

**City of Portland, Oregon - Bureau of Development Services**1900 SW Fourth Avenue · Portland, Oregon 97201 | 503-823-7300 | www.portland.gov/bds**Permit Revision Submittal Requirements and Application**

A Permit Revision is required when there are proposed changes to the project after the permit has been issued. This may arise due to discrepancies between the city-approved permit drawings and actual field conditions, or the customer has changed their mind about an aspect of the project. In all cases, a revision to the existing permit must be submitted, reviewed and approved.

Minimum Submittal Requirements (check all boxes and sign below):

- ☐ A copy of this application.
- ☐ One PDF copy of plans for electronic submittals or three copies for paper submittals.
- ☐ All plans must clearly reflect the proposed change(s). Changes must be bubbled.
- ☐ Drawings and calculations must be stamped and signed by the Architect and/or the Engineer of Record, if applicable.
- ☐ Project narrative for extensive revisions.
- ☐ One PDF copy of calculations and other supporting documents for electronic submittals or two copies for paper submittals.
- ☐ Copy of Inspector's correction notice, if the revision is due to an inspection correction. One PDF copy for electronic submittals and two copies for paper submittals.

Applicant Information:Applicant Name Maria AdrianStreet Address 229 NW 7th StCity/State/ZIP McMinnville, 97128Email maria_adrian@hotmail.comPhone 503-318-1257Value of Proposed Revision 0Issued Permit # 22-193728Job Site Address 9742 SE Woodstock CtCity/State/ZIP Portland, 97266**Description of Revision**

Manufactured home to be placed on 6" compacted gravel pad with block piers and earthquake anchors not perimeter foundation.

Applicant Signature Maria AdrianDate 09/13/2023**Fees:**

An invoice with permit fees will be sent to the applicant once minimum submittal requirements have been verified. Permit Revisions are subject to fees associated with plan review, processing and any increase in project value.

The Bureau of Development Services fee schedule is on the BDS web site: www.portlandoregon.gov/bds/article/102792

Helpful Information:

Bureau of Development Services | City of Portland, Oregon

1900 SW 4th Avenue, Portland, OR 97201

For Hours Call 503-823-7310 or visit www.portlandoregon.gov/bds**Important Telephone Numbers:**

BDS main number	503-823-7300
DSC automated information line	503-823-7310
Building code information	503-823-1456
BDS 24-hour inspection request line	503-823-7000
Residential information for one- and two-family dwelling	503-823-7388
General Permit Processing and Fee Estimate info	503-823-7357
Zoning Information Line	503-823-7526
City of Portland TTY	503-823-6868

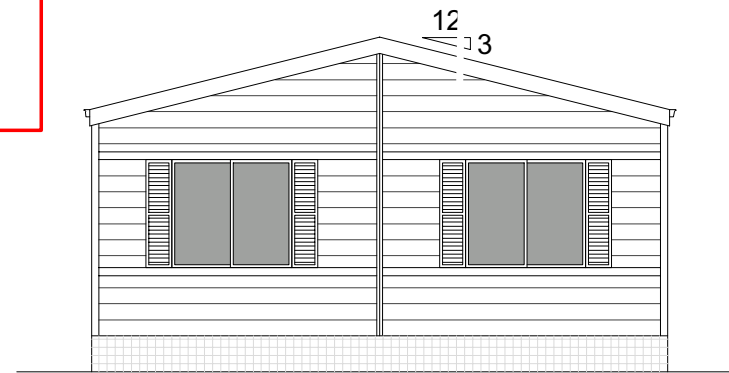
22-193728-REV-01-MI

City Of Portland

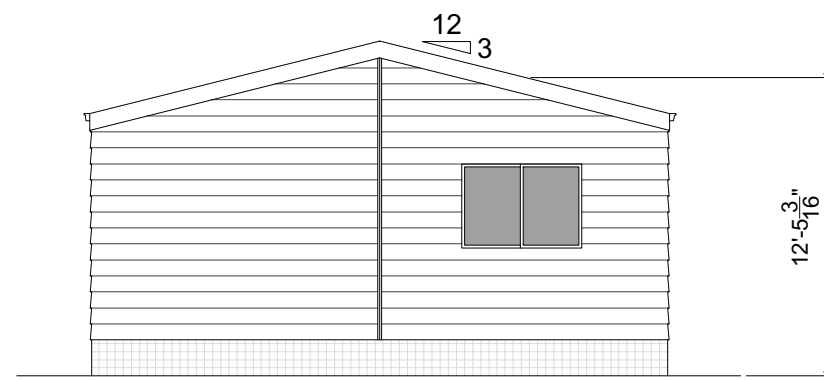
REVIEWED FOR CODE COMPLIANCE

Date: 10/09/23

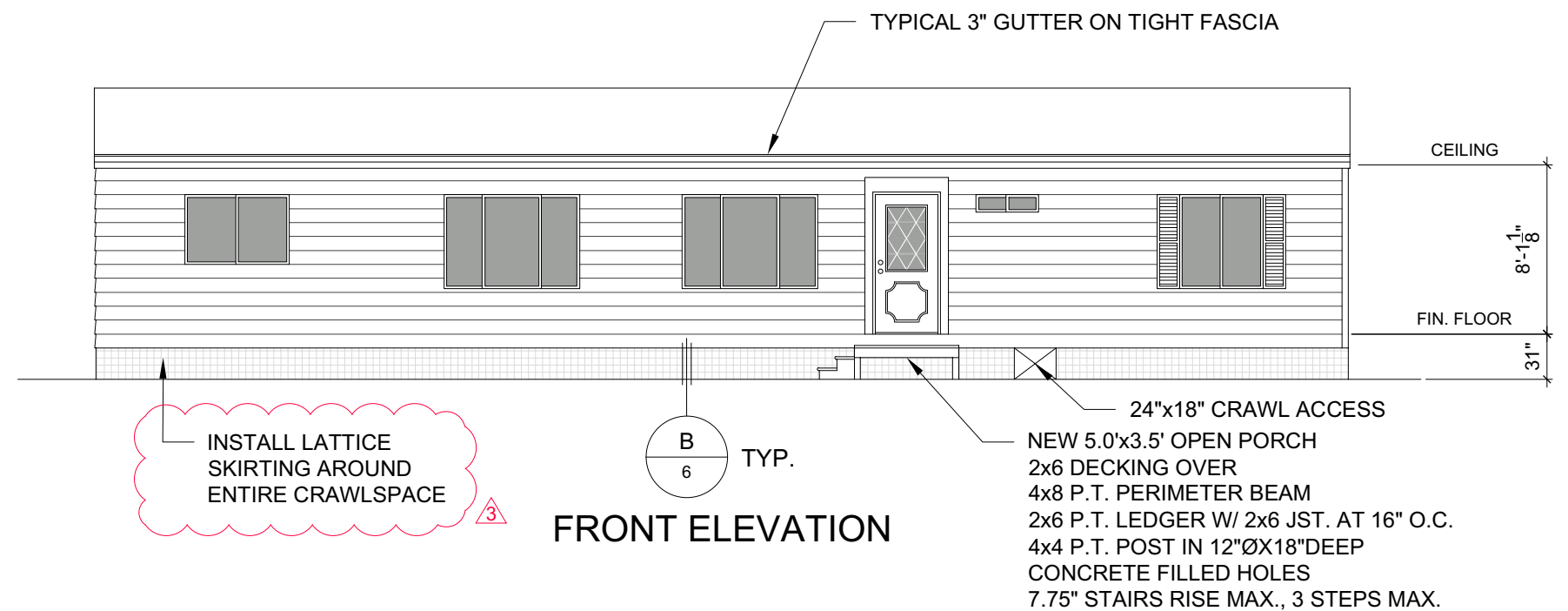
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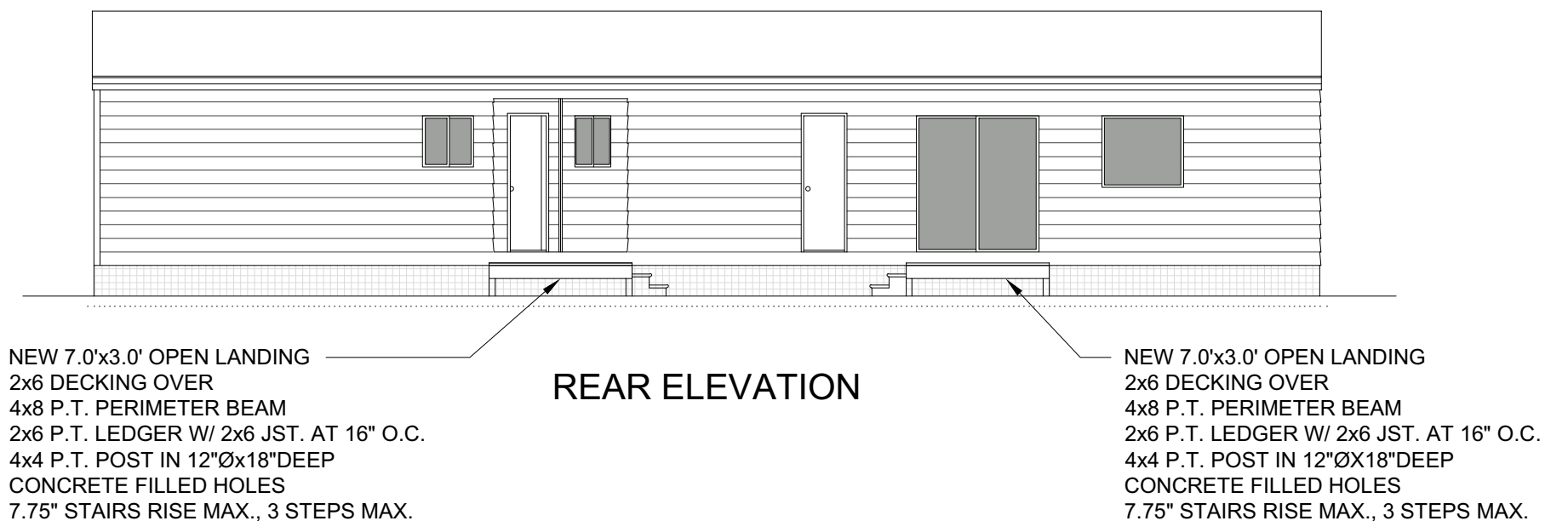
RIGHT ELEVATION



LEFT ELEVATION



FRONT ELEVATION

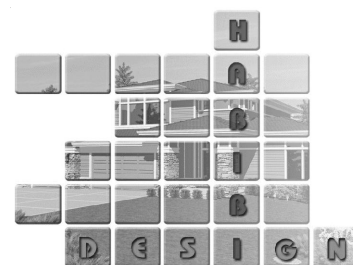


REAR ELEVATION

SUBMITTED 09-12-2023

ZONING COMPLIANCE REQUIRED

"ZONING COMPLIANCE PAGE - CASE FILE LU 22-104355 AD."



**H a b i b i
D e s i g n**

P.O. Box 16116, Portland OR 97292
Cell: 503.880.4952
e-mail: majid@habibidesign.com

SHEET INFO

SHEET TITLE: Building Elevations		
DATE: 10-11-2022	REV ¹	05-30-2023
SCALE: 1/8" = 1'-0"	REV ²	06-26-2023
SHEET: 4 OF 8	REV ³	09-11-2023

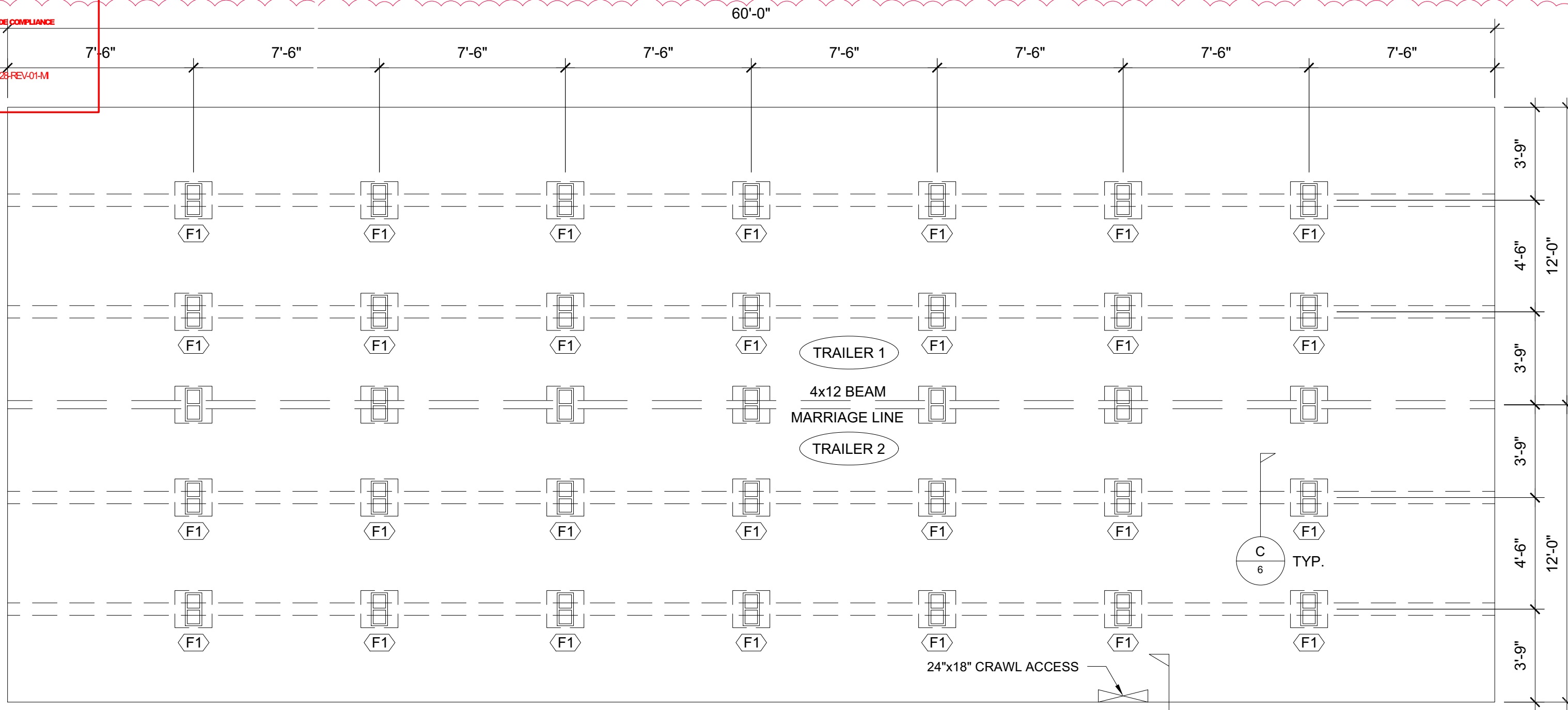
PROJECT

Manufactured Home Relocation
9742 SE Woodstock Ct., Portland OR 97266

Owner: Marie Adrian

print on 11x17 for correct scale as shown

City Of Portland
REVIEWED FOR CODE COMPLIANCE
Date: 10/09/23
Permit #: 22-193728-REV-01-M

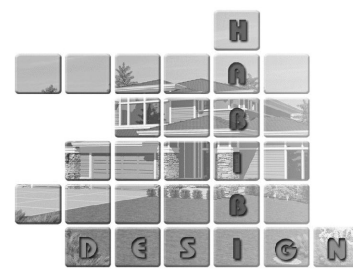


★ SEE GROUNDING ELECTRODES NOT ON PAGE 8.

- ★ 1. FIELD VERIFY THE MANUFACTURED HOME FLOOR FRAMING AND I-BEAM LOCATIONS PRIOR TO LAYING OUT THE PIER PADS.
2. INSTALL MANUFACTURED HOME'S SUPPORTING STRUCTURAL MEMBERS TO FOUNDATION PER MANUFACTURER SPECS.
F1 8"x16"x8" CMU OVER 18"SQ. x 6" THICK WITH 2-#4 EA. WAY.

MANUFACTURED HOMES MUST MEET THE FOLLOWING STANDARDS:

- HAULING MECHANISMS: THE TRANSPORTATION MECHANISMS INCLUDING THE WHEELS, AXLES AND HITCH MUST BE REMOVED.
- MANUFACTURED HOME MUST BE INSTALLED ON A PIER PADS AND ANCHORED TO GROUND PER MANUFACTURER SPECS.
- INSTALL AND CONNECT MANUFACTURED HOME SUB-FRAME TO FOUNDATION PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATION.



Habi Design

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SHEET INFO

SHEET TITLE: Foundation Plan	
DATE: 10-11-2022	REV ¹ 05-30-2023
SCALE: 1/4" = 1'-0"	REV ² 06-26-2023
SHEET: 5 OF 8	REV ³ 09-11-2023

PROJECT

Manufactured Home Relocation
9742 SE Woodstock Ct., Portland OR 97266
Owner: Marie Adrian

SUBMITTED 09-12-2023

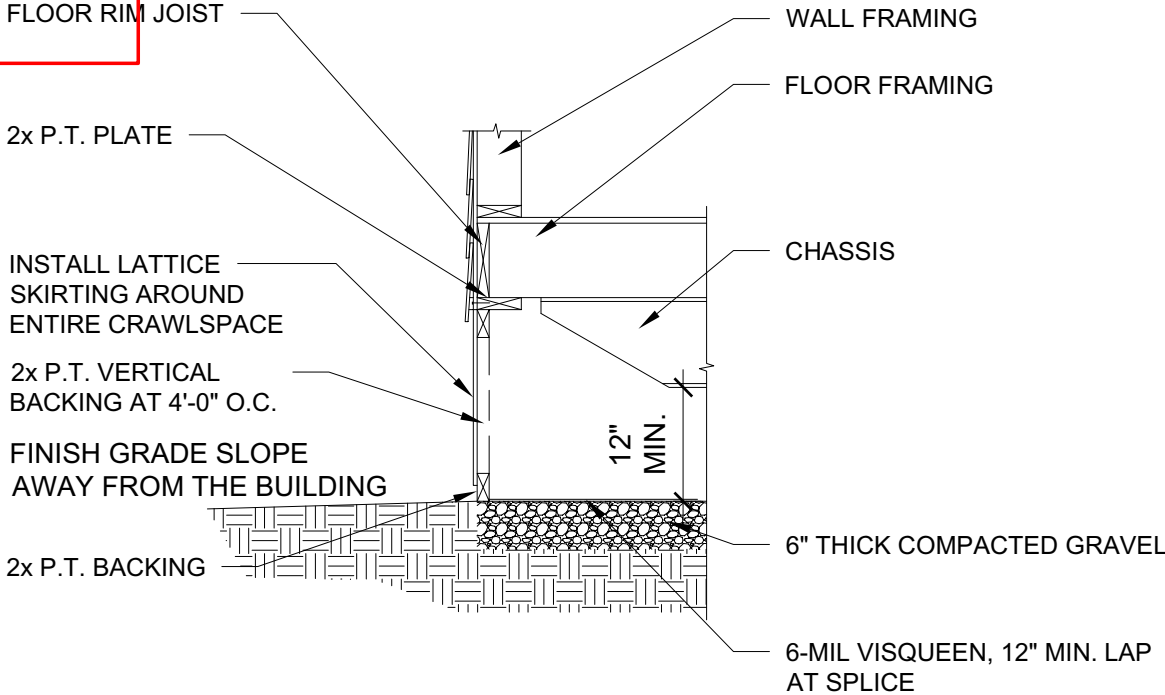
ZONING COMPLIANCE REQUIRED
"ZONING COMPLIANCE PAGE - CASE FILE LU 22-104355 AD."

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City Of Portland
REVIEWED FOR CODE COMPLIANCE

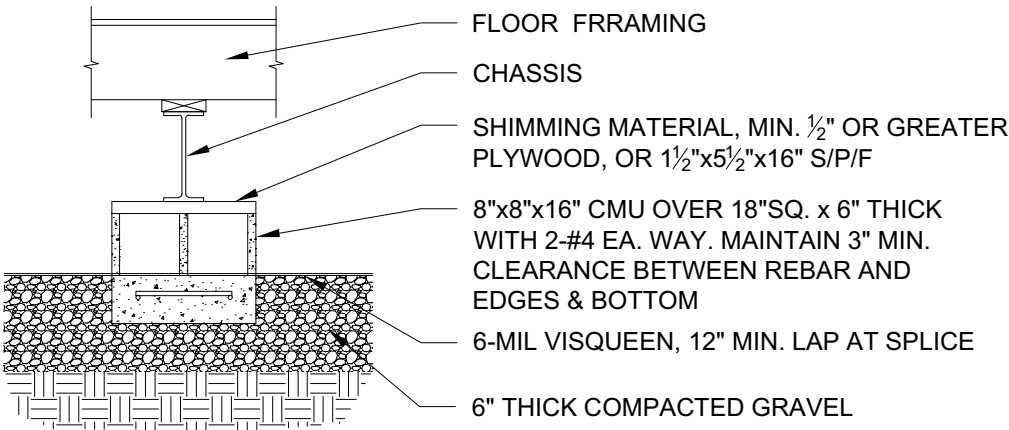
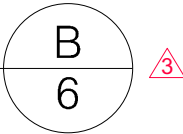
Date: 10/09/23

Permit #: 22-193728-REV-01-M



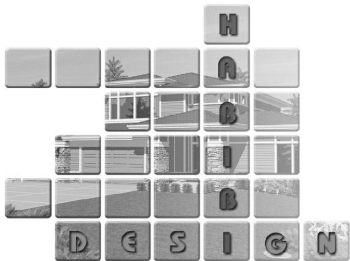
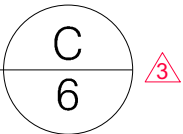
PERIMETER FOUNDATION

SCALE: 1/2" = 1'-0"



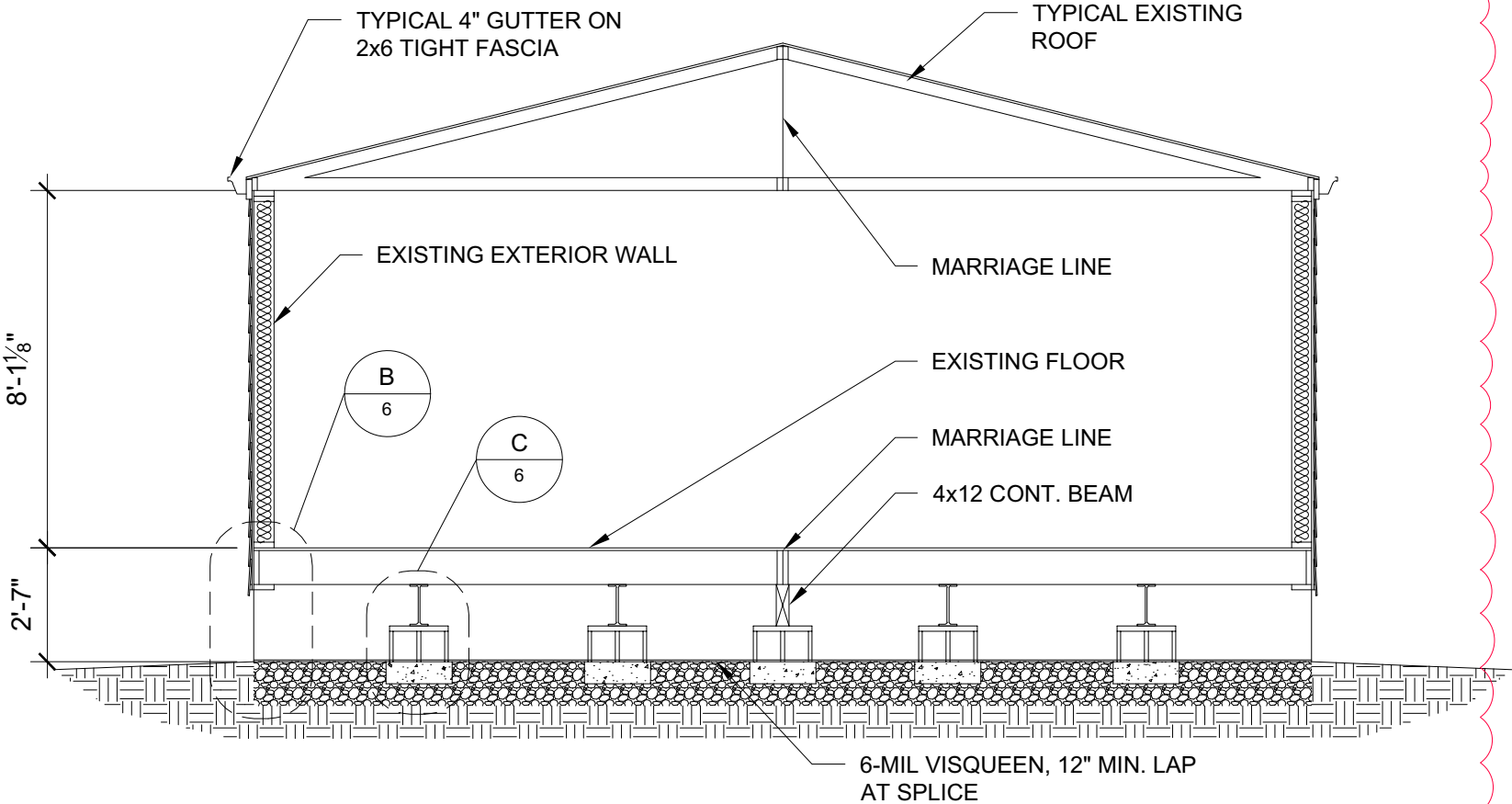
PIER DETAIL

SCALE: 1/2" = 1'-0"



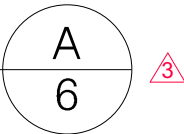
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CROSS SECTION

SCALE: 1/4" = 1'-0"






MANUFACTURED HOMES MUST MEET THE FOLLOWING STANDARDS:

- HAULING MECHANISMS:
THE TRANSPORTATION MECHANISMS INCLUDING THE WHEELS, AXLES AND HITCH MUST BE REMOVED.
- FOUNDATION. THE MANUFACTURED HOME MUST BE SET ON A PERIMETER FOUNDATION AS SHOWN ON PAGE 5.
- INSTALL AND CONNECT MANUFACTURED HOME SUB-FRAME TO FOUNDATION PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATION.

SUBMITTED 09-12-2023

ZONING COMPLIANCE REQUIRED
"ZONING COMPLIANCE PAGE - CASE FILE LU 22-104355 AD."

SHEET INFO			PROJECT	
SHEET TITLE: Cross Section & Details			Manufactured Home Relocation	
DATE: 10-11-2022	REV 	05-30-2023	9742 SE Woodstock Ct., Portland OR 97266	
SCALE:	REV 	06-26-2023	Owner: Marie Adrian	
SHEET: 6 OF 8	REV 	09-11-2023		

print on 11x17 for correct scale as shown

City Of Portland

REVIEWED FOR CODE COMPLIANCE

Date: 10/09/23

Permit #: 22-193728-REV-01-M

ZONING REQUIREMENTS (2020 PORTLAND ZONING CODE) (2021 ORSC)		
ZONING:	RM1 - RESIDENTIAL MULTI-DWELLING 1	
OVERLAY:	N/A	
BASE OVERLAY:	RM1 - RESIDENTIAL MULTI-DWELLING 1	
COMPREHENSIVE PLAN:	MD-N - MULTI-DWELLING - NEIGHBORHOOD	
PLAN DISTRICT:	JC - JOHNSON CREEK	
MAXIMUM FAR:	1 TO 1	
MAXIMUM DENSITY:	NONE	
MINIMUM DENSITY:	1 UNIT PER 2,500 s.f. OF SITE AREA	
MAX. BUILDING HEIGHT:	35-ft.	
FRONT BUILDING SETBACK:	10-ft.	
SIDE AND REAR SETBACKS:	5-ft.	
GARAGE ENTRANCE:	18-ft. (330.120.220)	
MAX. BUILDING COVERAGE:	50% OF SITE AREA	
REQUIRED PARKING:	NONE (33.266.110.B.1)	
REQUIRED OUTDOOR AREAS:	48-s.f. - 6'x8' MIN. PER UNIT (33.110.240)	

SITE DEVELOPMENT ANALYSIS		
SITE AREA:	3,524 s.f.	
PROPOSED FAR	1,420 s.f. (MAX. 3,524 s.f.)	
MAXIMUM BUILDING COVERAGE:	1,762 s.f. (50% OF SITE AREA)	
PROPOSED BUILDING COVERAGE:	1,440 s.f.	
IMPERVIOUS AREA:	BUILDING FOOTPRINT:	1,440 s.f.
GRAVEL WALKWAY AND PATIO:	205 s.f.	
ROOF AREA:	1,482 s.f.	
ROOF DRAIN:	168 ft.	
BUILDING HEIGHT:	12'-6" TO ROOF MID-POINT	

PROJECT ADDRESS AND LEGAL:

9742 SE WOODSTOCK CT., PORTLAND OR 97266

TAX ROLL: MCKINLEY PK, BLOCK 3, LOT 14 TL 10301 (PORTION OF LOTS 14, 15 AND 16, BLOCK 3, IN THE SE ¼ OF SEC. 16, T1SR2E W.M., CITY OF PORTLAND, COUNTY OF MULTNOMAH, STATE OF OREGON.)

PROPERTY ID: R697859

STATE ID: 1S2E16DD -10301

MAP NO:

OWNER(S)

MARIE ADRIAN

229 NW 7TH ST., MCMINNVILLE, OR 97128

EMAIL: MARIA_ADRIAN@HOTMAIL.COM

BUILDING AREA

MANUFACTURED HOME LIVING AREA: 1,420 s.f.

NEW UNCOVERED FRONT PORCH: 20 s.f.

SPECIAL INSPECTION:

1. EARTH ANCHOR LOAD TESTING

NOTE:
100 PERCENT OF THE EARTH ANCHORS WILL BE PROOF LOAD TESTED AND INCLUDE THE EARTH ANCHOR PROOF-LOAD TESTING PROGRAM AS SPECIFIED IN BDS CODE GUIDE OSSC/18/#1 SECTIONS 2.A.C TO 2.A.E.

3

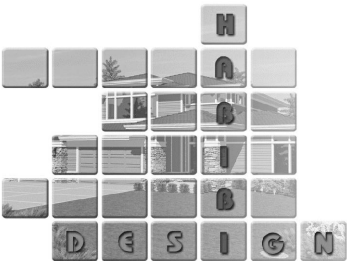
DRAWING INDEX	
1	PROJECT INFORMATION
2	SITE PLAN
3	FLOOR PLAN
4	ELEVATIONS
5	FOUNDATION
6	CROSS SECTION & DETAILS
7	DRYWELL DETAIL & NOTE
8	GENERAL NOTES

22-193728-RS

SUBMITTED 09-26-2023

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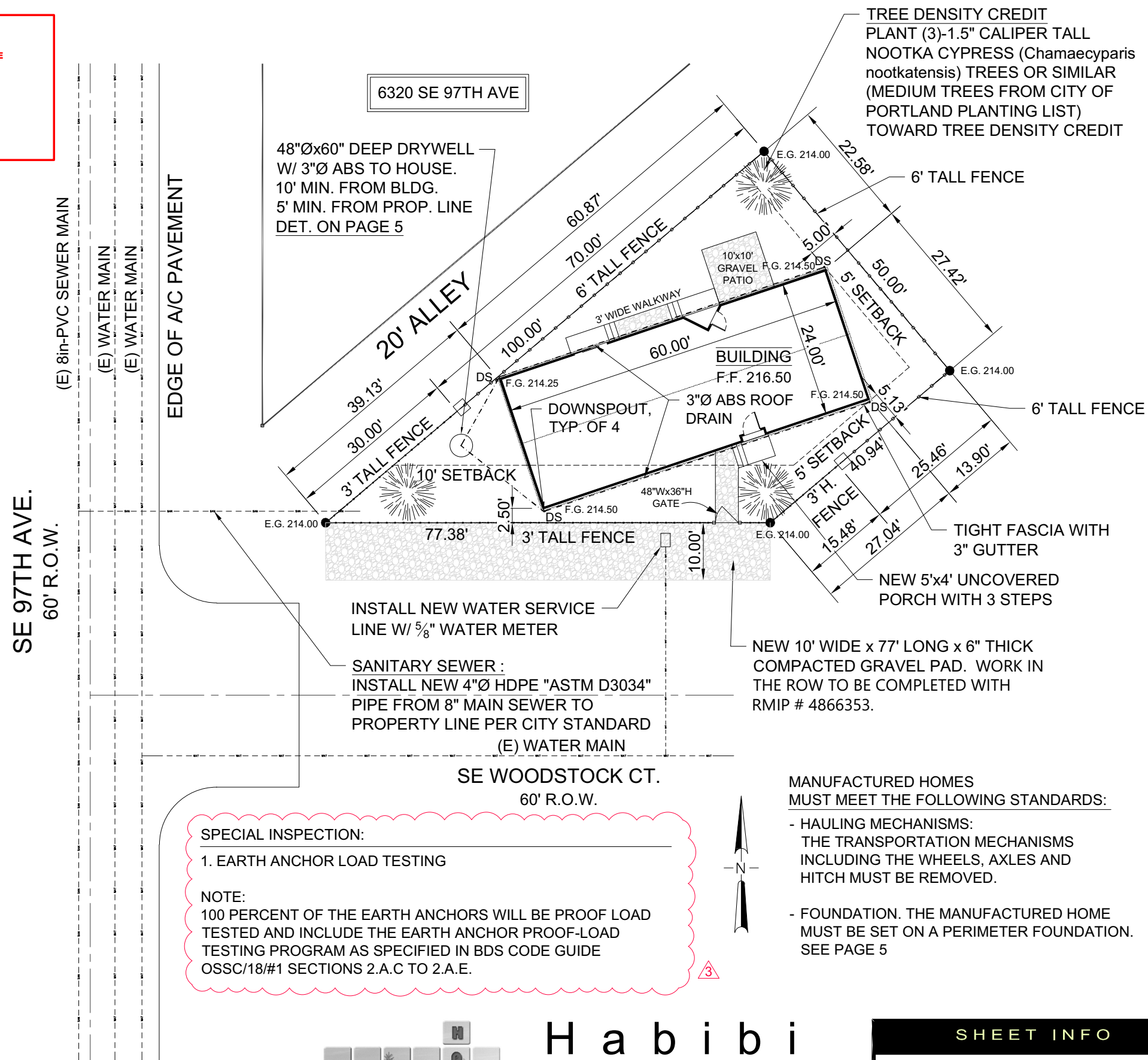
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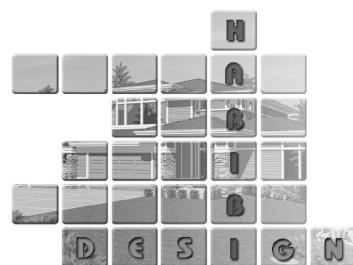
SHEET INFO			PROJECT	
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DATE: 10-11-2022	REV ¹ 05-30-2023			
SCALE: N/A	REV ²			
SHEET: 1 OF 8	REV ³ 09-22-2023			



"ZONING COMPLIANCE PAGE - CASE FILE LU 22-104355 AD."

SUBMITTED 09-26-2023

SHEET INFO		PROJECT	
SHEET TITLE: Site Plan		Manufactured Home Relocation 9742 SE Woodstock Ct., Portland OR 97266 Owner: Marie Adrian	
DATE: 10-11-2022	REV <u>1</u> 05-30-2023		
SCALE: 1" = 20'-0"	REV <u>2</u> 06-26-2023		
SHEET: 2 OF 8	REV <u>3</u> 09-22-2023		



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DRAWING INDEX

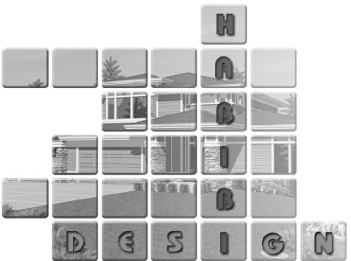
- 1 PROJECT INFORMATION
- 2 SITE PLAN
- 3 FLOOR PLAN
- 4 ELEVATIONS
- 5 FOUNDATION
- 6 CROSS SECTION & DETAILS
- 7 DRYWELL DETAIL & NOTE
- 8 GENERAL NOTES

22-193728-RS

SUBMITTED 09-26-2023

ZONING COMPLIANCE REQUIRED

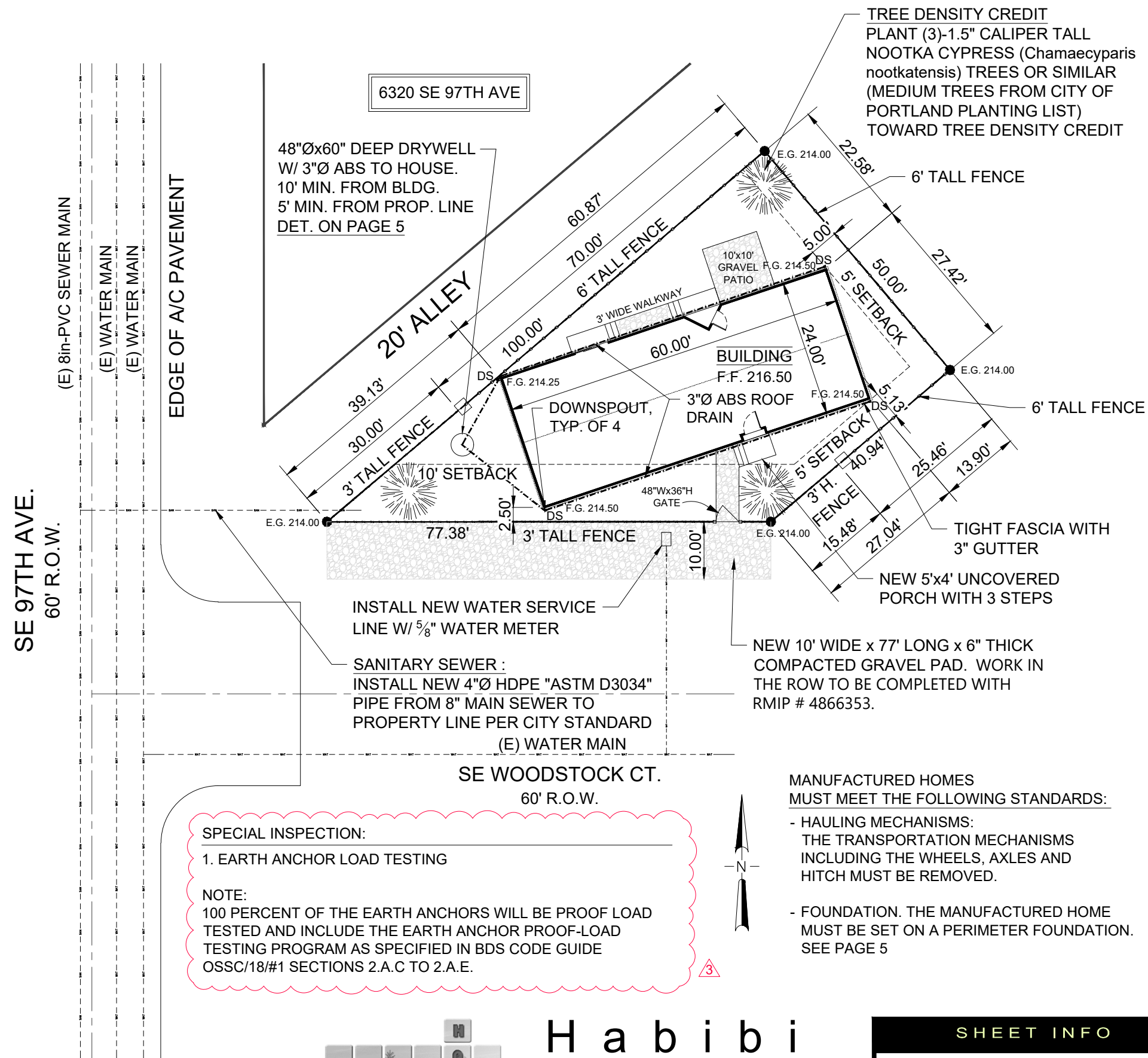
"ZONING COMPLIANCE PAGE - CASE FILE LU 22-104355 AD."



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SHEET INFO			PROJECT	
SHEET TITLE: Project Information			Manufactured Home Relocation 9742 SE Woodstock Ct., Portland OR 97266 Owner: Marie Adrian	
DATE: 10-11-2022	REV ¹	05-30-2023		
SCALE: N/A	REV ²			
SHEET: 1 OF 8	REV ³	09-22-2023		



PRIVATE STORMWATER FACILITY INSPECTION NOTE
 BES PRIVATE STORMWATER FACILITY INSPECTION REQUIRED.
 NOTE: BES APPROVAL REQUIRED PRIOR TO OCCUPANCY.
 TO SCHEDULE, DIAL IVR AT 503-823-7000 REQUEST #487 BES
 ON-SITE STORMWATER FACILITY EVALUATION.
 NEED ASSISTANCE? CONTACT BES AT 503-823-7761 OPTION 2.
 BDS INSPECTOR APPROVAL REQUIRED FOR DOWNSPOUTS
 AND PRIVATE STORM SEWER PIPING OUTSIDE OF STORM
 FACILITIES.
 SEPARATE BES SEWER CONNECTION PERMIT REQUIRED,
 WORK IN THE PUBLIC RIGHT OF WAY CALL 503-823-1026 OR
 EMAIL: URUCPERMITS@PORTLANDOREGON.GOV

PBOT NOTE

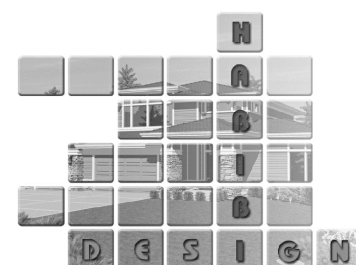
- CONSTRUCT GRAVEL PAD WITH THE FOLLOWING DIMENSIONS:
 10' WIDE X 75' LONG X 6" THICK.
 NOTE: WIDTH CAN EXCEED 10' PER EVALUATION BY PBOT ROW
 INSPECTION.
- COMPLETE PRE-CONSULTATION MEETING WITH PBOT ROW
 INSPECTION PRIOR TO WORK IN THE ROW.
- COMPLETE FINAL INSPECTION WITH PBOT ROW INSPECTION.

UTILITY LINES SEPARATION NOTE:

- SEPARATION BETWEEN SANITARY SEWER AND WATER
 SERVICES AND VAULTS SHOULD BE 5FT MINIMUM SKIN TO SKIN.
- ALL ABOVE & UNDERGROUND UTILITIES, SUCH AS GAS AND
 ELECTRICAL, NEED TO HAVE 3FT MINIMUM SEPARATION FROM
 WATER SERVICES AND METERS 2-INCH OR LESS
- ALL ABOVE & UNDERGROUND UTILITIES, SUCH AS GAS AND
 ELECTRICAL, NEED TO HAVE 5FT MINIMUM SEPARATION FROM
 WATER SERVICES LARGER THAN 2-INCH, WATER MAINS
 AND VAULTS.
- SEPARATION BETWEEN MULTIPLE WATER SERVICES SHOULD
 BE 1.5FT MINIMUM.
- A NEW WATER SERVICE CANNOT BE INSTALLED IN THE SAME
 LOCATION AS AN EXISTING SERVICE
- SEPARATION BETWEEN WATER METERS AND PROPERTY LINES
 SHOULD BE 3FT MINIMUM.
- SEPARATION FROM GUY WIRES AND ANCHORS SHOULD BE 5FT
 MINIMUM
- NEW WATER METERS SHOULD NOT BE PLACED IN DRIVEWAY
 WINGS
- WATER SERVICES MUST BE PERPENDICULAR TO THE WATER
 MAIN FOR THE ENTIRE PORTION IN THE PUBLIC RIGHT-OF-WAY
 AND ADJACENT TO THE CURB.

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SUBMITTED 09-26-2023



**Habibi
Design**

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SHEET INFO

SHEET TITLE: Site Plan		
DATE: 10-11-2022	REV <u>1</u>	05-30-2023
SCALE: 1" = 20'-0"	REV <u>2</u>	06-26-2023
SHEET: 2 OF 8	REV <u>3</u>	09-22-2023

PROJECT

Manufactured Home Relocation
9742 SE Woodstock Ct., Portland OR 97266

Owner: Marie Adrian



City of Portland, Oregon
Bureau of Development Services
Site Development
 FROM CONCEPT TO CONSTRUCTION

Carmen Rubio, Commissioner
 Rebecca Esau, Director
 Phone: (503) 823-7310
 TTY: (503) 823-6868
 www.portland.gov/bds

Soils Special Inspection Program Checksheet

The registered design professional in responsible charge shall prepare and submit a special inspection program in accordance with OSSC 107.1 and 1704 and confirm that the special inspections noted below are indicated on the drawings.

~ Please note that separate Life Safety & Structural Inspection Checksheets may also be required ~

Instructions -- Parts B and Part C of this Checksheet must be fully completed by the Owner (or Architect or Engineer acting as the owner's agent) in order to obtain your permit.
 When complete, return this form to BDS Permitting Services. Please return the completed form by email to specialinspectionschecksheets@portlandoregon.gov

Application # 22-193728-REV-01-MI Date: September 22, 2023
 Project Name: 9742 SE WOODSTOCK CT
 Site Address: 9742 SE WOODSTOCK CT
 Architect of Record (Firm) HABIBI DESIGN; MAJID HABIBI Phone # (503) 880-4952
 Engineer of Record (Firm) _____ Phone # _____

The following special inspections and observations shall be performed according to the State Building Code and City of Portland Special Inspection Program Administrative Rules unless a program of inspections is submitted by the Engineer of Record and approved by the Bureau of Development Services.

PART A Required Inspections

1. Earth Anchor Load Testing

PART B Designation of Soils Special Inspector

Indicate the City approved inspection agency to perform the special inspections noted in PART A above. If the indicated inspector / agency is different than the geotechnical engineer responsible for the geotechnical design, please contact your plans examiner.

TO BE DETERMIND _____ CARLSON TESTING _____ (503) 684-3460
 Inspector / Geotechnical Engineer _____ Firm _____ Phone _____

PART C This Checksheet must be completed by the Owner, Architect or Engineer of Record

By completing Part C the project owner (or the Architect or Engineer acting as the Owner's Agent) hereby agrees to employ the soils special inspector for the above noted special inspections. **(Contractors are NOT authorized to agree for the Owner)**

The project owner shall provide a copy of this checksheet to the soils special inspector.

Print Name MARIA ADRIAN Date 09-22-2023
 (Project Owner or the Architect or Engineer acting as the Owner's Agent)
 Firm OWNER Phone (503) 318-1257
 Plans Examiner Jed Stoken

APPLICANT - COMPLETE PARTS B & C

SUBMITTED 09-26-2023

Site Development Checksheet Response #3

Attn: JED STOKEN, PE

Permit #: **22-193728-REV-01-MI**

Date: **09-22-2023**

Customer name and phone number: **Maria Adrian, 503-318-1257**

NOTE: Please number each change in the '#' column. Use as many lines as necessary to describe your changes. Indicate which reviewer's checksheet you are responding to and the item your change addresses. If the item is not in response to a checksheet, write **customer** in the last column.

#	Description of changes, revisions, additions, etc.	Location On plan
1	Please see attached filled out special inspection form	Attached
2	Please see pages 1 and 2 for added special inspection notes	1 & 2
3	Please see pages 1 and 2 for added special inspection notes	1 & 2

(for office use only)

SUBMITTED 09-26-2023