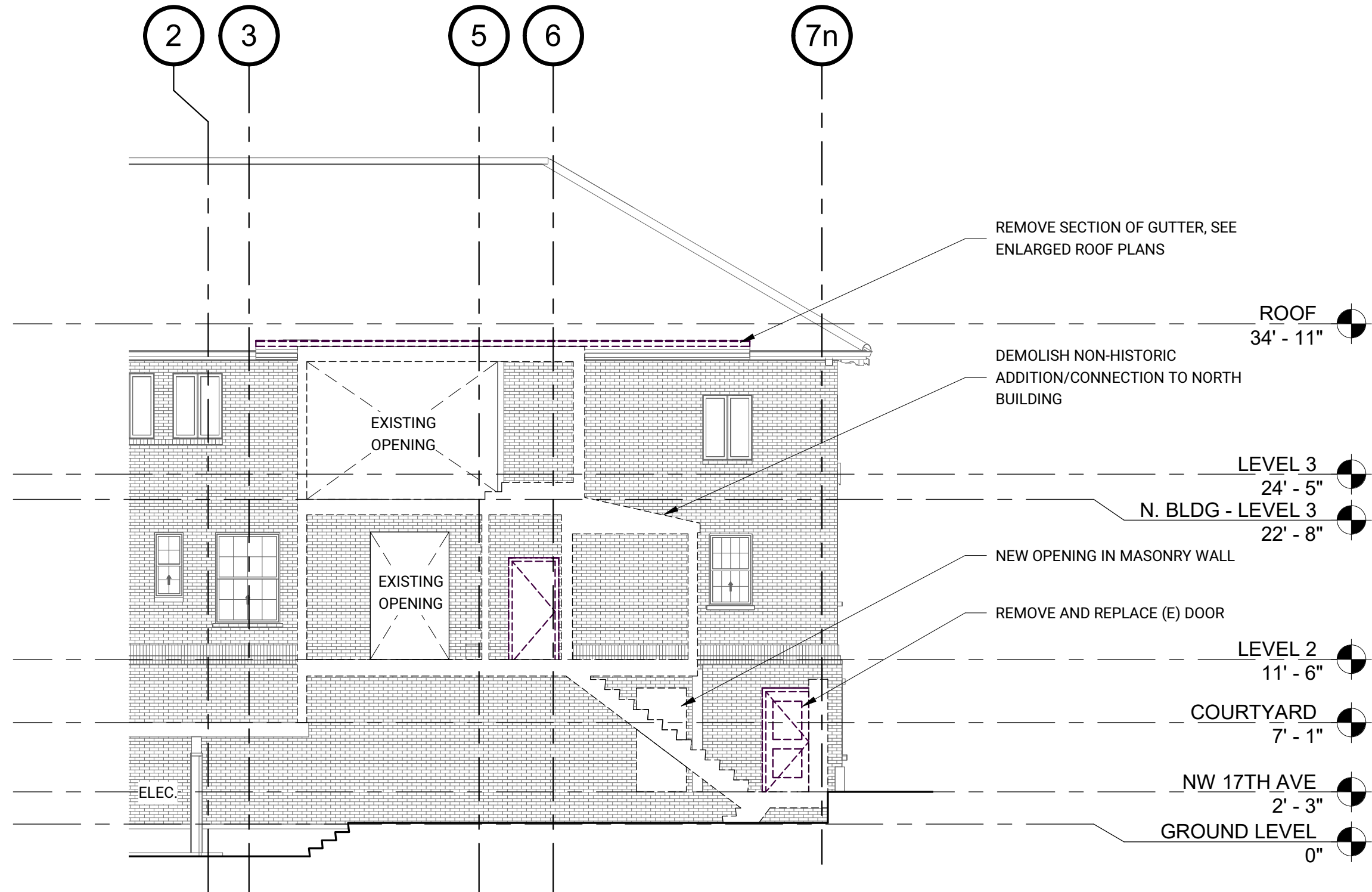
C21.2



Scale: 1/8" = 1'-0"

NORTH BLDG SOUTH ELEVATION - DEMO

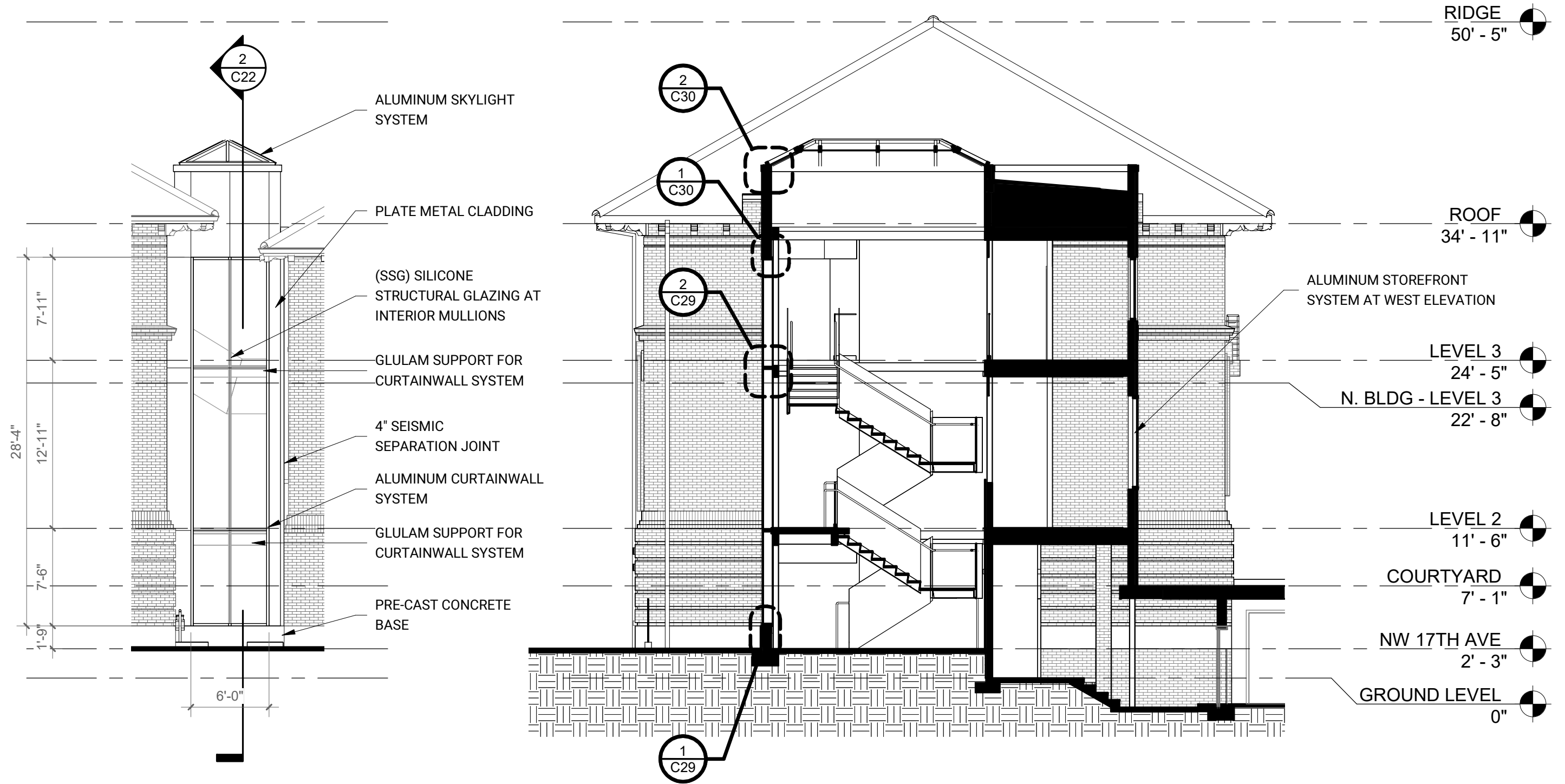
C21.3



Scale: 1/8" = 1'-0"

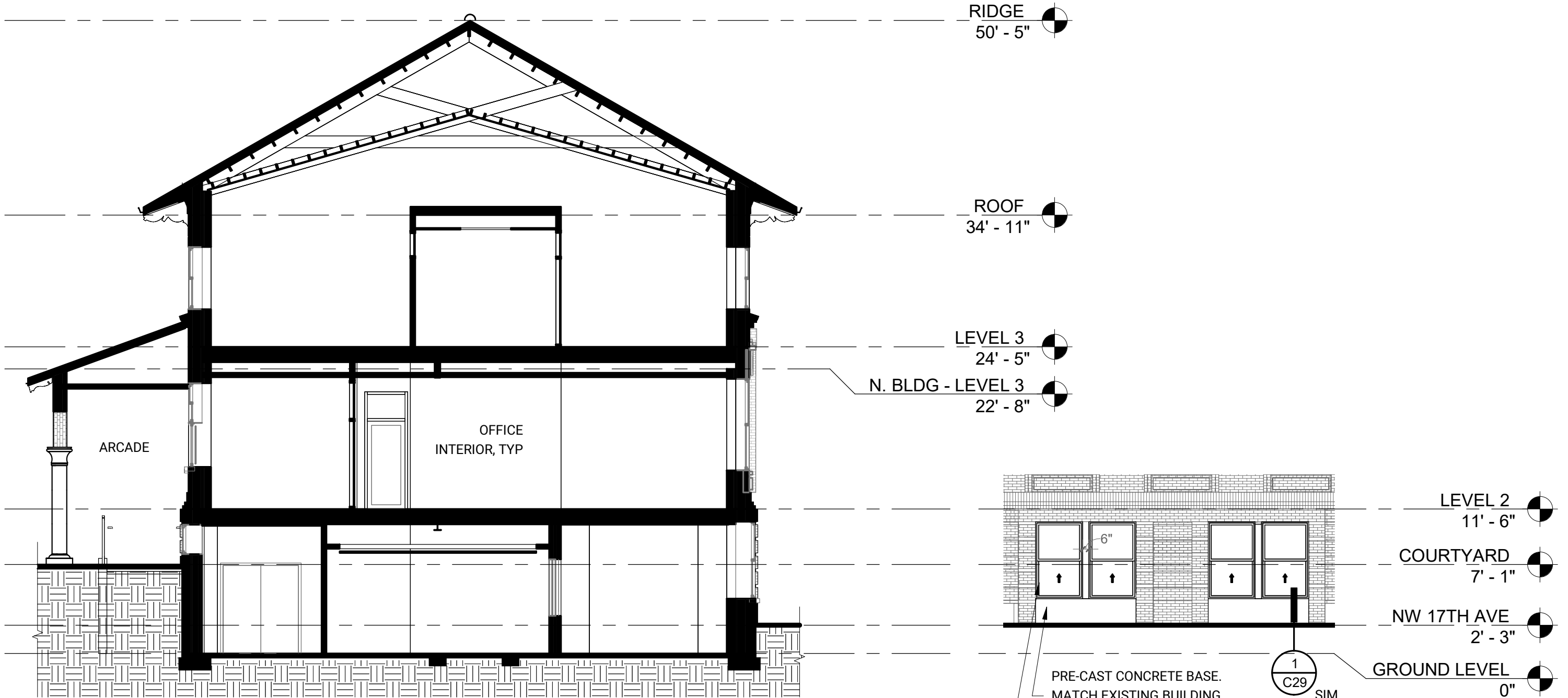
ENLARGED ELEVATION / SECTION

C22



ENLARGED ELEVATION / SECTION

C23



Scale: 1/8" = 1'-0"



PRE-CAST CONCRETE BASE.
 MATCH EXISTING BUILDING
 PROFILE

NEW WOOD DOUBLE HUNG ALUMINUM CLAD
 WOOD WINDOWS TO MATCH EXISTING.
 BASIS OF DESIGN: MARVIN ULTIMATE WOOD
 DOUBLE HUNG G2

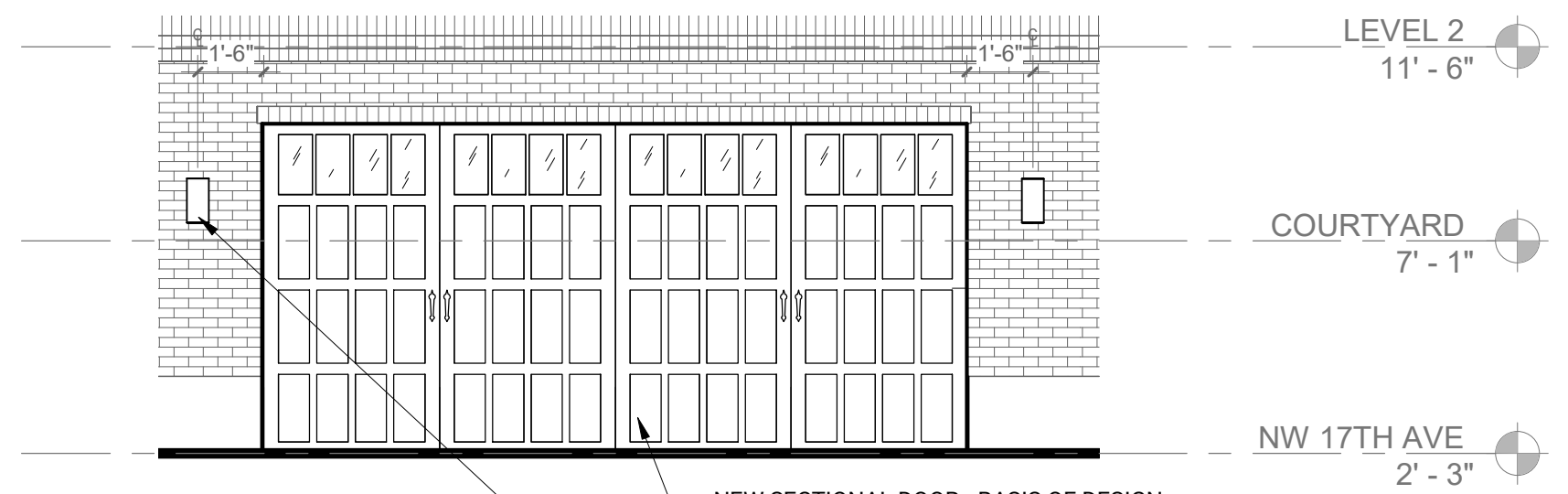
ENLARGED ELEVATION / SECTION

C24



Applied Products:

Applied Products:	Glass	Obscured	
	Windows	Carrage House Collection	16 Window Square 7"
	Paint	White Paint	White Paint
	Hardware	Pull Handle	Spear 10" x 8"
	Garage Door	Carrage House Collection	Model 308 10' x 8'



NEW SECTIONAL DOOR - BASIS OF DESIGN:
OVERHEAD DOOR COMPANY; MODEL 308
CARRIAGE HOUSE COLLECTION - 16 WINDOW
SQUARE 7"

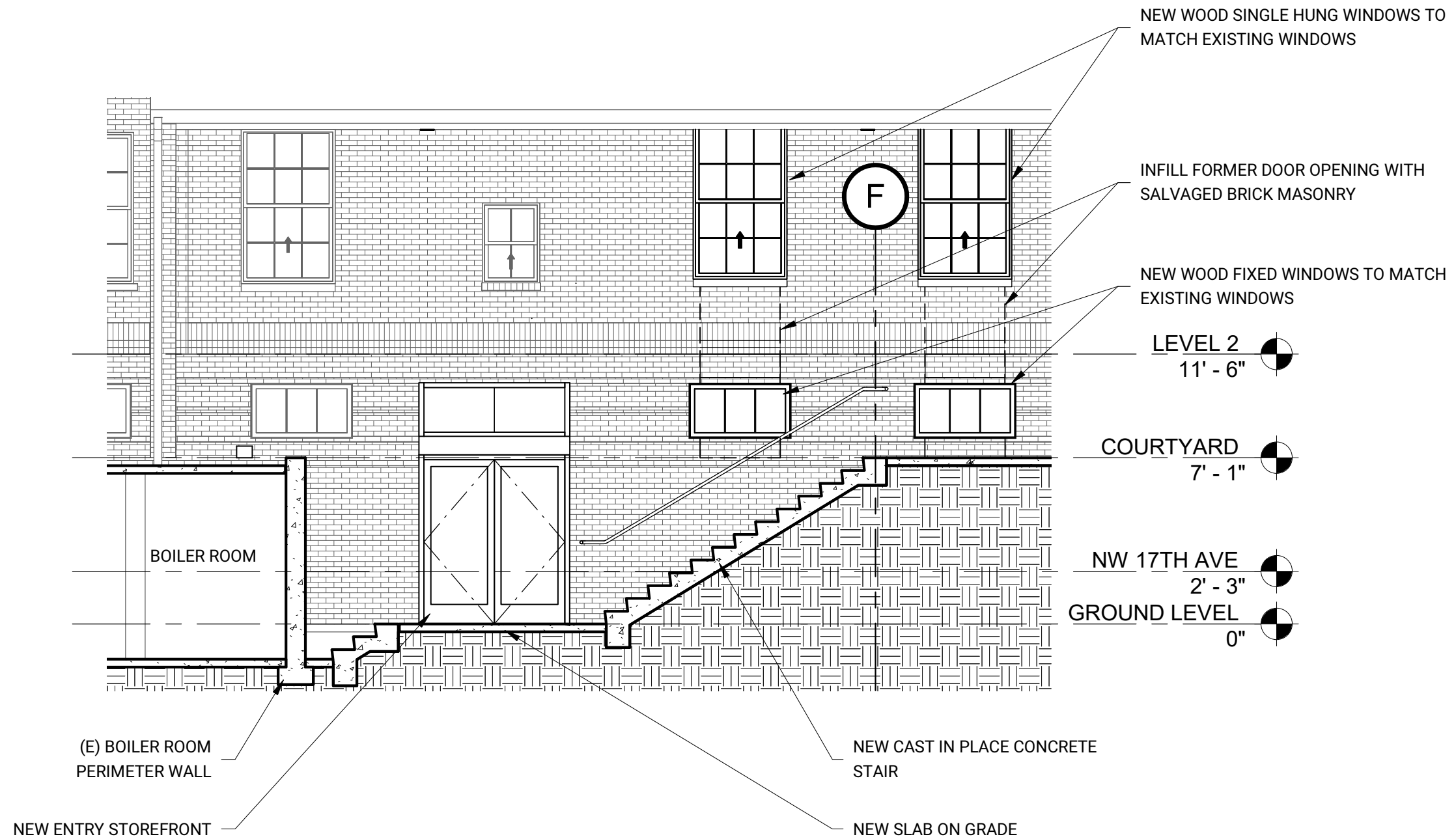
NEW WALL SCONCE.

NOT FOR CONSTRUCTION

Scale: 1/4" = 1'-0"

ENLARGED ELEVATION / SECTION

C25



Scale: 3/16" = 1'-0"



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RENDERINGS

C26



Scale:



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07.26.2023

NOT FOR CONSTRUCTION



LU 23-068457 HR A-7

RENDERINGS

C27



Scale:



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07.26.2023

NOT FOR CONSTRUCTION



LU 23-068457 HR A-7

RENDERINGS

C28



Scale:



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07.26.2023

NOT FOR CONSTRUCTION



LU 23-068457 HR A-7

ST MARY'S CATHOLIC CATHEDRAL OF IMMACULATE CONCEPTION
1716 NW DAVIS ST, PORTLAND, OREGON 97209

RENOVATION AND IMPROVEMENTS FOR THE
ARCHDIOCESE OF PORTLAND



LAND USE REVIEW EXHIBITS
TYPE III HISTORIC RESOURCE APPLICATION

SITE CONTEXT MAP

C2



- PARKING LOT (UNDER SAME OWNERSHIP)
- 1716 NW DAVIS ST (SUBJECT PROPERTY)
- 110 NW 17TH AVE (UNDER SAME OWNERSHIP)

Scale:



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10.05.2023

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LU 23-068457 HR A-8

SITE CONTEXT PHOTOS

C3



NORTH ELEVATION ALONG NW DAVIS ST



EAST ELEVATION ALONG NW 17TH AVE



EAST ELEVATION ALONG NW 17TH AVE

Scale:



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10.05.2023

NOT FOR CONSTRUCTION



LU 23-068457 HR A-8

SITE CONTEXT PHOTOS

C3-1



LOOKING WEST FROM THE NW 17TH AVE DOORWAY INTO 'RAT'S ALLEY'

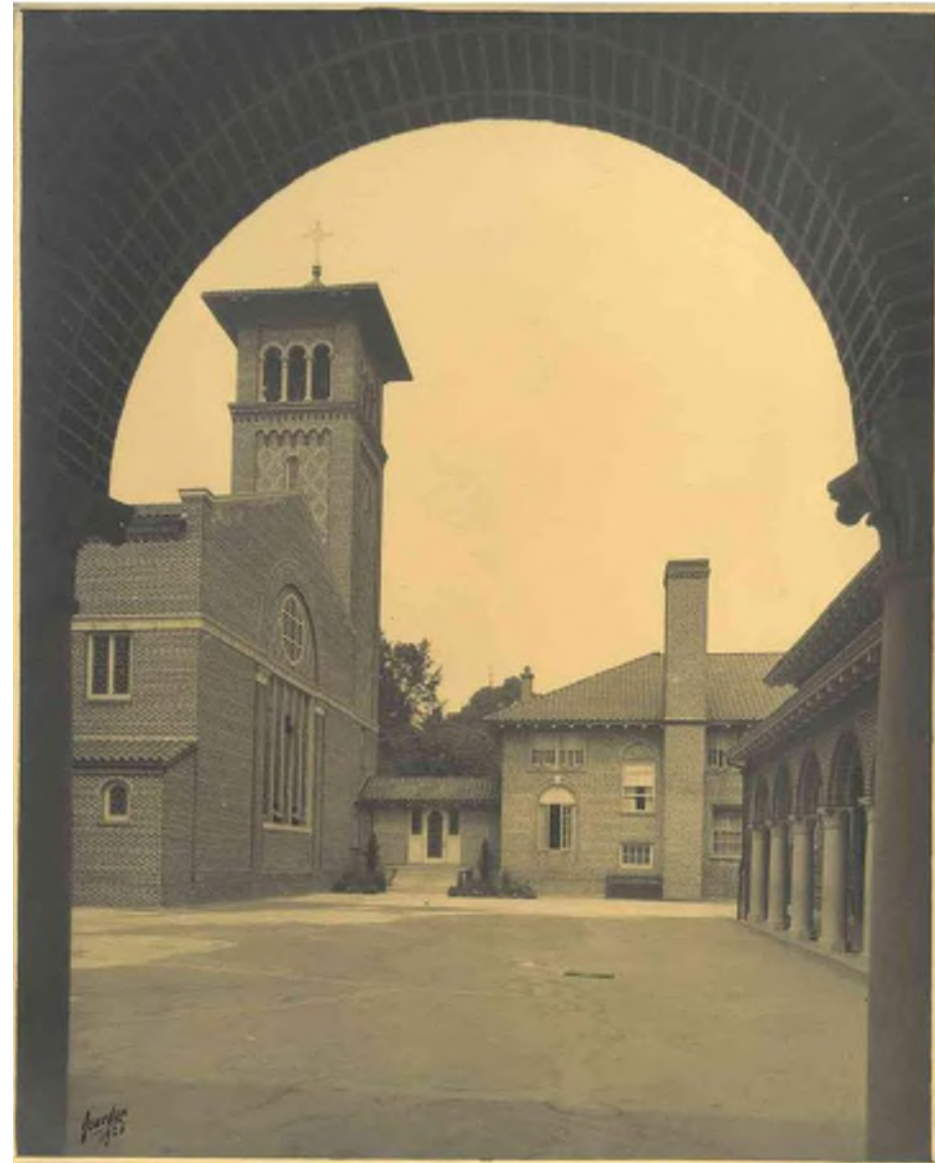


LOOKING UP AT ORIGINAL 'CLIPPED EAVES' OF THE NORTH BUILDING IN 'RAT'S ALLEY'

Scale:

HISTORIC IMAGES

C5



FACING NORTH INTO THE COURTYARD - 1926



ARCHITECT'S RENDERING

Scale:



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10.05.2023

NOT FOR CONSTRUCTION

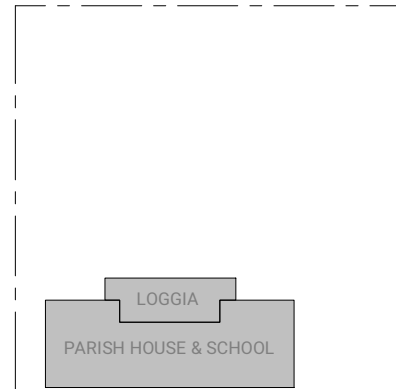


LU 23-068457 HR A-8

PROPERTY HISTORY TIMELINE

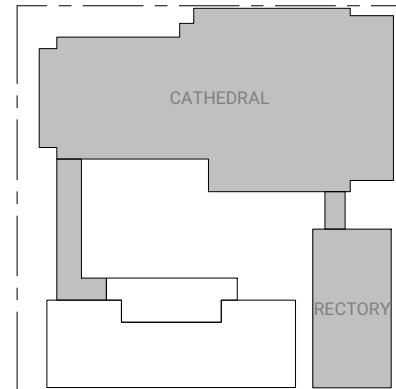
C6

1914



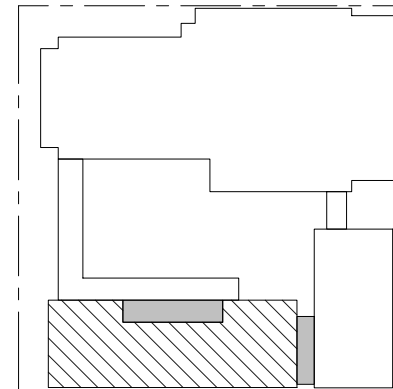
CONSTRUCTION OF THE PARISH HOUSE AND SCHOOL BUILDING.

1925



CONSTRUCTION OF ST. MARY'S CATHEDRAL OF IMMACULATE CONCEPTION AND THE RECTORY BUILDING.

1965



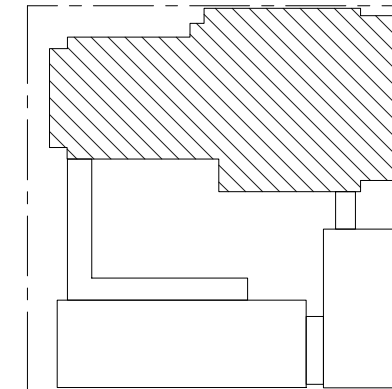
PARISH HOUSE AND SCHOOL IS CONVERTED INTO THE CONVENT AND PARISH CENTER.

1987



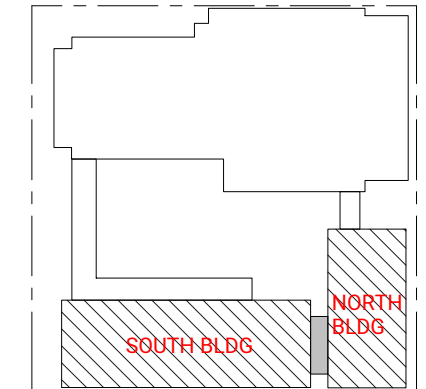
CONVERSION OF THE CONVENT TO THE ARCHBISHOPS RESIDENCE.

1994



SEISMIC AND MECHANICAL UPGRADES TO THE CATHEDRAL.

2024



CURRENT:
CONVERSION OF THE ARCHBISHOPS RESIDENCE AND PARISH CENTER TO THE ARCHDIOCESE OF PORTLAND. A NEW AND IMPROVED CONNECTION IS MADE BETWEEN THE RENOVATED RECTORY AND ARCHDIOCESE OF PORTLAND STRUCTURES. BOTH BUILDINGS ARE SEISMICALLY UPGRADED AND HAVE NEW MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE SUPPRESSION SYSTEMS

Scale: 1" = 100'-0"

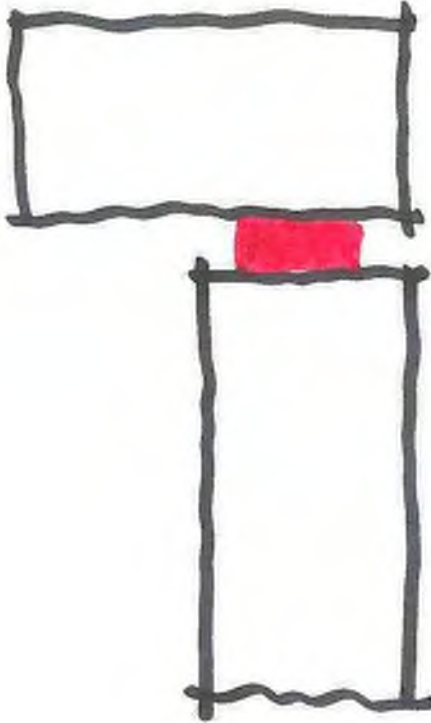


221084 | ARCHDIOCESE PASTORAL CENTER OFFICES | 10.05.2023

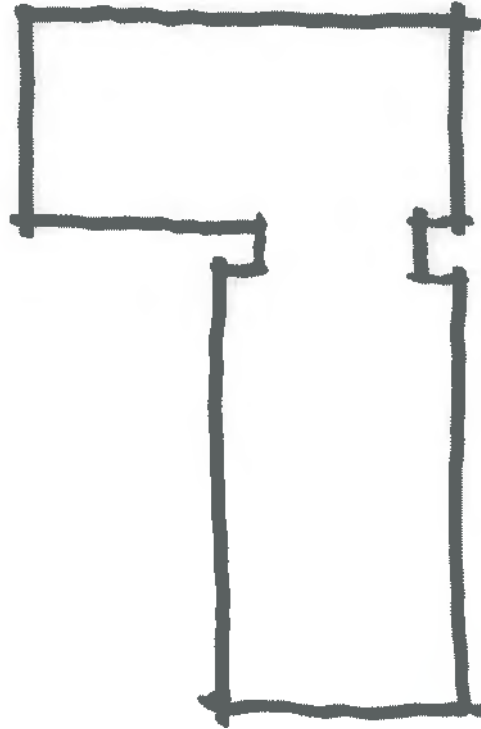
NOT FOR CONSTRUCTION



LU 23-068457 HR A-8



TWO-BUILDING DISTINCTION
RESPECT THE HISTORY OF (2)
STRUCTURES BUILT AT DIFFERENT
TIMES

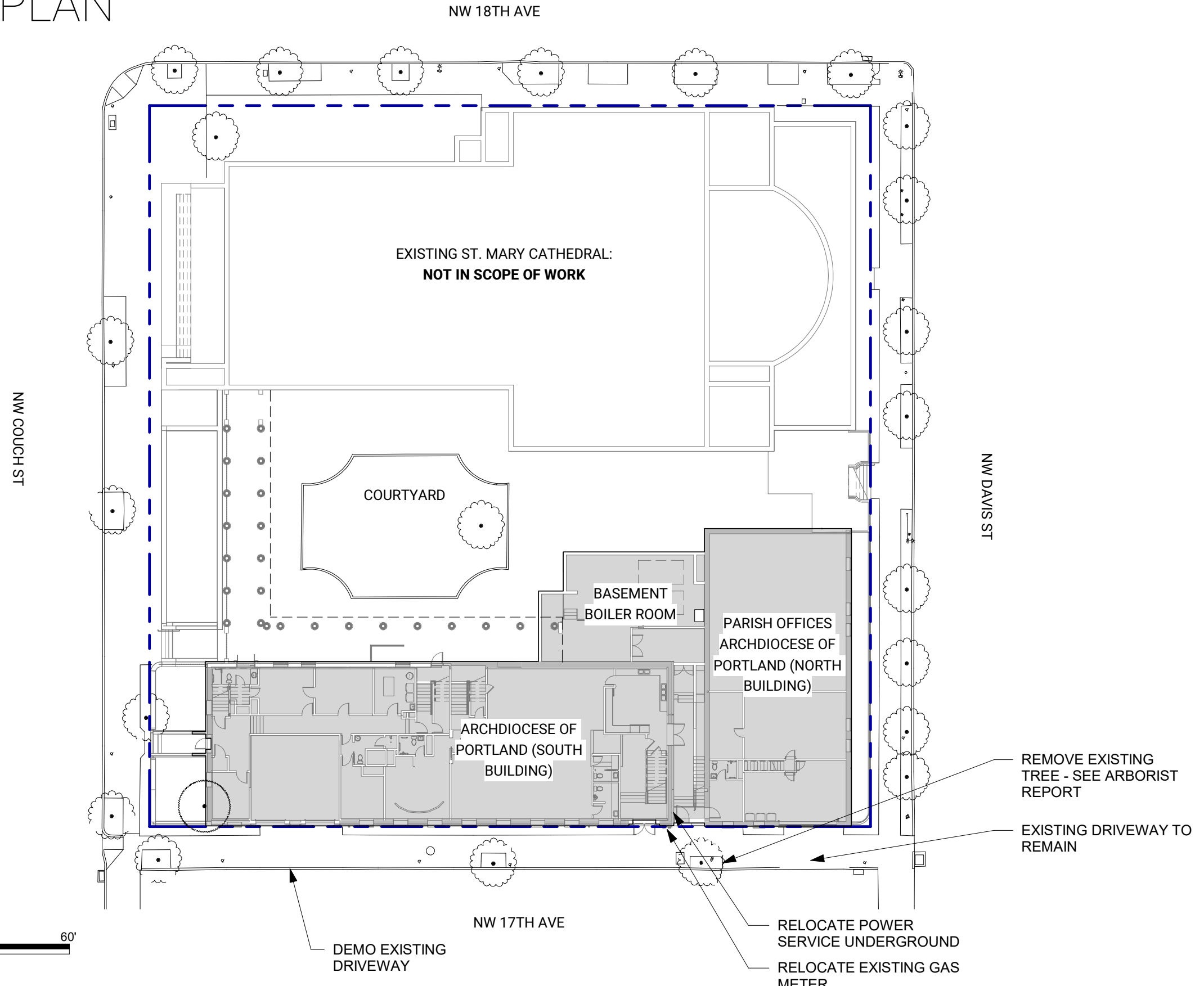


CONSOLIDATION
BLEND BUILDINGS TOGETHER WITH
NO DIFFERENTIATION BETWEEN
OLD AND NEW

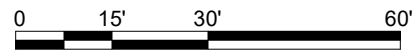
TWO BUILDING DISTINCTION

EXISTING SITE PLAN

C7



Scale: 1" = 30'-0"



NOT FOR CONSTRUCTION



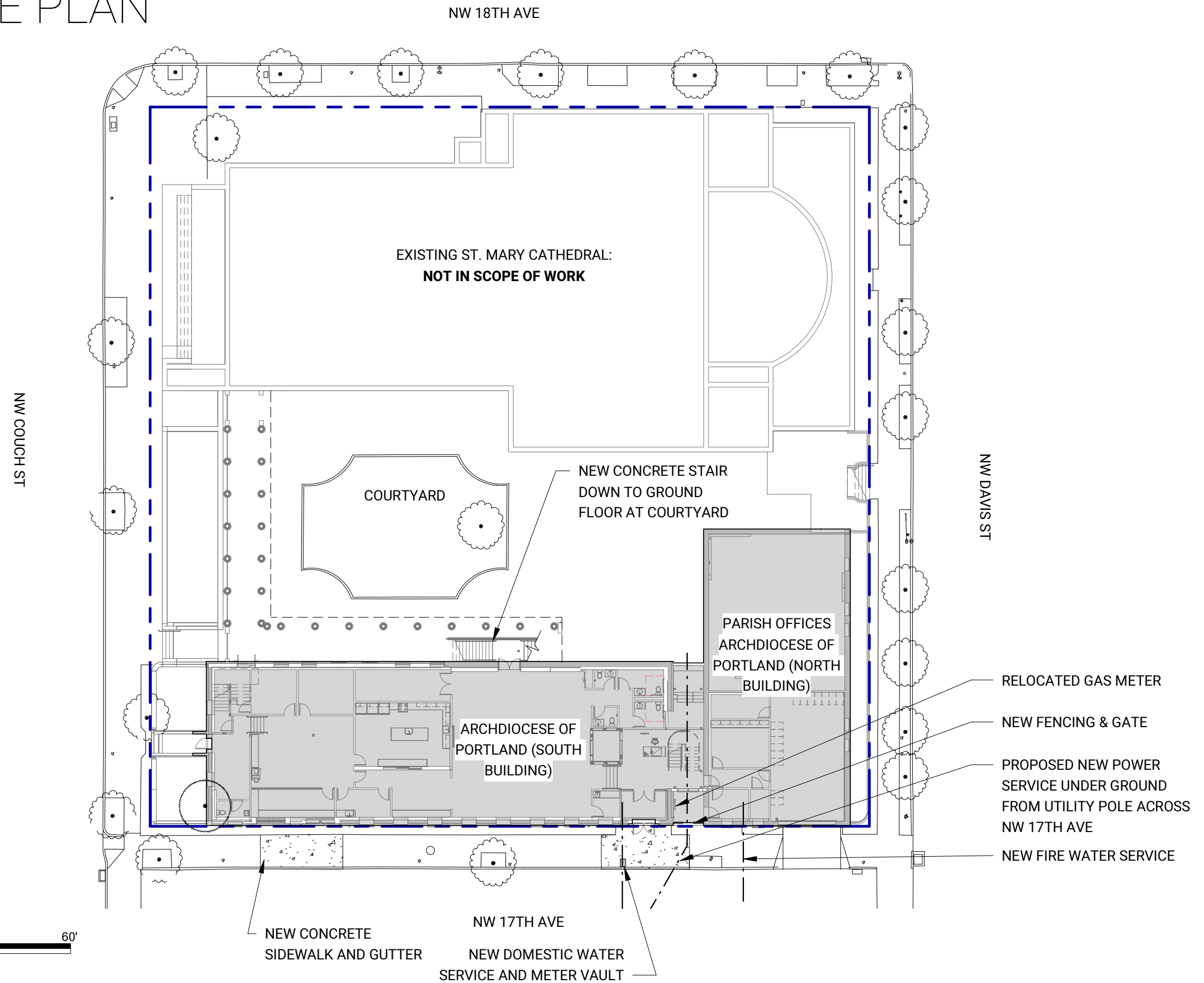
221084 | ARCHDIOCESE PASTORAL CENTER OFFICES |
07.26.2023



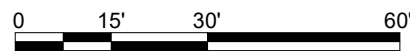
LU 23-068457 HR A-8
LU 23-068457 HR

PROPOSED SITE PLAN

C8



Scale: 1" = 30'-0"



NEW CONCRETE
SIDEWALK AND GUTTER

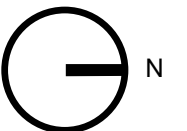
NW 17TH AVE
NEW DOMESTIC WATER
SERVICE AND METER VAULT

- RELOCATED GAS METER
- NEW FENCING & GATE
- PROPOSED NEW POWER
SERVICE UNDER GROUND
FROM UTILITY POLE ACROSS
NW 17TH AVE
- NEW FIRE WATER SERVICE

NOT FOR CONSTRUCTION



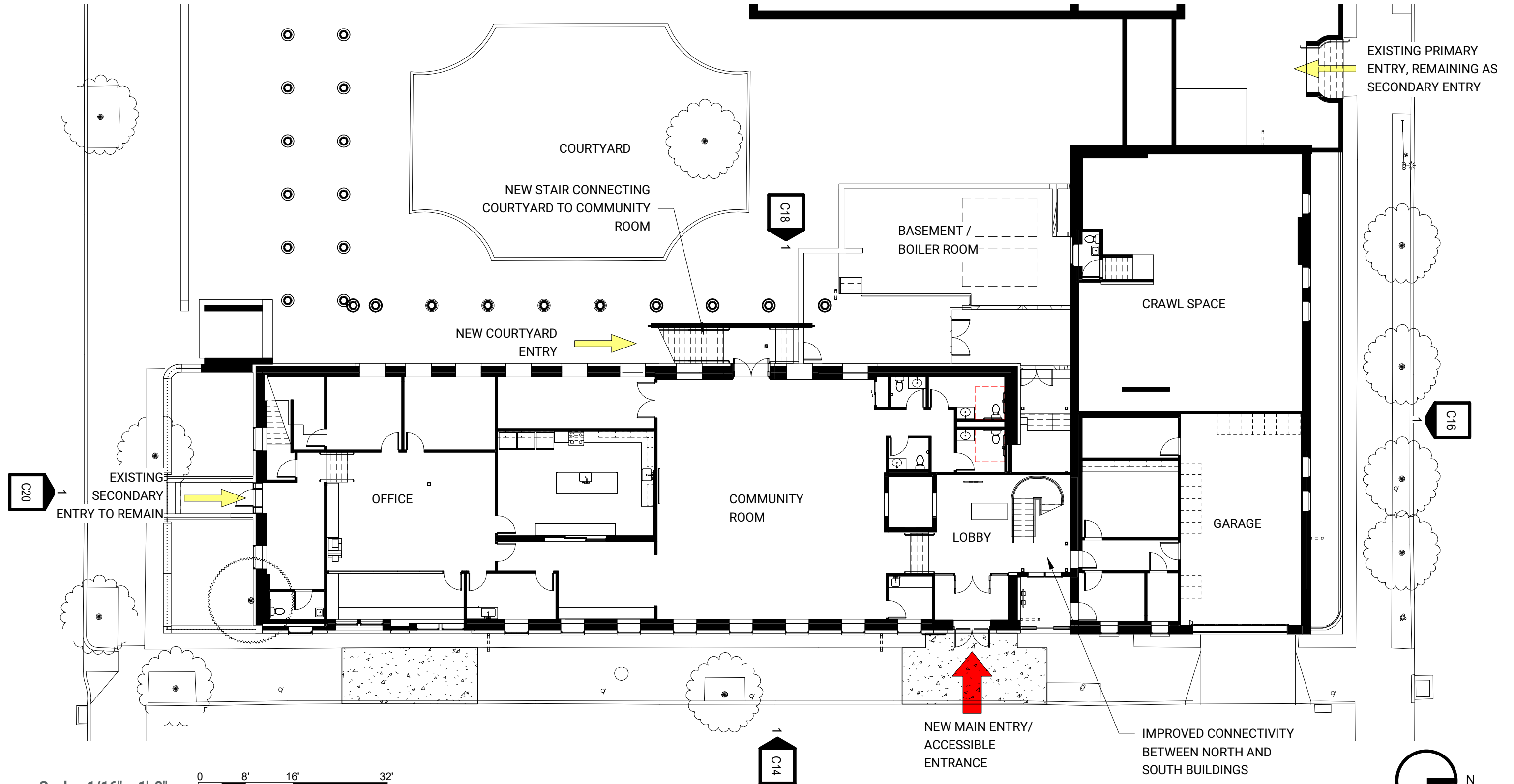
221084 | ARCHDIOCESE PASTORAL CENTER OFFICES |
10.05.2023



LU 23-068457 HR A-8

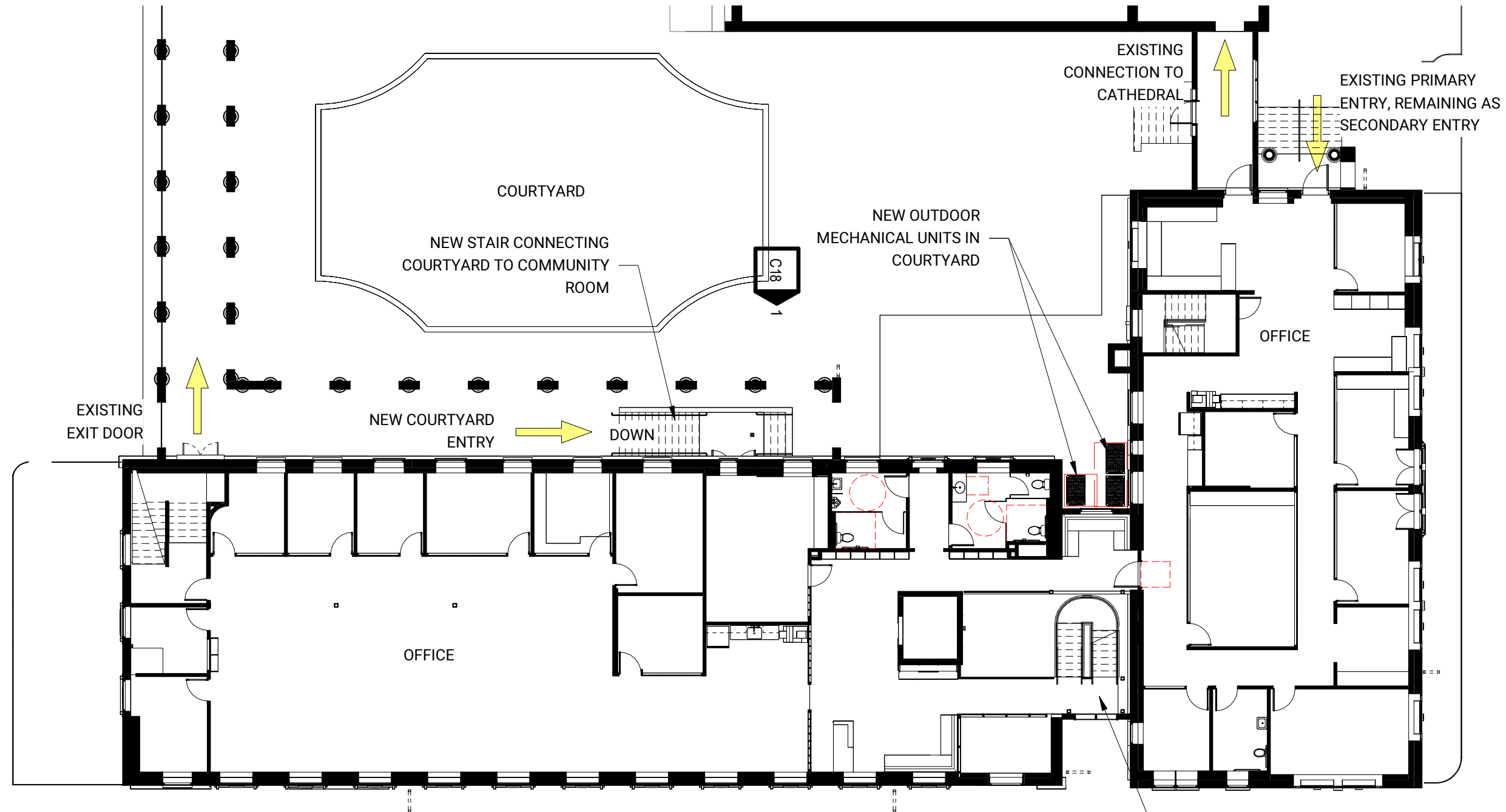
GROUND FLOOR PLAN

C9

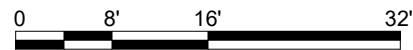


SECOND FLOOR PLAN

C10



Scale: 1/16" = 1'-0"



C14

IMPROVED CONNECTIVITY BETWEEN NORTH AND SOUTH BUILDINGS



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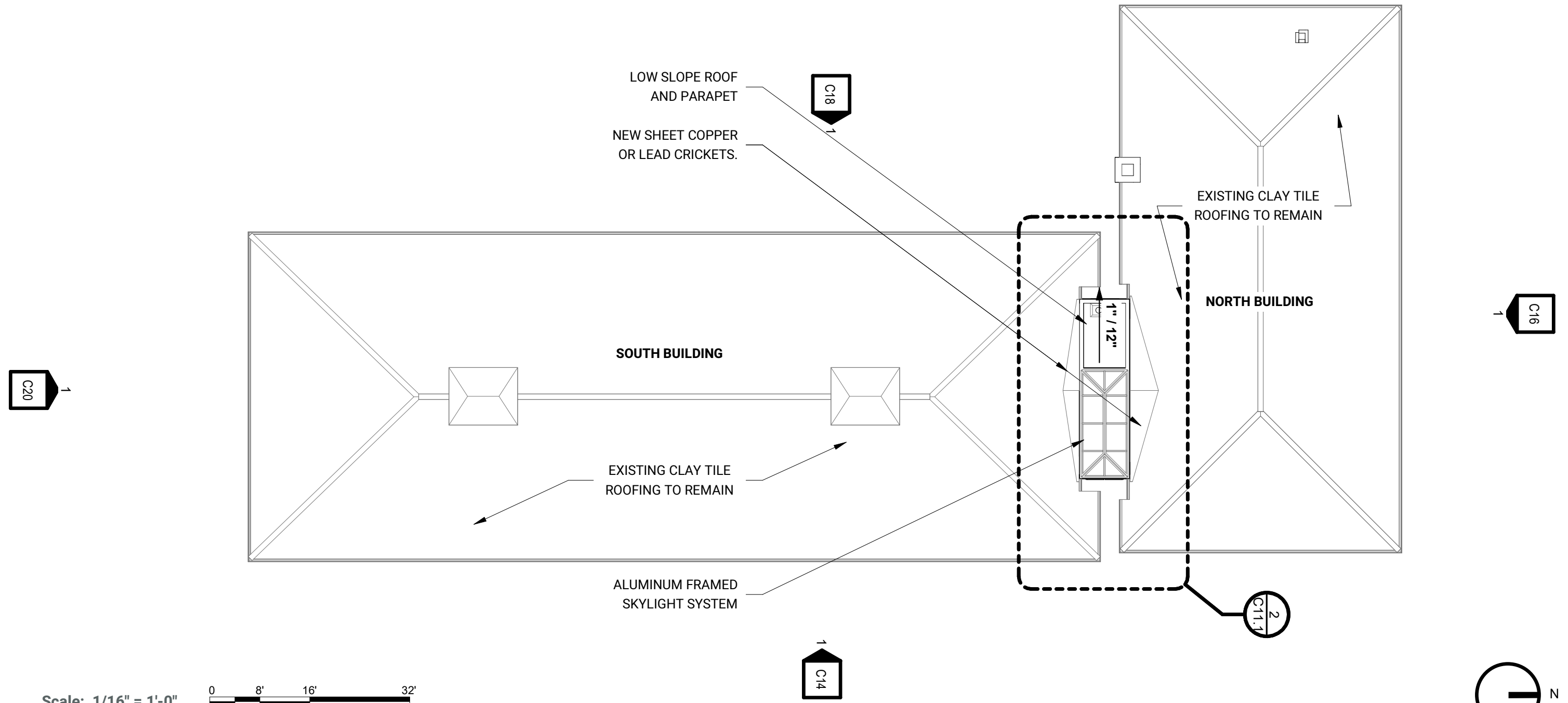
NOT FOR CONSTRUCTION



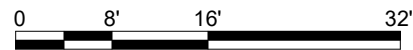
LU 23-068457 HR A-8

ROOF PLAN

C11

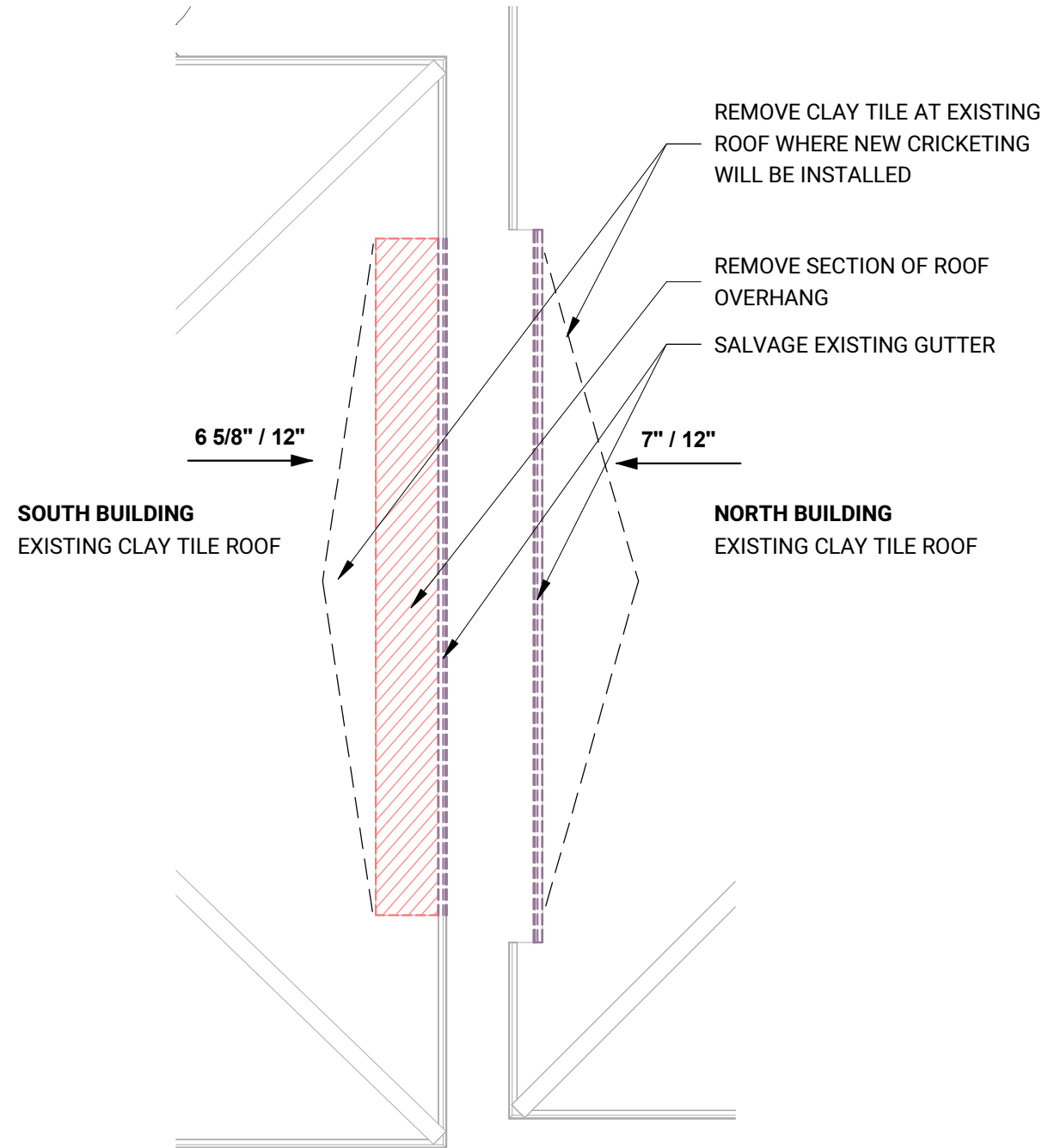


Scale: 1/16" = 1'-0"



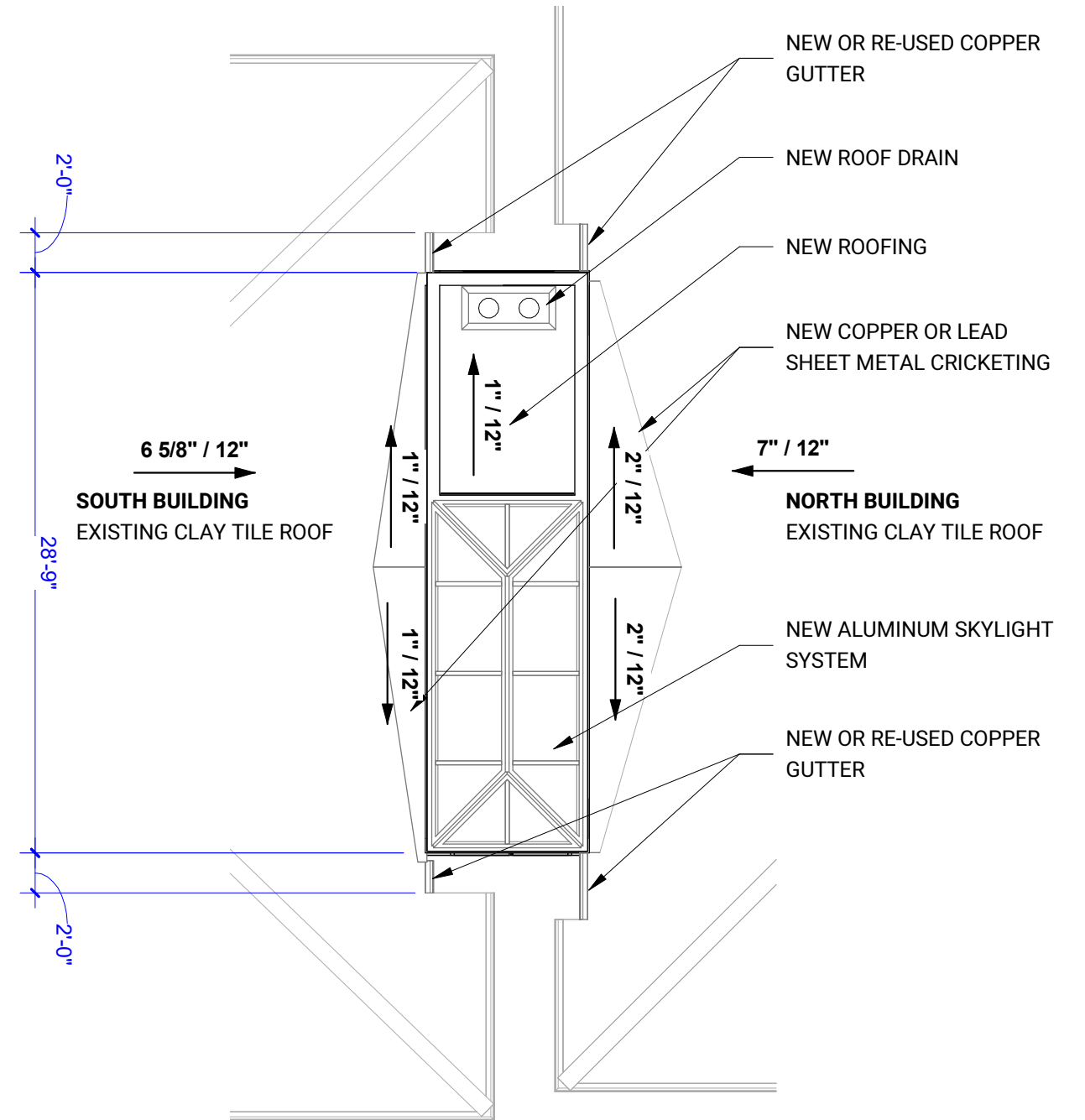
ENLARGED ROOF PLANS

C11-1



EXISTING ROOF PLAN

1/8" = 1' - 0"



NEW ROOF PLAN

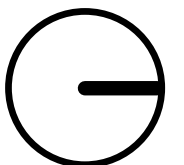
1/8" = 1' - 0"

Scale: 1/8" = 1'-0"



221084 | ARCHDIOCESE PASTORAL CENTER OFFICES | 10.05.2023

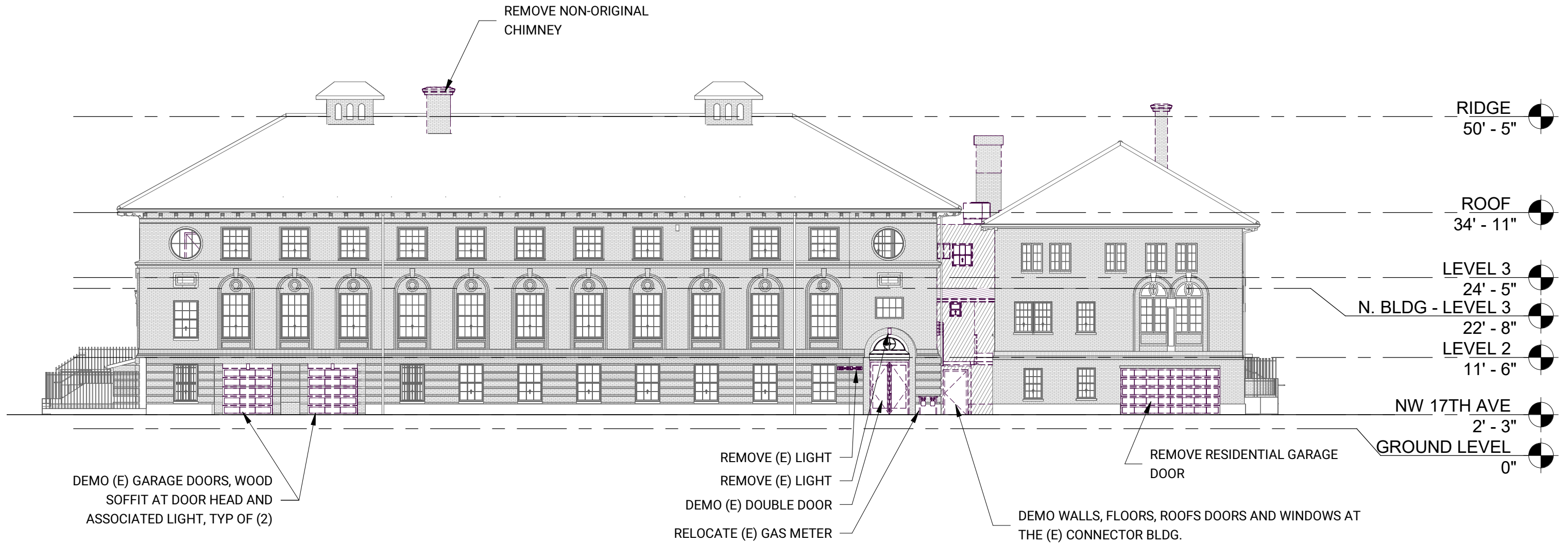
NOT FOR CONSTRUCTION



LU 23-068457 HR A-8

EXISTING ELEVATION - EAST

C13



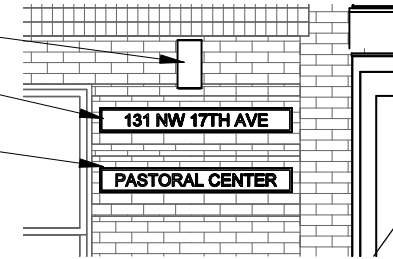
Scale: 1/16" = 1'-0"



PROPOSED ELEVATION - EAST

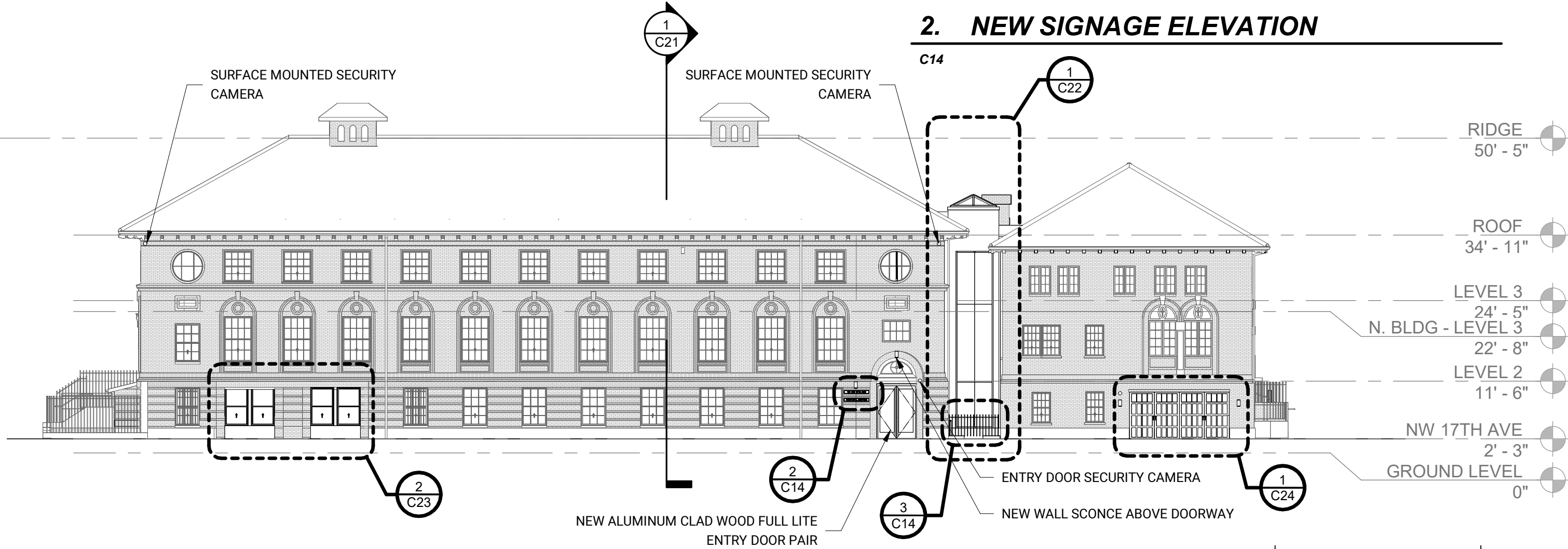
C14

NEW LIGHT ABOVE TO ILLUMINATE SIGNAGE
 NEW ADDRESS SIGNAGE
 NEW BUILDING SIGNAGE. METAL
 PLAQUE WITH METAL LETTERING.

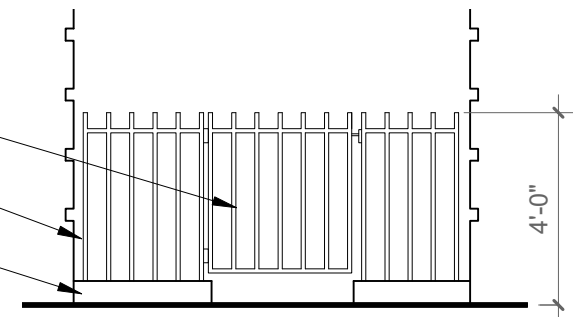


2. NEW SIGNAGE ELEVATION

C14



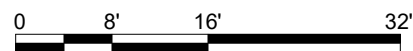
METAL GATE FOR MAINTENANCE ACCESS
 METAL FENCING TO MATCH EXISTING
 CONCRETE CURB



3. FENCE & GATE ELEVATION

C14

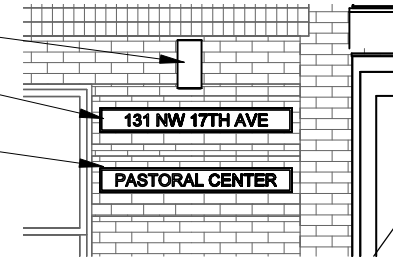
Scale: As indicated



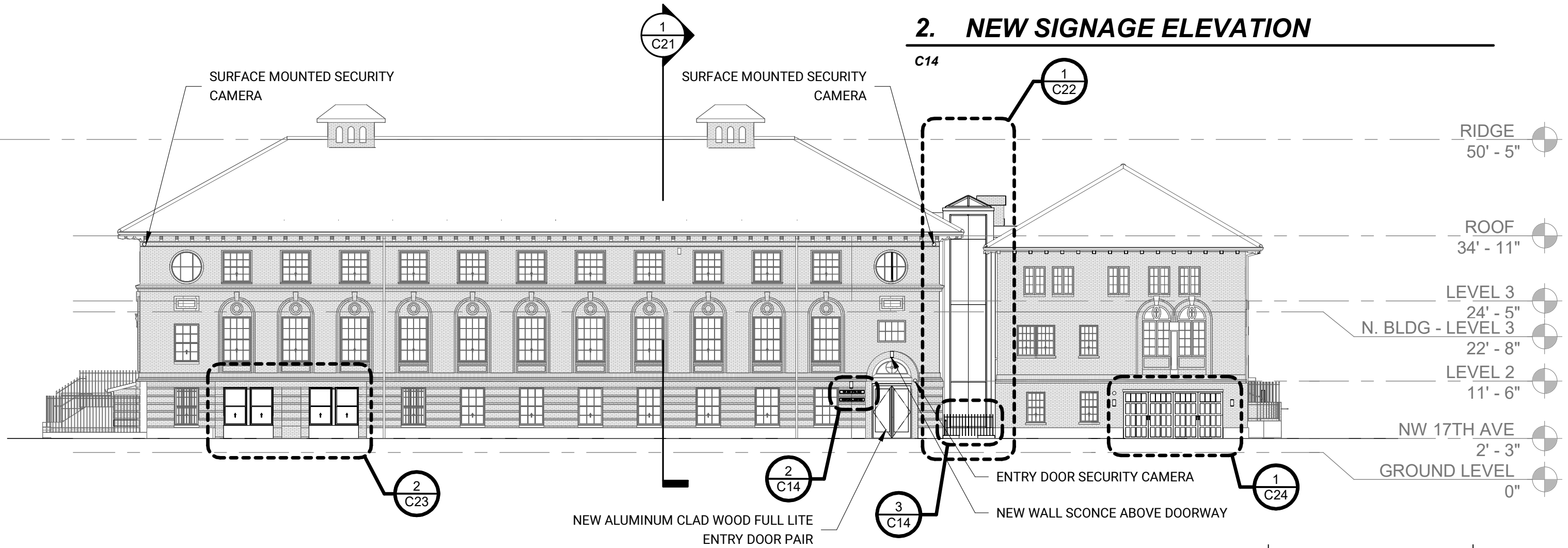
PROPOSED ELEVATION - EAST

C14 UPDATE WITH TALLER CURTAINWALL / GLASS AREA

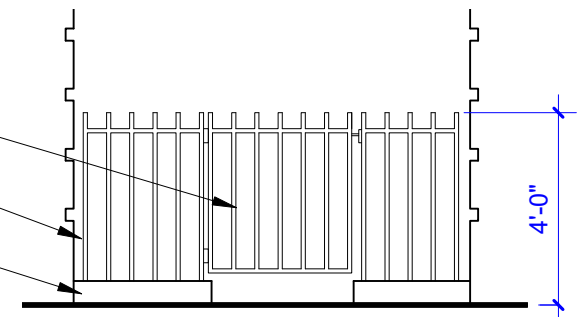
NEW LIGHT ABOVE TO ILLUMINATE SIGNAGE
 NEW ADDRESS SIGNAGE
 NEW BUILDING SIGNAGE. METAL
 PLAQUE WITH METAL LETTERING.



2. NEW SIGNAGE ELEVATION



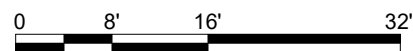
METAL GATE FOR MAINTENANCE ACCESS
 METAL FENCING TO MATCH EXISTING
 CONCRETE CURB



3. FENCE & GATE ELEVATION

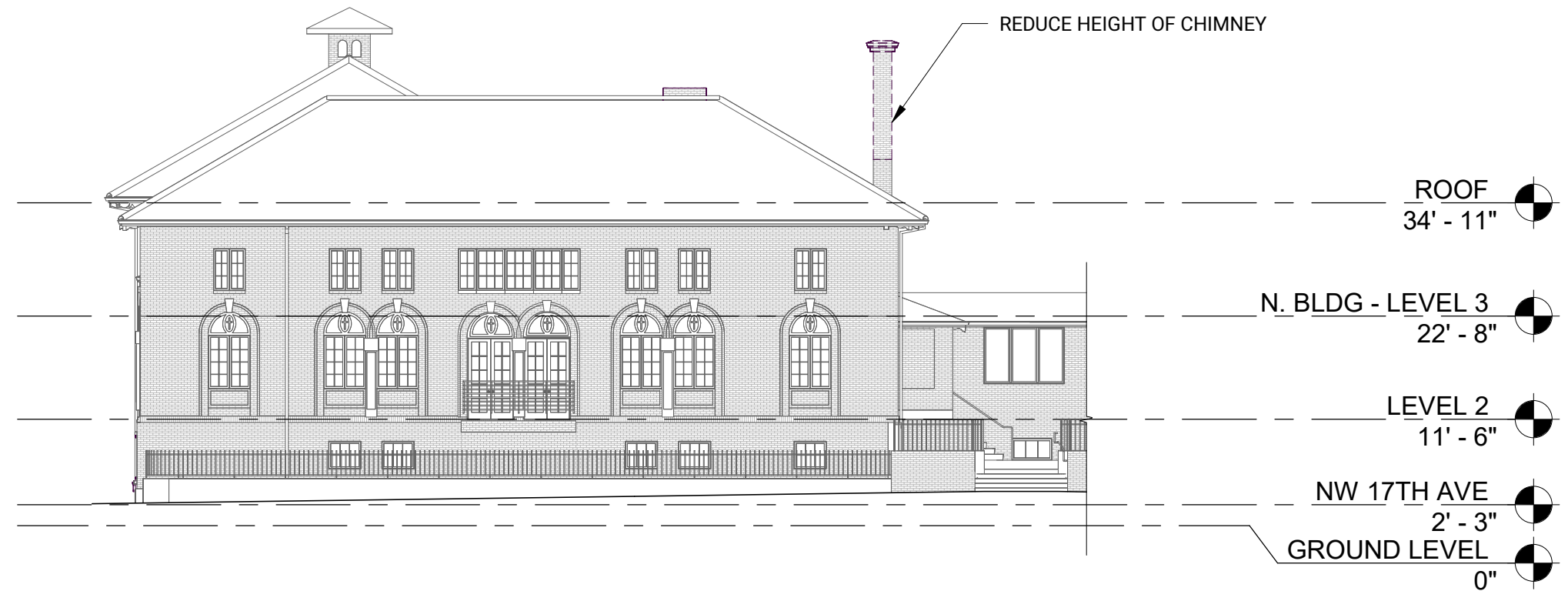
C14

Scale: As indicated



EXISTING ELEVATION - NORTH

C15

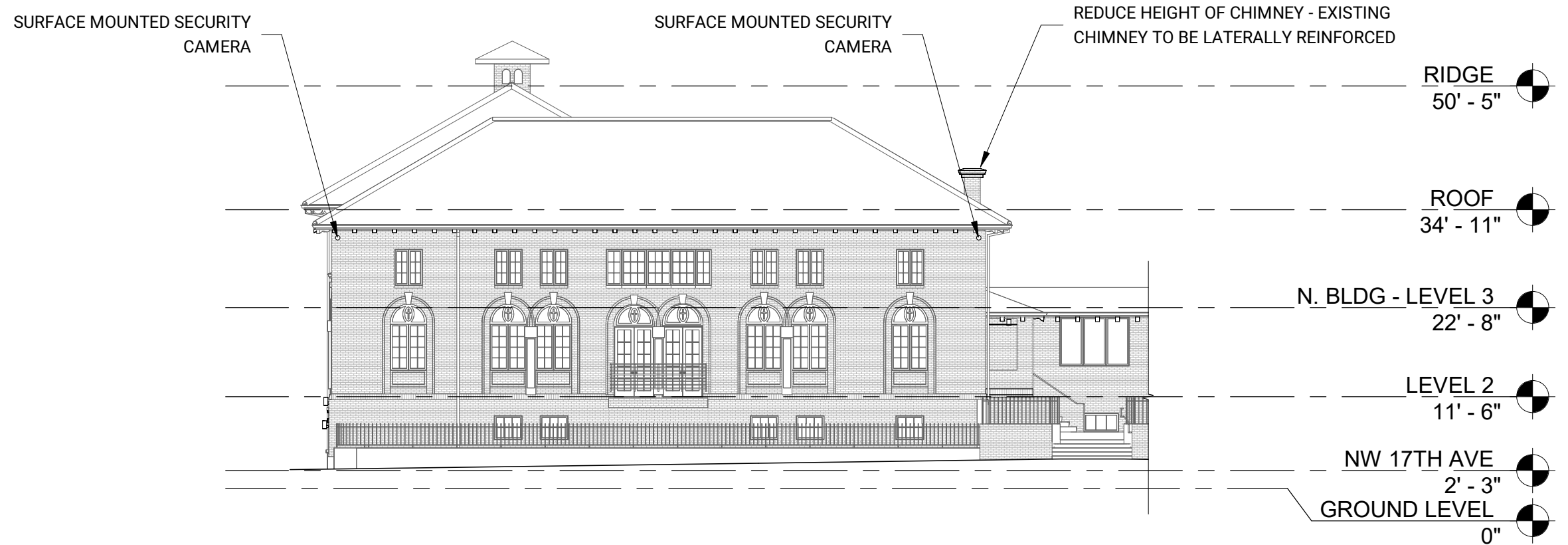


Scale: 1/16" = 1'-0"

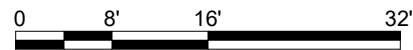


PROPOSED ELEVATION - NORTH

C16

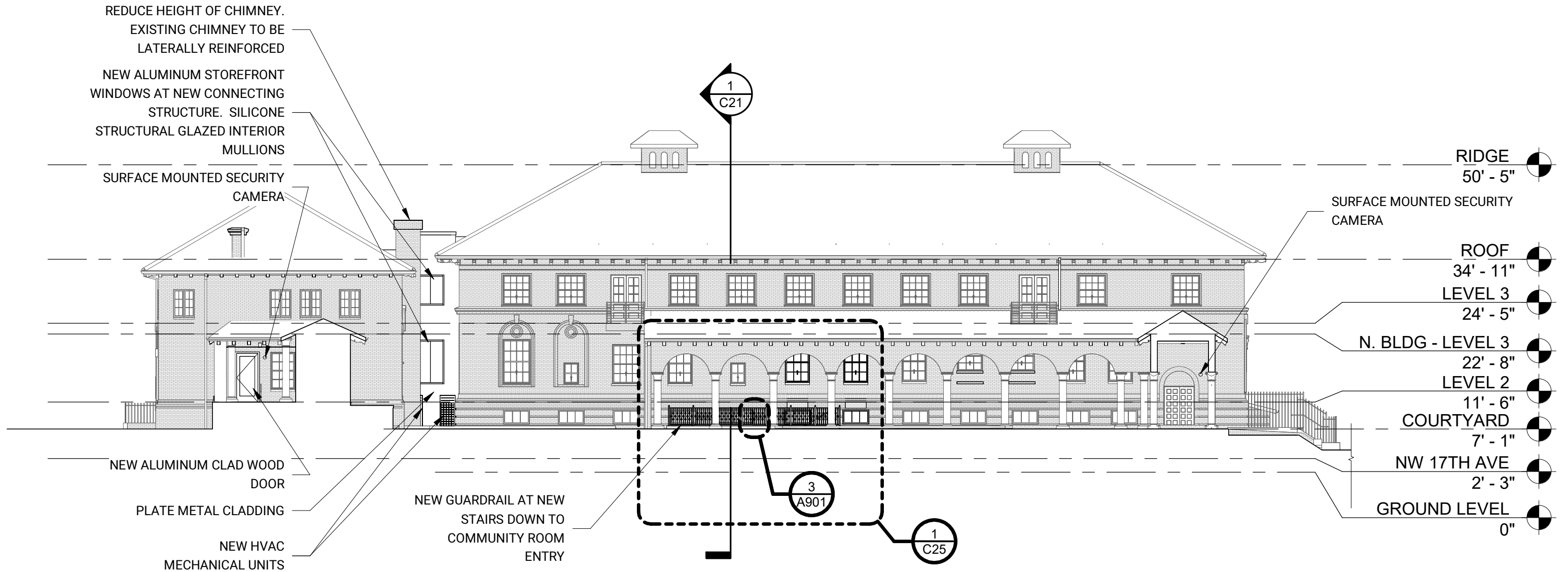


Scale: 1/16" = 1'-0"

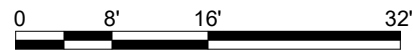


PROPOSED ELEVATION - WEST

C18



Scale: 1/16" = 1'-0"



EXISTING ELEVATION - SOUTH

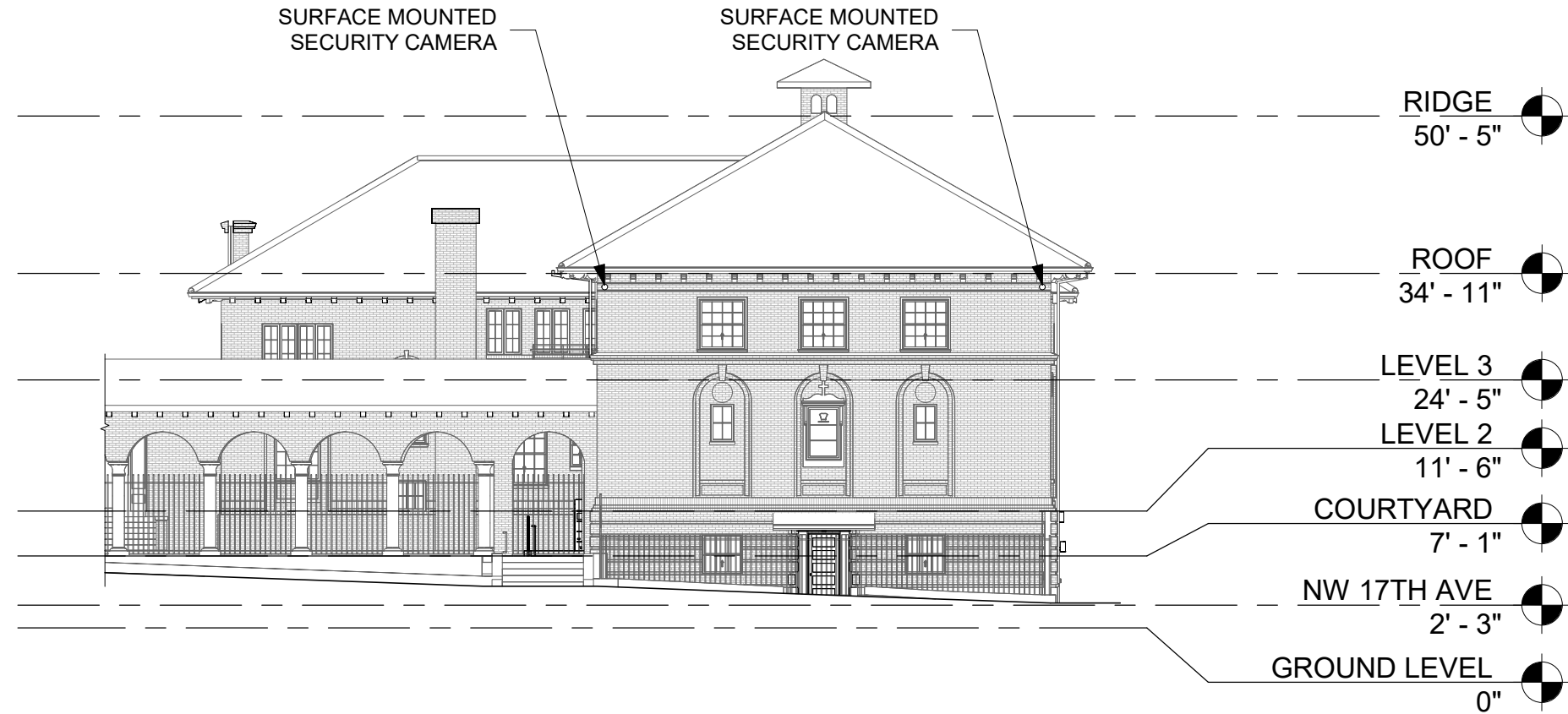
C19



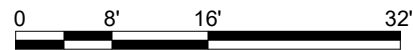
Scale: 1/16" = 1'-0"

PROPOSED ELEVATION - SOUTH

C20

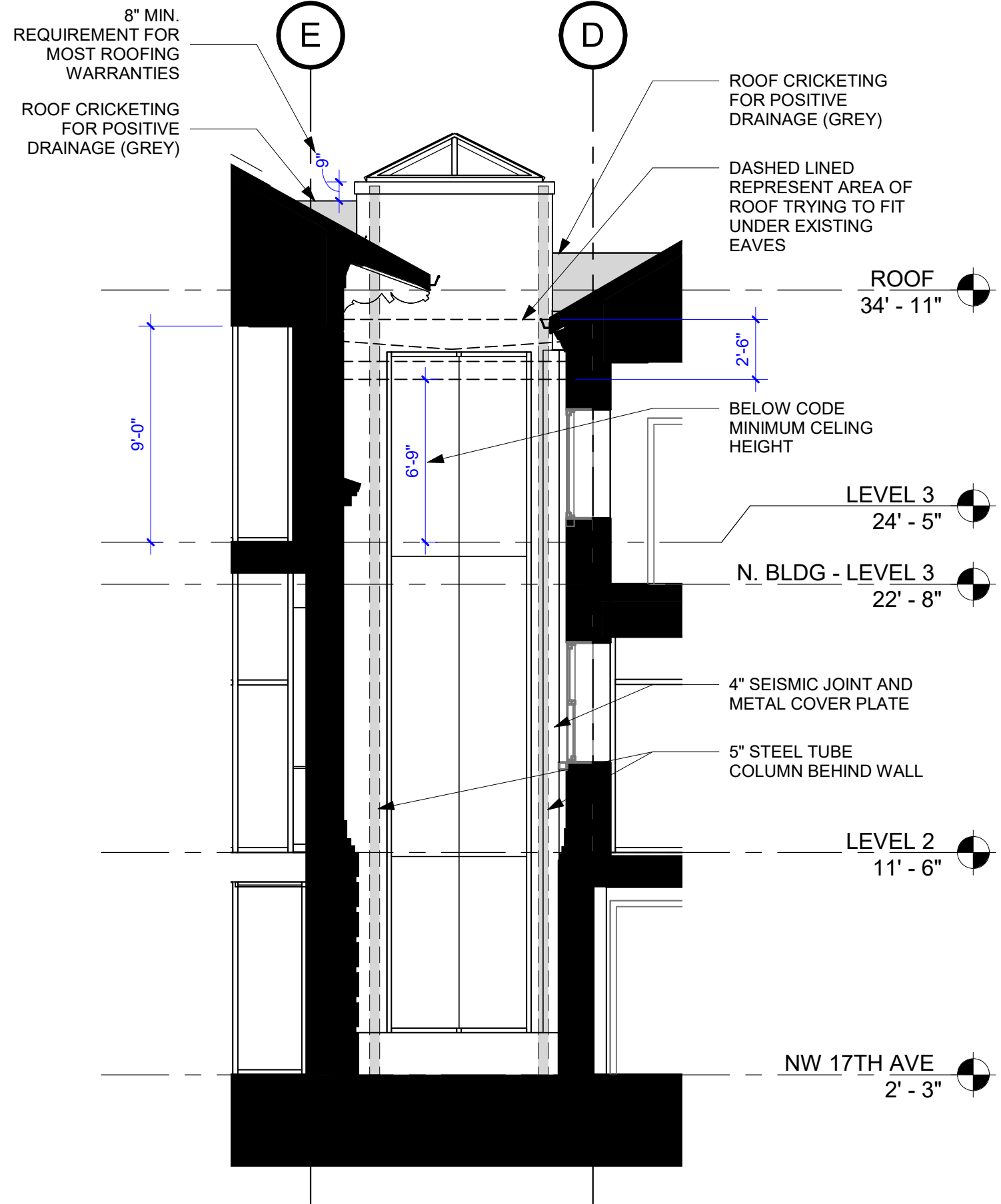
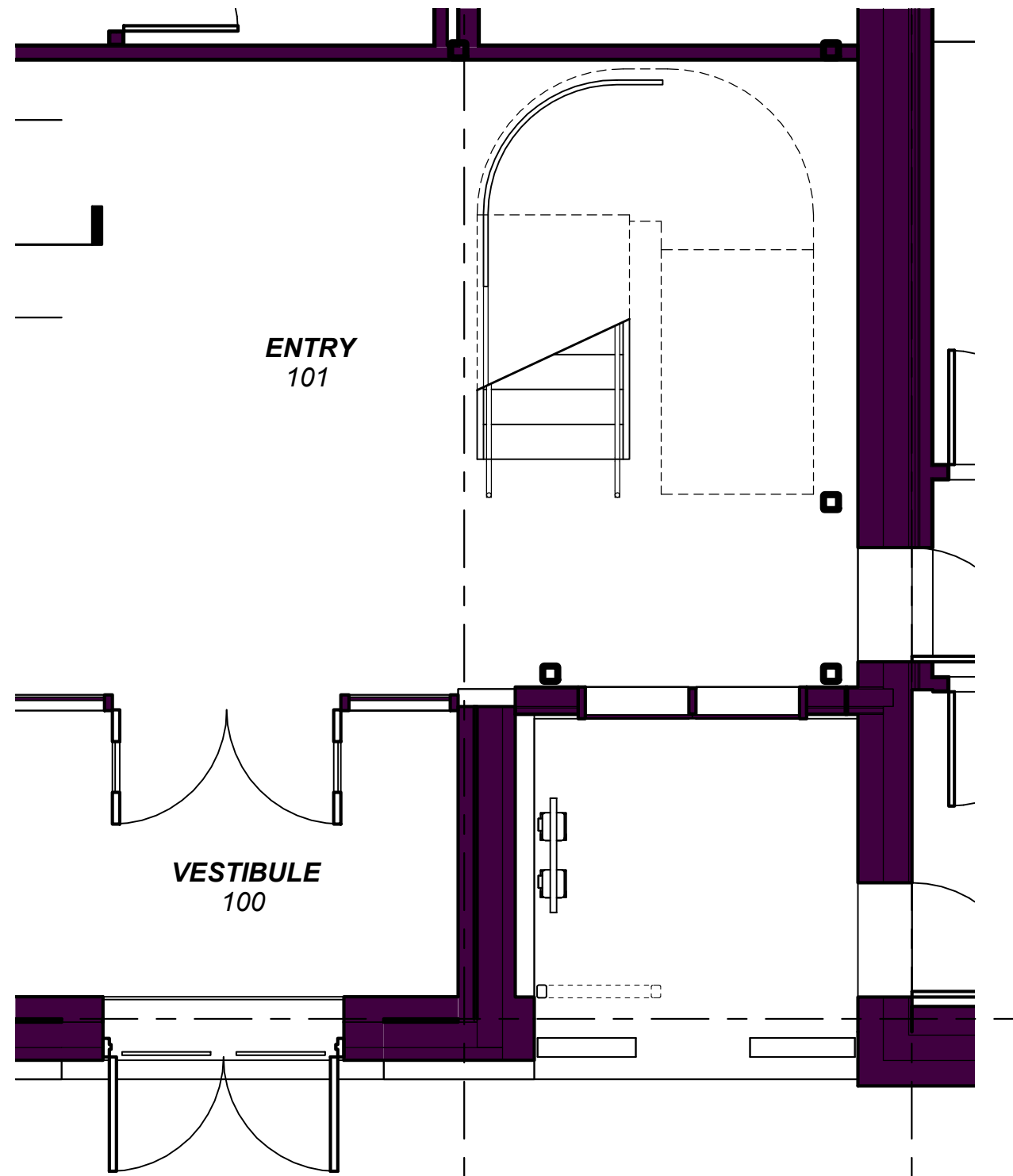


Scale: 1/16" = 1'-0"



BUILDING SECTION - RATS ALLEY

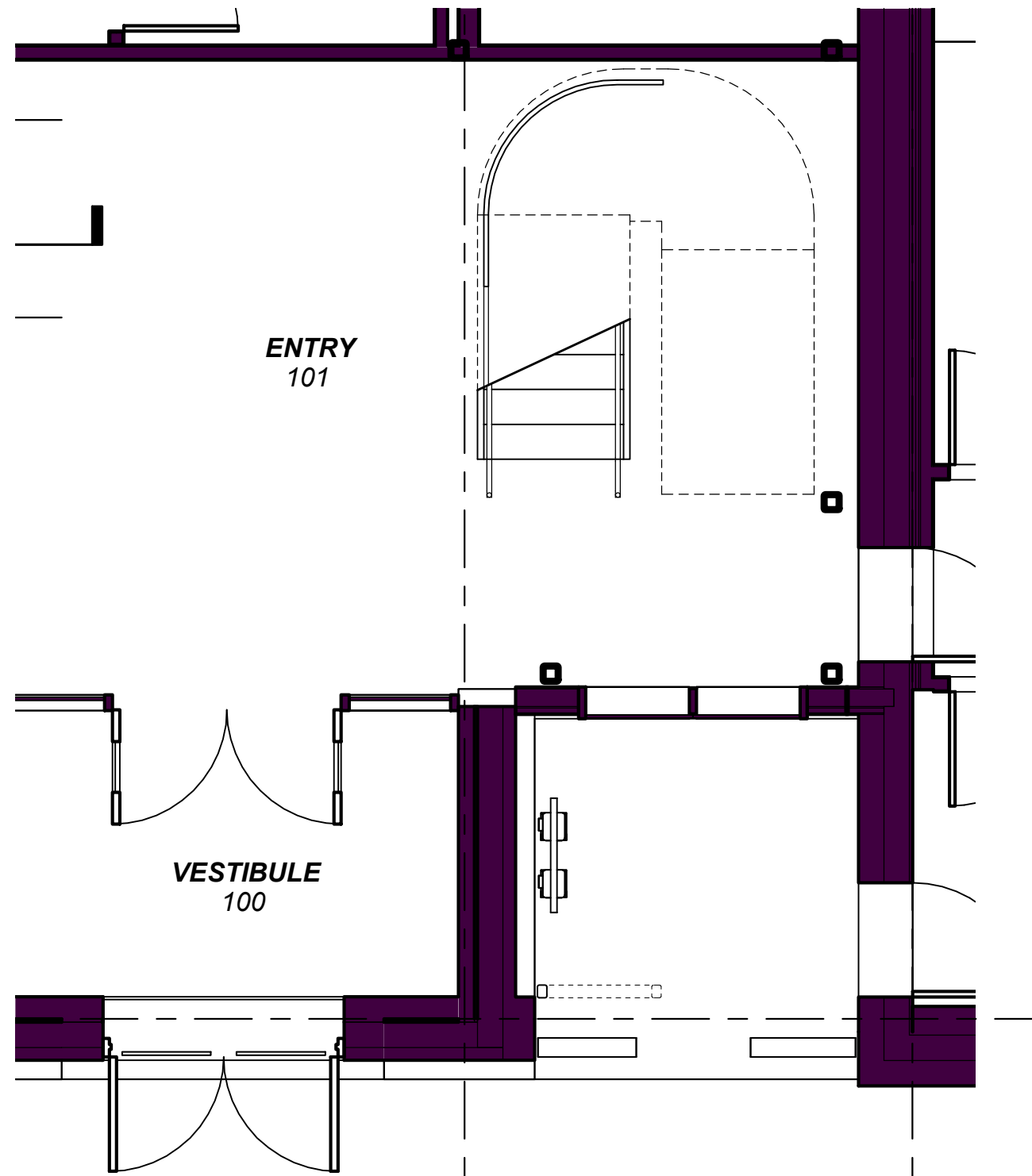
C21.1



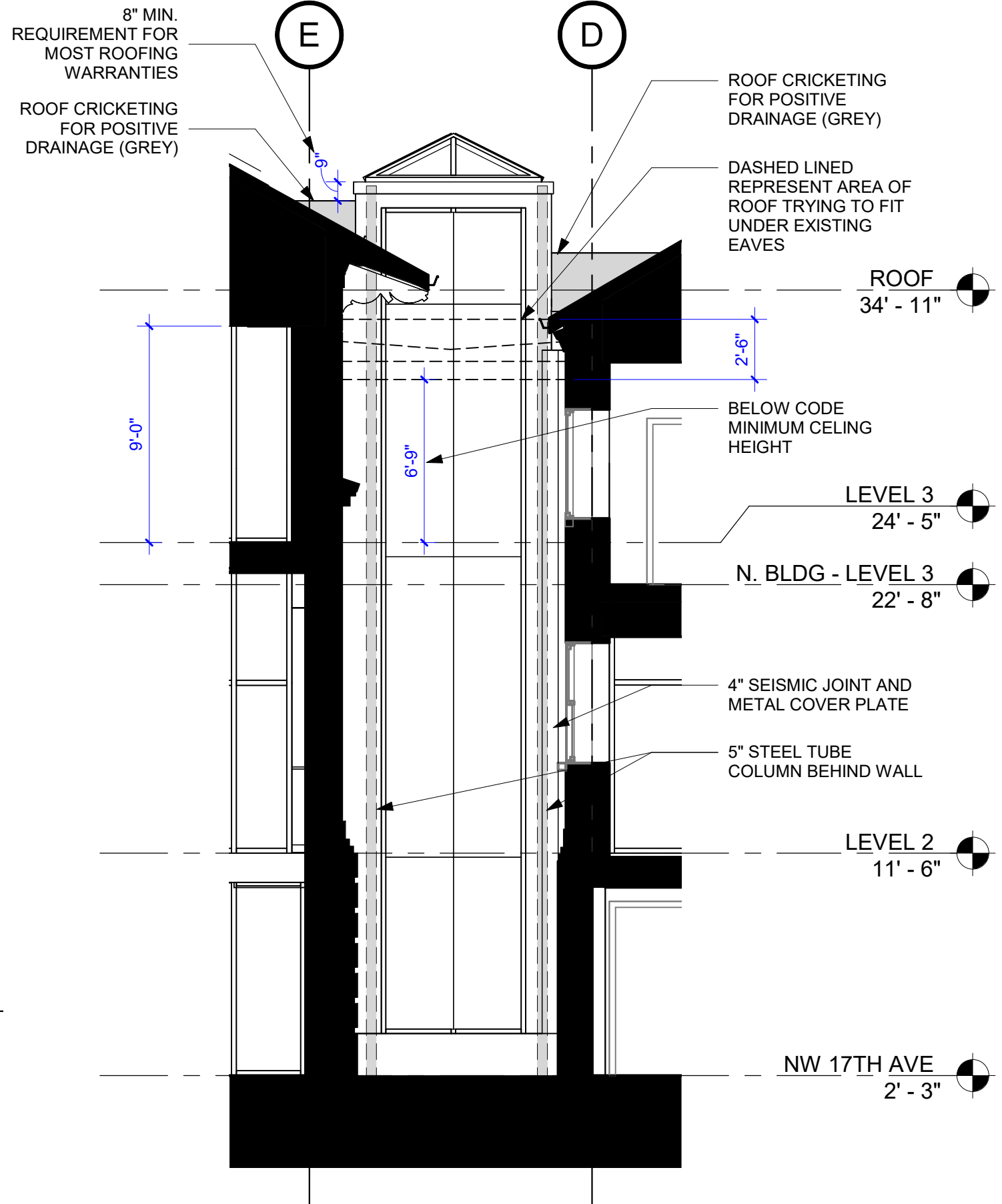
Scale: 3/16" = 1'-0"

BUILDING SECTION - RATS ALLEY

C21. UPDATE WITH TALLER CURTAINWALL / GLASS AREA

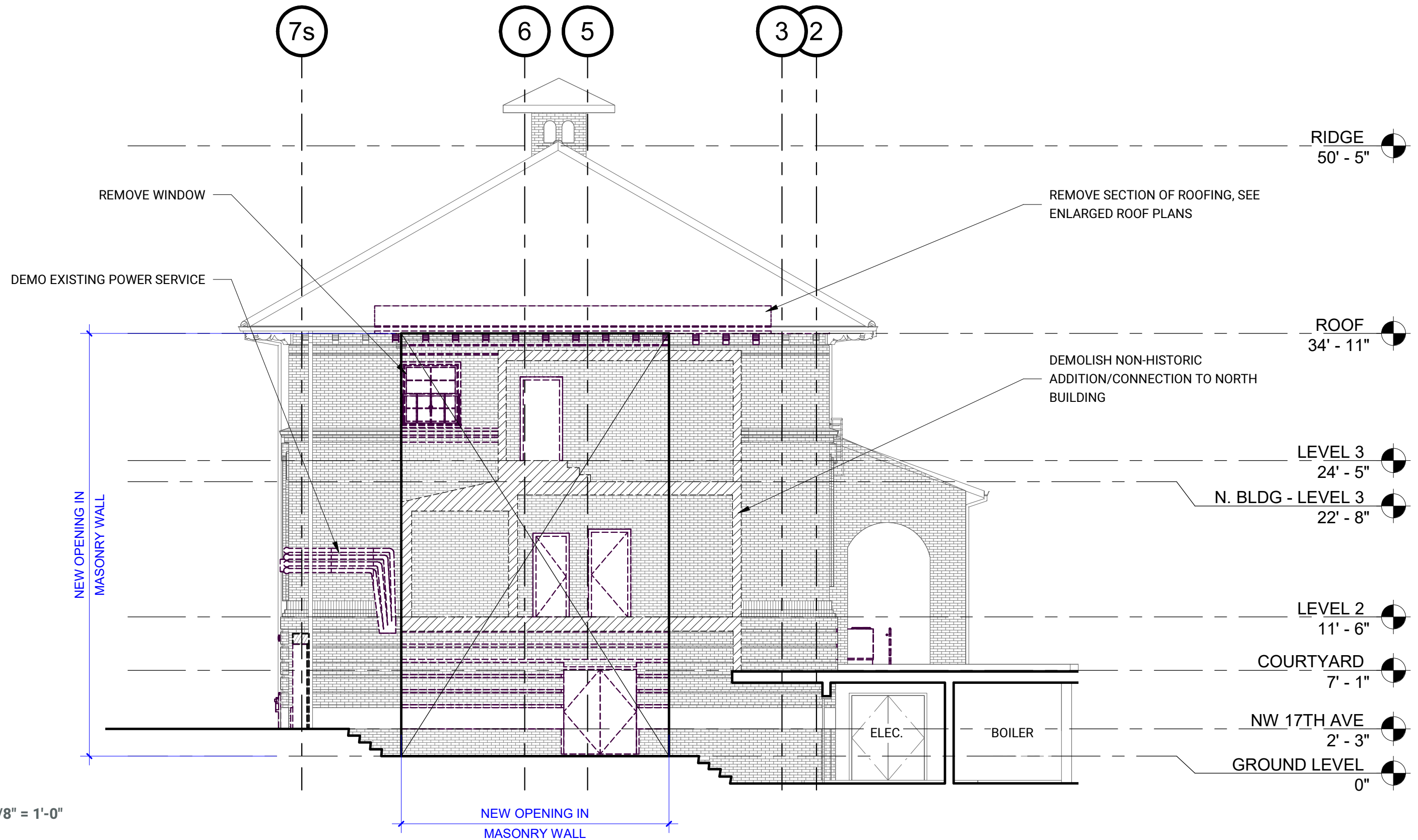


Scale: 3/16" = 1'-0"



SOUTH BLDG NORTH ELEVATION - DEMO

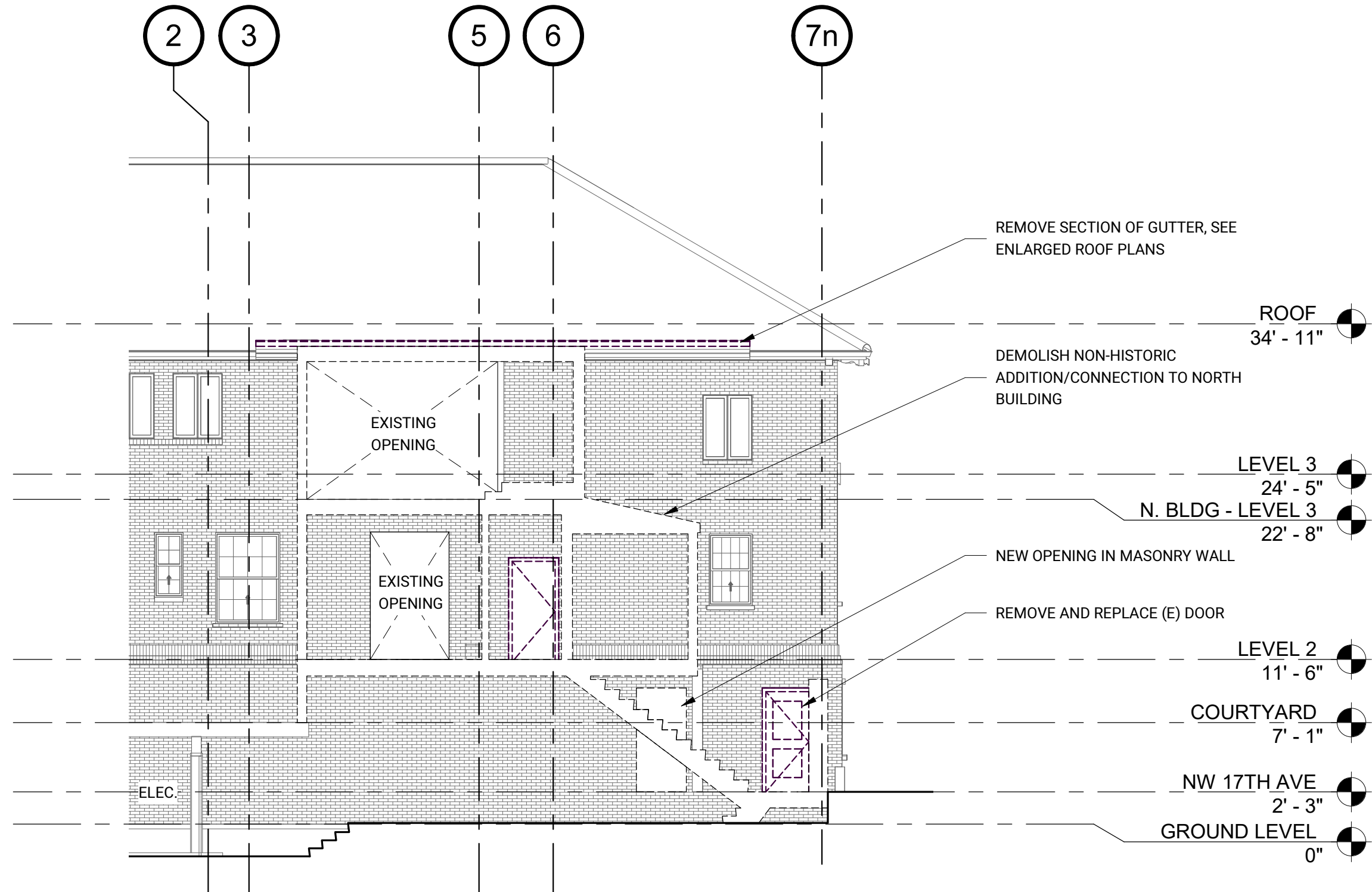
C21.2



Scale: 1/8" = 1'-0"

NORTH BLDG SOUTH ELEVATION - DEMO

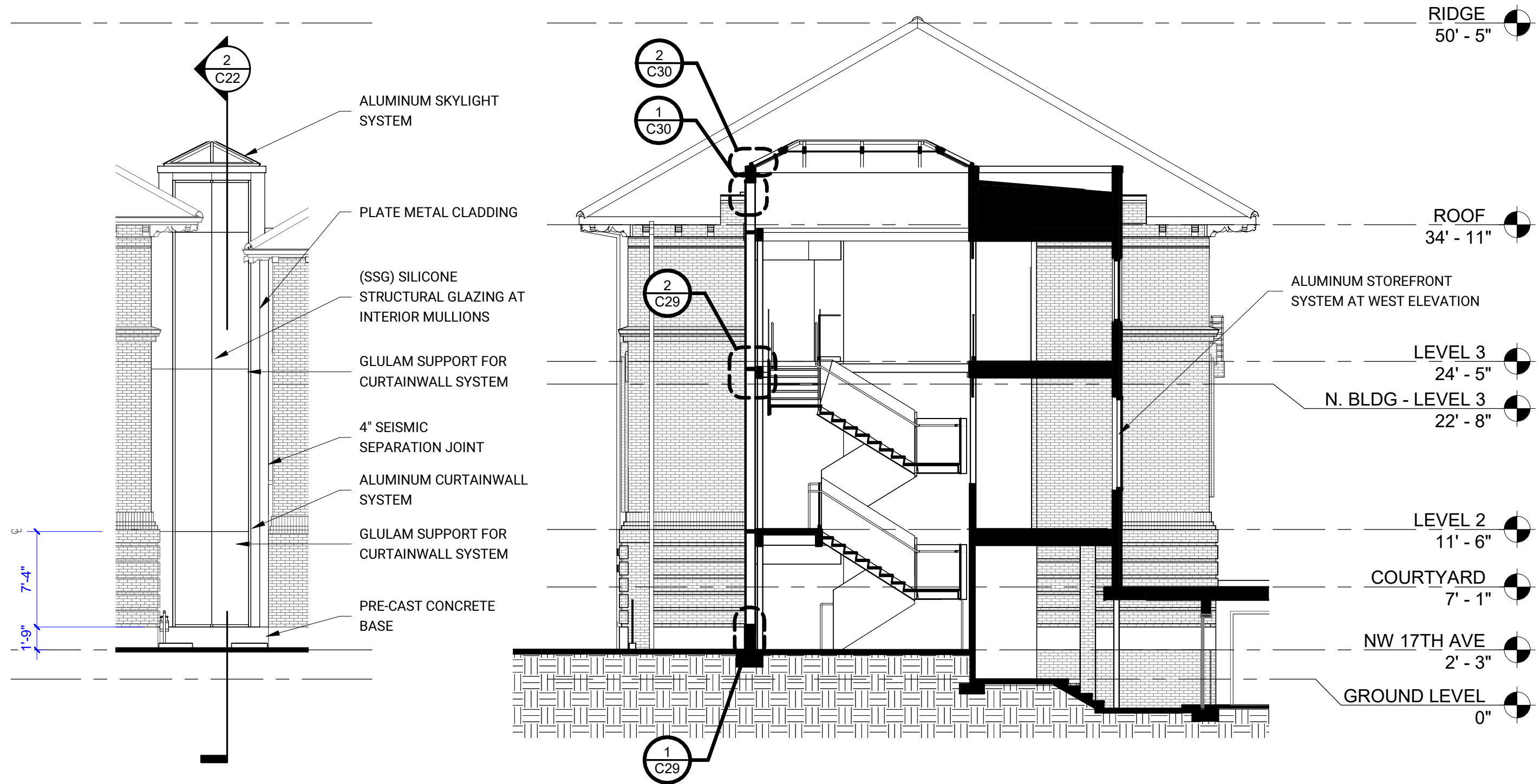
C21.3



Scale: 1/8" = 1'-0"

ENLARGED ELEVATION / SECTION

C22 UPDATE WITH TALLER CURTAINWALL / GLASS AREA

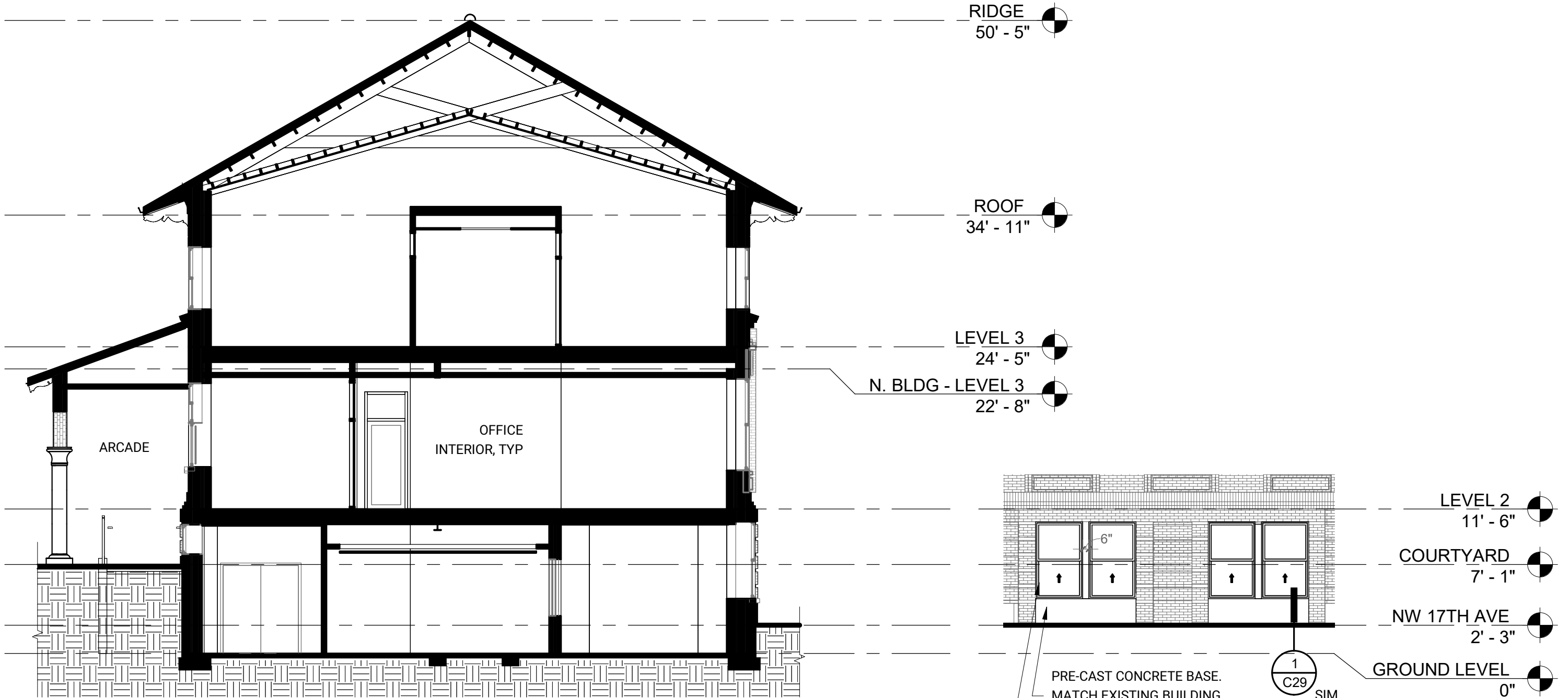


Scale: 1/8" = 1'-0"



ENLARGED ELEVATION / SECTION

C23



Scale: 1/8" = 1'-0"

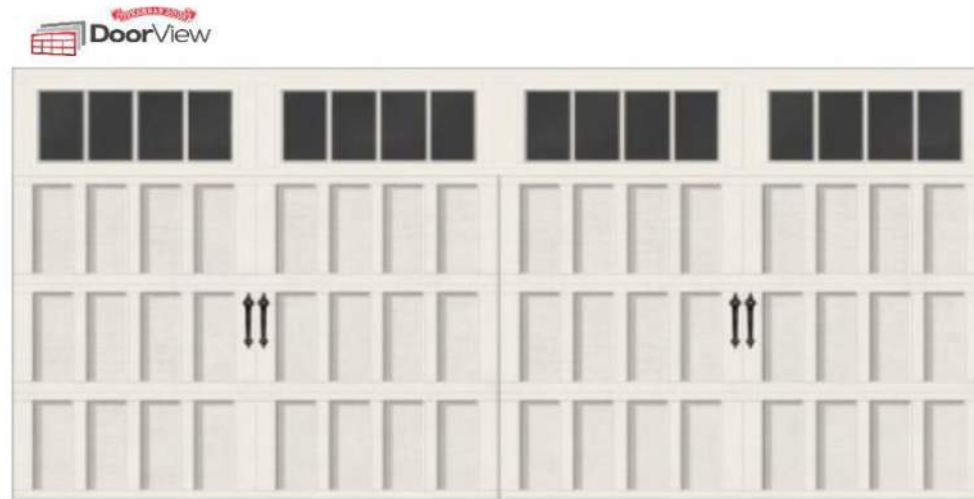


PRE-CAST CONCRETE BASE.
MATCH EXISTING BUILDING
PROFILE

NEW WOOD DOUBLE HUNG ALUMINUM CLAD
WOOD WINDOWS TO MATCH EXISTING.
BASIS OF DESIGN: MARVIN ULTIMATE WOOD
DOUBLE HUNG G2

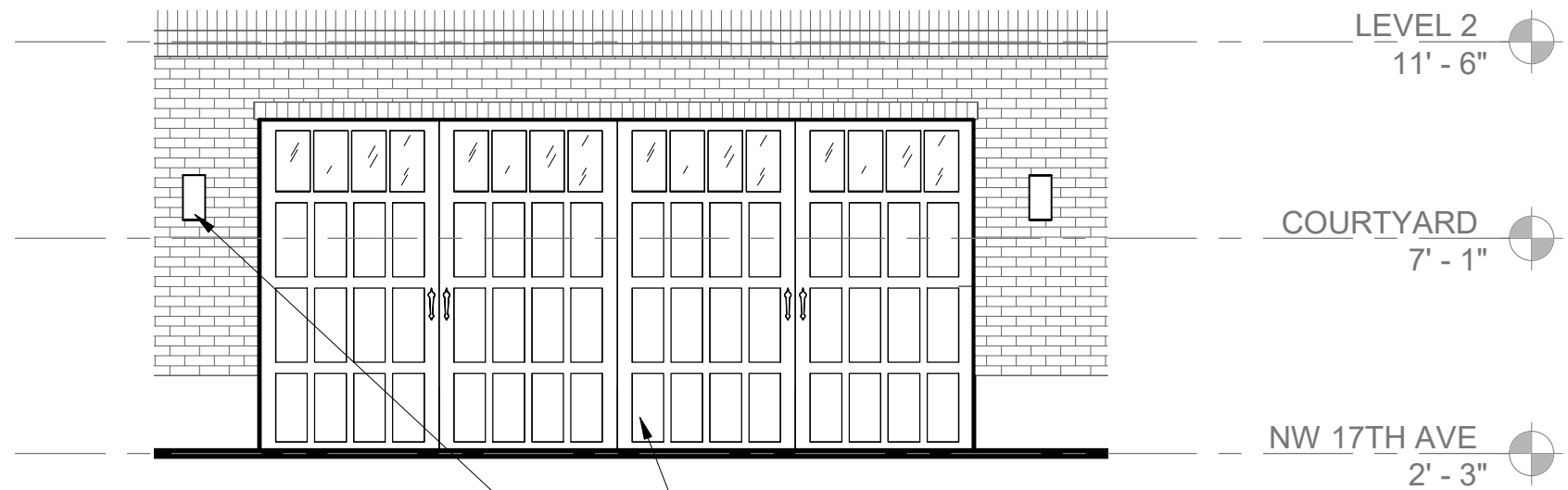
NEW GARAGE DOOR

C24



Applied Products:

Product	Material/Type	Model/Spec
Glass	Obscured	
Windows	Carriage House Collection	16 Window Square 7"
Paint	White Paint	White Paint
Hardware	Pull Handle	Spear 15' x 8'
Garage Door	Carriage House Collection	Model 308 10' x 8'



NEW SECTIONAL DOOR - BASIS OF DESIGN:
OVERHEAD DOOR COMPANY; MODEL 308
CARRIAGE HOUSE COLLECTION - 16 WINDOW
SQUARE 7"

NEW WALL SCONCE.

NOT FOR CONSTRUCTION

Scale: 1/4" = 1'-0"



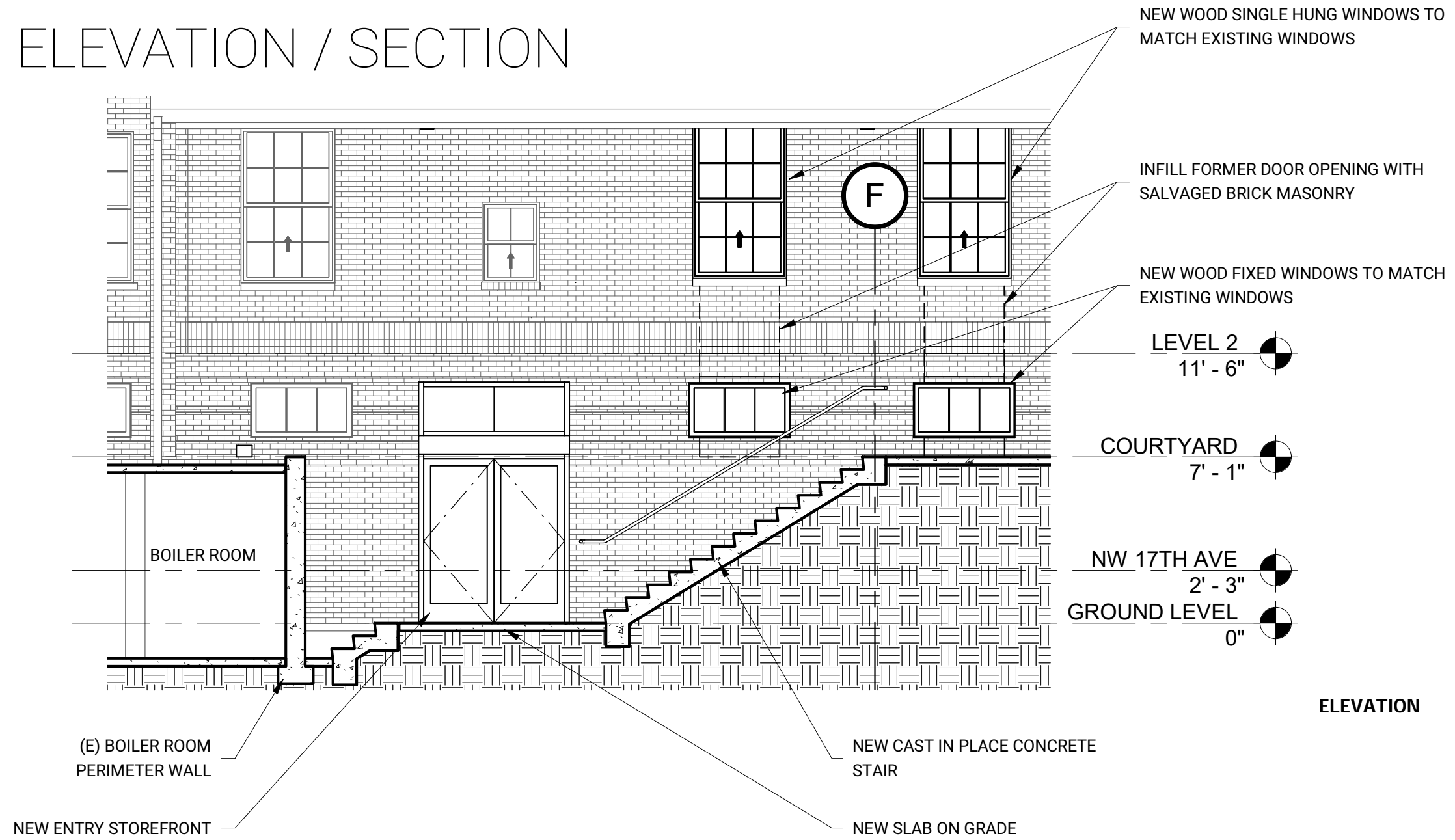
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10.05.2023



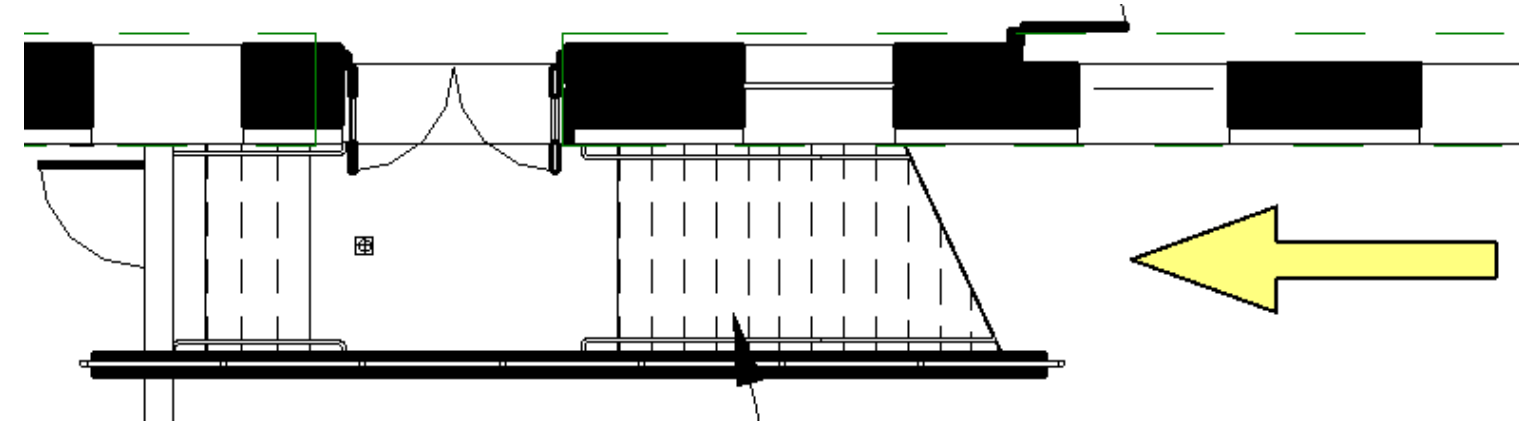
LU 23-068457 HR A-8

ENLARGED ELEVATION / SECTION

C25



ELEVATION



PLAN

Scale: 3/16" = 1'-0"

RENDERINGS

C26



Scale:



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RENDERINGS

C27



Scale:



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RENDERINGS

C28



Scale:



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PERSPECTIVE VIEWS

UPDATE WITH TALLER CURTAINWALL / GLASS AREA

C28.1



Scale:



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LU 23-068457 HR A-8

PERSPECTIVE VIEWS

UPDATE WITH TALLER CURTAINWALL / GLASS AREA

C28.2



Scale:



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LU 23-068457 HR A-8

PERSPECTIVE VIEWS

C28.3 UPDATE WITH TALLER CURTAINWALL / GLASS AREA



Scale:



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LU 23-068457 HR A-8

PERSPECTIVE VIEWS UPDATE WITH TALLER CURTAINWALL / GLASS AREA

C28.4



Scale:



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10.05.2023

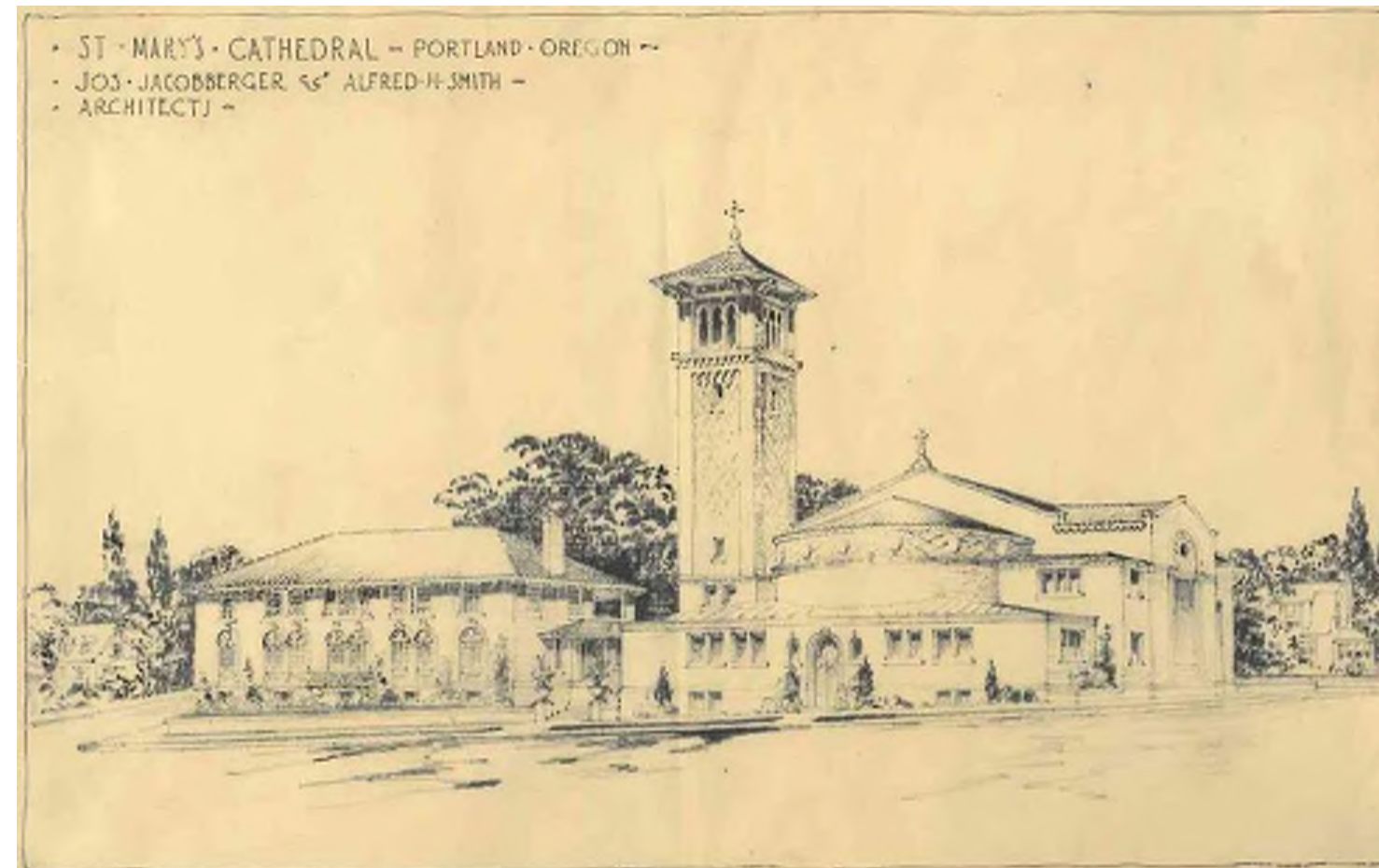
NOT FOR CONSTRUCTION



LU 23-068457 HR A-8

ST MARY'S CATHOLIC CATHEDRAL OF IMMACULATE CONCEPTION
1716 NW DAVIS ST, PORTLAND, OREGON 97209

RENOVATION AND IMPROVEMENTS FOR THE
ARCHDIOCESE OF PORTLAND



LAND USE REVIEW EXHIBITS
TYPE III HISTORIC RESOURCE APPLICATION

SITE CONTEXT PHOTOS

C3



NORTH ELEVATION ALONG NW DAVIS ST



EAST ELEVATION ALONG NW 17TH AVE



EAST ELEVATION ALONG NW 17TH AVE

Scale:



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LU 23-068457 HR A-9

SITE CONTEXT PHOTOS

C3-1



LOOKING WEST FROM THE NW 17TH AVE DOORWAY INTO 'RAT'S ALLEY'



LOOKING UP AT ORIGINAL 'CLIPPED EAVES' OF THE NORTH BUILDING IN 'RAT'S ALLEY'

Scale:

HISTORIC IMAGES

C5



FACING NORTH INTO THE COURTYARD - 1926



ARCHITECT'S RENDERING

Scale:

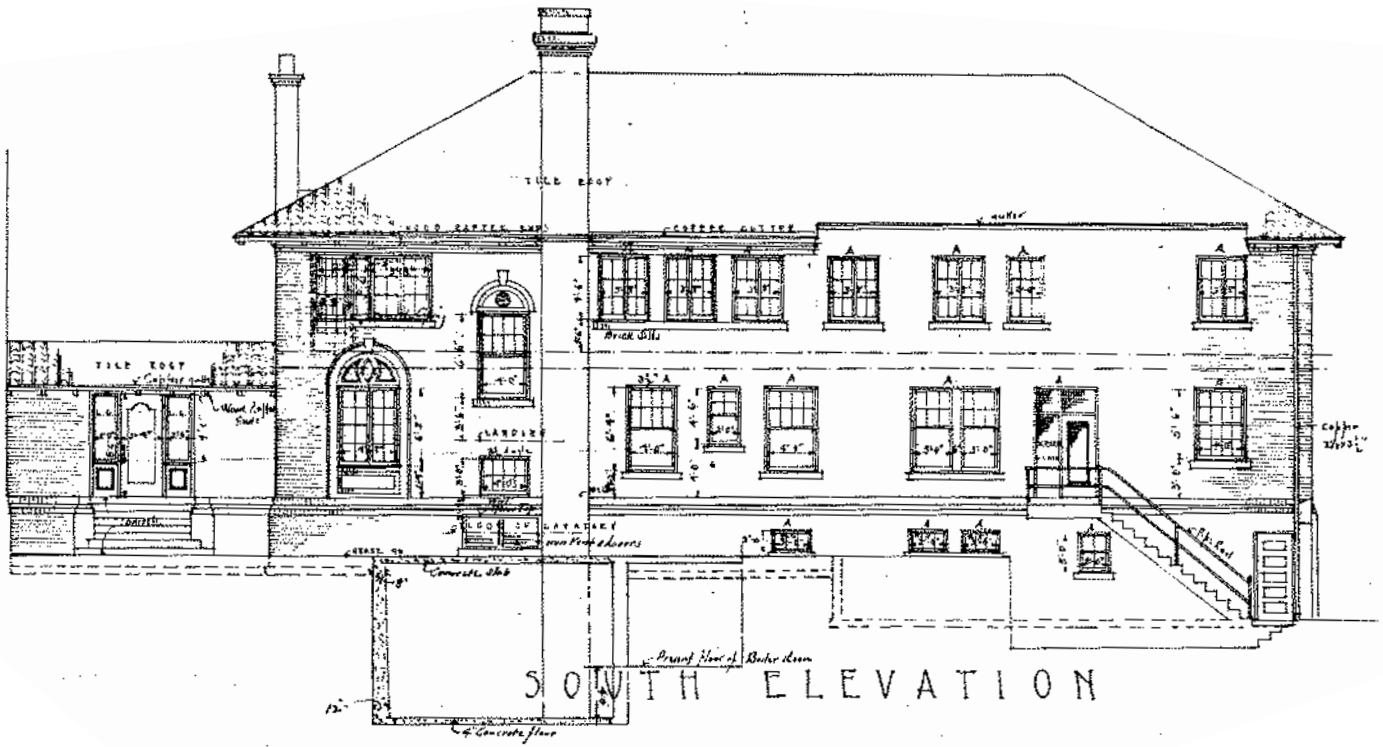


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10.05.2023

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LU 23-068457 HR A-9



5

TITLE...ST. MARY'S CATHEDRAL...DATE...1925.....
 LOCATION...18th & COVCH STS...LOT.....BLK 167...
 JACOBBERGER AND SMITH ARCHITECTS
 617 Railway Exchange Bldg. Portland, Oregon

RENDERINGS

C26



Scale:



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10.05.2023

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LU 23-068457 HR A-9

RENDERINGS

C27



Scale:



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10.05.2023

NOT FOR CONSTRUCTION



LU 23-068457 HR A-9

RENDERINGS

C28



Scale:



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10.05.2023

NOT FOR CONSTRUCTION



LU 23-068457 HR A-9

PERSPECTIVE VIEWS

UPDATE WITH TALLER CURTAINWALL / GLASS AREA

C28.1



Scale:



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10.05.2023

NOT FOR CONSTRUCTION



LU 23-068457 HR A-9

PERSPECTIVE VIEWS UPDATE WITH TALLER CURTAINWALL / GLASS AREA

C28.2



Scale:



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10.05.2023

NOT FOR CONSTRUCTION



LU 23-068457 HR A-9

PERSPECTIVE VIEWS

C28.3 UPDATE WITH TALLER CURTAINWALL / GLASS AREA



Scale:



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10.05.2023

NOT FOR CONSTRUCTION



LU 23-068457 HR A-9

PERSPECTIVE VIEWS UPDATE WITH TALLER CURTAINWALL / GLASS AREA

C28.4



Scale:

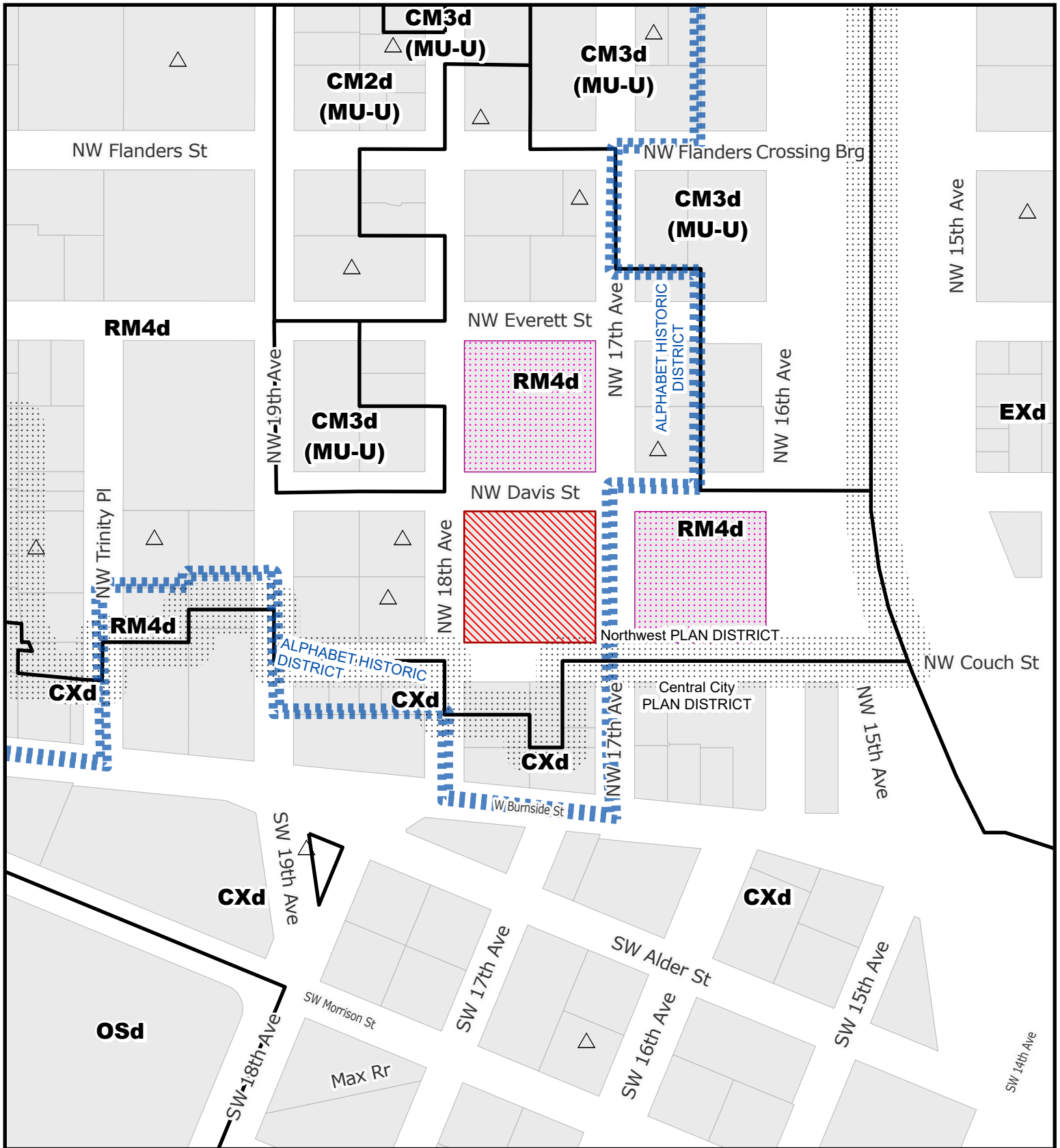


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LU 23-068457 HR A-9



For Zoning Code in Effect Post October 1, 2022

ZONING

THIS SITE LIES WITHIN THE:
NORTHWEST PLAN DISTRICT
ALPHABET HISTORIC DISTRICT

-  Site
-  Also Owned Parcels
-  Plan District
-  Historic District
-  Historic Landmark

File No.	<u>LU 23 - 068457 HR</u>
1/4 Section	<u>3028</u>
Scale	<u>1 inch = 200 feet</u>
State ID	<u>1N1E33DB 5400</u>
Exhibit	<u>B Jul 26, 2023</u>

SITE CONTEXT MAP

C2



- PARKING LOT (UNDER SAME OWNERSHIP)
- 1716 NW DAVIS ST (SUBJECT PROPERTY)
- 110 NW 17TH AVE (UNDER SAME OWNERSHIP)

Scale:



221084 | ARCHDIOCESE PASTORAL CENTER OFFICES |
10.05.2023

NOT FOR CONSTRUCTION

Approved
City of Portland
Bureau of Development Services
Planner *Jimmy Joseph*
Date 10/23/2023
*This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

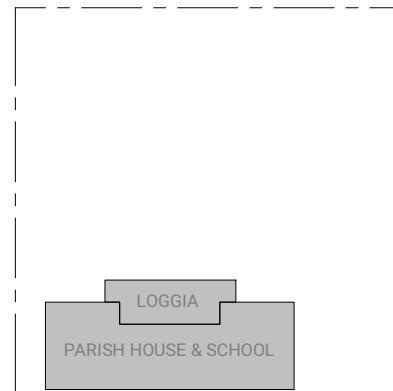


LU 23-068457 HR C-1

PROPERTY HISTORY TIMELINE

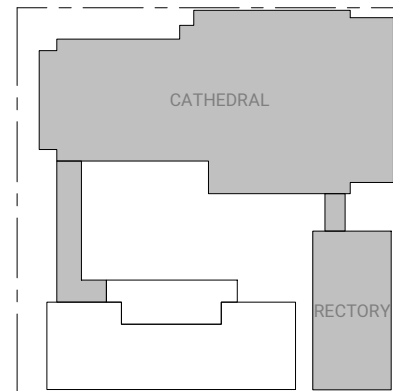
C6

1914



CONSTRUCTION OF THE PARISH HOUSE AND SCHOOL BUILDING.

1925



CONSTRUCTION OF ST. MARY'S CATHEDRAL OF IMMACULATE CONCEPTION AND THE RECTORY BUILDING.

1965



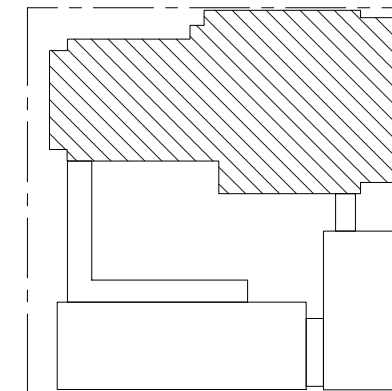
PARISH HOUSE AND SCHOOL IS CONVERTED INTO THE CONVENT AND PARISH CENTER.

1987



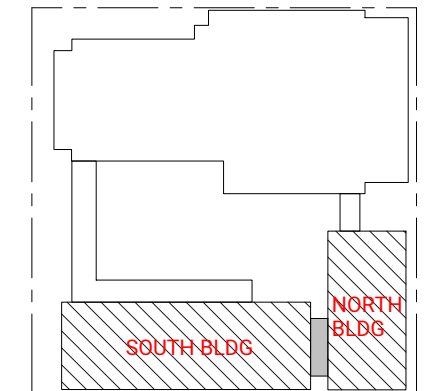
CONVERSION OF THE CONVENT TO THE ARCHBISHOPS RESIDENCE.

1994



SEISMIC AND MECHANICAL UPGRADES TO THE CATHEDRAL.

2024



CURRENT:
CONVERSION OF THE ARCHBISHOPS RESIDENCE AND PARISH CENTER TO THE ARCHDIOCESE OF PORTLAND. A NEW AND IMPROVED CONNECTION IS MADE BETWEEN THE RENOVATED RECTORY AND ARCHDIOCESE OF PORTLAND STRUCTURES. BOTH BUILDINGS ARE SEISMICALLY UPGRADED AND HAVE NEW MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE SUPPRESSION SYSTEMS

Scale: 1" = 100'-0"



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NOT FOR CONSTRUCTION

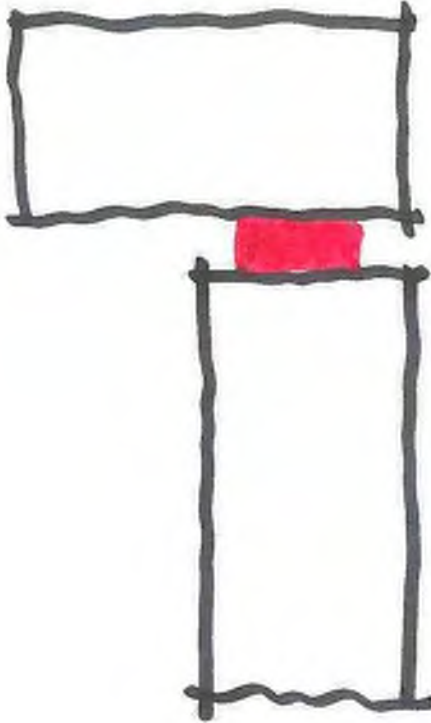
Approved
City of Portland
Bureau of Development Services

Planner *Jimmy Scalet*
Date 10/23/2023

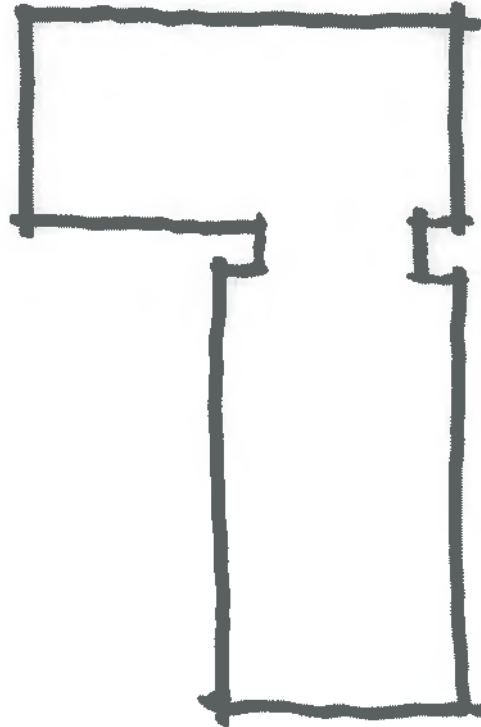
*This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



LU 23-068457 HR C-2



TWO-BUILDING DISTINCTION
RESPECT THE HISTORY OF (2)
STRUCTURES BUILT AT DIFFERENT
TIMES



CONSOLIDATION
BLEND BUILDINGS TOGETHER WITH
NO DIFFERENTIATION BETWEEN
OLD AND NEW

TWO BUILDING DISTINCTION

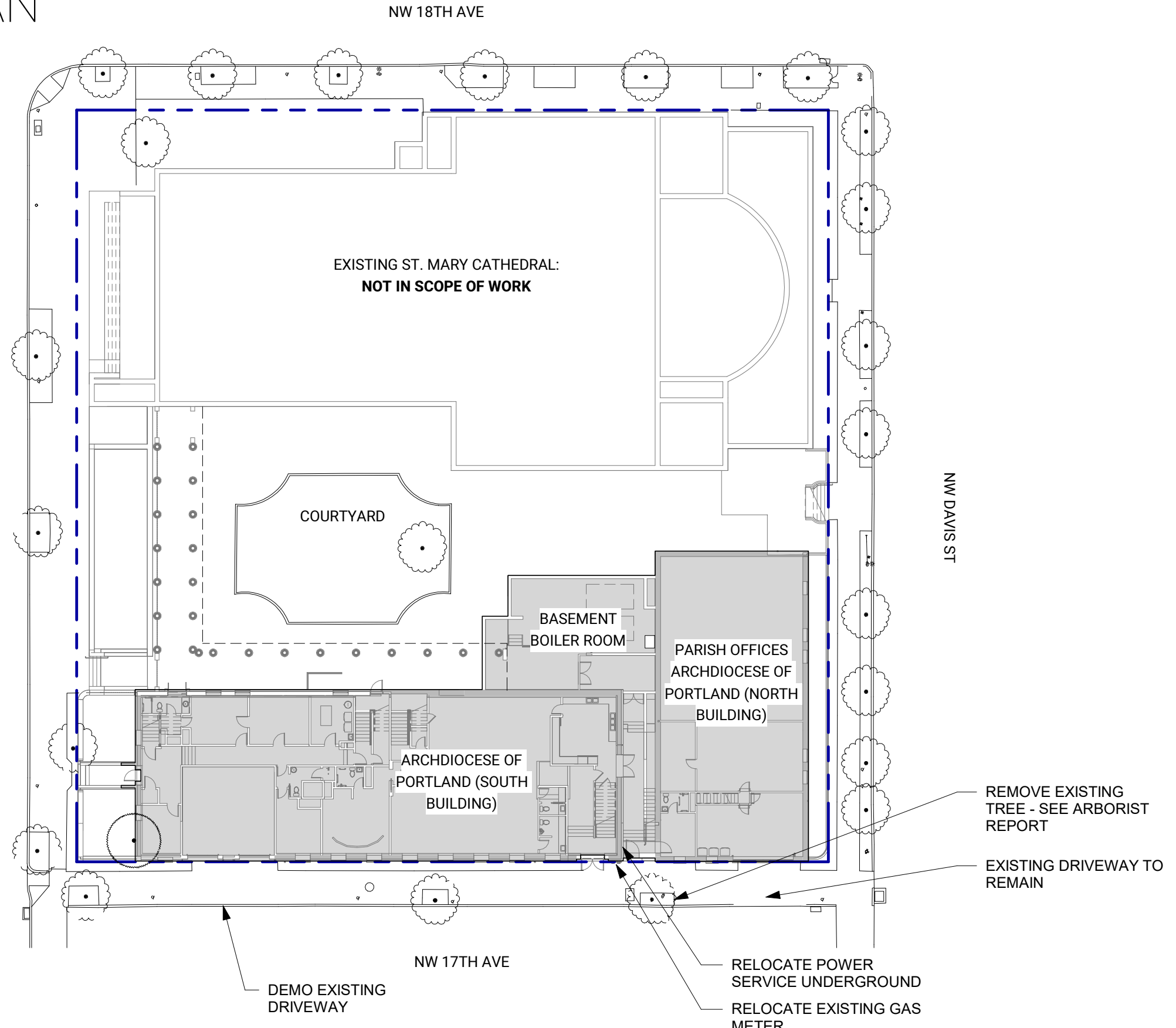
Approved
City of Portland
Bureau of Development Services

Planner *Zhang Li*
Date 10/23/2023

* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

EXISTING SITE PLAN

C7

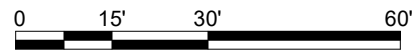


Approved
 City of Portland
 Bureau of Development Services

Planner *[Signature]*
 Date 10/23/2023

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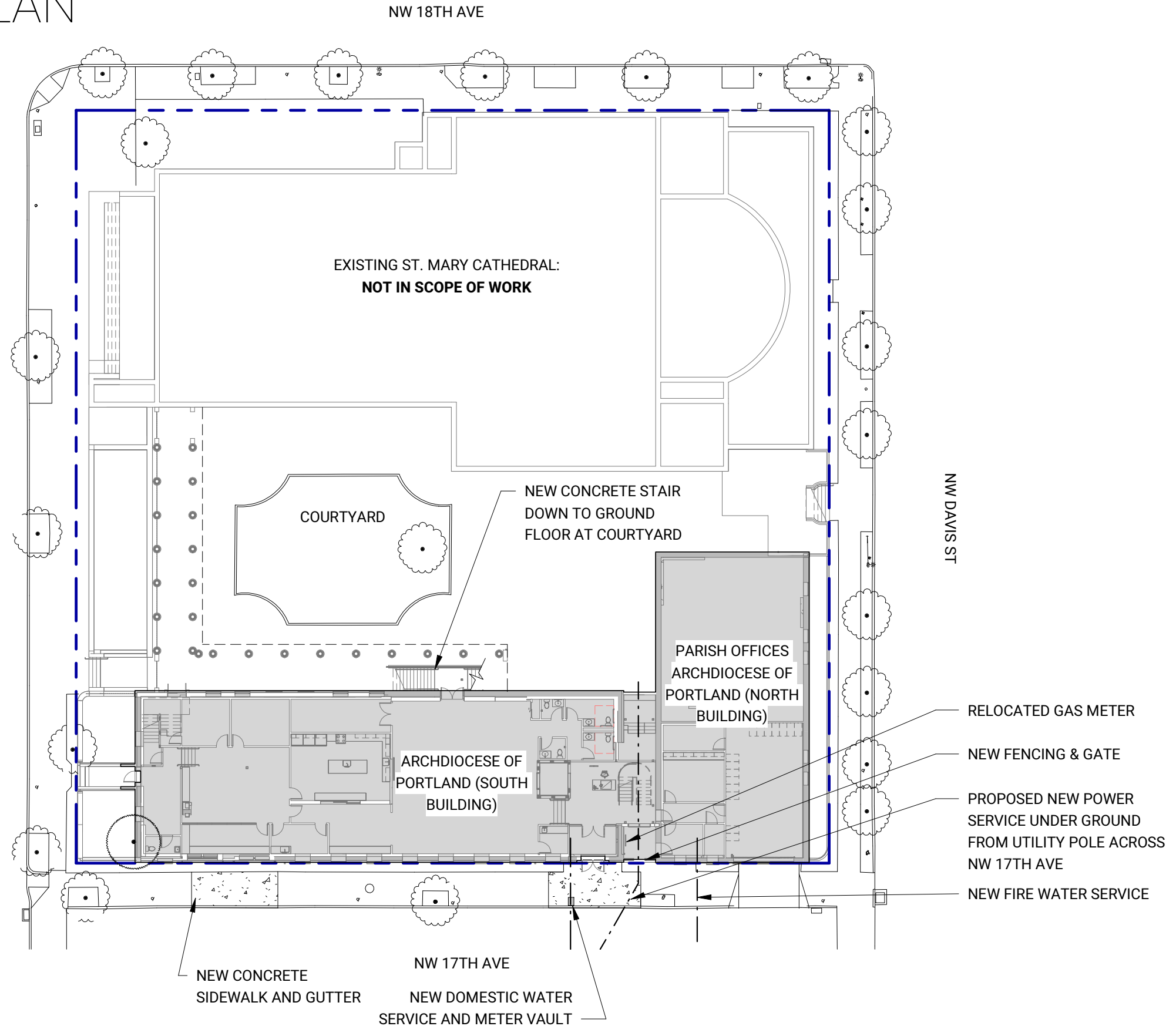
Scale: 1" = 30'-0"



NOT FOR CONSTRUCTION

PROPOSED SITE PLAN

C8

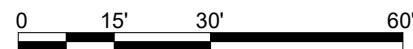


Approved
 City of Portland
 Bureau of Development Services

Planner *[Signature]*
 Date 10/23/2023

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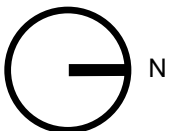
Scale: 1" = 30'-0"



NEW CONCRETE
 SIDEWALK AND GUTTER

NEW DOMESTIC WATER
 SERVICE AND METER VAULT

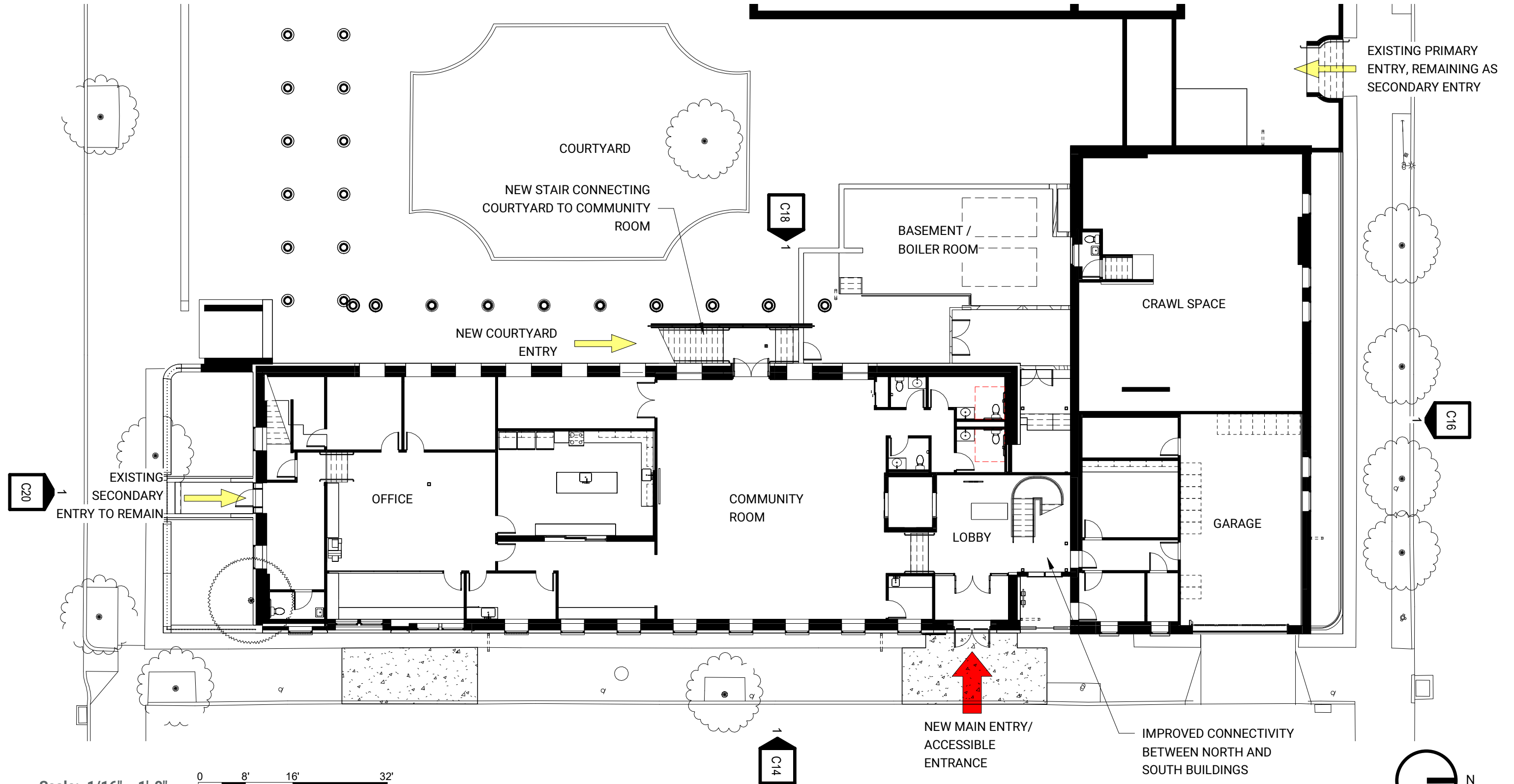
- RELOCATED GAS METER
- NEW FENCING & GATE
- PROPOSED NEW POWER SERVICE UNDER GROUND FROM UTILITY POLE ACROSS NW 17TH AVE
- NEW FIRE WATER SERVICE



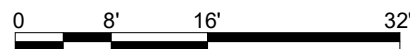
NOT FOR CONSTRUCTION

GROUND FLOOR PLAN

C9



Scale: 1/16" = 1'-0"



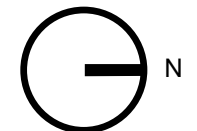
221084 | ARCHDIOCESE PASTORAL CENTER OFFICES | 10.05.2023

NOT FOR CONSTRUCTION

Approved
City of Portland
Bureau of Development Services

Planner *[Signature]*
Date 10/23/2023

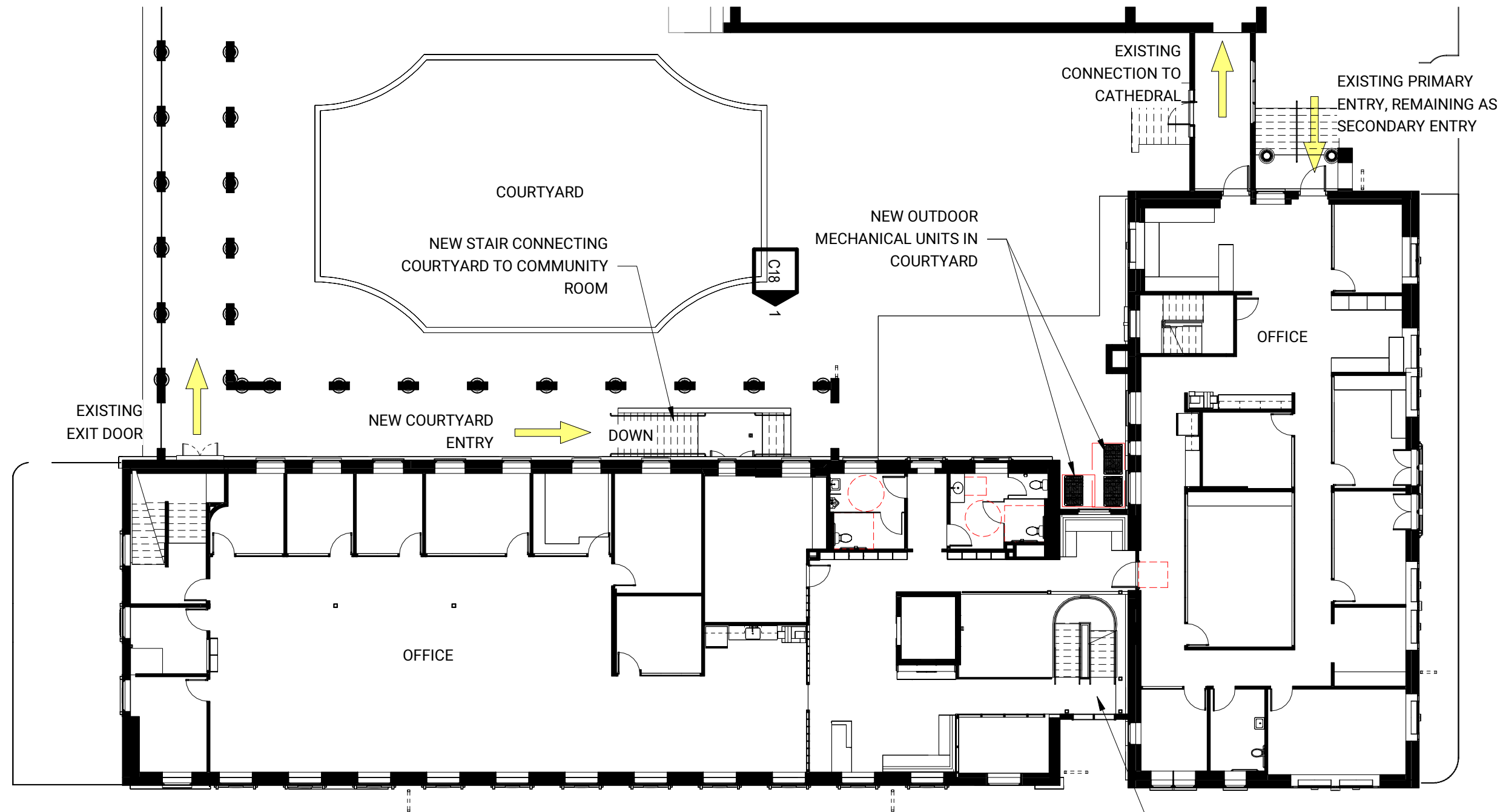
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LU 23-068457 HR C-6

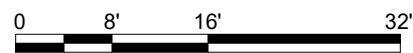
SECOND FLOOR PLAN

C10



IMPROVED CONNECTIVITY BETWEEN NORTH AND SOUTH BUILDINGS

Scale: 1/16" = 1'-0"



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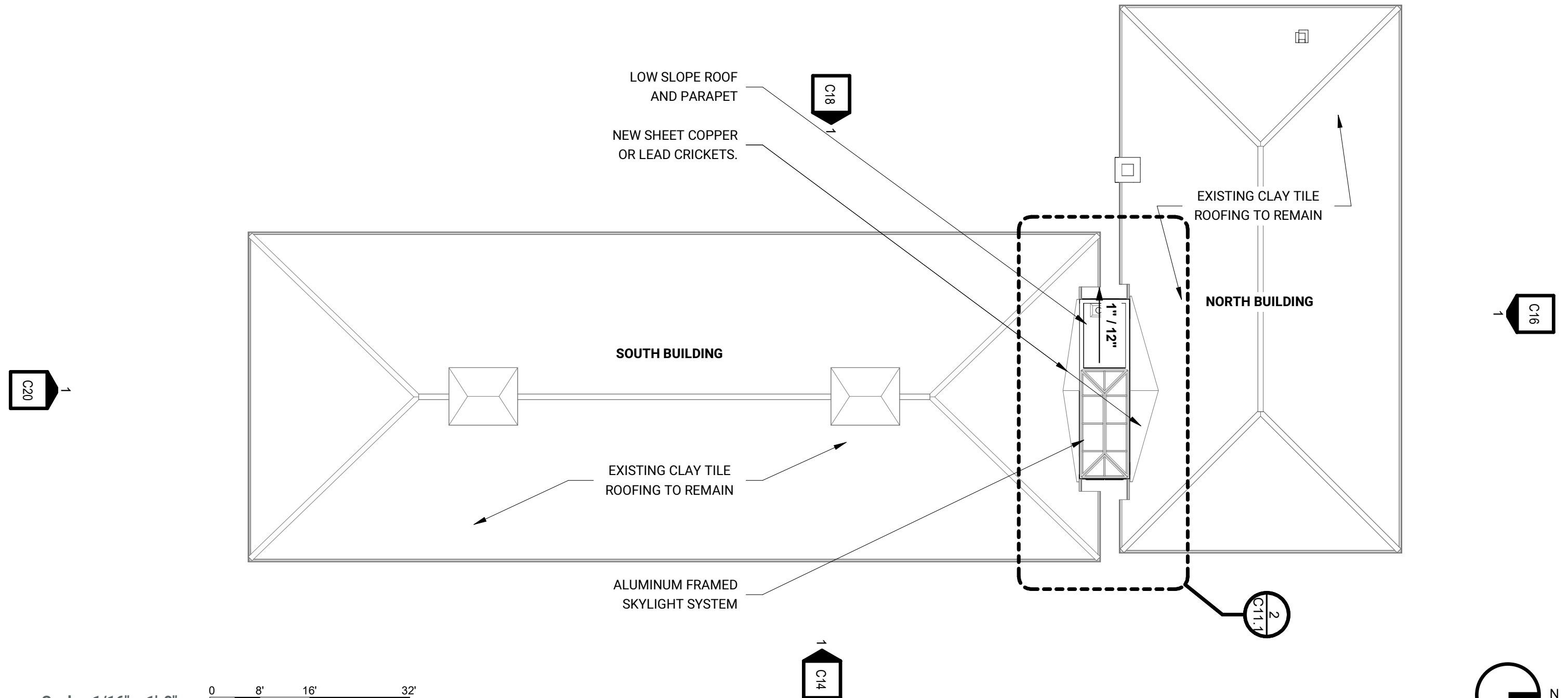
*This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



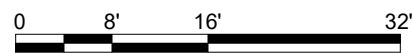
LU 23-068457 HR C-7

ROOF PLAN

C11



Scale: 1/16" = 1'-0"



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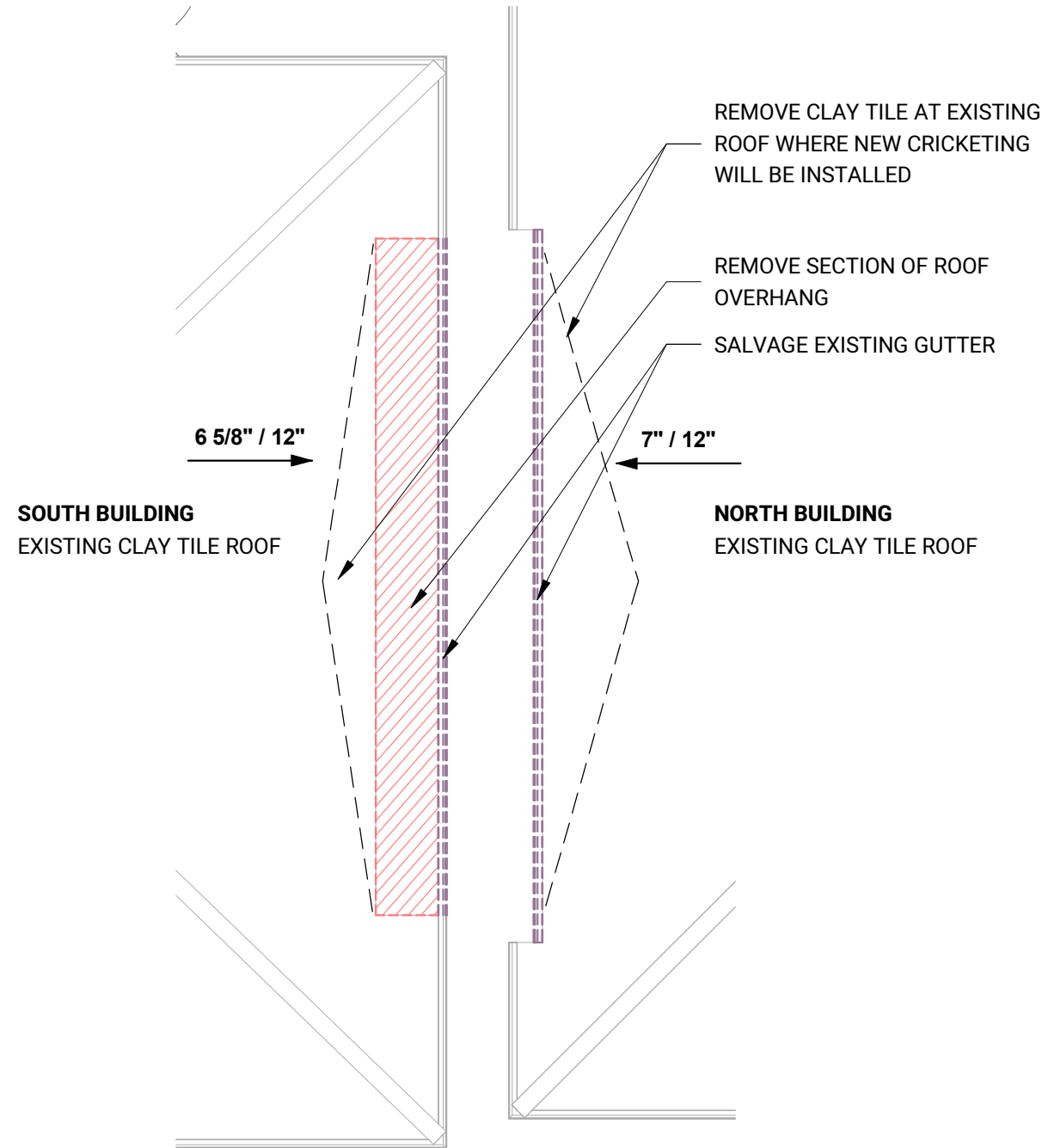
* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



LU 23-068457 HR C-8

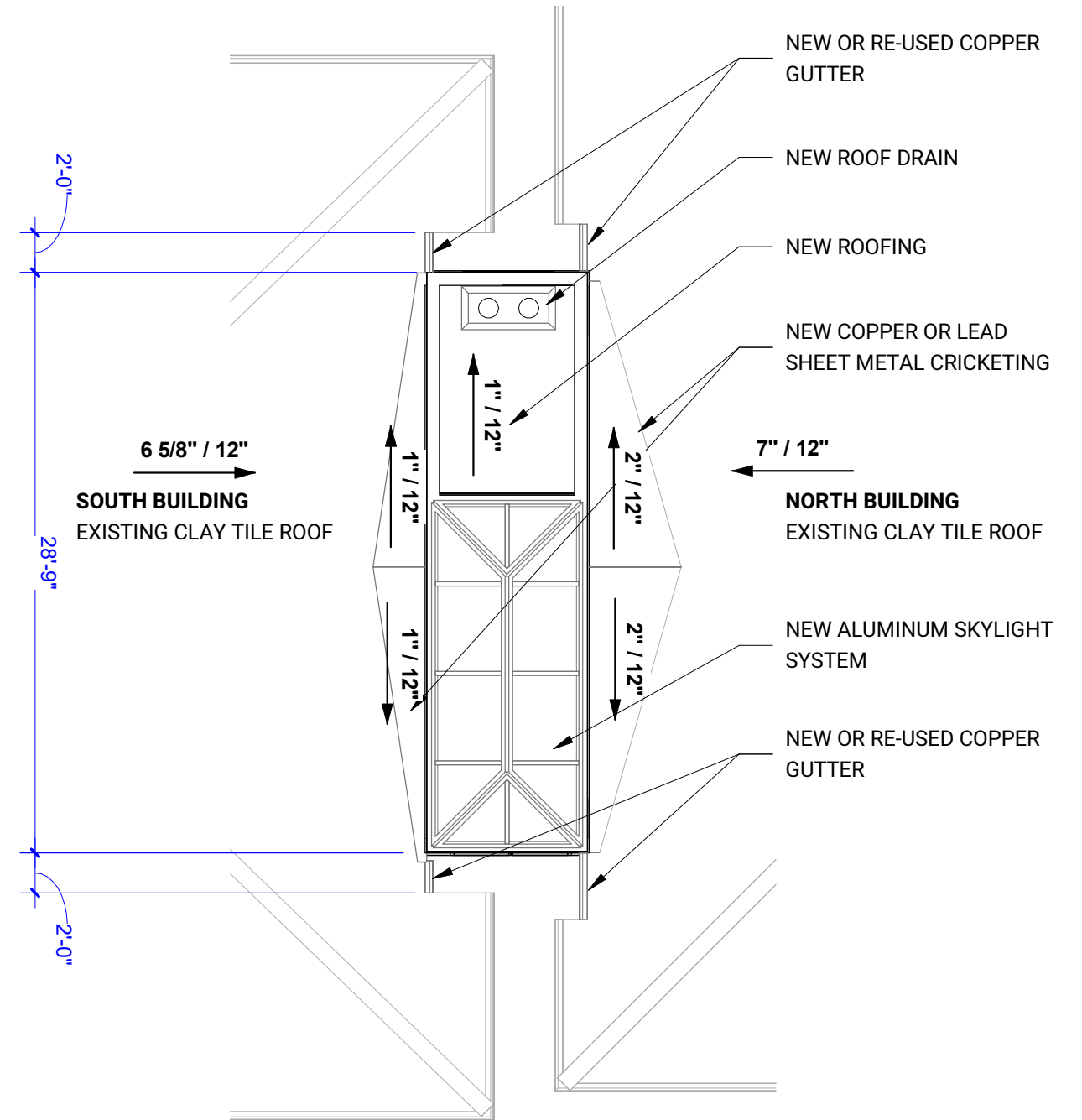
ENLARGED ROOF PLANS

C11-1



EXISTING ROOF PLAN

1/8" = 1' - 0"



NEW ROOF PLAN

1/8" = 1' - 0"

Scale: 1/8" = 1'-0"



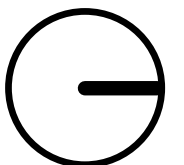
221084 | ARCHDIOCESE PASTORAL CENTER OFFICES | 10.05.2023

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City of Portland
Bureau of Development Services

Planner *James Scoble*
Date 10/23/2023

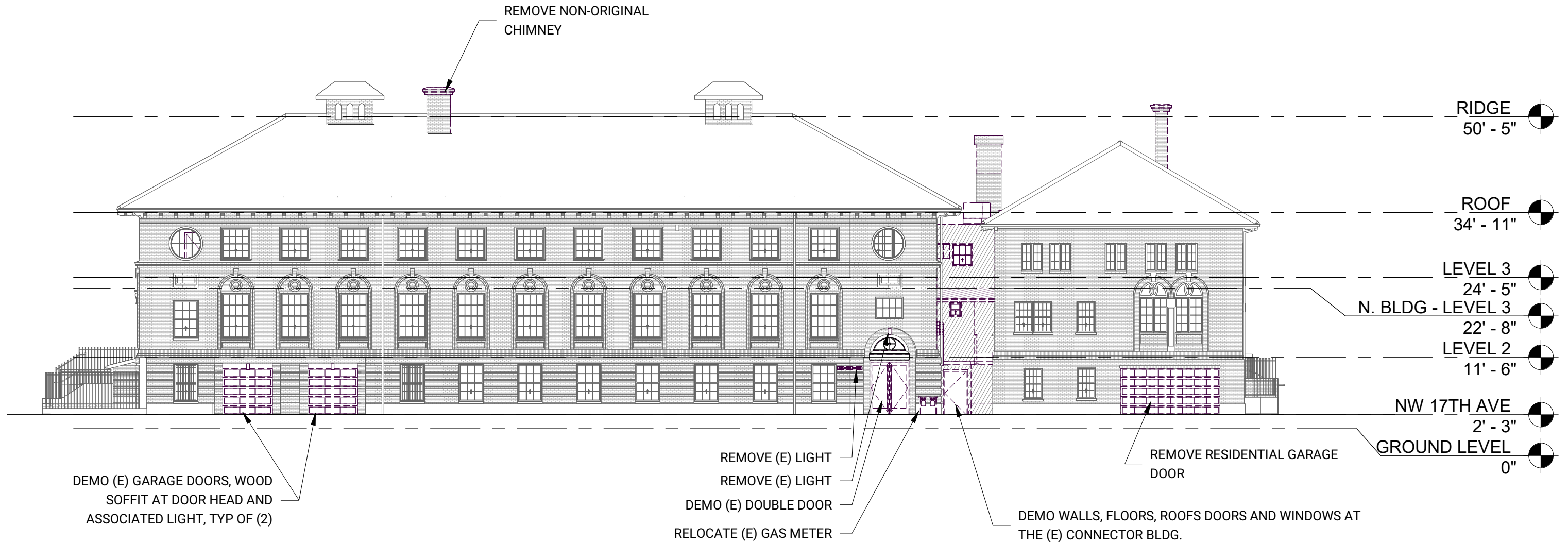
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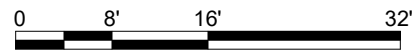
LU 23-068457 HR C-9

EXISTING ELEVATION - EAST

C13



Scale: 1/16" = 1'-0"



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Planner *Janey Scoble*

Date 10/23/2023

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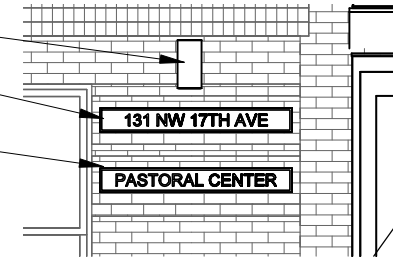


LU 23-068457 HR C-10

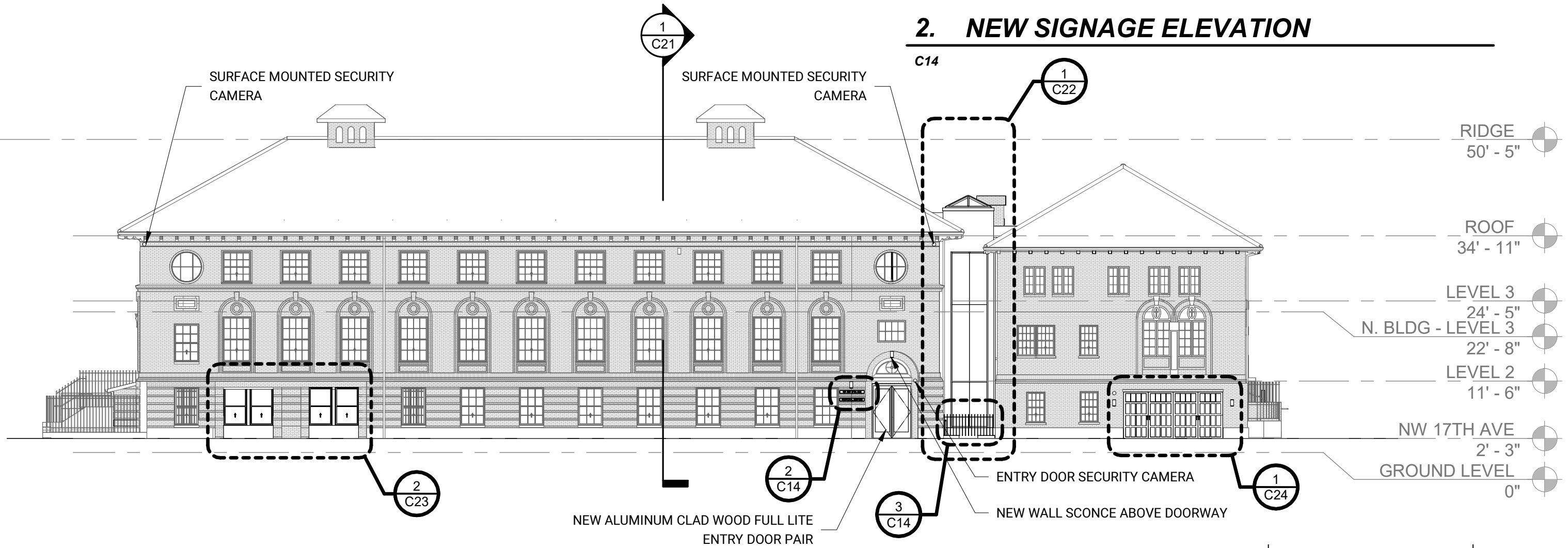
PROPOSED ELEVATION - EAST

C14

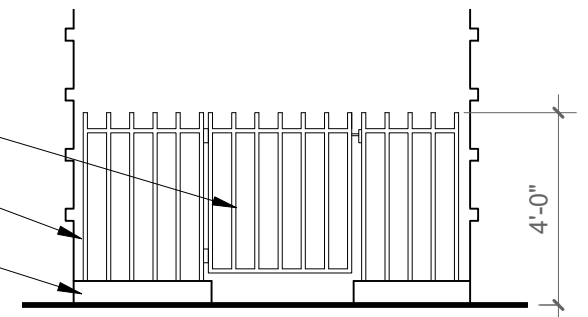
- NEW LIGHT ABOVE TO ILLUMINATE SIGNAGE
- NEW ADDRESS SIGNAGE
- NEW BUILDING SIGNAGE. METAL PLAQUE WITH METAL LETTERING.



2. NEW SIGNAGE ELEVATION

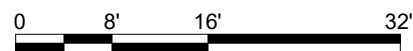


- METAL GATE FOR MAINTENANCE ACCESS
- METAL FENCING TO MATCH EXISTING
- CONCRETE CURB



3. FENCE & GATE ELEVATION

Scale: As indicated



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C14

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Planner *[Signature]*
Date 10/23/2023

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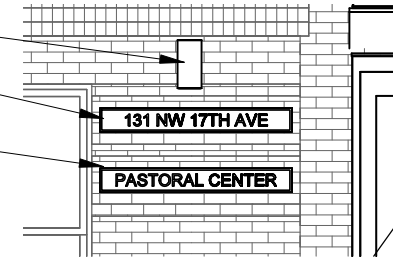


LU 23-068457 HR C-11

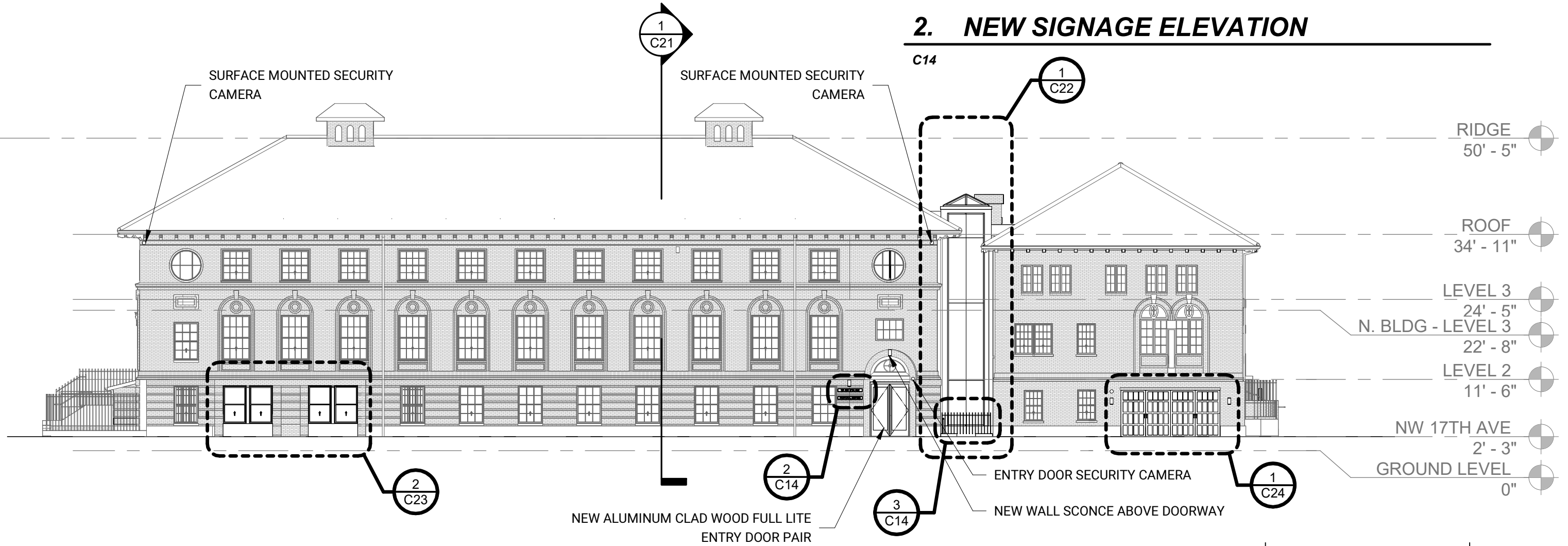
PROPOSED ELEVATION - EAST

C14 UPDATE WITH TALLER CURTAINWALL / GLASS AREA

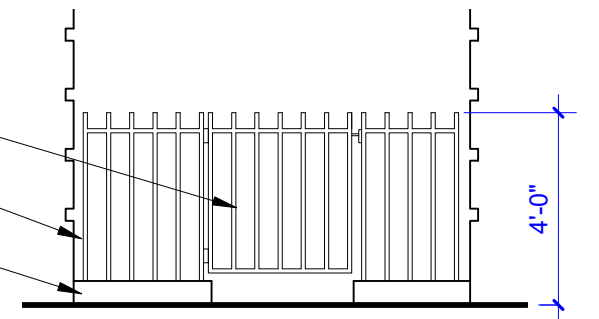
NEW LIGHT ABOVE TO ILLUMINATE SIGNAGE
 NEW ADDRESS SIGNAGE
 NEW BUILDING SIGNAGE. METAL
 PLAQUE WITH METAL LETTERING.



2. NEW SIGNAGE ELEVATION

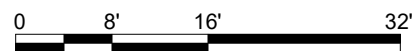


METAL GATE FOR MAINTENANCE ACCESS
 METAL FENCING TO MATCH EXISTING
 CONCRETE CURB



3. FENCE & GATE ELEVATION

Scale: As indicated



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C14

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Date 10/23/2023

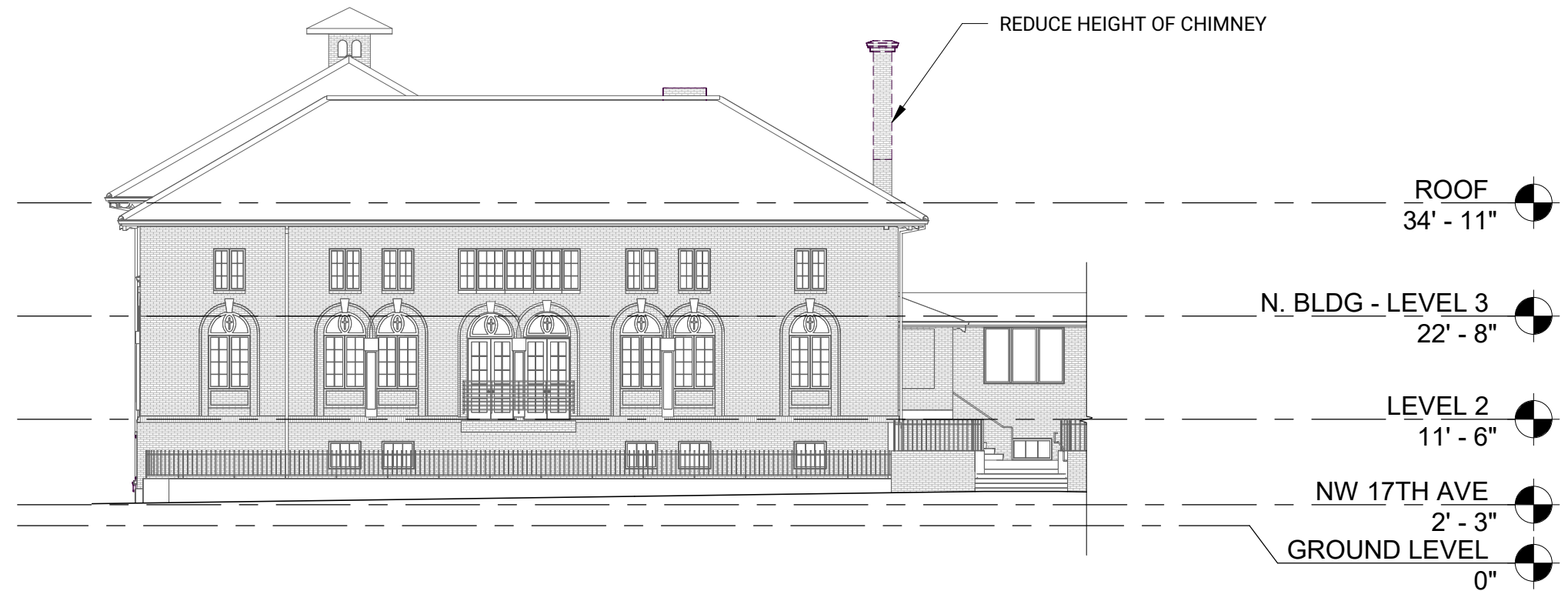
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LU 23-068457 HR C-12

EXISTING ELEVATION - NORTH

C15



Scale: 1/16" = 1'-0"

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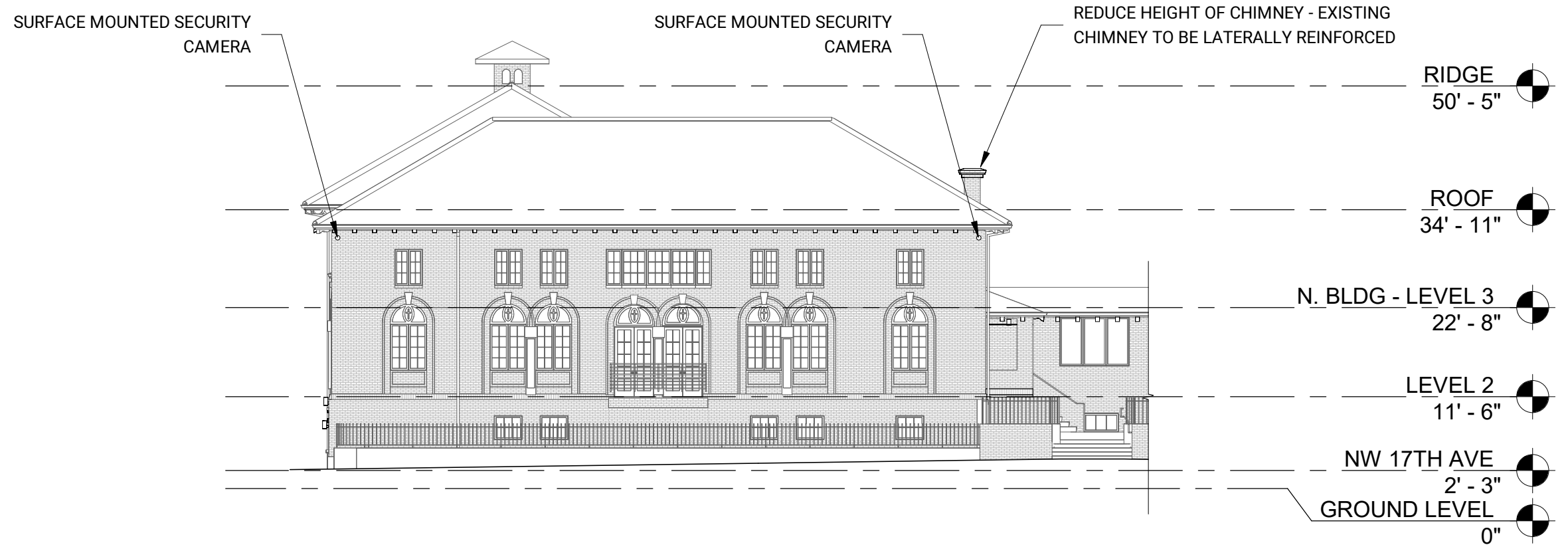
Planner *[Signature]*
 Date 10/23/2023

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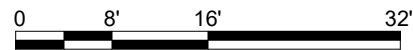


PROPOSED ELEVATION - NORTH

C16



Scale: 1/16" = 1'-0"



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Planner *[Signature]*
Date 10/23/2023

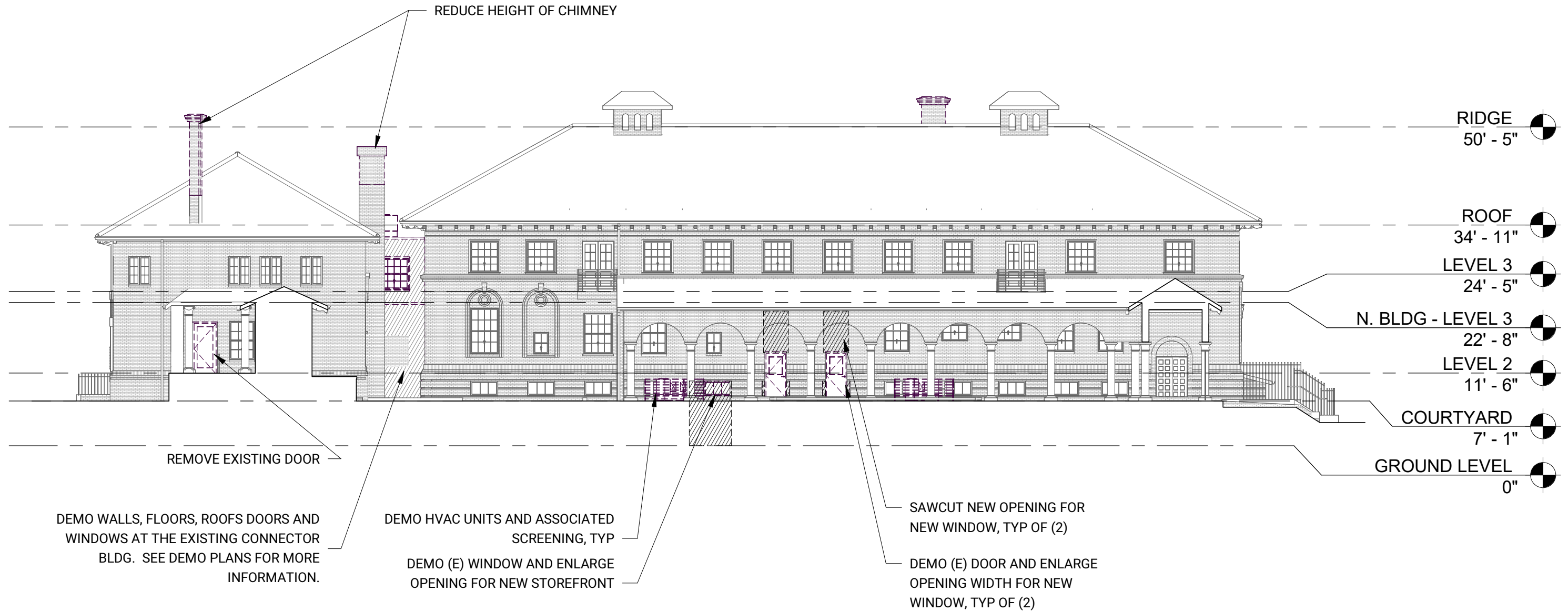
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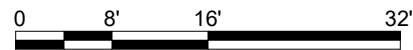
LU 23-068457 HR C-14

EXISTING ELEVATION - WEST

C17



Scale: 1/16" = 1'-0"



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Planner *Zany Saylor*

Date 10/23/2023

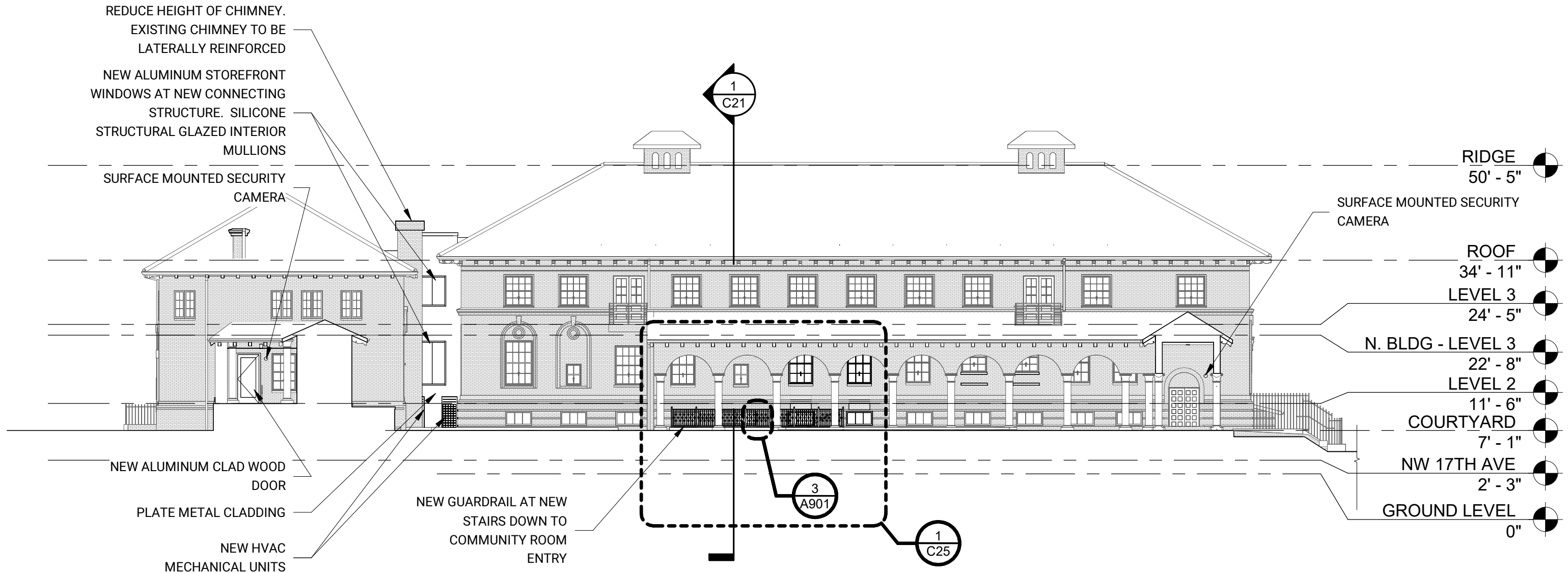
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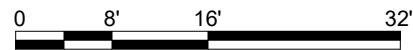
LU 23-068457 HR C-15

PROPOSED ELEVATION - WEST

C18



Scale: 1/16" = 1'-0"



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Planner *[Signature]*
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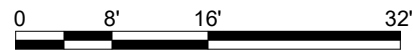
LU 23-068457 HR C-16

EXISTING ELEVATION - SOUTH

C19



Scale: 1/16" = 1'-0"



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Planner *[Signature]*

Date 10/23/2023

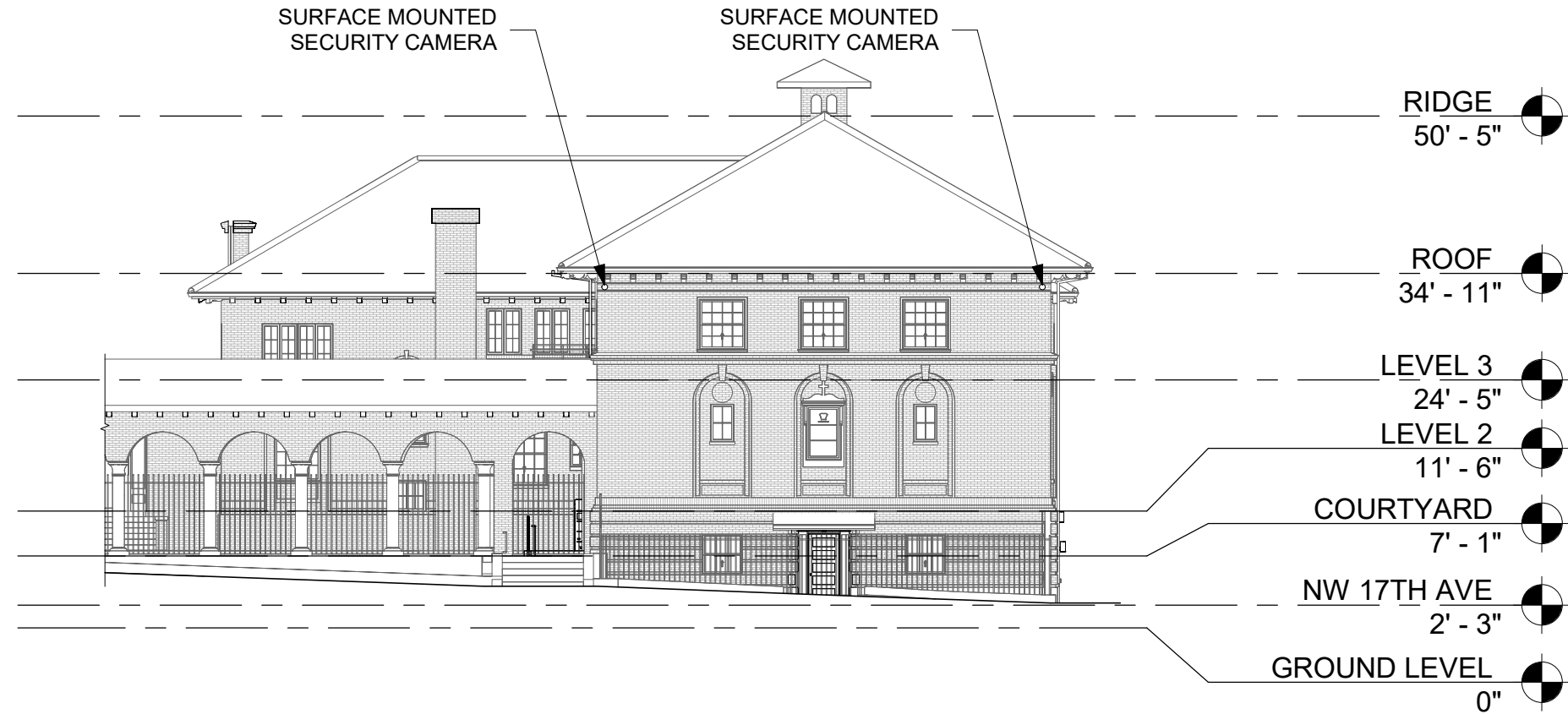
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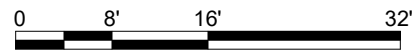
LU 23-068457 HR C-17

PROPOSED ELEVATION - SOUTH

C20



Scale: 1/16" = 1'-0"



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Planner *[Signature]*
Date 10/23/2023

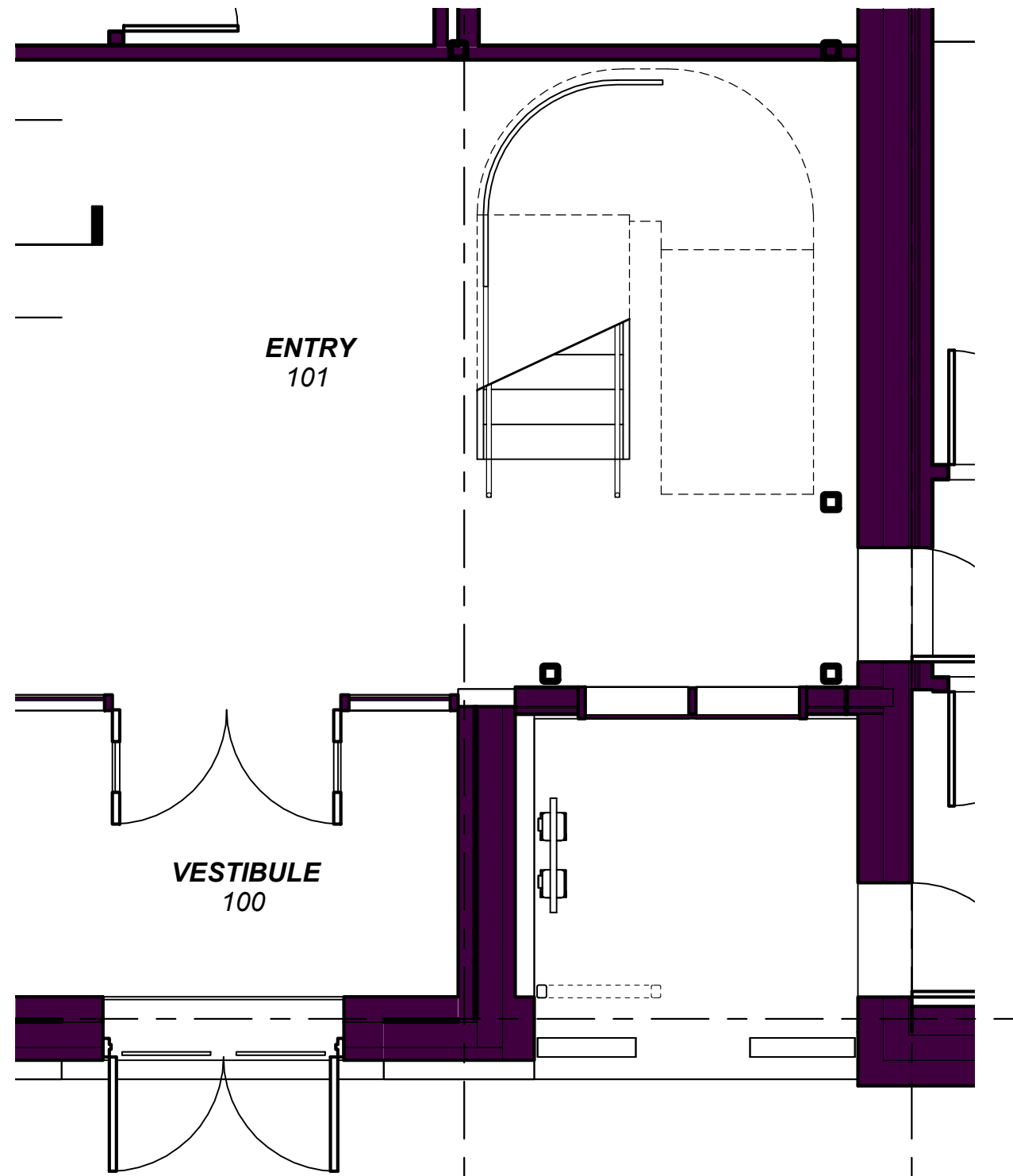
*This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



LU 23-068457 HR C-18

BUILDING SECTION - RATS ALLEY

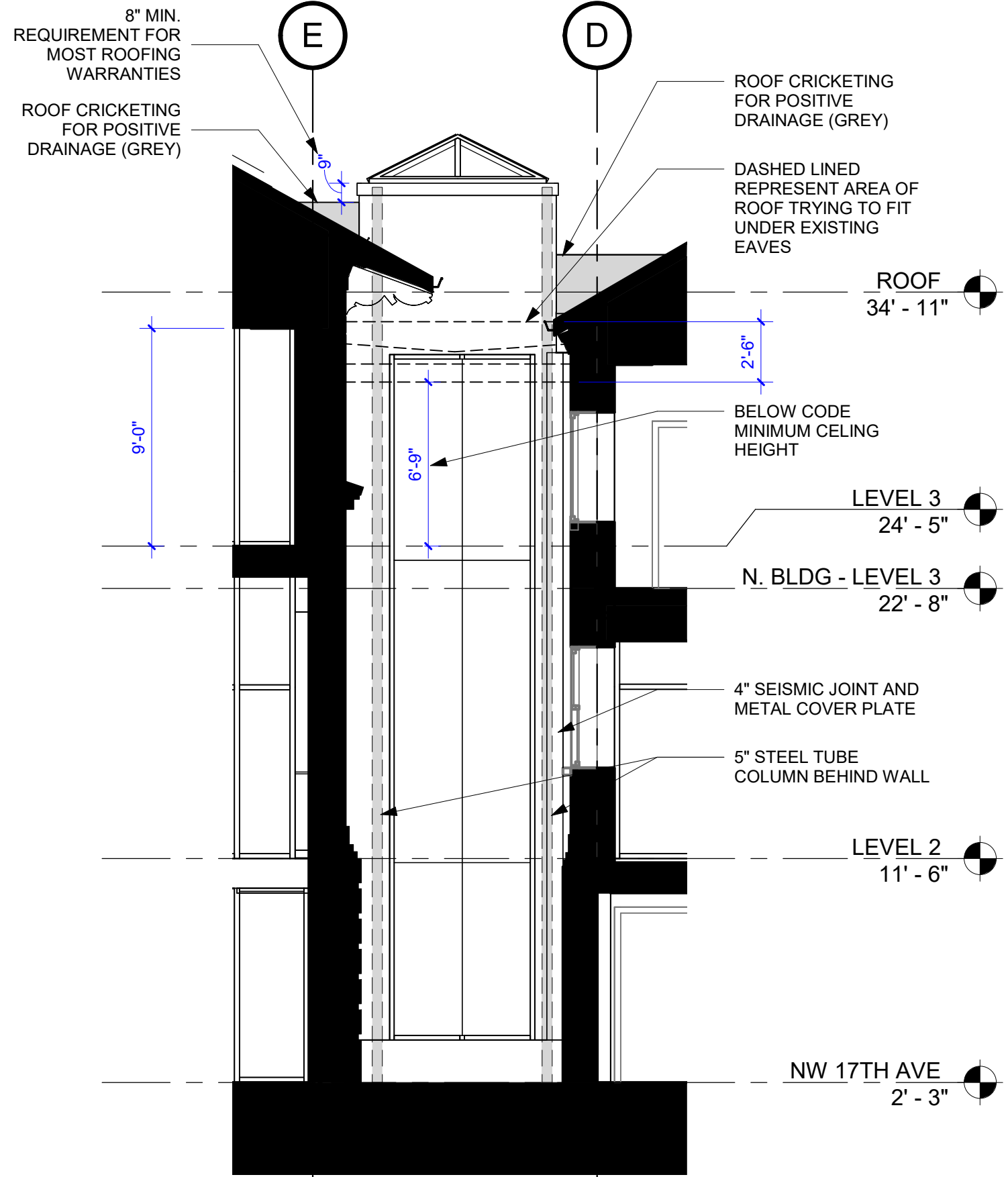
C21.1



Scale: 3/16" = 1'-0"



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Planner *[Signature]*
Date 10/23/2023

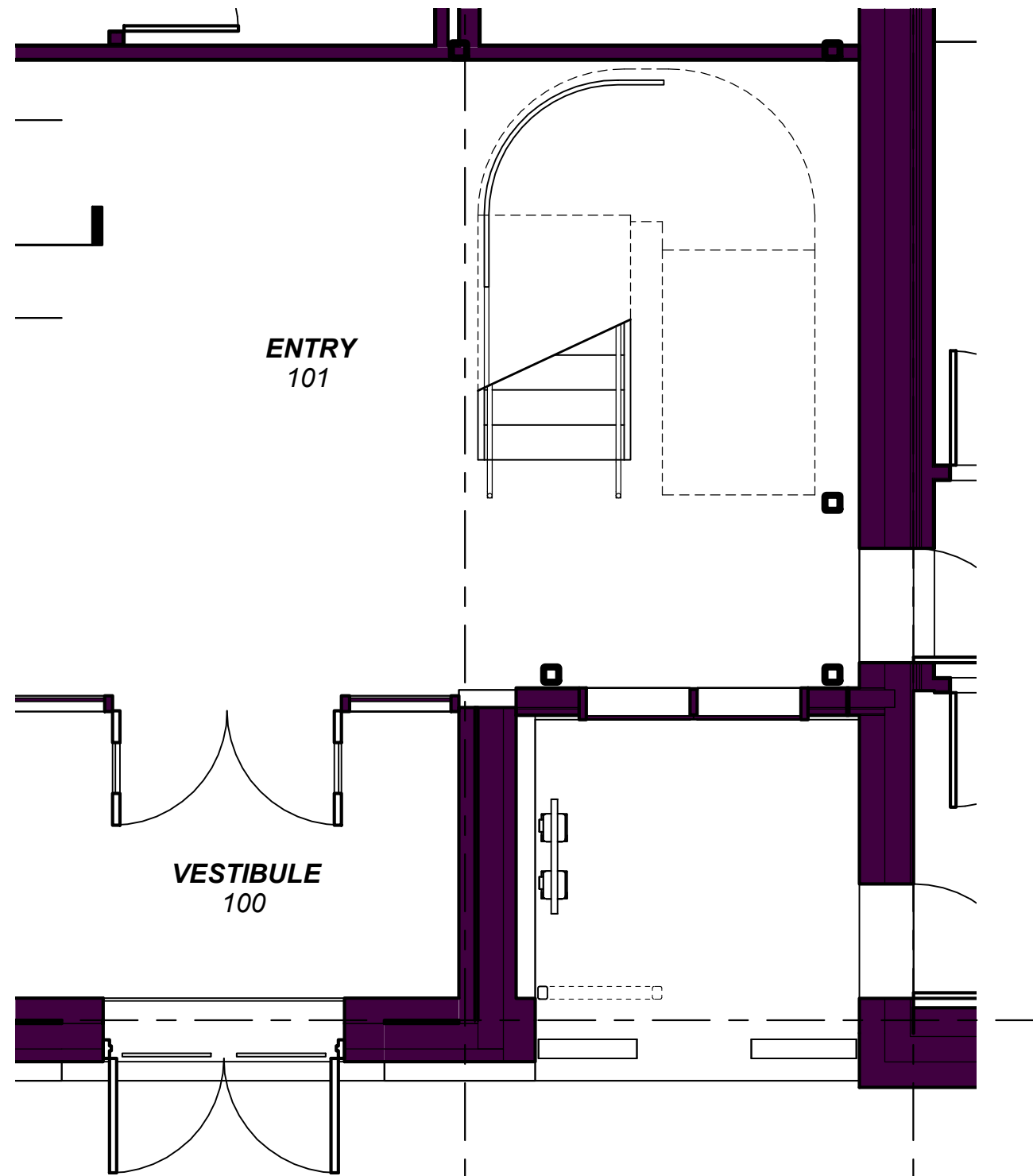
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LU 23-068457 HR C-19

BUILDING SECTION - RATS ALLEY

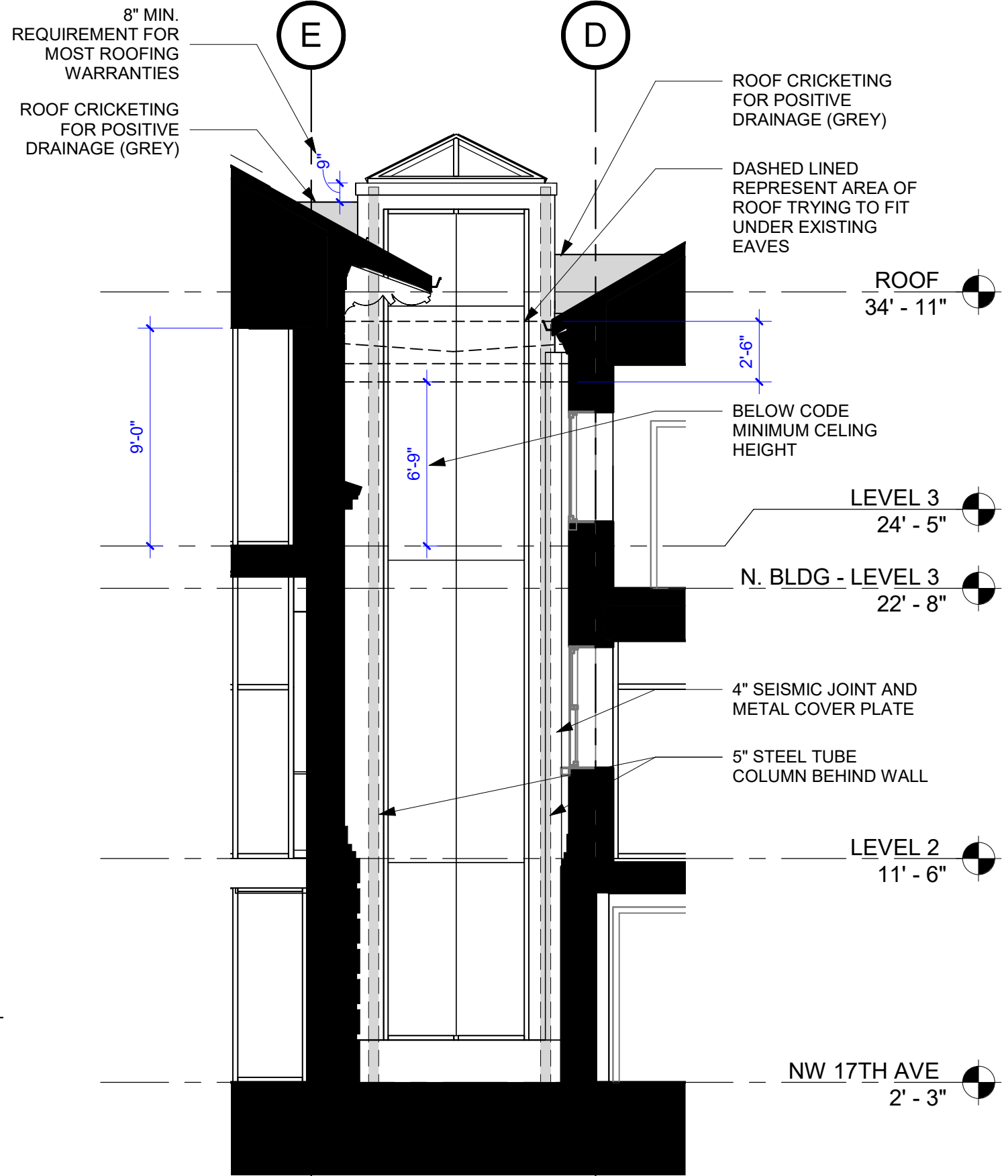
C21. UPDATE WITH TALLER CURTAINWALL / GLASS AREA



Scale: 3/16" = 1'-0"



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Planner *[Signature]*
Date 10/23/2023

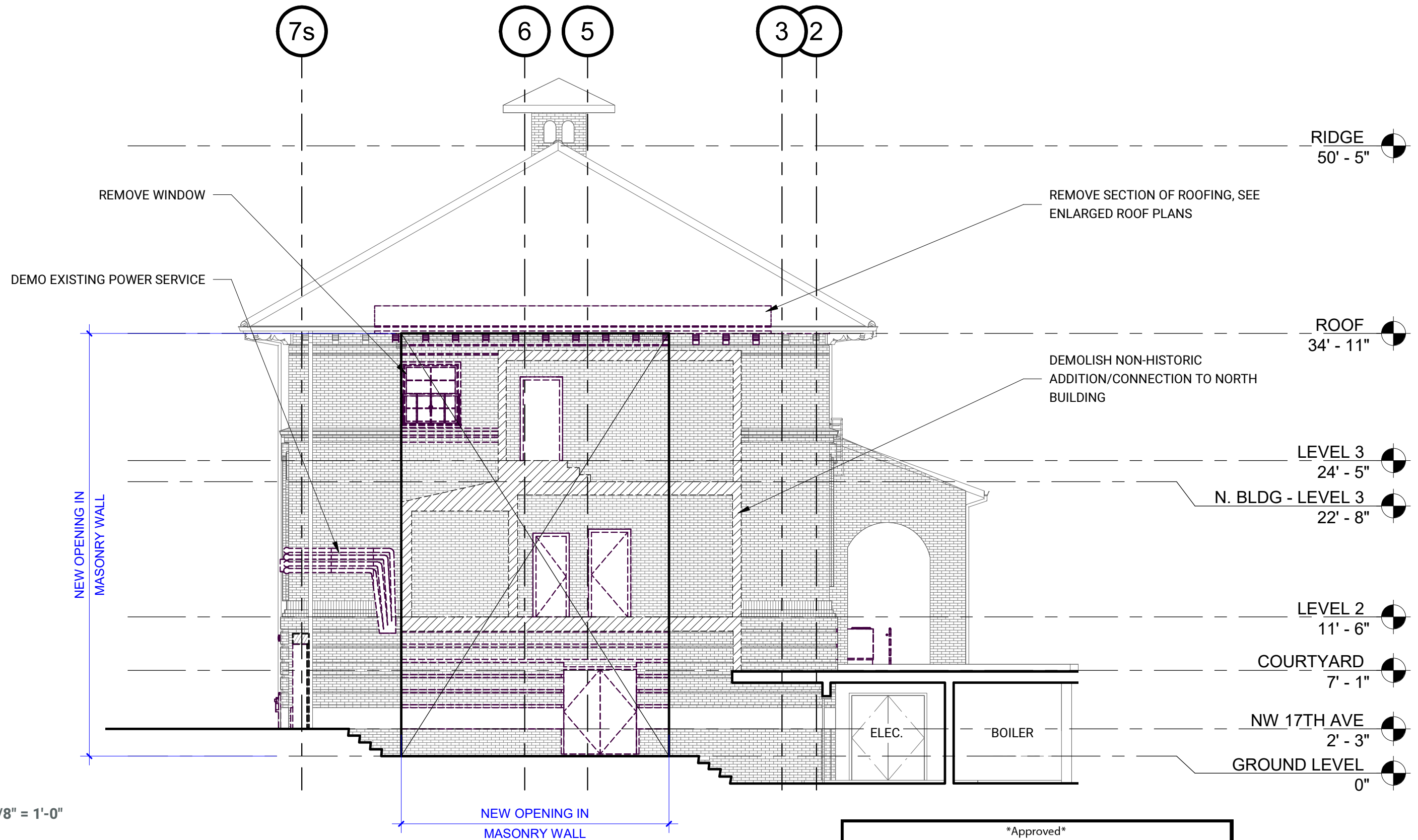
*This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



LU 23-068457 HR C-20

SOUTH BLDG NORTH ELEVATION - DEMO

C21.2



Scale: 1/8" = 1'-0"



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Planner *[Signature]*
Date 10/23/2023

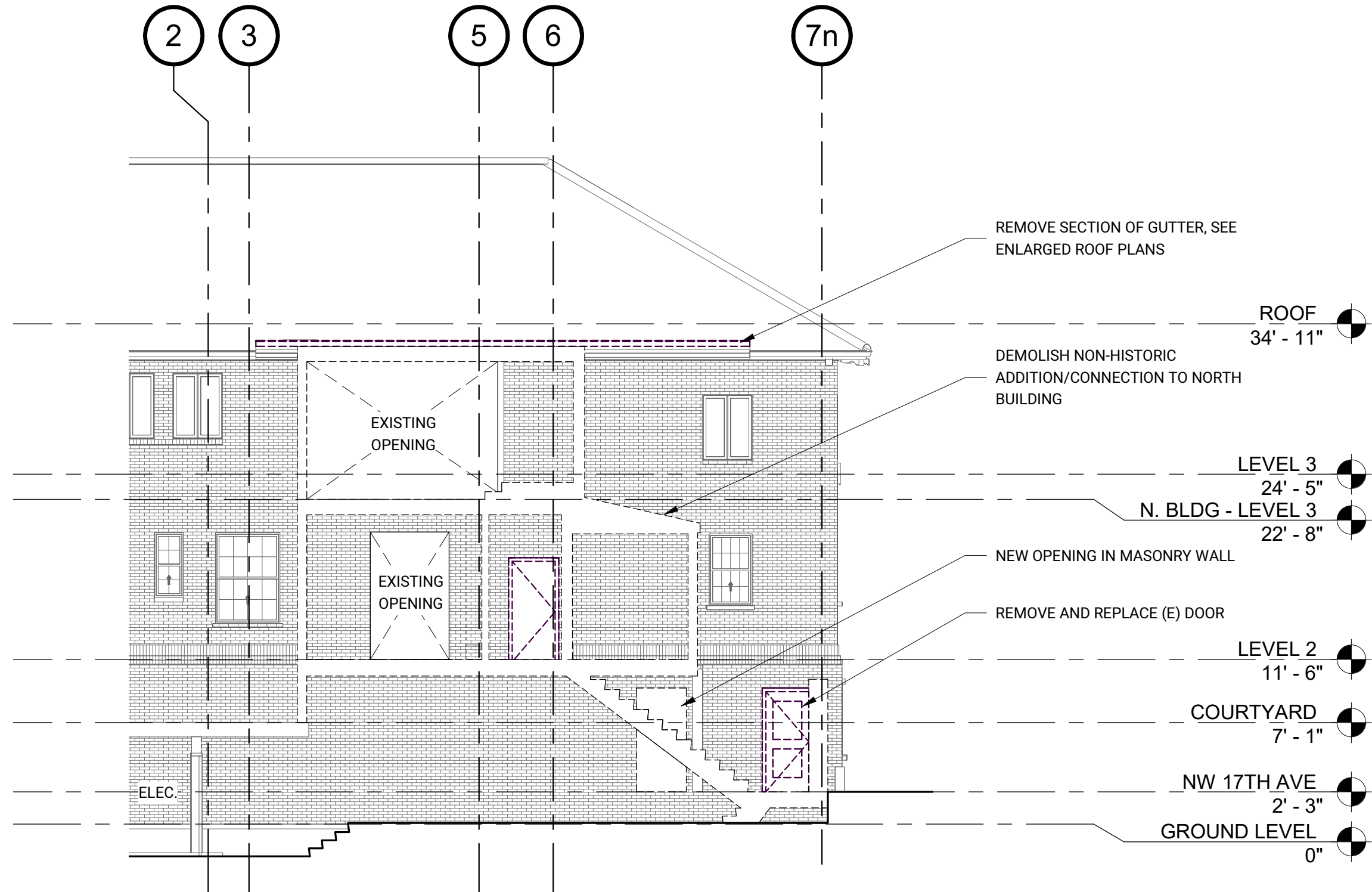
*This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



LU 23-068457 HR C-21

NORTH BLDG SOUTH ELEVATION - DEMO

C21.3



Scale: 1/8" = 1'-0"



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City of Portland
Bureau of Development Services

Planner *Zany Saylor*
Date 10/23/2023

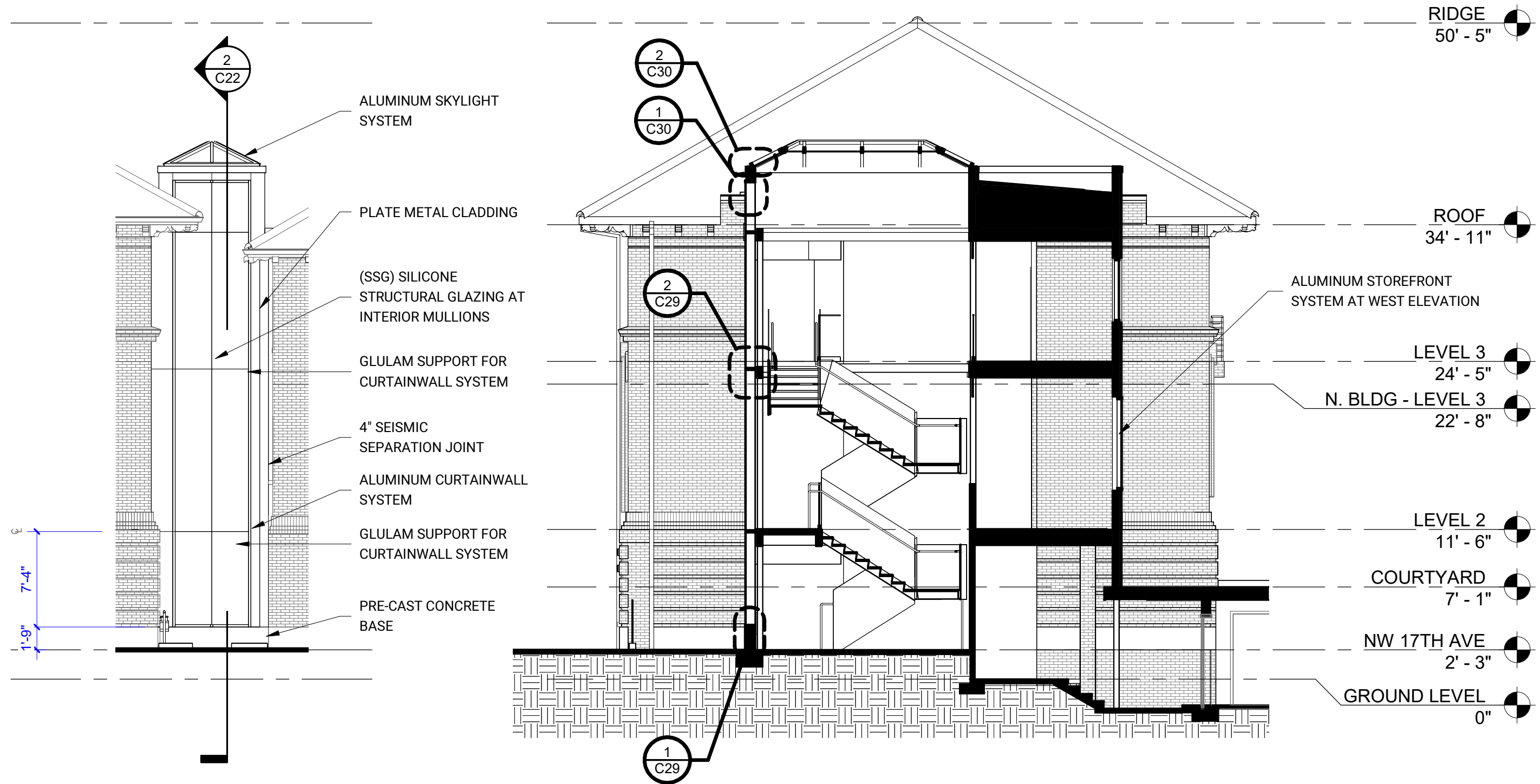
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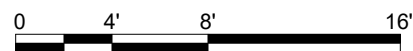
LU 23-068457 HR C-22

ENLARGED ELEVATION / SECTION

C22 UPDATE WITH TALLER CURTAINWALL / GLASS AREA



Scale: 1/8" = 1'-0"



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10.05.2023

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Planner *[Signature]*
Date 10/23/2023

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LU 23-068457 HR C-23

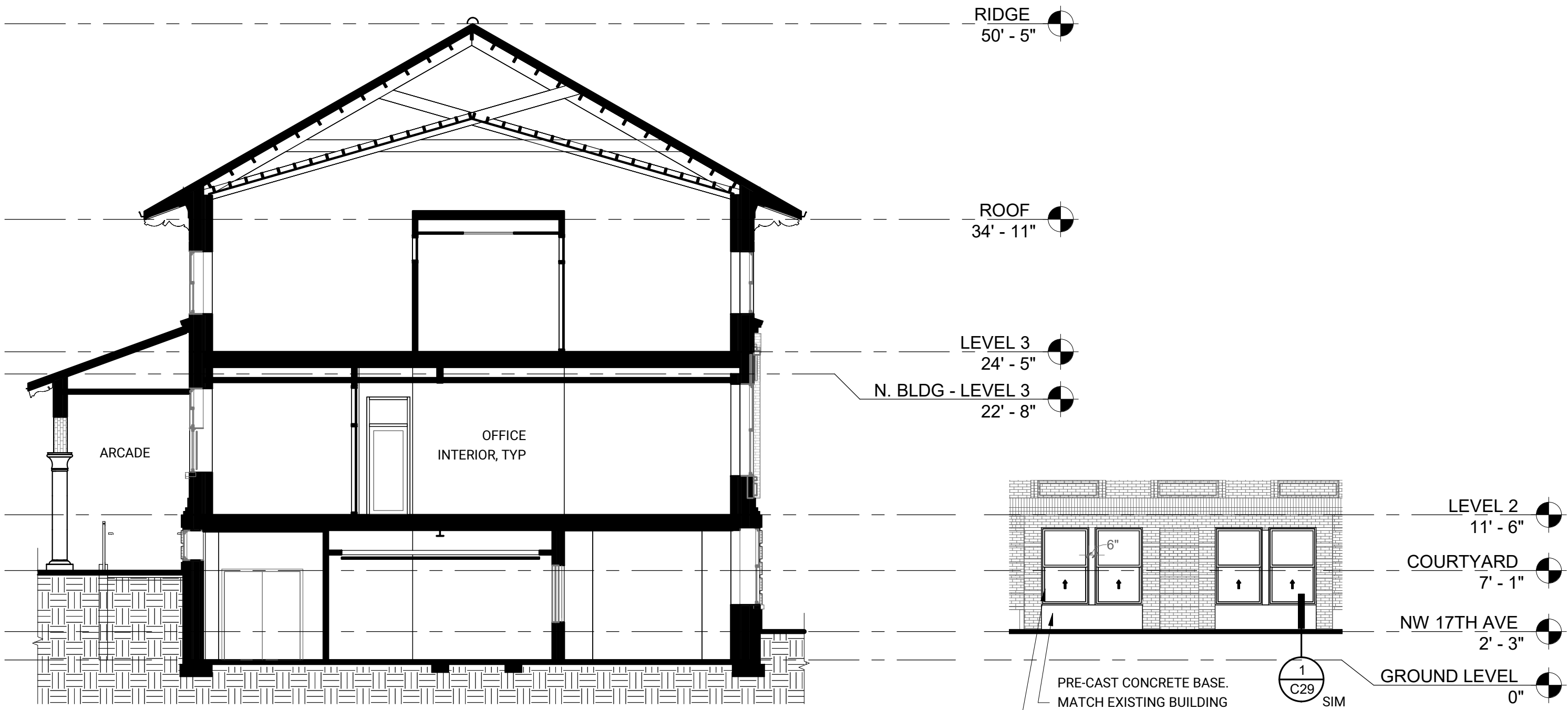
ENLARGED ELEVATION / SECTION

C23

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 Bureau of Development Services

Planner *[Signature]*
 Date 10/23/2023

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Scale: 1/8" = 1'-0"



PRE-CAST CONCRETE BASE.
 MATCH EXISTING BUILDING
 PROFILE

NEW WOOD DOUBLE HUNG ALUMINUM CLAD
 WOOD WINDOWS TO MATCH EXISTING.
 BASIS OF DESIGN: MARVIN ULTIMATE WOOD
 DOUBLE HUNG G2

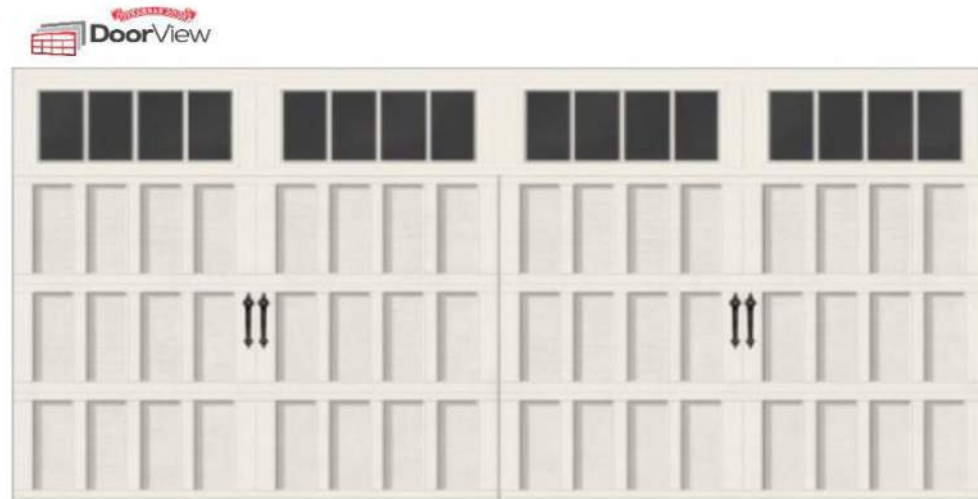
NEW GARAGE DOOR

C24

Approved
 City of Portland
 Bureau of Development Services

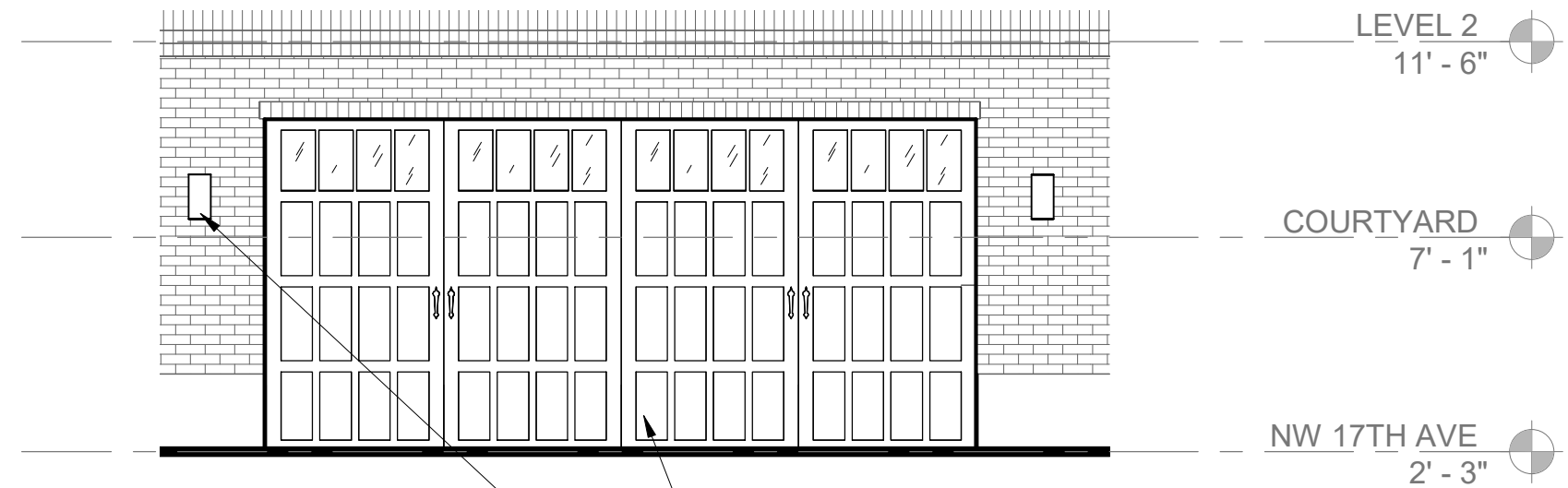
Planner *[Signature]*
 Date 10/23/2023

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Applied Products:

	Glass	Obscured
	Windows	Carriage House Collection
	Paint	White Paint
	Hardware	Pull Handle
	Garage Door	Carriage House Collection
		16 Window Square 7"
		White Paint
		Spear 15' x 8'
		Model 308 10' x 8'



NEW SECTIONAL DOOR - BASIS OF DESIGN:
 OVERHEAD DOOR COMPANY; MODEL 308
 CARRIAGE HOUSE COLLECTION - 16 WINDOW
 SQUARE 7"

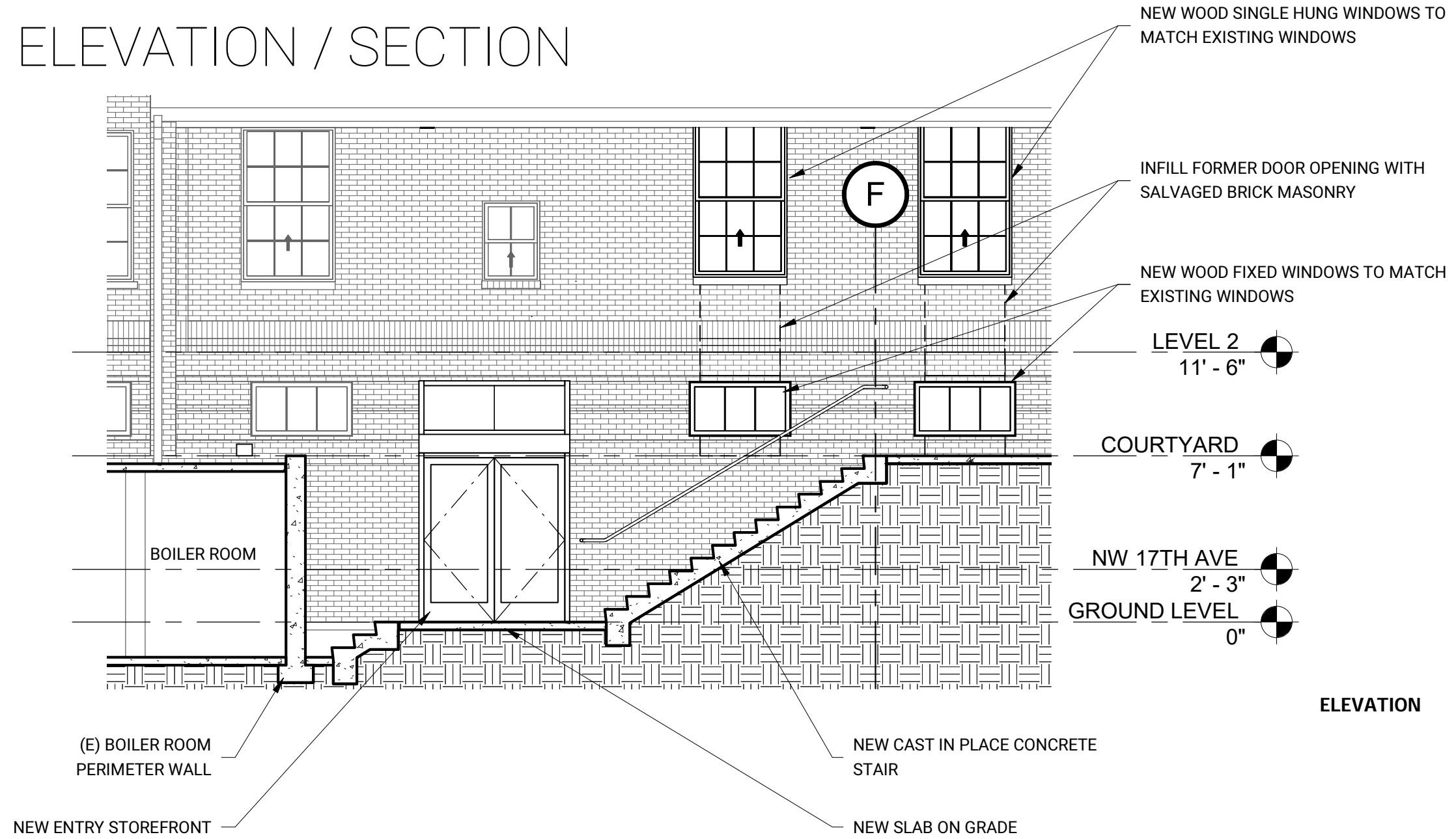
NEW WALL SCONCE.

Scale: 1/4" = 1'-0"

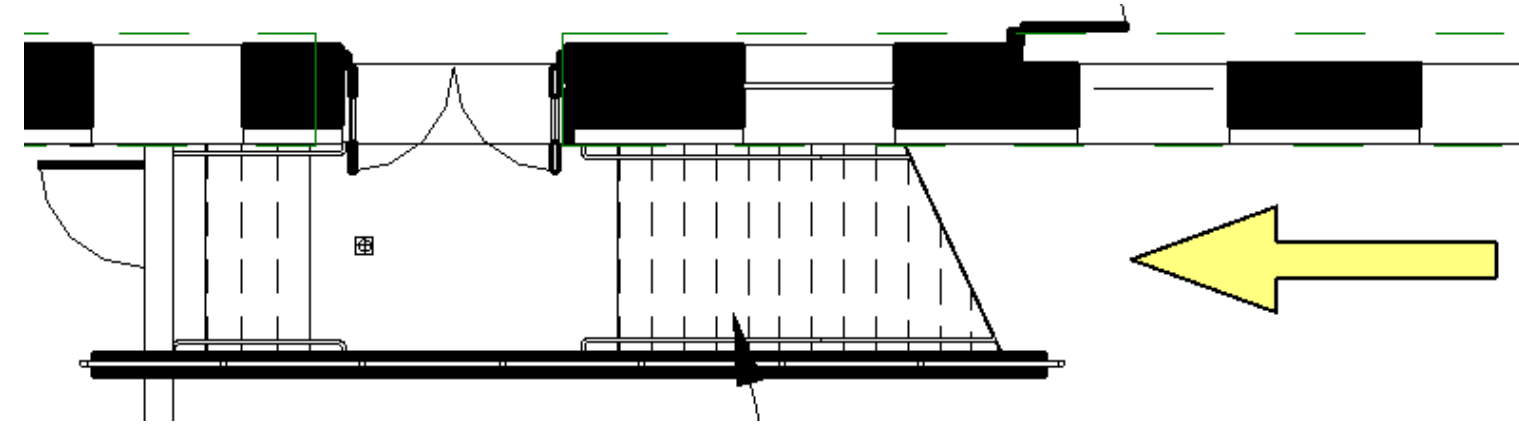
NOT FOR CONSTRUCTION

ENLARGED ELEVATION / SECTION

C25



ELEVATION



PLAN

Scale: 3/16" = 1'-0"



221084 | ARCHDIOCESE PASTORAL CENTER OFFICES |
10.05.2023

NOT FOR CONSTRUCTION

Approved
City of Portland
Bureau of Development Services

Planner *[Signature]*
Date 10/23/2023

* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



LU 23-068457 HR C-26



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Carmen Rubio, Commissioner
Rebecca Esau, Director
Phone: (503) 823-7300
TTY: 711
www.portland.gov/bds

Date: 9/15/2023

From: Tanya Paglia, Land Use Services
503-865-6518 / Tanya.Paglia@portlandoregon.gov

REQUEST FOR RESPONSE

**Case File: LU 23-068457 HR – St Mary's Church Admin Office
Renovation Project**
Pre App: PC # 23-013495

This notice is being sent to all service and technical review agencies for their input on the proposal described below. Neighborhood Associations also receive this advance notice via e-mail. *Your timely response, as indicated below, will help the assigned planner determine if applicable approval criteria can be met, or what conditions might be required.*

- The approval criteria are listed below. Although we are interested in any comments you may have, please consider your response in terms of these criteria.
- All agencies are encouraged to use this as an opportunity to inform the applicant of any additional requirements that may be imposed by your agency during building permit phase – especially those that would significantly affect the proposal.
- Please note in your response which requirements are specifically associated with the applicable land use review approval criteria, and which requirements you have the independent authority to impose at time of building permits.
- Neighborhood Associations are encouraged to submit comments by the deadline noted below. To comment, you may write to Tanya Paglia at 1900 SW Fourth Ave., Suite 4500, Portland, OR 97201. You can also e-mail your comments to me at my e-mail address identified above. After the staff report is published, please submit your comments to the Landmarks Commission at 1900 SW Fourth Ave., Suite 4500, Portland, OR 97201 and fax them to 503-823-5630.

The Bureau of Development Services recommendation will be published ten days before the scheduled hearing date. You will also receive a Notice of Public Hearing for this proposal, with hearing date and time confirmed, mailed twenty days prior to the hearing.

- **Please send your response to BDS no later than: 10/6/2023** (If I receive comments after this date, I may not have enough time to include them in the staff report).
- **We must publish our report by: 10/13/2023**
- **A public hearing before the Landmarks Commission is tentatively scheduled for Thursday, October 23, 2023, 1:30 PM**

Applicant: Michael Roberts and Zachary Freund | LRS Architects
720 NW Davis St #300 | Portland, OR 97209

Owner's Rep: Jo Willhite | Archdiocese Of City Of Portland
2858 E Burnside St | Portland, OR 97214

Party of Interest: Pat O'Brien | O'Brien Construction
208 NW 21st Ave., #201 | Portland, OR 97209

Owner: St Mary Catholic Cathedral of Immaculate Conception of Portland Oregon
1716 NW Davis St
Portland, OR 97209

Site Address: 1715 NW COUCH ST

Legal Description: BLOCK 167 LOT 1-8, COUCHS ADD
Tax Account No.: R180215070
State ID No.: 1N1E33DB 05400
Quarter Section: 3028

Neighborhood: Northwest District, contact Greg Theisen at
contact@northwestdistrictassociation.org

Business District: Northwest, contact at nobhillportland@gmail.com, Pearl District
Business Association, contact at info@explorethepearl.com

District Coalition: Neighbors West/Northwest, contact Darlene Urban Garrett at
darlene@nwnw.org

Plan District: Northwest

Other Designations: Contributing Resource in the Alphabet Historic District, listed in the
National Register of Historic Places in November 16, 2000

Zoning: **RM4d** – Residential Multi-Dwelling 4 zone with Design and Historic
Resource Protection overlays

Case Type: **HR** – Historic Resource Review

Procedure: **Type III**, with a public hearing before the Landmarks Commission. The
decision of the Landmarks Commission can be appealed to City Council.

Proposal:

Type III Historic Resource Review for a proposal to make exterior alterations to buildings that are part of the St Mary's Cathedral property, a contributing resource in the Alphabet Historic District historically known as the *Cathedral of the Immaculate Conception*. The site is located in the Northwest Plan District. The exterior alterations accompany a full-scale interior demolition and renovation of the existing administration buildings including seismic strengthening, new interior elevator system, new lobby and stairway, mechanical, electrical, and plumbing (MEP) systems upgrades, and accessibility improvements.

The project will involve replacing a connecting structure between the Rectory building (also referenced in plans as "north building") and the Archbishop's Residence and Parish Center building (which will become the Parish Center and Archdiocese of Portland Building and is also referenced in the plans as "south building"). The new connector will be metal plate and glass with an aluminum skylight system and will be recessed between the two buildings. A portion of the south building's eaves will be cut into and removed, and some clay tile roofing material will have been removed from both the south and north buildings to accommodate the connector's roof.

The project also includes:

- Archbishop's Residence and Parish Center building (south admin building)
 - East Elevation - NW 17th Ave frontage
 - New aluminum-clad wood full-lite entry door in the existing opening at the north end of the east elevation including new security camera above door and new wall sconce lighting fixtures on either side.
 - Infill at the garage opening located at the south end of the east elevation with two sets of new double-hung aluminum-clad wood windows above a pre-cast concrete base.
 - Existing gas meter relocated into the recess of the South Building.
 - New metal gate and fencing to secure the recessed area in front of the new connecting structure.
 - Removal of existing non-original chimney.
 - West Elevation – Interior courtyard frontage
 - New cast-in-place concrete exterior stair providing a courtyard entry to a lower-level community space which will have a new double-door storefront entry.
 - Two new wood single-hung windows on first floor beneath arcade to match existing windows, and demo two doors below new windows and infill with small wood fixed windows to match existing basement windows as well as salvaged brick masonry.
 - New guardrail with ornamental malleable iron spindles and stanchions at new stairs.
 - New mechanical units at recessed niche on west side of the South Building.
 - Replacement LED semi-flush mount ceiling light fixtures at arcades.
 - New security camera above door at south end of building.
 - South Elevation – NW Couch frontage
 - Replacement LED flush mount ceiling light fixtures at entry.
 - Two new surface-mounted security cameras at top of building below roof line.
- Rectory building (north admin building)
 - East Elevation - NW 17th Ave frontage
 - New carriage-style sectional overhead garage door replacing residential-style garage door within same rough opening at the east side of the Rectory building with new wall sconce lighting fixtures on either side.
 - West Elevation – Interior courtyard frontage
 - Reduce height and laterally reinforce existing chimney.
 - New aluminum-clad wood door in the existing opening including new security camera adjacent to top of door.
 - North Elevation – NW Davis frontage
 - Two new surface-mounted security cameras at top of building below roof line.

The Archbishop's Residence and Parish Center building was the first building on the site, built in 1914 as the Parish House and School building. The Rectory building was constructed in 1925 along with the main Cathedral building. The existing connecting structure to be demolished was built circa 1965.

Historic resource review is required because the proposal is for non-exempt exterior alterations on a resource in the Alphabet Historic District.

Approval Criteria:

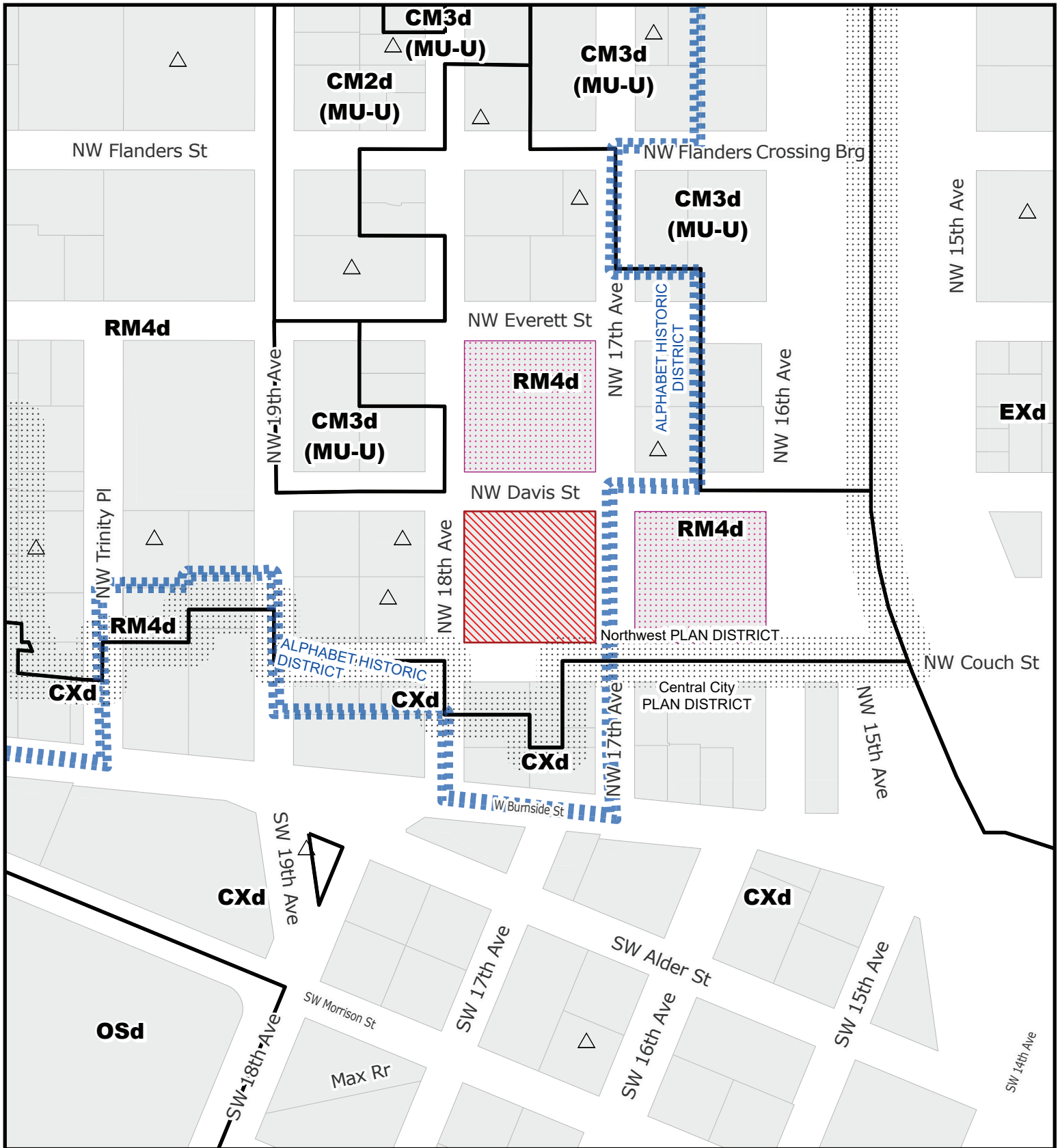
In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The applicable approval criteria are:

- Community Design Guidelines
- Alphabet Historic District Community Design Guidelines Addendum

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was filed, provided that the application is complete at the time of filing, or complete within 180 days. This application was filed on July 28, 2023 and determined to be complete on September 11, 2023.

It is important to submit all evidence to the Landmarks Commission. City Council will not accept additional evidence if there is an appeal of this proposal.



Enclosures: Zoning Map, Site Plan; Proposed East Elevation; Proposed West Elevation



For Zoning Code in Effect Post October 1, 2022

ZONING

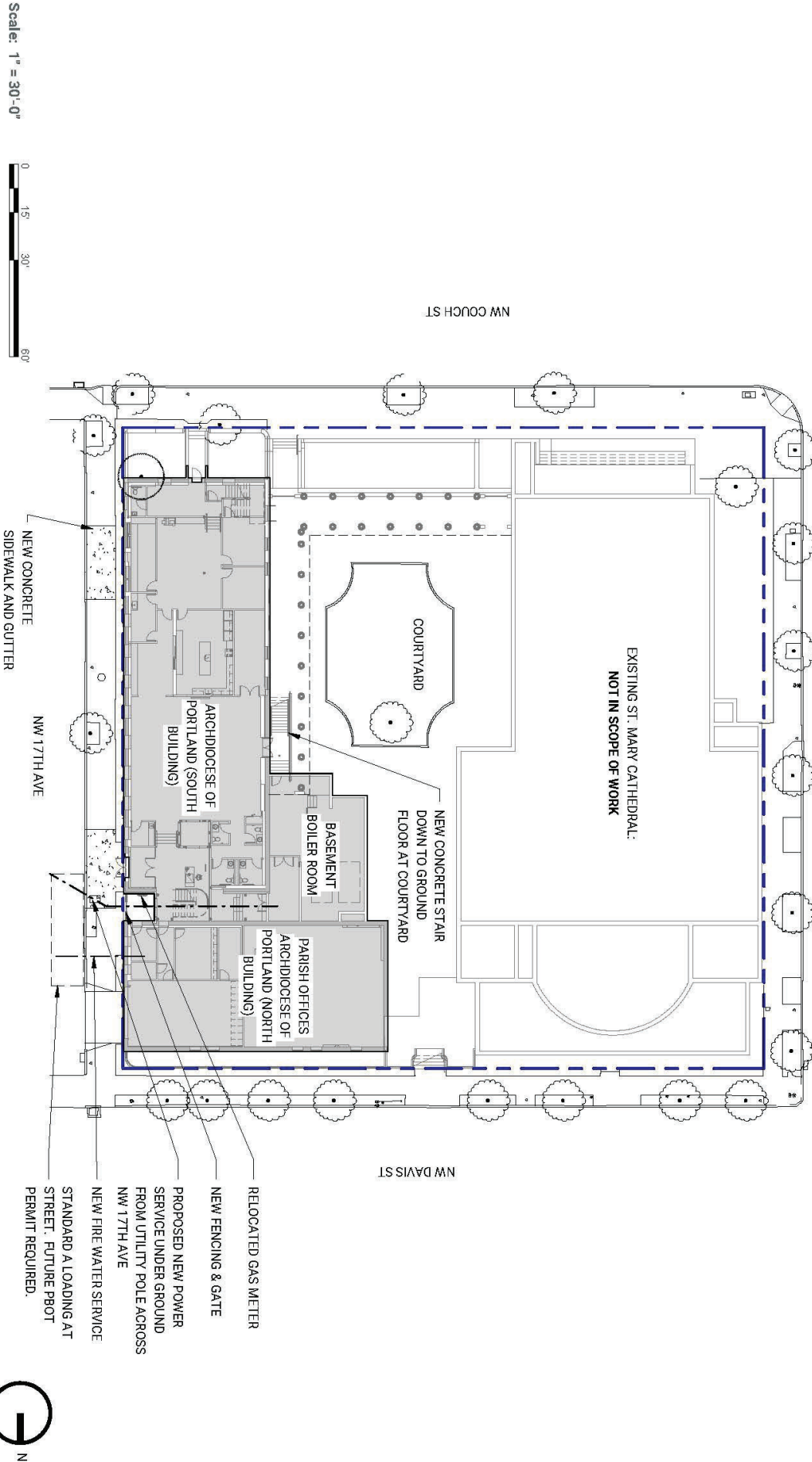
THIS SITE LIES WITHIN THE:
NORTHWEST PLAN DISTRICT
ALPHABET HISTORIC DISTRICT

-  Site
-  Also Owned Parcels
-  Plan District
-  Historic District
-  Historic Landmark

File No.	<u>LU 23 - 068457 HR</u>
1/4 Section	<u>3028</u>
Scale	<u>1 inch = 200 feet</u>
State ID	<u>1N1E33DB 5400</u>
Exhibit	<u>B Jul 26, 2023</u>

PROPOSED SITE PLAN

C8



Scale: 1" = 30'-0"



221084 | ARCHDIOCESE PASTORAL CENTER OFFICES |
ARCHITECTS 07.26.2023

NOT FOR CONSTRUCTION

- RELOCATED GAS METER
- NEW FENCING & GATE
- PROPOSED NEW POWER SERVICE UNDER GROUND FROM UTILITY POLE ACROSS NW 17TH AVE
- NEW FIRE WATER SERVICE
- STANDARD A LOADING AT STREET. FUTURE PROT PERMIT REQUIRED.

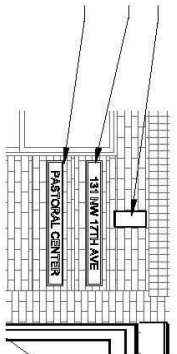


LU 23-068457 HR

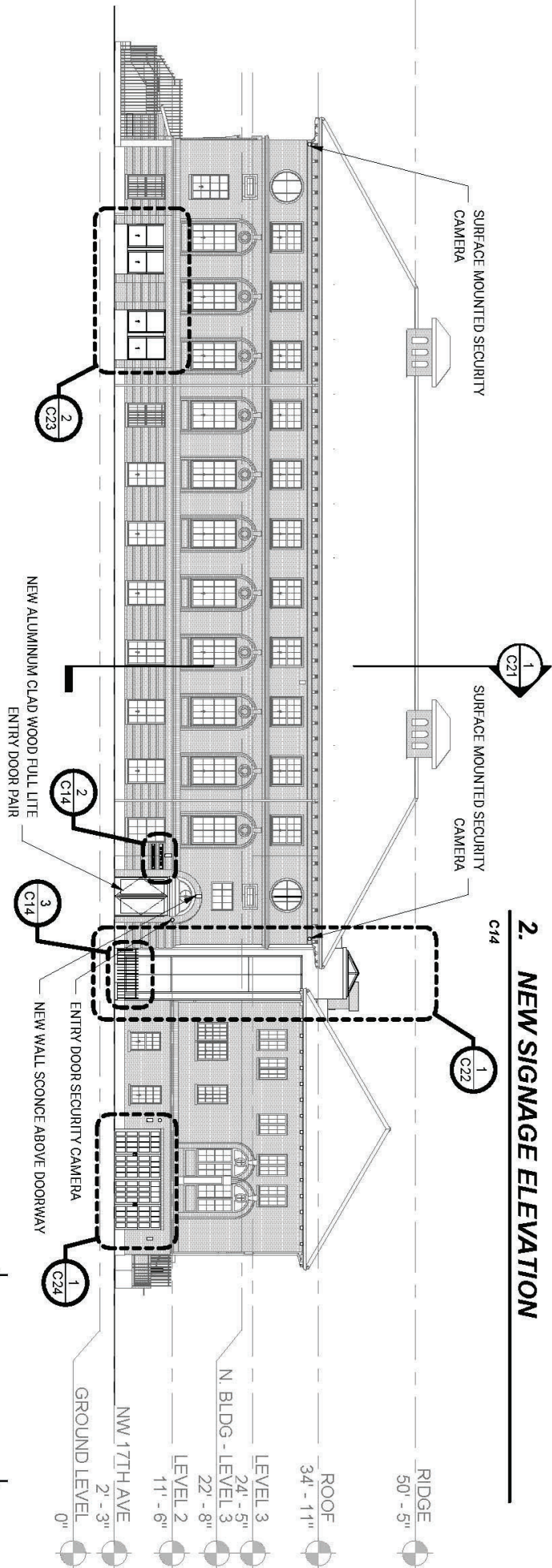
PROPOSED ELEVATION - EAST

C14

NEW LIGHT ABOVE TO ILLUMINATE SIGNAGE
 NEW ADDRESS SIGNAGE
 NEW BUILDING SIGNAGE. METAL
 PLAQUE WITH METAL LETTERING.



2. NEW SIGNAGE ELEVATION

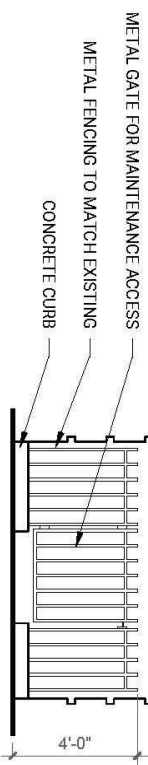


Scale: As indicated



3. FENCE & GATE ELEVATION

C14



221084 | ARCHDIOCESE PASTORAL CENTER OFFICES |
 ARCHITECTS 07.26.2023

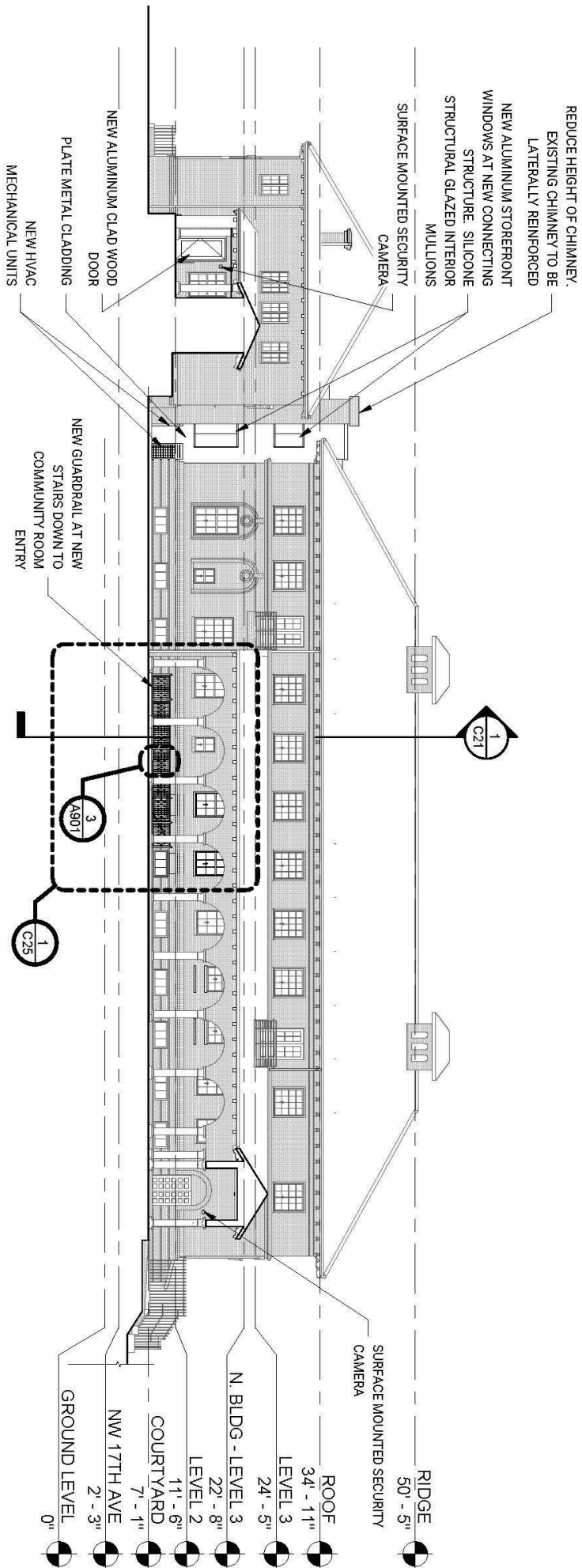
NOT FOR CONSTRUCTION



LU 23-068457 HR

PROPOSED ELEVATION - WEST

C18



Scale: 1/16" = 1'-0"



221084 | ARCHDIOCESE PASTORAL CENTER OFFICES |
ARCHITECTS 07.26.2023

NOT FOR CONSTRUCTION



LU 23-068457 HR



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Carmen Rubio, Commissioner
Rebecca Esau, Director
Phone: (503) 823-7300
TTY: 711
www.portland.gov/bds

Date: 9/18/2023

To: Michael Roberts | L R S Architects
720 NW Davis St #300 | Portland, OR 97209
(503) 806-5147

From: Tanya Paglia, Land Use Services, Tanya.Paglia@portlandoregon.gov

RE: LU 23-068457 HR – St Mary's Church Admin Office Renovation Project

Dear Applicant:

I have received your application for a Historic Resource Review at 1715 NW COUCH ST. Your application was deemed complete on **9/8/2023**. Your case number is given above; the hearing is scheduled for **October 23, 2023**. I am the planner handling your case, and can answer any questions you might have during the process.

You are required to post notice on the site of your proposal 30 days before the hearing. The information below will help you do this. I am also enclosing instructions for making the required posting boards and the notice that should be placed on the signs.

- A. You must post one sign every 600 feet on each street frontage of the property:
 - Your site has approximately 200 feet of frontage on NW Davis St. You must post 1 sign along this street.
 - Your site has approximately 200 feet of frontage on NW 17th Ave. You must post 1 sign along this street.
 - Your site has approximately 200 feet of frontage on NW Couch St. You must post 1 sign along this street.
 - Your site has approximately 200 feet of frontage on NW 18th Ave. You must post 1 sign along this street.
- B. These signs must be placed within 10 feet of the street frontage line, and must be visible to pedestrians and motorists. You may not post in the public right-of-way.
- C. Because the hearing for your case is scheduled for **October 23, 2023**, you must post the notice by 9/22/2023, 30 days before the hearing.
- D. A certification statement is enclosed, which you must sign and return. The statement affirms that you posted the site. It also confirms your understanding that if you do not post the notice by the date above, your hearing will be automatically postponed. In addition, time limits on our processing of your case will be waived. You must return this statement to us by 10/9/2023, 14 days before the hearing.
- E. You should not remove the notice before the hearing, but it must be taken down within two weeks after the final decision is made on your request.

Encl: Posting Notice
Statement Certifying Posting

cc: Application Case File

Michael Roberts | LRS Architects
720 NW Davis St #300 | Portland, OR 97209
(503) 806-5147

DATE: _____

TO: Tanya Paglia | Bureau of Development Services
1900 SW Fourth Ave., Suite 5000 | Portland, Oregon 97201

APPLICANT'S STATEMENT CERTIFYING POSTING

Case File LU 23-068457 – St Mary's Church Admin Office Renovation Project

This certifies that I have posted notice on my site as required by the Zoning Code. I understand that the hearing is scheduled for October 23, 2023, and that I was required to post the property at least 30 days before the hearing.

The required number of poster boards, with the notices attached, were set up on _____(date). These were placed within 10 feet of the street frontage line so that they were visible to pedestrians and motorists.

I understand that this form must be returned to the Bureau of Development Services no later than 10/9/2023, 14 days before the scheduled hearing. I also understand that if I do not post the notices by 30 days before the hearing, or return this form by 14 days before the hearing, my hearing will automatically be postponed. I also understand this will result in a waiver of the time limits for processing my case.

In addition, I understand that I may not remove the notices before the hearing, but am required to remove them within two weeks of the final decision on my request.

Signature

Print Name

Address

City/State/Zip Code

Type III Land Use Review

St Mary's Church Admin Office Renovation Project

CASE FILE	LU 23-068457 HR
WHEN	MONDAY, OCTOBER 23, 2023 @ 1:30 PM <i>(This is the hearing start time –see Commission agenda for estimated project start time.)</i>
WHERE	ONLINE: Link to hearing is available at www.portland.gov/bds/landmarks
HOW	TO TESTIFY: Follow instructions on the Landmarks Commission agenda <u>or</u> email the planner at Tanya.Paglia@portlandoregon.gov
REVIEW BY	HISTORIC LANDMARKS COMMISSION
LAND USE REVIEW TYPE	HISTORIC RESOURCE REVIEW
PROPOSAL	Type III Historic Resource Review hearing for a proposal to make exterior alterations to buildings that are part of the St Mary's Cathedral property, a contributing resource in the Alphabet Historic District historically known as the <i>Cathedral of the Immaculate Conception</i> located in the Northwest Plan District. The exterior alterations accompany a full-scale interior demolition and renovation of the existing administration buildings including seismic strengthening. The project will involve replacing a connecting structure between the Rectory building and the Archbishop's Residence and Parish Center building, as well as multiple changes to the existing facades including door, window, chimney, stair, lighting, and other changes.
REVIEW APPROVAL CRITERIA	<ul style="list-style-type: none">• Community Design Guidelines• Alphabet Historic District Community Design Guidelines Addendum
SITE ADDRESS	1716 NW Davis St
ZONING/ DESIGNATION	RM4d – Residential Multi-Dwelling 4 with Historic Resource Protection Overlay Contributing Resource in the Alphabet Historic District, listed in the National Register of Historic Places in November 16, 2000
APPLICANT(S)	Michael Roberts LRS Architects Jo Willhite Archdiocese Of City Of Portland
QUESTIONS? BDS CONTACT	Tanya Paglia, City Planner (503) 835-6518 Tanya.Paglia@PortlandOregon.gov Bureau of Development Services, 1900 SW 4 th Ave, Suite 5000, Portland, OR 97201

Traducción e interpretación | Chuyển Ngữ hoặc Phiên Dịch | 翻译或传译 | Turjumida ama Fasiraadda | 翻訳または通訳 | ການແປພາສາ ຫຼື ການອະທິບາຍ
Письменный или устный перевод | Traducere sau Interpretare | 번역및통역 | الترجمة التحريرية أو الشفوية | Письмовий або усний переклад



503-823-7300



BDS@PortlandOregon.gov



www.PortlandOregon.gov/bds/translated

TTY: 503-823-6868
Relay Service: 711



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Carmen Rubio, Commissioner
Rebecca Esau, Director
Phone: (503) 823-7300
TTY: 711
www.portland.gov/bds

Date: 9/18/2023

9/21/2023

To: Michael Roberts | L R S Architects
720 NW Davis St #300 | Portland, OR 97209
(503) 806-5147

From: Tanya Paglia, Land Use Services, Tanya.Paglia@portlandoregon.gov

RE: LU 23-068457 HR – St Mary's Church Admin Office Renovation Project

Dear Applicant:

I have received your application for a Historic Resource Review at 1715 NW COUCH ST. Your application was deemed complete on **9/8/2023**. Your case number is given above; the hearing is scheduled for **October 23, 2023**. I am the planner handling your case, and can answer any questions you might have during the process.

You are required to post notice on the site of your proposal 30 days before the hearing. The information below will help you do this. I am also enclosing instructions for making the required posting boards and the notice that should be placed on the signs.

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 - Your site has approximately 200 feet of frontage on NW Davis St. You must post 1 sign along this street.
 - Your site has approximately 200 feet of frontage on NW 17th Ave. You must post 1 sign along this street.
 - Your site has approximately 200 feet of frontage on NW Couch St. You must post 1 sign along this street.
 - Your site has approximately 200 feet of frontage on NW 18th Ave. You must post 1 sign along this street.
- B. These signs must be placed within 10 feet of the street frontage line, and must be visible to pedestrians and motorists. You may not post in the public right-of-way.
- C. Because the hearing for your case is scheduled for **October 23, 2023**, you must post the notice by 9/22/2023, 30 days before the hearing.
- D. A certification statement is enclosed, which you must sign and return. The statement affirms that you posted the site. It also confirms your understanding that if you do not post the notice by the date above, your hearing will be automatically postponed. In addition, time limits on our processing of your case will be waived. You must return this statement to us by 10/9/2023, 14 days before the hearing.
- E. You should not remove the notice before the hearing, but it must be taken down within two weeks after the final decision is made on your request.

Encl: Posting Notice
Statement Certifying Posting

cc: Application Case File

Michael Roberts | LRS Architects
720 NW Davis St #300 | Portland, OR 97209
(503) 806-5147

DATE: 09.21.2023

TO: Tanya Paglia | Bureau of Development Services
1900 SW Fourth Ave., Suite 5000 | Portland, Oregon 97201

APPLICANT'S STATEMENT CERTIFYING POSTING

Case File LU 23-068457 – St Mary's Church Admin Office Renovation Project

This certifies that I have posted notice on my site as required by the Zoning Code. I understand that the hearing is scheduled for October 23, 2023, and that I was required to post the property at least 30 days before the hearing.

The required number of poster boards, with the notices attached, were set up on 09.21.2023 (date). These were placed within 10 feet of the street frontage line so that they were visible to pedestrians and motorists.

I understand that this form must be returned to the Bureau of Development Services no later than 10/9/2023, 14 days before the scheduled hearing. I also understand that if I do not post the notices by 30 days before the hearing, or return this form by 14 days before the hearing, my hearing will automatically be postponed. I also understand this will result in a waiver of the time limits for processing my case.

In addition, I understand that I may not remove the notices before the hearing, but am required to remove them within two weeks of the final decision on my request.


Signature

Michael Roberts
Print Name

720 NW Davis St Suite 300
Address

Portland, OR 97209
City/State/Zip Code



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Carmen Rubio, Commissioner
Rebecca Esau, Director
Phone: (503) 823-7300
TTY: 711
www.portland.gov/bds

Date: 9/26/2023
To: Interested Person
From: Tanya Paglia, Land Use Services
503-865-6518 / Tanya.Paglia@portlandoregon.gov

**NOTICE OF A PUBLIC HEARING ON A PROPOSAL
IN YOUR NEIGHBORHOOD**

CASE FILE: LU 23-068457 HR – *St Mary's Church Admin
Office Renovation Project*
PC # 23-013495

REVIEW BY: Landmarks Commission

WHEN: Monday, October 23, 2023 at 1:30 PM

WHERE: 1900 SW Fourth Ave., Room 2500A
Portland, OR 97201

It is important to submit all evidence to the Landmarks Commission. City Council will not accept additional evidence if there is an appeal of this proposal.

Development has been proposed in your neighborhood requiring a land use review. The proposal, review process, and information on how to respond to this notice are described below. A copy of the site plan and zoning map are attached. I am the staff person handling the case. Please call me if you have questions regarding this proposal. Please contact the applicant if you have questions regarding any future development on the site.

Applicant's: Michael Roberts and Zachary Freund | LRS Architects
720 NW Davis St #300 | Portland, OR 97209
503-806-5147, mroberts@lrsarchitects.com

Owner: St Mary Catholic Cathedral of Immaculate Conception of Portland Oregon
1716 NW Davis St | Portland OR 97209

Owner's Rep: Jo Willhite | Archdiocese of City of Portland
2858 E Burnside St | Portland, OR 97214

Party of Interest: Pat O'Brien | O'Brien Construction
208 NW 21st Ave., #201 | Portland, OR 97209

Site Address: 1715 NW COUCH ST

Legal Description: BLOCK 167 LOT 1-8, COUCHS ADD
Tax Account No.: R180215070
State ID No.: 1N1E33DB 05400

Quarter Section: 3028

Neighborhood: Northwest District, contact Greg Theisen at contact@northwestdistrictassociation.org

Business District: Northwest, contact at nobhillportland@gmail.com, Pearl District Business Association, contact at info@explorethepearl.com

District Coalition: Neighbors West/Northwest, contact Darlene Urban Garrett at darlene@nwnw.org

Plan District: Northwest

Other Designations: Contributing Resource in the Alphabet Historic District, listed in the National Register of Historic Places on November 16, 2000

Zoning: **RM4d** – Residential Multi-Dwelling 4 zone with Design and Historic Resource Protection overlays

Case Type: **HR** – Historic Resource Review

Procedure: **Type III**, with a public hearing before the Landmarks Commission. The decision of the Landmarks Commission can be appealed to City Council.

Proposal:

Type III Historic Resource Review for a proposal to make exterior alterations to buildings that are part of the St Mary’s Cathedral property, a contributing resource in the Alphabet Historic District historically known as the *Cathedral of the Immaculate Conception* located in the Northwest Plan District. The exterior alterations accompany a full-scale interior demolition and renovation of the existing administration buildings including seismic strengthening, new interior elevator system, new lobby and stairway, mechanical, electrical, and plumbing (MEP) systems upgrades, and accessibility improvements.

The project will involve replacing a connecting structure between the Rectory building (also referenced in plans as “north building”) and the Archbishop’s Residence and Parish Center building (which will become the Parish Center and Archdiocese of Portland Building and is also referenced in the plans as “south building”). The new connector will be metal plate and glass with an aluminum skylight system and will be recessed between the two buildings. A portion of the south building’s eaves will be cut into and removed, and some clay tile roofing material will have been removed from both the south and north buildings to accommodate the connector’s roof.

The project also includes:

- Archbishop’s Residence and Parish Center building (south admin building)
 - East Elevation - NW 17th Ave frontage
 - New aluminum-clad wood full-lite entry door in the existing opening at the north end of the east elevation including new security camera above door and new wall sconce lighting fixtures on either side.
 - Infill at the garage opening located at the south end of the east elevation with two sets of new double-hung aluminum-clad wood windows above a pre-cast concrete base.
 - Existing gas meter relocated into the recess of the South Building.
 - New metal gate and fencing to secure the recessed area in front of the new connecting structure.
 - Removal of existing non-original chimney.
 - West Elevation – Interior courtyard frontage
 - New cast-in-place concrete exterior stair providing a courtyard entry to a lower-level community space which will have a new double-door storefront entry.

- Two new wood single-hung windows on first floor beneath arcade to match existing windows, and demo two doors below new windows and infill with small wood fixed windows to match existing basement windows as well as salvaged brick masonry.
 - New guardrail with ornamental malleable iron spindles and stanchions at new stairs.
 - New mechanical units at recessed niche on west side of the South Building.
 - Replacement LED semi-flush mount ceiling light fixtures at arcades.
 - New security camera above door at south end of building.
 - South Elevation – NW Couch frontage
 - Replacement LED flush mount ceiling light fixtures at entry.
 - Two new surface-mounted security cameras at top of building below roof line.
- Rectory building (north admin building)
 - East Elevation - NW 17th Ave frontage
 - New carriage-style sectional overhead garage door replacing residential-style garage door within same rough opening at the east side of the Rectory building with new wall sconce lighting fixtures on either side.
 - West Elevation – Interior courtyard frontage
 - Reduce height and laterally reinforce existing chimney.
 - New aluminum-clad wood door in the existing opening including new security camera adjacent to top of door.
 - North Elevation – NW Davis frontage
 - Two new surface-mounted security cameras at top of building below roof line.

The Archbishop's Residence and Parish Center building was the first building on the site, built in 1914 as the Parish House and School building. The Rectory building was constructed in 1925 along with the main Cathedral building. The existing connecting structure to be demolished was built circa 1965.

Historic resource review is required because the proposal is for non-exempt exterior alterations on a resource in the Alphet Historic District.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the criteria of Title 33, Portland Zoning Code. The relevant criteria are:

- Community Design Guidelines
- Alphet Historic District Community Design Guidelines Addendum

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. This application was submitted on July 28, 2023 and determined to be complete on date.

Decision Making Process

The Bureau of Development Services will be making a recommendation on this proposal; our report and recommendation will be available 10 days before the hearing. The Staff report will be posted on the Bureau of Development Services website at

<http://www.portlandoregon.gov/bds/35625> . Land use review notices are listed on the website by the District Coalition in which the site is located; the District Coalition for this site is identified at the beginning of this notice. The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the City's website at <http://www.portlandoregon.gov>.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be extended at the request of the applicant.

APPEAL PROCESS

You can appeal the Landmarks Commission decision to City Council. However, the appeal to City Council will be conducted as an on-the-record review of the Landmarks Commission decision. The City Council will consider legal arguments (for example arguments pointing out ways the Landmarks Commission decision improperly interprets or applies relevant approval criteria). The City Council will also consider arguments that the Landmarks Commission findings are not supported by the evidence submitted to the Landmarks Commission. However, the City Council will not accept or consider new evidence that was not submitted to the Landmarks Commission.

A fee is charged for appeals. Recognized neighborhood associations may qualify for an appeal fee waiver. City Council's decision may be appealed to the Oregon Land Use Board of Appeals (LUBA).

Failure to raise an issue, in person or by letter, by the close of the record by the Landmarks Commission in this case may preclude an appeal to LUBA on that issue. Also, if you do not provide enough detailed information to the Landmarks Commission, they may not be able to respond to the issue you are trying to raise. In such a situation, an appeal to LUBA on that issue may not be allowed.

Thank you for any information you can provide to help us make this decision. Please call me if you have any questions. My name and number are on the first page of this notice.

HEARING CANCELLATION

This public hearing will be cancelled due the inclement weather or other similar emergency.

- Hearings Officer: This public hearing will be cancelled if the City of Portland is closed. Check local television or the City of Portland website (www.portlandoregon.gov) for closures. Contact the Hearings Office at 503-823-7307, for immediate information regarding cancellations or rescheduling.
- Design Commission, Historic Landmarks Commission or Adjustment Committee: This public hearing will be cancelled if Portland Public Schools close due to inclement weather or other similar emergency. Check local television and radio reports for school closures. Please call the Bureau of Development Services at 503-823-7617, for information regarding cancellations or rescheduling.

The hearing will be rescheduled for the earliest possible date. A renotification notice will not be sent.

To attend the hearing, public transportation is available. Tri-Met buses stop near the BDS building at SW Fifth or Sixth Ave. at SW Hall St. and SW Harrison St. Call Tri-Met at 503-238-7433 (or www.trimet.org) for routes and times. Hourly rated public parking is available a half block south of the building on Fourth Ave.

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to

the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).

Enclosures: Instructions for Observing or Testifying at the Portland Design Commission, Historic Landmarks Commission, or Adjustment Committee Webinar Hearings, Zoning Map; Site Plan; Proposed East Elevation; Proposed West Elevation

Observing or Testifying at the Portland Design Commission, Historic Landmarks Commission, or Adjustment Committee Webinar Hearings

Thank you for your interest in attending a land use public hearing. All hearings are currently held virtually, via Zoom. The information below will help you get connected.

***If you do not have access to the internet from a home computer or mobile phone, please see the end of this document for instructions on how to participate from a City building at 1900 SW 4th Avenue in downtown Portland.

Preparing for the Hearing:

1. To access the Zoom Webinar, please go to the online hearing Agenda, and click the link under the hearing date you are interested in participating: <https://www.portlandoregon.gov/bds/42441>
2. In advance of the hearing, please review documents and drawings in the project link within the Online Agenda.
 - Please also provide comments to the planner assigned in advance of the hearing.

Getting into the Hearing [Registering in Zoom to observe or participate in Hearing]:

1. In order to observe or testify in the hearing, please be sure to Register for the Webinar as soon as possible.
 - The Webinar Link is posted to the Online Agenda typically one week prior to the hearing date.
2. Once you register you will receive an email notification of how to log-in or access the Webinar.
3. You can enter the Webinar no sooner than ten minutes before the start of the hearing.
4. You will be held in the Zoom waiting room until the Webinar begins. (Please note each individual agenda item has an estimated start time.)
5. If using a smartphone or tablet, download the Zoom app for easy entry into the Webinar.

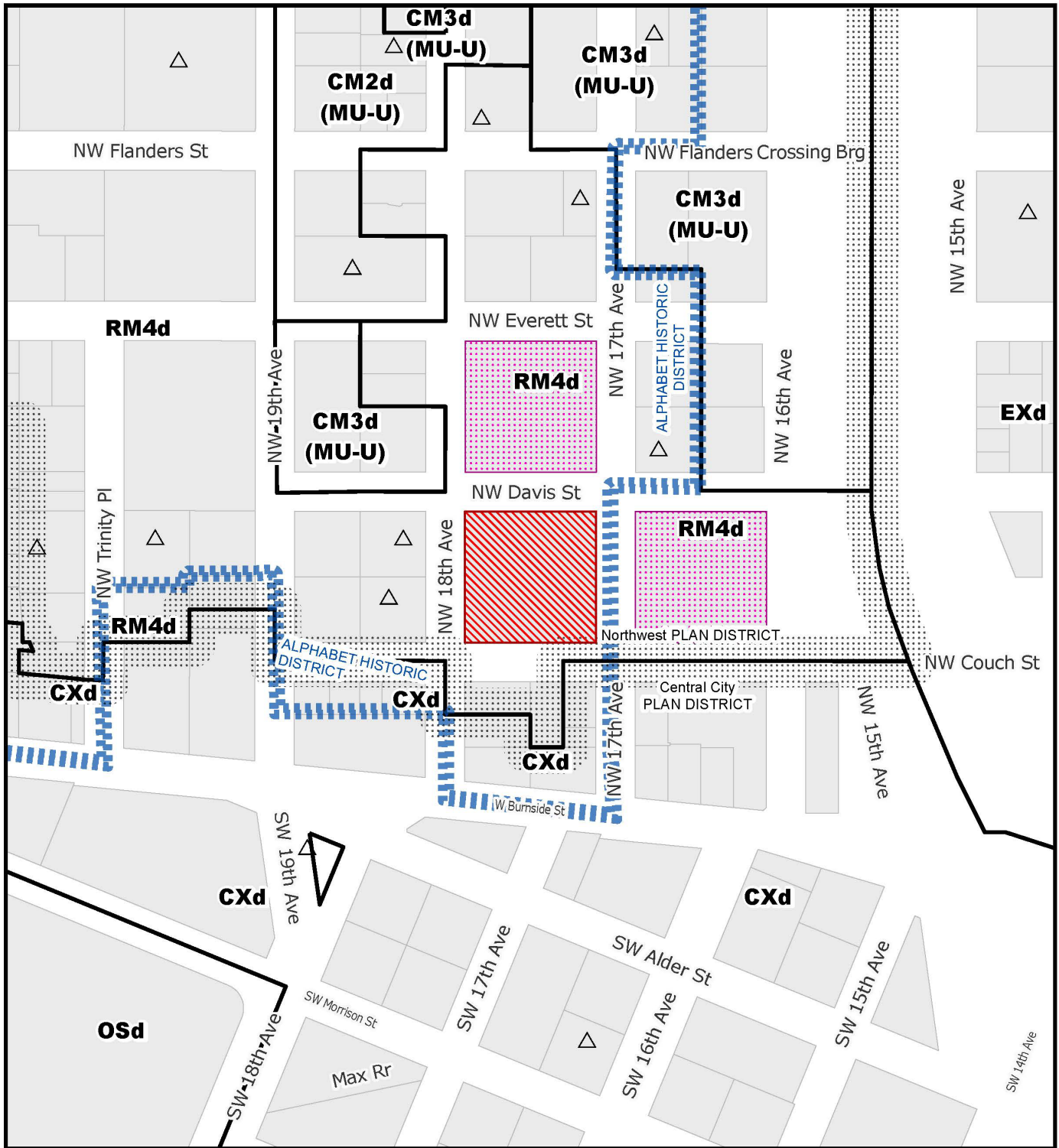
Public participation in the Hearing:

1. After Staff and Applicant presentations, the Chair will announce public testimony is open, and will ask if anyone else would like to testify.
2. You can provide public comment in this Webinar in several ways:
 - If during registration you indicated you would like to testify, we will put your name in order of request. Once in the hearing, testifiers will be renamed "Testifier 1 – (Your Name)"
 - Members of the public will be automatically muted except for when they are called by the Hearings Clerk for their public comment. During the Webinar, the Hearings Clerk will promote participants to "Panelists" in the order of Webinar Registrations received. When it is your turn to provide testimony, please accept the Clerk's invitation to be promoted to Panelist.
 - If you indicated in your registration that you did not want to testify but later changed your mind, when testimony is open:
 - Click the "raise your hand" function in ZOOM, and the Hearings Clerk will add you to the list of testifiers.
 - If you will be participating by call-in, raise your hand by pressing *9 - the Webinar host will see this notification.
 - When you are moved to Panelist position for your testimony, your name will be announced by the Chair or Hearings Clerk. Please be prepared to provide testimony.
 - Each testifier is allotted 2 minutes of testimony unless the Chair grants additional time.
 - Please manage your time when testifying. As a courtesy to other testifiers and our volunteer Commissions, please do not attempt to exceed the allotted amount of time.
3. We will enable screen sharing of presentations only for Design and Landmarks Commission members, project teams, and staff participating in the Webinar.
4. Testifiers who engage in inappropriate behavior or language will be promptly removed from the hearing.

Follow-up:

1. The Webinar will be recorded and uploaded to the City of Portland Auditors website, under the Case File Number, here: <https://efiles.portlandoregon.gov/Search>.

If you do not have access to the internet from a home computer or mobile phone, we can provide accommodations for you to view a live video display of the hearing from 1900 SW 4th Avenue in downtown Portland. This option for participation requires you to travel to a City building where we will provide a computer for viewing the hearing. City staff will not be present at this viewing location. If you require such accommodation, please contact the BDS Hearings Clerk at 503-865-6525 before 8 AM on the day of the hearing.



For Zoning Code in Effect Post October 1, 2022

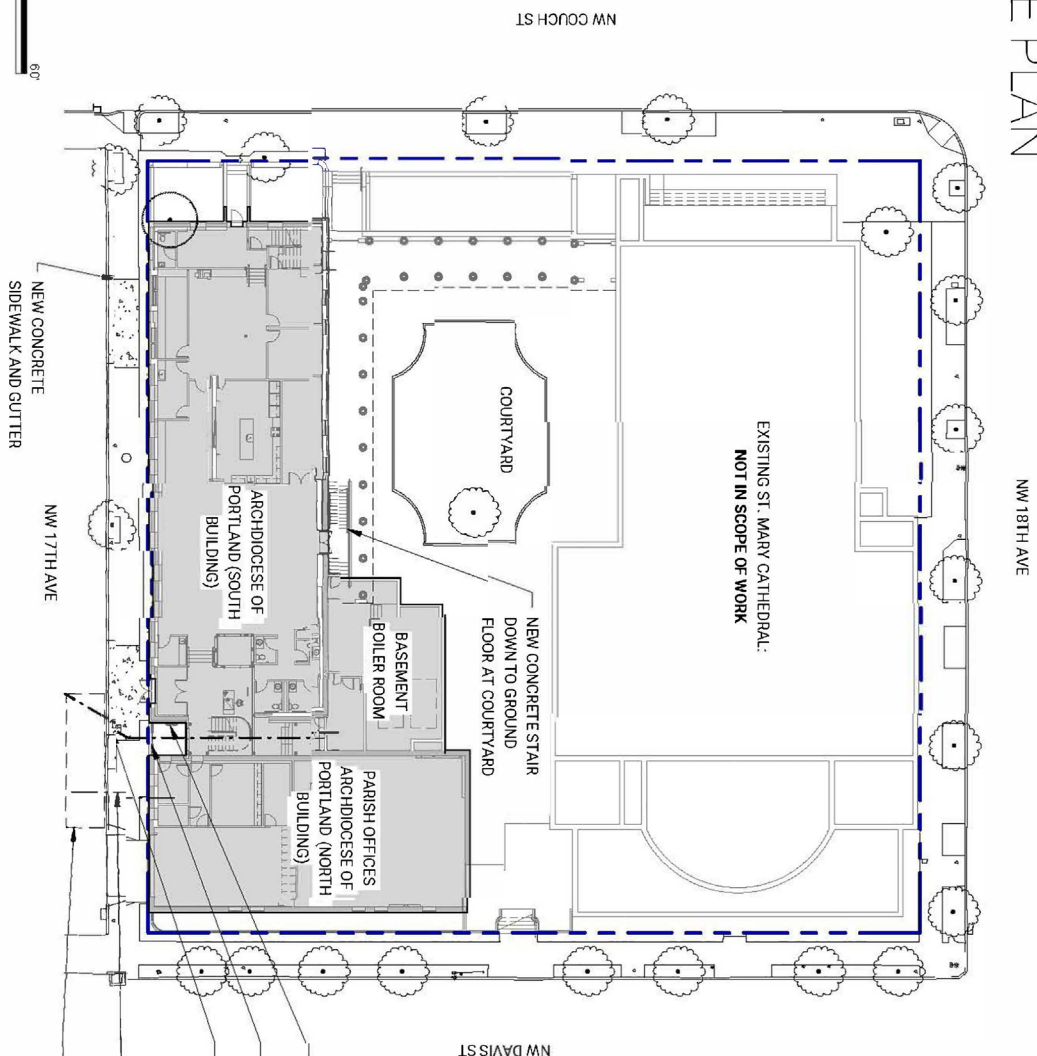
ZONING 
 THIS SITE LIES WITHIN THE:
 NORTHWEST PLAN DISTRICT
 ALPHABET HISTORIC DISTRICT

-  Site
-  Also Owned Parcels
-  Plan District
-  Historic District
-  Historic Landmark

File No.	<u>LU 23 - 068457 HR</u>
1/4 Section	<u>3028</u>
Scale	<u>1 inch = 200 feet</u>
State ID	<u>1N1E33DB 5400</u>
Exhibit	<u>B Jul 26, 2023</u>

PROPOSED SITE PLAN

C8



Scale: 1" = 30'-0"



LRS ARCHITECTS 221084 | ARCHDIOCESE PASTORAL CENTER OFFICES | ARCHITECTS 07.26.2023

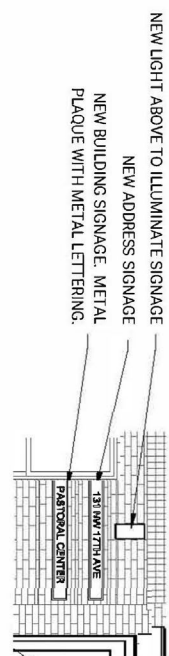
NOT FOR CONSTRUCTION

LU 23-068457 HR



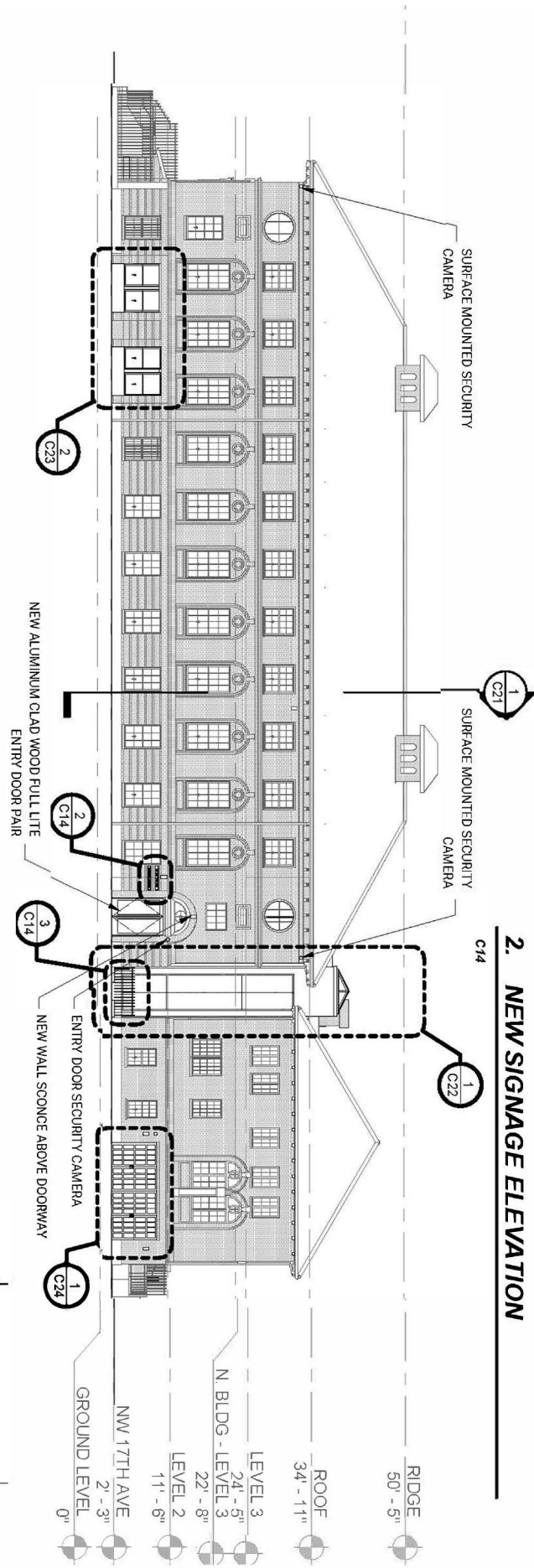
PROPOSED ELEVATION - EAST

C14



2. NEW SIGNAGE ELEVATION

C14



Scale: As Indicated

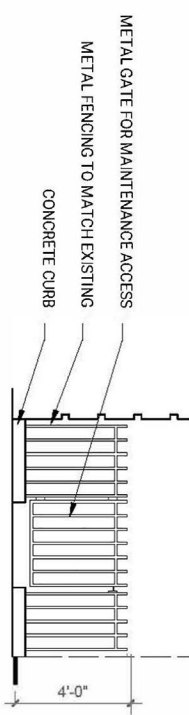


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07.26.2023

NOT FOR CONSTRUCTION

3. FENCE & GATE ELEVATION

C14

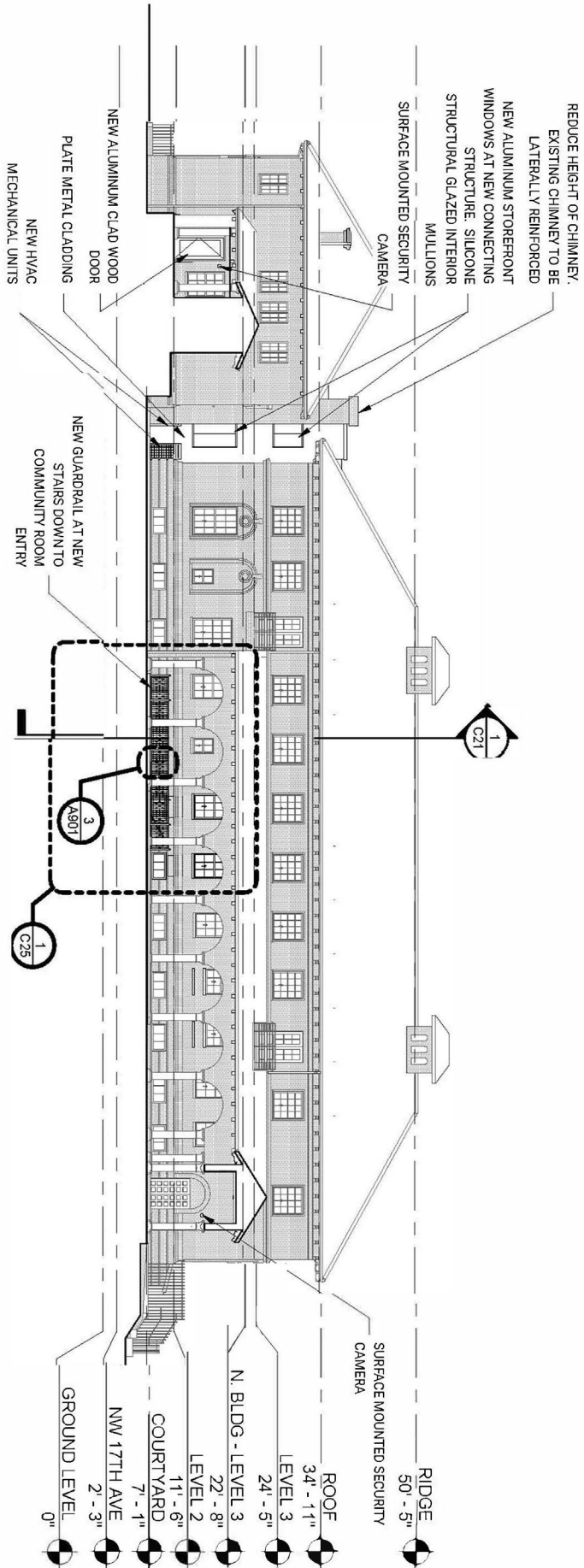


LU 23-068457 HR



PROPOSED ELEVATION - WEST

C18



Scale: 1/16" = 1'-0"



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NOT FOR CONSTRUCTION

ARCHDIOCESE OF PORTLAND DESIGN LU 23-068457 HR

	A	B	C	D	E	F
1	ENDORSEMENT	INFO1	INFO2	NAME	ADDRESS/IO ADDRESS	CITYSTATEZIP/ADDRESS
2	RETURN SERVICE REQUESTED	1N1E33DA 60000	EMPRESS CONDOMINIUMS	OWNERS' ASSOCIATION	537 SE ASH ST	PORTLAND OR 97214
3	RETURN SERVICE REQUESTED		1N1E33DA 60001	SKYFALL INVESTMENTS LLC	2029 VERDUGO BLVD #140	MONTROSE CA 91020
4	RETURN SERVICE REQUESTED		1N1E33DA 60002	MCDANIEL HARPER	5054 DE MILO DR	HOUSTON TX 77092-4212
5	RETURN SERVICE REQUESTED	1N1E33DA 60003	HAUSE JOHNSEN SABRINA J &	JOHNSEN JOHN J	10828 SW 65TH AVE	PORTLAND OR 97219
6	RETURN SERVICE REQUESTED		1N1E33DA 60004	POWELL LORNA D	20 NW 16TH AVE #4	PORTLAND OR 97209-2623
7	RETURN SERVICE REQUESTED		1N1E33DA 60005	KASHI BREWING LLC	5120 STATE HWY 6	RIESEL TX 76682
8	RETURN SERVICE REQUESTED		1N1E33DA 60006	GONGORA GILMER	20 NW 16TH AVE #6	PORTLAND OR 97209
9	RETURN SERVICE REQUESTED		1N1E33DA 60007	ROGERS MICHAEL & ROGERS VALERIE	648 NW 16TH ST	MCMINNVILLE OR 97128
10	RETURN SERVICE REQUESTED		1N1E33DA 60008	LYNCH IAN M & VARGAS EMILY A	9433 N RICHMOND AVE	PORTLAND OR 97203
11	RETURN SERVICE REQUESTED		1N1E33DA 60009	SUNJOY REALTY LLC	715 SW MORRISON ST	PORTLAND OR 97205
12	RETURN SERVICE REQUESTED		1N1E33DA 60012	PLUMMER GREGORY & FUJIWARA CRAIG	2024 SW HOWARDS WAY #503	PORTLAND OR 97201
13	RETURN SERVICE REQUESTED		1N1E33DA 60013	HANKS MARC R	20 NW 16TH AVE #102	PORTLAND OR 97209
14	RETURN SERVICE REQUESTED		1N1E33DA 60014	HARTMAN MARCUS	20 NW 16TH AVE #103	PORTLAND OR 97209
15	RETURN SERVICE REQUESTED		1N1E33DA 60015	ALBRIGHT CHAD A	5723 SE LEXINGTON ST	PORTLAND OR 97206-8101
16	RETURN SERVICE REQUESTED		1N1E33DA 60016	LUCHT LAURA & LUCHT DANIEL	20 NW 16TH AVE #105	PORTLAND OR 97209
17	RETURN SERVICE REQUESTED		1N1E33DA 60017	JAGIELSKI KEITH R	20 NW 16TH AVE #106	PORTLAND OR 97209
18	RETURN SERVICE REQUESTED		1N1E33DA 60018	HOVERKAMP SABRINA & BRANDON	18 SUNSET AVE #2	VENICE CA 90291-2542
19	RETURN SERVICE REQUESTED		1N1E33DA 60019	WU MING-FU	5036 SE 60TH AVE UPPER STUDIO	PORTLAND OR 97206
20	RETURN SERVICE REQUESTED		1N1E33DA 60020	VANBENTZ LLC	20455 NW PHILLIPS RD	HILLSBORO OR 97124
21	RETURN SERVICE REQUESTED		1N1E33DA 60021	KENT ELIZABETH	3578 SE BROOKLYN ST	PORTLAND OR 97202
22	RETURN SERVICE REQUESTED		1N1E33DA 60025	ALTMAN AMY	20 NW 16TH AVE #114	PORTLAND OR 97209
23	RETURN SERVICE REQUESTED		1N1E33DA 60026	HAMILTON JOSHUA & HAMILTON JENNIFER	1308 SILVER ST	SUNNER WA 98390-1700
24	RETURN SERVICE REQUESTED		1N1E33DA 60027	SOUTHERN KEVIN & LUTTRELL JOE	9160 SW 182ND AVE	BEAVERTON OR 97007
25	RETURN SERVICE REQUESTED		1N1E33DA 60028	SZOT THOMAS J & PATTYN ERIN M	4546 SW PLUM ST	PORTLAND OR 97219-5279
26	RETURN SERVICE REQUESTED		1N1E33DA 60029	PREISER NICHOLAS G	5824 SW TEXAS ST	PORTLAND OR 97219
27	RETURN SERVICE REQUESTED	1N1E33DA 60030	ANDREWS MARGARET ELIZABETH &	STRIPINIS CHRISTOPHER MICHAEL	3213 SW ROXBURY ST	SEATTLE WA 98126
28	RETURN SERVICE REQUESTED		1N1E33DA 60031	MCINTIRE JACQUENETTE	20 NW 16TH AVE #203	PORTLAND OR 97209
29	RETURN SERVICE REQUESTED		1N1E33DA 60032	MILLER SCOTT R & MILLER TASHA J	PO BOX 61426	VANCOUVER WA 98666
30	RETURN SERVICE REQUESTED		1N1E33DA 60033	ASHORI MOHAMMAD	20 NW 16TH AVE #205	PORTLAND OR 97209
31	RETURN SERVICE REQUESTED		1N1E33DA 60034	VICTORIOUS PROPERTIES LLC	7870 SE 13TH AVE #210	PORTLAND OR 97202
32	RETURN SERVICE REQUESTED		1N1E33DA 60035	BUCKET LIST PROPERTY LLC	20 NW 16TH AVE #207	PORTLAND OR 97209
33	RETURN SERVICE REQUESTED		1N1E33DA 60036	STEWART CAITLIN M & STEWART JACK	20 NW 16TH AVE #208	PORTLAND OR 97209
34	RETURN SERVICE REQUESTED		1N1E33DA 60037	CAVANAGH TERENCE	20 NW 16TH AVE #209	PORTLAND OR 97209
35	RETURN SERVICE REQUESTED		1N1E33DA 60038	OLSON SETH & OLSON NICOLE	2522 SE 74TH AVE	PORTLAND OR 97206-1151
36	RETURN SERVICE REQUESTED		1N1E33DA 60039	WALLACH JEROME & WALLACH LILAH	3441 NE OREGON ST	PORTLAND OR 97232
37	RETURN SERVICE REQUESTED		1N1E33DA 60040	DENTON KENNETH & DENTON CATHERINE	66876 ROBIN RD	NORTH BEND OR 97459-8411
38	RETURN SERVICE REQUESTED		1N1E33DA 60042	GLADSTEIN MARIE C	1220 E ENCANTADA PL	PHOENIX AZ 85014-1337
39	RETURN SERVICE REQUESTED		1N1E33DA 60043	CURRY LAURA E	20 NW 16TH AVE #215	PORTLAND OR 97209
40	RETURN SERVICE REQUESTED		1N1E33DA 60044	MOODY MICHAEL	489 E BOTTLE BAY RD	SAGLE ID 83860
41	RETURN SERVICE REQUESTED	1N1E33DA 60045	PHILIP R LIND &	PAMELA J BARLOW LIND SURVIVORS TR	411 SE SCENIC LOOP	NEWPORT OR 97365-4034
42	RETURN SERVICE REQUESTED		1N1E33DA 60046	FRETZ JORDAN	PO BOX 2370	PORTLAND OR 97208-2370
43	RETURN SERVICE REQUESTED		1N1E33DA 60047	PEARSON DONALD	1200 NW MARSHALL ST #804	PORTLAND OR 97209
44	RETURN SERVICE REQUESTED		1N1E33DA 60048	WINTERS-SARGEANT ANNEKA	430 SW 13TH AVE #1105	PORTLAND OR 97205
45	RETURN SERVICE REQUESTED		1N1E33DA 60049	MURPHY MARY	20 NW 16TH AVE #304	PORTLAND OR 97209
46	RETURN SERVICE REQUESTED		1N1E33DA 60050	HILSKY JOHN	20 NW 16TH AVE #305	PORTLAND OR 97209-2636
47	RETURN SERVICE REQUESTED		1N1E33DA 60051	BALL KATHRYN J	20 NW 16TH AVE #306	PORTLAND OR 97209
48	RETURN SERVICE REQUESTED		1N1E33DA 60052	FERGUSON RANDALL J	2401 NE 191ST AVE	VANCOUVER WA 98684-1817
49	RETURN SERVICE REQUESTED	1N1E33DA 60053	WILLIAMS THEOPOLIS &	TAYLOR-WILLIAMS DIANA	13800 NW 56TH AVE	VANCOUVER WA 98685-1455
50	RETURN SERVICE REQUESTED		1N1E33DA 60054	LOPEZ DANIELA T	20 NW 16TH AVE #309	PORTLAND OR 97209
51	RETURN SERVICE REQUESTED		1N1E33DA 60055	CAVANAGH TERENCE	8854 SE 9TH AVE	PORTLAND OR 97202
52	RETURN SERVICE REQUESTED		1N1E33DA 60056	DELUPIA MOIRA A	22067 CAROLINE DR	CUPERTINO CA 95014
53	RETURN SERVICE REQUESTED	1N1E33DA 60057	MILANI-BALADI MAHNAZ &	MILANI-BALADI MARYAM	10687 SE RIDGEWAY DR	HAPPY VALLEY OR 97086
54	RETURN SERVICE REQUESTED		1N1E33DA 60059	DURAN FRANK & DURAN ALEXANDRIA	20 NW 16TH AVE #314	PORTLAND OR 97209
55	RETURN SERVICE REQUESTED		1N1E33DA 60060	LEHIGH MICHAEL	20 NW 16TH AVE #315	PORTLAND OR 97209-2639
56	RETURN SERVICE REQUESTED		1N1E33DA 60061	PALAT DAVID V	20 NW 16TH AVE #316	PORTLAND OR 97209
57	RETURN SERVICE REQUESTED		1N1E33DA 60062	ACEVEDO JAIME	20 NW 16TH AVE #317	PORTLAND OR 97209-2639
58	RETURN SERVICE REQUESTED		1N1E33DA 60064	GUYNES SETH G	17717 SE RIVER RD	PORTLAND OR 97267-5814
59	RETURN SERVICE REQUESTED		1N1E33DA 60066	401 (B)URNSIDE LLC	23 NE HOLLAND ST	PORTLAND OR 97211
60	RETURN SERVICE REQUESTED		1N1E33DA 60067	SEPPALAINEN MECAL J	2445 NE 42ND AVE	PORTLAND OR 97213
61	RETURN SERVICE REQUESTED		1N1E33DA 60069	WHITE JILL	20 NW 16TH AVE #407	PORTLAND OR 97209
62	RETURN SERVICE REQUESTED		1N1E33DA 60070	BEALL FRANK A	318 AVENIDA DEL MAR #B	SAN CLEMENTE CA 92672
63	RETURN SERVICE REQUESTED		1N1E33DA 60071	CAVALLERO ROBERT PIERCE	828 NE SUMNER ST	PORTLAND OR 97211
64	RETURN SERVICE REQUESTED		1N1E33DA 60072	CORDERO RO-EL R	20 NW 16TH AVE S-1	PORTLAND OR 97209
65	RETURN SERVICE REQUESTED		1N1E33DA 60073	CANFIELD LEPE REVOCABLE TRUST	1819 SW 5TH AVE PMB 321	PORTLAND OR 97201-5277
66	RETURN SERVICE REQUESTED		1N1E33DA 60074	CORBEAU TAMARA	20 NW 16TH AVE #412	PORTLAND OR 97209
67	RETURN SERVICE REQUESTED		1N1E33DA 60076	BRAESTRUP PAUL	20 NW 16TH AVE #414	PORTLAND OR 97209
68	RETURN SERVICE REQUESTED		1N1E33DA 60078	MAHAN WESLEY L & MAHAN JANE E	20 NW 16TH AVE #416	PORTLAND OR 97209
69	RETURN SERVICE REQUESTED		1N1E33DA 60079	THORNE ELIZABETH J	20 NW 16TH AVE #417	PORTLAND OR 97209
70	RETURN SERVICE REQUESTED		1N1E33DA 60110	EMPRESS DEVELOPMENT CORP	537 SE ASH ST	PORTLAND OR 97214-1158
71	RETURN SERVICE REQUESTED		1N1E33DA 60127	EMPRESS COMMERCIAL LLC	7213 S VIRGINIA AVE	PORTLAND OR 97219
72	RETURN SERVICE REQUESTED		1N1E33DB 2800	NW NEIGHBORHOOD CULTURAL CENTER	PO BOX 96116	PORTLAND OR 97296
73	RETURN SERVICE REQUESTED		1N1E33DB 2800	NW CHILDRENS THEATER AND SCHOOL	1819 NW EVERETT ST	PORTLAND OR 97209

	A	B	C	D	E	F
74	RETURN SERVICE REQUESTED		1N1E33DB 3200	V DOROTHEA LLC & ISHIPORT 7B LLC	PO BOX 597006	SAN FRANCISCO CA 94159
75	RETURN SERVICE REQUESTED		1N1E33DB 3500	1740 BUILDING LLC	354 27TH ST	SAN FRANCISCO CA 94131
76	RETURN SERVICE REQUESTED	1N1E33DB 3700		CHOWN EAST LLC	333 NW 16TH AVE	PORTLAND OR 97209-2609
77	RETURN SERVICE REQUESTED	1N1E33DB 3800		CHOWN INC	CHOWN EAST LLC	PORTLAND OR 97208-2888
78	RETURN SERVICE REQUESTED	1N1E33DB 40000		MEDITERRANEAN ARMS CONDOMINIUMS	OWNERS ASSOCIATION	PORTLAND OR 97220
79	RETURN SERVICE REQUESTED		1N1E33DB 40001	ROTBERGS SEAN P	1714 NW COUCH ST #1	PORTLAND OR 97209
80	RETURN SERVICE REQUESTED		1N1E33DB 40002	CATES PATRICIA L	1714 NW COUCH ST #2	PORTLAND OR 97209-2140
81	RETURN SERVICE REQUESTED		1N1E33DB 40003	MASON ROY J III	1714 NW COUCH ST #3	PORTLAND OR 97209
82	RETURN SERVICE REQUESTED		1N1E33DB 40004	CONDOMINIUMS NORTHWEST LLC	12469 SW LESSER RD	PORTLAND OR 97219-7068
83	RETURN SERVICE REQUESTED		1N1E33DB 40005	MARGHEIM MICHAEL	1714 NW COUCH ST #5	PORTLAND OR 97209
84	RETURN SERVICE REQUESTED	1N1E33DB 40006		LARSON ROBERT C TR &	LARSON LOYDETTA J TR	PORTLAND OR 97212-2767
85	RETURN SERVICE REQUESTED		1N1E33DB 40007	SEAMER CORY A	1714 NW COUCH ST #7	PORTLAND OR 97209
86	RETURN SERVICE REQUESTED		1N1E33DB 40008	ZHANG DONG & MA HONGLI	1714 NW COUCH ST #8	PORTLAND OR 97209
87	RETURN SERVICE REQUESTED		1N1E33DB 40009	PEARL JULIE M	1714 NW COUCH ST #9	PORTLAND OR 97209-2140
88	RETURN SERVICE REQUESTED		1N1E33DB 40011	DURKAY LAURA	1714 NW COUCH ST #11	PORTLAND OR 97209
89	RETURN SERVICE REQUESTED		1N1E33DB 40014	HACKBART CORINNE	PO BOX 6947	SAN DIEGO CA 92166
90	RETURN SERVICE REQUESTED		1N1E33DB 40015	HUBER AUDREY M & GARSHA ELIJAH	6926 SE CRYSTAL SPRINGS BLVD	PORTLAND OR 97206
91	RETURN SERVICE REQUESTED		1N1E33DB 40016	CARLOS MICHAEL & FORMISANO ROSARIA	27280 SW BEAVER CREEK RD	SHERIDAN OR 97378-9761
92	RETURN SERVICE REQUESTED		1N1E33DB 40017	KHASIDIS AGUENIDINE	2704 HICKORY ST	PORTSMOUTH VA 23707-4228
93	RETURN SERVICE REQUESTED		1N1E33DB 40018	MCCORMICK KEVIN	15127 NE 24TH ST #523	REDMOND WA 98052
94	RETURN SERVICE REQUESTED		1N1E33DB 40020	BOUGUETTAYA KADDOUR & CARI	PO BOX 15159	PORTLAND OR 97293
95	RETURN SERVICE REQUESTED		1N1E33DB 40021	TYSOE JOSEPH	1714 NW COUCH ST #21	PORTLAND OR 97209-2140
96	RETURN SERVICE REQUESTED		1N1E33DB 40022	ROSE NICOLE	1714 NW COUCH ST #22	PORTLAND OR 97209
97	RETURN SERVICE REQUESTED		1N1E33DB 4100	REDWOOD PDX LLC	PO BOX 96068	PORTLAND OR 97296
98	RETURN SERVICE REQUESTED		1N1E33DB 4200	38 LLC	7831 SE LAKE RD #200	PORTLAND OR 97267
99	RETURN SERVICE REQUESTED		1N1E33DB 4300	FOREST PARK CONSERVANCY	210 NW 17TH AVE #201	PORTLAND OR 97209
100	RETURN SERVICE REQUESTED		1N1E33DB 4300	NS HOLDINGS LLC	1926 W BURNSIDE ST #901	PORTLAND OR 97209-2075
101	RETURN SERVICE REQUESTED		1N1E33DB 4300	SANTE' WELLNESS LLC	210 NW 17TH AVE #100	PORTLAND OR 97209
102	RETURN SERVICE REQUESTED		1N1E33DB 4400	DON TANKERSLEY CONSTRUCTION LTD	1628 NW EVERETT ST #1	PORTLAND OR 97209-2154
103	RETURN SERVICE REQUESTED		1N1E33DB 4400	HENRYS HOUSE LLC	1628 NW EVERETT ST #1	PORTLAND OR 97209
104	RETURN SERVICE REQUESTED	1N1E33DB 4500		BEAMS RISE 1 LP	C/O LARSON GROSS ATTN KEVIN STICKEL	BELLINGHAM WA 98226
105	RETURN SERVICE REQUESTED	1N1E33DB 4800		TRINITY EPISCOPAL CATHEDRAL	PORTLAND OREGON	PORTLAND OR 97209-1901
106	RETURN SERVICE REQUESTED		1N1E33DB 4900	DOUGHERTY DENTAL PC	1809 NW DAVIS ST	PORTLAND OR 97209
107	RETURN SERVICE REQUESTED		1N1E33DB 4900	1809 NW PROPERTIES LLC	1809 NW DAVIS ST	PORTLAND OR 97209-2121
108	RETURN SERVICE REQUESTED		1N1E33DB 5000	MC CHELSEA COURT LLC	601 UNION ST #5300	SEATTLE WA 98101
109	RETURN SERVICE REQUESTED		1N1E33DB 50000	TUDOR ARMS CONDO OWNERS ASSN	PO BOX 4585	TUALATIN OR 97062-4585
110	RETURN SERVICE REQUESTED		1N1E33DB 50001	BEH DAVID E & BEH MELISSA M	1811 NW COUCH ST #101	PORTLAND OR 97209
111	RETURN SERVICE REQUESTED		1N1E33DB 50002	LUSK MELANIE	610 SPRINGTREE LN	WEST LINN OR 97068
112	RETURN SERVICE REQUESTED		1N1E33DB 50003	BLACKWELL-KOPOTIC DONNA	2771 COLLEGE HILL CT	DAYTON OH 45431-8503
113	RETURN SERVICE REQUESTED		1N1E33DB 50004	JENERIK SCOT & YOTSOV ELEONORE	2562 WISTERIA CT	WEST LINN OR 97068
114	RETURN SERVICE REQUESTED		1N1E33DB 50006	KETTLEY MARTIN	1811 NW COUCH ST #106	PORTLAND OR 97209
115	RETURN SERVICE REQUESTED		1N1E33DB 50007	BETTERLY MARIANNE	454 BELOIT AVE	KENSINGTON CA 94708
116	RETURN SERVICE REQUESTED		1N1E33DB 50008	JOHNSON CHENARA A	1811 NW COUCH ST #202	PORTLAND OR 97209
117	RETURN SERVICE REQUESTED		1N1E33DB 50009	JEFFRIES ADAM C & ARRIETA MARIE	1811 NW COUCH ST #203	PORTLAND OR 97209
118	RETURN SERVICE REQUESTED		1N1E33DB 50010	DRUMMOND ALANNA	1811 NW COUCH ST #204	PORTLAND OR 97209
119	RETURN SERVICE REQUESTED		1N1E33DB 50011	CAMPOT ALI & LARSON JEFFREY	853 KENSINGTON RD	EL CERRITO CA 94530
120	RETURN SERVICE REQUESTED		1N1E33DB 50012	BOIVIN STEPHANIE M & BOIVIN AARON	1811 NW COUCH ST #206	PORTLAND OR 97209-2165
121	RETURN SERVICE REQUESTED		1N1E33DB 50013	MORGAN-STEINER ELI & STEINER DONALD	1811 NW COUCH ST #207	PORTLAND OR 97209-2165
122	RETURN SERVICE REQUESTED	1N1E33DB 50014		MORENO-BLACK GERALDINE &	BLACK EDWARD	PORTLAND OR 97209
123	RETURN SERVICE REQUESTED		1N1E33DB 50015	WOLD VIRGINIA	3670 NW ROOSEVELT DR	CORVALLIS OR 97330
124	RETURN SERVICE REQUESTED		1N1E33DB 50016	JOHNSON CHRISTOPHER WILLIAM	1811 NW COUCH ST #210	PORTLAND OR 97209-2165
125	RETURN SERVICE REQUESTED		1N1E33DB 50017	VAUGHT EDWARD	2420 NE 151ST AVE	PORTLAND OR 97230-4558
126	RETURN SERVICE REQUESTED		1N1E33DB 50018	WHEELER TIFFANY I	12730 SW GLACIER LILY CIR	TIGARD OR 97223
127	RETURN SERVICE REQUESTED		1N1E33DB 50019	CARRIGAN GILLIS	1811 NW COUCH ST #301	PORTLAND OR 97209-2133
128	RETURN SERVICE REQUESTED		1N1E33DB 50020	FRANEY KERRIE	1811 NW COUCH ST #302	PORTLAND OR 97209
129	RETURN SERVICE REQUESTED		1N1E33DB 50021	DORTON MEGAN	4305 SE 79TH AVE	PORTLAND OR 97206-3308
130	RETURN SERVICE REQUESTED		1N1E33DB 50022	CHAUNCY ENTERPRISES LLC	2185 WEDGEWOOD DR	ASBURY IA 52002
131	RETURN SERVICE REQUESTED		1N1E33DB 50023	PAYNE-MURPHY JESSICA	3535 NW 14TH AVE	GAINESVILLE FL 32605
132	RETURN SERVICE REQUESTED		1N1E33DB 50025	HEWITT ERIKA A	12 CLIFTON ST #2	BATH ME 04530
133	RETURN SERVICE REQUESTED		1N1E33DB 50026	JOEL L SHAPIRO TR	1811 NW COUCH ST #308	PORTLAND OR 97209-2166
134	RETURN SERVICE REQUESTED		1N1E33DB 50027	FISCHER SARAH F	1811 NW COUCH ST #309	PORTLAND OR 97209
135	RETURN SERVICE REQUESTED		1N1E33DB 50029	GONOUZ ROSE C	1811 NW COUCH ST #311	PORTLAND OR 97209
136	RETURN SERVICE REQUESTED		1N1E33DB 50030	SIEMENS JORDYN	1811 NW COUCH ST #312	PORTLAND OR 97209-2134
137	RETURN SERVICE REQUESTED		1N1E33DB 50031	DIAZ TESA R	322 N AVE 65	LOS ANGELES CA 90042-2915
138	RETURN SERVICE REQUESTED		1N1E33DB 50032	WILLIAMS DYLAN J	639 W 3RD ST	TEMPE AZ 85281
139	RETURN SERVICE REQUESTED		1N1E33DB 50033	BISHOP WHITNEY M	1811 NW COUCH ST #403	PORTLAND OR 97209
140	RETURN SERVICE REQUESTED		1N1E33DB 50034	VOJE JONATHAN	1811 NW COUCH ST #404	PORTLAND OR 97209-2167
141	RETURN SERVICE REQUESTED		1N1E33DB 50035	LEE JULIE C	580 LYNNE DR	MORRIS PLAINS NJ 07950-3336
142	RETURN SERVICE REQUESTED		1N1E33DB 50036	FLORES JARED & KRIVORUK ZINAIDA	1811 NW COUCH ST #406	PORTLAND OR 97209
143	RETURN SERVICE REQUESTED		1N1E33DB 50037	JOHNSON ALEXANDRIA B	1811 NW COUCH ST #407	PORTLAND OR 97209
144	RETURN SERVICE REQUESTED		1N1E33DB 50038	DANILOV ALEXEY V & DANILOVA OLGA V	1708 LA TAZA DR	LA CANADA CA 91011
145	RETURN SERVICE REQUESTED		1N1E33DB 50039	PONCE LESLIE K M & LOPEZ ALBERM	1811 NW COUCH ST #409	PORTLAND OR 97209
146	RETURN SERVICE REQUESTED		1N1E33DB 50040	ZHANG SINI & HUA ZHENER	9400 SW CHOPIN LN	PORTLAND OR 97225

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147	RETURN SERVICE REQUESTED		1N1E33DB 50041	KRIVORUK ZINAIDA & KRIVORUK ANATOLY	1811 NW COUCH ST #411	PORTLAND OR 97209
148	RETURN SERVICE REQUESTED		1N1E33DB 50042	GRIFFITH MARLEE M	1811 NW COUCH ST #412	PORTLAND OR 97209
149	RETURN SERVICE REQUESTED		1N1E33DB 50043	ARMSTRONG DAVID M	1811 NW COUCH ST #501	PORTLAND OR 97209-2143
150	RETURN SERVICE REQUESTED		1N1E33DB 50044	STANTON STEPHANIE & STANTON PHILIP	3971 N BORTHWICK AVE	PORTLAND OR 97227-1223
151	RETURN SERVICE REQUESTED		1N1E33DB 50045	OTWAY ANATOL	201 ARNO ST NE #402	ALBUQUERQUE NM 87102-4479
152	RETURN SERVICE REQUESTED		1N1E33DB 50046	MCCARTHY SEAN	13675 NW BRIDLE LN	PORTLAND OR 97229-3603
153	RETURN SERVICE REQUESTED		1N1E33DB 50047	BERTON FAMILY TR	1442 S SCHOONER CREEK RD	LINCOLN CITY OR 97367
154	RETURN SERVICE REQUESTED		1N1E33DB 50048	KLABEN BRIAN R	419 SILVER AVE	SAN FRANCISCO CA 94112
155	RETURN SERVICE REQUESTED		1N1E33DB 50049	HUGHES MARGARET E	1811 NW COUCH ST #507	PORTLAND OR 97209
156	RETURN SERVICE REQUESTED		1N1E33DB 50050	HUB JILL	1811 NW COUCH ST #508	PORTLAND OR 97209-2136
157	RETURN SERVICE REQUESTED		1N1E33DB 50051	ZEIGLER ALEA RIAN	1811 NW COUCH ST #509	PORTLAND OR 97209-2136
158	RETURN SERVICE REQUESTED		1N1E33DB 50052	OWEN TODD K	1811 NW COUCH ST #510	PORTLAND OR 97209-2136
159	RETURN SERVICE REQUESTED		1N1E33DB 50053	ARAKAWA HIROKO	1811 NW COUCH ST #511	PORTLAND OR 97209
160	RETURN SERVICE REQUESTED		1N1E33DB 50054	ALKIRE SETH P & ALKIRE KENDRA L	6673 ROCK CRYSTAL LN NE	KEIZER OR 97303
161	RETURN SERVICE REQUESTED		1N1E33DB 5100	ACTIVE AUTO BODY INC	1835 NW COUCH ST	PORTLAND OR 97209
162	RETURN SERVICE REQUESTED		1N1E33DB 5100	VL PROPERTY LLC	1835 NW COUCH ST	PORTLAND OR 97209
163	RETURN SERVICE REQUESTED		1N1E33DB 5500	CATHEDRAL SCHOOL	109 NW 16TH AVE	PORTLAND OR 97209
164	RETURN SERVICE REQUESTED		1N1E33DB 5500	CATHEDRAL SCHOOL	110 NW 17TH AVE	PORTLAND OR 97209
165	RETURN SERVICE REQUESTED	1N1E33DB 5600	ROMAN CATHOLIC ARCHBISHOP OF	PORTLAND IN OREGON	2838 E BURNSIDE ST	PORTLAND OR 97214-1830
166	RETURN SERVICE REQUESTED		1N1E33DB 5700	WESTSIDE AUTO DETAIL INC	18930 NW LAPINE ST	PORTLAND OR 97229
167	RETURN SERVICE REQUESTED		1N1E33DB 6000	EAN HOLDINGS LLC	20400 SW TETON AVE	TUALATIN OR 97062
168	RETURN SERVICE REQUESTED		1N1E33DB 6100	POLIZOS HARALAMPOS & DIANE	22444 S SPRINGCREEK RD	ESTACADA OR 97023
169	RETURN SERVICE REQUESTED		1N1E33DB 6100	OREGON ENTERTAINMENT CORPORATION	PO BOX 6354	PORTLAND OR 97228
170	RETURN SERVICE REQUESTED		1N1E33DB 6200	SHELTON PROPERTIES LLC	PO BOX 5545	PORTLAND OR 97228-5545
171	RETURN SERVICE REQUESTED	1N1E33DB 6600	KONSTANTINOS CORNER LLC	POLIZOS KONSTANTINOS	1731 W BURNSIDE ST	PORTLAND OR 97209
172	RETURN SERVICE REQUESTED		1N1E33DB 6700	KAP INC	1735 W BURNSIDE ST	PORTLAND OR 97209
173	RETURN SERVICE REQUESTED		1N1E33DB 6901	B&R LLC	1806 NW COUCH ST	PORTLAND OR 97209
174	RETURN SERVICE REQUESTED		1N1E33DB 6902	HOOKAH CAFE LLC	1806 NW COUCH ST	PORTLAND OR 97209-2119
175	RETURN SERVICE REQUESTED		1N1E33DB 7000	GRAY DAVID W & MILLA MICHELLE	453 S PARK AVE	ST LOUIS MO 63119
176	RETURN SERVICE REQUESTED	1N1E33DB 70000	ASSOCIATION OF UNIT OWNERS OF	GEORGE H WILLIAMS CONDO	133 NW 18TH AVE	PORTLAND OR 97209
177	RETURN SERVICE REQUESTED		1N1E33DB 70001	LEIVA DIANE M	133 NW 18TH AVE #1	PORTLAND OR 97209
178	RETURN SERVICE REQUESTED		1N1E33DB 70002	MCKINLEY-POTTS CANDACE E	133 NW 18TH AVE #2	PORTLAND OR 97209
179	RETURN SERVICE REQUESTED		1N1E33DB 70003	BEVERLY CARSON TR	133 NW 18TH AVE #3	PORTLAND OR 97209
180	RETURN SERVICE REQUESTED		1N1E33DB 70004	NORONA MARCELO & NORONA CONSTANCE	8926 NEVADA AVE	WEST HILLS CA 91304
181	RETURN SERVICE REQUESTED	1N1E33DB 70005	PAPANDREW TARA & JOHNSON DUANE &	PAPANDREW WILLA A TR	133 NW 18TH AVE #5	PORTLAND OR 97209
182	RETURN SERVICE REQUESTED		1N1E33DB 70006	STELLNER RICHARD C	133 NW 18TH AVE #6	PORTLAND OR 97209
183	RETURN SERVICE REQUESTED		1N1E33DB 70007	DOERSCHLAG MARTIN & JULIE	1318 28TH ST NW	WASHINGTON DC 20007
184	RETURN SERVICE REQUESTED		1N1E33DB 70008	KREOFSKY LAURA & LEAHY DEBORAH	133 NW 18TH AVE #8	PORTLAND OR 97209
185	RETURN SERVICE REQUESTED	1N1E33DB 70009	RUTENBERG ROBERT I TR &	BERKOWITZ KAREN A TR	133 NW 18TH AVE #9	PORTLAND OR 97209-2149
186	RETURN SERVICE REQUESTED		1N1E33DB 70010	RICHARDS MATTHEW & RICHARDS KATHRYN	133 NW 18TH AVE #10	PORTLAND OR 97209
187	RETURN SERVICE REQUESTED		1N1E33DB 7100	SALA MICHAEL J & SALA KATHLEEN M	1836 NW COUCH ST	PORTLAND OR 97209
188	RETURN SERVICE REQUESTED		1N1E33DB 7200	MC DONALD'S CORP	(036-0001)PO BOX 182571	COLUMBUS OH 43218-2571
189	RETURN SERVICE REQUESTED		1N1E33DB 7700	TRINITY EPISCOPAL CHURCH	147 NW 19TH AVE	PORTLAND OR 97209
190	RETURN SERVICE REQUESTED	1N1E33DB 80000	ASSOCIATION OF UNIT OWNERS OF	SUTTON PLACE CONDO	522 NW 23RD AVE #200	PORTLAND OR 97210
191	RETURN SERVICE REQUESTED		1N1E33DB 80001	BRANAM ARON	1810 NW EVERETT ST #101	PORTLAND OR 97209-2171
192	RETURN SERVICE REQUESTED		1N1E33DB 80002	ZEMPEL CLARE W & ZEMPEL JUDITH A	7516 N BOYD WAY	FOX POINT WI 53217
193	RETURN SERVICE REQUESTED		1N1E33DB 80003	ROME SHERILYN F	1810 NW EVERETT ST #103	PORTLAND OR 97209
194	RETURN SERVICE REQUESTED		1N1E33DB 80004	YOSHIMURA SARAH	1810 NW EVERETT ST #104	PORTLAND OR 97209
195	RETURN SERVICE REQUESTED		1N1E33DB 80005	ROONEY SARA	1810 NW EVERETT ST #201	PORTLAND OR 97209-2171
196	RETURN SERVICE REQUESTED		1N1E33DB 80006	CARTER ERIN E	1810 NW EVERETT ST #202	PORTLAND OR 97209
197	RETURN SERVICE REQUESTED		1N1E33DB 80007	SEDANO JOSE A	1810 NW EVERETT ST #203	PORTLAND OR 97209
198	RETURN SERVICE REQUESTED		1N1E33DB 80008	BERRY MICHAEL & KNAPP HALEY	1810 NW EVERETT ST #204	PORTLAND OR 97209-2171
199	RETURN SERVICE REQUESTED		1N1E33DB 80009	JOHNSON JERED & DAVIDSON VANDA P	1810 NW EVERETT ST #301	PORTLAND OR 97209
200	RETURN SERVICE REQUESTED		1N1E33DB 80010	ROCKWOOD CRAIG A	1810 NW EVERETT ST #302	PORTLAND OR 97209
201	RETURN SERVICE REQUESTED		1N1E33DB 80011	ALLEN STEPHEN W	PO BOX 10472	PORTLAND OR 97296-0472
202	RETURN SERVICE REQUESTED		1N1E33DB 80012	FOLLOCK AARON	100 FOUNTAIN ST #5B	PROVIDENCE RI 02903-1845
203	RETURN SERVICE REQUESTED		1N1E33DB 8002	CHARLES KAADY REV TR	2545 SW SPRING GARDEN ST #200	PORTLAND OR 97219
204	RETURN SERVICE REQUESTED	1N1E33DB 90000	VICTORIAN HOUSE CONDOMINIUM	UNIT OWNERS ASSOCIATION	221 NW 18TH AVE	PORTLAND OR 97209-2111
205	RETURN SERVICE REQUESTED		1N1E33DB 90001	HIRSCHFELD NEAL & PARKER JANET K	225 NW 18TH AVE	PORTLAND OR 97209-2111
206	RETURN SERVICE REQUESTED		1N1E33DB 90002	FORESMAN JENNIFER & FORESMAN AARON	227 NW 18TH AVE	PORTLAND OR 97209-2111
207	RETURN SERVICE REQUESTED		1N1E33DB 90003	LAAKSO ROBIN L	223 NW 18TH AVE	PORTLAND OR 97209
208	RETURN SERVICE REQUESTED		1N1E33DB 90004	HARPER DENNIS M	221 NW 18TH AVE	PORTLAND OR 97209-2111
209	RETURN SERVICE REQUESTED	1N1E33DB 99000	CARLTON COURT CONDOMINIUMS	OWNERS' ASSOCIATION	9450 SW GEMINI DR FMB 18251	BEAVERTON OR 97008-7105
210	RETURN SERVICE REQUESTED		1N1E33DB 99001	SCOTT CONNOR & ROZMAN ELIZABETH	21830 VOLIN FL	HIGHTON MI 49931-1061
211	RETURN SERVICE REQUESTED		1N1E33DB 99002	HILL CARISSA J	1631 NW EVERETT ST #101	PORTLAND OR 97209
212	RETURN SERVICE REQUESTED		1N1E33DB 99004	XANADU REALTY GROUP LLC	9450 SW GEMINI DR FMB 18251	BEAVERTON OR 97008-7105
213	RETURN SERVICE REQUESTED		1N1E33DB 99005	CHANG PATTY	950 BELLOMO AVE	SUNNYVALE CA 94086
214	RETURN SERVICE REQUESTED		1N1E33DB 99006	LENOIR ANDRIA	3439 NE SANDY BLVD FMB 338	PORTLAND OR 97232-1959
215	RETURN SERVICE REQUESTED		1N1E33DB 99007	NIELSEN BRYCE C	3519 NE 15TH AVE FMB 390	PORTLAND OR 97212-2356
216	RETURN SERVICE REQUESTED		1N1E33DB 99008	CHINN EMILY	333 NW BIRSDALE AVE	GRESHAM OR 97030-6459
217	RETURN SERVICE REQUESTED		1N1E33DB 99010	GRANT PAUL R & GRANT ADELINE	1124 S PLEASANT ST	LODI CA 95240
218	RETURN SERVICE REQUESTED		1N1E33DB 99011	EWEN DAVID	PO BOX 91	GOVERNMENT CAMP OR 97028
219	RETURN SERVICE REQUESTED		1N1E33DB 99012	HARVEY FRANCISCO	1631 NW EVERETT ST #203	PORTLAND OR 97209

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220	RETURN SERVICE REQUESTED		1N1E33DB 99013	YEITER PAUL A TR	34 NW 1ST AVE #100	PORTLAND OR 97209-4014
221	RETURN SERVICE REQUESTED	1N1E33DB 99014	FUENTEVILLA WILLIAM T &	AURAND MARIN E	1631 NW EVERETT ST #205	PORTLAND OR 97209
222	RETURN SERVICE REQUESTED		1N1E33DB 99015	IRICK LAUREN K	1631 NW EVERETT ST #206	PORTLAND OR 97209
223	RETURN SERVICE REQUESTED		1N1E33DB 99016	KING GUY	1631 NW EVERETT ST #207	PORTLAND OR 97209
224	RETURN SERVICE REQUESTED		1N1E33DB 99017	STEWART MICHAEL	1631 NW EVERETT ST #208	PORTLAND OR 97209
225	RETURN SERVICE REQUESTED		1N1E33DB 99018	LINDER JOHN E & LINDER JENNIFER R	836 NW WINTERGREEN DR	MCMINNVILLE OR 97128
226	RETURN SERVICE REQUESTED		1N1E33DB 99020	WINEGAR TEL	1631 NW EVERETT ST #302	PORTLAND OR 97209-2146
227	RETURN SERVICE REQUESTED		1N1E33DB 99021	COATES CRISTIAN	1631 NW EVERETT ST #303	PORTLAND OR 97209-2146
228	RETURN SERVICE REQUESTED		1N1E33DB 99022	SEDEY BARBARA J & SEDEY ALLEN F	2723 STONEBROOK DR	MEDFORD OR 97504
229	RETURN SERVICE REQUESTED		1N1E33DB 99023	JOHNSON MARC & JOHNSON WENDY	838 SE 38TH AVE #307	PORTLAND OR 97214
230	RETURN SERVICE REQUESTED		1N1E33DB 99024	DEAL JESSICA R	1631 NW EVERETT ST #306	PORTLAND OR 97209
231	RETURN SERVICE REQUESTED		1N1E33DB 99025	NAIR AAKARISH	1631 NW EVERETT ST #307	PORTLAND OR 97209-2146
232	RETURN SERVICE REQUESTED		1N1E33DB 99026	KNOLL BRUCE N	1631 NW EVERETT ST #308	PORTLAND OR 97209
233	RETURN SERVICE REQUESTED		1N1E33DB 99027	GRANT PAUL & GRANT ADELINE	1124 S PLEASANT AVE	LODI CA 95240
234	RETURN SERVICE REQUESTED		1N1E33DB 99028	CARLTON 401 LLC	105 SW 85TH AVE	PORTLAND OR 97225
235	RETURN SERVICE REQUESTED		1N1E33DB 99029	HOUNTON CINDI & HOUNTON ROGATIEEN	416 NE 131ST PL	PORTLAND OR 97230
236	RETURN SERVICE REQUESTED		1N1E33DB 99030	BOWEN DAVID	1631 NW EVERETT ST #403	PORTLAND OR 97209
237	RETURN SERVICE REQUESTED		1N1E33DB 99031	LYSTRUP BARBARA	1631 NW EVERETT ST #404	PORTLAND OR 97209-2163
238	RETURN SERVICE REQUESTED		1N1E33DB 99032	CANTOR AUDREY	1631 NW EVERETT ST #405	PORTLAND OR 97209-2163
239	RETURN SERVICE REQUESTED		1N1E33DB 99033	TIBBETTS NANCY	1631 NW EVERETT ST #406	PORTLAND OR 97209
240	RETURN SERVICE REQUESTED		1N1E33DB 99034	LOU LAN	1631 NW EVERETT ST #407	PORTLAND OR 97209
241	RETURN SERVICE REQUESTED		1N1E33DB 99035	JAZRAWI REEM	5230 CROWN ST	WEST LINN OR 97068
242	RETURN SERVICE REQUESTED		1N1E33DB 99036	ANDERSON NICHOLAS	1631 NW EVERETT ST #A	PORTLAND OR 97209
243	RETURN SERVICE REQUESTED		1N1E33DB 99037	SHTEYENBERG ALEX & BULOCHNIK NICOLE	1631 NW EVERETT ST #B	PORTLAND OR 97209
244	RETURN SERVICE REQUESTED		1N1E33DC 1000	BITECH INC	144 OLD LYSTRA RD	CHAPEL HILL NC 27517
245	RETURN SERVICE REQUESTED	1N1E33DC 1000	HARSCH INVESTMENT PROPERTIES LLC	ATTN TAX DEPARTMENT	PO BOX 2708	PORTLAND OR 97208-2708
246	RETURN SERVICE REQUESTED		1N1E33DC 1000	SCRAP	1736 SW ALDER ST	PORTLAND OR 97205
247	RETURN SERVICE REQUESTED		1N1E33DC 1100	BENTON CHARLES	1704 SW ALDER ST	PORTLAND OR 97205
248	RETURN SERVICE REQUESTED	1N1E33DC 200	ALTA BURNSIDE LLC	ATTN LAUREN GROOVER	3715 NORTHSIDE PKWY NW #4-600	ATLANTA GA 30327
249	RETURN SERVICE REQUESTED		1N1E33DC 200	COMMODORE GRILL & LOUNGE INC	4035 SE FINE ST	PORTLAND OR 97214
250	RETURN SERVICE REQUESTED		1N1E33DC 300	JANUS YOUTH PROGRAMS INC	707 NE COUCH ST	PORTLAND OR 97232
251	RETURN SERVICE REQUESTED		1N1E33DC 300	NORTHERN WAREHOUSING INC	1121 SW SALMON ST	PORTLAND OR 97205
252	RETURN SERVICE REQUESTED		1N1E33DC 300	OUTFRONT MEDIA LLC	715 NE EVERETT ST	PORTLAND OR 97232-2724
253	RETURN SERVICE REQUESTED		1N1E33DC 400	1710 W BURNSIDE LLC	1121 SW SALMON ST #300	PORTLAND OR 97205
254	RETURN SERVICE REQUESTED		1N1E33DC 400	SCHWARZ SAMMY	1710 W BURNSIDE ST	PORTLAND OR 97209
255				CURRENT RESIDENT	130 NW 19TH AVE #103	PORTLAND OR 97209
256				CURRENT RESIDENT	130 NW 19TH AVE #107	PORTLAND OR 97209
257				CURRENT RESIDENT	130 NW 19TH AVE #110	PORTLAND OR 97209
258				CURRENT RESIDENT	130 NW 19TH AVE #202	PORTLAND OR 97209
259				CURRENT RESIDENT	130 NW 19TH AVE #214	PORTLAND OR 97209
260				CURRENT RESIDENT	133 NW 18TH AVE #4	PORTLAND OR 97209
261				CURRENT RESIDENT	1607 NW DAVIS ST #18	PORTLAND OR 97209
262				CURRENT RESIDENT	1631 NW EVERETT ST #202	PORTLAND OR 97209
263				CURRENT RESIDENT	1631 NW EVERETT ST #301	PORTLAND OR 97209
264				CURRENT RESIDENT	1631 NW EVERETT ST #304	PORTLAND OR 97209
265				CURRENT RESIDENT	1631 NW EVERETT ST #401	PORTLAND OR 97209
266				CURRENT RESIDENT	1634 NW EVERETT ST #201	PORTLAND OR 97209
267				CURRENT RESIDENT	1635 SW ALDER ST	PORTLAND OR 97205
268				CURRENT RESIDENT	1637 SW ALDER ST	PORTLAND OR 97205
269				CURRENT RESIDENT	1703 W BURNSIDE ST	PORTLAND OR 97209
270				CURRENT RESIDENT	1714 NW COUCH ST #13	PORTLAND OR 97209
271				CURRENT RESIDENT	1714 NW COUCH ST #20	PORTLAND OR 97209
272				CURRENT RESIDENT	1719 W BURNSIDE ST	PORTLAND OR 97209
273				CURRENT RESIDENT	1730 NW COUCH ST #101	PORTLAND OR 97209
274				CURRENT RESIDENT	1730 NW COUCH ST #106	PORTLAND OR 97209
275				CURRENT RESIDENT	1730 NW COUCH ST #202	PORTLAND OR 97209
276				CURRENT RESIDENT	1730 NW COUCH ST #204	PORTLAND OR 97209
277				CURRENT RESIDENT	1730 NW COUCH ST #301	PORTLAND OR 97209
278				CURRENT RESIDENT	1730 NW COUCH ST #306	PORTLAND OR 97209
279				CURRENT RESIDENT	1730 NW COUCH ST #402	PORTLAND OR 97209
280				CURRENT RESIDENT	1730 NW COUCH ST #404	PORTLAND OR 97209
281				CURRENT RESIDENT	1731 NW EVERETT ST #102	PORTLAND OR 97209
282				CURRENT RESIDENT	1731 NW EVERETT ST #104	PORTLAND OR 97209
283				CURRENT RESIDENT	1731 NW EVERETT ST #106	PORTLAND OR 97209
284				CURRENT RESIDENT	1731 NW EVERETT ST #108	PORTLAND OR 97209
285				CURRENT RESIDENT	1731 NW EVERETT ST #202	PORTLAND OR 97209
286				CURRENT RESIDENT	1731 NW EVERETT ST #204	PORTLAND OR 97209
287				CURRENT RESIDENT	1731 NW EVERETT ST #205	PORTLAND OR 97209
288				CURRENT RESIDENT	1731 NW EVERETT ST #207	PORTLAND OR 97209
289				CURRENT RESIDENT	1731 NW EVERETT ST #210	PORTLAND OR 97209
290				CURRENT RESIDENT	1731 NW EVERETT ST #B	PORTLAND OR 97209
291				CURRENT RESIDENT	1811 NW COUCH ST #303	PORTLAND OR 97209
292				CURRENT RESIDENT	1811 NW COUCH ST #410	PORTLAND OR 97209

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293				CURRENT RESIDENT	1811 NW COUCH ST #512	PORTLAND OR 97209
294				CURRENT RESIDENT	1819 NW EVERETT ST #101	PORTLAND OR 97209
295				CURRENT RESIDENT	1909 W BURNSIDE ST	PORTLAND OR 97209
296				CURRENT RESIDENT	20 NW 16TH AVE #107	PORTLAND OR 97209
297				CURRENT RESIDENT	20 NW 16TH AVE #112	PORTLAND OR 97209
298				CURRENT RESIDENT	20 NW 16TH AVE #2	PORTLAND OR 97209
299				CURRENT RESIDENT	20 NW 16TH AVE #201	PORTLAND OR 97209
300				CURRENT RESIDENT	20 NW 16TH AVE #206	PORTLAND OR 97209
301				CURRENT RESIDENT	20 NW 16TH AVE #211	PORTLAND OR 97209
302				CURRENT RESIDENT	20 NW 16TH AVE #307	PORTLAND OR 97209
303				CURRENT RESIDENT	20 NW 16TH AVE #404	PORTLAND OR 97209
304				CURRENT RESIDENT	20 NW 16TH AVE #408	PORTLAND OR 97209
305				CURRENT RESIDENT	20 NW 16TH AVE #410	PORTLAND OR 97209
306				CURRENT RESIDENT	20 NW 16TH AVE #415	PORTLAND OR 97209
307				CURRENT RESIDENT	20 NW 16TH AVE #5	PORTLAND OR 97209
308				CURRENT RESIDENT	210 NW 17TH AVE #200	PORTLAND OR 97209
309				CURRENT RESIDENT	10 NW 16TH AVE	PORTLAND OR 97209
310				CURRENT RESIDENT	130 NW 19TH AVE #101	PORTLAND OR 97209
311				CURRENT RESIDENT	130 NW 19TH AVE #106	PORTLAND OR 97209
312				CURRENT RESIDENT	130 NW 19TH AVE #109	PORTLAND OR 97209
313				CURRENT RESIDENT	130 NW 19TH AVE #112	PORTLAND OR 97209
314				CURRENT RESIDENT	130 NW 19TH AVE #114	PORTLAND OR 97209
315				CURRENT RESIDENT	130 NW 19TH AVE #204	PORTLAND OR 97209
316				CURRENT RESIDENT	130 NW 19TH AVE #207	PORTLAND OR 97209
317				CURRENT RESIDENT	130 NW 19TH AVE #208	PORTLAND OR 97209
318				CURRENT RESIDENT	130 NW 19TH AVE #210	PORTLAND OR 97209
319				CURRENT RESIDENT	130 NW 19TH AVE #211	PORTLAND OR 97209
320				CURRENT RESIDENT	130 NW 19TH AVE #6	PORTLAND OR 97209
321				CURRENT RESIDENT	130 NW 19TH AVE #7	PORTLAND OR 97209
322				CURRENT RESIDENT	130 NW 19TH AVE #8	PORTLAND OR 97209
323				CURRENT RESIDENT	133 NW 18TH AVE #7	PORTLAND OR 97209
324				CURRENT RESIDENT	1610 NW COUCH ST	PORTLAND OR 97209
325				CURRENT RESIDENT	1631 NW EVERETT ST #201	PORTLAND OR 97209
326				CURRENT RESIDENT	1631 NW EVERETT ST #204	PORTLAND OR 97209
327				CURRENT RESIDENT	1631 NW EVERETT ST #400	PORTLAND OR 97209
328				CURRENT RESIDENT	1631 NW EVERETT ST #408	PORTLAND OR 97209
329				CURRENT RESIDENT	1634 NW EVERETT ST #101	PORTLAND OR 97209
330				CURRENT RESIDENT	1714 NW COUCH ST #12	PORTLAND OR 97209
331				CURRENT RESIDENT	1714 NW COUCH ST #14	PORTLAND OR 97209
332				CURRENT RESIDENT	1714 NW COUCH ST #15	PORTLAND OR 97209
333				CURRENT RESIDENT	1714 NW COUCH ST #16	PORTLAND OR 97209
334				CURRENT RESIDENT	1725 W BURNSIDE ST	PORTLAND OR 97209
335				CURRENT RESIDENT	1730 NW COUCH ST #102	PORTLAND OR 97209
336				CURRENT RESIDENT	1730 NW COUCH ST #107	PORTLAND OR 97209
337				CURRENT RESIDENT	1730 NW COUCH ST #302	PORTLAND OR 97209
338				CURRENT RESIDENT	1730 NW COUCH ST #401	PORTLAND OR 97209
339				CURRENT RESIDENT	1730 NW COUCH ST #403	PORTLAND OR 97209
340				CURRENT RESIDENT	1730 NW COUCH ST #405	PORTLAND OR 97209
341				CURRENT RESIDENT	1731 NW EVERETT ST #203	PORTLAND OR 97209
342				CURRENT RESIDENT	1731 NW EVERETT ST #209	PORTLAND OR 97209
343				CURRENT RESIDENT	1731 NW EVERETT ST #212	PORTLAND OR 97209
344				CURRENT RESIDENT	1810 NW EVERETT ST #102	PORTLAND OR 97209
345				CURRENT RESIDENT	1810 NW EVERETT ST #304	PORTLAND OR 97209
346				CURRENT RESIDENT	1811 NW COUCH ST #103	PORTLAND OR 97209
347				CURRENT RESIDENT	1811 NW COUCH ST #105	PORTLAND OR 97209
348				CURRENT RESIDENT	1811 NW COUCH ST #304	PORTLAND OR 97209
349				CURRENT RESIDENT	1811 NW COUCH ST #310	PORTLAND OR 97209
350				CURRENT RESIDENT	1811 NW COUCH ST #401	PORTLAND OR 97209
351				CURRENT RESIDENT	1811 NW COUCH ST #408	PORTLAND OR 97209
352				CURRENT RESIDENT	1811 NW COUCH ST #504	PORTLAND OR 97209
353				CURRENT RESIDENT	1819 NW EVERETT ST #204	PORTLAND OR 97209
354				CURRENT RESIDENT	20 NW 16TH AVE #101	PORTLAND OR 97209
355				CURRENT RESIDENT	20 NW 16TH AVE #111	PORTLAND OR 97209
356				CURRENT RESIDENT	20 NW 16TH AVE #116	PORTLAND OR 97209
357				CURRENT RESIDENT	20 NW 16TH AVE #216	PORTLAND OR 97209
358				CURRENT RESIDENT	20 NW 16TH AVE #301	PORTLAND OR 97209
359				CURRENT RESIDENT	20 NW 16TH AVE #311	PORTLAND OR 97209
360				CURRENT RESIDENT	20 NW 16TH AVE #409	PORTLAND OR 97209
361				CURRENT RESIDENT	205 NW 16TH AVE #2	PORTLAND OR 97209
362				CURRENT RESIDENT	205 NW 16TH AVE #5	PORTLAND OR 97209
363				CURRENT RESIDENT	215 NW 16TH AVE #10	PORTLAND OR 97209
364				CURRENT RESIDENT	215 NW 16TH AVE #16	PORTLAND OR 97209
365				CURRENT RESIDENT	130 NW 19TH AVE #102	PORTLAND OR 97209

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366				CURRENT RESIDENT	130 NW 19TH AVE #104	PORTLAND OR 97209
367				CURRENT RESIDENT	130 NW 19TH AVE #115	PORTLAND OR 97209
368				CURRENT RESIDENT	130 NW 19TH AVE #201	PORTLAND OR 97209
369				CURRENT RESIDENT	130 NW 19TH AVE #203	PORTLAND OR 97209
370				CURRENT RESIDENT	130 NW 19TH AVE #215	PORTLAND OR 97209
371				CURRENT RESIDENT	1623 W BURNSIDE ST	PORTLAND OR 97209
372				CURRENT RESIDENT	1631 NW EVERETT ST #100	PORTLAND OR 97209
373				CURRENT RESIDENT	1631 NW EVERETT ST #105	PORTLAND OR 97209
374				CURRENT RESIDENT	1631 NW EVERETT ST #106	PORTLAND OR 97209
375				CURRENT RESIDENT	1631 NW EVERETT ST #107	PORTLAND OR 97209
376				CURRENT RESIDENT	1631 NW EVERETT ST #300	PORTLAND OR 97209
377				CURRENT RESIDENT	1631 NW EVERETT ST #402	PORTLAND OR 97209
378				CURRENT RESIDENT	1633 SW ALDER ST	PORTLAND OR 97205
379				CURRENT RESIDENT	1634 NW EVERETT ST #202	PORTLAND OR 97209
380				CURRENT RESIDENT	1714 NW COUCH ST #18	PORTLAND OR 97209
381				CURRENT RESIDENT	1715 NW COUCH ST	PORTLAND OR 97209
382				CURRENT RESIDENT	1730 NW COUCH ST #105	PORTLAND OR 97209
383				CURRENT RESIDENT	1730 NW COUCH ST #201	PORTLAND OR 97209
384				CURRENT RESIDENT	1730 NW COUCH ST #203	PORTLAND OR 97209
385				CURRENT RESIDENT	1730 NW COUCH ST #206	PORTLAND OR 97209
386				CURRENT RESIDENT	1730 NW COUCH ST #304	PORTLAND OR 97209
387				CURRENT RESIDENT	1730 NW COUCH ST #305	PORTLAND OR 97209
388				CURRENT RESIDENT	1730 NW COUCH ST #406	PORTLAND OR 97209
389				CURRENT RESIDENT	1731 NW EVERETT ST #101	PORTLAND OR 97209
390				CURRENT RESIDENT	1731 NW EVERETT ST #103	PORTLAND OR 97209
391				CURRENT RESIDENT	1731 NW EVERETT ST #105	PORTLAND OR 97209
392				CURRENT RESIDENT	1731 NW EVERETT ST #107	PORTLAND OR 97209
393				CURRENT RESIDENT	1731 NW EVERETT ST #109	PORTLAND OR 97209
394				CURRENT RESIDENT	1731 NW EVERETT ST #110	PORTLAND OR 97209
395				CURRENT RESIDENT	1731 NW EVERETT ST #112	PORTLAND OR 97209
396				CURRENT RESIDENT	1731 NW EVERETT ST #201	PORTLAND OR 97209
397				CURRENT RESIDENT	1731 NW EVERETT ST #208	PORTLAND OR 97209
398				CURRENT RESIDENT	1810 NW EVERETT ST #303	PORTLAND OR 97209
399				CURRENT RESIDENT	1811 NW COUCH ST #102	PORTLAND OR 97209
400				CURRENT RESIDENT	1811 NW COUCH ST #209	PORTLAND OR 97209
401				CURRENT RESIDENT	1811 NW COUCH ST #212	PORTLAND OR 97209
402				CURRENT RESIDENT	1811 NW COUCH ST #307	PORTLAND OR 97209
403				CURRENT RESIDENT	1811 NW COUCH ST #502	PORTLAND OR 97209
404				CURRENT RESIDENT	1811 NW COUCH ST #503	PORTLAND OR 97209
405				CURRENT RESIDENT	1819 NW EVERETT ST #105	PORTLAND OR 97209
406				CURRENT RESIDENT	1819 NW EVERETT ST #205	PORTLAND OR 97209
407				CURRENT RESIDENT	1819 NW EVERETT ST #206	PORTLAND OR 97209
408				CURRENT RESIDENT	1819 NW EVERETT ST #216	PORTLAND OR 97209
409				CURRENT RESIDENT	1824 NW COUCH ST	PORTLAND OR 97209
410				CURRENT RESIDENT	1831 W BURNSIDE ST	PORTLAND OR 97209
411				CURRENT RESIDENT	20 NW 16TH AVE #1	PORTLAND OR 97209
412				CURRENT RESIDENT	20 NW 16TH AVE #108	PORTLAND OR 97209
413				CURRENT RESIDENT	20 NW 16TH AVE #115	PORTLAND OR 97209
414				CURRENT RESIDENT	20 NW 16TH AVE #117	PORTLAND OR 97209
415				CURRENT RESIDENT	20 NW 16TH AVE #210	PORTLAND OR 97209
416				CURRENT RESIDENT	20 NW 16TH AVE #212	PORTLAND OR 97209
417				CURRENT RESIDENT	20 NW 16TH AVE #214	PORTLAND OR 97209
418				CURRENT RESIDENT	20 NW 16TH AVE #303	PORTLAND OR 97209
419				CURRENT RESIDENT	20 NW 16TH AVE #308	PORTLAND OR 97209
420				CURRENT RESIDENT	20 NW 16TH AVE #312	PORTLAND OR 97209
421				CURRENT RESIDENT	20 NW 16TH AVE #401	PORTLAND OR 97209
422				CURRENT RESIDENT	20 NW 16TH AVE #403	PORTLAND OR 97209
423				CURRENT RESIDENT	20 NW 16TH AVE #405	PORTLAND OR 97209
424				CURRENT RESIDENT	20 NW 16TH AVE #8	PORTLAND OR 97209
425				CURRENT RESIDENT	205 NW 16TH AVE #3	PORTLAND OR 97209
426				CURRENT RESIDENT	215 NW 16TH AVE #13	PORTLAND OR 97209
427				CURRENT RESIDENT	220 NW 17TH AVE #1	PORTLAND OR 97209
428				CURRENT RESIDENT	220 NW 17TH AVE #2	PORTLAND OR 97209
429				CURRENT RESIDENT	130 NW 19TH AVE #105	PORTLAND OR 97209
430				CURRENT RESIDENT	130 NW 19TH AVE #108	PORTLAND OR 97209
431				CURRENT RESIDENT	130 NW 19TH AVE #111	PORTLAND OR 97209
432				CURRENT RESIDENT	130 NW 19TH AVE #205	PORTLAND OR 97209
433				CURRENT RESIDENT	130 NW 19TH AVE #206	PORTLAND OR 97209
434				CURRENT RESIDENT	130 NW 19TH AVE #209	PORTLAND OR 97209
435				CURRENT RESIDENT	130 NW 19TH AVE #212	PORTLAND OR 97209
436				CURRENT RESIDENT	130 NW 19TH AVE #5	PORTLAND OR 97209
437				CURRENT RESIDENT	1607 NW DAVIS ST #19	PORTLAND OR 97209
438				CURRENT RESIDENT	1628 NW EVERETT ST #2	PORTLAND OR 97209

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439				CURRENT RESIDENT	1631 NW EVERETT ST #102	PORTLAND OR 97209
440				CURRENT RESIDENT	1631 NW EVERETT ST #103	PORTLAND OR 97209
441				CURRENT RESIDENT	1631 NW EVERETT ST #104	PORTLAND OR 97209
442				CURRENT RESIDENT	1631 NW EVERETT ST #200	PORTLAND OR 97209
443				CURRENT RESIDENT	1631 NW EVERETT ST #305	PORTLAND OR 97209
444				CURRENT RESIDENT	1634 NW EVERETT ST #102	PORTLAND OR 97209
445				CURRENT RESIDENT	1714 NW COUCH ST #10	PORTLAND OR 97209
446				CURRENT RESIDENT	1714 NW COUCH ST #17	PORTLAND OR 97209
447				CURRENT RESIDENT	1714 NW COUCH ST #19	PORTLAND OR 97209
448				CURRENT RESIDENT	1714 NW COUCH ST #4	PORTLAND OR 97209
449				CURRENT RESIDENT	1714 NW COUCH ST #6	PORTLAND OR 97209
450				CURRENT RESIDENT	1717 W BURNSIDE ST	PORTLAND OR 97209
451				CURRENT RESIDENT	1730 NW COUCH ST #103	PORTLAND OR 97209
452				CURRENT RESIDENT	1730 NW COUCH ST #104	PORTLAND OR 97209
453				CURRENT RESIDENT	1730 NW COUCH ST #205	PORTLAND OR 97209
454				CURRENT RESIDENT	1730 NW COUCH ST #303	PORTLAND OR 97209
455				CURRENT RESIDENT	1731 NW EVERETT ST #111	PORTLAND OR 97209
456				CURRENT RESIDENT	1731 NW EVERETT ST #206	PORTLAND OR 97209
457				CURRENT RESIDENT	1731 NW EVERETT ST #211	PORTLAND OR 97209
458				CURRENT RESIDENT	1731 NW EVERETT ST #A	PORTLAND OR 97209
459				CURRENT RESIDENT	1811 NW COUCH ST #104	PORTLAND OR 97209
460				CURRENT RESIDENT	1811 NW COUCH ST #205	PORTLAND OR 97209
461				CURRENT RESIDENT	1811 NW COUCH ST #211	PORTLAND OR 97209
462				CURRENT RESIDENT	1811 NW COUCH ST #305	PORTLAND OR 97209
463				CURRENT RESIDENT	1811 NW COUCH ST #306	PORTLAND OR 97209
464				CURRENT RESIDENT	1811 NW COUCH ST #402	PORTLAND OR 97209
465				CURRENT RESIDENT	1811 NW COUCH ST #405	PORTLAND OR 97209
466				CURRENT RESIDENT	1811 NW COUCH ST #505	PORTLAND OR 97209
467				CURRENT RESIDENT	1811 NW COUCH ST #506	PORTLAND OR 97209
468				CURRENT RESIDENT	1812 NW COUCH ST	PORTLAND OR 97209
469				CURRENT RESIDENT	1819 NW EVERETT ST #200	PORTLAND OR 97209
470				CURRENT RESIDENT	1819 NW EVERETT ST #203	PORTLAND OR 97209
471				CURRENT RESIDENT	1835 W BURNSIDE ST	PORTLAND OR 97209
472				CURRENT RESIDENT	20 NW 16TH AVE #104	PORTLAND OR 97209
473				CURRENT RESIDENT	20 NW 16TH AVE #109	PORTLAND OR 97209
474				CURRENT RESIDENT	20 NW 16TH AVE #110	PORTLAND OR 97209
475				CURRENT RESIDENT	20 NW 16TH AVE #202	PORTLAND OR 97209
476				CURRENT RESIDENT	20 NW 16TH AVE #204	PORTLAND OR 97209
477				CURRENT RESIDENT	20 NW 16TH AVE #217	PORTLAND OR 97209
478				CURRENT RESIDENT	20 NW 16TH AVE #3	PORTLAND OR 97209
479				CURRENT RESIDENT	20 NW 16TH AVE #302	PORTLAND OR 97209
480				CURRENT RESIDENT	20 NW 16TH AVE #310	PORTLAND OR 97209
481				CURRENT RESIDENT	20 NW 16TH AVE #402	PORTLAND OR 97209
482				CURRENT RESIDENT	20 NW 16TH AVE #406	PORTLAND OR 97209
483				CURRENT RESIDENT	20 NW 16TH AVE #411	PORTLAND OR 97209
484				CURRENT RESIDENT	20 NW 16TH AVE #7	PORTLAND OR 97209
485				CURRENT RESIDENT	205 NW 16TH AVE #1	PORTLAND OR 97209
486				CURRENT RESIDENT	215 NW 16TH AVE #11	PORTLAND OR 97209
487	RETURN SERVICE REQUESTED	OWNER	ST MARY CATHOLIC	CATHEDRAL OF IMMACULATE	CONCEPTION OF PORTLAND OREGON	1716 NW DAVIS ST PORTLAND OR 97209
488	RETURN SERVICE REQUESTED	OWNERS AGENT		ARCHDIOCESE OF CITY OF PORTLAND	WILLHITE JO	2858 E BURNSIDE ST PORTLAND OR 97214
489	RETURN SERVICE REQUESTED	APPLICANT/ARCHITECT		LRS ARCHITECTS	ROBERTS MICHAEL & FREUND ZACHARY	720 NW DAVIS ST #300 PORTLAND OR 97209
490	RETURN SERVICE REQUESTED	PARTY OF INTEREST		O'BRIEN CONSTRUCTION	O'BRIEN PAT	208 NW 21ST AVE #201 PORTLAND OR 97209
491	RETURN SERVICE REQUESTED	STADIUM DISTRICT BUSINESS GROUP		C/O VENTURE PORTLAND	WYSZYNSKI TINA	1125 SE MADISON #112 PORTLAND OR 97214
492	RETURN SERVICE REQUESTED			LAND USE CONTACT	DOWNTOWN RETAIL COUNCIL	121 SW SALMON ST #1440 PORTLAND OR 97201
493	RETURN SERVICE REQUESTED			LAND USE CONTACT	PIONEER COURTHOUSE SQ	715 SW MORRISON #702 PORTLAND OR 97205
494	RETURN SERVICE REQUESTED			LAND USE CONTACT	CENTRAL CITY CONCERN	232 NW 6TH AVE PORTLAND OR 97209
495	RETURN SERVICE REQUESTED			GOOSE HOLLOW BUSINESS ASSOCIATION	CRAWFORD ANGELA	PO BOX 915 PORTLAND OR 97207
496	RETURN SERVICE REQUESTED			LAND USE CONTACT	GOOSE HOLLOW FOOTHILLS LEAGUE	434 NW 6TH AVE #202 PORTLAND OR 97209
497	RETURN SERVICE REQUESTED			NEIGHBORS WEST-NORTHWEST	GARRETT DARLENE URBAN	434 NW 6TH AVE #202 PORTLAND OR 97209
498	RETURN SERVICE REQUESTED			LAND USE CONTACT	NORTHWEST BUSINESS ASSOCIATION	25 NW 23RD AVE #6-PMB 217 PORTLAND OR 97210
499	RETURN SERVICE REQUESTED			NORTHWEST DISTRICT ASSOCIATION	THEISEN GREG	434 NW 6TH AVE #202 PORTLAND OR 97209
500	RETURN SERVICE REQUESTED			PEARL DISTRICT BUSINESS ASSOCIATION	PEARL DISTRICT BA	PO BOX 6767 PORTLAND OR 97228
501	RETURN SERVICE REQUESTED			PEARL DISTRICT NEIGHBORHOOD ASSOC	DYSERT DAVID	434 NW 6TH AVE #202 PORTLAND OR 97209
502	RETURN SERVICE REQUESTED			PORTLAND DOWNTOWN NA	DEBARDELABEN MARIAN	434 NW 6TH AVE #202 PORTLAND OR 97209
503	RETURN SERVICE REQUESTED				JUDY PETERS	6916 NE 40TH ST VANCOUVER WA 98661
504	RETURN SERVICE REQUESTED			LAND USE CONTACT	STATE HISTORIC PRESERVATION OFFICE	725 SUMMER NE #C SALEM OR 97301
505	RETURN SERVICE REQUESTED			PORTLAND METRO REGIONAL SOLUTIONS	C/O DLCD REGIONAL REPRESENTATIVE	1600 SW FOURTH AVE #109 PORTLAND OR 97201
506	RETURN SERVICE REQUESTED			LAND USE CONTACT	PORT OF PORTLAND PLANNING	PO BOX 3529 PORTLAND OR 97208
507	RETURN SERVICE REQUESTED			LAND USE CONTACT	TRANSIT DEVELOPMENT	1800 SW FIRST AVE #300 PORTLAND OR 97201
508	RETURN SERVICE REQUESTED				KARLA MOORE-LOVE (CITY HALL)	1221 SW 4TH AVE #130 PORTLAND OR 97204
509	RETURN SERVICE REQUESTED			RISK & LAND DEPARTMENT	NW NATURAL	250 SW TAYLOR ST PORTLAND OR 97204-3038
510	RETURN SERVICE REQUESTED			LAND USE CONTACT	PACIFIC POWER & LIGHT	7544 NE 33RD DR PORTLAND OR 97211
511	RETURN SERVICE REQUESTED			PORTLAND SCHOOL DISTRICT	LAND USE NOTICE CONTACT	501 N DIXON PORTLAND OR 97227

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512				LAND USE CONTACT	PROSPER PORTLAND	129/PROSPER
513					HEARINGS CLERK	299/3100
514					DAWN KRANTZ	B299/R5000



To: Tanya Paglia
From: Ayush Vaidya, Life Safety Plans Examiner
Date: September 26, 2023
RE: 1715 NW COUCH ST, 23-068457-LU

LIFE SAFETY PLAN REVIEW RESPONSE

The following comments are based on the plans and documents provided to the Life Safety Plan reviewer. They are intended to provide the applicant with preliminary Building Code information that could affect the Land Use Review, Public Records request and/or future Building Permit reviews. The comments may not identify all conflicts between the Land Use proposal and the Building Codes. A complete Life Safety plan review will be provided at the time of Building Permit submittal at which time any additional Building Code issues will be noted. The comments are based on the Oregon Structural Specialty Code (OSSC), the International Existing Building Code (IEBC), the Oregon Mechanical Specialty Code (OMSC), or the Oregon Residential Specialty Code (ORSC).

RESPONSE SUMMARY

- Life Safety Plan Review does not object to the approval of this proposal. The applicant should be aware that several building code requirements may impact the final design of this building. For information regarding future compliance, see the GENERAL LIFE SAFETY COMMENTS below.
Life Safety Plan Review does not object to the approval of this proposal. This approval is conditional on the finalization of the property line adjustment approved through this LUR/PR. If this public record is not finalized, a Covenant Not to Sell the Properties Separately must be established for this project. For information regarding future compliance, see the GENERAL LIFE SAFETY COMMENTS below.
Life Safety Plan Review does not object to the approval of this proposal. Prior to Life Safety approval of the final plat or Land Use proposal, the applicant must address the Building Code issues listed as part of the GENERAL LIFE SAFETY COMMENTS below.
Life Safety Plan Review cannot support approval of the current Land Use proposal. Prior to Life Safety approval of the final plat, the applicant must address the Building Code issues listed as part of the GENERAL LIFE SAFETY COMMENTS below.

Table with 2 columns: Item #, GENERAL LIFE SAFETY COMMENTS. Row 1: 1, Building Permit Required - A separate Building Permit is required for the work proposed and the proposal must be designed to meet all applicable building codes and ordinances. Information about submitting a permit application request is available online at https://www.portland.gov/bds/permit-review-process/apply-or-pay-permits.



PORTLAND BUREAU OF TRANSPORTATION

1900 SW Fourth Ave., Suite 5000 Portland, OR 97201 503-823-5185
Fax 503-823-7576 TTY 503-823-6868 www.portlandoregon.gov/transportation

Mingus Mapps Commissioner Millicent Williams Director

**RESPONSE TO THE BUREAU OF DEVELOPMENT SERVICES
LAND USE REVIEW REQUEST**

**Portland Transportation
Development Review
Bureau of Transportation Engineering & Development**

LU: 23-068457-000-00-LU Date: October 6, 2023
To: Tanya Paglia, Bureau of Development Services, B299/R5000
From: Michael Pina, B1720206/800, 503-823-4249, michael.pina@portlandoregon.gov
Applicant: Michael Roberts, L R S ARCHITECTS
720 NW DAVIS ST #300
PORTLAND OR 97209
Location: 1715 NW COUCH ST (1716 NW DAVIS)
TYPE OF REQUEST: Type 3 procedure HR - Historic Resource Review

DESCRIPTION OF PROJECT

DZ HEARING - Type III Historic Resource Review for a proposal to make exterior alterations to buildings that are part of the St Mary’s Cathedral property, a contributing resource in the Alphabet Historic District historically known as the Cathedral of the Immaculate Conception located in the Northwest Plan District. The exterior alterations accompany a full-scale interior demolition and renovation of the existing administration buildings including seismic strengthening, new interior elevator system, new lobby and stairway, mechanical, electrical, and plumbing (MEP) systems upgrades, and accessibility improvements. The project will involve replacing a connecting structure between the Rectory building (also referenced in plans as “north building”) and the Archbishop’s Residence and Parish Center building (which will become the Parish Center and Archdiocese of Portland Building and is also referenced in the plans as “south building”). The new connector will be metal plate and glass with an aluminum skylight system and will be recessed between the two buildings. A portion of the south building’s eaves will be cut into and removed, and some clay tile roofing material will have be removed from both the south and north buildings to accommodate the connector’s roof.

RESPONSE

Portland Bureau of Transportation (PBOT) Development Review has reviewed the application for its potential impacts regarding the public Right-of-Way (ROW), traffic impacts and conformance with adopted policies, street designations, Title 33, Title 17, and for potential impacts upon transportation services.

Historic Resource Review Approval Criteria (33.846.030.D)

There are no applicable transportation-related approval criteria associated with the proposed Historic Resource Review, however the proposal has an impact on the public Right-of-Way (ROW), therefore warrants a review from PBOT.

The project triggers PBOT’s Significant Alteration threshold in accordance with 17.88.020, therefore frontage improvements are required. In this instance, improvements are limited the site’s four corners, two driveway closures, and reconstruction of the NW 17th Ave intersection. The applicant has initiated

Public Works permit 23-089214 WT (TH1351), which has not received 30% concept approval at time of this response, however PBOT is confident the project will receive approval at time of Building permit. The project has also received approval for a Driveway Design Exception (23-086625 TR) to retain an existing driveway on NW 17th Ave, just south of NW Davis St, for being within 25-ft of an intersection. Therefore, PBOT's requirements have been satisfied.

RECOMMENDATION

PBOT has no objection to the proposed Historic Resource Review.



PORTLAND FIRE & RESCUE



Rene Gonzalez, Commissioner
Ryan Gillespie, Fire Chief
Kari Schimmel, Fire Marshal
Prevention Division
1300 SE Gideon St.
Portland, OR, 97202
Phone: (503)823-3770

LAND USE REVIEW RESPONSE

TO: Tanya Paglia, City of Portland, Land Use Review
FROM: Dawn Krantz, Portland Fire Bureau 971-313-3675
DATE: October 3, 2023
SUBJECT: LU 23-068457 HR
SITE LOCATION : 1715 NW COUCH ST

The following conditions of approval and informational comments are based on the land use review information provided to the Fire Bureau. Fire Bureau requirements are generated from the 2021 Portland Fire Code. All current Fire Code requirements apply and are required to be met. If these conditions cannot be met, an appeal providing an alternative method is an option for the applicant. If the applicant chooses to appeal a requirement, the appeal must be listed as a condition in the decision. Fire Code Appeals can be obtained at the Fire Bureau web page, www.portlandonline.com.

CONDITIONS OF APPROVAL AT TIME OF DEVELOPMENT

A separate building permit is required for this proposal. All applicable Fire Code requirements shall apply at the time of permit review and development.



City of Portland, Oregon
Bureau of Development Services
Site Development
FROM CONCEPT TO CONSTRUCTION

Carmen Rubio, Commissioner
Rebecca Esau, Director
Phone: (503) 823-7300
TTY: 711
www.portland.gov/bds

Land Use Review Response
Site Development Section, BDS

To: Tanya Paglia, LUR Division
From: Kevin Wells, Site Development (503-823-5618)

Location/Legal: BLOCK 167 LOT 1-8, COUCHS ADD
Land Use LU 23-068457

Review:

Proposal:

DZ HEARING - Type III Historic Resource Review for a proposal to make exterior alterations to buildings that are part of the St Mary's Cathedral property, a contributing resource in the Alphabet Historic District historically known as the Cathedral of the Immaculate Conception located in the Northwest Plan District. The exterior alterations accompany a full-scale interior demolition and renovation of the existing administration buildings including seismic strengthening, new interior elevator system, new lobby and stairway, mechanical, electrical, and plumbing (MEP) systems upgrades, and accessibility improvements. The project will involve replacing a connecting structure between the Rectory building (also referenced in plans as *¿north building¿*) and the Archbishop's Residence and Parish Center building (which will become the Parish Center and Archdiocese of Portland Building and is also referenced in the plans as *¿south building¿*). The new connector will be metal plate and glass with an aluminum skylight system and will be recessed between the two buildings. A portion of the south building's eaves will be cut into and removed, and some clay tile roofing material will have be removed from both the south and north buildings to accommodate the connector's roof. The project also includes:

- ¿ Archbishop's Residence and Parish Center building (south admin building) o East Elevation - NW 17th Ave frontage ¿ New aluminum-clad wood full-lite entry door in the existing opening at the north end of the east elevation including new security camera above door and new wall sconce lighting fixtures on either side. ¿ Infill at the garage opening located at the south end of the east elevation with two sets of new double-hung aluminum-clad wood windows above a pre-cast concrete base. ¿ Existing gas meter relocated into the recess of the South Building. ¿ New metal gate and fencing to secure the recessed area in front of the new connecting structure. ¿ Removal of existing non-original chimney. o West Elevation ¿ Interior courtyard frontage ¿ New cast-in-place concrete exterior stair providing a courtyard entry to a lower-level community space which will have a new double-door storefront entry. ¿ Two new wood single-hung windows on first floor beneath arcade to match existing windows, and demo two doors below new windows and infill with small wood fixed windows to match existing basement windows as well as salvaged brick masonry. ¿ New guardrail with ornamental malleable iron spindles and stanchions at new stairs. ¿ New mechanical units at recessed niche on west side of the South Building. ¿ Replacement LED semi-flush mount ceiling light fixtures at arcades. ¿ New security camera above door at south end of building. o South Elevation ¿ NW Couch frontage ¿ Replacement LED flush mount ceiling light fixtures at entry. ¿ Two new surface-mounted security cameras at top of building below roof line. ¿ Rectory building (north admin building) o East Elevation - NW 17th Ave frontage ¿ New carriage-style sectional overhead garage door replacing residential-style garage door within same rough opening at the east side of the Rectory building with new wall sconce lighting fixtures on either side. o West Elevation ¿ Interior courtyard frontage ¿ Reduce height and laterally reinforce existing chimney. ¿ New aluminum-clad wood door in the existing opening including new security camera adjacent to top of door. o North Elevation ¿ NW Davis frontage ¿ Two new surface-mounted security cameras at top of building below roof line. The Archbishop's Residence and Parish Center building was the first building on the site, built in 1914 as the Parish House and School building. The Rectory building was constructed in 1925 along

with the main Cathedral building. The existing connecting structure to be demolished was built circa 1965. Historic resource review is required because the proposal is for non-exempt exterior alterations on a resource in the Alphabet Historic District.

Quarter Sec.

3028

Map:

Date:

October 3, 2023

The Bureau of Development Services (BDS) Site Development section provides the following comments based on the land use application and documents provided by the Applicant. References to Portland City Code (PCC) may be included below. City codes are available for on-line review from the City Auditor's [Online Charter and Code page](#).

Response Summary

Site Development does not object to the proposed development. Site Development will address key aspects of the project during building permit review.

Site Conditions

Topography: The site is gently sloping and varies in elevation from approximately 93 to 100 feet NAVD 1988 datum.

Potential Landslide Hazard Area: The site is not in a regulated Potential Landslide Hazard Area.

Flood Hazards: The site is not in a regulated Flood Hazard Area.

Title 24.85 - Seismic Requirements for Existing Buildings

The seismic rehabilitation requirements for existing buildings are regulated under Title 24.85. The provisions of Title 24.85 prescribe requirements for existing buildings undergoing changes of occupancy, additions, alterations, catastrophic damage, fire, or earthquake repair, or mandatory or voluntary seismic strengthening. The requirements only apply to buildings for which a building permit has been applied for to change the occupancy classification, add square footage to the building, alter or repair the building.

Site Development recommends a Life Safety and Structural meeting with BDS staff to discuss seismic rehabilitation requirements and conditions for mandatory seismic upgrade.

Building Permits

A building permit is required to facilitate the proposed improvements. As required by Title 24.10.70, any owner or authorized agent who intends to construct, enlarge, alter, repair, move, change the character or use of the occupancy, or change the occupancy of a building or structure that is regulated by the State Building Code, must first make application to the BDS and obtain a building permit.

Erosion Control

Erosion prevention and sediment control requirements found in Title 10 apply to both site preparation work and development. Compliance with the erosion control requirements of Title 10, as well as maintenance of the erosion control elements, such as silt fences on private property, storm drain inlet protection and bio bags in the public right-of-way, is the responsibility of the property owner, the developer of the land division and the builders of structures on the individual lots. Please refer to the City of Portland *Erosion and Sediment Control Manual* for additional information regarding erosion and sediment control requirements.

Conditions of Approval

Site Development does not request conditions of approval.



Urban Forestry

Land Use Review Response

Date: October 05, 2023
From: Amil Jakupovic
503-823-4491, Amil.Jakupovic@portlandoregon.gov

Case File: 23-068457-000-00-LU
Location: 1715 NW COUCH ST

Proposal: DZ HEARING - Type III Historic Resource Review for a proposal to make exterior alterations to buildings that are part of the St Mary's Cathedral property, a contributing resource in the Alphabet Historic District historically known as the Cathedral of the Immaculate Conception located in the Northwest Plan District. The exterior alterations accompany a full-scale interior demolition and renovation of the existing administration buildings including seismic strengthening, new interior elevator system, new lobby and stairway, mechanical, electrical, and plumbing (MEP) systems upgrades, and accessibility improvements.

The project will involve replacing a connecting structure between the Rectory building (also referenced in plans as "north building") and the Archbishop's Residence and Parish Center building (which will become the Parish Center and Archdiocese of Portland Building and is also referenced in the plans as "south building"). The new connector will be metal plate and glass with an aluminum skylight system and will be recessed between the two buildings. A portion of the south building's eaves will be cut into and removed, and some clay tile roofing material will have to be removed from both the south and north buildings to accommodate the connector's roof.

The project also includes:

- o Archbishop's Residence and Parish Center building (south admin building)
- o East Elevation - NW 17th Ave frontage
- o New aluminum-clad wood full-lite entry door in the existing opening at the north end of the east elevation including new security camera above door and new wall sconce lighting fixtures on either side.
- o Infill at the garage opening located at the south end of the east elevation with two sets of new double-hung aluminum-clad wood windows above a pre-cast concrete base.
- o Existing gas meter relocated into the recess of the South Building.
- o New metal gate and fencing to secure the recessed area in front of the new connecting structure.
- o Removal of existing non-original chimney.
- o West Elevation o Interior courtyard frontage
- o New cast-in-place concrete exterior stair providing a courtyard entry to a lower-level community space which will have a new double-door storefront entry.
- o Two new wood single-hung windows on first floor beneath arcade to match existing windows, and demo two doors below new windows and infill with small wood fixed windows to match existing basement windows as well as salvaged brick masonry.
- o New guardrail with ornamental malleable iron spindles and stanchions at new stairs.
- o New mechanical units at recessed niche on west side of the South Building.
- o Replacement LED semi-flush mount ceiling light fixtures at arcades.
- o New security camera above door at south end of building.
- o South Elevation o NW Couch frontage
- o Replacement LED flush mount ceiling light fixtures at entry.
- o Two new surface-mounted security cameras at top of building below roof line.
- o Rectory building (north admin building)
- o East Elevation - NW 17th Ave frontage
- o New carriage-style sectional overhead garage door replacing residential-style garage door within same rough opening at the east side of the Rectory building with new wall sconce lighting fixtures on either side.
- o West Elevation o Interior courtyard frontage
- o Reduce height and laterally reinforce existing chimney.
- o New aluminum-clad wood door in the existing opening including new security camera adjacent to top of door.
- o North Elevation o NW Davis frontage



Two new surface-mounted security cameras at top of building below roof line. The Archbishop's Residence and Parish Center building was the first building on the site, built in 1914 as the Parish House and School building. The Rectory building was constructed in 1925 along with the main Cathedral building. The existing connecting structure to be demolished was built circa 1965. Historic resource review is required because the proposal is for non-exempt exterior alterations on a resource in the Alphabet Historic District.

Urban Forestry has reviewed the proposal for its impact on existing city trees, street trees and heritage trees, street tree planting requirements and related mitigation in accordance with Title 11, Trees and for potential impacts upon urban tree canopy. It is the applicant's responsibility to disclose all aspects of their land use proposal that may impact required street tree plantings and existing street trees during the land use review process.

UNLESS EXPLICITLY STATED HEREIN, THIS REVIEW DOES NOT APPROVE STREET TREE REMOVALS AND DOES NOT PROVIDE ANY EXEMPTIONS TO TITLE 11 REQUIRMENTS.

Permits required after land use approval are subject to all applicable development standards and all provisions of the City Code, including Title 11. Title 11 regulations will be applied during the permit review process.

PLEASE NOTE THERE MAY BE OTHER APPLICABLE TREE REQUIREMENTS AS PER TITLE 33 PLANNING & ZONING.

A. Response Summary

Urban Forestry does not recommend approval of the land use proposal since the American elm tree (34 DBH) at the NW 17th Ave frontage, is not approved for removal. LU submittal needs to be updated to show this tree as preserved and the protection plan should be included. Refer to the following comments for more information.

Urban Forestry does not recommend approval of the land use proposal due to insufficient information provided to adequately demonstrate how the proposal will impact regulated trees. Prior to issuing a recommendation of approval Urban Forestry requires additional information as described below and summarized here: The submitted arborist report with the EA 23-013495 does not provide adequate justification for the removal of the elm. The elm should be shown as preserved and protected. If the applicant wants to pursue removal additional information must be provided to show why the elm must be removed in order to meet the city code.

A. Tree Plan ([11.50.070](#))

A Title 11 compliant tree plan must be submitted with each phase of development review and permitting including land use reviews, building permits, and public works permits. The same tree plan shall be included with each permit.

A tree plan was submitted with the land use proposal, and additional tree information is required.

a. Protection plan

- i.** The protection plan must describe the potential impacts of construction methods, staging areas, equipment usage, loading areas, and building materials that will impact regulated trees. The plan must describe how the existing street, heritage, and city trees will have continued protection, in accordance with the protection requirements of 11.60, during the proposed development.

b. Technical Analysis



- i. Specific technical analysis info

B. Street Trees

1. Existing Street Conditions

- a. NW 17th Street: The site has approximately 204 feet of street frontage. The right-of-way is improved with pavement, curbs, planting strips, sidewalks. There are no overhead high-voltage power lines. There are 3 street trees.
 - i. American elm, 34 in diameter, good condition
 - ii. American elm, 22 in diameter, fair condition
 - iii. Katsura, 10 in diameter, in good condition
- b. NW Couch St: The site has approximately 206 feet of street frontage. The right-of-way is improved with pavement, curbs, planting strips, and sidewalks. There are no overhead high-voltage power lines. There are 6 street trees.
 - i. Red maple, 14 in diameter, good condition
 - ii. 4 x hornbeam, 3-4 in diameter, good condition
- c. NW 18th Ave: The site has approximately 204 feet of street frontage. The right-of-way is unimproved/ improved with pavement, curbs, planting strip, and sidewalks. There are overhead high-voltage power lines. There are 6 street trees.
 - i. 6 x hornbeam, 4-6 in diameter, good condition
- d. NW Davis St: The site has approximately 206 feet of street frontage. The right-of-way is unimproved/ improved with pavement, curbs, planting strip, and sidewalks. There are overhead high-voltage power lines. There are 8 street trees.
 - i. 8 x hornbeam, 4-6 in diameter, good condition

2. Street Tree Preservation ([11.50.040](#))

The applicant proposes to remove the following:

1. American elm (*Ulmus americana*), NW 17th Ave frontage, in good overall conditions

The proposed tree removal(s) elm tree may not be permitted for removal as part of the proposed development. The elm tree is a mature and significant tree that was not proven to have a significant impact on the project goals. The applicant must submit revised plans showing protection per 11.60.030 Tree Protection Specifications prior to approval. If the applicant believes the tree(s) require removal to facilitate development, the applicant must provide an adequate written technical analysis report demonstrating how and why the tree(s) cannot be preserved while developing the site to City standards. The written technical analysis must include, but is not limited to, a feasibility study of the alternative measures considered in an effort to retain the tree(s). The technical analysis may address any relevant topics such as tree condition, equipment requirements, construction methodology, or cost. The submittal of a technical analysis and feasibility study does not provide approvals or permits for tree removals. Technical analysis and feasibility study documents will be reviewed by the City Forester to make a final determination.

All trees not approved for removal are required to be retained and protected during all stages of the development.

3. Street Tree Protection Specifications ([11.60.030](#))



The applicant has not provided a street tree protection plan. Tree protection is required for all trees required to be retained in accordance with Title 11 Trees, Protection Methods (11.60.030). Tree protection shall follow either the Prescriptive or Performance path. Protection methods must be shown on the tree plan. If using the Performance path, the alternate tree protection plan must be prepared by an arborist who has visited the site. The protection plan must describe the potential impacts of construction methods, staging areas, equipment usage, loading areas, and building materials that will impact regulated trees.

4. *Street Tree Planting* ([11.50.060.C](#))

The applicant has not provided a street tree planting plan. One street tree must be planted or retained for each full increment of 25 linear feet ([11.50.060.C.1](#)). Street trees must be planted at a minimum 2.5 caliper inches.

C. Heritage Trees

1. *Heritage Trees* ([11.20.060](#)):

There is not a tree located on/adjacent to/neighboring the site on the City of Portland's Heritage Tree list.

D. Recommendations

Urban Forestry does not recommend approval of the land use proposal at this time.





City of Portland, Oregon - Bureau of Development Services

1900 SW Fourth Avenue • Portland, Oregon 97201 | 503-823-7300 | www.portland.gov/bds



Land Use Review Application

File Number: _____

FOR INTAKE, STAFF USE ONLY

Date Rec _____ by _____

Type I Type Ix Type II Type Iix Type III Type IV ELD

LU Reviews _____

[Y] [N] Unincorporated MC

[Y] [N] Flood Hazard Area (LD & PD only)

[Y] [N] Potential Landslide Hazard Area (LD & PD only)

[Y] [N] 100-year Flood Plain [Y] [N] DOGAMI

Qtr Sec Map(s) _____ Zoning _____

Plan District _____

Historic and/or Design District _____

Neighborhood _____

District Coalition _____

Business Assoc _____

Related File # _____

**APPLICANT: Complete all sections below that apply to the proposal. Please print legibly.
Email this application and supporting documents to: LandUseIntake@portlandoregon.gov**

Development Site

Address or Location _____

Cross Street _____ Sq. ft./Acreage _____

Site tax account number(s)

R _____ R _____ R _____

R _____ R _____ R _____

Describe project (attach additional page if necessary)

Describe proposed stormwater disposal methods

Identify requested land use reviews

• **Design & Historic Reviews** - For **new development**, provide project valuation.

For **renovation**, provide exterior alteration value.

AND provide total project valuation.

\$ _____

\$ _____

\$ _____

• **Land Divisions** - Identify number of lots (include lots for existing development).

New street (public or private)?

yes no

yes no N/A

• **Affordable Housing** - For buildings containing five or more dwelling units, will 50% or more of the units be affordable to households with incomes equal to or less than 60% of the median family income for the county or state, whichever is greater?

continued / over

Applicant Information

- Identify the primary contact person, applicant, property owner and contract purchaser. Include any person that has an interest in your property or anyone you want to be notified. Information provided, including telephone numbers and e-mail addresses, will be included in public notices.
- For all reviews, the applicant must sign the Responsibility Statement.
- For land divisions, all property owners must sign the application.

PRIMARY CONTACT:

Typed Full Name _____ I acknowledge this typed name as my signature
Company/Organization _____
Mailing Address _____
City _____ State _____ Zip Code _____
Day Phone _____ FAX _____ email _____

Check all that apply Applicant Owner Other

Typed Full Name _____ I acknowledge this typed name as my signature
Company/Organization _____
Mailing Address _____
City _____ State _____ Zip Code _____
Day Phone _____ FAX _____ email _____

Check all that apply Applicant Owner Other

Typed Full Name _____ I acknowledge this typed name as my signature
Company/Organization _____
Mailing Address _____
City _____ State _____ Zip Code _____
Day Phone _____ FAX _____ email _____

Check all that apply Applicant Owner Other

Typed Full Name _____ I acknowledge this typed name as my signature
Company/Organization _____
Mailing Address _____
City _____ State _____ Zip Code _____
Day Phone _____ FAX _____ email _____

Check all that apply Applicant Owner Other

Responsibility Statement As the applicant submitting this application for a land use review, I am responsible for the accuracy of the information submitted. The information being submitted includes a description of the site conditions. I am also responsible for gaining the permission of the owner(s) of the property listed above in order to apply for this review and for reviewing the responsibility statement with them. If the proposal is approved, the decision and any conditions of the approval must be recorded in the County Deed Records for the property. The City of Portland is not liable if any of these actions are taken without the consent of the owner(s) of the property. In order to process this review, City staff may visit the site, photograph the property, or otherwise document the site as part of the review. I understand that the completeness of this application is determined by the Director. By my signature, I indicate my understanding and agreement to the Responsibility Statement.

Name of person submitting this application agrees to the above Responsibility Statement and acknowledges typed name as signature:

_____ Date: _____

Phone number: _____

Email this application and supporting documents to LandUseIntake@portlandoregon.gov | Submittal of locked or password protected documents will delay intake of your application. 2



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Carmen Rubio, Commissioner
Rebecca Esau, Director
Phone: (503) 823-7310
TTY: (503) 823-6868
www.portland.gov/bds

BDS – Conference Facilitator Summary Memo

Pre-Application Conference

Date: April 18, 2023

To: Michael Roberts, LRS Architects, 503-806-5147, mroberts@lrsarchitects.com

From: Matt Wickstrom, Conference Facilitator
Matt.Wickstrom@portlandoregon.gov, 503-865-6513

Case File: EA 23-013495

Location: 1715 NW COUCH ST

Property ID: R140859

Proposal: A Pre-Application Conference to discuss renovations to the existing Archdiocese Pastoral Center offices. Exterior improvements associated with the project include: rejoining the two buildings with a new entry lobby, stairway and elevator core, a new exterior stair and courtyard entry and replacement of garage and exit doors with new windows. This is a Contributing Resource in the Alphabet Historic District.

This conference summary report identifies the participants at the conference, provides an initial response to the issues and requirements for the proposed project with separate response from key bureau representatives. This memo identifies current land use review fee information and provides related information that may be helpful as the project moves from concept to completion.

Pre-Application Conferences are required for all major (Type III and IV procedure) land use reviews. The purpose of the conference is to inform the applicant of the substantive and procedural requirements of the Land Use Review, to identify the submittal requirements and documents this information for the applicant and all interested persons.

The information provided at the conference and included in this summary is based on the information that was submitted prior to and at the meeting and reflects regulations in effect at the time of the conference. The meeting is intended to convey information. It is not a public hearing and no land use decision is rendered at the conference. Interested persons may attend the conference and obtain copies of all the written information that is submitted and prepared for it.

You must submit your Land Use Review application within two-years of the Conference.

Conference date: March 14, 2023

Expiration of Conference: March 13, 2025

A. Comments from Bureau Representatives: The chart below identifies the staff who participated in the conference and/or who submitted written comments:

Response attached	Bureau	Responsibilities	Contact
Yes	BDS Land Use Services	Review of land use review	Tanya Paglia 503-865-6518
Yes	PBOT	Public Streets	Michael Pina 503-823-4249
Yes	BES	Sanitary sewer service, public and private stormwater management, drainageways and drainage reserves, source controls	Emma Kohlsmith 503-823-8427
Yes	BDS Site Development	Septic systems, private rights-of-way, geotechnical requirements, erosion controls	Ye Zhuang 503-823-7901
Yes	Water Bureau	Connections to public water	Kari Ann Spoon 503-865-6372
Yes	Fire Bureau	Access grades, fire hydrants, turnarounds	Jeff Herman 503-823-3045
Yes	Urban Forestry	Street trees	Amil Jakupovic 503-823-4491
No	devTeam Portland, BDS	Further information on devTeam Portland can be accessed at: Process Management - Major Projects Group Portland.gov	David Kuhnhausen 503-823-6770

Please refer to the memo from Tanya Paglia, Land Use Services for the list of application submittal requirements for the required land use review(s). Also, the attached responses from the City bureaus identify additional requirements that are pertinent to the land use review or a later Building Permit submittal.

If you have questions about comments included in this Pre-Application Summary Report, please contact the representative identified in the respective memo. Please note that staff comments are based on the information submitted at the time of application. If you have questions regarding the proposal beyond those covered in this summary report, or if your proposal changes in scope or configuration, a new Pre-Application Conference may be required or an additional Early Assistance application may be needed to provide responses to your follow-up questions.

B. Fees

Below is an estimate of land use fees that may apply to your proposal. Fees charged will be those in effect when the Land Use Review application is submitted. When more than one Land Use Review is requested, full fees are charged for each additional review. The fees below are current; however, fees will increase effective July 1, 2023. You may view the current [Land Use Review fees](#) at the following link: [Fee Schedules - Building Permit Costs, Trade Permit Costs and Other BDS Fees | Portland.gov](#)

Land Use Review Type	Estimated Fee
Type III Historic Resource Review	.038 of project valuation (min. fee \$5,789 /max fee \$31,257)

	+\$8,642 (combined service bureau fee)
	+\$1,796 (for each Design Modification)
	+ \$5,141 (for each Adjustment Review)

During the building permit process, Permit Fees will be charged for review of your permits and Systems Development Charges (SDCs) may be assessed for new development. An online fee estimator is available on the BDS website at the following link: [Estimate the Cost of Your Building Permit | Portland.gov](#).

C. Other Information

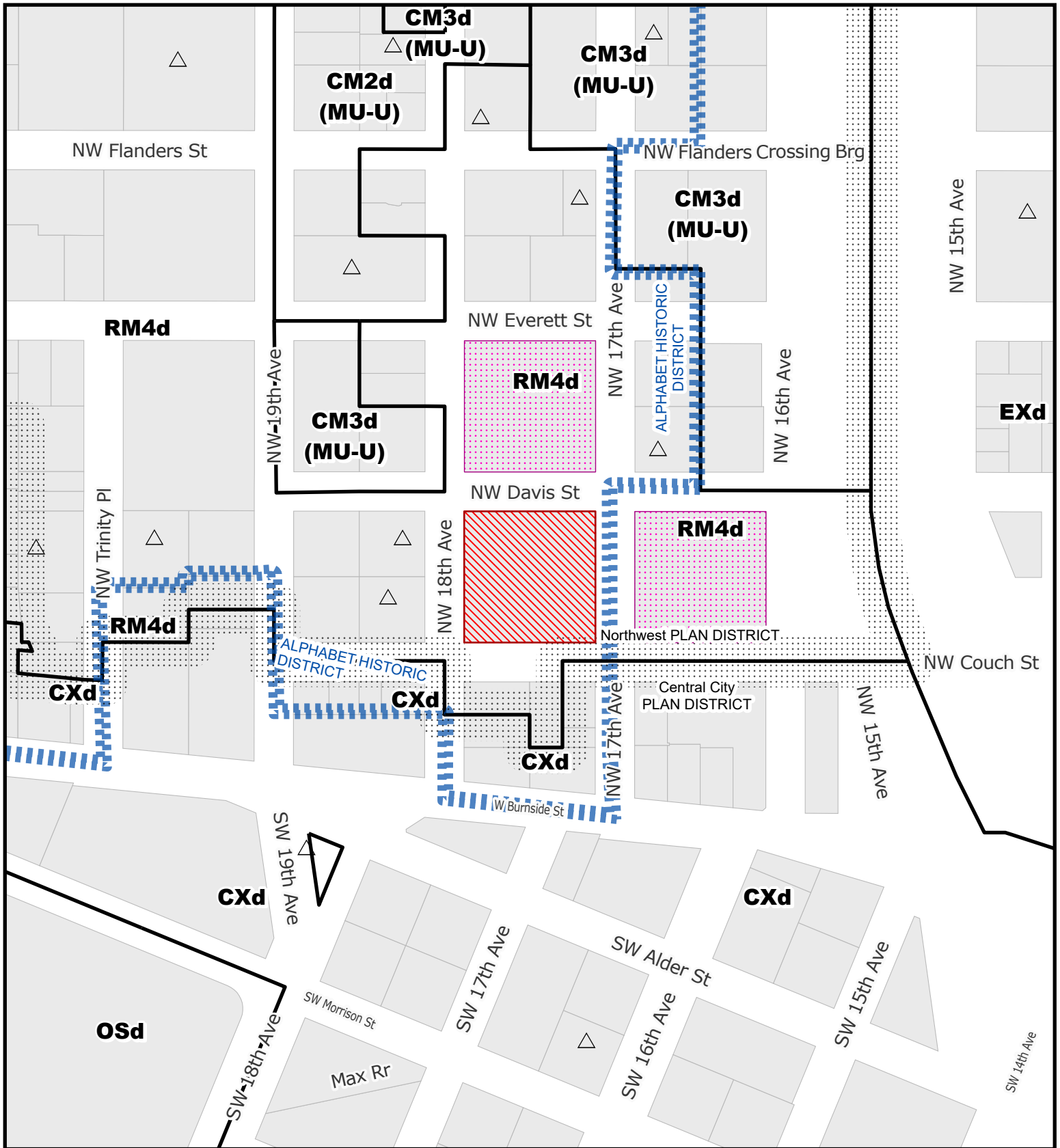
1. Preliminary Life Safety Plan Review Consultation: For Building Code/Life Safety information, you may sign up for a Preliminary Life Safety meeting. Information can be found at the following link: [Life Safety Preliminary Meeting Request Packet | Portland.gov](#)
2. Electric Service Requirements. Information on electric service requirements for properties served by PGE can be found at the following link: <https://www.portlandgeneral.com/construction/electric-service-requirements>; and information on electric service requirements for properties served by Pacific Power can be found at the following link: <https://www.pacificpower.net/working-with-us/builders-contractors/electric-service-requirements.html>

Please note that the service requirements included in these links may not cover all requirements associated with your project. Applicants should contact the PGE Service Coordinator at 503-736-5450 or the Pacific Power Business Center at 888-221-7070 to identify issues that are specific to your project and to coordinate electric service requirements.
3. PGE requires minimum clearances from electric wires, conductors and cables. Before building, please be aware of these clearances by calling PGE at 503-736-5450. For more information on the [PGE Minimum Clearance Requirements](#) use the following link: [Why You Should Respect Portland General Electric's Power Line Clearances | Portland.gov](#).
4. Portland Housing Bureau. The Housing Bureau provides financial assistance for various development phases to both nonprofit and for-profit affordable housing developers (typically multi-dwelling rental housing). For more information, go to the following link: <https://www.portland.gov/phb>.
5. Bureau of Planning and Sustainability. The Bureau of Planning and Sustainability delivers policy and programs related to green buildings, energy efficiency, renewable resources, waste reduction, and recycling. For more information on [Sustainability Programs and Services](#) in the Bureau of Planning and Sustainability go to the following link: <https://www.portlandoregon.gov/bps/67121>.
6. Energy Trust of Oregon. The [Energy Trust of Oregon](#) provides technical assistance and cash incentives for energy efficient design. For more information, go to the following link: <https://www.energytrust.org/>
7. Oregon Department of Energy. The [Oregon Department of Energy](#) Conservation Division provides information on a variety of programs to encourage energy conservation, including tax rebates and low-interest energy loans. For more information, go to the following link: <http://www.oregon.gov/energy/Pages/index.aspx>

Attachments:

- Zoning Map
- Site Plan
- Building Elevations – North and East
- Building Elevations – South and West

BDS Land Use Services Response
PBOT Response
BES Response
BDS Site Development Response
Water Bureau Response
Fire Bureau Response
Urban Forestry Response
Sign-in Sheet



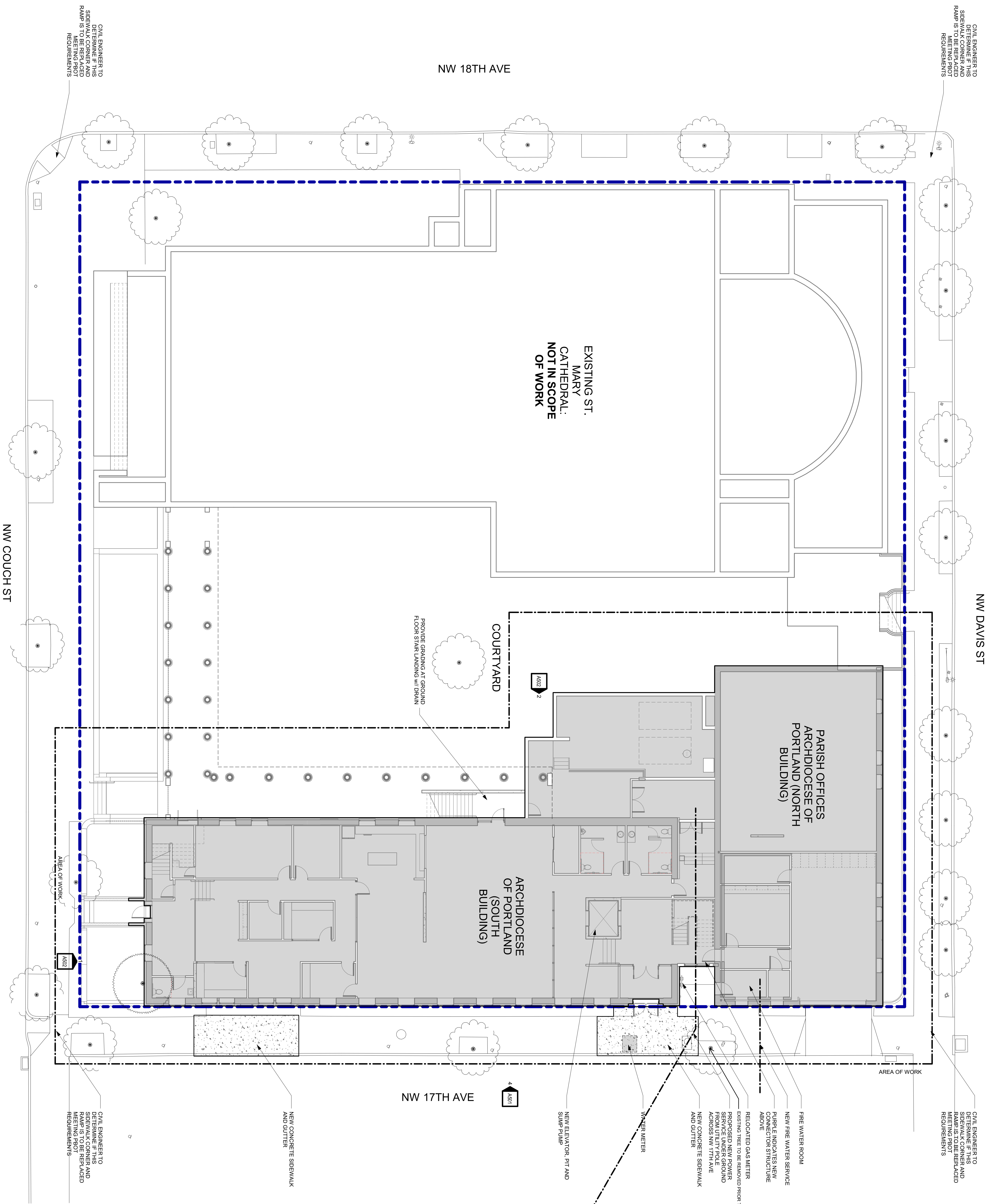
For Zoning Code in Effect Post October 1, 2022

ZONING

THIS SITE LIES WITHIN THE:
NORTHWEST PLAN DISTRICT
ALPHABET HISTORIC DISTRICT

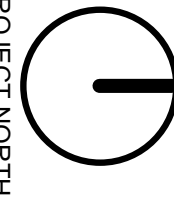
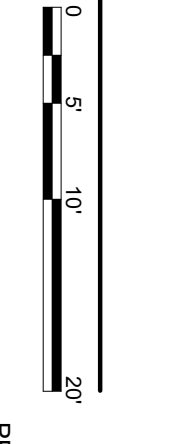
-  Site
-  Also Owned Parcels
-  Plan District
-  Historic District
-  Historic Landmark

File No.	<u>EA 23 - 013495 PC</u>
1/4 Section	<u>3028</u>
Scale	<u>1 inch = 200 feet</u>
State ID	<u>1N1E33DB 5400</u>
Exhibit	<u>B Feb 16, 2023</u>



1. 000 - OVERALL SITE PLAN

AWI SCALE: 1"=10'-0"



PROJECT NORTH

GENERAL NOTES

- A. SITE INFORMATION IS BASED ON OWNERS SURVEY
- B. ALL SURVEY INFORMATION INDICATING ALL EXISTING DIMENSIONS ARE TO BE VERIFIED BY THE ARCHITECT
- C. SEE A100 FOR STANDARD ACCESSIBILITY - ONLY
- D. REQUIREMENTS FOR DIMENSIONS ARE TO ARCHITECT'S REFERENCE ONLY. SEE CIVIL DRAWINGS FOR DIMENSIONS UNO.
- E. STREET PARKING DRIVE CUTS AND/OR PUBLIC UTILITY POLES ARE TO BE REMOVED PRIOR TO CONSTRUCTION. SEE CIVIL DRAWINGS FOR DIMENSIONS UNO.
- F. GENERAL LAYOUT OF THE BUILDINGS AND SITE ELEMENTS.
- G. OTHERS FOR PROPERTY LINE DIMENSIONS AND DIMENSIONS UNO. SEE CIVIL DRAWINGS FOR DIMENSIONS UNO.
- H. SEE CIVIL DRAWINGS FOR DIMENSIONS UNO.
- I. SEE CIVIL DRAWINGS FOR DIMENSIONS UNO.

KEYNOTES

- NEW FIRE WATER SERVICE
- PURPLE INDICATES NEW CONNECTOR STRUCTURE
- RELOCATED GAS METER
- EXISTING TREE TO BE REMOVED PRIOR TO CONSTRUCTION
- PROPOSED NEW POWER FROM UTILITY POLE ACROSS NW 17TH AVE
- NEW CONCRETE SIDEWALK AND GUTTER
- WATER METER
- NEW ELEVATOR PIT AND SWMP PUMP

LEGEND

- ○ ○ ○ SITE EGRESS PATH TO RIGHT OF WAY
- ★ MEANS OF EGRESS
- *R RESTRICTED ENTRY NOT ON PROPOSED ROUTE
- *P ROUTE ENTRY ON ACCESSIBLE ROUTE
- SITE POLE LIGHTING
- ⊕ BOLLARD LIGHTING
- ⊙ EXISTING SITE LIGHTING
- # NO. OF PARKING SPACES IN GROUP
- ↑ TRAFFIC ARROW
- hmo EXISTING FIRE HYDRANT
- hmo FIRE HYDRANT
- oc FIRE DEPARTMENT CONNECTION
- oc SPOT GRADE ELEVATION
- oc F.F. 123' FINISH FLOOR ELEVATION
- ▨ EXISTING CONCRETE SIDEWALK
- ▨ PROPOSED CONCRETE SIDEWALK
- ▨ EXISTING BUILDING
- ▨ AREA OF WORK
- ▨ SITE PROPERTY BOUNDARY
- ▨ SITE SETBACKS
- ▨ SITE EASMENTS

EARLY ASSISTANCE APPLICATION DRAWINGS

DRAWN BY: *Author*

SHEET TITLE:
ARCHITECTURAL SITE PLAN

PROJECT NUMBER:
221084
ARCHDIOCESE PASTORAL CENTER OFFICES

CONSULTANT:
URS ARCHITECTS

URS ARCHITECTS
720 NW Davis Street
Portland, OR 97209
503.221.1121
www.ursarchitects.com

A001
SCHEMATIC DESIGN
FEBRUARY 3, 2023

GENERAL NOTES

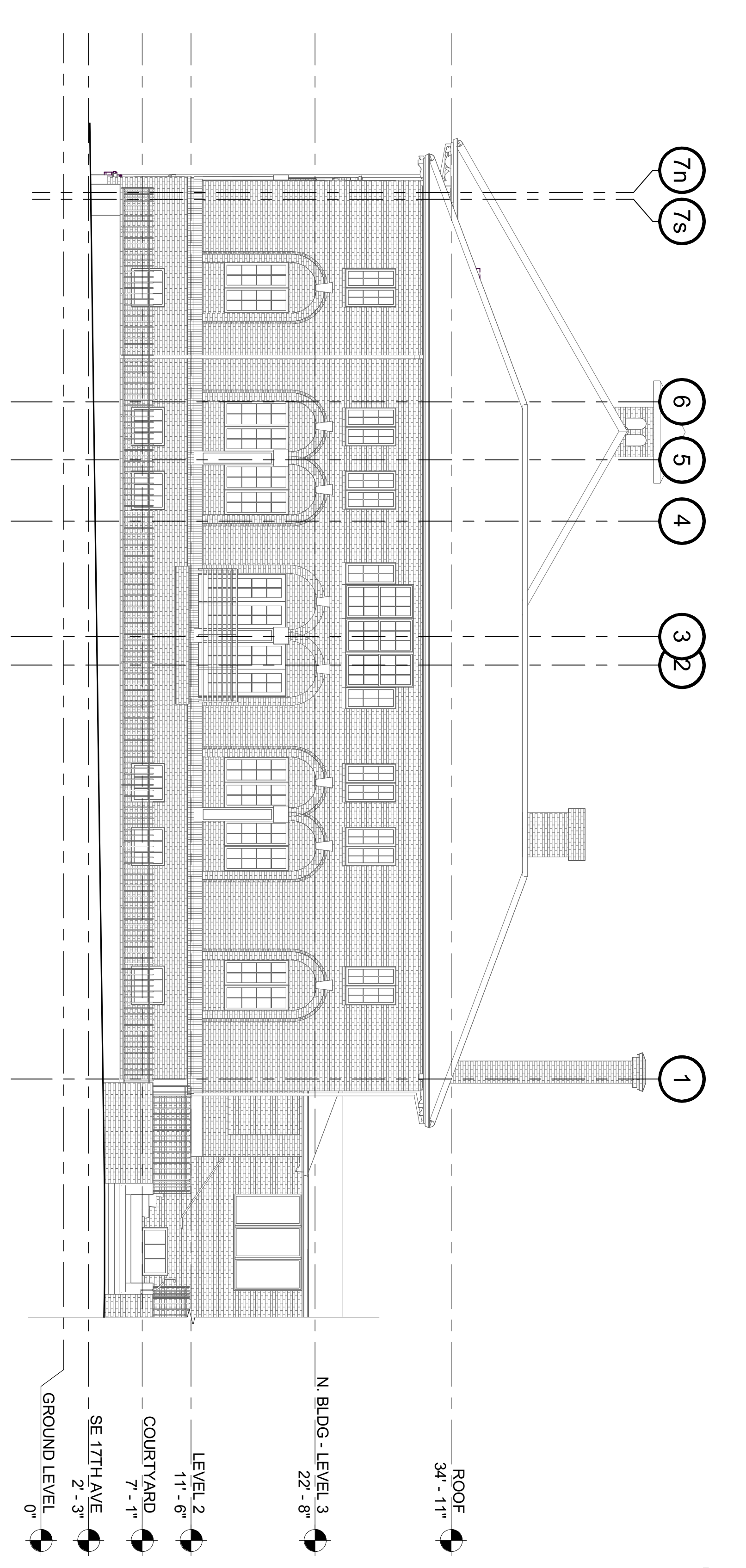
- SEE WALL SECTIONS FOR PARTIAL ELEVATIONS NOT SHOWN.
- SEE FLOOR PLANS FOR EXTERIOR DOOR AND WINDOW TYPES.
- SEE DOOR AND WINDOW TYPES / SCHEDULES FOR DEMO AND RELOCATED ELEMENTS.
- PAIN'T ALL NON-NOTED MISCELLANEOUS ITEMS TO MATCH ADJACENT MATERIAL OR FINISH COLOR AND TEXTURE TO CORRESPONDING FINISH SCHEDULES.

ARCHITECTS
 720 NW Davis
 Portland, OR 97209
 503.221.1121
 www.fsrarchitects.com

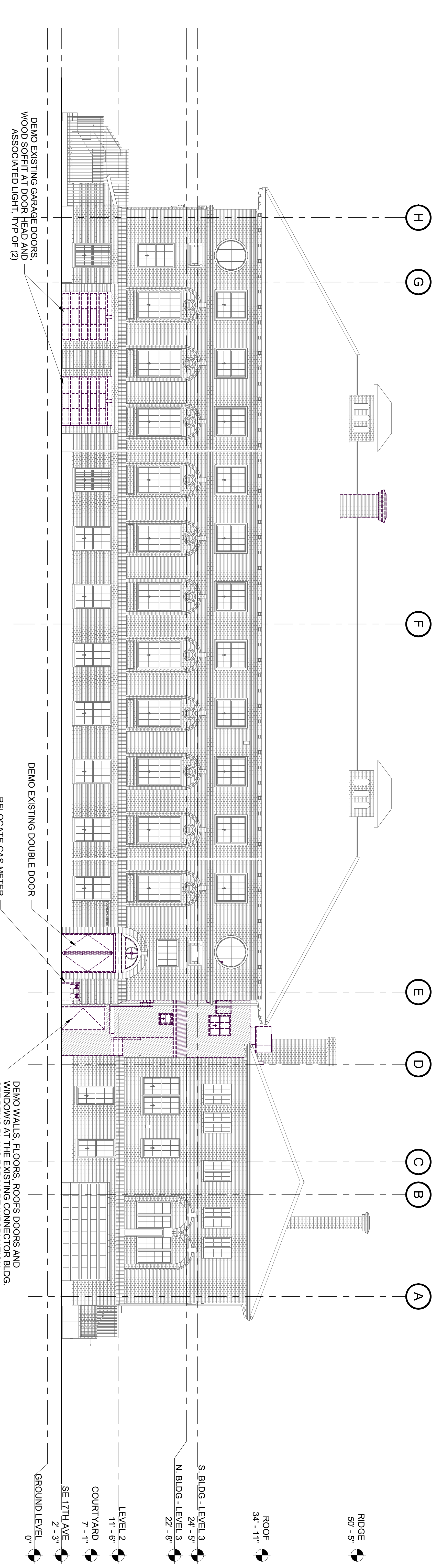
LEGEND

- EXISTING TO REMAIN (REFER TO KEYNOTES FOR MORE INFORMATION)
- DEMOLISHED OR TO BE RELOCATED (REFER TO KEYNOTES FOR MORE INFORMATION)
- DEMOLISHED ELEMENT

PRELIMINARY NOT FOR CONSTRUCTION



1. EXISTING NORTH ELEVATION
 ADJUST SCALE: 1/8" = 1'-0"



2. EXISTING EAST ELEVATION
 ADJUST SCALE: 1/8" = 1'-0"

SHEET TITLE:
 EXTERIOR ELEVATIONS - DEMO

PROJECT NUMBER: 221084
ARCHDIOCESE PASTORAL CENTER OFFICES
 1716 NW DAVIS STREET
 PORTLAND, OREGON 97209

CONSULTANT:

EARLY ASSISTANCE APPLICATION DRAWINGS

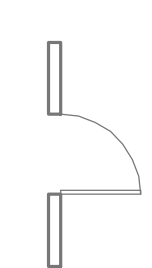
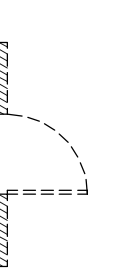
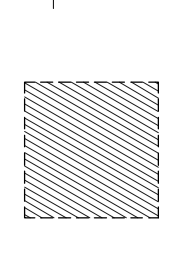
AD501

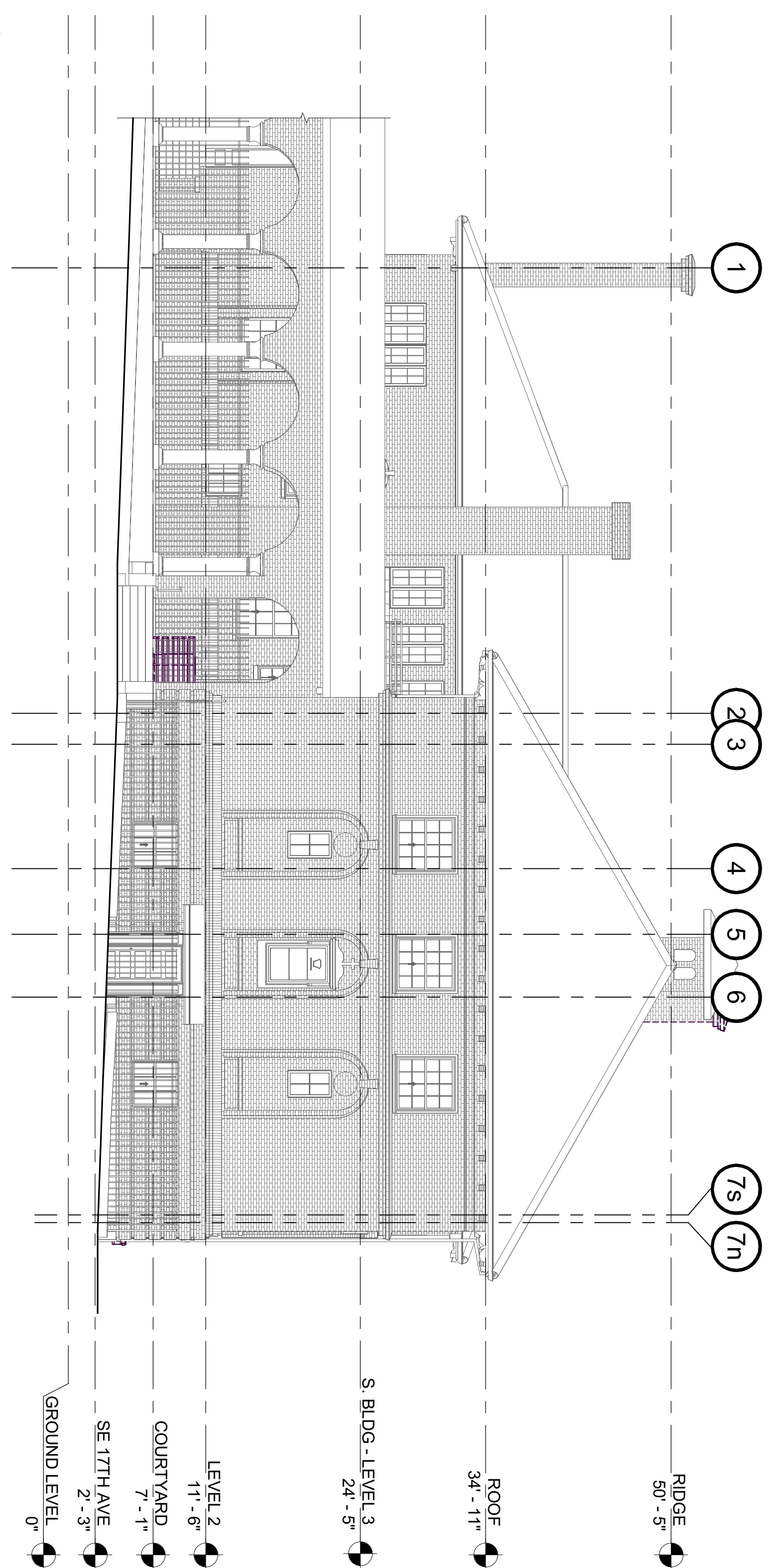
AD501
 SHEET
 SCHEMATIC DESIGN
 FEBRUARY 3, 2023
 JES KAMRANK, INC. © 2023
 EA-23-013495-PC

GENERAL NOTES

- A. SEE WALL SECTIONS FOR PARTIAL ELEVATIONS NOT SHOWN.
- B. SHOW FLOOR PLANS FOR EXTERIOR DOOR AND WINDOW TYPES.
- C. SEE DOOR AND WINDOW TYPES / SCHEDULES FOR DEMO AND NEW.
- D. PAINT ALL NON-NOTED MISCELLANEOUS ITEMS TO MATCH ADJACENT MATERIAL OR FINISH COLOR AND MATERIAL TO MATCH SURROUNDING MATERIALS OR SPRTI AREAS.

LEGEND

-  EXISTING TO REMAIN (REFER TO KEYED NOTES FOR MORE INFORMATION)
-  DEMOLISHED OR TO BE RELOCATED (REFER TO KEYED NOTES FOR MORE INFORMATION)
-  DEMOLISHED ELEMENT



1. EXISTING SOUTH ELEVATION
AS02 SCALE: 1/8" = 1'-0"



2. EXISTING WEST ELEVATION
AS02 SCALE: 1/8" = 1'-0"



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Carmen Rubio, Commissioner
Rebecca Esau, Director
Phone: (503) 823-7310
TTY: (503) 823-6868
www.portland.gov/bds

BDS – Land Use Planner Response

Pre-Application Conference

Date: April 10, 2023

To: Matt Wickstrom, Conference Facilitator
503-865-6513, Matt.Wickstrom@portlandoregon.gov

From: Tanya Paglia
503-865-6518, Tanya.Paglia@portlandoregon.gov

File No.: 23-013495

Location: 1715 NW COUCH ST

Tax Account: R140859

State ID Number: 1N1E33DB 05400

Proposal: A Pre-Application Conference to discuss renovations to the existing Archdiocese Pastoral Center offices. Exterior improvements associated with the project include: rejoining the two buildings with a new entry lobby, stairway and elevator core, a new exterior stair and courtyard entry and replacement of garage and exit doors with new windows. This is a Contributing Resource in the Alphabet Historic District.

The information provided at the conference and included in this response is based on the information you provided prior to and at the conference and reflects regulations in effect at the time of the conference. This response provides information and guidance only. It is preliminary in nature and based on the information the applicant provided to BDS staff. It is neither a land use review nor a final decision regarding this project. References are to the Portland Zoning Code available online at www.portlandonline.com/zoningcode.

Zoning:

- **Base:** RM4d, Residential Multi-Dwelling 4 base zone (33.120 Multi-Dwelling Zone)
- **Overlay(s):** Historic Resource Protection Overlay Zone (33.445), Design Overlay Zone (33.420)
- **Plan District:** Northwest Plan District
- **Pattern Area:** Inner
- **Pedestrian District:** Northwest Pedestrian District
- **Streets:** Adjacent streets are classified as follows:
 - NW Davis St is classified as a local service bicycle, pedestrian, transit, traffic, and design street.
 - NW Couch St is classified as a City Bikeway, Neighborhood Walkway, local service transit, traffic, and design street.
 - NW 17th Ave is classified as a local service bicycle, pedestrian, transit, traffic, and design street.
 - NW 18th Ave is classified as a Major City Bikeway, City Walkway, transit access, local service traffic, and design street.
- **Transit:** Considered "close to transit"

- **Corridors:** Adjacent streets (NW Davis St, NW Couch, NW 17th Ave, NW 18th Ave) are not designated Civic / Neighborhood Corridors
- **Neighborhood Plan:** Northwest District Plan
- **Historic Designation:** Contributing resource in the Alphabet Historic District and listed on the HRI.

A. KEY ISSUES AND REQUIREMENTS

The following issues and requirements have been summarized for the applicant to pay special attention to as they may impact the proposed project.

1. Historic Resource Protection Overlay Review Options

- a. **Historic Resource Review Track.** A Type III Historic Resource Review will be required for a project with a value > \$547,400 (and should the project value change, a Type II Historic Resource Review would be required for a project with a value ≤ \$547,400) based on the thresholds of table 846-3 of Section 33.846.060. Additional information about Historic Resource Review can be found below in the sections below, including Historic Resource Review submittal requirements in Section D.
- b. **Community Design Standards Track.** The proposal is not eligible to use the non-discretionary design standards track based on the thresholds in Section 33.445.510.

2. Historic Resource Review and Other Land Use Review Processes

- a. **Historic Resource Review Approval Criteria.** The applicable approval criteria are the *Alphabet Historic District Community Design Guidelines Addendum* and the *Community Design Guidelines* and can be found at portlandoregon.gov/designguidelines.
- b. **Additional Land Use Reviews.** Additional land use reviews can be requested in addition to the Historic Resource Review. The development standards of the Zoning Code are expected to be met. However, if a standard cannot be met, a *Modification* or *Adjustment* review can be requested. Please note, requests for Modifications or Adjustments must better meet the approval criteria **and** meet the purpose of the standard or demonstrate the preservation of the character of the resource is more important than meeting the purpose of the standard.
 - A **Modification** review may be requested for site-related standards (such as setbacks, size of loading spaces) that are not met.
 - An **Adjustment** review may be requested as part of the Historic Resource review for use-related development standards (such as floor area ratios, number of loading spaces, number of parking spaces) that are not met.

All additional land use reviews should be listed on the land use application, the respective fees paid, and a response provided that addresses the additional approval criteria listed in the relevant Portland Zoning Code Chapters.

- c. **Other Approval Criteria.** May apply if Modifications (Section [33.846.070](#)) or Adjustments (Section [33.805.040](#)) to development standards are requested.
- d. **Fee(s).** Current fee(s) for land use reviews can be found at [Land Use Services Fee Schedule](#).
- e. **Design Advice Request Recommended.** A Design Advice Request (DAR) is strongly recommended before the Historic Landmarks Commission. The items noted in Section A.3 below would be potential topics of discussion at the DAR meeting. Please refer to the *DAR Information Sheet* for process details and submittal requirements at portland.gov/bds/zoning-land-use/documents/design-advice-request-information-sheet.
- f. **Guide to Historic Resource Review.** You are encouraged to review the Guide to the Historic Resource Review Process prepared by the Historic Landmarks Commission, which provides guidance and expectations of the Historic Resource Review process. The guide can be found on the Landmarks Commission webpage at portland.gov/bds/landmarks/about-hlc.

- g. Certificate of Compliance.** Approval of a Historic Resource Review allows for the proposed work to be built. The expectation is that the building permit will reflect the project (including the details) that was approved. To ensure this, a Certificate of Compliance will be required at the time of building permit as indicated in a condition of approval. The Certificate of Compliance form can be found at portland.gov/bds/documents/certificate-compliance-design-and-historic-resource-review-approvals

3. Historic Resource Review Issues to Address

This preliminary feedback is a response to the information in your Pre-Application Conference submittal and based on the approval criteria of the Historic Alphabet District: Community Design Guidelines Addendum / Community Design Guidelines.

a. “Macro” Issues

- Architectural Coherency – The focus of the Historic Resource Review will be on maintaining the historic and architectural integrity of the building, whose historic name is the *Cathedral of the Immaculate Conception*. As a contributing resource within the Alphabet Historic District that is listed on the City’s Historic Resource Inventory, a significant addition such as the new connector should be compatible. The current tower design has a post-modern sensibility that isn’t quite working yet to make a cohesive composition with the historic structures. It needs to differentiate more fully while also not calling a great deal of attention to itself. Explore options such as a more sheer glass curtain wall with less framing materials at the edges and minimizing the muntins to lighten the expression. Also explore alternative roof forms as the hipped roof of the tower with no eaves on a heavily-glazed box seems like a blend of old and new, resulting in the post-modern character of the design. A DAR in front of the Landmarks Commission is highly suggested to work through the form and details of the new connecting structure. (CDGs P1, P2, D6, D7, D8) / (Alphabet District CDGA 2, 3).
- Windows – Replacing garage doors on the east elevation with windows is a benefit to the public realm. The new windows should match the muntin patterning of the existing windows. (CDGs P1, P2, D6, D7, D8) / (Alphabet District CDGA 2, 3).

b. “Mid” Issues

- Utility Transformers – If a new transformer will be needed, please note new requirements in Section 5.a. below, Electric Utility Provider Coordination (CDGs P2, E3, D6, D8) / (Alphabet District CDGA 3). New utility transformers should be located on-site as follows:
 - Within the building behind active uses or behind loading area, or
 - In underground parking garages, or
 - Underground below open space if the lid and associated no-build zone are integrated with the landscape design.
- Gas & Electric Meters – If new gas or electric meters will be needed, locate gas and electric meters inside the building to minimize their impact. Gas regulators may be placed on the building’s exterior and should be well integrated and, ideally, screened within the façade. (CDGs P1, P2, D6, D7, D8) / (Alphabet District CDGA 2, 3).
- Landscaping – Plan for sufficient space to support large shade trees and layered landscaping. Consider locating trees to the south and west of buildings to maximize their shade benefits. This area suffers from higher-than-average urban heat island effect, and as temperatures soar, large shade trees are increasingly critical to the health and comfort of residents and occupants. (CDGs D3)

c. “Micro” Issues

- Building materials – High quality, durable building materials that respond to the context of the surrounding area or district, are expected. At ground level facades facing pedestrian areas, provide robust materials that ensure longevity. (CDGs D8)
- Vents/Louvers & Mechanical – Vents through the roof are preferable. If wall-mounted on the facade, vents/louvers should be integrated into the windows openings. Associated mechanical units should be organized and screened. (CDGs P2, D6)
- Exterior Lighting – Exterior lighting should be integrated into the building’s overall concept and ensure a safe pedestrian condition along the adjacent sidewalk and within open spaces on the site. Exterior lighting can be used to highlight the building’s architecture, however, should not impact the skyline at night. (CDGs P2, D5)

4. Applicable Development Standards

Please note, meeting the minimum Title 33 standards does **not** ensure that a project will meet the Historic Resource Review approval criteria and receive approval. It is recommended you design to meet/exceed the approval criteria, and not begin with just meeting the minimum Title 33 standards.

- a. **Development standards that will apply to the project.** These include, but are not necessarily limited to, those from the following chapters in the Zoning Code (Title 33) and other City codes available online at portland.gov/code/33.

- [33.846 Historic Resource Review](#)
- [33.562 Northwest Plan District, Alphabet Historic District](#) - development standards in the plan and historic district may supersede those in the base zone and chapters below.
- [33.445 Historic Resource Protection Overlay Zone](#)
- [33.420 Design Overlay Zone](#)
- [33.266 Parking and Loading](#)
- [33.258 Nonconforming Upgrades](#)
- [33.248 Landscaping and Screening](#)
- [33.120 Multi-Dwelling Zone RM4d](#), Residential Multi-Dwelling 4 base zone with Design and Historic Resource Overlays
- [Title 32 Sign Code](#) – signs of any size within the Historic Resource overlay zone require a Historic Resource Review.
- [Title 11 Tree Code](#) – Exemptions for tree density and preservation of this Title only apply to private trees on properties zoned IH, on sites with more than 85% building coverage, and sites less than 5,000 SF in area.

- a. **Specific development standards to note for this project.** This list is not intended to be comprehensive. Always reference Title 33 for all applicable development standards and the exact language of each standard.

- Definition of Site (33.910). Nonconforming upgrades apply to a “site”. Site is defined as an ownership. Ownership is defined as one or more contiguous lots that are owned by the same person, partnership, association, or corporation. Ownership also includes lots that are in common ownership but are separated by a shared right-of-way.
- Nonconforming Development (33.258.070). Whenever a property owner or tenant makes interior or exterior improvements to a site totaling more than \$347,000 up to 10% of the project cost must be spent toward bringing the site into conformance with the Zoning Code and Tree Code. Mandatory improvements for fire, life safety, and accessibility do not count toward the thresholds. Installation of electric vehicle parking, seismic and some stormwater upgrades, as well as remediation of hazardous substances per state law also do not count toward the thresholds.

The following standards will be evaluated for compliance at the time of your permit review:

- a. Landscaping and trees required for the following areas:
 - Exterior display, storage, and work activity areas;
 - Setbacks for surface parking and exterior development areas;
 - Interior parking lot landscaping;
 - Existing building setbacks;
 - Minimum landscaped areas other than described above; and
 - Tree density standards of Chapter 11.50 for the site.
 - b. Pedestrian circulation systems, as set out in the pedestrian standards that apply to the site;
 - c. Bicycle parking by upgrading existing bicycle parking and providing additional spaces in order to comply with 33.266.220;
 - d. Screening of exterior mechanical equipment, and trash/recycling areas;
 - e. Paving of surface parking and exterior storage and display areas;
 - f. Title 11 Tree Density (for projects with exterior improvements).
- Exemptions from Historic Resource Review (33.445.200.D.2). Per our conversation, some of these exemptions will be applicable to non-conforming upgrades. The following are an example, but please see all exemptions under 33.445.200.D.2 for all relevant exemptions:
 - 33.445.200.D.2.a. Alterations that do not require a building, site, zoning, or sign permit from the City, and will not alter the exterior features of a resource having such features specifically listed in the Historic District documentation or National Register nomination as attributes that contribute to the resource's historic significance;
 - 33.445.200.D.2.g. Landscaping unless the landscaping is identified in the Historic District documentation or National Register nomination as an attribute that contributes to the resource's historic significance;
 - 33.445.200.D.2.h. Parking lot landscaping that meets the standards of this Title and does not include a wall or a fence;
 - Height. The site is located in the Northwest Plan District and height limits for the plan district supersede the base zone. However, for this site, per Map 562-4 / 33.562.210 the height limit is determined by the base zone. Per Table 120-3 / 33.120.215, in the RM4 zone the height limit is 75'.
 - FAR. The site is located in the Northwest Plan District and FAR limits for the plan district supersede the base zone. However, for this site, per Map 562-5 / 33.562.220 the FAR is determined by the base zone. Per Table 120-3 / 33.120.210, in the RM4 zone the maximum FAR is 4 to 1, except in Historic Districts and Conservation Districts, where the maximum FAR is 3 to 1.
 - Setbacks (33.120.220 and Table 120-3). In the RM4 zone, front building setback is 5'; buildings that are up to 55' tall have a minimum side and rear building setback of 5'. Buildings more than 55' tall have a 10' setback from a side or rear lot line that is not a street lot line and a 5' setback from a side or rear lot line that is a street lot line.

Maximum setback is 10' – at least 50% of the length of the ground level street-facing façade of the building must meet the maximum building setback standard. For a site that has street lot lines on three or more streets, the maximum setback standard only applies to two of the streets. The standard must be applied to the streets with the highest transit street classifications. If multiple streets have the same highest transit street classification, the applicant may choose on which streets to apply the standard.

- Building Coverage (33.120.225 and Table 120-3). The maximum building coverage for this site is a maximum 85% of the site area.
- Landscaped Areas (33.120.235 and Table 120-3). This site requires that 15% of the site area be landscaped. Required landscaped areas must be at ground level and comply with at least the L1 standard as stated in Chapter 33.248, Landscaping and Screening. The landscaped area must be at ground level or in raised planters that are used to meet minimum BES stormwater requirements. However, up to one-third of the required landscaped area may be improved for active or passive recreational use, or for use by pedestrians. Examples include walkways, play areas, plazas, picnic areas, and unenclosed recreational facilities. Any required landscaping, such as for required setbacks or parking lots, applies towards the landscaped area standard.

Urban Green alternative. Either of the following options may be used to meet up to 50% of the required landscaped area:

- a. Eco-roof area at a ratio of 4 square feet of eco-roof area for each square foot of required landscaped area. The eco-roof must be approved by the Bureau of Environmental Services as being in compliance with the Stormwater Management Manual.
 - b. Raised landscaped areas above the ground level when landscaped to at least the L1 standard with soil depth of at least 30 inches. Large trees are not allowed in raised landscape area used to meet this standard.
- 120-Day Historic Resource Delay. The building on the subject site is a ranked resource in the City's Historic Resource Inventory (HRI). Demolition of ranked resources in the City's HRI is subject to the 120-day delay as specified in Section 33.445.330.A and 33.445.340. For the purposes of these sections, demolition includes the following:
 1. Total demolition;
 2. An alteration that requires a demolition permit except for a demolition permit to relocate a structure;
 3. An alteration that results in the removal of 50 percent or more of any street-facing wall of a structure;
 4. Alterations that result in:
 - a. The removal of 50 percent or more of the total exterior wall area of a structure; and
 - b. The removal of 50 percent or more of the total roof area of a structure; or
 5. For structures that are not buildings, an alteration that results in removal of 50 percent or more of the structure.

Per Section 33.445.810, 120-day delay allows time for consideration of alternatives to demolition, such as restoration, relocation, or architectural salvage. 120-day delay is a nondiscretionary administrative process with public notice but no hearing. An application for a 120-day demo delay can be found here:

<https://www.portland.gov/bds/documents/application-historic-demolition-delay-or-removing-structure-portland-historic>.

Please note, the 120-delay application is a separate process from a demolition permit review. It has a \$514 fee. See this link for how to submit this application:

<https://www.portland.gov/bds/zoning-confirmation-letters-and-land-use-compatibility-statements>.

- Pedestrian Standards (33.120.255). This standard requires pedestrian connections from main entrances of buildings to adjacent street, and between buildings on sites and other areas such as parking and amenities.

All primary buildings located within 40 feet of a street lot line must have a connection between one main entrance and the adjacent street. This connection cannot be more than 120% or 20 feet longer than the straight-line distance whichever is less.

If the site has more than one street frontage the standard must be met to connect the main entrance of each building located with 40 feet from the street lot line to the closest sidewalk or roadway if there are no sidewalks.

An additional connection, which does not have to be a straight line connection, is required between each of the other streets and a pedestrian entrance. If at least 50 percent of a street facing façade is within 10 feet of the street, no connection is required.

Internal connections are required on sites larger than 10,000 square feet. The system must connect all main entrances on the site that are more than 20 feet from the street and provide connections to parking area, bike parking, recreational areas, common outdoor areas, and any pedestrian amenities.

Materials. The pedestrian circulation system must be hard surfaced and meet the following (edit for your project):

- The circulation system on sites with up to 4 residential units must be at least 3-feet wide.
- The circulation system on sites with 5-20 residential units must be at least 4-feet wide.
- The circulation system on sites with more than 20 residential units must be at least 5-feet wide.
- Segments of the circulation system that connect only to a building entrance providing access to up to four units may be 3 feet wide.

When the system crosses vehicle lanes, it must be separated from the vehicle surface by a different paving material, elevation changes, or other similar method. Striping alone does not meet the requirement. When the system is parallel to vehicle lanes, it must be raised by 4 inches, or separated by bollards, landscaping, or another physical barrier.

Lighting. The on-site pedestrian circulation system must be lighted to a level where the system can be used at night by the employees, residents, and customers.

5. Coordination with Other Agencies

Refer to individual responses from all participating bureaus, review groups and agencies for more detailed information.

a. Electric Utility Provider Coordination

- Utility Transformers – Plan for Power (new change for 7/1/22). Utility transformers should be located on-site, behind active use street frontage, behind at-grade loading docks, or in underground parking garages. Please consult with the Case Planner assigned to this Early Assistance appointment and coordinate with the utility providing electrical service to determine power needs, transformer sizing and transformer location. Please note this document [Guidance to Siting Electrical Transformers](#) and the below [Path to Siting Electrical Transformers](#).

If an agreement is made with the Land Use Case Planner, and a written acknowledgement from the Utility Provider is provided per the steps below, a transformer can be located in the ROW. Please note, [PBOT has a Design Exception Request per TRN 8.13](#) process for locating private use utility vaults in the public right-of-way, known as Utility Vault Exclusive Use for Development (UVE). Additional information can be found at portland.gov/transportation/development/utility-vault-permitting-and-leasing-development.

Path to Siting Electric Transformers

1. Planner communicates the following to applicant:
 - a. Plan for power on-site: contact your power company to understand your power needs (see contacts below). Specifically, the size of the utility provider's transformer and electrical room.
 - b. Identify your ground floor activation requirements (Zoning Code/land use approval criteria)
 2. If planner finds no Code or Design/Historic Resource Review issues with the proposed location for a transformer on site, transformer is located on site.
 3. If planner finds Code or Design/Historic Resource Review regulations not met with the proposed location[s] for a transformer on site:
 - a. Applicant works with power provider to identify other suitable locations on private property. If unsuccessful, applicant follows 'initial submittal' guidelines in TRN 8.13, co-signed by utility, to request locating transformer in a vault in the ROW (and city staff and applicant can get started on locating the vault to maximize trees and allow for utility needs); or
 - b. Applicant can pursue further discussion to study design solutions in a Design Advice Request or additional Early Assistance meetings to allow transformer on site.
 - If a solution is found, transformer is located on site.
 - If no solutions, follow step 3.a above.
- For properties served by PGE - portlandgeneral.com/construction/electric-service-requirements
 - For properties served by Pacific Power - pacificpower.net/working-with-us/builders-contractors/electric-service-requirements.html
 - Note that the service requirements included in these links may not cover all requirements associated with your project. Applicants should contact the PGE Service Coordinator at 503-736-5450 or the Pacific Power Business Center at 888-221-7070 to identify issues that are specific to your project and to coordinate electric service requirements.
 - PGE requires minimum clearances from electric wires, conductors and cables. Please be aware of these clearances by calling PGE at 503-736-5450. More information on PGE minimum clearance can be found at portland.gov/bds/documents/why-you-should-respect-portland-general-electrics-power-line-clearances
- b. Transportation (PBOT)**
- Garage entrance setback from property line. A "Driveway Design Exception" (DDE) by PBOT is required for garage entry doors to be located less than 20' from the property line to ensure that queuing in the ROW is minimized. The Historic Resource Review process supports garage doors to be located no more than 5' from the building façade.

A DDE application is required to be submitted to PBOT with or in advance of the Land Use Review because the DDE must be completed prior to issuance of a Land Use Review decision. The application and information can be found at portlandoregon.gov/transportation/77521
 - Public Works Permit – If PBOT requires a 30% Public Works Permit approval before their response to a Historic Resource Review, it should be noted that such approvals can often take longer than the Land Use Review process. Therefore, you are highly encouraged to initiate the Public Works Permit process before you submit the Historic Resource Review.
- c. Environmental Services (BES)**
- Stormwater Management. Stormwater management information, including infiltration tests, utility plans, stormwater facility designs, and site landscaping, must be submitted with the

Historic Resource Review application. BES needs to review these elements early to ensure there are no issues that could affect the building size, location or site design.

d. Fire / Life Safety

- Preliminary Life Safety Meeting. A separate, preliminary life safety meeting is very beneficial to identify critical life safety and building code issues early in the process and allow the Historic Resource Review proposal to address those issues. This meeting is encouraged prior to submitting the Historic Resource Review. More information and the application can be found at portland.gov/bds/documents/life-safety-preliminary-meeting-request-packet.
- Glazing and Energy Calculations. If large amounts of glazing are proposed, it is highly encouraged that energy calculations are done prior to submitting the Historic Resource Review, in case the building design is affected by energy code requirements.

e. Electrical Services

- Information for properties served by PGE can be found at portlandgeneral.com/construction/electric-service-requirements
- Information for properties served by Pacific Power can be found at pacificpower.net/working-with-us/builders-contractors/electric-service-requirements.html
- Please note that the service requirements included in these links may not cover all requirements associated with your project. Applicants should contact the PGE Service Coordinator at 503-736-5450 or the Pacific Power Business Center at 888-221-7070 to identify issues that are specific to your project and to coordinate electric service requirements.
- PGE requires minimum clearances from electric wires, conductors and cables. Please be aware of these clearances by calling PGE at 503-736-5450. More information on PGE minimum clearance can be found at portland.gov/bds/documents/why-you-should-respect-portland-general-electrics-power-line-clearances

- f. Urban Forestry** – Projects that require street tree preservation and planting should reach out to Urban Forestry early in the concept design phase to understand the requirements and process.

B. QUESTIONS RAISED AT THE MEETING

1. In our assessment this would follow a Type II LUR HR process. Please Confirm this procedure type.

Depending on the value of the project's exterior alterations, this could be a Type II or a Type III process. A Type III Historic Resource Review will be required for a project with a value > \$547,400 and a Type II Historic Resource Review would be required for a project with a value ≤ \$547,400 based on the thresholds of table 846-3 of Section 33.846.060.

2. Title 33 Non-conforming development upgrades will be triggered. Due to the multiple "sites" for the Archdioceses property, please prioritize a list of required improvements for owner and applicant.

For interior or exterior improvements to a site totaling more than \$347,000, up to 10% of the project cost must be spent toward bringing the site into conformance with the Zoning Code and Tree Code. See the list of standards that are candidates to be brought into conformance under the "Nonconforming Development" bullet in section A.4.b: "Specific development standards to note for this project". The applicant may choose which of these nonconforming standards to spend the money on in the order of their own choosing.

C. PREVIOUS LAND USE REVIEWS

As part of your application, address relevant conditions of approval from previous land use reviews on the site and discuss the current status of compliance. Below are the relevant land use case reviews that the City of Portland has on record for the subject site:

- [LU 21-090868 HR](#) – Historic Resource Review approval to replace two columns on the south elevation of the belfry at the top of the St Mary Catholic Cathedral Church bell tower.
- [LU 17-112471 CU](#) – Withdrawn proposal for new 6-story multi-dwelling building on north lot.
- [LU 17-112462 HR](#) – Withdrawn proposal for new 6-story multi-dwelling building on north lot.
- [LU 02-151409 CU](#) – Conditional Use approval for expansion of St. Mary’s Cathedral and an increase to the number of parking spaces on north lot.
- [LU 00-007364 CU AD](#) – Conditional Use approval for cathedral expansion with Adjustments to landscaping and setbacks on east lot.
- [LU 61-003662 CU](#) (ref. file CU 107-61) – Conditional Use approval for a parochial school and secondary religious building.

D. SUBMITTAL REQUIREMENTS FOR LAND USE REVIEWS

This list identifies the materials you must submit for your Land Use application to be considered complete. For additional details, see Zoning Code Section [33.730.060](#).

GENERAL

- Digital submittal required.
- For final drawings (C Exhibits) and Appendix set (APP Exhibits):
 - Use 11”x17” format
 - Leave a 1.5”x5” blank space at the bottom right corner for Staff to add the case number, exhibit number and stamp.
- Conduct a thorough review before submitting your drawing packet.
- Review all color quality in submittal to ensure it accurately represent the colors intended.
- When returning for a 2nd hearing, revisions to the prior submittals should be illustrated and clearly marked in a side-by-side comparison.

PROJECT INFORMATION & NARRATIVE

- Land Use Review application form
- Project team and project cost
- Project description
- Zoning summary
- Response to guidelines/approval criteria (Word doc.)
- Modifications and Adjustments requests & approval criteria responses (Word doc.)
- Response to DAR (narrative)
- Technical Reports - Stormwater Loading Analysis, Queuing Study, etc.

DRAWINGS

“C” Exhibits should represent proposed development/alterations and be at an architectural or engineering scale:

- Title Page
- Table of Contents
- Site Plan
- Floor and Roof Plans - roof plan should show all rooftop elements, including mechanical
- Elevations - B/W and color, and without shade or shadows, include material key, street-facing elevations in their immediate context, including adjacent buildings
- Building Sections - Include some depicting relationships to adjacent buildings
- Enlarged Details - windows/doors, storefronts, canopies, balconies, signage and their attachments, etc., control joints, seismic joints, and other visible construction details
- Materials / Colors - clearly identify each building material by name
- Landscape Plans

- Lighting Plans
- Civil Plans
- Cut Sheets - only pertinent product info like type, finish, color, dimensions

SUPPORTING INFORMATION

Appendix (“APP” Exhibits) should include information that supports the drawings:

- Renderings - day and night in context, must be simple and not enhanced marketing-type images, avoid dramatic lighting effects
- Context - plan area, urban (3-block radius), site
- Sightlines - sightline drawings from relevant vantage points
- Material Photos & Examples
- Massing & Design Concept
- Miscellaneous Diagrams - FAR, ground floor windows, clear vs. spandrel panels, height, Modifications, Adjustments, etc.
- Responses to DAR (diagram)

DIGITAL MODEL

Historic Resource Review proposals in a Historic or Conservation District in the Central City plan district that include new development or changes in the bulk of an existing building are required to submit a three-dimensional digital model with the Historic Resource Review application. The digital files required include:

- Sketch up Model (.skp File)
- 3-D Model plugged into Google Earth (.kmz File)

E. NEIGHBORHOOD NOTIFICATION

When you apply for a:

Type III Land Use Review, all property owners within 400 feet, and all neighborhood associations and recognized organizations within 1,000 feet of your site will receive notification of your proposal.

Type II Land Use Review, all property owners within 150 feet, and all neighborhood associations and recognized organizations within 400 feet of your site will receive notification of your proposal.

- The site is located within the neighborhood association of Northwest District, contact Greg Theisen at planningchair@northwestdistrictassociation.org
- The site is located within 1,000 feet of Pearl District, contact planning@pearldistrict.org. & Portland Downtown, contact Marian DeBardelaben at debardelabenmarian@gmail.com & Goose Hollow, contact at board@goosehollow.org neighborhood association.
- The site is located within the district neighborhood coalition of Neighbors West/Northwest, contact at admin@nwnw.org
- The site is located within the business association of Northwest Portland, contact at nobhillportland@gmail.com.

F. SUBMITTAL – LAND USE REVIEWS & PERMITS

PLEASE BE ADVISED - If a Land Use Review is required, permits for the work subject to the Land Use Review cannot be accepted until the Land Use Review approval is issued and recorded.

Land Use Reviews and other LUS applications:

When you are ready to submit a land use review application, please see the BDS Website at portland.gov/bds/land-use-review-fees-and-types/land-use-reviews-and-final-plat-applications for current submittal requirements. Currently, we are accepting electronic land use applications via email at LandUseIntake@portlandoregon.gov. A Land Use Services technician will contact you with instructions for providing payment for emailed applications.

Permits:

When you are ready to submit a permit, please see our website for updated information on how to apply for permits at portland.gov/bds/permit-review-process/apply-or-pay-permits.



1900 SW Fourth Ave., Suite 5000 Portland, OR 97201 503-823-5185
Fax 503-823-7576 TTY 503-823-6868 www.portlandoregon.gov/transportation
Mingus Mapps Commissioner Tara Wasiak Interim Director

PBOT – Development Review Pre-Application Conference Response

Date: March 16, 2023

To: Michael Roberts, LRS ARCHITECTS
503-806-5147, mroberts@lrsarchitects.com

From: Michael Pina, PBOT Development Review
503-823-4249, Michael.Pina@portlandoregon.gov

Case File: EA 23-013495

Location: 1715 NW COUCH ST

R#: R140859

Proposal: A Pre-Application Conference to discuss renovations to the existing Archdiocese Pastoral Center offices. Exterior improvements associated with the project include: rejoining the two buildings with a new entry lobby, stairway and elevator core, a new exterior stair and courtyard entry and replacement of garage and exit doors with new windows. This is a Contributing Resource in the Alphabet Historic District.

Portland Bureau of Transportation/Development Review (PBOT) staff has reviewed the pre-application conference materials to identify potential issues and requirements.

A. KEY ISSUES AND REQUIREMENTS

- 17.88.020 has two thresholds in which frontage improvements and dedications are triggered; and Increase in Occupancy and Significant Alteration, defined in 17.88.010. The proposed renovation is not considered an increase in Occupancy; and with a Significant Alteration threshold of \$3,944,958.50, a project valuation of approximately \$748,000 is not anticipated to trigger frontage improvements.
- However, the applicant has proposed to voluntarily upgrade a few ADA ramps and reconstruct the driveway intersection treatment at NW 17th Ave. This is to be reviewed under a Public Works permit, which is to receive 30 percent concept approval and bond payment at time of building permit.

B. GENERAL COMMENTS

TSP Classifications: At this location, the City’s Transportation System Plan (TSP) classifies the abutting street(s) as follows:

Street Name	Traffic	Transit	Bicycle	Pedestrian	Freight	Emergency Response	Street Design
NW Couch St	Local Service	Local Service	City Bikeway	N’hood Walkway in a Ped. Dist.	Local Service	Minor Response	Local Service
NW 18 th Ave	Local Service	Transit Access St	Major City Bikeway	City Walkway in a Ped. Dist.	Local Service	Secondary Response	Local Service
NW Davis St	Local Service	Local Service	Local Service	Local Service in a	Local Service	Minor Response	Local Service

NW 17 th Ave	Local Service	Local Service	Local Service	Ped. Dist. Local Service in a Ped. Dist.	Local Service	Minor Response	Local Service
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Existing Improvements: At this location, according to the City’s GIS data, the site’s abutting Rights-of-Way (ROW) are improved as follows:

Street Name	ROW Width*	Roadway Width*/Condition	Pedestrian Corridor Width*/Configuration			
			Curb	Furnishing	Sidewalk	Frontage
NW Couch St	60-ft	36-ft, paved	0.5-ft	N/A	9-ft	2.5-ft
NW 18 th Ave	60-ft	36-ft, paved	0.5-ft	N/A	8.5-ft	3-ft
NW Davis St	60-ft	36-ft, paved	0.5-ft	3.5-ft	6-ft	2-ft
NW 17 th Ave	60-ft	36-ft, paved	0.5-ft	N/A	9-ft	2.5-ft

NOTE: The applicant is advised the information contained herein is derived from City GIS and other databases typically used by city staff, as well as information from the applicant. It has not been confirmed via a survey. This evaluation is not implied to be more accurate than the sources that the information was obtained from. It is the applicant’s responsibility to provide a current survey to document the location of the abutting rights-of-way to challenge any anticipated dedication amount that is being required.

1. ROW Improvement Requirements: In accordance with Title 17.88.020.A outlines two thresholds in which frontage improvements are necessary to accommodate the City’s pedestrian corridor standards; one of which is a “Significant Alteration”, defined as “changes to a property that are 35 percent or greater than the assessed value of all improvements on the site. Mandatory improvements for fire, life safety and accessibility do not count towards the threshold” (17.88.010). According to PortlandMaps, the most recent assessed improvement value for the property is \$11,271,310. Therefore, the Significant Alteration threshold is \$3,944,958.50. During the meeting, the applicant noted that the stated valuation of \$748,000 is for exterior only and does not account for the total project valuation. Therefore, the applicant requests information regarding required frontage improvements if the project triggers the Significant Alteration threshold, described below.

- **Corners / ADA Receiving Ramps:** The subject site’s four corners will be required to be reconstructed to meet current ADA standards.

The applicant’s plan materials also showed a fifth ADA ramp on the east side of NW 17th Ave to be reconstructed. Although this lot is under the same ownership, it is not abutting the project site. With reconstruction of the “Driveway” intersection treatment at NW 17th Ave and NW Davis, PBOT encourages this ADA ramp also be reconstructed as it does not meet current standards.

- As noted above, the existing driveway treatment for the NW 17th intersection does not appear to meet ADA cross slope, therefore also required to be reconstructed in the same treatment design.

2. Driveways and Curb Cuts: Curb cuts and driveways must meet the requirements of Title 17.28.110 and TRN 10.40. Due to the removal of the two parking areas (garage doors) on the southern portion of NW 17th Ave, this curb cut shall be closed as proposed. The existing curb cut along the northern portion of NW 17th Ave will not be required to be reconstructed but will need a Driveway Design Exception (DDE) due to being closer than 25-ft to the intersection, approved prior to PBOT’s support of the land use case. Additional information and application materials for a DDE is found at: <https://www.portlandoregon.gov/transportation/article/655804>

3. Electrical Service: The applicant asked about the possibility of undergrounding electrical service under NW 17th Ave. Development Review staff reached out to PBOT's Utility group to get their response, to which they replied "Overall the direction would be to have the applicant work with PGE on what the power needs are for the building and any designs. That talk will likely dictate if the aerial transformer is enough or if they will need to underground a transformer. If they decide on a transformer vault that would need to be on property. If the aerial transformer is enough, the option of undergrounding the conduit is feasible. All conduit (for either option) would need to be parallel or perpendicular to the ROW." The applicant is encouraged to contact Andrew Wightman, Engineering Tec III, at andrew.wightman@portlandoregon.gov.

4. Public Works Response:

Kelly Youngberg, Senior Engineering Associate, kelly.youngberg@portlandoregon.gov

Staff has not received a response at time of this response but will relay any information provided. Alternatively, the applicant is encouraged to contact the Public Works Project Manager above for any questions on the Public Works submittal requirements. General information on the Public Works process can be found here:

<https://www.portlandoregon.gov/index.cfm?&c=53147>.

C. BUILDING PERMIT INFORMATION

At the time of permit review (following the land use review) you should be aware of the following:

1. System Development Charges (SDCs) may be assessed for this development. To receive an estimate of the SDC amount, the applicant is advised to leave a voicemail message to include the case file number, at (503) 823-7002, Option 2. Additional information about PBOT SDCs can be found at: <https://www.portlandoregon.gov/transportation/46210>.
2. For right-of-way improvements less than 100 liner feet, a Minor Improvement Permit (MIP) will be required for reconstruction of the sidewalk. For projects 100 liner feet and greater and or include a corner or BES stormwater element, a Public Works permit would be required, in which must be designed by an Oregon licensed civil engineer. For more information on the Public Works process, call (503) 823-1987 or email pwp@portlandoregon.gov.
3. The applicant is advised that the City cannot guarantee the accuracy of location of utilities in the street, and that the information used by the City and furnished to the applicant or their representatives may be incorrect. Verification of private and public utility locations, as well as the responsibility for any and all damage caused by work in the right-of-way, will be the responsibility of the permittee at the time of performing work and right-of-way improvements associated with their project.
4. When proposed development will prohibit use of an area of within the public right-of-way, a separate street temporary closure permit will be required. Additionally, closures that do not allow safe passage and unobstructed flow of normal public use in a partially open area or lane, will also require a City approved Traffic Control Plan. For information on obtaining a separate temporary street closure permit, please contact: <http://www.portlandoregon.gov/transportation/permitting> (503-823-7611), for an application, general information, cost and submittal information Jesse Long (503-823-7611) Jesse.Long@portlandoregon.gov.



Pre-Application Conference Response

Date: March 24, 2023
To: Matt Wickstrom, Conference Facilitator
503-865-6513, Matt.Wickstrom@portlandoregon.gov
From: Emma Kohlsmith, BES Systems Development
503-823-8427, Emma.Kohlsmith@portlandoregon.gov
Case File: EA 23-013495
Location: 1715 NW COUCH ST
R#: R140859
Proposal: A Pre-Application Conference to discuss renovations to the existing Archdiocese Pastoral Center offices. Exterior improvements associated with the project include: rejoining the two buildings with a new entry lobby, stairway and elevator core, a new exterior stair and courtyard entry and replacement of garage and exit doors with new windows. This is a Contributing Resource in the Alphabet Historic District.

The Bureau of Environmental Services (BES) has reviewed the submitted materials to identify potential issues and requirements and provide the following comments. Some references to Portland City Code (PCC) are included below; the applicant may refer to the Auditor's Office [Online Charter and Code](#).

A. SANITARY SERVICE

1. *Sanitary Infrastructure:* According to available GIS data, the following sewer infrastructure is located in the vicinity of the project site:
 - a. 12-inch PVC combined gravity main in NW Davis Street (BES as-built # E08880).
 - b. 10-inch VSP combined gravity main in NW Couch Street (BES as-built #0097).
2. *Connection Requirements:* If proposed, connections to the City sewer system must meet the standards of the City of Portland's [Sewer and Drainage Facilities Design Manual](#), [PCC 17.32.090](#), administrative rules [ENB-4.07](#) and [ENB-4.17](#), and all other relevant City codes and rules. Sanitary sewage from private property must be separately conveyed to the property line and connected through individual laterals for discharge to the City separate sanitary or combined sewer. Per [ENB-4.07](#), sewer connection permits are required to make new connections to City mains and laterals, relocate or upsize existing laterals, and repair sewers in City right-of-way. The permittee is responsible for verifying the location, depth and size of an existing sewer lateral and for ensuring the lateral is clear of obstructions prior to connection.

B. STORMWATER MANAGEMENT

1. *Stormwater Infrastructure:* According to available GIS data, the following stormwater infrastructure is located in the vicinity of the project site:
 - a. Public 72-inch storm-only main in NW 17th Avenue (BES as-built #5500).
 - b. Currently, stormwater from the public right-of-way discharges to combined sewer inlets in NW Couch St and NW Davis St.
2. *General Stormwater Management Requirements:* Development and redevelopment sites that include any of the triggers listed in PCC 17.38.040 are subject to the policies and

standards of PCC 17.38.035, Portland's [Stormwater Management Manual](#) (SWMM) and [Source Control Manual](#) (SCM). Projects must comply with the current adopted version of the SWMM as of the permit application date. A fundamental evaluation factor in the SWMM is the Stormwater Infiltration and Discharge Hierarchy (Section 1.3.3), which sets the framework that will be used to determine when a project's stormwater runoff must be infiltrated onsite and when offsite discharge will be permitted, and the parameters that must be met for either scenario. If tested infiltration rates on a property are greater than or equal to 2 inches per hour, onsite infiltration will be required unless the site qualifies for the ecoroof exception per Section 3.2.1 or infiltration is determined infeasible based on site conditions described in Chapter 2 of the SWMM. Note that maximum building coverage allowed by the zoning code, including below grade development, does not exempt the applicant from stormwater requirements. Pollution reduction and flow control requirements must be met using vegetated facilities to the maximum extent feasible, though roof runoff and some paved impervious surfaces are exempt when discharging directly to a UIC (refer to Sections 1.3.2, 1.3.4, 3.2.4 and 4.2.2 of the SWMM).

3. *Public Right-of-Way Stormwater Management:* Stormwater runoff from the public right-of-way must comply with all applicable standards of the SWMM and Sewer and Drainage Facilities Design Manual and be conveyed to a discharge point along a route of service approved by the BES Director or the Director's designee. Additional guidance on meeting the 2020 SWMM for projects in the public right-of-way is available at <https://www.portland.gov/bes/stormwater/swmm-and-right-way-projects>.
 - a. Under the 2020 SWMM, sidewalk improvements behind an existing curb that create or replace 500 SF or more of impervious area are no longer exempt from stormwater management requirements unless they fall under a specific exemption described in Section 1.2.1.2 of the SWMM. Based on the scope of PBOT requirements, the length of project frontage and existing conditions, BES does not expect that the required sidewalk improvements will exceed 500 SF of triggered impervious area. However, if the scope of work changes or future analysis shows that the triggered area will exceed 500 SF, then the applicant should note that this area is eligible to pay an Offsite Stormwater Management Fee in lieu of building a stormwater facility through the Staff Review Special Circumstances (SRSC) process. Refer to Section 1.8.1 of the SWMM and contact BES Development Engineering staff to confirm SWMM requirements.
4. *Private Property Stormwater Management:* Stormwater runoff from this project must comply with all applicable standards of the SWMM and SCM and be conveyed to a discharge point along a route of service approved by the BES Director or the Director's designee.
 - a. *SWMM Triggers:* Stormwater management requirements described in the SWMM are triggered for projects that develop or redevelop greater than 500 SF of impervious area. Pavement removal and replacement within an existing paved area will trigger stormwater management requirements only if soil (subgrade) is exposed or the pavement is replaced with a different material. Vertical additions to a structure within the existing building footprint will trigger the SWMM if the addition exceeds 10,000 SF. Stormwater management requirements are not triggered for re-roofing or repairs of an existing roof. Adding or modifying decking or paving material over an existing impervious surface does not trigger SWMM requirements. The applicant may refer to Section 1.2.1 of the SWMM and coordinate with BES staff for information on what qualifies as development and redevelopment for this project. Note that some or all of the proposed work may fall under an exemption as described in Section 1.2.1.2 of the SWMM.
 - b. *Stormwater Report:* If the proposed improvements will trigger the SWMM, then with the land use application, the applicant must submit a stormwater report and preliminary utility plan showing stormwater management facilities sized according to SWMM standards. The applicant should refer to Section 2.1.2 of the SWMM and/or coordinate

with BES staff to determine the appropriate design approach for this project. Unless onsite infiltration is deemed infeasible based on site conditions described in Section 2.2.5 of the SWMM, infiltration testing results must be included with the submitted stormwater report. Refer to Section 2.3.2 to determine the appropriate infiltration testing method for the proposed project.

5. *Clean River Rewards Program*: Clean River Rewards, Portland's stormwater discount program, offers discounts up to 100% of the City's onsite stormwater management charge to ratepayers who manage stormwater runoff on their property. Please note that this discount is not automatically applied; ratepayers must register their property and describe how stormwater is being managed to qualify. Be aware that some properties discharging to the Multnomah County Drainage Districts (within the Columbia Slough watershed) are not charged an onsite stormwater management fee by the City and are therefore ineligible to register for this program. See the [Clean River Rewards website](#) or call 503-823-1371 for more information.

C. GENERAL PUBLIC WORKS PERMIT INFORMATION

For questions related to the public improvements described throughout these notes, please contact Andre Duval at (503) 823-7214 or andre.duval@portlandoregon.gov or the BES Development Engineering hotline at (503) 823-7761, option 3.

1. *General Public Works Permit Information*: Information on the City's public works permit (PWP) process, including submittal requirements and review timelines, is available at www.portlandoregon.gov/publicworks. All submitted public works plans must meet the City's Sewer and Drainage Facilities Design Manual (SDFDM), SWMM, and public works permitting plan submittal requirements and drafting standards. Contact Public Works Permitting at (503) 823-1987 or pwp@portlandoregon.gov with questions related to the general public works permit process.
2. *Hazardous Substances Code*: The City's Hazardous Substances Code (PCC 17.24.067) requires the excavation and removal of disturbed contaminated soils from right-of-way access areas and utility corridors. The soils must be replaced with clean fill at a minimum depth of 5 feet. A demarcation/contaminant barrier is also required when it has been determined the soils are contaminated at depth. Erosion control measures for contaminated soils (Section 8.2.1 of the SCM) must be met. Soil stockpiles must be covered and contained with a barrier on all four sides, with an impervious layer underneath the stockpile to inhibit contaminants from leaching back into the soil.

D. SUBMITTAL REQUIREMENTS FOR LAND USE

1. Full land use plan set, including preliminary utility plan.
2. If the SWMM is triggered, a stormwater report as described in this memo.

E. PERMIT INFORMATION

At the time of permit review the applicant should be aware of the following:

1. *Connection Fees*: Sewage system connection fees and system development charges are assessed at the time of building plan review and change every fiscal year on July 1st. For additional information on these fees, navigate [here](#) or call the BES Development Review Team at 503-823-7761.
2. *Connection Requirements*: Connection to public sewers must meet the standards of the City of Portland's [Sewer and Drainage Facilities Design Manual](#).
3. *Source Control Requirements*: Source control requirements from the [Source Control Manual](#) (SCM), [Portland City Code \(PCC\) Title 17](#), and [BES Administrative Rules](#) that may be applicable to this project are listed below with the corresponding chapter, section, code, or

rule. For specific questions on the following, please contact BES Source Control at 503-823-7122.

- a. *Site Use and Activity-Based Source Control Requirements (SCM Chapter 6)*: BES recommends the applicant review the following SCM sections to understand the structural, treatment, and operational BMP requirements that may impact the project design.
 - 1) *Waste and Recycling Storage (SCM Section 6.1)*
- b. *Site Dewatering Requirements (SCM Chapter 9, [PCC 17.34](#), [PCC 17.36](#), [PCC 17.38](#), [PCC 17.39](#), [ENB 4.32](#))* BES evaluates requests for temporary and long-term stormwater and groundwater dewatering discharges into the city sewer system for approval or denial. See Appendix 1 of the SCM for the Construction Dewatering Discharge Application Form. If approved, a Discharge Permit for the storm or combined sewer may be required.
 - 1) Fees are assessed for temporary construction discharges to the public sewer system – navigate [HERE](#) for current rates and information about dewatering as it relates to [construction projects](#).
 - 2) Construction discharges to City UICs are prohibited.
 - 3) Construction discharges to private UICs (e.g., drywells or soakage trenches) must be authorized by DEQ's UIC Program.



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Carmen Rubio, Commissioner
Rebecca Esau, Director
Phone: (503) 823-7310
TTY: (503) 823-6868
www.portland.gov/bds

Site Development

Early Assistance Conference Response

Date: March 24, 2023

To: Matt Wickstrom, Conference Facilitator
503-865-6513, Matt.Wickstrom@portlandoregon.gov

From: Ye Zhuang, 503-823-7901
Ye.Zhuang@portlandoregon.gov

Case File: EA 23-013495

Location: 1715 NW COUCH ST

R#: R140859

Proposal: A Pre-Application Conference to discuss renovations to the existing Archdiocese Pastoral Center offices. Exterior improvements associated with the project include: rejoining the two buildings with a new entry lobby, stairway and elevator core, a new exterior stair and courtyard entry and replacement of garage and exit doors with new windows. This is a Contributing Resource in the Alphabet Historic District.

The Site Development Section of the Bureau of Development Services (BDS) has reviewed the pre-application conference materials and has not identified potential issues and major requirements with the exception of minor erosion control submittals at the time of building permit application.

Water Bureau

Early Assistance Appointment Response

Date: March 14, 2023

To:

From: Kari Ann Spoon, 503-865-6372, KariAnn.Spoon@portlandoregon.gov

Case File: EA 23-013495

Location: 1715 NW COUCH ST

Property ID: R140859

Proposal: A Pre-Application Conference to discuss renovations to the existing Archdiocese Pastoral Center offices. Exterior improvements associated with the project include: rejoining the two buildings with a new entry lobby, stairway and elevator core, a new exterior stair and courtyard entry and replacement of garage and exit doors with new windows. This is a Contributing Resource in the Alphabet Historic District.

The Portland Water Bureau (PWB) has reviewed the Early Assistance materials to identify potential issues and requirements.

A. WATER AVAILABILITY

1. Water is available to this site from the 8" water main in NW 17th Ave, the 12" water main in NW Davis, the 8" water main in NW Couch, and the 6" water main in NW 18th Ave. The static water pressure is estimated as 47 - 59 psi at 92 feet in elevation.
2. The site/building is currently served through a 1.5" meter on a 2" service from NW 17th Ave. The other building on the lot is served by a 6" fire line and 1" domestic meter.
3. The proposed fire line location in NW 17th appears to be in an approvable location based on the preliminary information submitted. A Premises-Isolation backflow prevention will need to be installed the immediate inside wall of the building.
4. Service line and meter sizes are determined by the total fixture units being served by that line and meter.

If the services are found to be inadequate, they will be resized at the expense of the applicant. If an existing service is not used for the new development, it must be removed. All fees to remove services are the responsibility of the applicant.

Submission of the fixture count is required at permit application. Please refer to the [W3](#) and [W4](#) forms on our website for more information.

5. If public improvements occur at the corner of NW Davis and NW 17th, the existing hydrant at that corner may need to be adjusted or fully reconstructed at the expense of the developer to maintain City standards.

B. OTHER CATEGORY

1. Premises-Isolation backflow prevention installation location will be at the immediate inside wall of the building.
2. Backflow prevention assemblies are required for all dedicated irrigation services, dedicated fire lines, mixed-use/multi-tenant developments, certain occupancies, and meters larger than 1.5". A backflow assembly may be required on smaller services based on the use of the property. Dedicated fire sprinkler water services are to be equipped with a state-approved detector style backflow prevention assembly.

Backflow prevention assemblies can significantly impact property frontage development. Water Bureau required backflow assembly installations are required on private property, at the public right of way line, centered on the city's water service. Some installations are required to be installed above finished grade in an approved insulated outdoor enclosure. Assemblies installed inside of buildings must be approved prior to installation. Water services to high rise buildings (measured 75-feet from lowest finished floor to top of structure) are required to be equipped with Reduced Pressure type backflow assemblies.

Please reference possible backflow assembly requirements for your project at <https://www.portland.gov/water/backflow-prevention/backflow-assembly-installation-requirements> or contact Water Quality Inspection at 503-823-7479 for more information.

3. To obtain fire flow information fill out a "Fire Flow Request Form" found at our website, <https://www.portland.gov/water/water-development-services/request-fire-flow-information> or by calling 503-823-1408.
4. If there is contamination in or near the ROW at the location of proposed water mains or services, PWB requires:
 - a. Verification of clean soils at the location of the installations; or
 - b. Identification of the extent and degree of contamination such that appropriate remediation plans can be generated prior to any PWB construction. The remediation, disposal fees, and charges are the responsibility of the applicant.
5. The developer will be required to confirm through permit review that the existing and proposed PWB infrastructure will meet City standards relative to the proposed improvements. Water Bureau infrastructure may need to be adjusted or fully reconstructed at the expense of the developer if standards cannot be met. Please review the Portland Water Bureau Engineering and Technical Standards Administrative Rule that was instituted June 2022 at <https://www.portland.gov/water/water-development-services/engineering-admin-rule>

C. WATER CODE REQUIREMENTS

Separate Water Service Requirements and Availability for Residential and Commercial Development

The Portland Water Bureau's guiding code, [Title 21](#) was updated in January 2021.

- **Water services may not cross property lines.** Separate services and meters are required for **development on an individual lot, regardless of lot ownership.** An exception is when a single structure crosses a property line, in which case a single meter may serve the structure.

Topic	Code and Comments	Code Citation & Link
Title 21	City Water Code	Title 21 Water
Engineering and Technical Standards	Administrative Rule	Administrative Rule

D. PERMIT INFORMATION

At the time of permit review (following the land use review) you should be aware of the following:

1. Meters will be sized during the building permit process. Sizing is based on total count of all fixtures supplied by the identified service. Applicant will provide an SDC Form, W-3, or W-4 for each meter as part of the building permit submittal. There will be no reduction in meter size based on grey water usage or the installation of low-flow fixtures.
2. All new domestic service taps and upsized meters will be assessed a [System Development Charge](#) (SDC). Fee is based on meter size except when a header service is installed, in which case the fee is based on the shared meter equivalent. See PWB Code Guide for more information: <https://www.portland.gov/water/water-development-services/separate-meter/>.
3. SDC credit will be given for meters that are permanently removed. SDC credit is applied towards services within the same lot and is not transferrable.
4. Fire lines are excluded from Systems Development Charges.
5. The applicant can consider the use of a combination domestic and fire service for domestic services of 2" or less.
6. Service/Mains work may fall outside of our Rate Ordinance requiring a Site Specific estimate. Ordinance rates for service installations and water main extensions can be found in Exhibit A of the current Water Fee Schedule: <https://www.portland.gov/water/water-development-services/water-development-fees/>.



PORTLAND
FIRE & RESCUE



Rene Gonzalez, Commissioner
Sara Boone, Fire Chief
Kari Schimel, Fire Marshal
Prevention Division
1300 SE Gideon St.
Portland, OR, 97202
Phone: (503)823-3770

Fire Bureau

Pre-Application Conference Response

Date: March 17, 2023

To: Matt Wickstrom, Conference Facilitator

503-865-6513, Matt.Wickstrom@portlandoregon.gov

From: Jeff Herman, 503-823-3045

Jeff.Herman@portlandoregon.gov

Case File: EA 23-013495

Location: 1715 NW COUCH ST

Property ID: R140859

Proposal: A Pre-Application Conference to discuss renovations to the existing Archdiocese Pastoral Center offices. Exterior improvements associated with the project include: rejoining the two buildings with a new entry lobby, stairway and elevator core, a new exterior stair and courtyard entry and replacement of garage and exit doors with new windows. This is a Contributing Resource in the Alphabet Historic District.

The Fire Bureau has reviewed the pre-application conference materials to identify potential issues and requirements. No Issues have been identified at this time with Fire access or water supply. Please refer to our Fire Access and Water Supply Guide for all City of Portland Fire Bureau requirements. The Guide can be found at the following link : [Fire & Life Safety Requirements for Fire Department Access and Water Supplies \(portland.gov\)](#)

JEFF HERMAN

Fire Inspector

503-209-8373



Urban Forestry

Early Assistance Response

Date: March 08, 2023
From: Amil Jakupovic
503-823-4491, Amil.Jakupovic@portlandoregon.gov
Case File: EA 23-013495
Location: 1715 NW COUCH ST
Proposal: A Pre-Application Conference to discuss renovations to the existing Archdiocese Pastoral Center offices. Exterior improvements associated with the project include: rejoining the two buildings with a new entry lobby, stairway and elevator core, a new exterior stair and courtyard entry and replacement of garage and exit doors with new windows. This is a Contributing Resource in the Alphabet Historic District.

Portland Parks, Urban Forestry staff has reviewed the Early Assistance materials to identify potential issues and requirements in accordance with Title 11, Trees. This response identifies potential issues and/or impacts on existing street and heritage trees, and trees on city-owned or managed sites, if applicable. Trees on private property are subject to development standards from the Bureau of Development Services. See planner requirements for private property trees.

Please note that there may be other applicable tree requirements in Title 33 Planning & Zoning.

A. Response Summary

The development will be subject to Urban Forestry standards and requirements during the permit review process as detailed below.

All existing trees must be preserved at all phases of construction. The applicant must preserve tree per 11.60.030 Tree Protection Specifications.

B. Tree Plan (11.50.060)

A tree plan must be submitted with each phase of review including land use reviews, building permit applications, and public works permit. A tree plan was submitted with the EA application, but additional tree information is required. The plan must include the following information for street trees and trees on city owned property:

- a. The size and location of street trees adjacent to the subject property.
- b. Trees proposed to be preserved including tree protection specifications in accordance with 11.60.030.
- c. Tree(s) proposed for removal.
- d. Tree planting plan (tree species and location(s)).



C. Street Trees

1. Existing Street Conditions

- a. NW 17th Street: The site has approximately 204 feet of street frontage. The right-of-way is improved with pavement, curbs, planting strip, sidewalks. There are no overhead high voltage power lines. There are 3 street trees.
 - i. American elm, 34 in diameter, good condition
 - ii. American elm, 22 in diameter, fair condition
 - iii. Katsura, 10 in diameter, good condition
- b. NW Couch St: The site has approximately 206 feet of street frontage. The right-of-way is improved with pavement, curbs, planting strip, sidewalks. There are no overhead high voltage power lines. There are 6 street trees.
 - i. Red maple, 14 in diameter, good condition
 - ii. 4 x hornbeam, 3-4 in diameter, good condition
- c. NW 18th Ave: The site has approximately 204 feet of street frontage. The right-of-way is unimproved/ improved with pavement, curbs, planting strip, sidewalks. There are overhead high voltage power lines. There are 6 street trees.
 - i. 6 x hornbeam, 4-6 in diameter, good condition
- d. NW Davis St: The site has approximately 206 feet of street frontage. The right-of-way is unimproved/ improved with pavement, curbs, planting strip, sidewalks. There are overhead high voltage power lines. There are 8 street trees.
 - i. 8 x hornbeam, 4-6 in diameter, good condition

2. Street Tree Preservation (11.50.040)

Based on the proposed development it appears existing street trees may be impacted. Development proposals must be configured to avoid street trees.

The trees must be preserved at all phases of construction.

If the applicant believes the tree must be removed to facilitate development, the applicant must provide adequate technical analysis demonstrating why the tree cannot be preserved while developing the site to City standards.

3. Street Tree Protection Specifications (11.60.030)

Tree protection is required in accordance with Title 11 Trees, Protection Methods (11.60.030). Tree protection shall follow either the Prescriptive or Performance path. Protection methods must be shown on the tree plan. If using the Performance path, the alternate tree protection plan must be prepared by an arborist who has visited the site

4. Street Tree Planting (11.50.060.C)

The applicant has not provided a conceptual street tree planting plan. One street tree must be planted or retained for each full increment of 25 linear feet (11.50.060.C.1). Street trees must be planted at a minimum 2.5 caliper inches. Trees will be required to be planted through (Building permit, public works permit, final plat).



- a. NW 17th Ave: There are approximately 204 feet of street frontage at this location, requiring 8 trees to be planted or preserved.
- b. NW Couch St: There are approximately 206 feet of street frontage at this location, requiring 5 trees to be preserved.
- c. NW 18th Ave: There are approximately 204 feet of street frontage at this location, requiring 8 trees to be planted or preserved.
- d. NW Davis St: There are approximately 206 feet of street frontage at this location, requiring 8 trees to be preserved.

Street tree planting may be exempt under 11.50.060.B when existing above or below grade utilities prevent planting street trees or when the existing planting strip is less than 3-feet wide.

D. Heritage Trees

1. *Heritage Trees* (11.20.060):

There is not a heritage tree located on/adjacent to the site that is on the City of Portland's Heritage Tree list.





URBAN FORESTRY TREE REQUIREMENTS

Early Assistance and Land Use Review

Portland Parks & Recreation Urban Forestry staff review Early Assistance and Land Use Review materials to identify potential issues and requirements in accordance with Title 11, Trees and Title 33, Zoning Code. The purpose of these reviews is to identify potential issues and/or impacts on existing street trees, heritage trees, and trees on City-owned or managed sites (if applicable), as well as to provide adequate areas for future street tree planting on existing and proposed public streets. Trees on private property are subject to development standards from the Bureau of Development Services. See planning requirements for private property trees or call the Zoning Hotline at 503-823-7526.

Tree Plan Submittal Requirements (11.50.070)

A tree plan must be submitted with each phase of review including land use reviews, building permit applications, and public works permits. The tree plan information may be combined with other relevant plan sheets. The tree plan submittal shall include the following information:

- existing improvements;
- proposed alterations;
- existing street trees ≥ 3 " DBH including size and location;
- existing on-site trees ≥ 6 " DBH within 15' of the limits of disturbance;
- trees proposed for removal;
- tree planting proposal, including tree size, species and location; and
- trees to be retained and proposed tree protection measures meeting the specification in Chapter 11.60.

Any changes to an approved Tree Plan, including amending tree species must be approved by the City Forester. Please note that the City Forester may not approve revised tree planting plans based on the lack of species availability. To facilitate species availability, it is recommended that tree procurement occur approximately 6 months prior to installation.

Tree Mitigation (11.50.040.C.2)

Healthy street trees ≥ 6 " DBH that are approved for removal shall be replanted with two trees in addition to trees required to be planted to meet Street Tree Planting Standards, below. When street improvements are to partially or fully unimproved streets, healthy street trees ≥ 12 " DBH approved for removal shall be replanted with two trees, with trees planted to meet Street Tree Planting Standards credited towards meeting this requirement. Tree replacement for trees removed shall occur in the street planter strip, on site, or in the same watershed either by planting or by paying a fee in lieu of planting in accordance with table 60-1, below.

On City-owned or managed sites, healthy, non-nuisance trees ≥ 6 " DBH that are approved for removal shall be replanted per the Administrative Rule for tree replacement standards, below:



Tree Replacement for Development on City Owned or Managed Sites

Size of tree to be removed (inches in diameter)	Number of trees to be planted
6 and up to 12	Up to 2
More than 12 and up to 20	Up to 3
More than 20 and up to 25	Up to 5
More than 25	Up to 6

Street Tree Planting Standards (11.50.050)

One street tree shall be planted or retained for each full increment of 25 linear feet per side of street frontage. Planting is exempt when existing above or below grade utilities prevent planting of street trees, or if the existing design of the street will not accommodate street tree planting because the planting strip is less than 3 feet wide, there is not a planting strip, or there is insufficient space to add tree wells. Trees planted to meet street tree planting standards are credited toward mitigation requirements when street improvements are to partially or fully unimproved streets. When the required number of trees cannot be planted, a fee in lieu of planting will be required, in accordance with Table 60-1, below.

Table 60-1 Broadleaf Tree Size Requirements

Development Type	Tree Size	
	On Site	Street
One and Two Family Residential	1.5”	1.5”
Multi Dwelling Residential	1.5”	2”
All others	1.5”	2.5”

Tree Planting Specifications

If there are fewer than 8 required trees, they may all be the same species. If there are between 8 and 24 required trees, no more than 40 percent can be of one species. If there are more than 24 required trees, no more than 24 percent can be of one species. Street tree species shall conform to the appropriate “City of Portland Approved Street Tree Planting List.” The City Forester may approve or require an alternate or unlisted species.

All required street trees shall be planted in-ground following Standard Drawing Number P-581 “Typical Street Tree installation,” except when in raised planters that are used to meet Bureau of Environmental Services storm water management requirements. Please include the Standard



Drawing Number P-581 as part of the Public Works permit application. Plant materials shall be installed to current nursery industry standards and proper arboricultural practices [American National Standards Institute, *ANSI A300 Part 6: Tree, Shrub, and Other Woody Plant Maintenance-Standard Practices (Planting and Transplanting)* 2012, Tree Care Industry Association, Inc. Londonderry, NH]. Plant materials shall be properly supported to ensure survival.

All trees required or approved to be planted by Title 11 shall be planted or payment in lieu of planting made prior to the expiration of the permit or City's final acceptance of the project, as applicable. However, it is encouraged that planting occur during the wet months or as per City Forester recommendations. Street tree planting may be deferred between May 1 and September 30 upon filing a performance guarantee as provided in Section 11.10.060 or other assurance deemed acceptable by the City Forester or BDS Director as applicable.

Tree Protection Specifications (11.60.030)

Trees to be retained shall be protected in accordance with Title 11 Trees, Protection Specifications (11.60.030.C). Tree protection shall be shown on the tree plan and include the distance from the trunk of the tree to the fence. A standard root protection zone is established as follows; a minimum of 1 foot radius (measured horizontally away from the face of the tree trunk) for each inch of tree diameter. Protection fencing shall be a minimum 6-foot high metal chain link construction fence, secured with 8-foot metal posts established at the edge of the root protection zone and permissible encroachment area.



**23-013495 PC
1716 NW Davis St.
Sign-in Sheet
March 14, 2023**

Andy Gulizia, BDS, andrew.gulizia@portlandoregon.gov, 503-865-6714

Tanya Paglia, BDS Design and Historic Review, tanya.paglia@portlandoregon.gov, 503-865-6518

Emma Kohlsmith, BES, emma.kohlsmith@portlandoregon.gov, 503-823-8427

Michael Piña, PBOT, michael.pina@portlandoregon.gov, 503-823-4249

Daniel Gleason, Urban Forestry, daniel.gleason@portlandoregon.gov, 503-679-0229

Kari Ann Spoon, Water Bureau, kariann.spoon@portlandoregon.gov, 503-865-6372

Kristian McCombs, kristian.mccombs@hdgpdx.com, 503-946-5358

Michael Roberts, LRS Architects, mroberts@lrsarchitects.com, 503-806-5147

David Humber, Humber Design Group, dave.humber@hdgpdx.com, 503-946-5370

Zachary Freund, LRS Architects, zfreund@lrsarchitects.com, 208-340-9777

Pat O'Brien, pat@obrien-co.com

Jo Willhite, jwillhite@archdpdx.org, 503-349-5356



CITY OF PORTLAND ENVIRONMENTAL SERVICES



1120 SW Fifth Ave, Suite 613, Portland, Oregon 97204 ■ Mingus Mapps, Commissioner ■ Dawn Uchiyama, Director

Completeness Response

Date: August 17, 2023

To: Tanya Paglia, BDS Land Use Services
503-865-6518, Tanya.Paglia@portlandoregon.gov

From: Abigail Cermak, BES Systems Development
503-823-7577, Abigail.Cermak@portlandoregon.gov

Case File: LU 23-068457

Location: 1715 NW COUCH ST

Proposal: New Interior demolition and renovation of the existing Cathedral administration buildings. New work to include structural seismic strengthening, new interior elevator system, new lobby and stairway, MEP systems upgrades and accessibility improvements. Exterior building work includes replacement of connecting structure between north and south office buildings, replacement of garage doors with new windows, new stair and entry at private courtyard side. Public works improvements anticipated. This is a Contributing Resource in the Alphabet Historic District.

BES provides the following comments in response to materials received for the purpose of determining completeness of the above-referenced Land Use application. Items requested in this memo should not be considered final, as staff reserves the right to request additional materials during the formal review period.

1. The applicant has submitted the minimum level of information for BES to begin conducting a full review of the land use application. As staff begins reviewing the application against relevant approval criteria and BES code requirements, additional information may be requested.



PORTLAND BUREAU OF TRANSPORTATION

1900 SW Fourth Ave., Suite 5000 Portland, OR 97201 503-823-5185
Fax 503-823-7576 TTY 503-823-6868 www.portlandoregon.gov/transportation

Mingus Mapps Commissioner Tara Wasiak Interim Director

**RESPONSE TO THE BUREAU OF DEVELOPMENT SERVICES
LAND USE REVIEW REQUEST**

**Portland Transportation
Development Review
Bureau of Transportation Engineering & Development**

LU: 23-068457-000-00-LU Date: August 22, 2023
To: Tanya Paglia, Bureau of Development Services, B299/R5000
From: Michael Pina, B1720206/800, 503-823-4249, michael.pina@portlandoregon.gov
Applicant: Michael Roberts, L R S ARCHITECTS
720 NW DAVIS ST #300
PORTLAND OR 97209
Location: 1715 NW COUCH ST (1716 NW DAVIS)
TYPE OF REQUEST: Type 3 procedure HR - Historic Resource Review

DESCRIPTION OF PROJECT

New Interior demolition and renovation of the existing Cathedral administration buildings. New work to include structural seismic strengthening, new interior elevator system, new lobby and stairway, MEP systems upgrades and accessibility improvements. Exterior building work includes replacement of connecting structure between north and south office buildings, replacement of garage doors with new windows, new stair and entry at private courtyard side. Public works improvements anticipated. This is a Contributing Resource in the Alphabet Historic District.

RESPONSE

Portland Transportation/Development Review (PBOT) has reviewed the application for completeness and offers the following comments.

1. Driveway Design Exception (DDE): The project proposes to reutilize an existing curb cut on NW 17th Ave, placed less than 25-ft from the NW Davis frontage. Transportation Administrative Rule (TRN) 10.40.D.1 states that “No portion of a driveway shall be located closer than 25 feet from the corner of a lot where two streets intersect” It is PBOT’s understanding this driveway has existed for some time but did not lead to a parking space within the building. Utilizing this access for on-site parking necessities the approval of a DDE, prior to the issuance of the Land Use decision. At time of this response, a DDE has yet ot be applied for. **This item remains outstanding.**
2. Proposed Loading Space within NW 17th Ave: Submitted plans identified a Standard A loading space adjacent to the site within the public Right-of-Way of NW 17th Ave. PBOT’s understanding is that additional loading is not required with this project. If it is, PBOT does not allow on-site loading requirements to be fulfilled in the public ROW, unless there is an existing on-street loading space within proximity to the site, reviewed through a Loading Demand Study and subsequent Land Use Adjustment, which hasn’t been completed. If loading is not required, please remove the notation of the on-street loading space from the plans. Any proposed on-street loading is processed through PBOT’s Parking Control division, which independent from the LU process. **This item remains outstanding.**

3. Public Works Permit: During the Pre-Application meeting, the applicant stated they anticipate the project's final valuation to meet PBOT's Significant Alteration (17.88.010) threshold of \$3,944,958.50, thus triggering frontage improvements abutting this site, which is limited to the site's four abutting corners and the driveway-style treatment for the intersection of NW 17th Ave and SW Davis St. The applicant's Pre-Application meeting submittal also showed reconstructing a fifth ADA corner on the opposite side of NW 17th. While not a completeness item, the applicant is strongly encouraged to initiate a Public Works permit for the required frontage improvements as to avoid possible permitting delays.

RECOMMENDATION

PBOT recommends the application be deemed incomplete until the aforementioned items can be addressed.



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Carmen Rubio, Commissioner
Rebecca Esau, Director
Phone: (503) 823-7310
TTY: (503) 823-6868
www.portland.gov/bds

8/18/2023

Michael Roberts | LRS Architects
720 NW Davis St #300 | Portland OR 97209

Re: Land Use Review LU 23-068457 HR – St Mary’s Church Complex Admin Buildings

Dear Michael Roberts:

The Bureau of Development Services received your application for a Historic Resource Review located at 1715 NW COUCH ST on July 26, 2023. Your case has been assigned to me, Tanya Paglia. In order to continue to review your application, additional information is needed. Once you submit this information, your application will be considered complete, and I will proceed with a full review of your proposal. Up to this point, your application has been reviewed only to determine if all required information has been submitted. The application has not been fully reviewed to determine if it meets the relevant approval criteria, however some issues you may want to consider are identified in Section II below.

I. Information Necessary to Complete Application

The following information must be submitted before your proposal can be evaluated:

1. **Alternate Design Option(s).** In order to improve our chances of getting this approved in a single hearing, it will be helpful to provide as much information to the commission as possible on the reasons this design was chosen. Toward that end, please provide:
 - a. Any alternative design options you have explored, and why they were eliminated. For instance, it would be helpful if they saw a simple, brick option with simple window patterning so they can understand why the glassy-link option is preferable.
 - b. Any alternative roof forms that have been explored.
 - c. Color alternatives for the metal to understand how this color is the most compatible choice. Staff wonders if the dark color is the most compatible.
 - d. Information on precedents of connectors/gaskets to inform how this glass gasket option was chosen.
 - e. Staff recommends providing at least one alternate design option to present to the commission in order to avoid a follow-up hearing should they not favor the design presented.
2. **Changes to Existing Roof Eaves.** Please provide more information on the notches that would be made into the historic building roof eaves. Do they already exist to some extent, and if so, how are they changing? Why are the notches in the north and south building eaves different?
3. **Drawings.** Please provide:
 - Existing and proposed roof plans – both existing and proposed roof plans are needed to understand proposed changes.

- Existing and proposed blown-up plans of the area around the notch.
 - Existing and proposed window sections for ground floor windows on the east and west elevations to understand how proposed windows match existing in profile and location within the wall plane.
 - Materials / Colors – clearly label the materials of all new elements on the elevations.
 - Site Utility Plan – Identify all vaults [ROW or private], generators, gas, and electric meter locations to be added; List the utility contacts consulted in the creation of the utility site plan.
 - Parking and loading – Provide floor plans showing all bicycle and car parking as well as loading including dimensioned parking spaces, loading spaces, drive aisles, and circulation diagrams. Please dimension all parking spaces and drive aisles to demonstrate compliance with standards in 33.266 and requirements in Table 266-2 and please demonstrate compliance with both short- and long-term bike parking requirements.
4. **Information on Height of the Connecting Structure.** Please provide more information as to why the new connecting structure is so tall.
 5. **Building Walls at Notch.** Please provide detailed information on how any original walls interior to the notch will be affected by the project. Will portions of existing historic wall material and profile detailing be removed or impacted? Will there be exposed original brick on the interior of the connecting structure?
 6. **Existing Window Information.** Please provide information on the design and history of the existing ground-floor windows on the east elevation. Does the project involve removing existing grills over these windows? Please provide information on why the four new proposed windows do not match their proportions and six-over-six design.
 7. **Non-conforming Upgrade Status.** Please provide information about the status of the non-conforming upgrades that will be met at the time of permit.
 8. **Infrastructure bureau completeness items.** Please see completeness response from the Bureau of Environmental Services. In addition, please see responses from PBOT, BES, BDS Site Development, Water Bureau, Fire Bureau, and Urban Forestry in the Pre-Application Conference summary notes for the conference held on March 14, 2023 (EA 23-013495 PC) for additional submittal requirements that will be needed by these bureaus and divisions.
 9. **FAR.** Confirm that the project will not move the site out of conformance or if already nonconforming, will not move the site further out of conformance with the FAR limit of 3:1 (Per Map 562-5/33.562.220 FAR is determined by the base zone, and per Table 120-3/33.120.210, in the RM4 zone the maximum FAR is 4 to 1, except in Historic Districts and Conservation Districts, where the maximum FAR is 3 to 1).
 10. **Notes from preliminary life safety meeting.** If a preliminary life safety meeting was held, please provide the notes.

II. Issues to Consider

While not necessary to determine the application complete, additional information may be needed to show that your proposal meets the applicable approval criteria. You are encouraged to address the following issues regarding the approvability of your proposal:

- **Connector Design Alternatives.** Staff has concerns that the typology of the proposed connecting structure will not be approvable by the Historic Landmarks Commission and could lead to a follow-up hearing. Staff would like to come into the Landmarks Commission hearing with a Staff Report recommending approval and obtain approval from the commission in one hearing. Design alternates will enable that strategy.
- **Glass to Metal Ratio.** Given the design strategy of a glassy link, the design has too much metal, especially at the top. A design that maximizes glazing (sheer, butt-glazed system with less framing material) is stronger if this design direction is to be pursued.
- **Connector Height.** Bringing down the height of the connector below the south building's eave would have less impact on the historic building – cutting through the eaves seems unnecessary. The design proposed has the appearance of an elevator overrun and not just a stair tower.
- **Roof Form.** Staff has concerns about the proposed hipped roof form. Please provide information about alternative roof forms that were explored and eliminated.
- **Window Design.** Replacing garage doors on the east elevation with windows is a benefit to the public realm. Staff believes they should match the muntin patterning of the existing windows. Please provide more information as to why they are not replicating existing.

III. Time to Complete Application

The Portland Zoning Code allows you up to 180 days to complete your application. Since the 180-day period began on the day we received the application, the deadline to make your application complete is **Monday January 22, 2024**.

IV. Determination of a Complete Application

The application will be determined complete when you have submitted:

1. All of the requested information included in Section I, above. If you cannot provide all of the requested information at one time and intend to submit additional information, please include a written statement with each separate submittal indicating that you still intend to provide the additional missing information by the **Monday January 22, 2024** deadline, **or**
2. Some of the requested information included in Section I, above, and a written statement that no additional information will be provided; **or**
3. A written statement that none of the requested information included in Section I, above, will be provided.

Please be aware that not submitting the requested information may result in your application being denied. The information is needed to demonstrate the approval criteria are met. Once the application is deemed complete, review of your application can proceed using the information you have provided.

Your application will be approved if it meets the relevant land use review approval criteria. It is your responsibility to document how the approval criteria are met. The items listed above will help provide that documentation.

Voiding of Application

If your application is not complete by **Monday January 22, 2024**, it will be voided, and the application fee will not be refunded. The City's land use review procedures are outlined in Chapter 33.730 of the Portland Zoning Code.

Please contact me if you have any questions about this letter. My telephone number is **503-865-6518**, and my e-mail address is Tanya.Paglia@portlandoregon.gov. Requested information noted above should be emailed to me. Please e-mail me for file dropbox instructions if document or drawing file sizes are greater than 5MB. Please label all correspondence and materials you submit with the case number LU 23-068457 HR.

Sincerely,



Tanya Paglia, Planner
Land Use Services Division

cc: Jo Willhite, Owner's Rep. | Archdiocese of City of Portland | 2858 E Burnside St,
Portland, OR 97214
Application Case File

Oregon Historic Site Record

LOCATION AND PROPERTY NAME			
address:	1715 NW Couch St Portland, Multnomah County	historic name:	Cathedral Of The Immaculate Conception
assoc addresses:		current/other names:	
location descr:		block/lot/tax lot:	
		twshp/rng/sect/qtr sect:	1N 1E 33
PROPERTY CHARACTERISTICS			
resource type:	Building	height (stories):	2.0
elig evaluation:	eligible/contributing	total elig resources:	1
prim constr date:	1925	total inelig resources:	0
		NR Status:	Listed in Historic District
		second date:	
		date indiv listed:	
primary orig use:	Religious Facility	orig use comments:	
second orig use:		prim style comments:	
primary style:	Greek Revival	sec style comments:	
secondary style:		siding comments:	
primary siding:	Brick:Other/Undefined	architect:	Jacobberger & Smith
secondary siding:	Cast Stone	builder:	
plan type:			
comments/notes:			
GROUPINGS / ASSOCIATIONS			
Survey/Grouping Included In:	Type of Grouping	Date Listed	Date Compiled
Alphabet Historic District	Listed Historic District	11/16/2000	
SHPO INFORMATION FOR THIS PROPERTY			
NR date listed:	N/A	106 Project(s):	None
ILS survey date:		Special Assess Project(s):	None
RLS survey date:		Federal Tax Project(s):	None
ARCHITECTURAL / PROPERTY DESCRIPTION			
<i>(Includes expanded description of the building/property, setting, significant landscape features, outbuildings and alterations)</i>			
Refer to scanned documents links.			
HISTORY			
<i>(Chronological, descriptive history of the property from its construction through at least the historic period - preferably to the present)</i>			
Refer to scanned documents links.			
RESEARCH INFORMATION			
Title Records	Census Records	Property Tax Records	Local Histories
Sanborn Maps	Biographical Sources	SHPO Files	Interviews
Obituaries	Newspapers	State Archives	Historic Photographs
City Directories	Building Permits	State Library	
Local Library:		University Library:	
Historical Society:		Other Respository:	
Bibliography:			

Historic
Resource
Inventory
CITY OF PORTLAND, OREGON



2-185-01715

1715 N.W. Couch Street

Couch's, Block 167, Lots 1-8
QUARTER SECTION MAP #: 3028
Northwest District Association

ORIGINAL NAME: Cathedral of the Immaculate Conception
OTHER NAMES: St. Mary's

ORIGINAL FUNCTION: Church

DATE BUILT: 1925

STYLE: Twentieth Century Romanesque, Byzantine

ARCHITECTURAL PLANS BY: Jacobberger and Smith

ORIGINAL OWNER: Archdiocese of Portland

TAX ASSESSOR'S ACCOUNT #: R-18021-5070

ZONING: RH, RHS

HISTORIC DISTRICT: Nob Hill (potential)

Rank II

SPECIAL FEATURES AND MATERIALS:

Red tiled gable roof. Brick walls. Large pedimented portico with cast-stone Corinthian columns. Niche with statue of Mary. Round arched portals with bas-reliefs in tympanums. Square tower with copper cornices.

AREAS OF SIGNIFICANCE: Architecture, Religion

63

2-185-01715

BIBLIOGRAPHY:

City of Portland Buildings Bureau microform and card files.

Multnomah County Tax Assessor records, microform, automated data files, and card files (Portland, 1980).

OLD ADDRESS: 574 Davis Street

ORIGINAL BUILDING PERMIT #: 151524

MAJOR ALTERATIONS: 1925/151523/Killgreen and Flynn

1957/361851/Reimers and Jolivette, Inc.

1975/494131/Reimers and Jolivette, Inc.

Present owners, as of May 1980: Archdiocese of Portland

MAILING ADDRESS: 2838 East Burnside Street, Portland 97214

No Preservation Funding

Negative: 201-18a, 19a, 20a

Score - Design/Construction: 12

Score - Historical: 5

Score - Rarity: 0

Score - Environment: 10

Score - Integrity: 10

Score - Intrinsic: 17

Score - Contextual: 20

Score - Total: 79.5

64

OREGON INVENTORY OF HISTORIC PROPERTIES
HISTORIC RESOURCE SURVEY FORM
COUNTY: MULTNOMAH COUNTY

HIST. NAME: Cathedral of Immaculate
Conception
COMMON NAME:
ADDRESS: 1715 Northwest Couch Street
CITY: Portland
OWNER: Archdiocese of Portland
ADDRESS: 1716 NW Davis, Portland, OR
97209

DATE OF CONSTRUCTION: 1925
ORIGINAL USE: Religious: church
PRESENT USE: Religious: church
ARCHITECT: Jacobberger and Smith
BUILDER:
THEME: Culture: religion
STYLE: Italian Renaissance

T/R/S: T1N R1E S33
MAP NO.: 3028 TAX LOT: NA
ADDITION: Couch's Addition
BLOCK: 167 LOT: 1-8
ZONE: A0 QUAD.: Portland
ASSESSOR NO.: R180215070

RESOURCE TYPE: Church
CONDITION: Good
MOVED (DATE):

Old Address: 566 Davis Street
RANK:

PLAN TYPE/SHAPE: Cross-shape
FOUNDATION MATERIAL: Brick
ROOF FORM & MATERIALS: Hip; gable/tile
WALL/FRAME: Brick

NO. OF STORIES: 2
BASEMENT: Yes, raised

PRIMARY WINDOW TYPE: Fixed multi-pane
EXTERIOR SURFACING MATERIALS: Brick

DECORATIVE FEATURES: Corbelled brick cornice and copper gutter at eaves; raised, gabled parapet with stone coping at gabled ends; cross finial on front gable; red clay tile roof over most of building; flat metal roof at rear; bell tower with decorative brick work contrasting colors, corbelling at upper portion, stone arches and wood brackets; red brick, decorative eave band, wood doors with panels, three paired doorways with wood panels and stained glass; stone ornamental arched recesses, bronze pendant light fixture above each door; primary windows at side walls of sanctuary, arched with stained glass in recessed area with brick panel below and stone festoons at top and sides and stone keystones above; roman inspired portico, Corinthian columns, cornice frieze, pediment with arched recess area with statue.

EXTERIOR ALTERATIONS/ADDITIONS (DATED): None

NOTEWORTHY LANDSCAPE FEATURES: Foundation plantings; hedges, rhodies ornamental plantings; mature deciduous; cherry, elm, maple; courtyard; fences, gates; statue of the Virgin Mary in raised bed. The church buildings from a cloister at their center with concrete paving, an arched loggia on two sides, and a planting area in the center.

ASSOCIATED FEATURES: None

SETTING: The cathedral is part of a two-block church complex, occupying the most prominent corner of the site, facing south to N.W. Couch Street at N.W. Eighteenth Avenue. Most common use in neighborhood is multi-family residential. W. Burnside Street is one block south.

RECORDED BY: Donovan and Associates
Prohaska and Associates

SHPO INVENTORY NO.: P-109
DATE: August 1991

OREGON INVENTORY OF HISTORIC RESOURCES
HISTORIC RESOURCE SURVEY FORM
COUNTY: MULTNOMAH COUNTY

STATEMENT OF SIGNIFICANCE

Architecture: The Cathedral of Immaculate Conception was designed for the Catholic Church of Oregon by the prominent Oregon architectural firm of Jacobberger and Smith in 1925. The church, designed in the Italianate Renaissance Style, is an excellent example of the style with minor modifications. The building is one of five churches in the inventoried area.

Historical: The property is associated with the following Portland organizations: Roman Catholic Diocese of Oregon.

PROPERTY OWNERSHIP HISTORY

- 1914 On May 19, 1914 Simon Benson sold lots 1 through 8 of Block 167 to the Roman Catholic Diocese of Oregon.
- 1916 The Roman Catholic Archbishop deeded the property to the Archdiocese of Oregon City on November 21, 1916.

OWNERS BIOGRAPHICAL INFORMATION

The Catholic Church in Oregon: The Catholic church took an interest in Oregon while it was still a territory. Many of the earliest European inhabitants of the Oregon Territory were French-Canadian trappers, many of whom were Catholic. Requests for priests were made in 1821, 1834 and 1835, but it was not until 1838 that Father Francis N. Blanchet was named vicar general to the Bishop of Quebec, which included the Oregon Territory. The following year he came to St. Paul near French Prairie and held the first mass in Oregon at the church in St. Paul.

In 1844, the St. John Apostle Parish in Oregon City was established. This church would later become the future Archbishop Blanchet's church. In 1846, the Archdiocese of Oregon City was created, although a few years later it was relocated to Portland. The following year Portland built the St. Mary Cathedral and subsequently the first priest was ordained in Oregon. In 1848 the first provincial council of Oregon was established.

During this period, the Catholic church in Oregon faced several setbacks. In 1847 the Whitman Massacre, during which several Protestant missionaries were killed by Native-Americans, was blamed on Catholics. The other major event during this period was the discovery of gold in California in 1849. The majority of the population in the Oregon Territory migrated south in search for gold and the Jesuit priest, who had conducted most of the Catholic ministering in the Territory, followed their flocks.

The Catholic church was revitalized in Oregon with the new waves of immigration during the later decades of the nineteenth century. People from all over Europe, many of the Catholics, came to America looking for wealth, political and religious freedom as well as jobs.

In 1880 Bishop Charles John Seghers succeeded Archbishop Blanchet as the head of the Catholic church in Portland. Construction on the second Portland Catholic church at Northwest Third and Glisan Streets was completed by the time Bishop William Gross took Archbishop Seghers place in 1885. In the 1890s a series of floods destroyed many of the buildings in downtown Portland,

ADDRESS: 1715 Northwest Couch Street
RECORDED BY: Donovan & Associates
Prohaska & Associates

SHPO INVENTORY NO.:
DATE: August 1991

OREGON INVENTORY OF HISTORIC RESOURCES
HISTORIC RESOURCE SURVEY FORM
COUNTY: MULTNOMAH COUNTY

including St. Mary's and so construction of a third church, the subject property, was begun under Archbishop Gross' administration.

In 1900 Oregon's population was 413,536 and there were 61 priests, 67 churches and 23 parochial schools in the Oregon City Diocese, now located in Portland. In 1923 there were 153 priests, 116 churches and 47 schools in the same area. The Lewis and Clark Exposition increased the population of Portland even more, which resulted in the splitting of the diocese into several smaller sections. The Catholic population of Oregon continued to grow.

The third St. Mary's Cathedral, was constructed in 1925 by the architects Jacobberger and Stanton, utilizing the Italianate Renaissance Style of architecture. The five window panels, which line each side of the church, were moved from the southwest Third and Stark Streets. They were created in Baltimore in 1880. Two marble statues now stand on each side of the church. They were created by Swiss monks in 1870.

ARCHITECT

Josef Jacobberger, an important Portland architect, designed the subject property while a partner in the firm of Jacobberger and Smith. "Josef (sometimes rendered as Joseph) Jacobberger lived in the home with his family from 1908 or 1909 until 1916, when the family moved to the suburban community of Hillsdale. During these years, Jacobberger carried out a significant portion of his work.

Josef Jacobberger was born in Alsace-Lorraine in 1869, and was brought to the United States by his parents when he was two years old. He was raised in the mid-west where his father, Hubert, worked as a building contractor. Jacobberger was educated at Creighton University of Omaha, Nebraska, and later worked as a draftsman for a number of architects in the area. Moving to Portland in 1890, he began work as a draftsman for the firm of Widden and Lewis, where he remained for five years. After leaving Widden and Lewis, Jacobberger began private practice as an architect. In 1893, he married Anna Lillis of Portland. The couple had five children. Carey in the *History of Oregon*, notes that "Mr. Jacobberger is a democrat in his political views and in religious faith is a Catholic, attending the cathedral in this city."

Jacobberger's Catholic faith appears to have been reflected in the crosses he placed on the verge boards of his home, and in the many commissions he carried out for various Catholic organizations. These include a number listed in the Portland Historic Inventory: the Cathedral of the Immaculate Conception (now St. Mary's), the Church of St. Michael the Archangel, St. Clement's parish, two schools and several other buildings. The Knight's of Columbus building, later the Aero Club, was one of his better known designs. He also designed a number of buildings on the Marylhurst College campus. Jacobberger's influence went well beyond his religious buildings, however, as noted by the *Oregon Journal*, 'He was interested in the Oregon Building congress, (sic) and the waterfront development project embodies many of his ideas.'

For many years Jacobberger worked in partnership with Alfred H. Smith, together forming one of the more significant architectural firms in Portland. Jacobberger was among the important architects of the City who 'nourished the development of Portland's architectural microcosm,' as advocated by Albert E. Doyle. When Josef Jacobberger died in March of 1930, he was 'one of the best-known architects in the Pacific Northwest,' and a fellow of the American Institute of Architecture.'

ADDRESS: 1715 Northwest Couch Street
RECORDED BY: Donovan & Associates
Prohaska & Associates

SHPO INVENTORY NO.:
DATE: August 1991

OREGON INVENTORY OF HISTORIC RESOURCES
HISTORIC RESOURCE SURVEY FORM
COUNTY: MULTNOMAH COUNTY

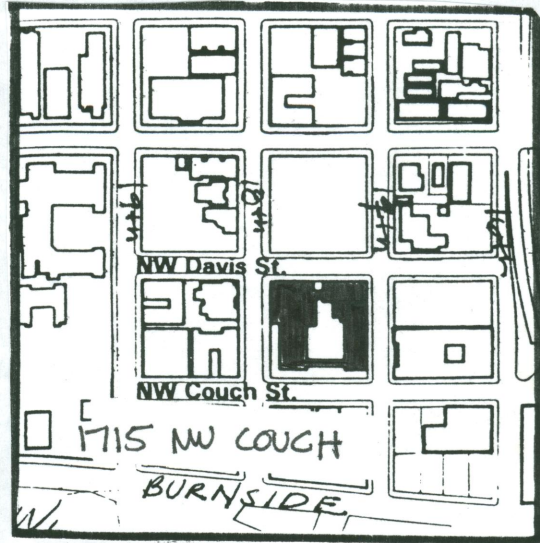
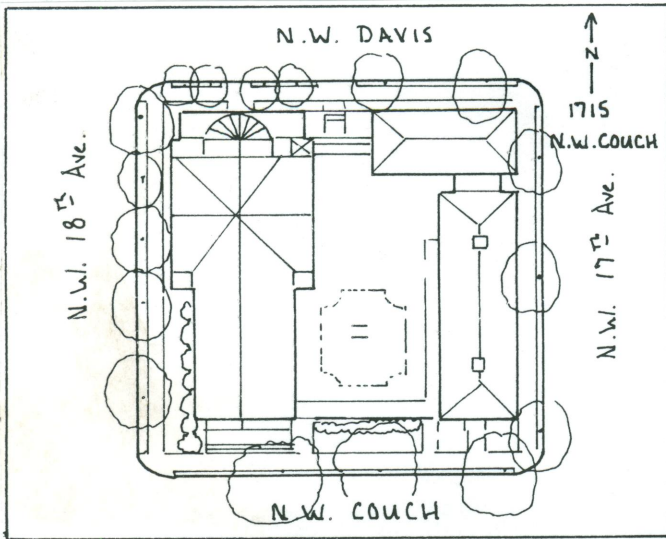
Sources: Ticor Title Company Records
Multnomah County Tax Assessor Records
City of Portland Building Bureau Records
Portland City Directories
Portland Block Books
Catholic Sentinel, 22 September, 1986
Jacobberger, J. Fiscus, Darby and Zisman, "National Register of Historic Places
Nomination Form", 1989

ADDRESS: 1715 Northwest Couch Street
RECORDED BY: Donovan & Associates
Prohaska & Associates

SHPO INVENTORY NO.:
DATE: August 1991

OREGON INVENTORY OF HISTORIC PROPERTIES
HISTORIC RESOURCE SURVEY FORM
COUNTY: MULTNOMAH COUNTY

ADDRESS: 1715 Northwest Couch Street



NEGATIVE NO.: Roll 25 #3

DATE: 3/20/91



RECORDED BY: Donovan and Associates
Prohaska and Associates

SHPO INVENTORY NO.:

LU 23-068457 HR G-6



STAFF REPORT AND RECOMMENDATION TO THE LANDMARKS COMMISSION

CASE FILE: LU 23-068457 HR
PC # 23-013495
*St Mary's Church Administration Offices
Renovation Project*

REVIEW BY: Historic Landmarks Commission
WHEN: Monday, October 23, 2023, 1:30 PM
REMOTE ACCESS: Historic Landmarks Commission Agenda
<https://www.portlandoregon.gov/bds/HLCagenda>

This land use hearing will be limited to remote participation via Zoom. Please refer to the instructions included with this notice to observe and participate remotely.

It is important to submit all evidence to the Landmarks Commission. City Council will not accept additional evidence if there is an appeal of this proposal.

Bureau of Development Services Staff: Tanya Paglia 503-865-6518 /
Tanya.Paglia@portlandoregon.gov

GENERAL INFORMATION

Applicant: Michael Roberts and Zachary Freund | LRS Architects
720 NW Davis St #300 | Portland, OR 97209
503-806-5147, mroberts@lrsarchitects.com

Owner: St Mary Catholic Cathedral of Immaculate Conception of Portland
Oregon
1716 NW Davis St | Portland OR 97209

Owner's Rep: Jo Willhite | Archdiocese of City of Portland
2858 E Burnside St | Portland, OR 97214

Party of Interest: Pat O'Brien | O'Brien Construction
208 NW 21st Ave., #201 | Portland, OR 97209

Site Address: 1715 NW COUCH ST

Legal Description: BLOCK 167 LOT 1-8, COUCHS ADD
Tax Account No.: R180215070
State ID No.: 1N1E33DB 05400
Quarter Section: 3028

Neighborhood: Northwest District, contact Greg Theisen at contact@northwestdistrictassociation.org

Business District: Northwest, contact at nobhillportland@gmail.com, Pearl District Business Association, contact at info@explorethepearl.com

District Coalition: Neighbors West/Northwest, contact Darlene Urban Garrett at darlene@nwnw.org

Plan District: Northwest

Other Designations: Contributing Resource in the Alphabet Historic District, listed in the National Register of Historic Places on November 16, 2000

Zoning: **RM4d** – Residential Multi-Dwelling 4 zone with Design and Historic Resource Protection overlays

Case Type: **HR** – Historic Resource Review

Procedure: **Type III**, with a public hearing before the Landmarks Commission. The decision of the Landmarks Commission can be appealed to City Council.

Proposal:

Type III Historic Resource Review for a proposal to make exterior alterations to buildings that are part of the St Mary's Cathedral property, a contributing resource in the Alphabet Historic District historically known as the *Cathedral of the Immaculate Conception* located in the Northwest Plan District. The exterior alterations accompany a full-scale interior demolition and renovation of the existing administration buildings including seismic strengthening, new interior elevator system, new lobby and stairway, mechanical, electrical, and plumbing (MEP) systems upgrades, and accessibility improvements.

The project will involve replacing a connecting structure between the Rectory building (also referenced in plans as "north building") and the Archbishop's Residence and Parish Center building (which will become the Parish Center and Archdiocese of Portland Building and is also referenced in the plans as "south building"). The project will allow the Archdiocese Administration of Portland Oregon which is currently located at 2838 E Burnside St to relocate its Pastoral offices into the two buildings. The new connector will be an aluminum curtainwall system with plate metal cladding and a pre-cast concrete base, and will have an aluminum skylight system. The connector will be recessed between the two historic buildings. A portion of the south building's eaves will be cut into and removed, and some clay tile roofing material will have be removed from both the south and north buildings to accommodate the connector's roof.

The project also includes:

- South Building: Archbishop's Residence and Parish Center building
 - East Elevation - NW 17th Ave frontage
 - New aluminum-clad wood full-lite entry door in the existing opening at the north end of the east elevation including new security camera above door and new wall sconce lighting fixtures on either side.
 - Infill the two garage openings at the south end of the east elevation with two sets of new double-hung aluminum-clad wood windows above a pre-cast concrete base.
 - Existing gas meter relocated into the recess of the South Building.
 - New metal gate and fencing to secure the recessed area in front of the new connecting structure.

- Removal of existing non-original chimney.
- New signage.
- West Elevation – Interior courtyard frontage
 - New cast-in-place concrete exterior stair providing a courtyard entry to a lower-level community space which will have a new double-door storefront entry.
 - Two new wood single-hung windows on first floor beneath arcade to match existing windows, and demo two doors below new windows and infill with small wood fixed windows to match existing basement windows as well as salvaged brick masonry.
 - New guardrail with ornamental malleable iron spindles and stanchions at new stairs.
 - New mechanical units at recessed niche on west side of South Building.
 - Replacement LED semi-flush mount ceiling light fixtures at arcades.
 - New security camera above door at south end of building.
- South Elevation – NW Couch frontage
 - Replacement LED flush mount ceiling light fixtures at entry.
 - Two new surface-mounted security cameras at top of building below roof line.
- North Building: Rectory building
 - East Elevation - NW 17th Ave frontage
 - New carriage-style sectional overhead garage door replacing residential-style garage door within same rough opening at the east side of the Rectory building with new wall sconce lighting fixtures on either side.
 - West Elevation – Interior courtyard frontage
 - Reduce height and laterally reinforce existing chimney.
 - New aluminum-clad wood door in the existing opening including new security camera adjacent to top of door.
 - North Elevation – NW Davis frontage
 - Two new surface-mounted security cameras at top of building below roof line.

Historic resource review is required because the proposal is for non-exempt exterior alterations on a resource in the Alphabet Historic District.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The relevant approval criteria are:

- Community Design Guidelines
- Alphabet Historic District Community Design Guidelines Addendum

ANALYSIS

Site and Vicinity: The site is located on a full block bounded by NW 17th Ave, NW 18th Ave, NW Couch St, and Davis St within the Alphabet Historic District and within the Northwest Plan District. The St. Mary's Cathedral property is a contributing resource in the Alphabet Historic District and is listed on the City of Portland's Historic Resource Inventory (HRI). It was historically known as the *Cathedral of the Immaculate Conception* located in the Northwest Plan District.

This historic Northwest Portland property contains three structures of historic significance constructed early in the 20th century. The first building on the site was the Archbishop's Residence and Parish Center building, built in 1914 as the Parish House and School building. It was designed by Whitehouse & Fouilhoux, Jacobberger & Smith. Both the Rectory building, and the main Cathedral building were constructed in 1925, and were designed by Jacobberger & Smith. The three structures wrap the block forming a cloister with a private landscaped courtyard filling the center between them. The existing connecting structure to be demolished was built circa 1965.

All three structures were designed in an Italian Renaissance style with unreinforced brick masonry, cast stone elements and tracery, wood windows, and hipped gable clay tile roofs. A classic arcade connects and wraps around the courtyard connecting the structures together. Since the Parish House & School Building was constructed in 1914 the property has been owned and maintained by the Catholic Church. The team of architects, Josef Jacobberger & Alfred H. Smith, are considered to be one of the notable architects in Portland from the time and designed many structures of historic significance that remain to this day in Portland.

The Rectory (north building) is very much the same building it has been since it was constructed in 1925. The building still contains administrative offices for the Cathedral and a permanent residence for the Cathedral's Monsignor. Generally speaking, this building's top floor has been well preserved with plaster walls, ceilings, fireplaces and other elements installed about 100 years ago.

The Parish House & School Building (south building) has had many more alterations than the Rectory. The structure originally contained classrooms, an assembly hall, and a third-floor gymnasium with lofty ceiling height under existing roof trusses. A prominent feature of the original design was a loggia-covered recessed playground with two stairs that faced the interior courtyard. In 1965 the building was entirely repurposed into the Convent & Parish Center, by Franks & Norman Architects. At this time the arcade was expanded and enclosed the interior courtyard. The Convent contained eight bedrooms, servant rooms, classrooms, a library, community spaces, and a chapel. Around the time of this renovation, a physical upper-level connection build-out was made between the two buildings. Impacts to the building's exterior walls and eaves are still in place today. Due to the occupancy of the Church's new convent the southern half of the structure was separated by a large three-story area separation wall. This change created two new interior exit stairways with new doorways added to the courtyard wall.

In 1987 The Convent & Parish Center was remodeled by Di Benedetto / Thomson Architects to be used as the Archbishop's Residence. During this renovation, lower level spaces facing NW 17th Ave were converted into a garage and a section of the upper floor was dedicated to the Archbishops residence and use. This renovation mainly affected the southern half of the of the Parish house building.

The cathedral features a red tiled gable roof, cast-stone Corinthian columns, and a square tower with copper cornices. The marble floor in the apse was laid in 1926. The new marble on the floor is the remainder of the cathedral is a pattern of several Italian marbles. The doors are white oak in cast bronze on the exterior. Letters on the granite sign are Roman majuscules from the Trajan inscription in Rome. The coat of arms on the sign is of the Archdiocese of Portland in Oregon. The three bells of the tower were

cast in the late 1880s and originally installed in the former cathedral at Third and Stark Streets. They were manually pealed until 2017, when the bells and yokes were refurbished and fitted with linear ringing motors. They sound at the pitches of D¹, F¹, and Ab¹.

The site is located within the Northwest Pedestrian District. The City's Transportation System Plan (TSP) classifies the site as "close to transit" and classifies the abutting rights-of-way (ROWs) as follows:

- NW Davis St: Local service bicycle, pedestrian, transit, traffic, and design street.
- NW Couch St: City Bikeway, Neighborhood Walkway, local service transit, traffic, and design street.
- NW 17th Ave: Local service bicycle, pedestrian, transit, traffic, and design street.
- NW 18th Ave: Major City Bikeway, City Walkway, transit access, local service traffic, and design street.

The Alphabet Historic District, recognized by listing in the National Register of Historic Places in 2000, encompasses an entire neighborhood. It is significant for associations with both individuals and historic trends, and also for its architectural expressions. The district includes a broad mix of building types, ranging from single-family residences to quarter-block apartment buildings to one- and two-story commercial structures to substantial religious institutions. The period of significance is also quite broad, 1880 to 1940, meaning that a significant range of stylistic approaches, from Italianate to Art Deco, is represented. Overall district cohesiveness is supported by a regular pattern of tree-lined streets and a consistent mid-range scale of buildings punctuated by an occasional larger structure. The neighborhood plan for the area is the "Northwest District Plan."

Zoning: The RM4 zone is a high density, urban-scale multi-dwelling zone applied near the Central City, and in town centers, station areas, and along civic corridors that are served by frequent transit and are close to commercial services. It is intended to be an intensely urban zone with a high percentage of building coverage and a strong building orientation to the pedestrian environment of streets, with buildings located close to sidewalks with little or no front setback. This is a mid-rise to high-rise zone with buildings of up to seven or more stories. The Design overlay zone is applied to this zone.

The historic resource overlay zone protects historic resources that have been identified as significant to the history of the city and region. The regulations implement Portland's Comprehensive Plan policies that address historic preservation. These policies recognize the role historic resources have in promoting education and enjoyment for those living in and visiting the region. The regulations foster awareness, memory, and pride among the region's current and future residents in their city and its diverse architecture, culture, and history. Historic preservation recognizes social and cultural history, retains significant architecture, promotes economic and environmental health, and stewards important resources for the use, education, and enjoyment of future generations.

The Design overlay zone ensures that Portland is both a city designed for people and a city in harmony with nature. The Design overlay zone supports the city's evolution within current and emerging centers of civic life. The overlay promotes design excellence in the built environment through the application of additional design standards and design guidelines that:

- Build on context by enhancing the distinctive physical, natural, historic and cultural qualities of the location while accommodating growth and change;
- Contribute to a public realm that encourages social interaction and fosters inclusivity in people's daily experience; and

- Promotes quality and long-term resilience in the face of changing demographics, climate and economy.

The Northwest Plan District implements the Northwest District Plan, providing for an urban level of mixed-use development including commercial, office, housing, and employment. Objectives of the plan district include strengthening the area's role as a commercial and residential center. The regulations of this chapter: promote housing and mixed-use development; address the area's parking scarcity while discouraging auto-oriented developments; enhance the pedestrian experience; encourage a mixed-use environment, with transit supportive levels of development and a concentration of commercial uses, along main streets and the streetcar alignment; and minimize conflicts between the mixed-uses of the plan district and the industrial uses of the adjacent Guild's Lake Industrial Sanctuary.

Land Use History: City records indicate that prior land use reviews include:

- LU 21-090868 HR – Historic Resource Review approval to replace two columns on the south elevation of the belfry at the top of the St Mary Catholic Cathedral Church bell tower.
- LU 17-112471 CU – Withdrawn proposal for new 6-story multi-dwelling building on north lot.
- LU 17-112462 HR – Withdrawn proposal for new 6-story multi-dwelling building on north lot.
- LU 02-151409 CU – Conditional Use approval for expansion of St. Mary's Cathedral and an increase to the number of parking spaces on north lot.
- LU 00-007364 CU AD – Conditional Use approval for cathedral expansion with Adjustments to landscaping and setbacks on east lot.
- LU 65-001485 CU (ref. file CU 032-65) – Conditional Use for convent and Parish Center for St. Mary's Cathedral.
- LU 61-003662 CU (ref. file CU 107-61) – Conditional Use approval for a parochial school and secondary religious building.

Agency Review: A "Notice of proposal in Your Neighborhood" was mailed **September 26, 2023**.

The following six Bureaus, Divisions and/or Sections responded with no objections and four of these included comments found in Exhibits E-1 to E-4:

- Life Safety Division of the Bureau of Development Services (Exhibit E-1)
- Bureau of Transportation Engineering and Development Review (Exhibit E-2)
- Fire Bureau (Exhibit E-3)
- Site Development Review Section of Bureau of Development Services (Exhibit E-4)
- Water Bureau
- Bureau of Environmental Services

The Bureau of Environmental Services responded with the following comment:

From the submitted site plans, it appears that the proposed project will add or redevelop less than 500 square feet of impervious area. Therefore, the stormwater management requirements of the SWMM are not triggered. Because the proposed redevelopment is less than 500 square feet, stormwater

from the addition can be directed into the existing storm system if it has available capacity and is in adequate condition. BES does not object to approval of the Historic Resource review application.

The following Bureaus responded with an objection and included comments found in Exhibit E-5:

- Urban Forestry responded with concerns about a potential street tree removal (Exhibit E-5)

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on **September 26, 2023**. No written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

ZONING CODE APPROVAL CRITERIA

Chapter 33.846.060 - Historic Resource Review

Purpose of Historic Resource Review

Historic Resource Review ensures the conservation and enhancement of the special characteristics of historic resources.

Historic Resource Review Approval Criteria

Requests for Historic Resource Review will be approved if the review body finds the applicant has shown that all of the approval criteria have been met.

Findings: The site is located within the Alphabet Historic District and the proposal is for a non-exempt treatment. Therefore Historic Resource Review approval is required. The approval criteria are the *Community Design Guidelines* and the *Historic Alphabet District Community Design Guidelines Addendum*.

Staff has considered all guidelines and addressed only those applicable to this proposal.

Historic Alphabet District - Community Design Guidelines Addendum

- 1. Historic Changes.** Most properties change over time; those changes that have acquired historic significance will be preserved.
- 2. Differentiate New from Old.** New additions, exterior alterations, or related new construction will retain historic materials that characterize a property to the extent practicable. Replacement materials should be reasonable facsimiles of the historic materials they replace. The design of new construction will be compatible with the historic qualities of the district as identified in the Historic Context Statement.
- 3. Hierarchy of Compatibility.** Exterior alterations and additions will be designed to be compatible primarily with the original resource, secondarily with adjacent properties, and finally, if located within a historic or conservation district, with the rest of the District. Where practical, compatibility will be pursued on all three levels. New development will seek to incorporate design themes characteristic of similar buildings in the Historic Alphabet District.

Community Design Guidelines

P1. Plan Area Character. Enhance the sense of place and identity by incorporating site and building design features that respond to the area's desired characteristics and traditions.

P2. Historic and Conservation Districts. Enhance the identity of historic and conservation districts by incorporating site and building design features that reinforce the area's historic significance. Near historic and conservation districts, use such features to reinforce and complement the historic areas.

E3. The Sidewalk Level of Buildings. Create a sense of enclosure and visual interest to buildings along sidewalks and pedestrian areas by incorporating small scale building features, creating effective gathering places, and differentiating street level facades.

D2. Main Entrances. Make the main entrances to houses and buildings prominent, interesting, pedestrian-accessible, and transit-oriented.

D4. Parking Areas and Garages. Integrate parking in a manner that is attractive and complementary to the site and its surroundings. Locate parking in a manner that minimizes negative impacts on the community and its pedestrians. Design parking garage exteriors to visually respect and integrate with adjacent buildings and environment.

D5. Crime Prevention. Use site design and building orientation to reduce the likelihood of crime through the design and placement of windows, entries, active ground level uses, and outdoor areas.

D6. Architectural Integrity. Respect the original character of buildings when making modifications that affect the exterior. Make additions compatible in scale, color, details, material proportion, and character with the existing building.

D7. Blending into the Neighborhood. Reduce the impact of new development on established neighborhoods by incorporating elements of nearby, quality buildings such as building details, massing, proportions, and materials.

D8. Interest, Quality, and Composition. All parts of a building should be interesting to view, of long lasting quality, and designed to form a cohesive composition.

Findings for 1, 2, 3; CDGs P1, P2, E3, D2, D4, D5, D6, D7, D8: The proposed project will bring a significant improvement in building functionality without significantly impacting the site's historic character. The subject property, whose historic name is the *Cathedral of the Immaculate Conception*, is a contributing resource in the Alphabetic Historic District. The proposed alterations will maintain the historic character and architectural integrity of the contributing site and will complement the historic district while allowing for the renovation and re-connection of two circa 100-year-old structures. The Rectory (north building) and the Parish House and School Building (south building) will be updated to be seismically resilient and to meet the modern needs of the occupants. Given the compatibility and limited scope of the exterior alterations proposed, the historic character of the property, surrounding area, and historic district will be retained and preserved.

While the interiors of the north and south buildings will be almost entirely gutted, the exterior alterations are fairly minor and are harmonious with the existing buildings. Each building will maintain its individual character, mass, form, and roof. Only non-original infill elements on the exterior of the structures will be removed. None of these non-original exterior features to be removed such as the roll-up garage doors, west side doors, or the existing connector, built circa 1965, have gained historic significance.

The project utilizes high-quality, durable materials that respond to the context of the surrounding area and will hold up over time, conveying permanence. The proposed alterations are compatible in quality, scale, details, and character with the existing building.

The project greatly improves the pedestrian experience by creating a more active frontage along NW 17th Ave. Multiple elements of the project enhance the pedestrian realm. These include replacing two garage doors with windows, the creation of a more prominent main entrance, and replacing the opaque connector with a glazed structure that will contain an active stairway area

adding eyes on the street and view opportunities between the building and the sidewalk.

The new windows on the east elevation to replace garage doors will match the size and proportion of the ground floor windows along NW 17th Ave. These however will be paired windows which are not identical to original windows to provide more light to the lower-level office space. When the garage doors were brought into the building in 1987 the structure was modified at these openings and steel posts and beams were installed with new concrete foundations. Removal of this steel structure to bring back the original rhythm and pattern along NW 17th Ave was not practical. However, the change from garage doors to windows is a huge improvement to the public realm nonetheless. All new windows at the courtyard (west) side will align with existing window planes.

While the existing connecting structure between the north and south buildings will be demolished, the historic character of the site will not be diminished. The existing connecting structure has not acquired meaningful significance and is utilitarian in character. Its east front is a hodgepodge of stairs, utility lines, windows, steel posts, and infill walls while its back side is a brick veneer wall whose mortar coursing doesn't align.

The two historic structures will be rejoined with a new connector as part of an interior reconfiguration that will include a new entry lobby, stairway, and elevator, greatly improving the functionality of the buildings. In the process of remodeling the double doors and stairway at NW 17th Ave to become the new main entry, the design team reviewed various options for reconfiguring and moving the stairs to enhance the entry sequence for building staff and visitors. By moving the main building stairs into the new connecting structure, a true lobby and three-story vertical volume will be created. Vertical exterior glazing at the new connecting structure will highlight and showcase the stairs. The existing brick masonry of the north building will be exposed within the lobby and stairway allowing the exposed brick to become an interior finish element which will also be visible from the public realm.

The new main entrance and lobby will provide accessible entry and accessible routes to all floors of the existing structures. The new elevator will facilitate accessibility throughout all levels of the building with four stops in the three-story structure. The new elevator was located south of the entry door to keep the elevator overrun and hoistway inside the building's existing attic space with no exterior impact.

The two buildings have different eave heights and floor levels which presented challenges to creating a successful connector that worked aesthetically and seismically. The proposed connecting structure overcomes those challenges and forms a cohesive composition with the historic structures while also not calling a great deal of attention to itself. The new connector is not taller than the existing buildings and is set back approximately 9 feet from their main façade building line, which is equivalent to its width. This helps it to remain secondary to the original buildings. The form of the connecting structure is rectangular with a flat rooftop. A new skylight on its roof is set back to differentiate it and to create a shadow line along with a slopped hipped form which is compatible with the clay tile roofs of the historic structures.

The connector will be constructed primarily of steel plate, aluminum trim, and a glass curtain wall system. The flush glazing system will provide a distinct contrast between old and new. The field that surrounds the glazing will be color-matched steel plate cladding which provides a contrast with the historic masonry texture and material of the existing historic structures. The metal color

is compatible having been derived from the darkest umber brick found in the existing masonry blend on the two buildings.

A major component of this project is seismically strengthening the existing structures. Towards this end, the design includes a 4" seismic joint between the north and south building which is located at the interface of the new connecting structure and the north building. The joint becomes visible at the exterior with an aluminum cover plate which is integrated into the adjacent metal plate cladding and aluminum curtainwall system.

The third-floor levels of the north and south buildings do not align, nor do their eaves. The design team reviewed options for locating the roof of the new connecting structure vertically between the south building eave and north building eaves to minimize its height and presence. The applicants have stated that after study it was determined that a height sitting under the existing south building eave could not be achieved while also providing a building-code-compliant ceiling height for the third floor and also maintaining a watertight design. Per the applicants, the height of the connecting structure is based on the minimum height required to provide a consistent interior ceiling plane, roofing crickets, and flashing to provide positive drainage at the affected roof area, and a tall enough coping and counterflashing to obtain a roofing warranty.

While the new tower impacts the existing eaves, the eaves will only be clipped back a small amount on the south building where the new connecting structure conflicts with the eaves. The north building currently has a notch in the eaves, or area void of overhang, along the south side. This roof configuration was original to the structure and can be seen in drawings dated 1925 by Jacobberger and Smith Architects. The project follows this pattern, notching the eaves of the south building to allow the connecting structure to pass vertically through the existing eave area and create waterproof conditions.

The modern curtainwall tower design is effective at differentiating the two historic brick buildings which were built at different times and were not designed to run together and read as a single building. The connector is also set back significantly from the two historic facades which contributes to their identity as two individual buildings. It will interconnect the buildings internally yet maintain the two-building historical aesthetic. Were the proposed connector a simple brick infill piece more akin to the existing design, it would create the perception of a single building. Instead, the proposed design respects the history of the two individual buildings and allows them to present as separate structures, while also unifying the interior space.

In reviewing this project, staff had concerns about the window-to-wall ratio of the tower's street-facing façade as proposed with the top of the tower being largely opaque. In response, the design team has included an alternate design that carries the glazing higher on the tower's front façade. The tower design with the taller curtain wall glazing lightens the connector's expression and is preferable to the primary option which reads as heavier and is visually distracting.

With a Condition of Approval that the approved design shall be the alternate design that features a taller curtain wall on the tower structure per drawings C-14 (alternate), C-21, C-22, C-28.1, C-28.2, C28.3, C28.4 these guidelines are met.

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review

process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

The proposed alterations to buildings that are part of the St Mary's Cathedral property, a contributing resource in the Alphabet Historic District, including replacing a connecting structure between the Rectory building and the Archbishop's Residence/Parish Center building, will bring a significant improvement in building functionality without significantly impacting the site's historic character. The new connecting structure is of a quality and style that complements the character of the historic site, and it will retain the integrity of the existing buildings by being significantly set back from their main façade line. Generally, the proposed alterations are compatible with the existing character and design of the contributing site, as well as the historic district. The purpose of the Historic Resource Review process is to ensure that additions, new construction, and exterior alterations to historic resources do not compromise their ability to convey historic significance. This proposal meets the applicable Historic Resource Review criteria and therefore warrants approval.

TENTATIVE STAFF RECOMMENDATION

(May be revised upon receipt of new information at any time to the Landmarks Commission decision)

Staff recommends approval of the proposed Type III Historic Resource Review for a proposal to make exterior alterations to buildings that are part of the St Mary's Cathedral property, a contributing resource in the Alphabet Historic District historically known as the *Cathedral of the Immaculate Conception* located in the Northwest Plan District, including replacing a connecting structure between the Rectory building (north building) and the Archbishop's Residence and Parish Center building (south building), per Exhibits C-1 through C-38, and subject to the following conditions:

- A. As part of the building permit application submittal, the following development-related conditions (B through D) must be noted on each of the 4 required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled "ZONING COMPLIANCE PAGE - Case File LU 23-068457 HR". All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED."
- B. At the time of building permit submittal, a signed Certificate of Compliance form (<https://www.portlandoregon.gov/bds/article/623658>) must be submitted to ensure the permit plans comply with the Design/Historic Resource Review decision and approved exhibits.
- C. The approved design shall be the alternate design that features a taller curtain wall on the tower structure per drawings C-14 (alternate), C-21, C-22, C-28.1, C-28.2, C28.3, C28.4 these guidelines are met.
- D. No field changes allowed.

=====

Procedural Information. The application for this land use review was submitted on July 28, 2023, and was determined to be complete on September 11, 2023.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on July 28, 2023.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period. Unless further extended by the applicant, **the 120 days will expire on 1/9/2024.**

Some of the information contained in this report was provided by the applicant. As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the recommendation of the Bureau of Development Services with input from other City and public agencies.

This report is not a decision. The review body for this proposal is the Landmarks Commission who will make the decision on this case. This report is a recommendation to the Landmarks Commission by the Bureau of Development Services. The review body may adopt, modify, or reject this recommendation. The Landmarks Commission will make a decision about this proposal at the hearing or will grant a continuance. Any new written testimony should be emailed to Tanya Paglia at Tanya.Paglia@portlandoregon.gov. If you cannot email comments and must mail comments via USPS mail, your comments to the Landmarks Commission can be mailed c/o the Landmarks Commission, 1900 SW Fourth Ave., Suite 5000, Portland, OR 97201.

Please note regarding USPS mail: USPS mail is only received a couple times a week, and testimony must be received before the close of the record. Therefore, please mail testimony well in advance of the hearing date.

If you are interested in viewing information in the file, please contact the planner listed on this decision. The planner can provide information over the phone or via email. Please note only digital copies of material in the file are available for viewing. A digital copy of the Portland Zoning Code is available on the internet at <http://www.portlandoregon.gov/zoningcode>.

You will receive mailed notice of the decision if you write a letter received before the hearing or testify at the hearing, or if you are the property owner or applicant. This Staff Report will be posted on the Bureau of Development Services website. Look at www.portlandonline.com. On the left side of the page use the search box to find Development Services, then click on the Zoning/Land Use section, select Notices and Hearings. Land use review notices are listed by the District Coalition shown at the beginning of this document. You may review the file on this case at the Development Services Building at 1900 SW Fourth Ave., Suite 5000, Portland, OR 97201.

Appeal of the decision. The decision of the Landmarks Commission may be appealed to City Council, who will hold a public hearing. If you or anyone else appeals the decision of the review body, only evidence previously presented to the review body will be considered by the City Council.

Who can appeal: You may appeal the decision only if you write a letter which is received before the close of the record for the hearing, if you testify at the hearing, or if you are the property owner/applicant. **Appeals must be filed within 14 days of the decision. An appeal fee of \$5,789.00 will be charged.**

Additional information on how to file and the deadline for filing an appeal will be included with the decision. Assistance in filing the appeal and information on fee waivers are available from the Bureau of Development Services website: <https://www.portlandoregon.gov/bds/article/411635>. Neighborhood associations recognized by the Office of Neighborhood Involvement may qualify for a waiver of the appeal fee provided that the association has standing to appeal. The appeal must contain the signature of the Chair person or other person authorized by the association, confirming the vote to appeal was done in accordance with the organization's bylaws.

Neighborhood associations, who wish to qualify for a fee waiver, must complete the Type III Appeal Fee Waiver Request for Organizations Form and submit it prior to the appeal deadline. The Type III Appeal Fee Waiver Request for Organizations Form contains instructions on how to apply for a fee waiver, including the required vote to appeal.

Recording the final decision.

If this land use review is approved the final decision will be recorded with the County Recorder. *Unless appealed*, the final decision will be recorded by the Bureau of Development Services.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Zone Change and Comprehensive Plan Map Amendment approvals do not expire.

Applying for your permits. A building permit, occupancy permit, or development permit must be obtained before carrying out this project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed here.
- All applicable development standards, unless specifically exempted as part of this land use review.
- All requirements of the building code.
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the city.

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five

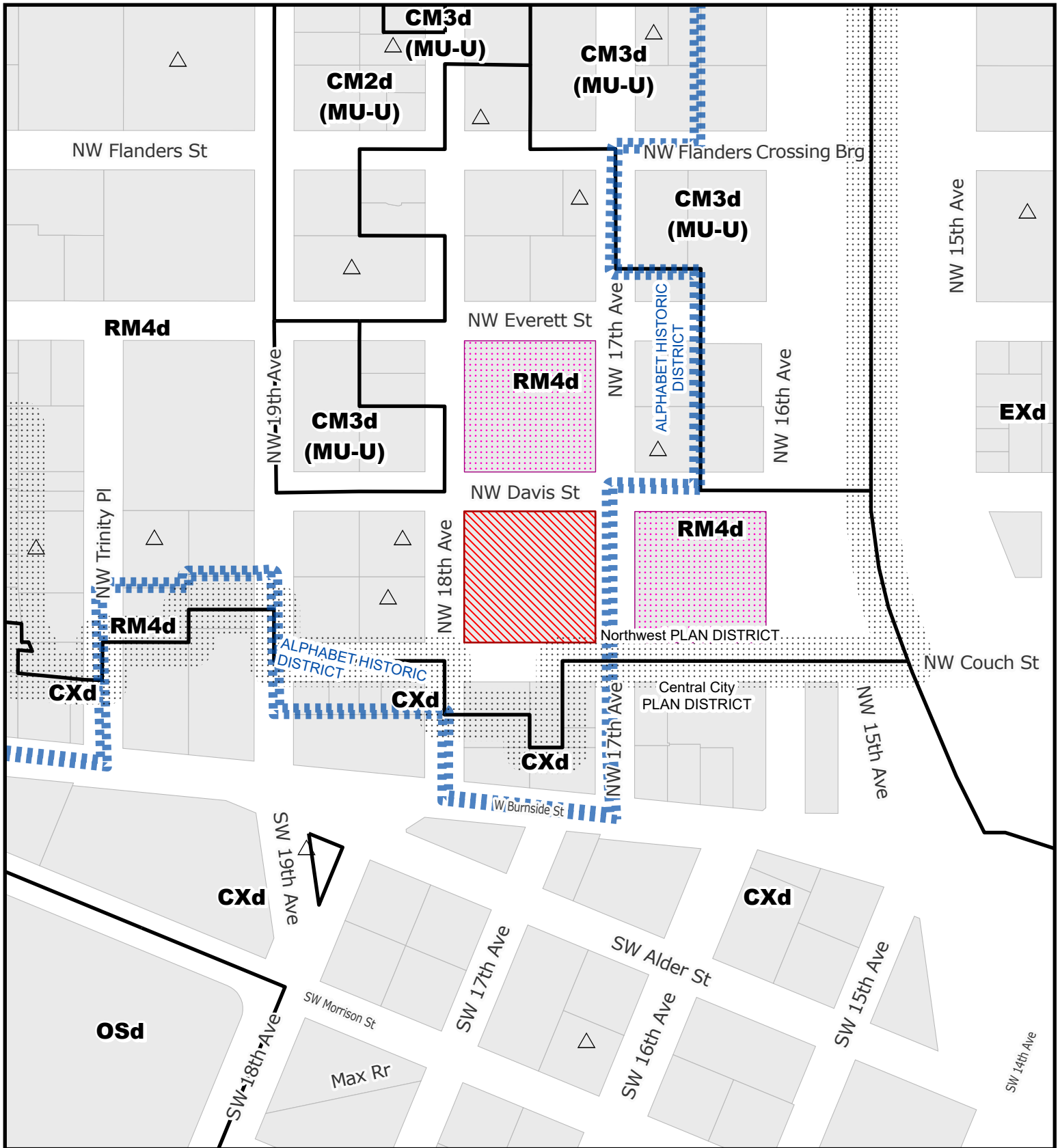
business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).

Tanya Paglia
October 13, 2023

EXHIBITS – NOT ATTACHED UNLESS INDICATED

- A. Applicant's Submittal
 - 1. Applicant's original project narrative, response to approval criteria, zoning narrative, 7/26/2023
 - 2. Original plan set – NOT APPROVED/reference only, 7/26/2023
 - 3. Applicant's response to incomplete letter, 8/31/2023
 - 4. Applicant's exhibits in response to incomplete letter – NOT APPROVED/reference only 8/31/2023
 - 5. Applicant's second response to incomplete letter, 9/13/2023
 - 6. Applicant's additional exhibits in response to incomplete letter – NOT APPROVED/reference only 9/13/2023
 - 7. Revised plan set – NOT APPROVED/reference only, 9/21/2023
 - 8. Revised plan set – NOT APPROVED/reference only, 10/6/2023
- B. Zoning Map (attached)
- C. Plan & Drawings
 - 1. Plan set cover sheet
 - 2. Site Context Map (C2)
 - 3. Site Context Photos (C3)
 - 4. Site Context Photos (C3-1)
 - 5. Historic Images (C5)
 - 6. Property History Timeline (C6)
 - 7. Two Building Diagram
 - 8. Existing Site Plan (C7)
 - 9. Proposed Site Plan (C8) **(attached)**
 - 10. Proposed Ground Floor Plan (C9)
 - 11. Proposed Second Floor Plan (C10)
 - 12. Roof Plan (C11)
 - 13. Enlarged Roof Plans (C11-1)
 - 14. Existing East Elevation (C13)
 - 15. Proposed East Elevation – Applicant's Preferred Curtainwall Option (C14) **(attached)**
 - 16. Proposed East Elevation – Applicant's Alternate Taller Curtainwall Option **(attached)**
 - 17. Existing North Elevation (C15)
 - 18. Proposed North Elevation (C16)
 - 19. Existing West Elevation (C17)
 - 20. Proposed West Elevation (C18) **(attached)**
 - 21. Existing South Elevation (C19)
 - 22. Proposed South Elevation (C20)
 - 23. North Building South Elevation Clipped from Original Drawing Dated 1925
 - 24. Building Section – Rats Alley (Connector) – Applicant's Preferred Curtainwall Option (C21.1)
 - 25. Building Section – Rats Alley (Connector) – Alternate Taller Curtainwall Option (C21)
 - 26. South Building North Elevation – Demo (C21.2)
 - 27. North Building South Elevation – Demo (C21.3)
 - 28. Enlarged Elevation/Section – Alternate Taller Curtainwall Option (C22)
 - 29. Enlarged Elevation/Section (C23)

30. New Garage Door (C24)
 31. Enlarged Elevation/Section (C25)
 32. Renderings (C26)
 33. Renderings (C27)
 34. Renderings (C28)
 35. Perspective Views with Alternate Taller Curtainwall Option (C28.1)
 36. Perspective Views with Alternate Taller Curtainwall Option (C28.2)
 37. Perspective Views with Alternate Taller Curtainwall Option (C28.3)
 38. Perspective Views with Alternate Taller Curtainwall Option (C28.4)
- D. Notification information:
1. Request for response
 2. Posting letter sent to applicant
 3. Notice to be posted
 4. Applicant's statement certifying posting
 5. Mailed notice
 6. Mailing list
- E. Agency Responses:
1. Life Safety Division of the Bureau of Development Services
 2. Bureau of Transportation Engineering and Development Review
 3. Fire Bureau
 4. Site Development Review Section of Bureau of Development Services
 5. Urban Forestry
- F. Letters: None received
- G. Other
1. Original LUR Application
 2. Pre-Application Conference notes, EA 23-013495 PC, 3/14/2023
 3. Request for Completeness responses from BES and PBOT
 4. Incomplete letter, 8/18/2023
 5. Oregon Historic Site Record
 6. Historic Resource Inventory (HRI)



For Zoning Code in Effect Post October 1, 2022

ZONING

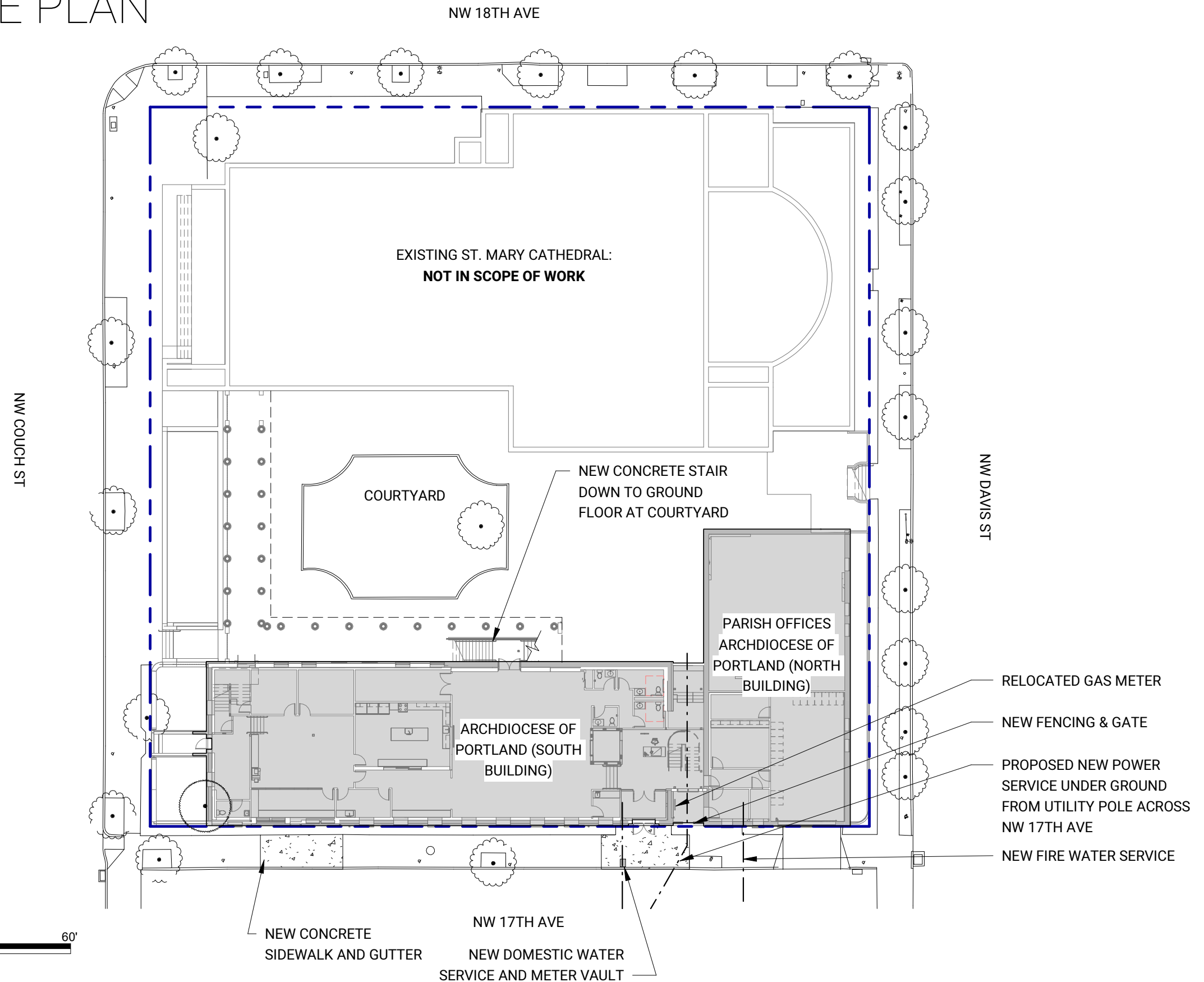
THIS SITE LIES WITHIN THE:
NORTHWEST PLAN DISTRICT
ALPHABET HISTORIC DISTRICT

-  Site
-  Also Owned Parcels
-  Plan District
-  Historic District
-  Historic Landmark

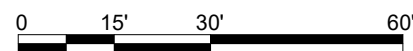
File No.	<u>LU 23 - 068457 HR</u>
1/4 Section	<u>3028</u>
Scale	<u>1 inch = 200 feet</u>
State ID	<u>1N1E33DB 5400</u>
Exhibit	<u>B Jul 26, 2023</u>

PROPOSED SITE PLAN

C8

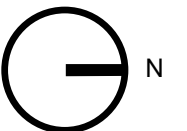


Scale: 1" = 30'-0"



221084 | ARCHDIOCESE PASTORAL CENTER OFFICES |
10.05.2023

NOT FOR CONSTRUCTION

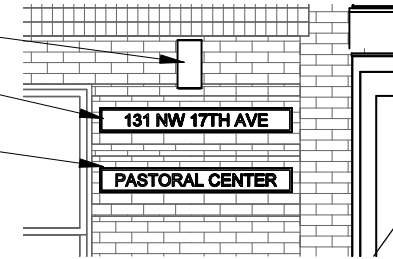


LU 23-068457 HR H-1

PROPOSED ELEVATION - EAST

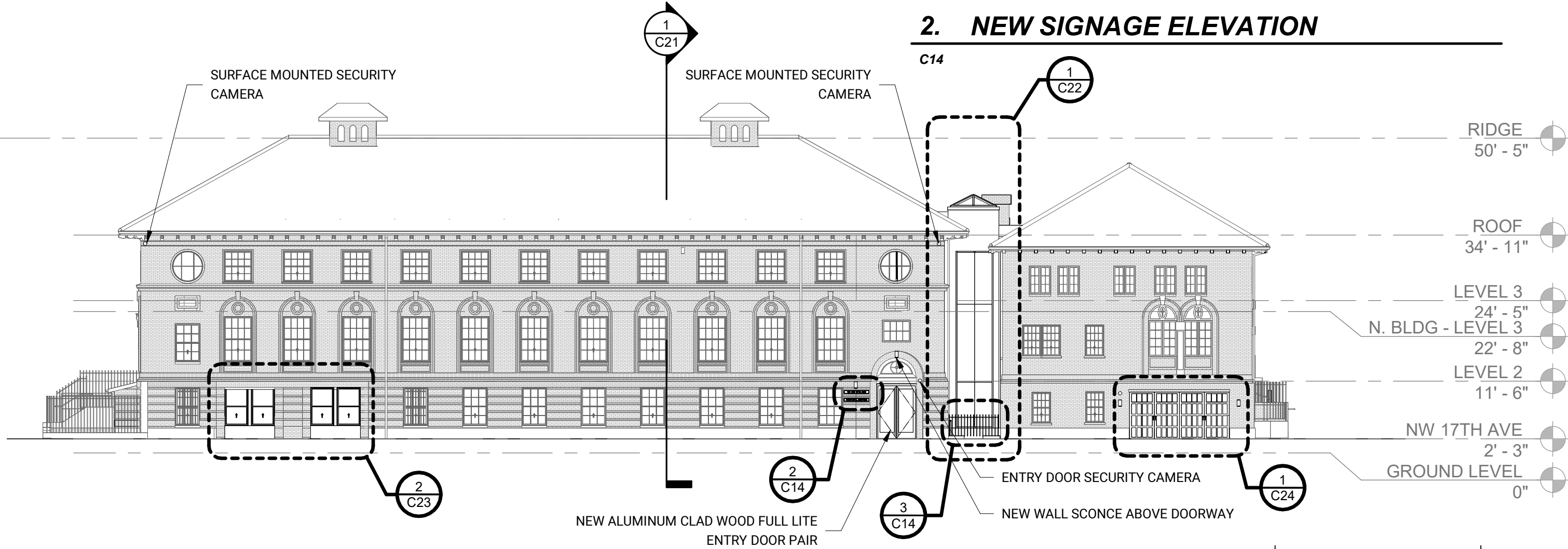
C14

- NEW LIGHT ABOVE TO ILLUMINATE SIGNAGE
- NEW ADDRESS SIGNAGE
- NEW BUILDING SIGNAGE. METAL PLAQUE WITH METAL LETTERING.



2. NEW SIGNAGE ELEVATION

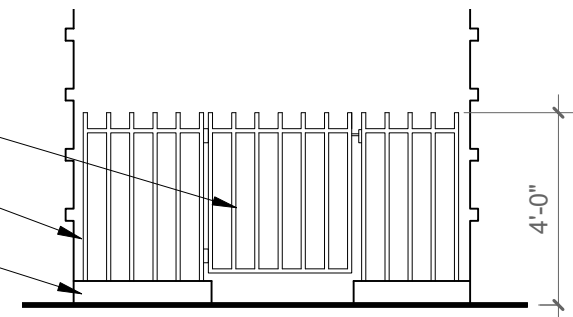
C14



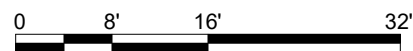
3. FENCE & GATE ELEVATION

C14

- METAL GATE FOR MAINTENANCE ACCESS
- METAL FENCING TO MATCH EXISTING
- CONCRETE CURB



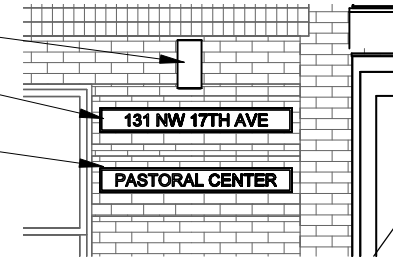
Scale: As indicated



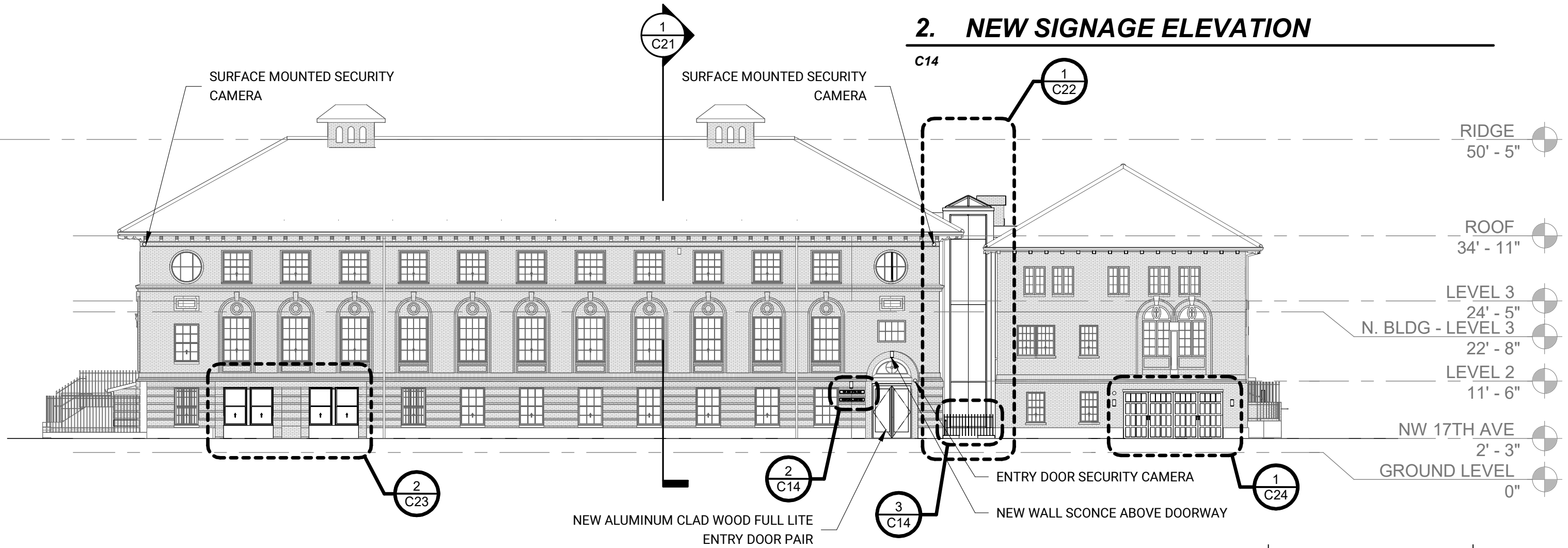
PROPOSED ELEVATION - EAST

C14 UPDATE WITH TALLER CURTAINWALL / GLASS AREA

NEW LIGHT ABOVE TO ILLUMINATE SIGNAGE
 NEW ADDRESS SIGNAGE
 NEW BUILDING SIGNAGE. METAL
 PLAQUE WITH METAL LETTERING.

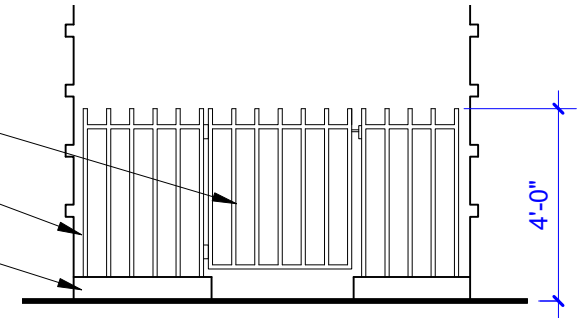


2. NEW SIGNAGE ELEVATION



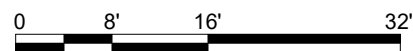
ENTRY DOOR SECURITY CAMERA
 NEW WALL SCONCE ABOVE DOORWAY

METAL GATE FOR MAINTENANCE ACCESS
 METAL FENCING TO MATCH EXISTING
 CONCRETE CURB



3. FENCE & GATE ELEVATION

Scale: As indicated



221084 | ARCHDIOCESE PASTORAL CENTER OFFICES |
 10.05.2023

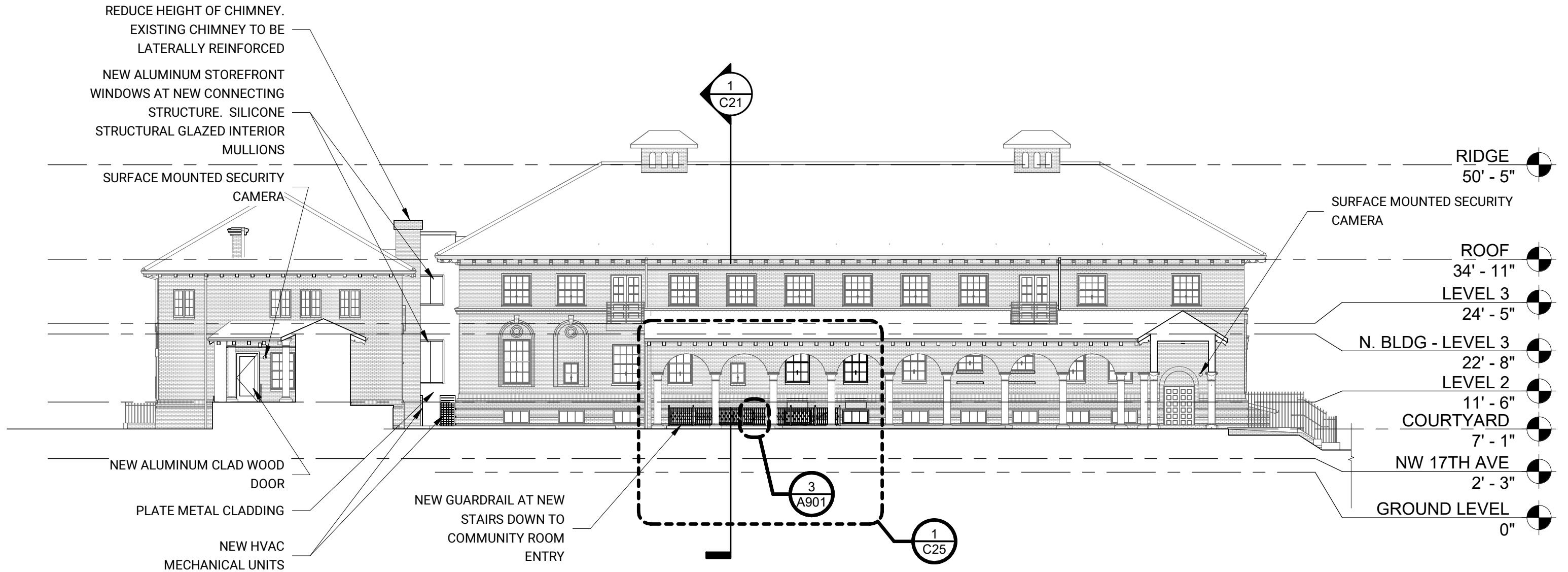
NOT FOR CONSTRUCTION



LU 23-068457 HR H-1

PROPOSED ELEVATION - WEST

C18



Scale: 1/16" = 1'-0"





City of Portland Historic Landmarks Commission

Type III Land Use Review

MEMORANDUM

Date: 10/16/2023
To: Historic Landmarks Commission
From: Tanya Paglia, Design / Historic Review Team
 503-865-6518 | Tanya.Paglia@portandoregon.gov
Re: LU 23-068457 HR – St Mary’s Church Administration Offices Renovation Project
 Type III Design Review– Monday, October 23, 2023

Attached is a drawing set for the Type III Historic Resource review scheduled on October 23, 2023. Please contact me with any questions or concerns. Supporting documents are available as follows:

- Drawings, Guidelines matrix and other documents – accessed here:

<https://efiles.portlandoregon.gov/Record/16342208/>

Note: Commissioners who requested hard copies will receive the drawing set by courier.

I. PROGRAM OVERVIEW

Type III Historic Resource Review hearing for a proposal to make exterior alterations to buildings that are part of the St Mary’s Cathedral property, a contributing resource in the Alphabet Historic District historically known as the *Cathedral of the Immaculate Conception* located in the Northwest Plan District. The exterior alterations accompany a full-scale interior demolition and renovation of the existing administration buildings including seismic strengthening. The project will involve replacing a connecting structure between the Rectory building and the Archbishop’s Residence and Parish Center building, as well as multiple changes to the existing facades including door, window, chimney, stair, lighting, and other small changes.

II. DEVELOPMENT TEAM BIO

Architect	Michael Roberts LRS Architects
Owner	Jo Willhite Archdiocese of City of Portland
Project Valuation	\$745,500

III. HISTORIC REVIEW APPROVAL CRITERIA – See attached matrix.

- Community Design Guidelines; and
- Alphabet Historic District Community Design Guidelines Addendum.

III. MODIFICATIONS: N/A

IV. STAFF RECOMMENDATION

Staff found that the proposal meets the applicable Historic Resource Review criteria, therefore, the Staff Report recommends approval.

From the SR conclusion:

The proposed alterations to buildings that are part of the St Mary's Cathedral property, a contributing resource in the Alphabet Historic District, including replacing a connecting structure between the Rectory building and the Archbishop's Residence/Parish Center building, will bring a significant improvement in building functionality without significantly impacting the site's historic character. The new connecting structure is of a quality and style that complements the character of the historic site, and it will retain the integrity of the existing buildings by being significantly set back from their main façade line. Generally, the proposed alterations are compatible with the existing character and design of the contributing site, as well as the historic district. The purpose of the Historic Resource Review process is to ensure that additions, new construction, and exterior alterations to historic resources do not compromise their ability to convey historic significance. This proposal meets the applicable Historic Resource Review criteria and therefore warrants approval.

V. CONDITIONS OF APPROVAL

The standard three conditions of approval have been added. In addition, the following two conditions were added:

- C. The approved design shall be the alternate design that features a taller curtain wall on the tower structure per drawings C-14 (alternate), C-21, C-22, C-28.1, C-28.2, C28.3, C28.4 these guidelines are met.

VI. PROCEDURAL NOTES

- The subject proposal held a Pre-application Conference on (EA 23-013495 PC) on 3/14/2023.
- The application was deemed complete on 9/11/2023.

Reference Materials:

- Drawing Set 10/5/2023
- Guidelines Matrix



City of Portland
Historic Landmarks
Commission

Type III Land Use Review

LU 23-068457 HR

St Mary's Church Administration Offices Renovation Project

October 23, 2023

Staff Presentation

Context

Location

Zoning

Approval Criteria

Context

Program Overview

Applicant Presentation

Discussion Items

Staff Recommendation

Conditions of Approval

Next Steps

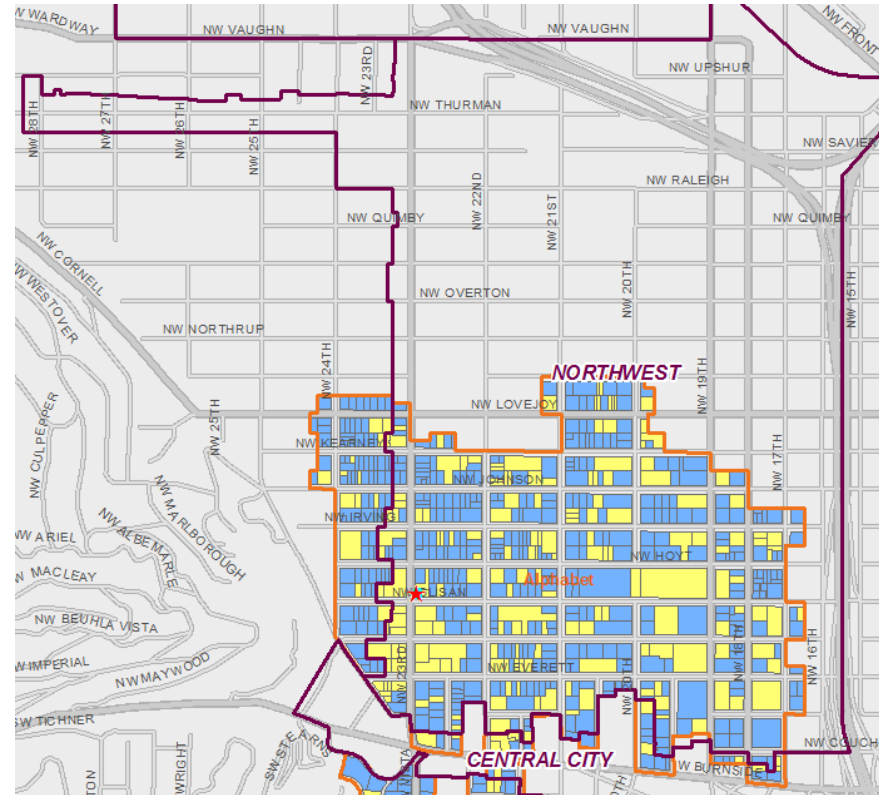
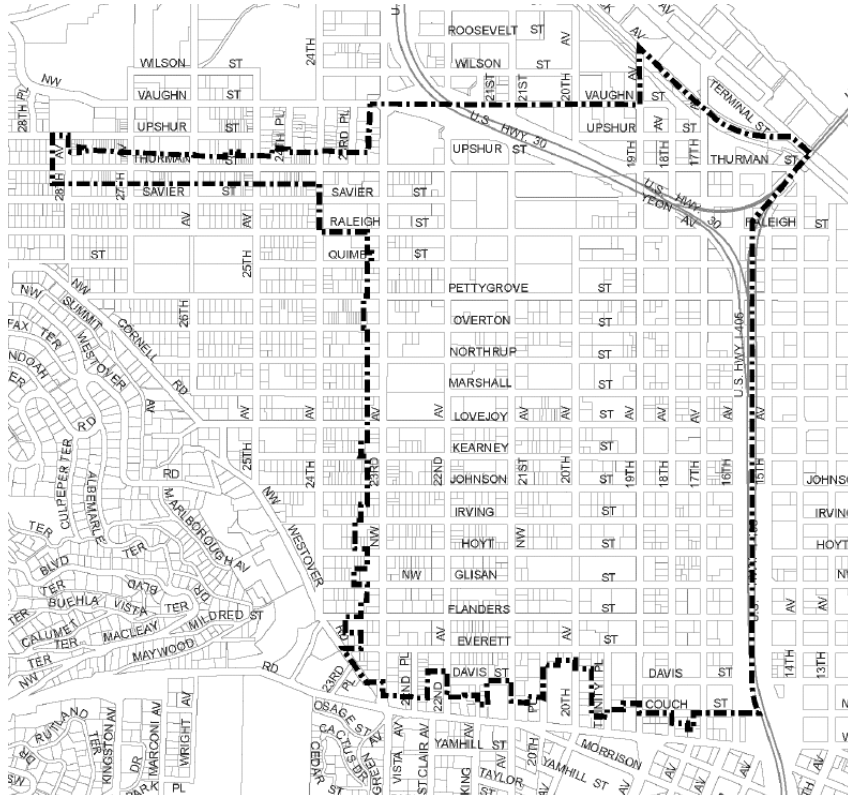
Context

LU 23-068457 HR H-3

Location

Northwest Plan District

Alphabet Historic District



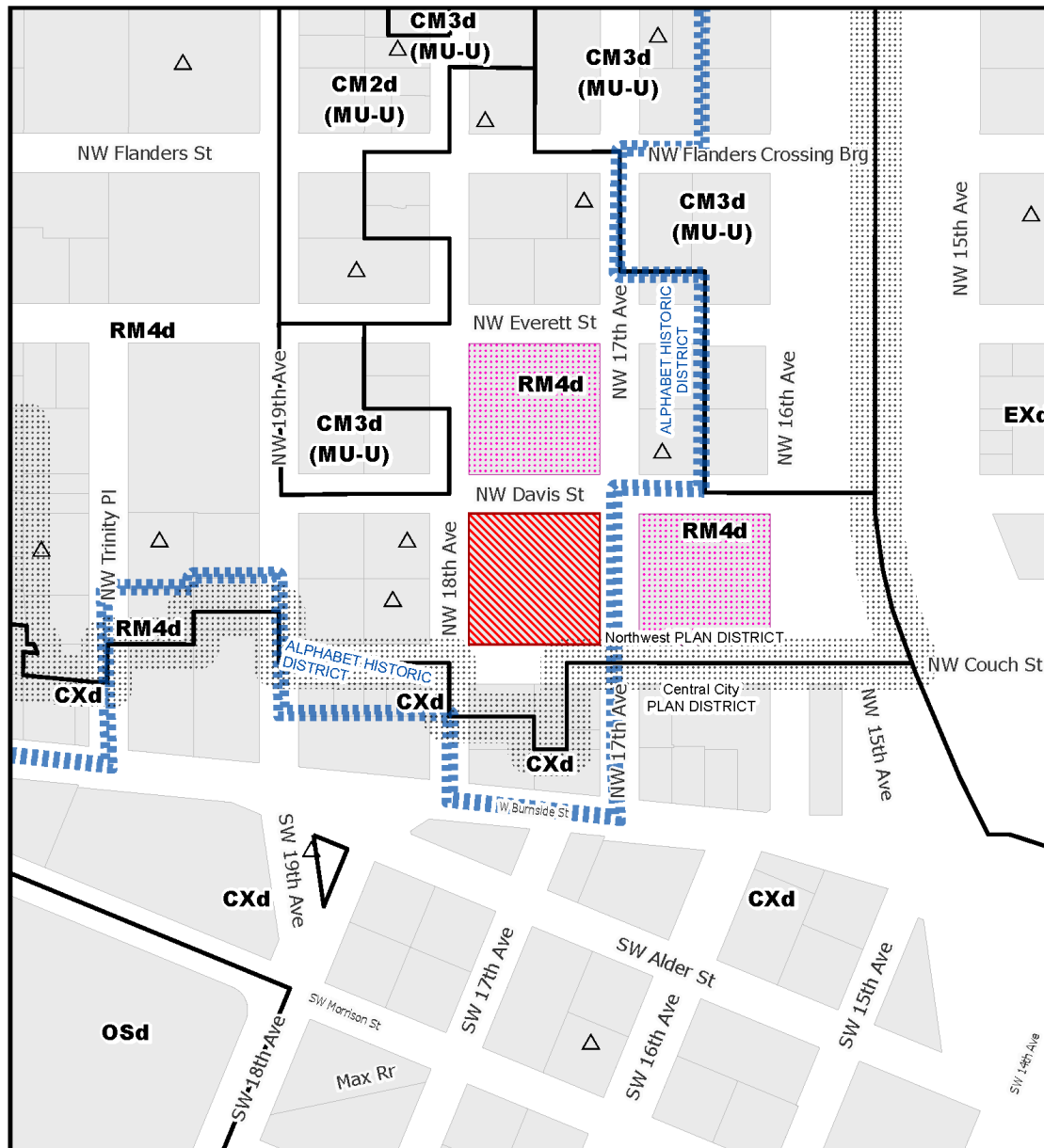
Zoning

Base Zone:
RM4, Residential Multi-Dwelling 4

Overlay:
Historic Resource Overlay
Design Overlays

Floor Area Ratio:
3:1

Height:
75' max



For Zoning Code in Effect Post October 1, 2022

ZONING

THIS SITE LIES WITHIN THE:
NORTHWEST PLAN DISTRICT
ALPHABET HISTORIC DISTRICT

- Site
- Also Owned Parcels
- Plan District
- Historic District

Approval Criteria

Historic Alphabet District
Addendum

Community Design
Guidelines

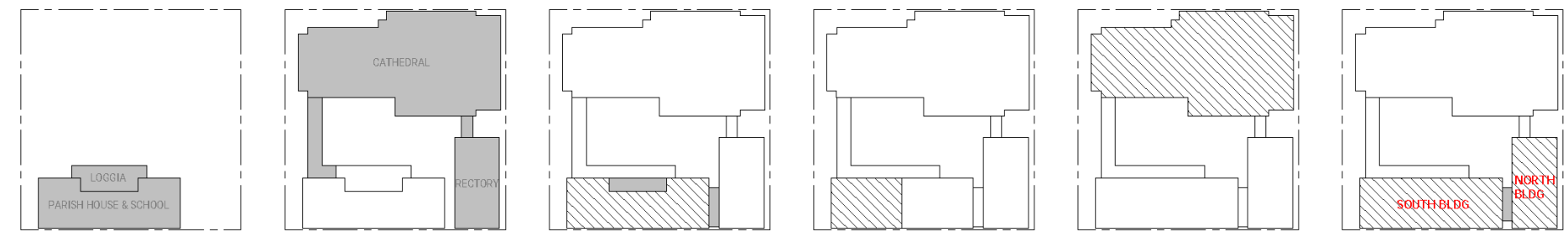




Context

- St Mary's Cathedral property, a contributing resource in the Alphabet Historic District historically known as the Cathedral of the Immaculate Conception
- West Burnside 1 block south
- I-405 East 1 block east
- Central City Plan District, Goose Hollow Sub-district boundary just south of site
- Central City Plan District, Pearl District Sub-district boundary 1 block east of site

1914 1925 1965 1987 1994 2024



CONSTRUCTION OF THE PARISH HOUSE AND SCHOOL BUILDING.

CONSTRUCTION OF ST. MARY'S CATHEDRAL OF IMMACULATE CONCEPTION AND THE RECTORY BUILDING.

PARISH HOUSE AND SCHOOL IS CONVERTED INTO THE CONVENT AND PARISH CENTER.

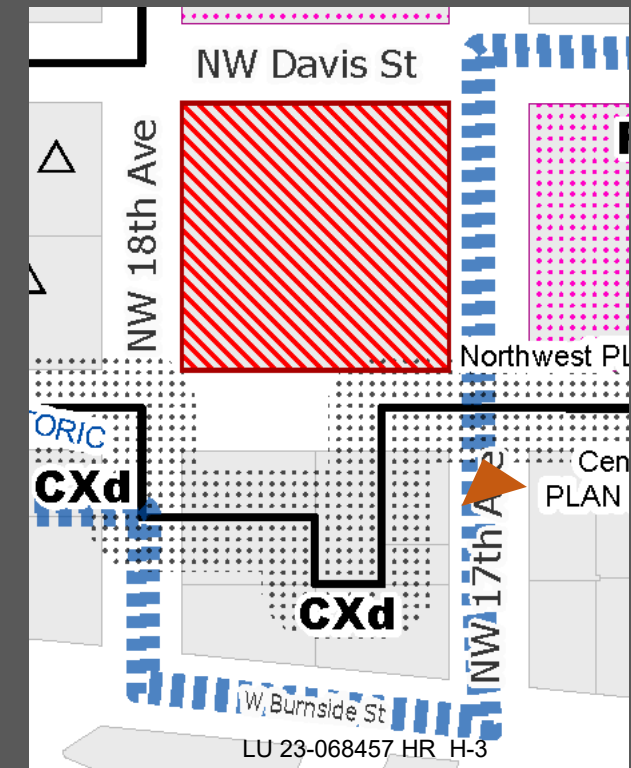
CONVERSION OF THE CONVENT TO THE ARCHBISHOPS RESIDENCE.

SEISMIC AND MECHANICAL UPGRADES TO THE CATHEDRAL.

CURRENT: CONVERSION OF THE ARCHBISHOPS RESIDENCE AND PARISH CENTER TO THE ARCHDIOCESE OF PORTLAND.

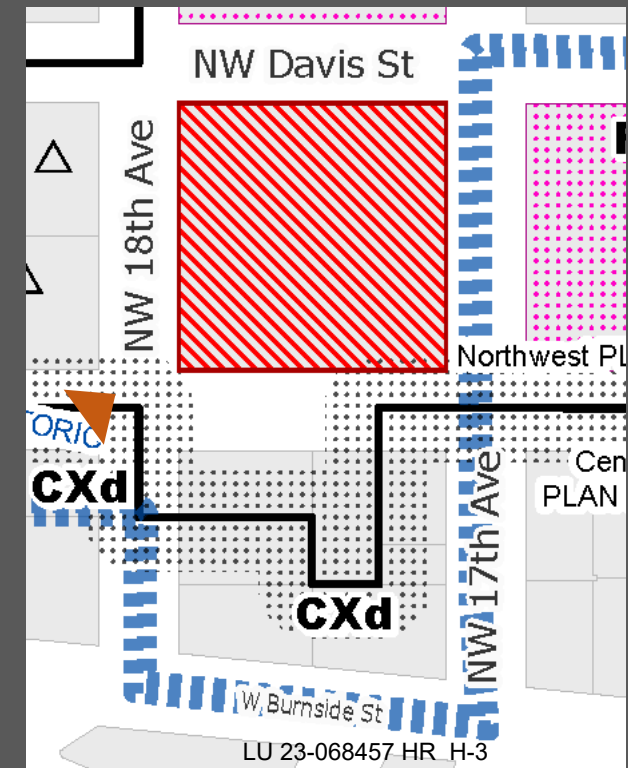
Context

- Looking north along NW 17th Ave @ intersection with NW Couch St
- SE corner of complex



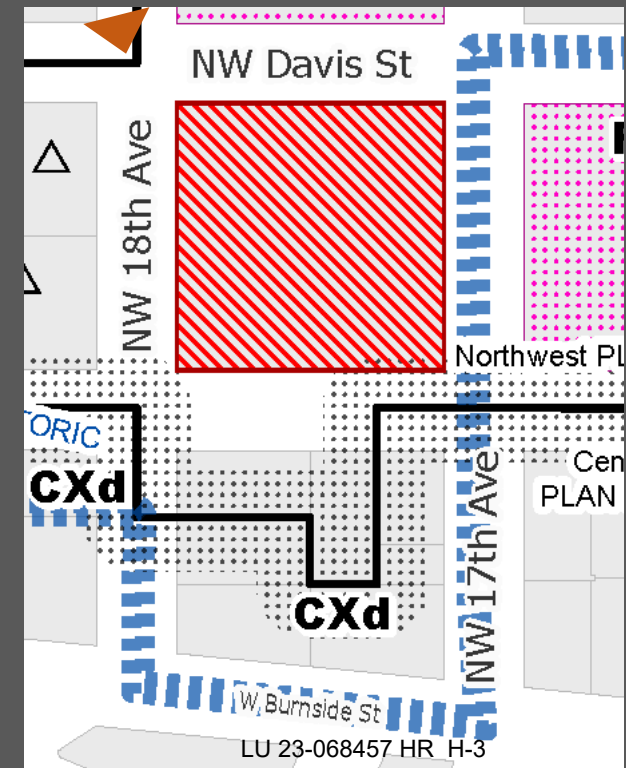
Context

- Looking at SW corner of site at intersection of NW 18th Ave and NW Couch St
- SW corner of complex



Context

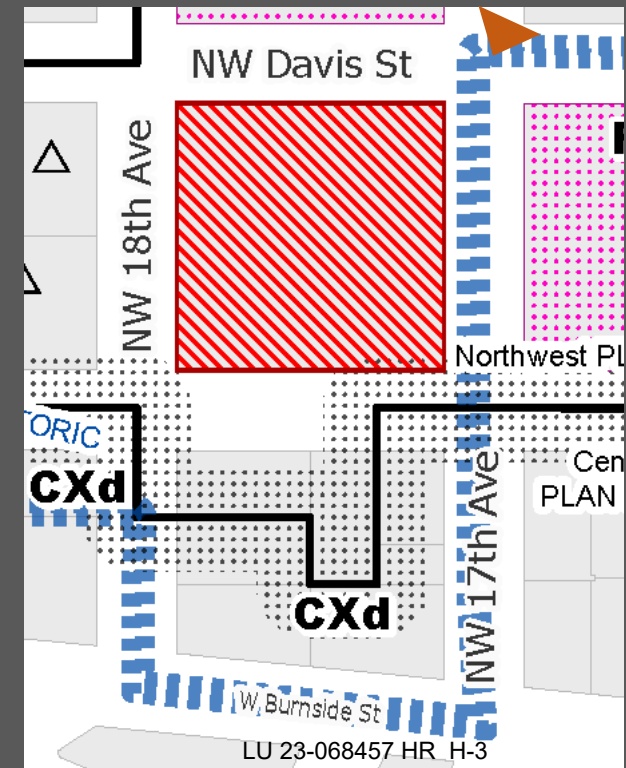
- Looking south along NW 18th Ave @ intersection with NW Davis St
- NW corner of complex





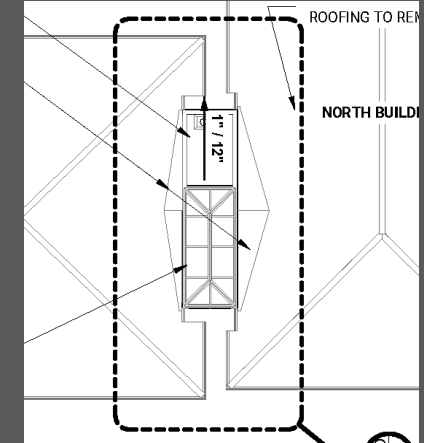
Context

- Looking south along NW 17th Ave @ intersection with NW Davis St
- NE corner of complex



- Replacement of a connecting structure between the Rectory building (“north building”) and the Archbishop’s Residence and Parish Center building (“south building”).
- The connector will be recessed between the two historic buildings.
- A portion of the south building’s eaves will be cut into and removed, and some clay tile roofing material will be removed from both the south and north buildings to accommodate the connector’s roof.
- New connector will be an aluminum curtainwall system with plate metal cladding and a pre-cast concrete base, and will have an aluminum skylight system.

Program Overview

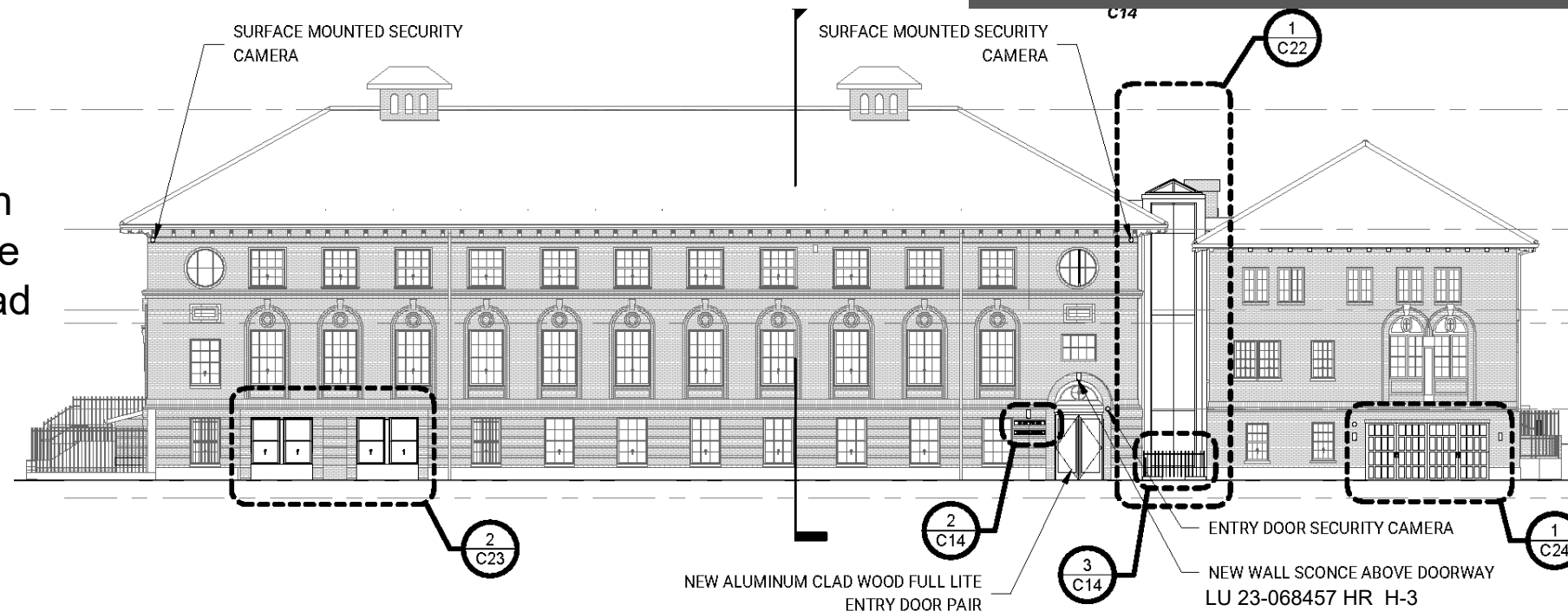


Program Overview

The project also includes (but is not limited to):

- East Elevations (NW 17th Ave frontage):
 - South Building
 - New aluminum-clad wood full-lite entry door in the existing opening.
 - Infill the two garage openings with two sets of new double-hung aluminum-clad wood windows above a pre-cast concrete base.
 - New metal gate and fencing to secure the recessed area in front of the new connecting structure.
 - Removal of existing non-original chimney.

- North Building
 - Replacement of garage doors with new carriage-style sectional overhead doors.



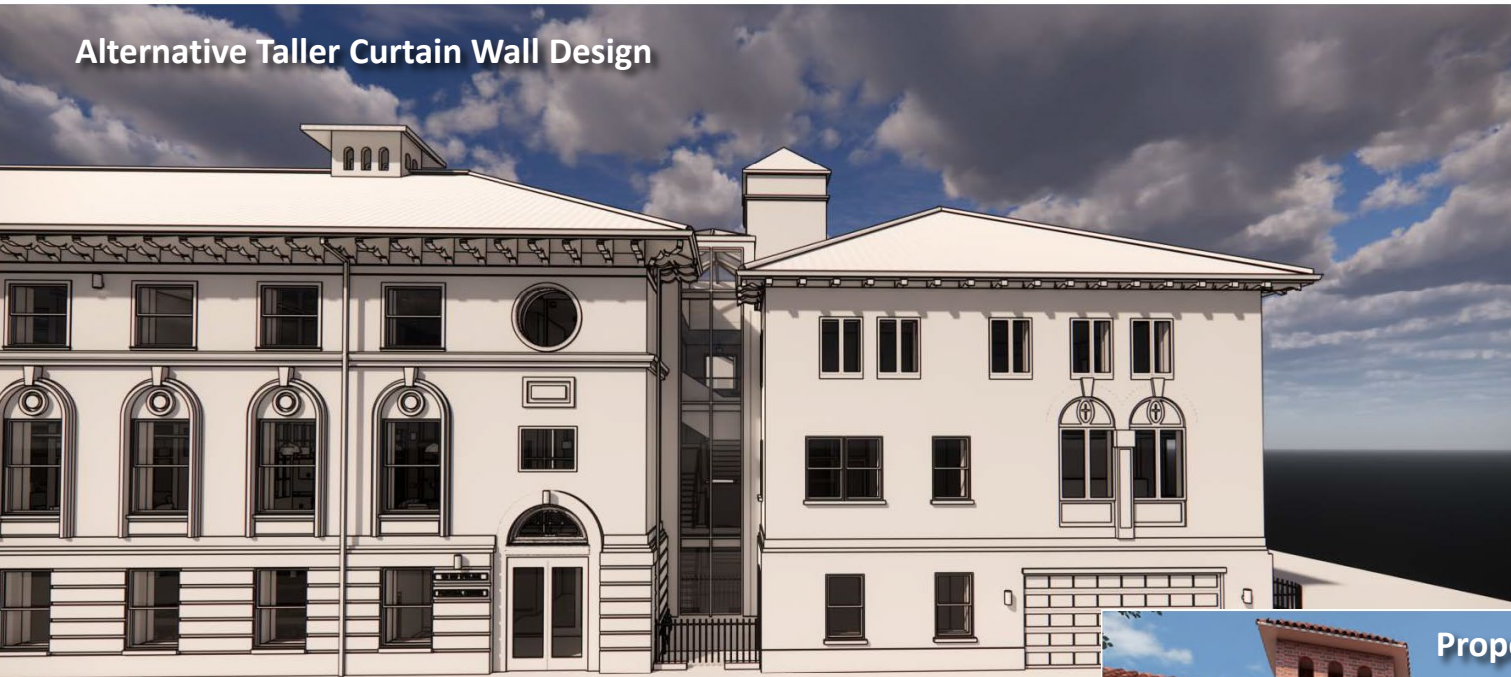
Applicant Presentation

LU 23-068457 HR H-3

Discussion Topics

LU 23-068457 HR H-3

Alternative Taller Curtain Wall Design



Discussion Topics

1. Tower Curtain Wall

Proposed Curtain Wall Design



Staff recommendation is for the alternate design with taller curtain wall on the new connector.

Staff Recommendations

LU 23-068457 HR H-3

Staff recommends approval

With the standard 3 conditions as well as the following condition of approval:

- C. The approved design shall be the alternate design that features a taller curtain wall on the tower structure per drawings C-14 (alternate), C-21, C-22, C-28.1, C-28.2, C28.3, C28.4 these guidelines are met.*

Design Commission Options

- 1) Accept staff report and approve the proposal with suggested Conditions of Approval;
- 2) Accept staff report and approve the proposal with an edited condition; added conditions, or no conditions;
- 3) Reject staff report and request the applicant or staff to return with revisions.

Questions

LU 23-068457 HR H-3

10-23-23 - LANDMARKS COMMISSION

BRIEFING - Housing Regulatory Relief Code Project

ATTENDEES - **TESTIFIERS IN RED** *(subject to change)*

FIRST NAME	LAST NAME	EMAIL	WOULD YOU LIKE TO TESTIFY
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LU 23-068457 HR St Marys Church Admin Office Renovation Project

ATTENDEES - **TESTIFIERS IN RED** *(subject to change)*

FIRST NAME	LAST NAME	EMAIL	WOULD YOU LIKE TO TESTIFY
------------	-----------	-------	---------------------------

Hilary	Dorsey	hdorsey@djcoregon.com	NO
Will	Lagomarsino	wlagomar@uoregon.edu	NO
Robert	Boileau	rboileau@lrsarchitects.com	NO
Phil	Nameny	phil.nameny@portlandoregon.gov	NO