



# City of Portland Design Commission

## Design Advice Request

### SUMMARY MEMO

**Date:** 2/7/2023  
**To:** Maggie Harris | Holst Architecture  
**From:** Tanya Paglia, Design & Historic Review Team  
503-865-6518 | [Tanya.Paglia@portandoregon.gov](mailto:Tanya.Paglia@portandoregon.gov)  
**Re:** EA 22-208807 DA – 522 SW 13th Ave | Julia West  
Design Advice Request Commission Summary Memo – January 19, 2023 Meeting

Thank you for taking advantage of the opportunity to hold a Design Advice Request regarding your project. I hope you find it informative and valuable as you continue with your project development. Following, is a summary of the comments provided by the Design Commission at the 1/19/2023 Design Advice Request. This summary was generated from notes taken at the public meeting and a subsequent review of the public meeting recordings. To review those recordings, please visit: <https://efiles.portlandoregon.gov/Record/15796792/>.

These Design Commission comments are intended to guide you in further design exploration of your project. These comments may also inform City staff when giving guidance over the course of future related land use reviews. It should be understood that these comments address the project as presented on 1/19/2023. As the project design evolves, the comments, too, may evolve or may no longer be pertinent.

Design Advice Requests are not intended to substitute for other Code-required land use or legislative procedures. Please keep in mind that the formal Type II land use review process [which includes a land use review application, public notification and a Final Decision] must be followed once the Design Advice Request meetings are complete, if formal approval for specific elements of your project is desired.

Please continue to coordinate with me as you prepare your Type II Land Use Review Application.

*Encl:*  
Summary Memo

*Cc:* Design Commission  
Respondents

## Executive Summary.

- General support for the building's design concept, ground floor programming, massing, prominent window punches, and articulation.
- Enthusiasm from commission and neighborhood association for a well-designed affordable housing project for older people making use of this site and integrating so successfully into the neighborhood fabric.
- Support from all commissioners for thin brick [preferred], but also potential for metal, properly detailed – and no metal at ground floor.
- Majority support for oriel exception.
- More usable canopy and tree coverage needed to protect pedestrians and outdoor seating area.
- All four elevations are prominent – end wall designs need to be creative and well detailed, same material quality.

**Commissioners Present.** Commissioner Livingston, Chair McCarter, Vice-Chair Robinson, Commissioner Santner, and Commissioner Vallaster. (*Absent: Commissioner Molinar, Commissioner Rodriguez*)

**Summary of Comments.** Following is a general summary of Commission comments by design tenet.

## CONTEXT

- **General comments**
  - Delighted to see this wonderful proposal on such a small, challenging site in a location that could really use redevelopment.
  - Simple, handsome, and elegant building that fits the context really well.
  - Meets the “Emphasize Portland themes” guideline by weaving a small footprint building into the neighborhood’s varying texture.
  - Height and transparency of base and seating outside great fit for context.
- **Non-street facing facades**
  - All elevations are prominent – end wall designs need to be creative and well detailed.
  - Ideally wrap materials to be coherent and avoid material change to lower quality material as building turns the corner.
- **Window patterning**
  - The façade that faces Alder doesn’t have as many windows as 13<sup>th</sup> – would be improved by wrapping the window patterning from Alder to 13<sup>th</sup> (adding a window to the end of the corridor).
- **Oriel window exception** (exception to allow tapered 0 to 18” projection at 46’ long)

- Majority support for oriel exception based on size and contribution to design.
- The oriel makes the building fit into the context better – having that planar change that is not all right angles gives it another level of detail – gives it the look of being new/modern. Folded plane facades and or projections are a common response in the area for more modern buildings.
- The asymmetry adds something to the building that is really nice and the longer façade is broken up with texture and movement. The shift in plane makes a positive impact on the 100' wide, 12 story façade.

## **PUBLIC REALM**

### **• General comments**

- Public realm guidelines by and large are really well met.
- Overall floor plan works well – especially with the small site. Back of house is minimized and located as strategically as possible.
- Focusing glazing/transparency at the prominent corner is ideal and mitigates blankness of utilities and exit corridor.
- Some concerns around having the community room at the corner because services being provided to residents could result in drawn blinds (applicant noted that those types of activities would be concentrated on the upper floor community room with more public facing programming on the ground floor).
- The beveled ground floor windows are a nice touch.

### **• Weather protection**

- Could do more with weather protection – significant and public give-back in our climate (heat as well as precipitation) – and it's not just for the residents, but also the public.
- While the elegant aesthetic of the minimal canopy at the entrance was appreciated, there was not a consensus that the weather protection guideline was fully met, especially in providing cover for pedestrians.
- Additional canopies should be explored, and also essential to use trees to provide shade, cooling and protection that would have the co-benefits of improving the ambiance of the building's "front porch" outdoor seating area.
- Explore enlarging the size of the entry area canopy as part of the solution – perhaps enhance it with misters for heat waves to combat the urban heat island effect.

### **• Outdoor spaces**

- Brilliant job with rooftop garden: south-facing, large, great design. Add weather protection to make it usable year-round.
- Seating area adjacent to entrance: seat wall looks like an after-thought and needs more attention including enhancing weather protection with canopy coverage and tree shade.

- More seating and materials that are warmer should be integrated – concrete cold and unwelcoming for the older people that will be utilizing the space. Integrating the right kind of wood within the concrete seating area would add some warmth and relate to the CLT materiality.

## **QUALITY & PERMANENCE**

- **General comments**

- Overall, highly successful, very coherent design that is simple and elegant.
- Deep recessed windows are fantastic.

- **Thin brick as primary cladding**

- Highly compatible with neighborhood and all commissioners support its use.
- Use of brick make this building look light and warm, and gives the building a sense of dignity.
- Thin brick has come a long way since the 70's and 80's including corner pieces allowing corners to look good whereas they did not in the past.
- Luisa Flowers (designed by Lever) is an example of a building using thin brick where there are wide angles and tight angle corners wrapped with thin bricks and it works well.
- Not trying to mimic traditional brick or tile – is its own thing. The product has improved tremendously and can create a lot of subtlety and variety that you can't find with metal panel.

- **Metal as primary cladding**

- While all commissioners would support thin brick, only two commissioners noted equal support for metal, and an additional one would support metal but had a strong preference for the brick.
- Commissioners noted that metal is durable (above the ground floor), but concerns about metal are that it would be more conspicuous and would not look as high quality as the thin brick.
- If metal is used, must be heavy gauge (at least 20) and must be above 20" in panel dimension.

- **Ground level materials**

- Ground floor needs attention. Whether the rest of the building is brick or metal, there should not be metal at the ground floor.
- Metal panel on ground floor doesn't hold up well (with possible exception of steel plate) given all the contact ground floor materials will endure including skateboarders, hand trucks, day to day wear and tear.



## Exhibit List

- A. Applicant's Submittals
  - 1. Applicant's project summary, team information, zoning summary, and images
  - 2. Certification for Affordable Housing Developments Confirmation Letter from Oregon Housing and Community Services
  - 3. Original plan set – NOT APPROVED/reference only, 12/22/2022
  - 4. Revised plan set – NOT APPROVED/reference only, 1/5/2023
- B. Zoning Map
- C. Drawings
  - 1. Cover Sheet
  - 2. Index
  - 3. Project Summary
  - 4. Context Study
  - 5. Zoning Summary
  - 6. Urban Context
  - 7. Urban Context
  - 8. Site Context
  - 9. Site Context
  - 10. Site Context
  - 11. Site Context
  - 12. Concept Design
  - 13. Proposed Site Plan
  - 14. Anticipated Modifications
  - 15. Bike Parking
  - 16. Public Works Alternative
  - 17. Basement Floor Plan
  - 18. Level 1 Floor Plan
  - 19. Levels 2-5 Floor Plan
  - 20. Levels 6-11 Floor Plan
  - 21. Level 12 Floor Plan
  - 22. Project Images
  - 23. Project Images
  - 24. Project Images
  - 25. Material Concept
  - 26. Material Concept
  - 27. Material Concept
  - 28. Alternative Material Concept
  - 29. Alternative Material Concept
  - 30. Alternative Material Concept
  - 31. Alternative Material Concept
  - 32. End Page
- D. Notification
  - 1. Mailing list
  - 2. Mailed notice
  - 3. Posting instructions sent to applicant
  - 4. Posting notice as sent to applicant
  - 5. Applicant's statement certifying posting
- E. Service Bureau Comments
  - 1. PBOT
- F. Public Testimony

1. Xavier D. Stickler, Chair, Downtown Neighborhood Association - Land Use & Transportation Committee, 1/18/2023

G. Other

1. Application form
2. Early Assistance summary notes (EA 22-191887 APPT), held 12/5/2022
3. Staff memo to Design Commission, dated 1/6/2022
4. Attendee testifier sheet
5. Staff presentation, 1/19/2023



# City of Portland, Oregon - Bureau of Development Services

1900 SW Fourth Avenue • Portland, Oregon 97201 | 503-823-7300 | www.portland.gov/bds



## Early Assistance Application

### FOR INTAKE, STAFF USE ONLY

Date Rec \_\_\_\_\_ by \_\_\_\_\_

LU Reviews Expected \_\_\_\_\_

Related cases

Y N Unincorporated MC

Y N Potential Landslide Hazard Area (LD & PD only)

Y N 100-year Flood Plain

Y N DOGAMI (high)

File Number: \_\_\_\_\_

Appt Date/Time: \_\_\_\_\_

Qtr Sec Map(s) \_\_\_\_\_ Zoning \_\_\_\_\_

Plan District \_\_\_\_\_

Historic and/or Design District \_\_\_\_\_

Neighborhood \_\_\_\_\_

District Coalition \_\_\_\_\_

Business Assoc \_\_\_\_\_

Neighborhood within 400/1000 ft \_\_\_\_\_

**APPLICANT: Complete all sections below. Email this application and supporting documents described below to: LandUseIntake@portlandoregon.gov. Once the application is received, staff will contact you regarding payment and scheduling a date and time for your meeting.**

Site Address \_\_\_\_\_ Site Size/Area \_\_\_\_\_

Property ID(s) R \_\_\_\_\_ R \_\_\_\_\_ R \_\_\_\_\_ R \_\_\_\_\_

**Short Project Description:** do not leave blank or direct to "see attached". Attach additional sheets for a more detailed description, if needed.

**Design & Historic Review** (New development: give project valuation. Renovation: give exterior alteration value) \$ \_\_\_\_\_

**Select** an Early Assistance Type and check boxes for desired meeting/written notes options:

Early Assistance Type	City Reviewers	On-line MS Teams meeting & written notes provided	No meeting, written notes provided
<input type="checkbox"/> <b>Pre-application Conference</b> Only required for Type III and IV land use reviews	BDS Land Use Services, Transportation, Environmental Services, Water, Parks, others as needed	<input type="checkbox"/>	
<input type="checkbox"/> <b>Design Advice Request</b> Public Zoom meeting with Design Commission or Historic Landmarks Commission	BDS Land Use Services and Design Commission or Historic Landmarks Commission		
<input type="checkbox"/> <b>Zoning and Infrastructure Bureaus</b> (including initial bureau responses for street vacations)	BDS Land Use Services, Transportation, Environmental Services, Water, Parks	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> <b>Zoning Only</b>	BDS Land Use Services	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> <b>Pre-Permit Zoning Plan Check</b> <input type="checkbox"/> 1-2 housing units <input type="checkbox"/> all other development	BDS Land Use Services		<input type="checkbox"/>
<input type="checkbox"/> <b>Public Works Inquiry for 1-2 housing units</b> Only for 1-2 unit projects that do not require a land use review, land division or property line adjustment	Transportation, Environmental Services, Water		<input type="checkbox"/>

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## Applicant Information

Include a separate sheet for additional names if needed.

**PRIMARY CONTACT, check all that apply** ☐ Applicant ☐ Owner ☐ Other \_\_\_\_\_

Invite to MS Teams Meeting?: ☐ Yes ☐ No

Name \_\_\_\_\_ Company \_\_\_\_\_

Mailing Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_

Day Phone \_\_\_\_\_ email \_\_\_\_\_

---

**Check all that apply** ☐ Applicant ☐ Owner ☐ Other \_\_\_\_\_

Invite to MS Teams Meeting?: ☐ Yes ☐ No

Name \_\_\_\_\_ Company \_\_\_\_\_

Mailing Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_

Day Phone \_\_\_\_\_ email \_\_\_\_\_

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**Check all that apply** ☐ Applicant ☐ Owner ☐ Other \_\_\_\_\_

Invite to MS Teams Meeting?: ☐ Yes ☐ No

Name \_\_\_\_\_ Company \_\_\_\_\_

Mailing Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_

Day Phone \_\_\_\_\_ email \_\_\_\_\_

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## Please submit the following materials to [LandUseIntake@portlandoregon.gov](mailto:LandUseIntake@portlandoregon.gov):

- ☐ Written project description, including proposed stormwater disposal system and additional property IDs if not included above.
- ☐ List of questions to be discussed.
- ☐ Site plans drawn to a measurable scale, with scale and scale bar identified and building elevations drawn to a measurable scale (if appropriate), with scale and scale bar identified.
- ☐ If the site is in a design overlay and you're planning to meet design standards, completed scorecards are required. Scorecards are available at <https://www.portland.gov/bds/land-use-review-fees-and-types/design-standards>.

### Note:

1. See the Land Use Services fee schedule for detailed fee information: [www.portland.gov/bds/current-fee-schedules](http://www.portland.gov/bds/current-fee-schedules).
2. Public notice (email and internet posting) is provided for Pre-application conferences and Design Advice Requests.
3. Only material submitted with the original application will be addressed by City staff; we are unable to address any additional material that is submitted after the application is received.
4. For some proposals, such as those using the Community Design Standards, you will receive more detailed information if you provide full-sized plans.
5. Estimates for System Development Charges (SDCs) are not provided at Early Assistance Meetings. Refer to SDC information on the BDS website.
6. Plans examiners do not participate in Early Assistance meetings and they do not provide written comments. For life/safety and building code questions, consult with a plans examiner by scheduling a 15-minute appointment or a Life Safety Preliminary Meeting ([www.portland.gov/bds/documents/life-safety-preliminary-meeting-request-packet](http://www.portland.gov/bds/documents/life-safety-preliminary-meeting-request-packet)).

H O L S T

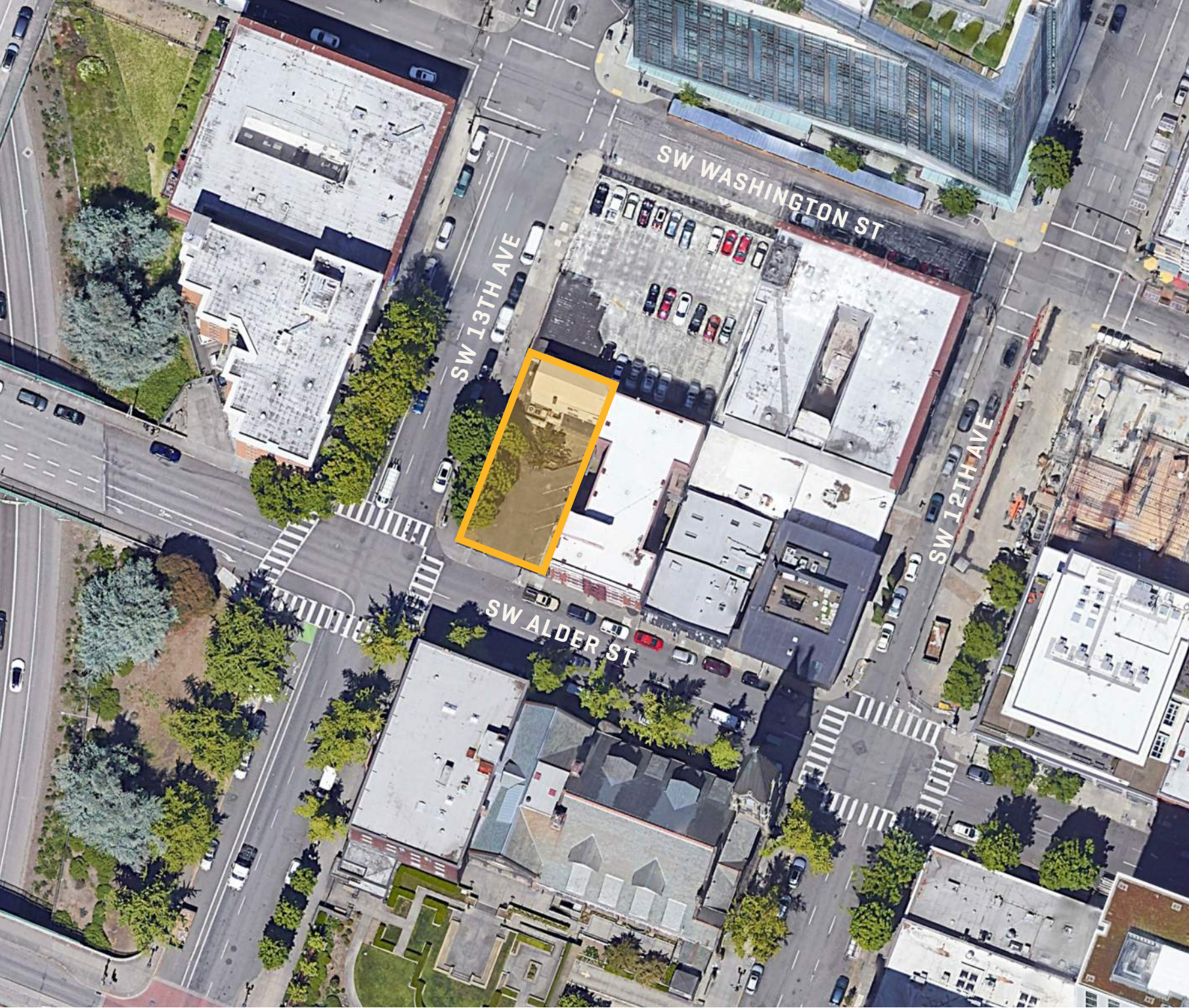
05 December 2022

HOLST ARCHITECTURE  
Julia West

PORTLAND, OR

*Design Advice Request*





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# PROJECT DESCRIPTION

## TEAM INFO

### APPLICANT

HOLST ARCHITECTURE  
123 NE 3rd Ave Suite 310, Portland, OR 97232  
[503] 233-9856  
Contact: Maggie Harris  
mharris@holstarc.com

## DEVELOPMENT PROGRAM

### PROPOSAL

The proposed building is a 12-story [with 1 below-grade utility/BOH basement] structure of approximately 59,890 square feet with 90 units, 60 studios and 30 1-bedrooms, of permanent supportive housing. Amenities will include community rooms, laundry lounge, rooftop terrace, on-site supportive services, and property management.



# ZONING SUMMARY

522 SW 13TH AVE, PORTLAND, OR 97205

## ZONING ANALYSIS

BASE ZONE: CX

OVERLAYS: DESIGN OVERLAY ZONE

PLAN DISTRICT: CC - CENTRAL CITY

ALLOWABLE USES: OFFICE, RETAIL, RESIDENTIAL, COMMERCIAL, GROUP LIVING, COMMUNITY SERVICE.

GROUND FLOOR ACTIVE USE: YES

MAX FAR: 8:1

BONUS FAR: 3:1 [11:1 TOTAL]

MAX HEIGHT: 150 FT

BONUS HEIGHT: 175 FT [325 FT TOTAL]

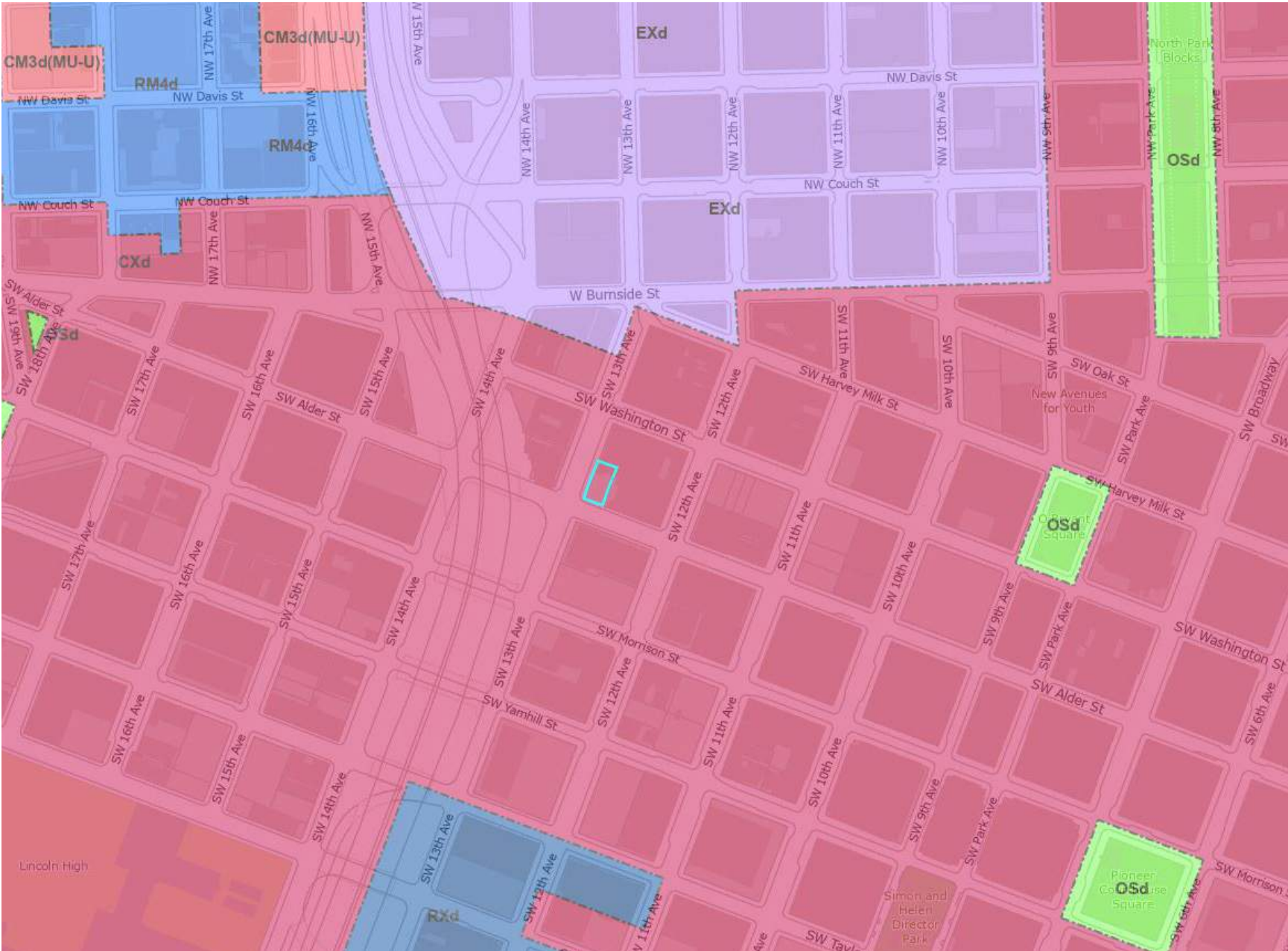
BLDG SETBACKS: NONE

MAX BUILDING SITE COVERAGE: 100%

MIN LANDSCAPED SITE AREA: NONE

MIN/MAX PARKING: 0 [PER 33.266.110.D.1]

GROUND FLOOR WINDOW STANDARDS APPLY



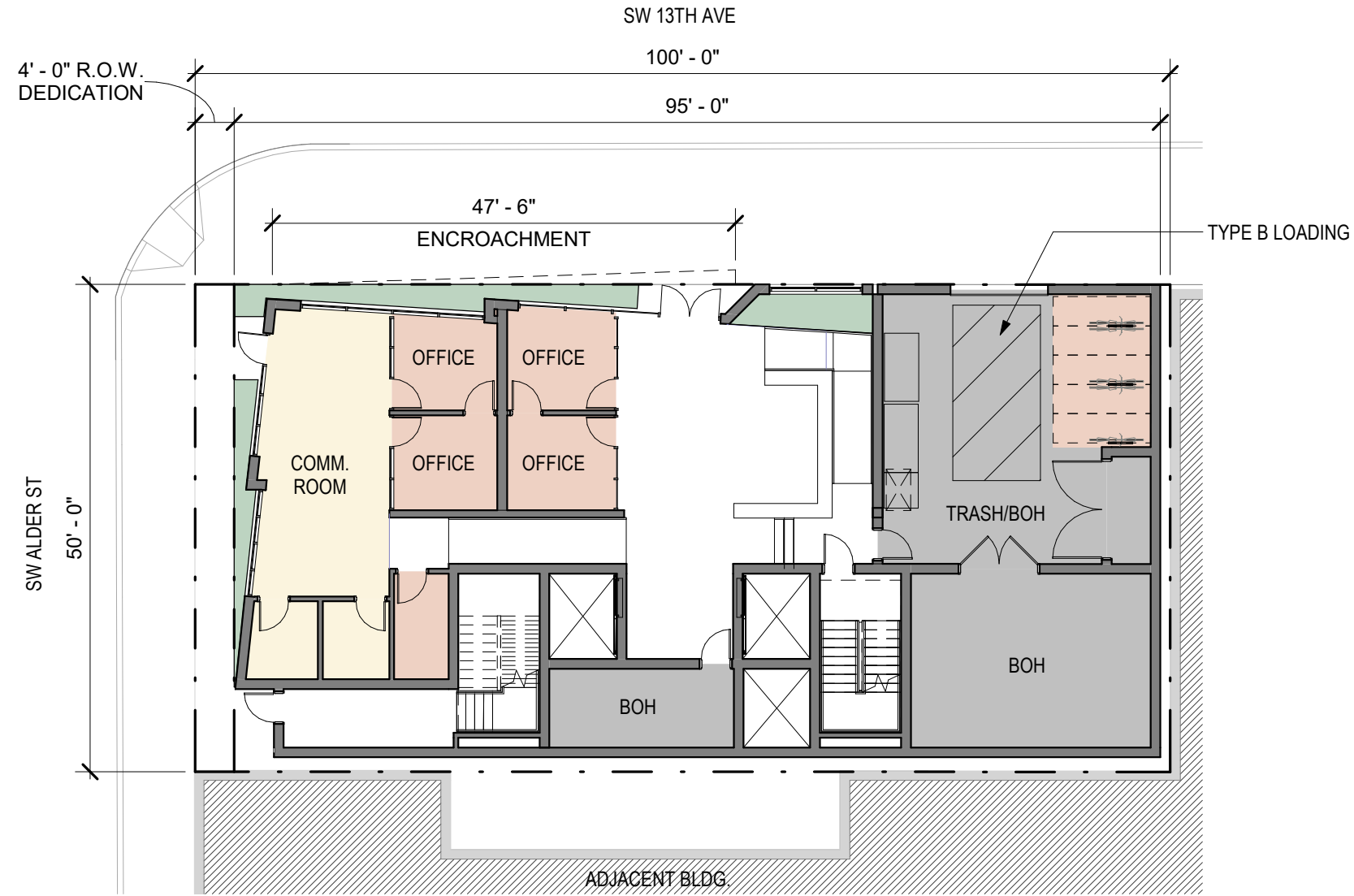


# PROPOSED SITE PLAN

522 SW 13TH AVE, PORTLAND, OR 97205

ANTICIPATED MODIFICATIONS/ADJUSTMENTS: ONE

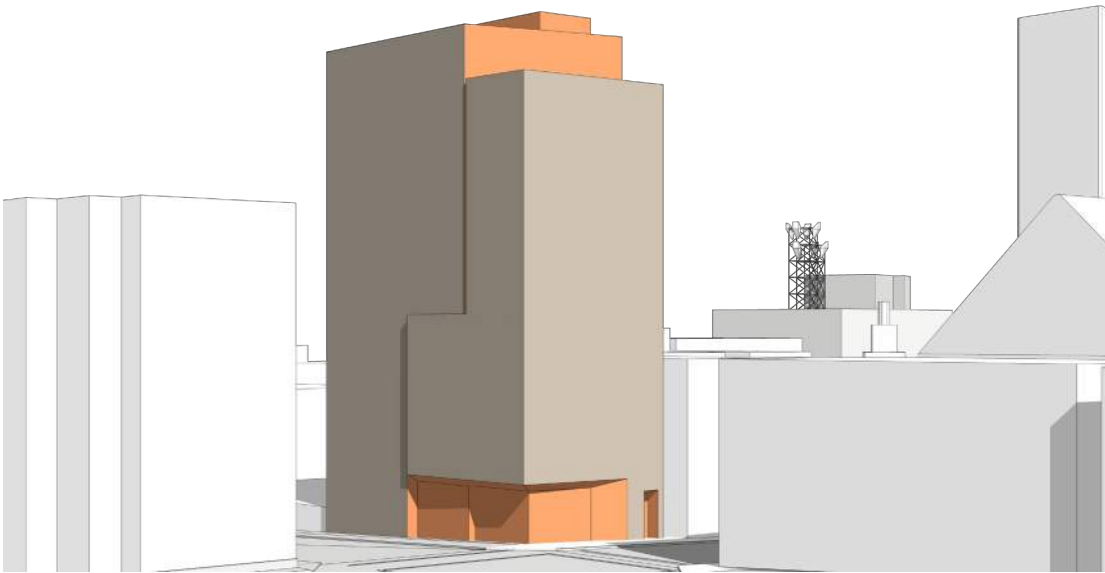
This proposal includes projecting windows into the public right-of-way, shown with a dashed line on the site plan. This plan adheres to the requirements published by the City of Portland titled 'Window Projections Into Public Right-of-Way OSSC/32/#1.



PROJECT IMAGES



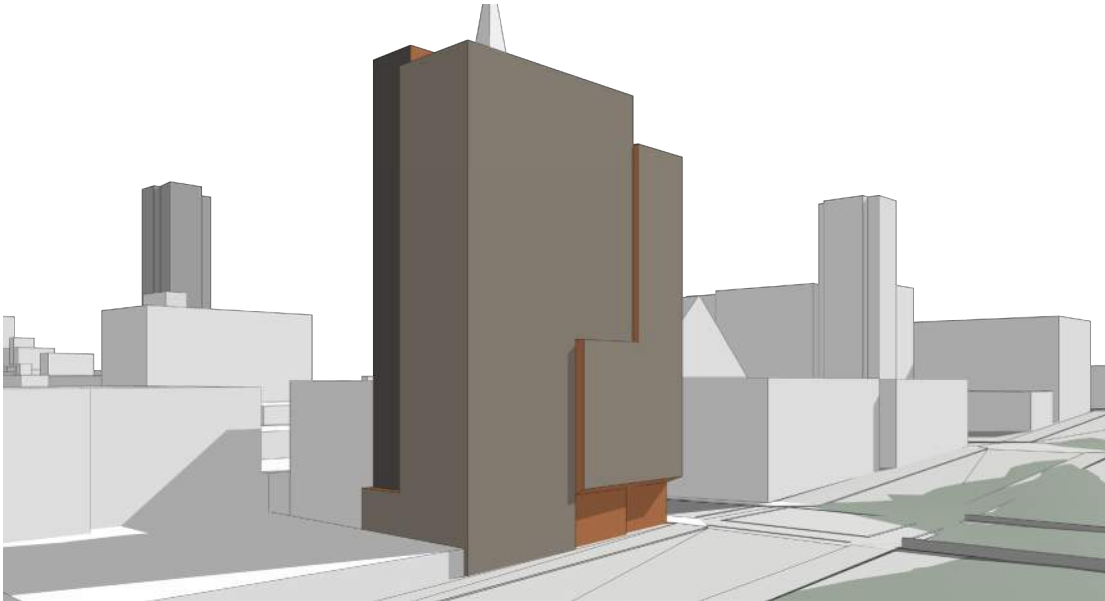
Proposed building aerial massing viewed from SW



Proposed building massing viewed from SW looking NE



Proposed building aerial massing viewed from NW



Proposed building massing viewed from NW looking SE

H O L S T

THANK YOU



**OREGON HOUSING *and*  
COMMUNITY SERVICES**

725 SUMMER STREET NE, SUITE B | SALEM, OR 97301  
503-986-2000 | [www.oregon.gov/OHCS](http://www.oregon.gov/OHCS)

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Design and Historic Resource Review Section  
Bureau of Development Services  
City of Portland  
1900 SW 4<sup>th</sup> Avenue  
Portland OR 97201

**Date:** September 19, 2022

**RE:** Design Review Procedure Certification for Affordable Housing Developments Confirmation Letter

This letter confirms the following for Julia West at project address 522 SW 13<sup>th</sup> Ave. Portland, OR 97205 ("Project"):

1. The Project has been awarded PSH Capital Funding, PSH rental assistance slots, and PSH Services funding from Oregon Housing and Community Services. Additionally, as a part of the 2022 PSH NOFA application, Oregon Housing and Community Services has received an application for 4% Low-Income Housing Tax Credits.
2. as a condition of the awarded funding, this Project will have certain covenant(s), regulatory agreement(s), extended use agreement(s) and/or another similar documents that set(s) affordability restrictions. The maximum allowable rent on the Affordable Units is set at **60% AMI** of Median Family Income for **90** of residential units (including one (1) manager unit), representing 100% of total residential units in this project (as shown in the table below. These affordability restrictions are for a minimum of 30 years.

Total Number of Units	# Units at or Below 60% AMI	% at or Below 60% AMI
90	90	100%

1. This Project, as designed, triggers Type III design review; however, Portland City Code (PCC) 33.825.025.A Table 825-1[2] and PCC Subsection 30.01.170 allow an affordable housing project to choose Type II design review if at least 50 percent of the total number of dwelling units on the site are affordable for those earning no more than 60 percent of the area median income for a minimum of 30 years.; and
3. This Project meets the affordable housing criteria established in PCC 33.825.025.A Table 825-1[2] and PCC 30.01.170 and is applying for Type II design review from the Bureau of Development Services, as authorized by Ordinance 190477.

Please do not hesitate to contact Christopher Ibeling at (971) 720-3757 or [christopher.ibeling@hcs.oregon.gov](mailto:christopher.ibeling@hcs.oregon.gov) for further information about Julia West's eligibility. Thank you for your attention and consideration to this affordable housing project.

Kind regards,

**Christopher Ibeling,  
Production Analyst**

Oregon Housing and Community Service  
Tel: (971) 720-3757  
Email: [christopher.ibeling@hcs.oregon.gov](mailto:christopher.ibeling@hcs.oregon.gov)

H O L S T

19 January 2023

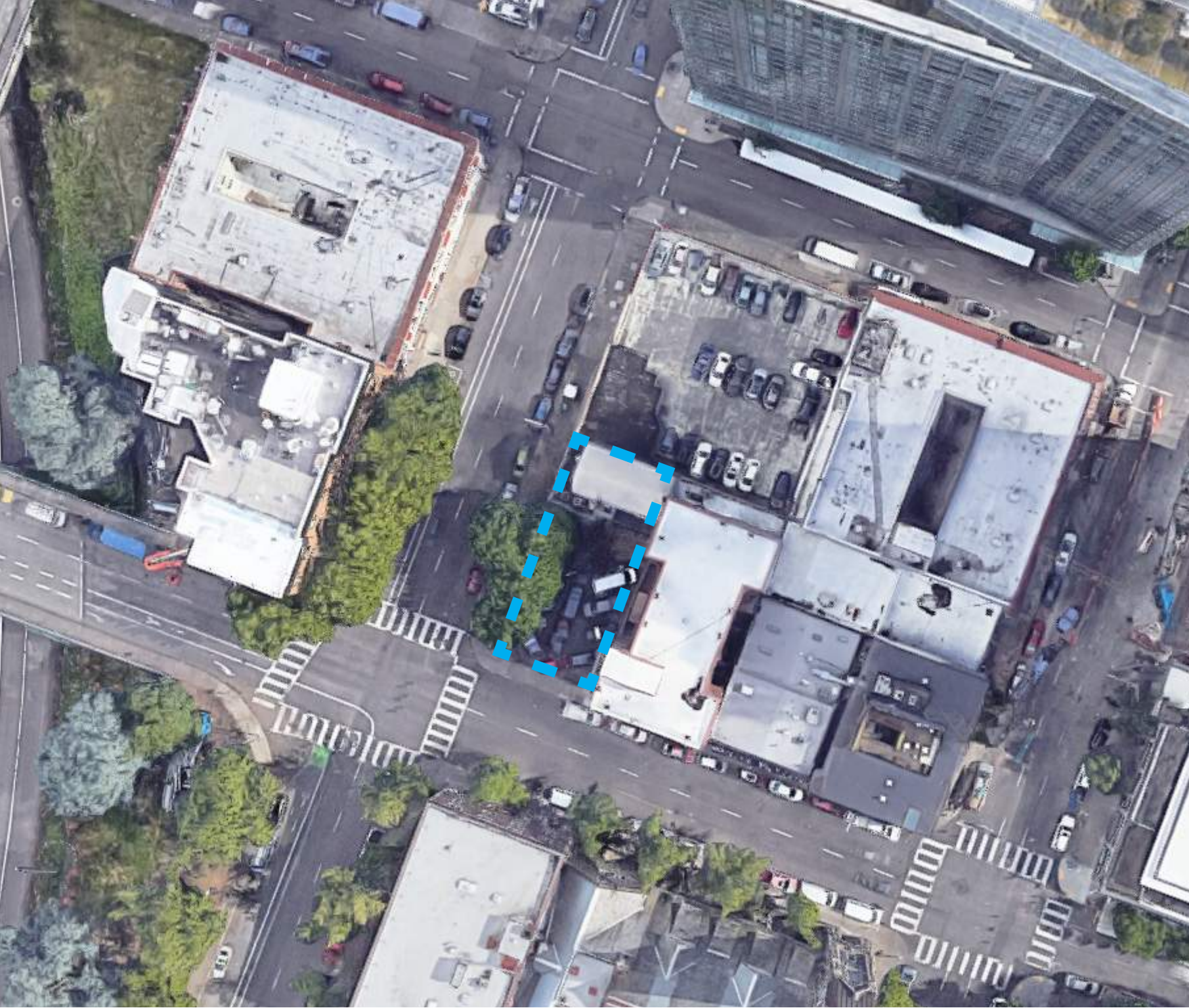
COMMUNITY DEVELOPMENT  
PARTNERS

Julia West Apartments

PORTLAND, OR

*Design Package*





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# PROJECT SUMMARY

## TEAM INFO

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HOLST ARCHITECTURE  
123 NE 3rd Ave Suite 310, Portland, OR 97232  
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Contact: Maggie Harris  
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The proposed building is a 12-story [with 1 below-grade utility/BOH basement] structure of approximately 59,890 square feet with 90 units, 60 studios and 30 1-bedrooms, of permanent supportive housing. Amenities will include community rooms, laundry lounge, rooftop terrace, on-site supportive services, and property management.



# CONTEXT STUDY



# ZONING SUMMARY

1131 SE OAK ST

## ZONING ANALYSIS

BASE ZONE: CX

OVERLAYS: DESIGN OVERLAY ZONE

PLAN DISTRICT: CENTRAL CITY PLAN DISTRICT

ALLOWABLE USES: OFFICE, RETAIL, RESIDENTIAL.

GROUND FLOOR ACTIVE USE: NONE

MAX FAR: 8:1

BONUS FAR: 8:1 [15:1 TOTAL]

MAX HEIGHT: 150 FT

BONUS HEIGHT: 150 FT [325 FT TOTAL]

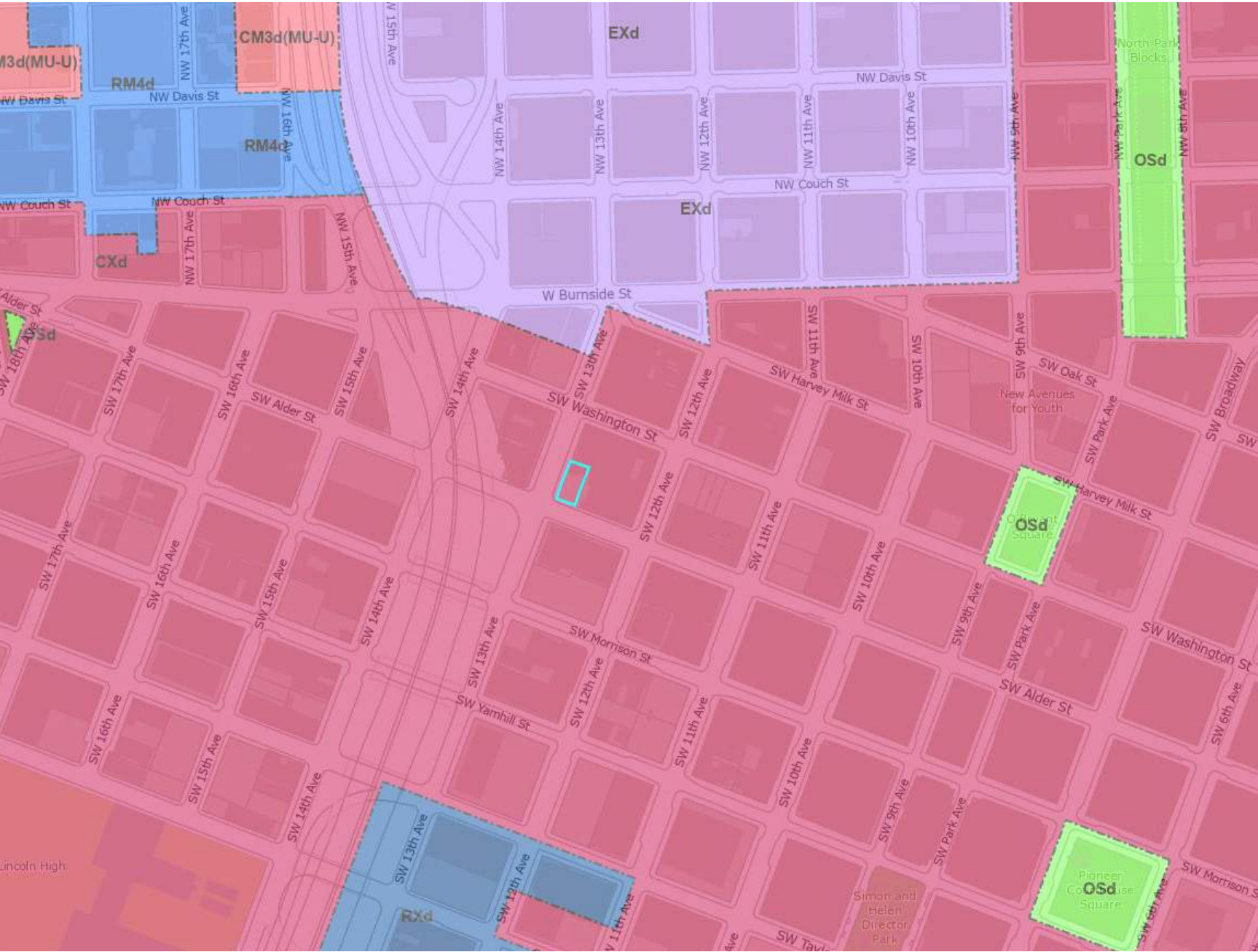
BLDG SETBACKS: NONE

MAX BUILDING SITE COVERAGE: 100%

MIN LANDSCAPED SITE AREA: NONE

MIN/MAX PARKING: HOUSEHOLD LIVING: NO MIN.  
[33.266.110.D.1.A.1]

GROUND FLOOR WINDOW STANDARDS APPLY



URBAN CONTEXT  
PEDESTRIAN, TRANSIT, AND VEHICLE SITE ACCESS

MULTI-MODAL CIRCULATION

- BUS LINE 15, 63, 51
- MAX LINE RED AND BLUE
- PORTLAND STREET CAR A & B LOOP

PEDESTRIAN & VEHICLE ACCESS POINTS

- PEDESTRIAN ACCESS ON SW ALDER & SW 13TH AVE
- VEHICLE ACCESS: SW ALDER AND SW 13TH AVE
- BICYCLE ACCESS : DEDICATED BIKE LANE ON SW 13TH AVE





# URBAN CONTEXT

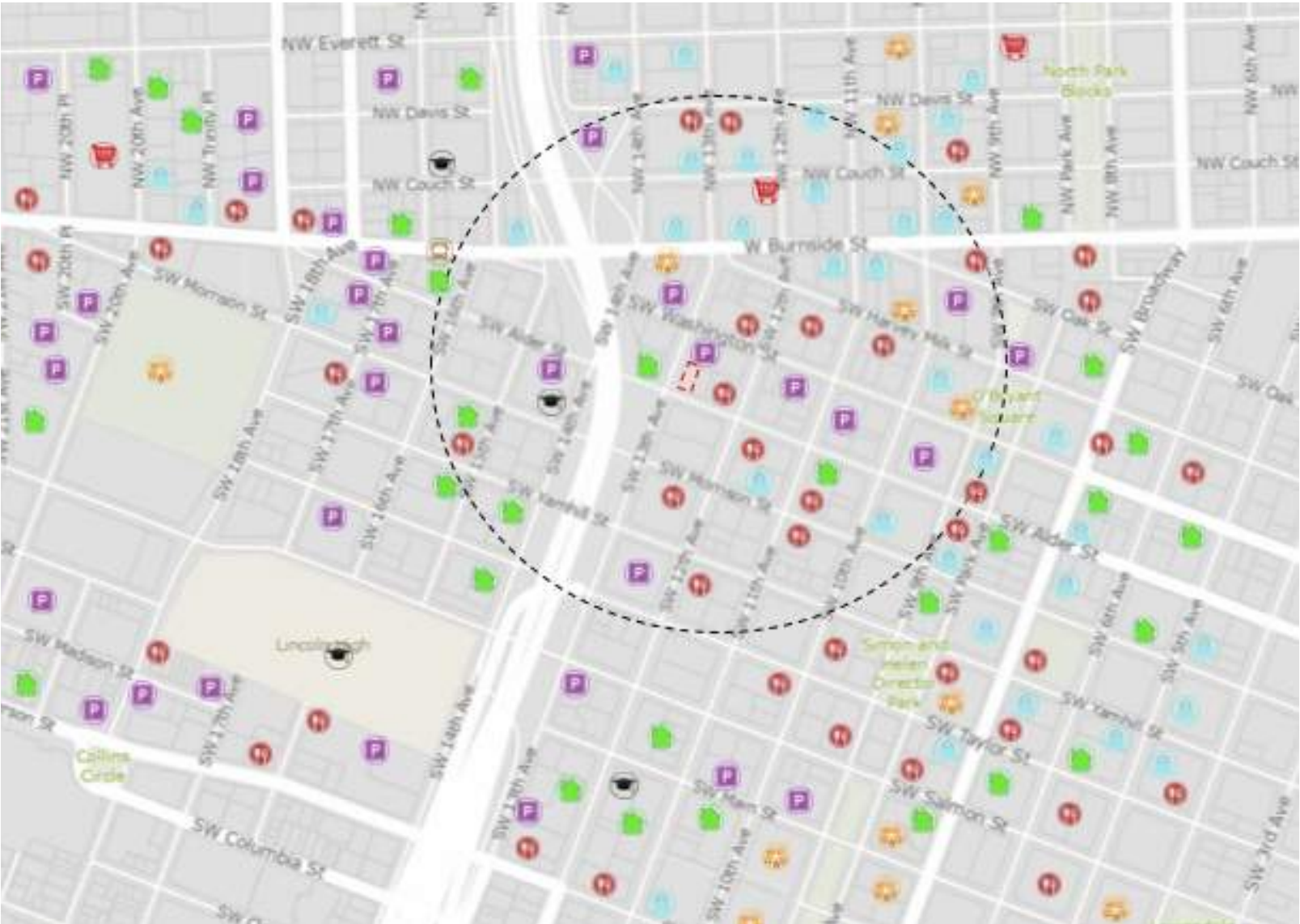
## PUBLIC AMENITIES & OPEN SPACE

### PUBLIC AMENITIES

- GROCERIES: FRED MEYER, WHOLE FOODS, TRADER JOE’S
- HEALTHCARE: WHOLE SYSTEMS HEALTHCARE, PORTLAND MENTAL HEALTH & WELLNESS, QUALITY HEALTH SOLUTIONS
- SHOPPING: BUFFALO EXCHANGE, SCRAP, PATAGONIA, VANS, POWELL’S CITY OF BOOKS
- DOWNTOWN COMMUNITY
- PUBLIC SCHOOLS: LINCOLN HIGH SCHOOL
- ENTERTAINMENT: PROVIDENCE PARK, CRYSTAL BALLROOM, LIVING ROOM THEATER, OREGON SYMPHONY

### OPEN SPACE

- O BRYANT SQUARE - 154 FT FROM SITE
- SIMON AND HELEN DIRECTOR PARK - 0.33 MILES FROM SITE
- NORTH PARK BLOCKS - 0.39 MILES FROM SITE
- PIONEER COURTHOUSE SQUARE - 0.41 MILES FROM SITE
- SOUTH PARK BLOCKS - 0.42 MILES FROM SITE





# SITE CONTEXT

## EXISTING CONDITIONS

### EXISTING CONDITIONS PLAN

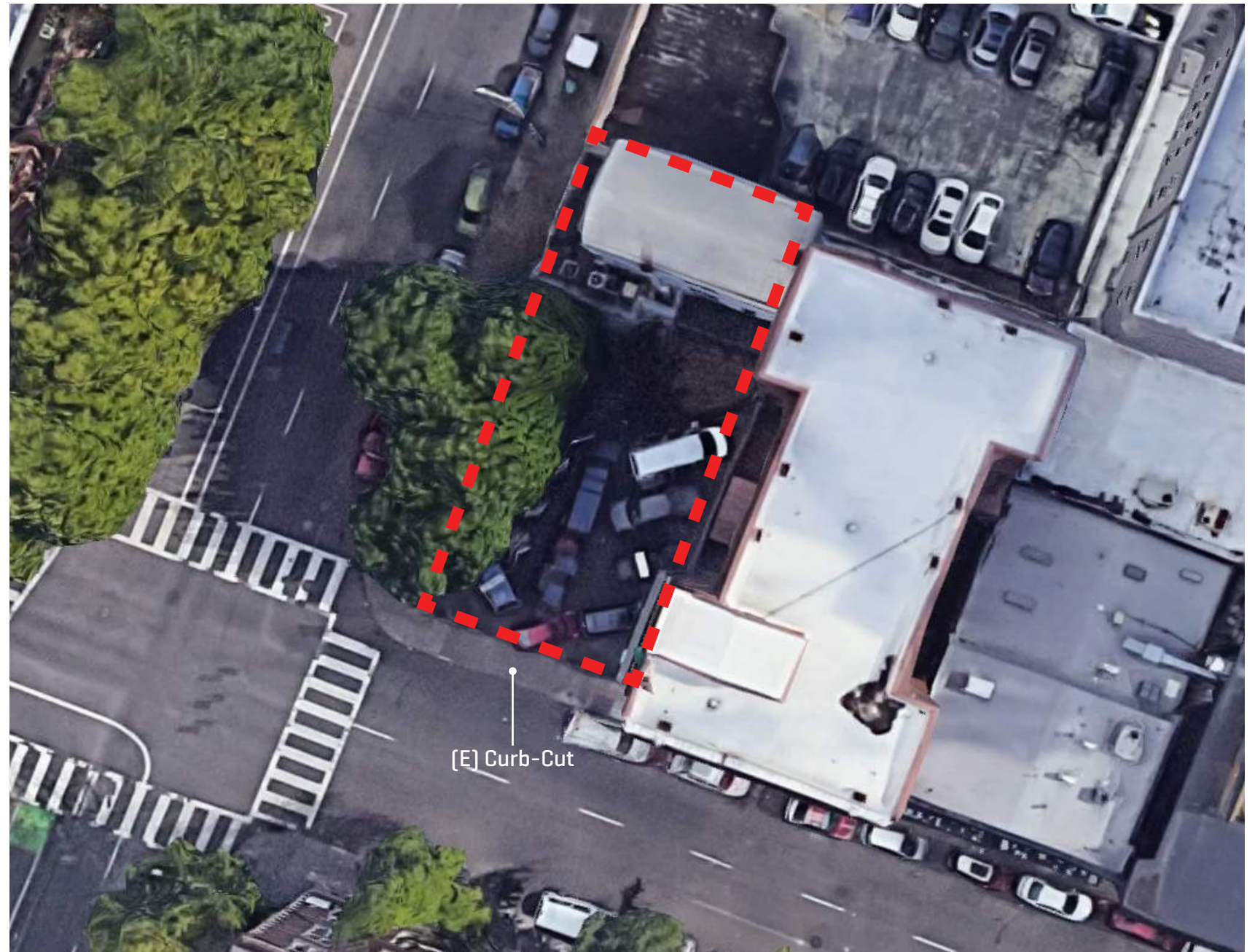
- THREE STORY BUILDING LOCATED ON NORTH OF SITE TO BE DEMOLISHED.
- EXISTING PARKING LOT TO BE DEOMOLISHED.
- ONE CURB-CUT ON THE SOUTH SIDEWALK OF THE SITE TO BE DEMOLISHED.
- FOUR EXISTING TREES ON SITE TO BE REMOVED. EXISTING TREE IN R.O.W. TO REMAIN.



View of Site from South looking North



View of site from West looking East





# SITE CONTEXT

## SITE & VICINITY PHOTOS



Aerial view from NW looking SE



View of site from SW corner



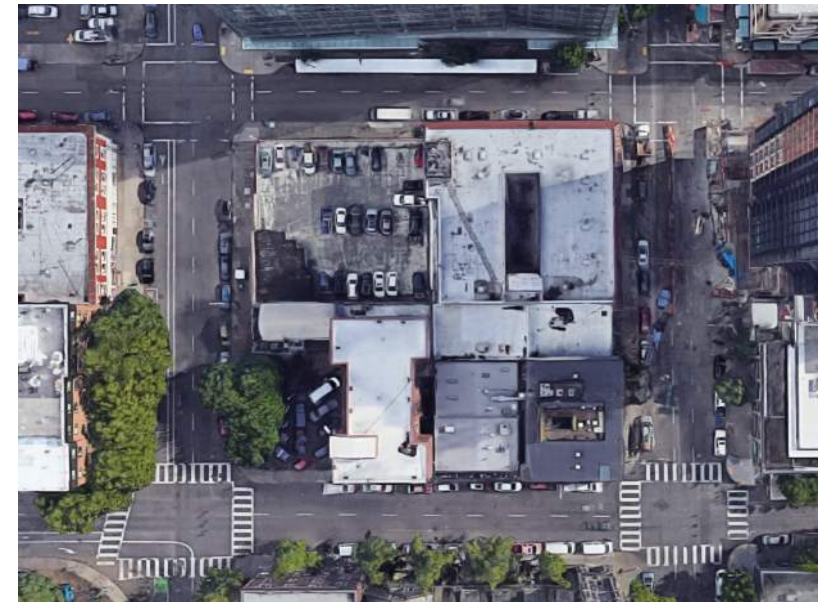
View of site from SE corner



Aerial view from NE looking SW



View of site from NW



View of complete block



# SITE CONTEXT

## UTILITIES

### GARBAGE & RECYCLING

Heiberg Garbage Services  
Phone: 503-794-8212  
Collection day: Tuesday

### SEWER & ENVIRONMENTAL

Bureau of Environmental Services  
Phone: 503-823-7740  
1120 SW 5th Ave. #613, Portland, OR 97204  
Watershed: Willamette River  
Clean River Rewards eligible

### WATER

Portland Water Bureau  
Phone: 503-823-7770  
1120 SW 5th Ave. #405, Portland, OR 97204

### POWER

Pacific Power [PacifiCorp]  
Phone: 888-221-7070

### GAS

NW Natural  
Phone: 800-422-4012



SITE CONTEXT  
SITE CONSTRAINTS

CONSTRAINTS & OPPORTUNITIES

- CENTRAL COMERCIAL ZONING W/ DESIGN OVERLAY.
- CENTRAL CITY PLAN DISTRICT
- 1232 SW WASHINGTON STREET PARKING TO THE NORTH
- I-405 FREEWAY WEST OF SITE
- 1/8TH BLOCK LOT



# CONCEPT DESIGN



PROPOSED SITE PLAN

522 SW 13TH STREET

ANTICIPATED MODIFICATIONS/ADJUSTMENTS: 3

This proposal includes projecting windows into the public right-of-way, shown with a dashed line on the site plan. Below is listed which of the City of Portland’s requirements for window projections into the public right-of-way [OSSC/32/#1] are being met and which will need a modification/adjustment.

A. Projection. Maximum projection of 4 feet into the right-of-way including trim, eaves and ornament.

Proposal meets, max projection is 1’-6”

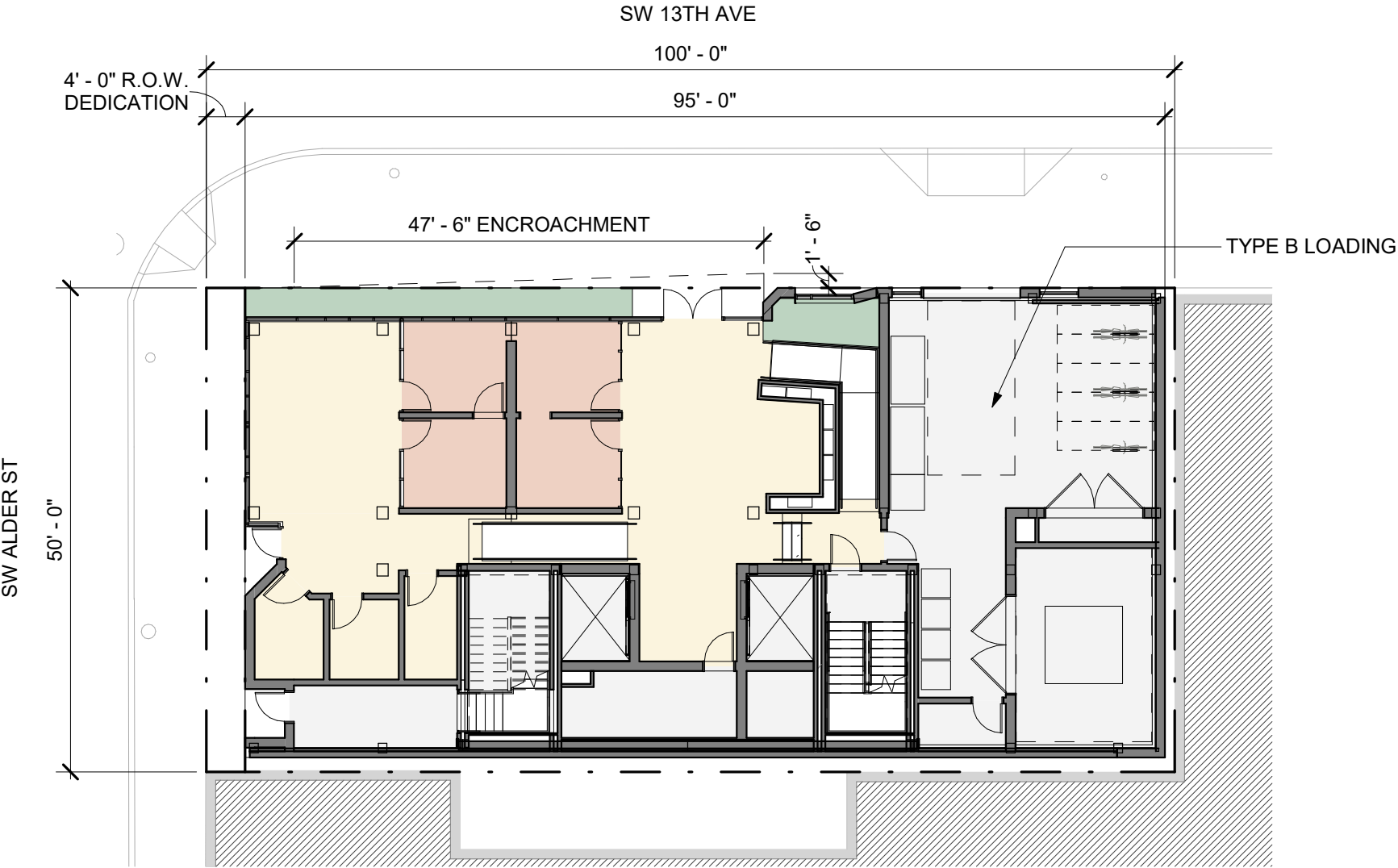
B. Clearance. Clearance above grade as defined in Chapter 32, Section 3202.3.2 of the current Oregon Structural Specialty Code. [The 2004 edition of the Oregon Structural Specialty Code states that no projection is allowed for clearances less than 8 feet above grade. For clearances above grade greater than 8 feet, 1 inch of projection is allowed for each additional inch of clearance, provided that no such projection shall exceed a distance of 4 feet.]

Proposal meets, clearance above grade is 15’ - 2”

C. Area. Maximum wall area of all windows which project into public right-of-way on a wall is 40% of the wall’s area.

Proposal meets, projection is 29% of the wall’s area

Continued on next page...



# PROPOSED SITE PLAN

522 SW 13TH STREET

## ANTICIPATED MODIFICATIONS/ADJUSTMENTS: ONE

D. Wall Length. Maximum width of any single window which projects into public right-of-way is 50% of its building wall length.

### Proposal meets, max width of projection is 47'-6"

E. Window Area. Minimum of 30% window area at the face of the projecting window element. Projections greater than 2 feet 6 inches must have windows at all sides. Required side windows must be a minimum of 10% of side walls.

### Modificaion/adjustment anticipated

F. Width. Maximum width of 12 feet for each projecting window element. When approved through Design Review, the width may vary provided the area of all windows on a wall which project into public right of way does not exceed 40% of the wall's area and the width of any single projecting window element does not exceed 50% of its building wall's length.

### Modificaion/adjustment anticipated

G. Separation. Minimum separation of 12 feet measured from other projecting window elements on the same elevation or plane of wall. When approved through Design Review, required separation may vary provided the area of all projecting window elements on a wall does not exceed 40% of the wall's area and the width of any single projecting window element over the right-of-way does not exceed 50% of its building wall's length.

### Modificaion/adjustment anticipated



BASEMENT FLOOR PLAN

BASEMENT

BUILDING [59,890 GSF]

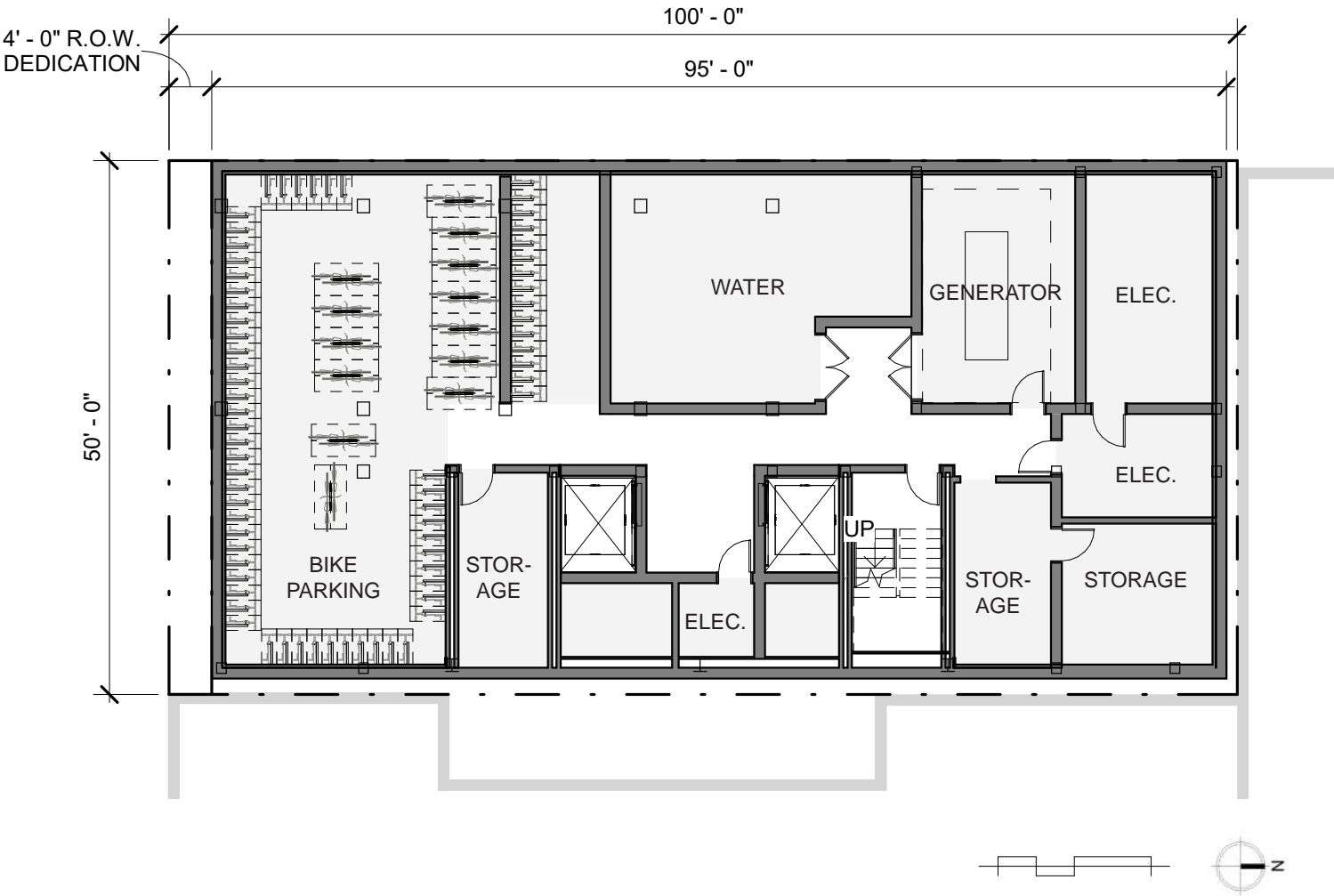
BASEMENT [4,607 GSF]

STORAGE - 493 SF

BIKE PARKING - 1,235 SF

B.O.H. - 1,290 SF

CIRC - 460 SF



GROUND FLOOR PLAN

LEVEL 01

BUILDING [59,890 GSF]

LEVEL 01 [4,428 GSF]

LOBBY - 968 SF

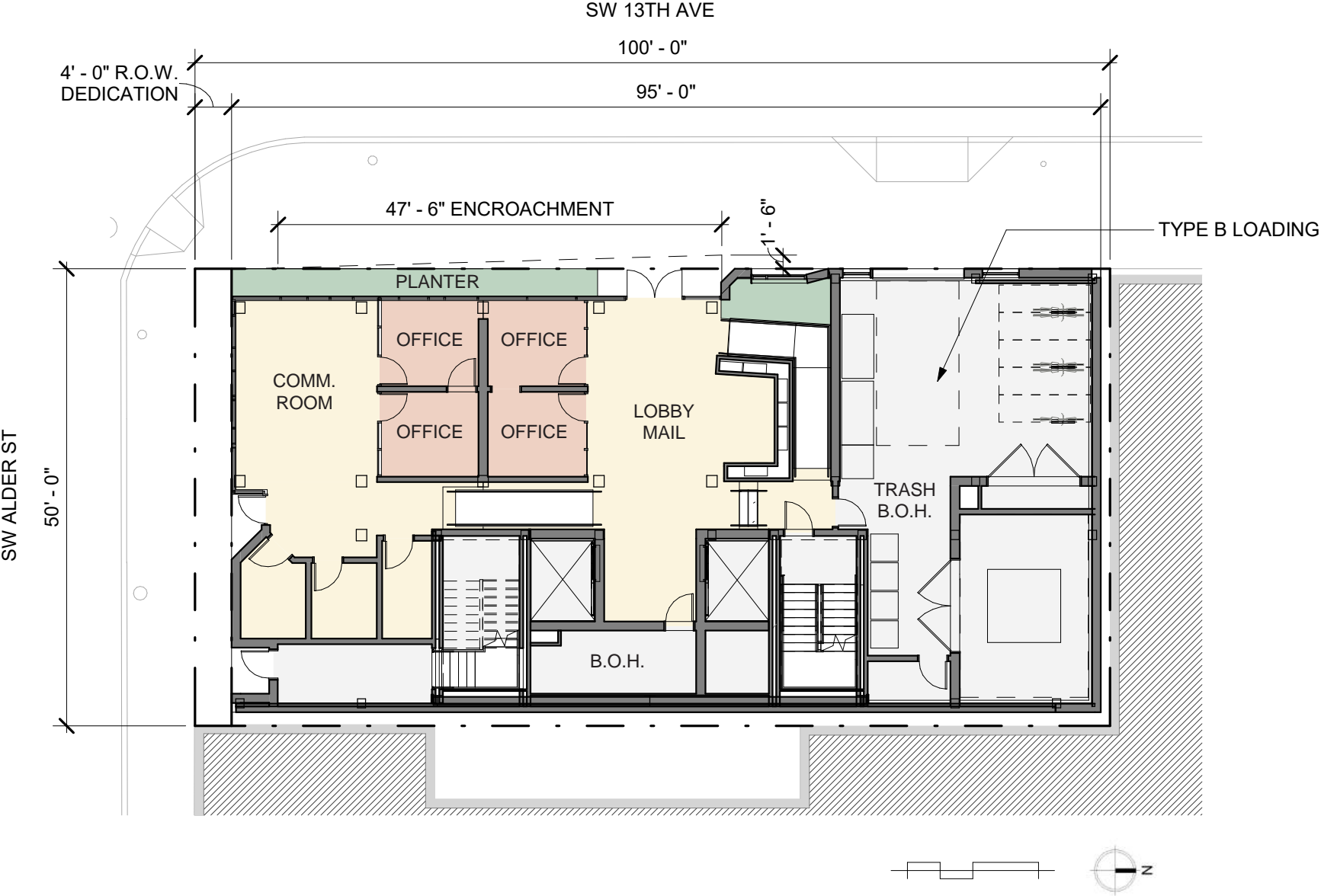
OFFICE - 470 SF

COMMUNITY ROOM - 310 SF

RESTROOMS - 115 SF

B.O.H. - 1,168 SF

CIRC - 495 SF



TYPICAL FLOOR PLAN

LEVEL 02 - 11

BUILDING [59,890 GSF]

LEVELS 02-05 [4,568 GSF]

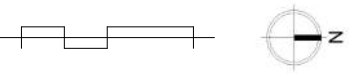
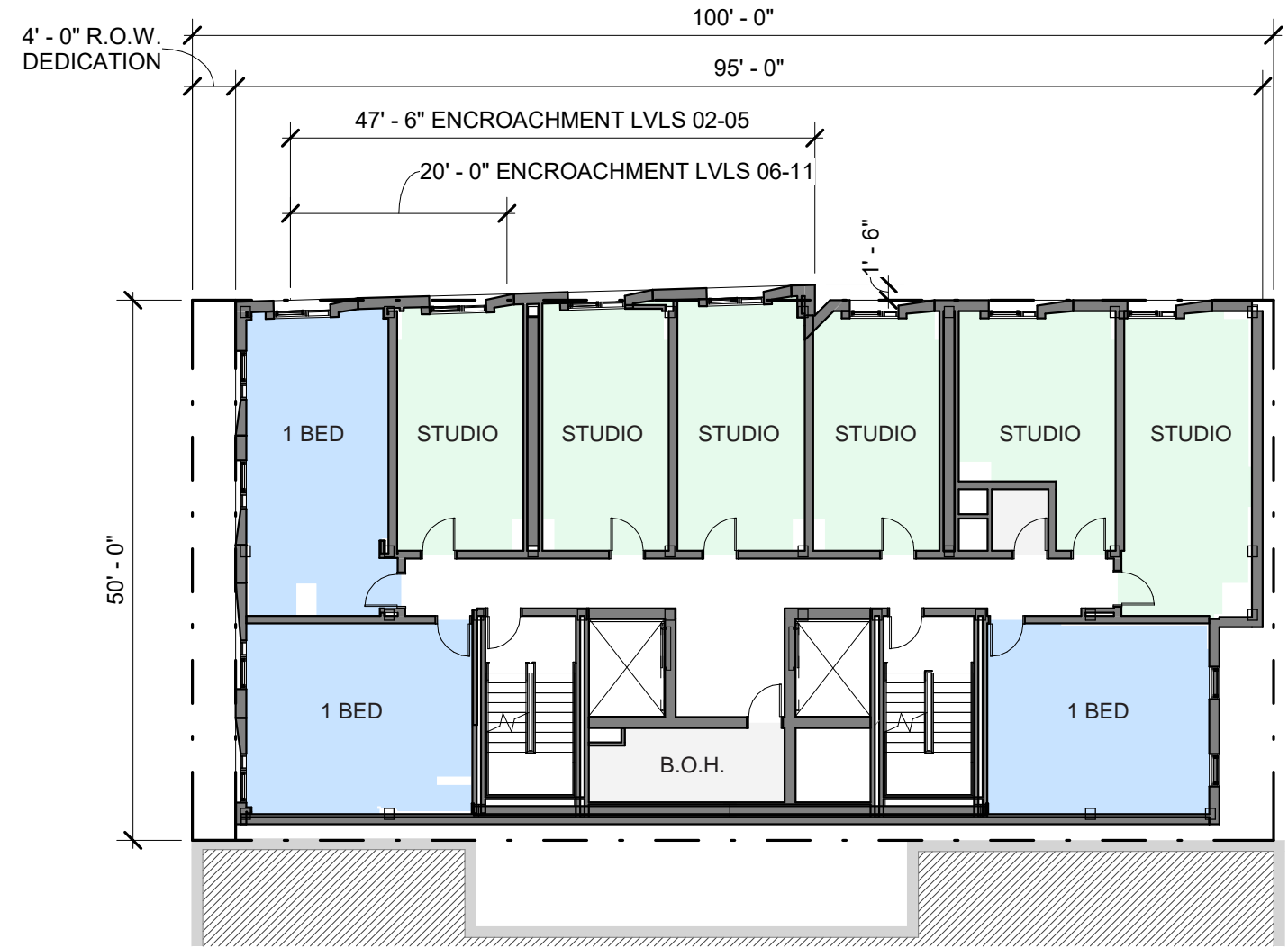
LEVELS 06-11 [4,538 GSF]

1 BED - 3 UNITS

STUDIO - 6 UNITS

B.O.H. - 532 SF

CIRC - 929 SF



TOP FLOOR PLAN

LEVEL 12

BUILDING [59,890 GSF]

LEVELS 12 [3,550 GSF]

PATIO - 750 SF

MEETING AREA - 734 SF

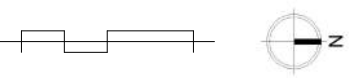
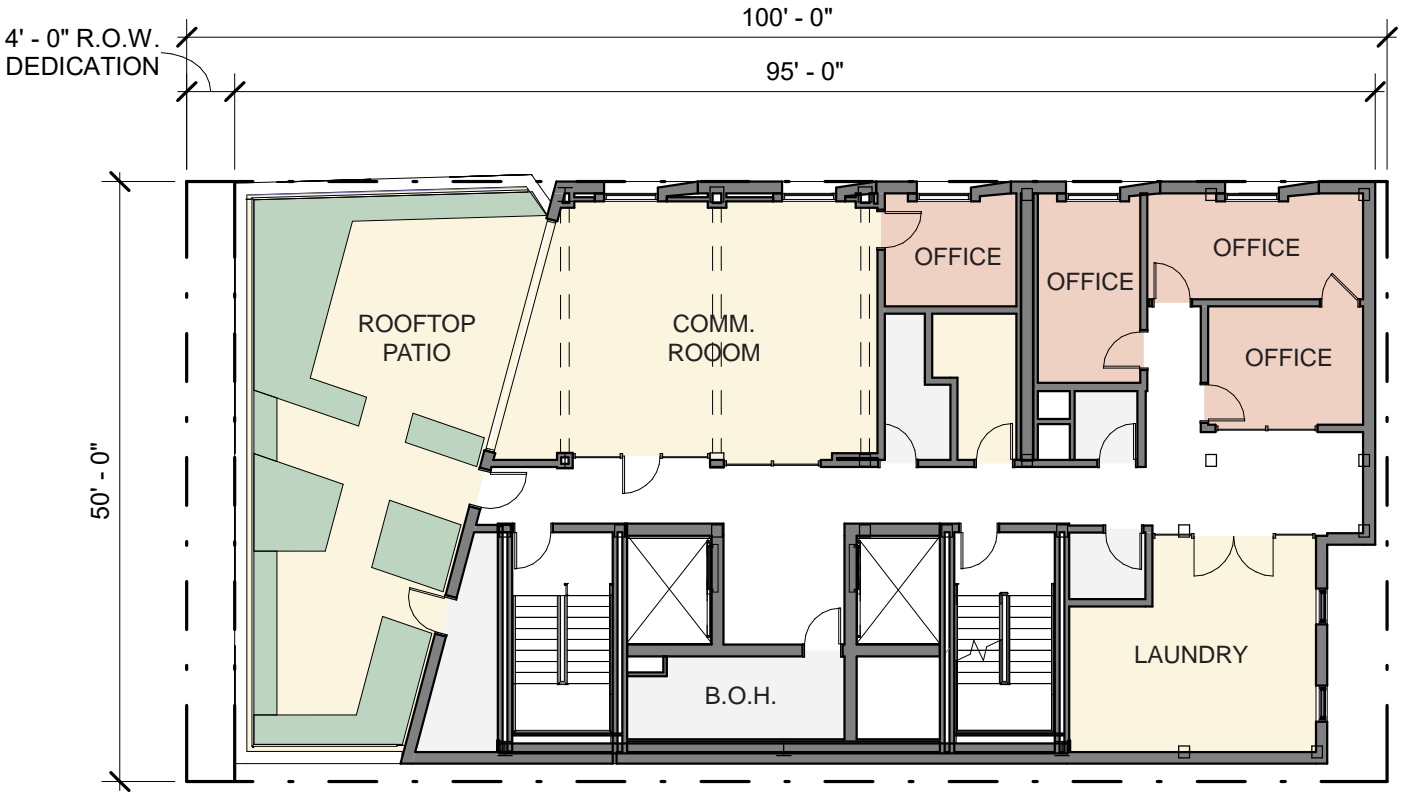
OFFICE- 293 SF

LAUNDRY - 389 SF

RESTROOMS- 139 SF

B.O.H. - 285 SF

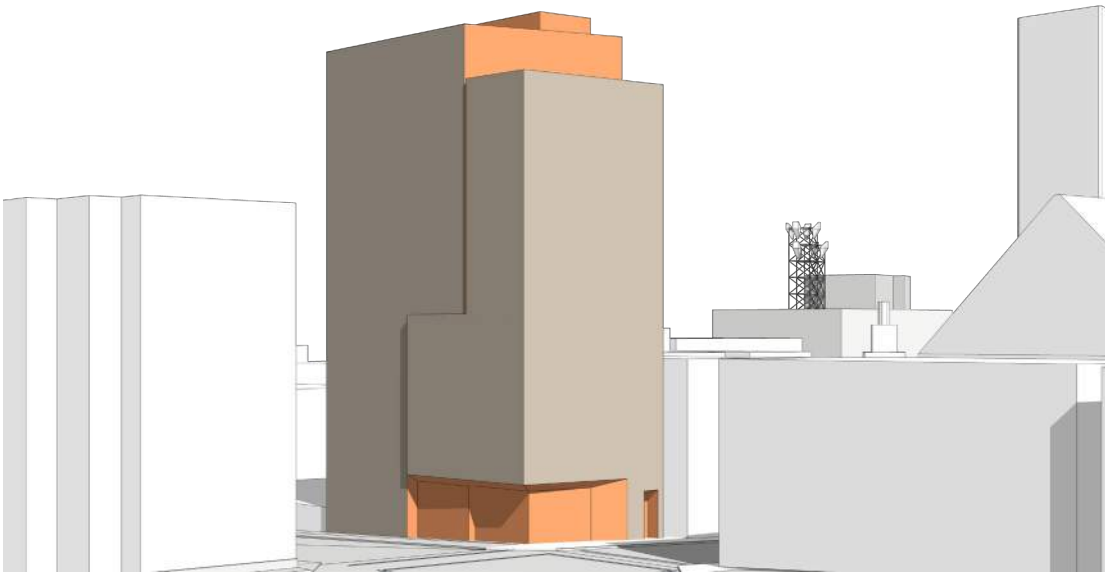
CIRC - 853 SF



PROJECT IMAGES



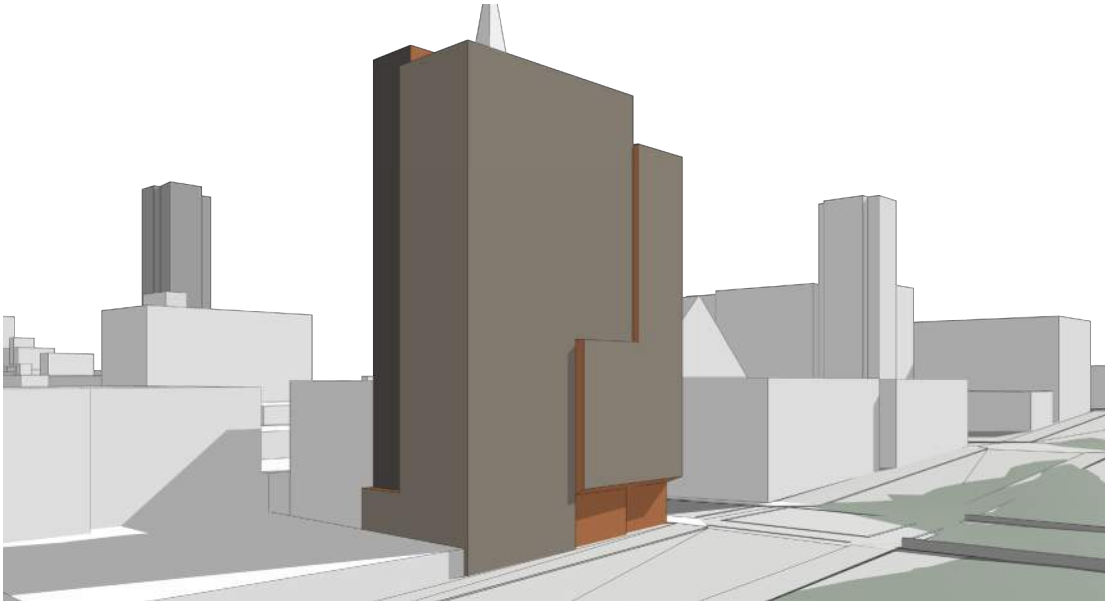
Proposed building aerial massing viewed from SW



Proposed building massing viewed from SW looking NE



Proposed building aerial massing viewed from NW



Proposed building massing viewed from NW looking SE



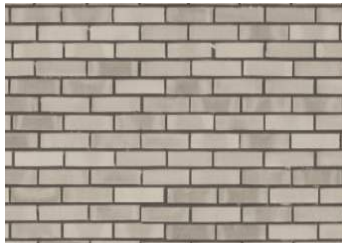
MATERIAL CONCEPT #1



1. VINYL WINDOWS



2. FLAT PANEL METAL SIDING



3. THIN BRICK VENEER





MATERIAL CONCEPT #2



1. VINYL WINDOWS



2. FLAT PANEL METAL SIDING



3. FLAT PANEL METAL SIDING



4. CHEVRON PROFILE METAL SIDING



H O L S T

THANK YOU

H O L S T

19 January 2023

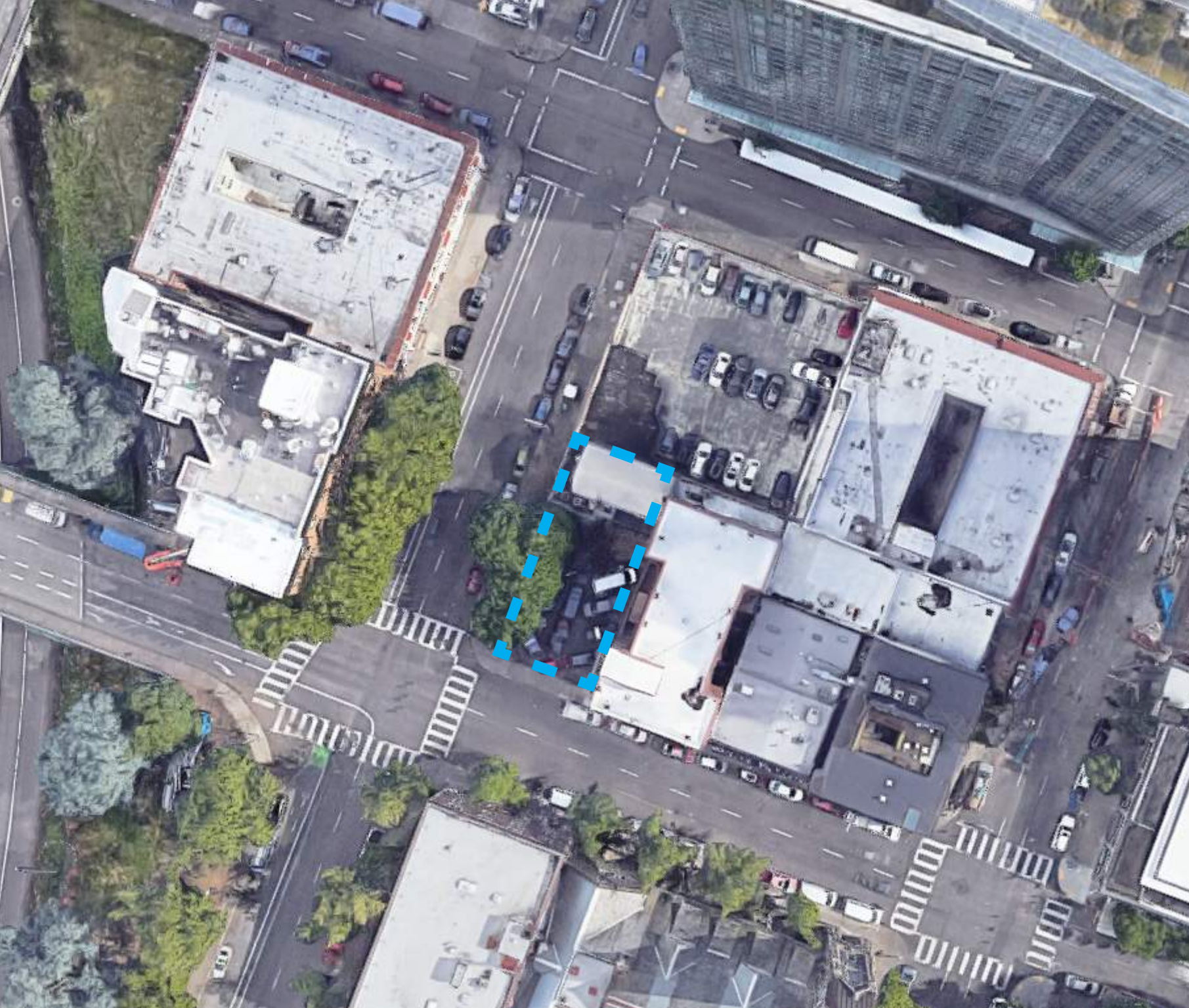
COMMUNITY DEVELOPMENT  
PARTNERS

Julia West Apartments

PORTLAND, OR

*Design Package*





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# PROJECT SUMMARY

## TEAM INFO

### APPLICANT

HOLST ARCHITECTURE  
123 NE 3rd Ave Suite 310, Portland, OR 97232  
[503] 233-9856  
Contact: Maggie Harris  
mharris@holstarc.com

## DEVELOPMENT PROGRAM

### PROPOSAL

The proposed building is a 12-story [with 1 below-grade utility/BOH basement] CLT structure of approximately 59,890 square feet with 90 units, 60 studios and 30 1-bedrooms, of permanent supportive housing. Amenities will include community rooms, laundry lounge, rooftop terrace, on-site supportive services, and property management.



# CONTEXT STUDY

## ZONING SUMMARY

1131 SE OAK ST

## ZONING ANALYSIS

BASE ZONE: CX

OVERLAYS: DESIGN OVERLAY ZONE

PLAN DISTRICT: CENTRAL CITY PLAN DISTRICT

ALLOWABLE USES: OFFICE, RETAIL, RESIDENTIAL.

GROUND FLOOR ACTIVE USE: NONE

MAX FAR: 8:1

BONUS FAR: 8:1 (15:1 TOTAL)

MAX HEIGHT: 150 FT

BONUS HEIGHT: 150 FT [325 FT TOTAL]

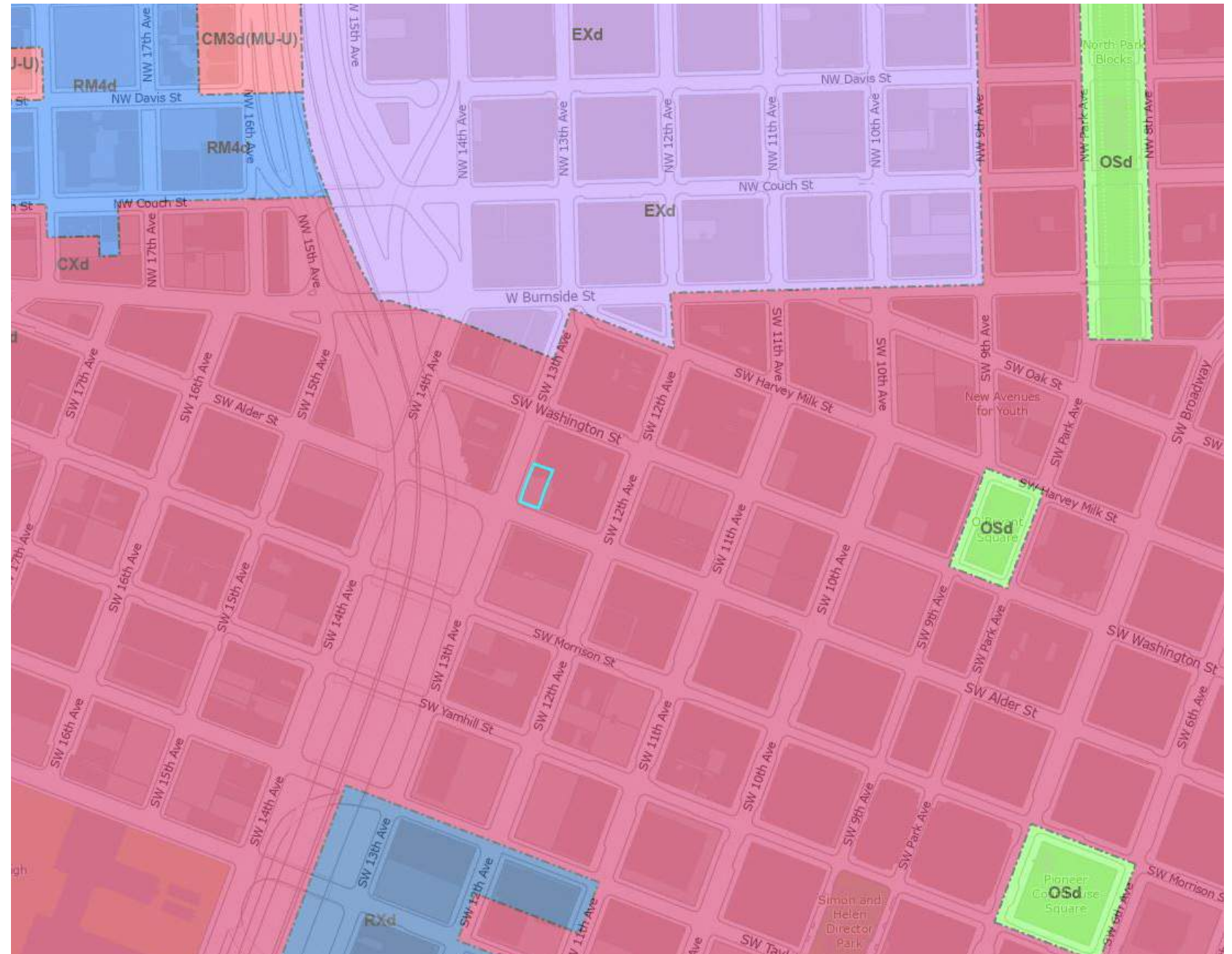
BLDG SETBACKS: NONE

MAX BUILDING SITE COVERAGE: 100%

MIN LANDSCAPED SITE AREA: NONE

MIN/MAX PARKING: HOUSEHOLD LIVING: NO MIN.  
[33.266.110.D.1.A.1]

GROUND FLOOR WINDOW STANDARDS APPLY





# URBAN CONTEXT

PEDESTRIAN, TRANSIT, AND VEHICLE SITE ACCESS

**MULTI-MODAL CIRCULATION**

- BUS LINE 15, 63, 51
- MAX LINE RED AND BLUE
- PORTLAND STREET CAR A & B LOOP

**PEDESTRIAN & VEHICLE ACCESS POINTS**

- PEDESTRIAN ACCESS ON SW ALDER & SW 13TH AVE
- VEHICLE ACCESS: SW ALDER AND SW 13TH AVE
- BICYCLE ACCESS : DEDICATED BIKE LANE ON SW 13TH AVE

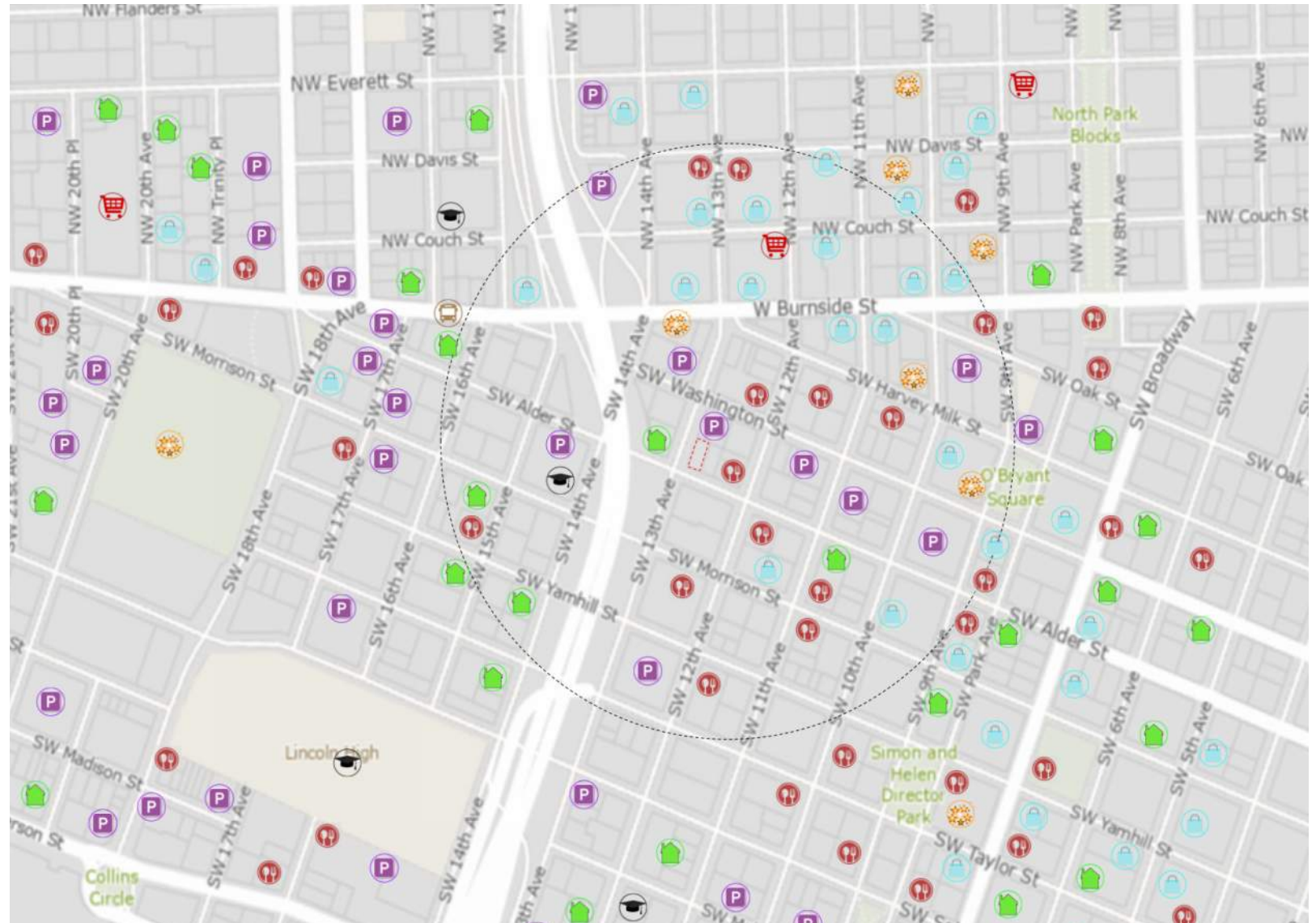




## PUBLIC AMENITIES & OPEN SPACE

- GROCERIES: FRED MEYER, WHOLE FOODS, TRADER JOE'S
- HEALTHCARE: WHOLE SYSTEMS HEALTHCARE, PORTLAND MENTAL HEALTH & WELLNESS, QUALITY HEALTH SOLUTIONS
- SHOPPING: BUFFALO EXCHANGE, SCRAP, PATAGONIA, VANS, POWELL'S CITY OF BOOKS
- DOWNTOWN COMMUNITY
- PUBLIC SCHOOLS: LINCOLN HIGH SCHOOL
- ENTERTAINMENT: PROVIDENCE PARK, CRYSTAL BALLROOM, LIVING ROOM THEATER, OREGON SYMPHONY

- O BRYANT SQUARE - 154 FT FROM SITE
- SIMON AND HELEN DIRECTOR PARK - 0.33 MILES FROM SITE
- NORTH PARK BLOCKS - 0.39 MILES FROM SITE
- PIONEER COURTHOUSE SQUARE - 0.41 MILES FROM SITE
- SOUTH PARK BLOCKS - 0.42 MILES FROM SITE



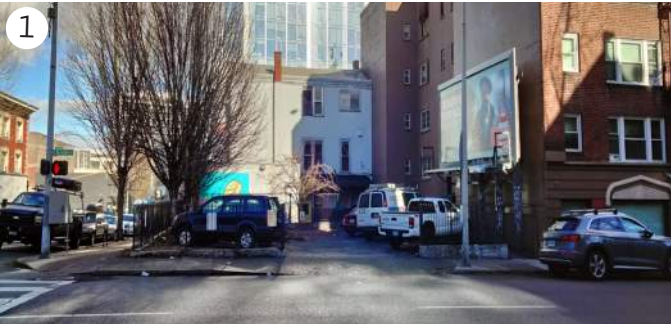


# SITE CONTEXT

## EXISTING CONDITIONS

### EXISTING CONDITIONS PLAN

- THREE STORY BUILDING LOCATED ON NORTH OF SITE TO BE DEMOLISHED.
- EXISTING PARKING LOT TO BE DEMOLISHED.
- ONE CURB-CUT ON THE SOUTH SIDEWALK OF THE SITE TO BE DEMOLISHED.
- FOUR EXISTING TREES ON SITE TO BE REMOVED. EXISTING TREE IN R.O.W. TO REMAIN.



View 1: Site from South looking North



View 2: Site from Northwest looking Southeast.





# SITE CONTEXT

## SITE & VICINITY PHOTOS



Aerial view from NW looking SE



View of site from SW corner



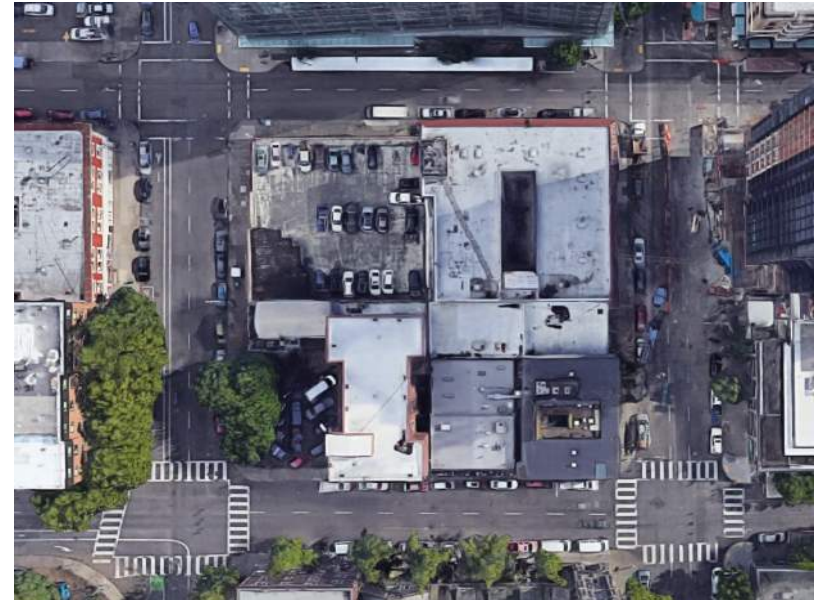
View of site from SE corner



Aerial view from NE looking SW



View of site from NW



View of complete block



# SITE CONTEXT

## UTILITIES

### GARBAGE & RECYCLING

Heiberg Garbage Services  
Phone: 503-794-8212  
Collection day: Tuesday

### SEWER & ENVIRONMENTAL

Bureau of Environmental Services  
Phone: 503-823-7740  
1120 SW 5th Ave. #613, Portland, OR 97204  
Watershed: Willamette River  
Clean River Rewards eligible

### WATER

Portland Water Bureau  
Phone: 503-823-7770  
1120 SW 5th Ave. #405, Portland, OR 97204

### POWER

Pacific Power [PacifiCorp]  
Phone: 888-221-7070

### GAS

NW Natural  
Phone: 800-422-4012



SITE CONTEXT  
SITE CONSTRAINTS

CONSTRAINTS & OPPORTUNITIES

- CENTRAL COMERCIAL ZONING W/ DESIGN OVERLAY.
- CENTRAL CITY PLAN DISTRICT
- 1232 SW WASHINGTON STREET PARKING TO THE NORTH
- I-405 FREEWAY WEST OF SITE
- 1/8TH BLOCK LOT
- 4' ROW DEDICATION ON ALDER ST
- 6" ROW DEDICATION ON 13TH AVE



# CONCEPT DESIGN



# PROPOSED SITE PLAN

522 SW 13TH STREET

## ANTICIPATED MODIFICATIONS/ADJUSTMENTS: 3

This proposal includes projecting windows into the public right-of-way, shown with a dashed line on the site plan. This is to provide a break in the massing without affecting the size of the units on an otherwise constrained site. Below is listed which of the City of Portland's requirements for window projections into the public right-of-way (OSSC/32/#1) are being met and which will need a modification/adjustment.

A. Projection. Maximum projection of 4 feet into the right-of-way including trim, eaves and ornament.

**Proposal meets, max projection is 1'-6"**

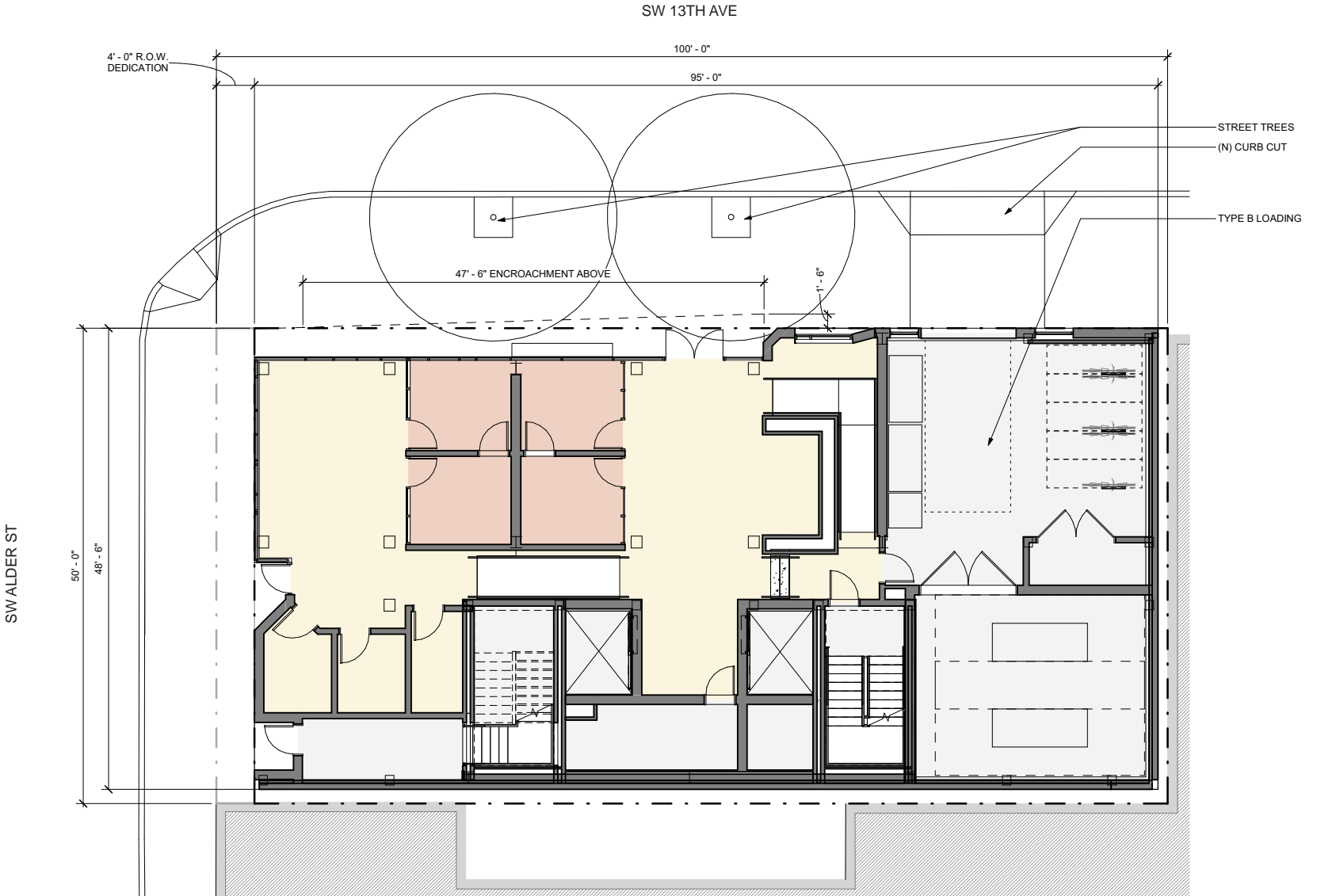
B. Clearance. Clearance above grade as defined in Chapter 32, Section 3202.3.2 of the current Oregon Structural Specialty Code. [The 2004 edition of the Oregon Structural Specialty Code states that no projection is allowed for clearances less than 8 feet above grade. For clearances above grade greater than 8 feet, 1 inch of projection is allowed for each additional inch of clearance, provided that no such projection shall exceed a distance of 4 feet.]

**Proposal meets, clearance above grade is 15' - 2"**

C. Area. Maximum wall area of all windows which project into public right-of-way on a wall is 40% of the wall's area.

**Proposal meets, projection is 29% of the wall's area**

Continued on next page...



D. Wall Length. Maximum width of any single window which projects into public right-of-way is 50% of its building wall length.

**Poposal meets, max width of projection is 47'-6"**

E. Window Area. Minimum of 30% window area at the face of the projecting window element. Projections greater than 2 feet 6 inches must have windows at all sides. Required side windows must be a minimum of 10% of side walls.

**Modificaion/adjustment anticipated. Proposed window area is 26% at the face of the projecting window element.**

F. Width. Maximum width of 12 feet for each projecting window element. When approved through Design Review, the width may vary provided the area of all windows on a wall which project into public right of way does not exceed 40% of the wall's area and the width of any single projecting window element does not exceed 50% of its building wall's length.

**Modificaion/adjustment anticipated**

G. Separation. Minimum separation of 12 feet measured from other projecting window elements on the same elevation or plane of wall. When approved through Design Review, required separation may vary provided the area of all projecting window elements on a wall does not exceed 40% of the wall's area and the width of any single projecting window element over the right-of-way does not exceed 50% of its building wall's length.

**Modificaion/adjustment anticipated**

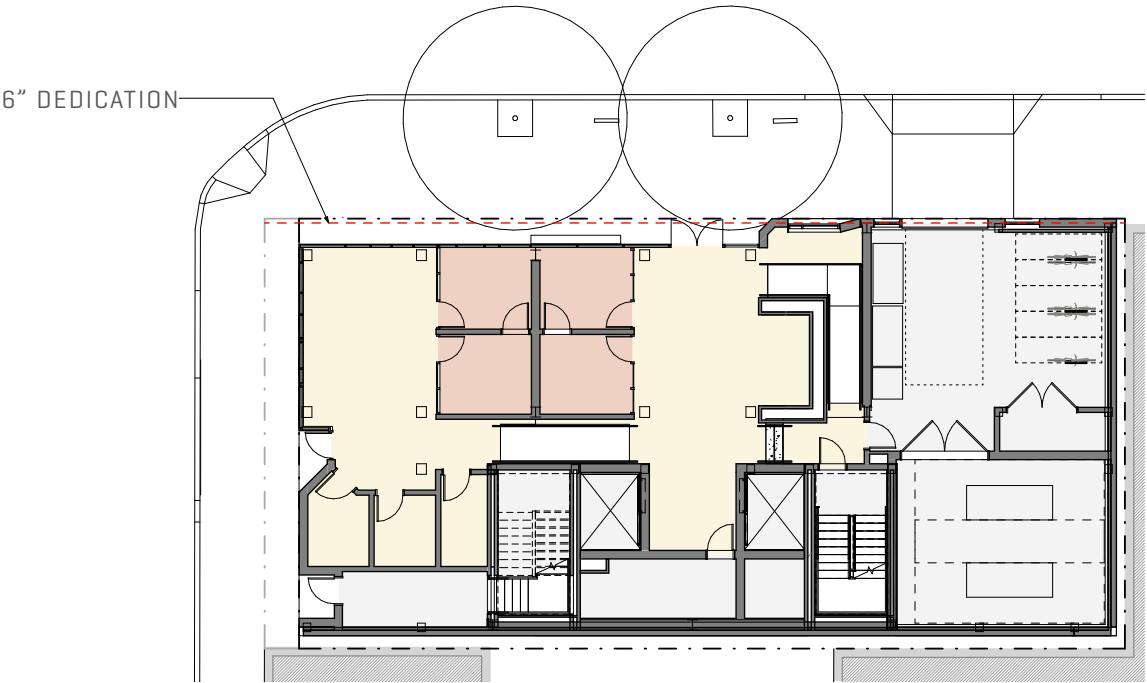


**PUBLIC WORKS ALTERNATIVE**

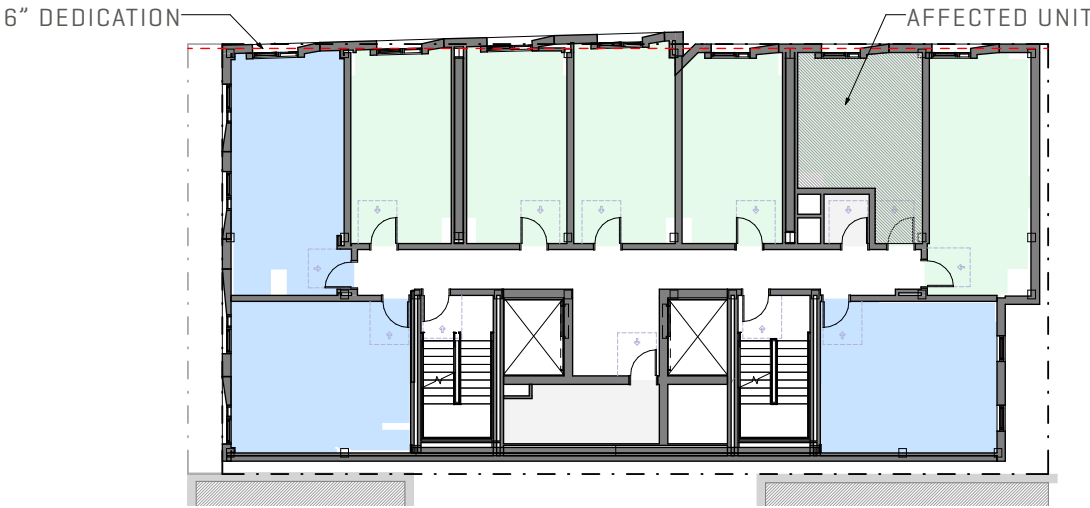
The design team plans to submit a Public Works Alternative to maintain the existing 14' - 6" ROW along 13th Avenue rather than reconstruct this frontage to the recommended city standard of 15' - 0". Forgoing this 6" dedication would help maximize the square footage and number of units in the project.

As designed, many efficiency dwelling units in the project are under the required 190 net square feet required by code, however, an appeal has been granted [#28228] to allow a minimum required area of 140 net square feet to be used. If the 6" dedication is required along 13th Avenue, 10 units would fail to meet the required minimum size and need to be removed from the project.

The design team feels the pedestrian experience would not be inhibited by reconstructing the ROW at 14' - 6" instead of the recommended city standard of 15' - 0" because more than 50% of the building's facade along 13th Avenue steps back 3' - 0" at the ground floor with paving up to the building's ground floor glazing, increasing the perceived width of the sidewalk in this area. This area would be used as a "stopping zone" and furnished with built-in seating.



LEVEL 01 FLOOR PLAN



TYPICAL UPPER FLOOR PLAN



# BASEMENT FLOOR PLAN

BUILDING [59,890 GSF]

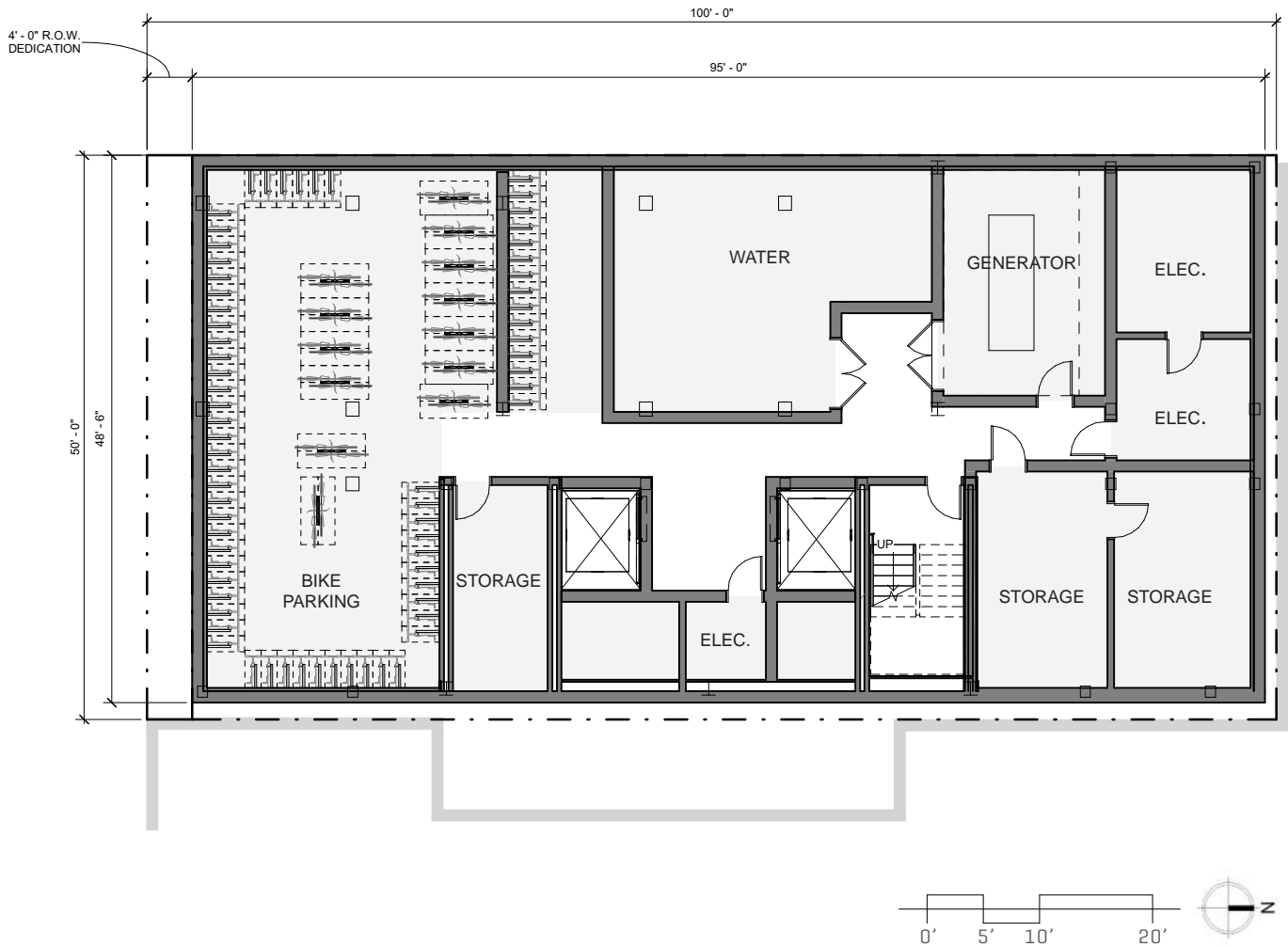
BASEMENT [4,607 GSF]

STORAGE - 493 SF

BIKE PARKING - 1,235 SF

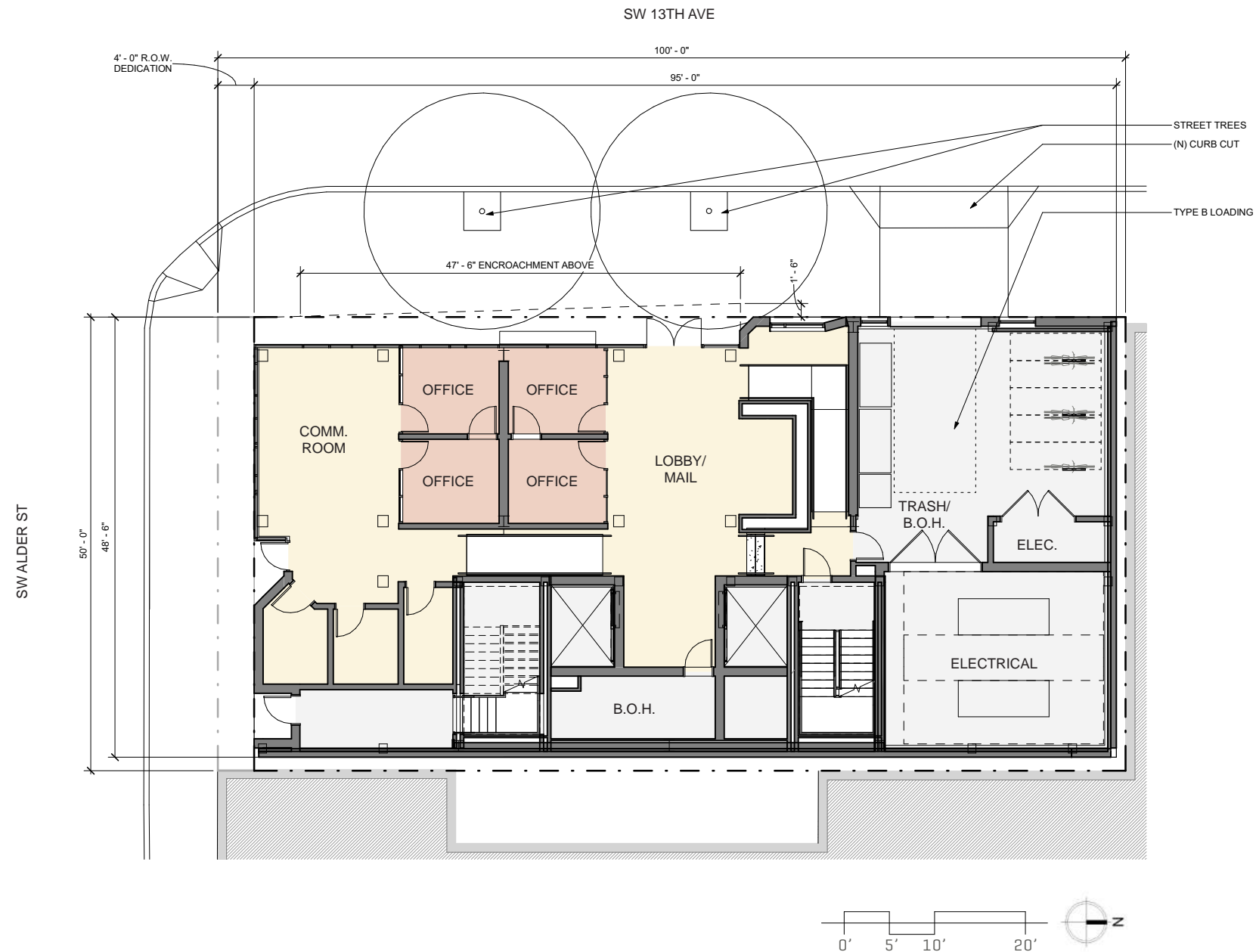
B.O.H. - 1,290 SF

CIRC - 460 SF



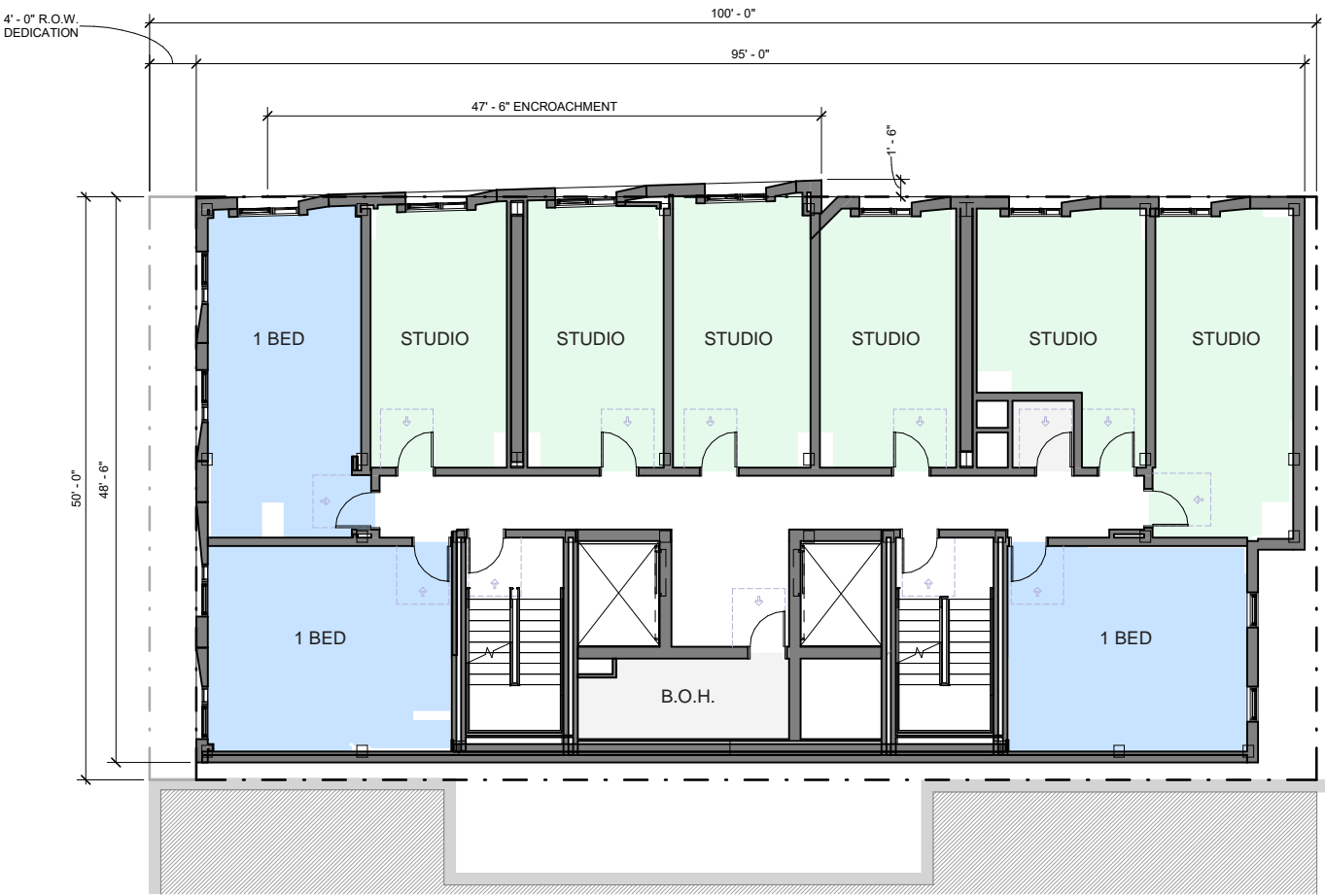
# LEVEL 01 FLOOR PLAN

BUILDING [59,890 GSF]  
LEVEL 01 [4,428 GSF]  
LOBBY - 968 SF  
OFFICE - 470 SF  
COMMUNITY ROOM - 310 SF  
RESTROOMS - 115 SF  
B.O.H. - 1,168 SF  
CIRC - 495 SF



# LEVELS 02-05 FLOOR PLAN

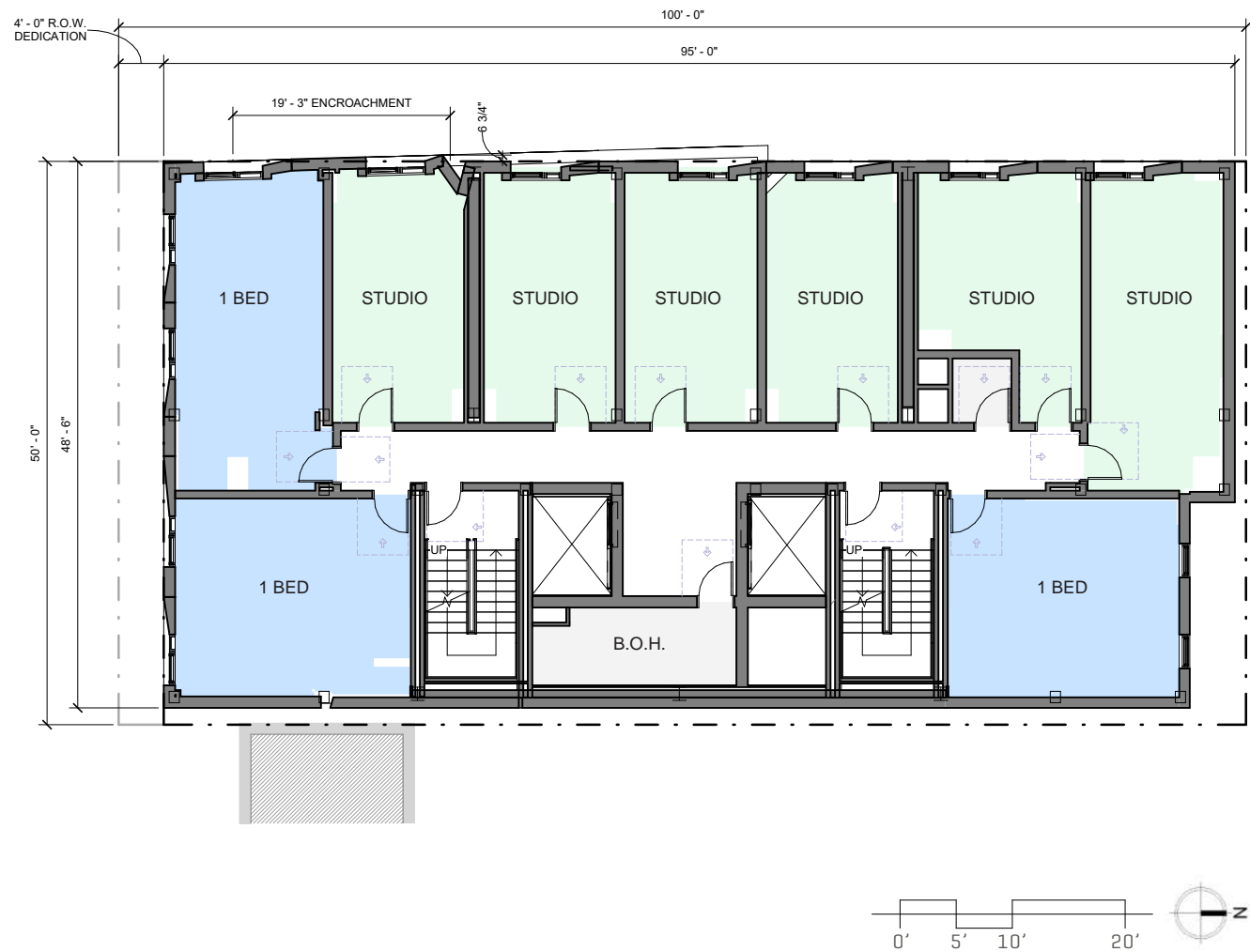
BUILDING [59,890 GSF]  
LEVELS 02-05 [4,568 GSF]  
1 BED - 3 UNITS  
STUDIO - 6 UNITS  
B.O.H. - 532 SF  
CIRC - 929 SF





# LEVELS 06-11 FLOOR PLAN

BUILDING [59,890 GSF]  
LEVELS 06-11 [4,538 GSF]  
1 BED - 3 UNITS  
STUDIO - 6 UNITS  
B.O.H. - 532 SF  
CIRC - 929 SF



# LEVEL 12 FLOOR PLAN

BUILDING [59,890 GSF]

LEVELS 12 [3,550 GSF]

PATIO - 550 SF

MEETING AREA - 734 SF

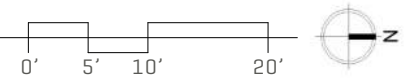
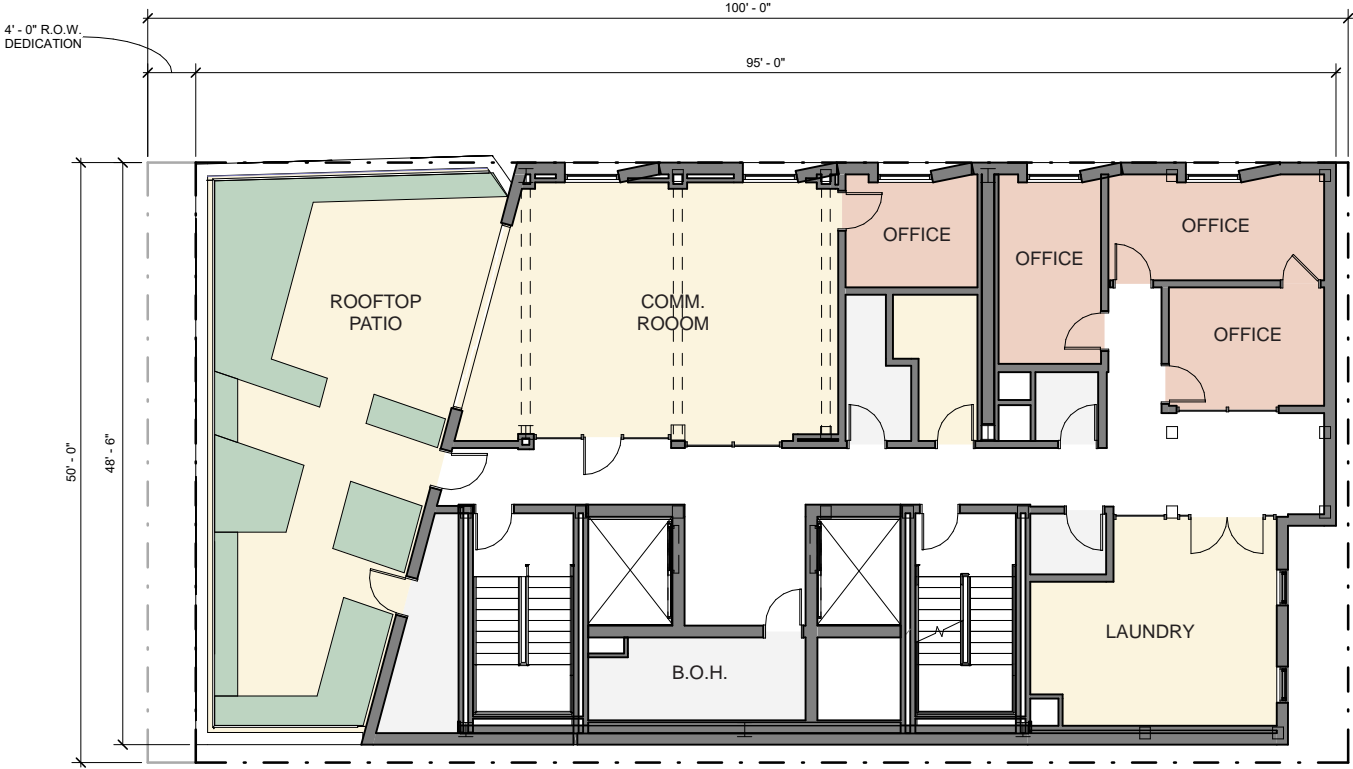
OFFICE- 293 SF

LAUNDRY - 389 SF

RESTRROOMS- 139 SF

B.O.H. - 285 SF

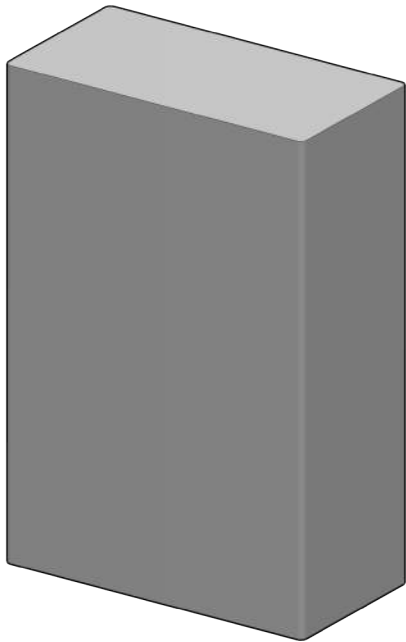
CIRC - 853 SF



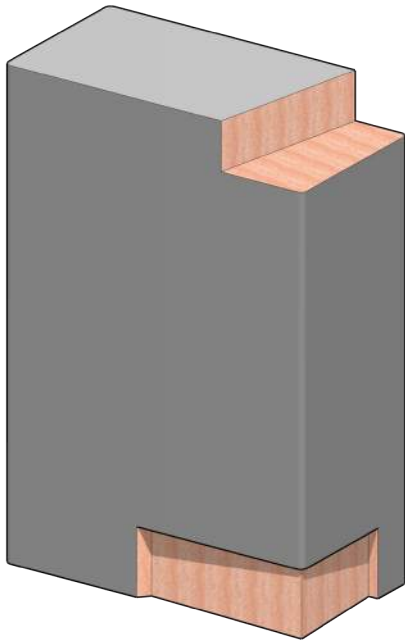
PROJECT IMAGES  
DESIGN INSPIRATION



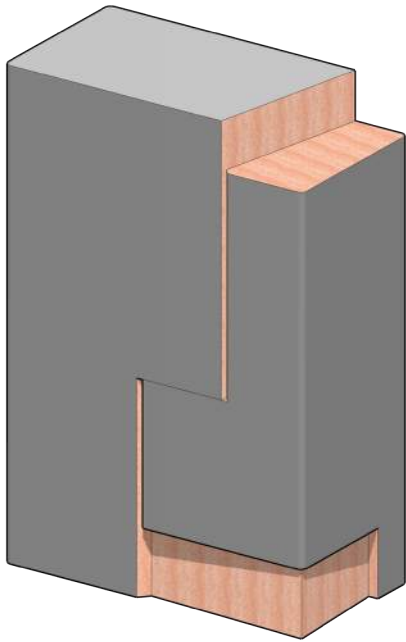




SIMPLE EXTRUSION



MASSING ERODES  
AT GATHERING SPACES



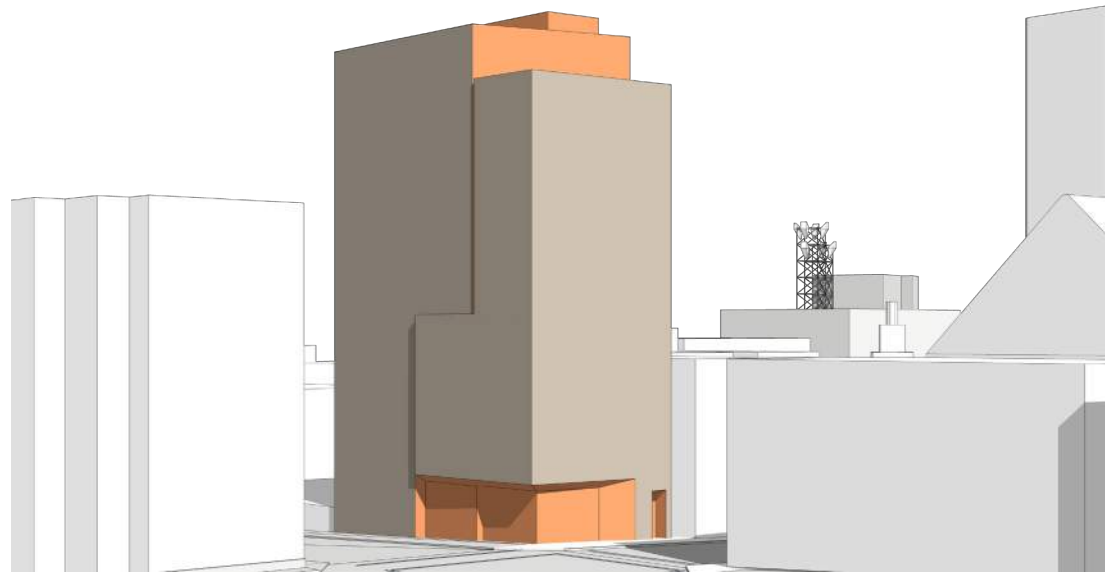
CRACKS FORM  
CONNECTING THESE SPACES

# PROJECT IMAGES

## MASSING CONCEPT



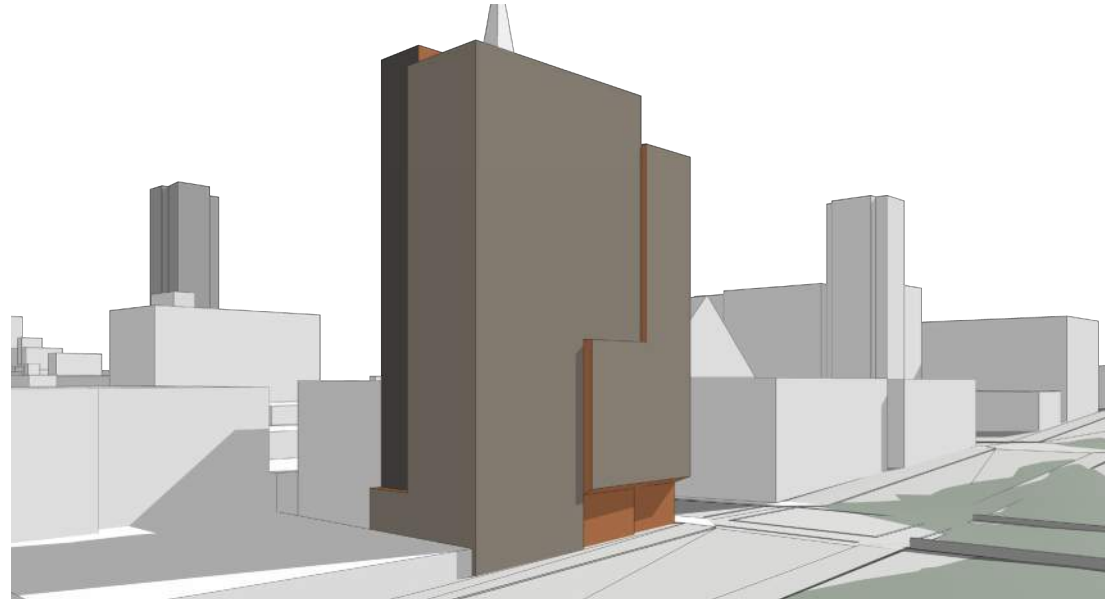
Proposed building aerial massing viewed from SW



Proposed building massing viewed from SW looking NE



Proposed building aerial massing viewed from NW



Proposed building massing viewed from NW looking SE

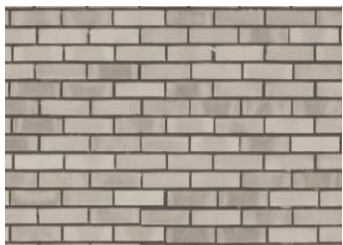
MATERIAL CONCEPT



1. VINYL WINDOWS



2. FLAT PANEL METAL SIDING



3. THIN BRICK VENEER





MATERIAL CONCEPT  
PEDESTRIAN GROUND FLOOR





# ALTERNATE MATERIAL CONCEPT

The design team is carrying an alternate material concept due to the the current market cost for thin brick and it's potential impact to the overall project budget. The goal is to use metal panel in a way that does not negatively impact the design concept and adds to the quality of the neighborhood.



Preferred material concept - thin brick and metal panel



Alternate material concept - metal panel

ALTERNATE MATERIAL CONCEPT



1. VINYL WINDOWS



2. FLAT PANEL METAL SIDING



3. FLAT PANEL METAL SIDING



4. CHEVRON PROFILE METAL SIDING





ALTERNATE MATERIAL CONCEPT  
PEDESTRIAN GROUND FLOOR



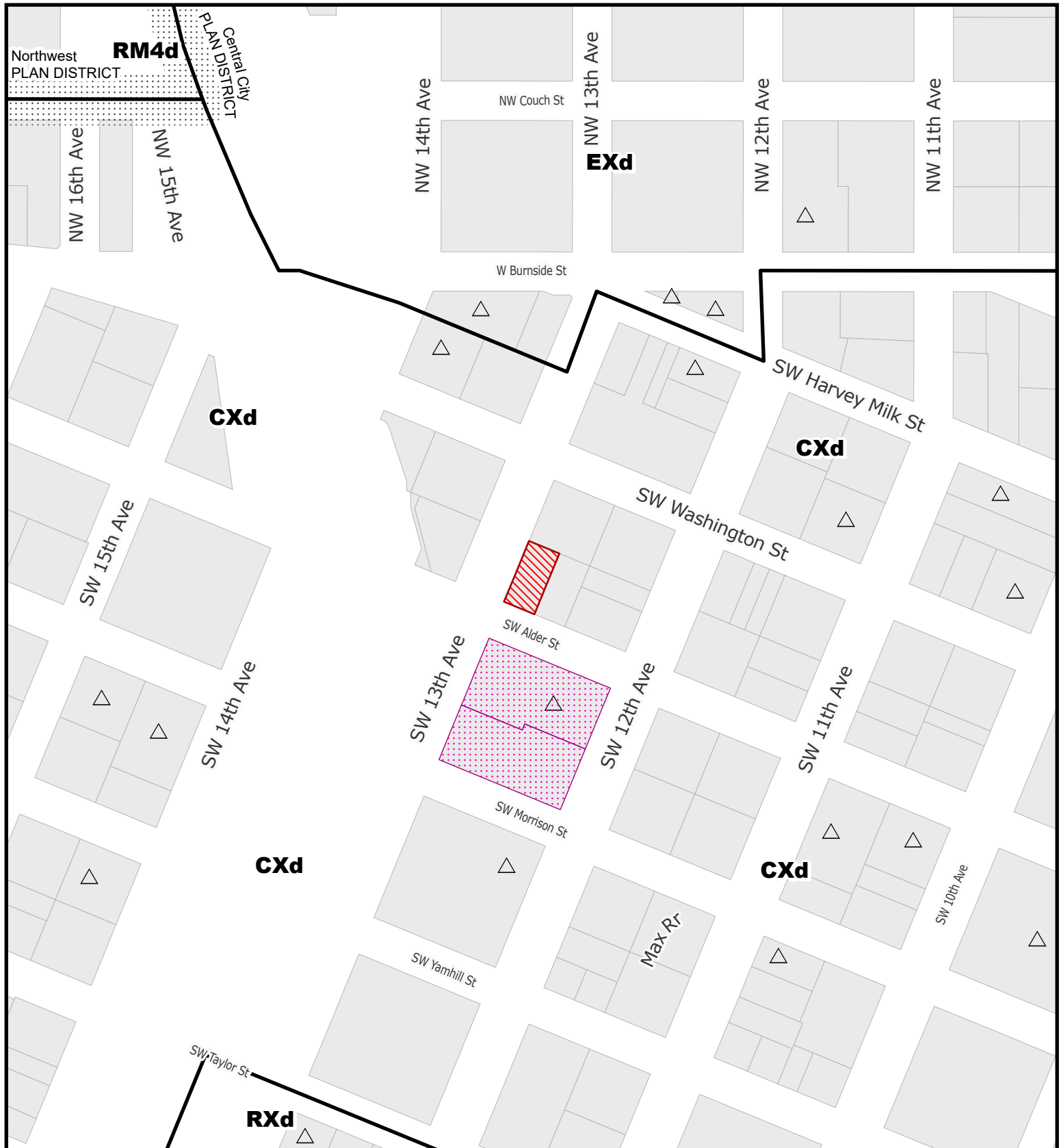
MAIN ENTRY

BUILT-IN  
SEATING


PAVING CONT.  
TO BLDG





H O L S T

THANK YOU



For Zoning Code in Effect Post October 1, 2022

**ZONING**   
 THIS SITE LIES WITHIN THE:  
 CENTRAL CITY PLAN DISTRICT  
 WEST END SUB DISTRICT

-  Site
-  Also Owned Parcels
-  Plan District
-  Historic Landmark

File No.	<u>EA 22 - 208807 DA</u>
1/4 Section	<u>3028</u>
Scale	<u>1 inch = 200 feet</u>
State ID	<u>1N1E33DD 3300</u>
Exhibit	<u>B</u>



H O L S T

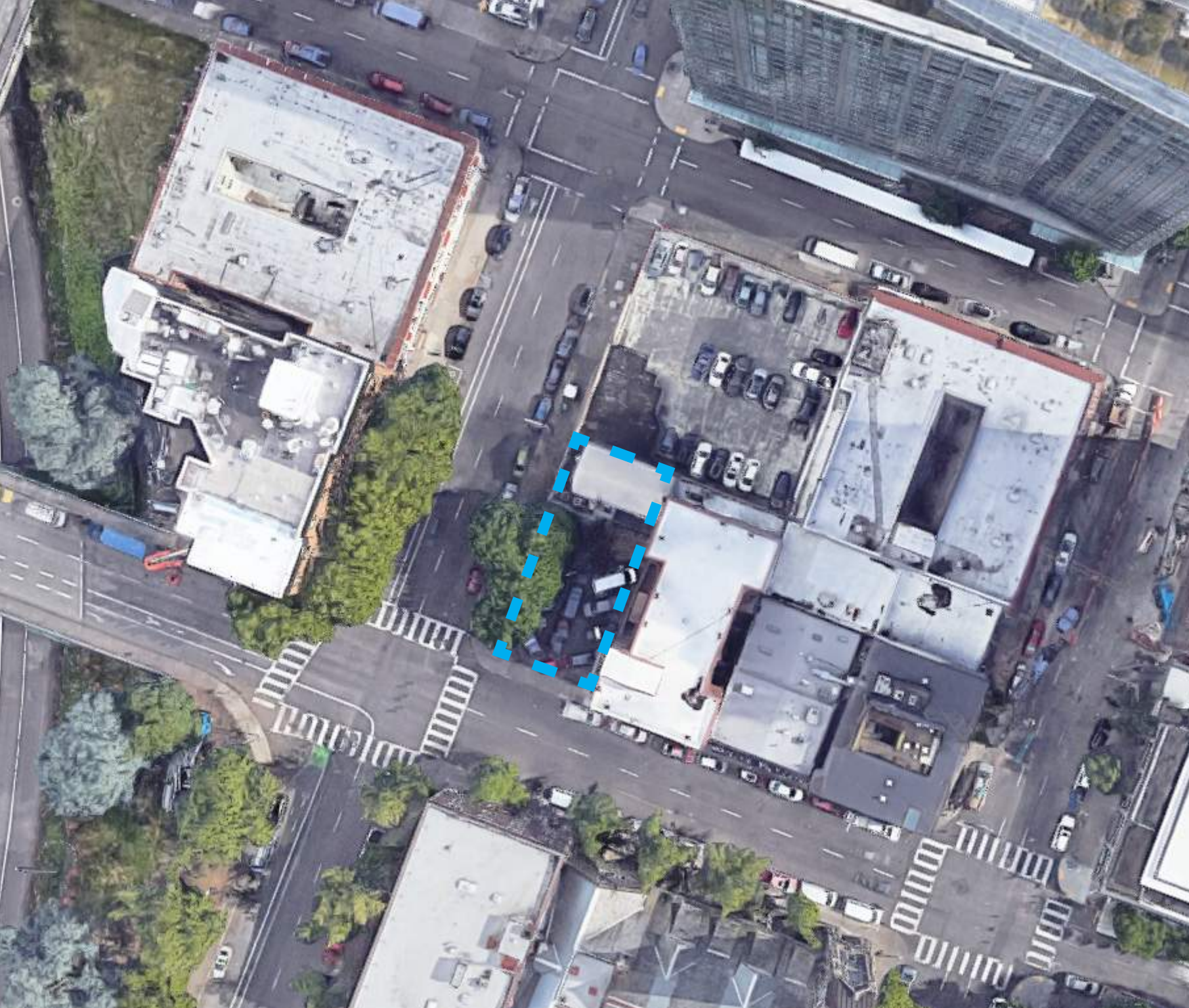
19 January 2023

COMMUNITY DEVELOPMENT  
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Julia West Apartments

PORTLAND, OR

*Design Package*



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## TEAM INFO

### APPLICANT

HOLST ARCHITECTURE  
123 NE 3rd Ave Suite 310, Portland, OR 97232  
[503] 233-9856  
Contact: Maggie Harris  
mharris@holstarc.com

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1131 SE OAK ST

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BONUS FAR: 8:1 (15:1 TOTAL)

MAX HEIGHT: 150 FT

BONUS HEIGHT: 150 FT [325 FT TOTAL]

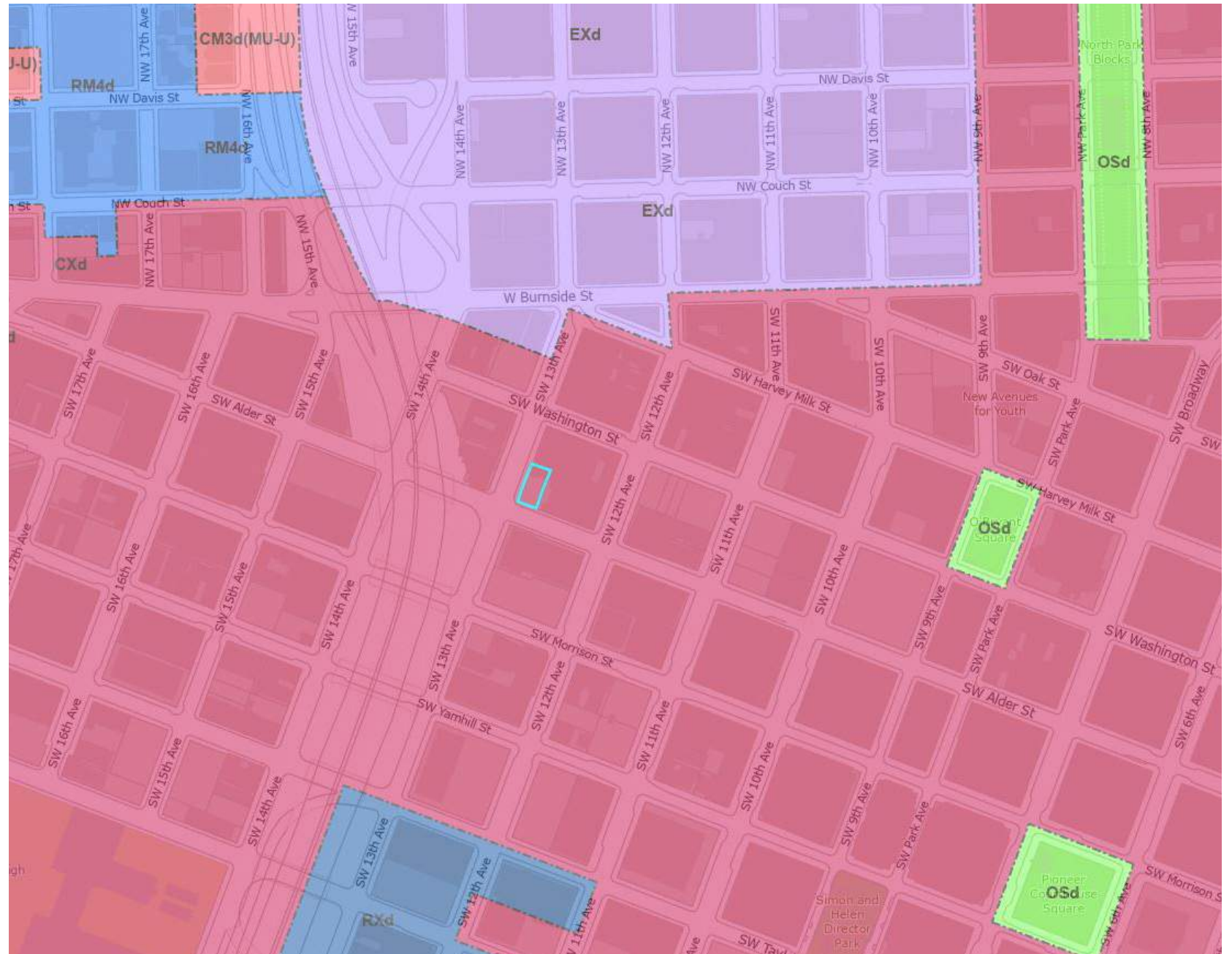
BLDG SETBACKS: NONE

MAX BUILDING SITE COVERAGE: 100%

MIN LANDSCAPED SITE AREA: NONE

MIN/MAX PARKING: HOUSEHOLD LIVING: NO MIN.  
[33.266.110.D.1.A.1]

GROUND FLOOR WINDOW STANDARDS APPLY



# URBAN CONTEXT

PEDESTRIAN, TRANSIT, AND VEHICLE SITE ACCESS

**MULTI-MODAL CIRCULATION**

- BUS LINE 15, 63, 51
- MAX LINE RED AND BLUE
- PORTLAND STREET CAR A & B LOOP

**PEDESTRIAN & VEHICLE ACCESS POINTS**

- PEDESTRIAN ACCESS ON SW ALDER & SW 13TH AVE
- VEHICLE ACCESS: SW ALDER AND SW 13TH AVE
- BICYCLE ACCESS : DEDICATED BIKE LANE ON SW 13TH AVE





# URBAN CONTEXT

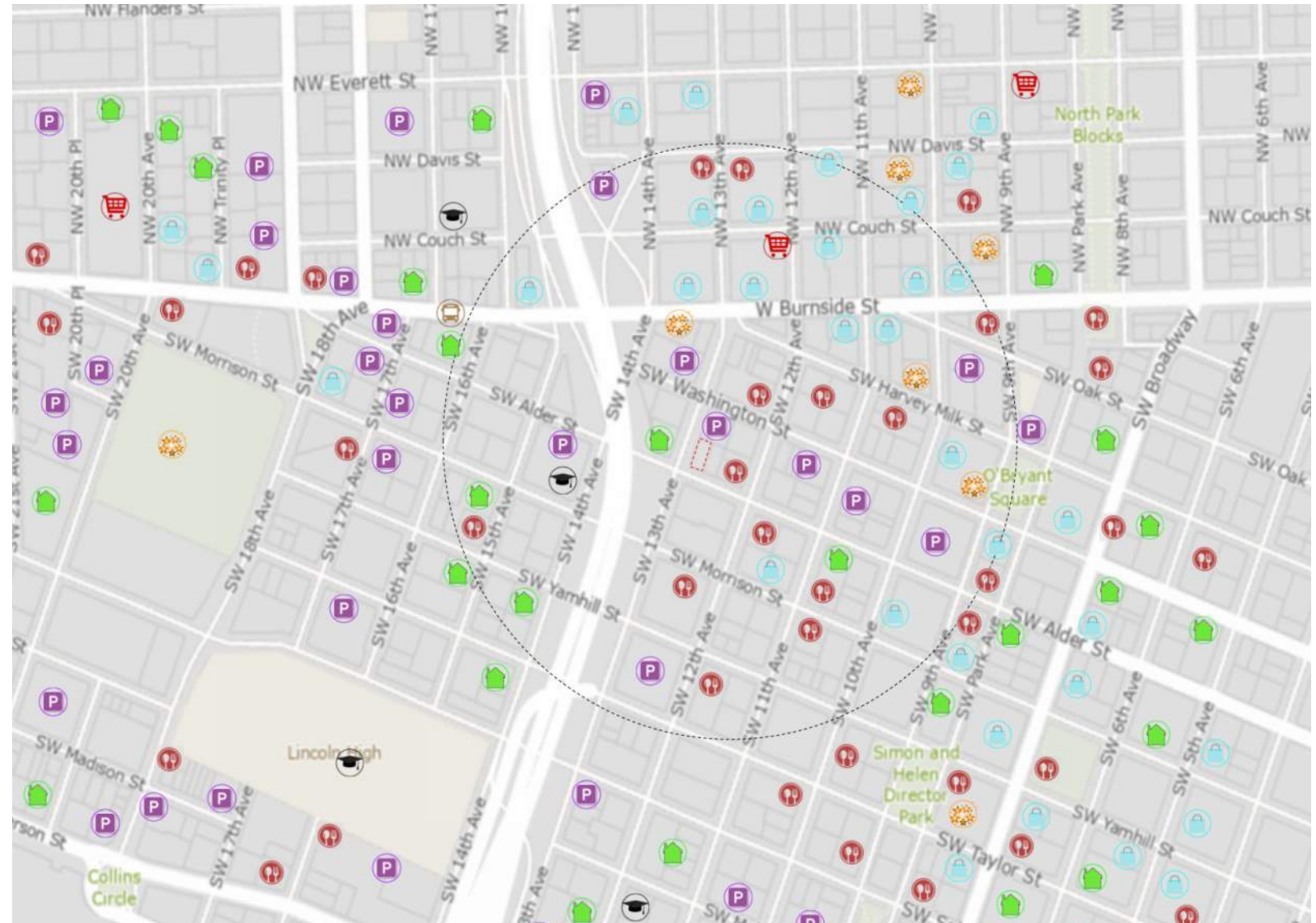
## PUBLIC AMENITIES & OPEN SPACE

### PUBLIC AMENITIES

- GROCERIES: FRED MEYER, WHOLE FOODS, TRADER JOE'S
- HEALTHCARE: WHOLE SYSTEMS HEALTHCARE, PORTLAND MENTAL HEALTH & WELLNESS, QUALITY HEALTH SOLUTIONS
- SHOPPING: BUFFALO EXCHANGE, SCRAP, PATAGONIA, VANS, POWELL'S CITY OF BOOKS
- DOWNTOWN COMMUNITY
- PUBLIC SCHOOLS: LINCOLN HIGH SCHOOL
- ENTERTAINMENT: PROVIDENCE PARK, CRYSTAL BALLROOM, LIVING ROOM THEATER, OREGON SYMPHONY

### OPEN SPACE

- O'BRYANT SQUARE - 154 FT FROM SITE
- SIMON AND HELEN DIRECTOR PARK - 0.33 MILES FROM SITE
- NORTH PARK BLOCKS - 0.39 MILES FROM SITE
- PIONEER COURTHOUSE SQUARE - 0.41 MILES FROM SITE
- SOUTH PARK BLOCKS - 0.42 MILES FROM SITE



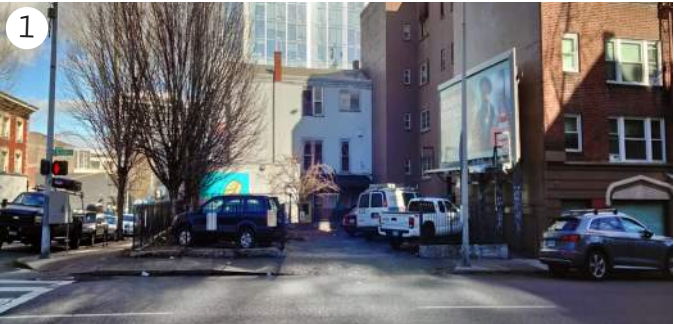


# SITE CONTEXT

## EXISTING CONDITIONS

### EXISTING CONDITIONS PLAN

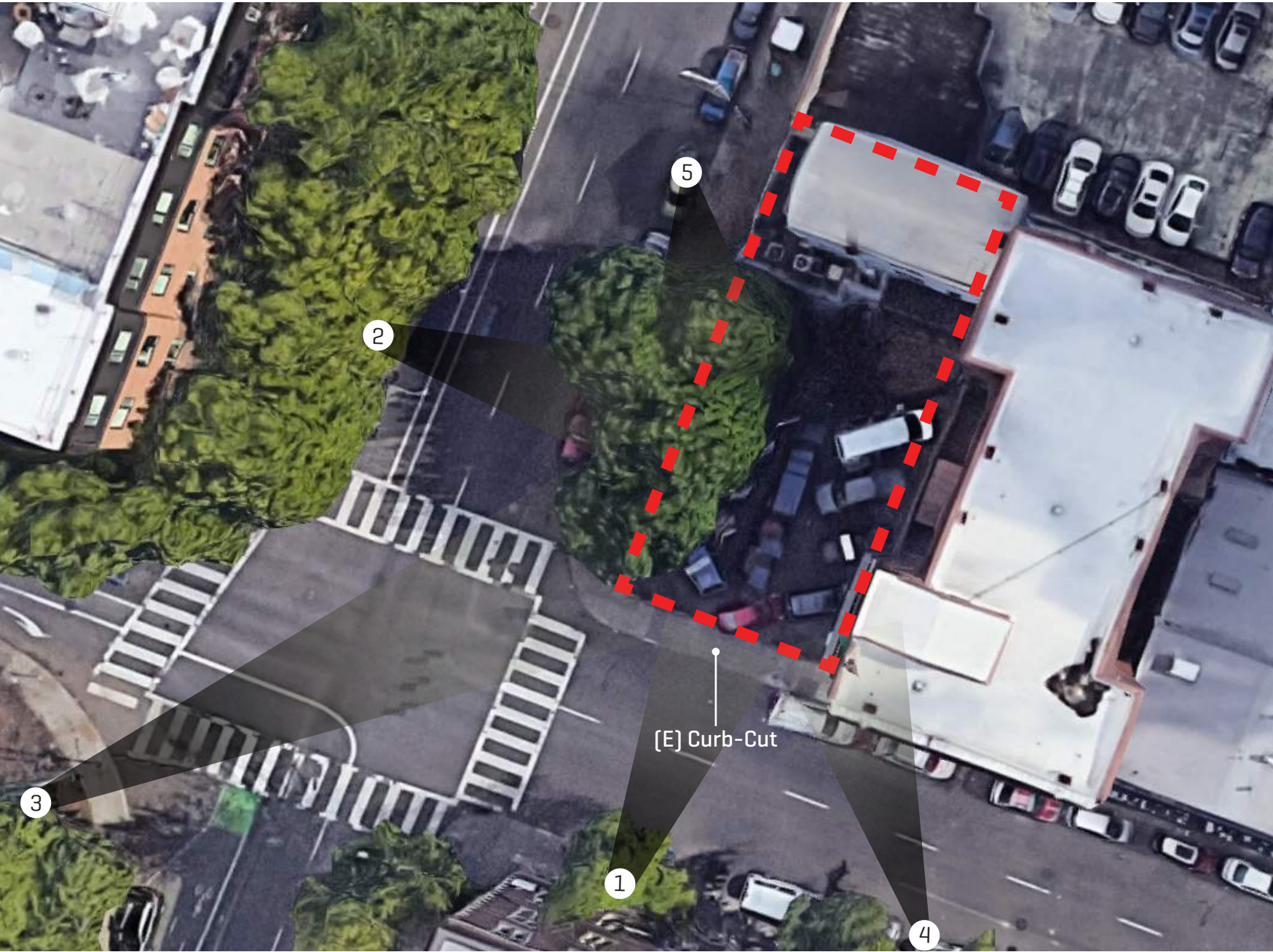
- THREE STORY BUILDING LOCATED ON NORTH OF SITE TO BE DEMOLISHED.
- EXISTING PARKING LOT TO BE DEMOLISHED.
- ONE CURB-CUT ON THE SOUTH SIDEWALK OF THE SITE TO BE DEMOLISHED.
- FOUR EXISTING TREES ON SITE TO BE REMOVED. EXISTING TREE IN R.O.W. TO REMAIN.



View 1: Site from South looking North



View 2: Site from Northwest looking Southeast.





# SITE CONTEXT

## SITE & VICINITY PHOTOS



Aerial view from NW looking SE



View 3: Site from opposite corner



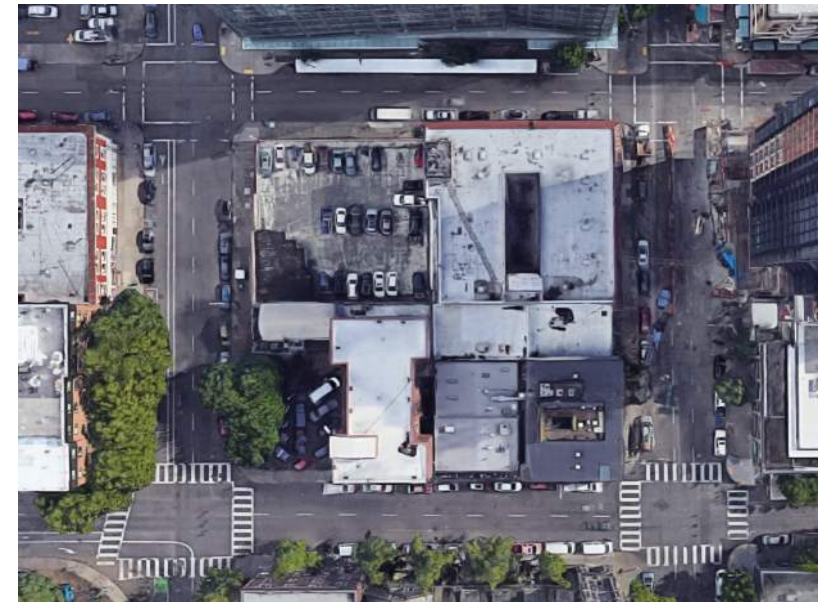
View 4: Site from SE corner



Aerial view from NE looking SW



View 5: Site from NW corner



View of complete block



# SITE CONTEXT

## UTILITIES

### GARBAGE & RECYCLING

Heiberg Garbage Services  
Phone: 503-794-8212  
Collection day: Tuesday

### SEWER & ENVIRONMENTAL

Bureau of Environmental Services  
Phone: 503-823-7740  
1120 SW 5th Ave. #613, Portland, OR 97204  
Watershed: Willamette River  
Clean River Rewards eligible

### WATER

Portland Water Bureau  
Phone: 503-823-7770  
1120 SW 5th Ave. #405, Portland, OR 97204

### POWER

Pacific Power [PacifiCorp]  
Phone: 888-221-7070

### GAS

NW Natural  
Phone: 800-422-4012



SITE CONTEXT  
SITE CONSTRAINTS

CONSTRAINTS & OPPORTUNITIES

- CENTRAL COMMERCIAL ZONING W/ DESIGN OVERLAY.
- CENTRAL CITY PLAN DISTRICT
- 1232 SW WASHINGTON STREET PARKING TO THE NORTH
- I-405 FREEWAY WEST OF SITE
- 1/8TH BLOCK LOT
- 4' ROW DEDICATION ON ALDER ST
- 6" ROW DEDICATION ON 13TH AVE



# CONCEPT DESIGN



# PROPOSED SITE PLAN

522 SW 13TH STREET

## ANTICIPATED MODIFICATIONS/ADJUSTMENTS: 3

This proposal includes projecting windows into the public right-of-way, shown with a dashed line on the site plan. This is to provide a break in the massing without affecting the size of the units on an otherwise constrained site. Below is listed which of the City of Portland's requirements for window projections into the public right-of-way [OSSC/32/#1] are being met and which will need a modification/adjustment.

A. Projection. Maximum projection of 4 feet into the right-of-way including trim, eaves and ornament.

### Proposal meets, max projection is 1'-6"

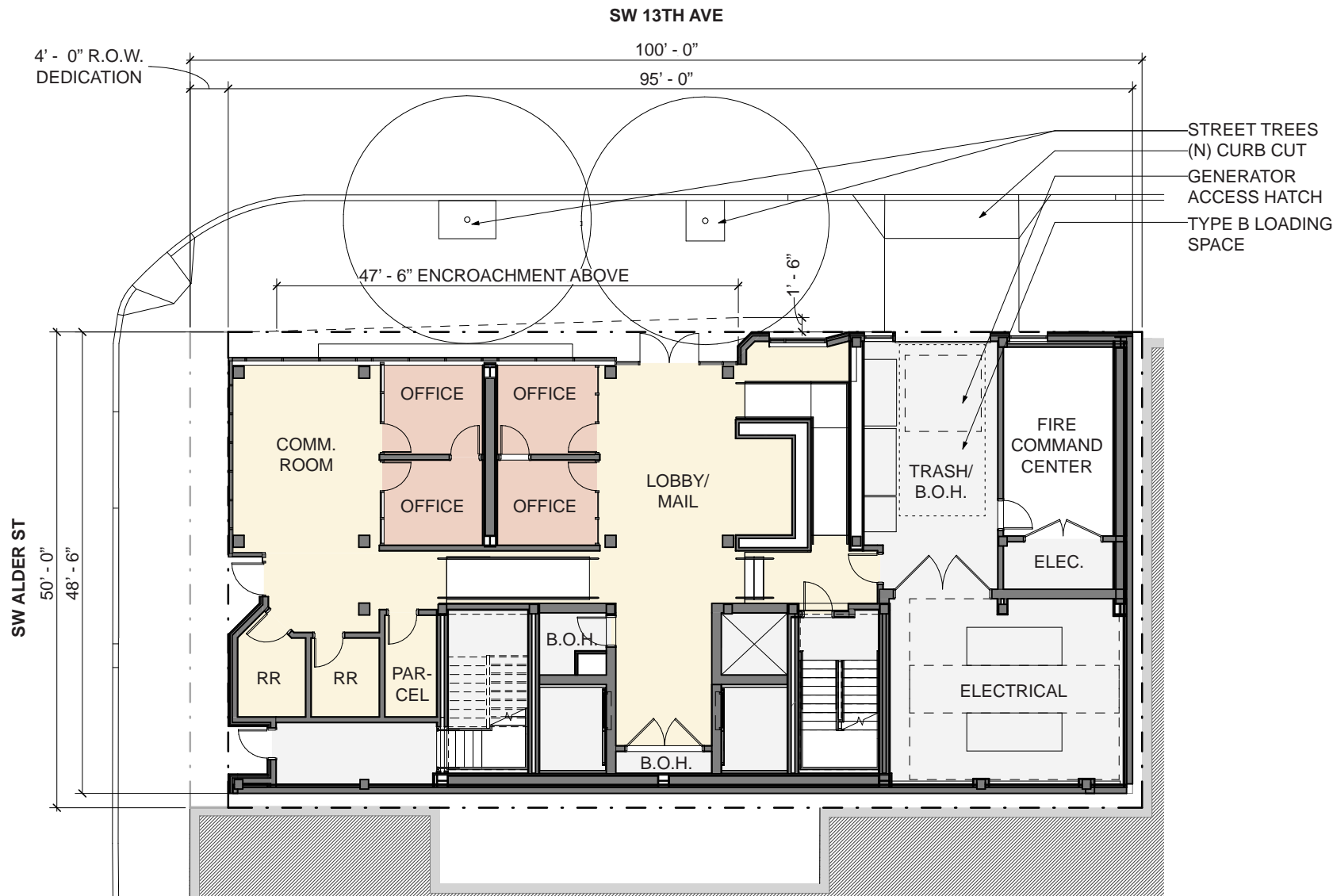
B. Clearance. Clearance above grade as defined in Chapter 32, Section 3202.3.2 of the current Oregon Structural Specialty Code. [The 2004 edition of the Oregon Structural Specialty Code states that no projection is allowed for clearances less than 8 feet above grade. For clearances above grade greater than 8 feet, 1 inch of projection is allowed for each additional inch of clearance, provided that no such projection shall exceed a distance of 4 feet.]

### Proposal meets, clearance above grade is 15' - 2"

C. Area. Maximum wall area of all windows which project into public right-of-way on a wall is 40% of the wall's area.

### Proposal meets, projection is 29% of the wall's area

Continued on next page...



D. Wall Length. Maximum width of any single window which projects into public right-of-way is 50% of its building wall length.

**Poposal meets, max width of projection is 47'-6"**

E. Window Area. Minimum of 30% window area at the face of the projecting window element. Projections greater than 2 feet 6 inches must have windows at all sides. Required side windows must be a minimum of 10% of side walls.

**#1 Modificaion/adjustment anticipated. Proposed window area is 26% at the face of the projecting window element.**

F. Width. Maximum width of 12 feet for each projecting window element. When approved through Design Review, the width may vary provided the area of all windows on a wall which project into public right of way does not exceed 40% of the wall's area and the width of any single projecting window element does not exceed 50% of its building wall's length.

**#2 Modificaion/adjustment anticipated**

G. Separation. Minimum separation of 12 feet measured from other projecting window elements on the same elevation or plane of wall. When approved through Design Review, required separation may vary provided the area of all projecting window elements on a wall does not exceed 40% of the wall's area and the width of any single projecting window element over the right-of-way does not exceed 50% of its building wall's length.

**#3 Modificaion/adjustment anticipated**

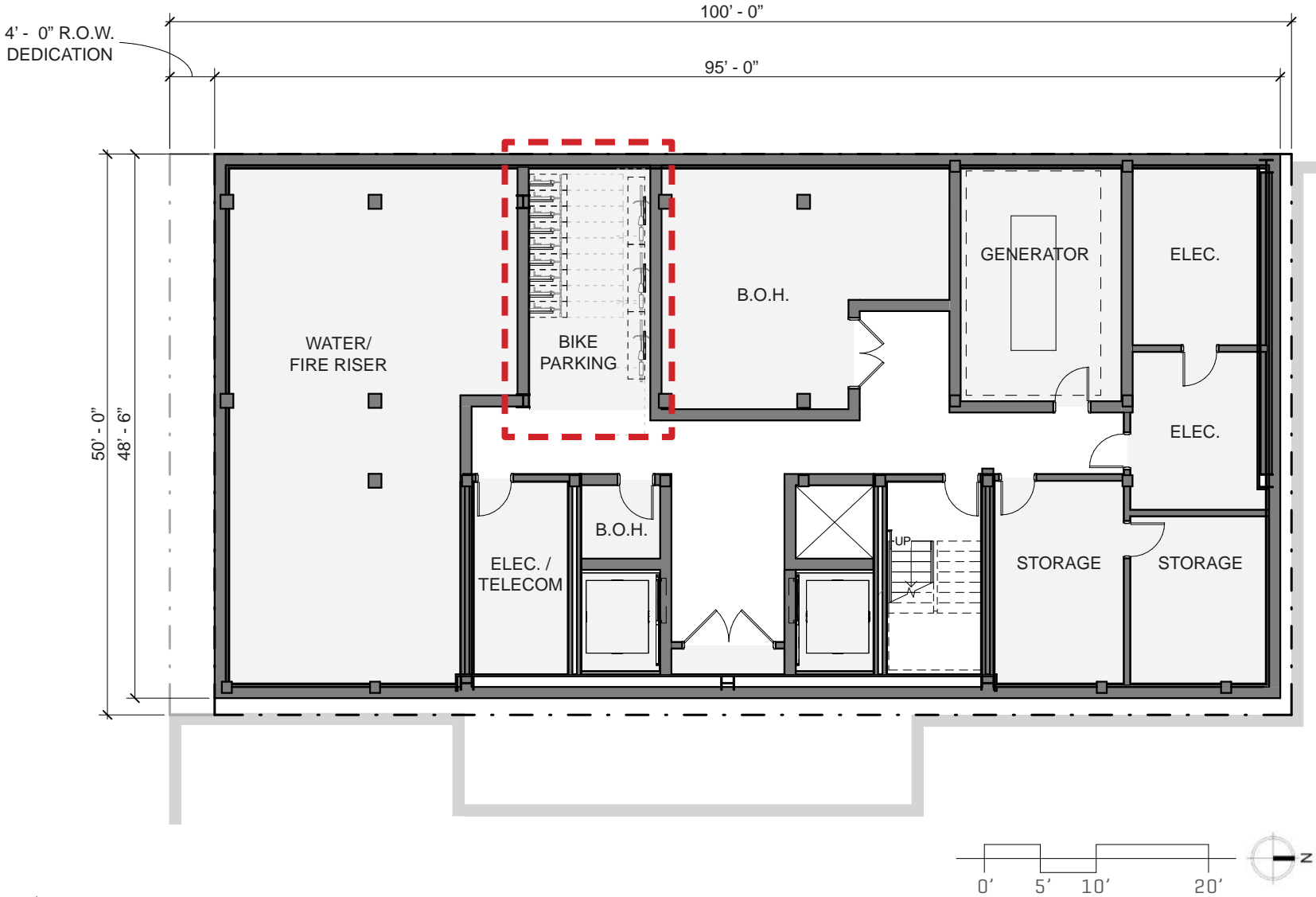


# BIKE PARKING

The building owner is willing to execute a covenant that restricts the building as an “Elderly and Disabled Housing,” reducing the count to 1 space per 8 units per table 266-6 in Title 33.266.200.

Total bike count is 12 spaces located in the basement level. This includes 9 vertical racks and 3 horizontal parking spaces.

Additionally, the design team is planning on paying into the bicylce parking fund per 33.266.210.E.b in order to keep clear the “stopping zone” along the 13th Ave ground floor frontage. See ground floor plan on page 15.



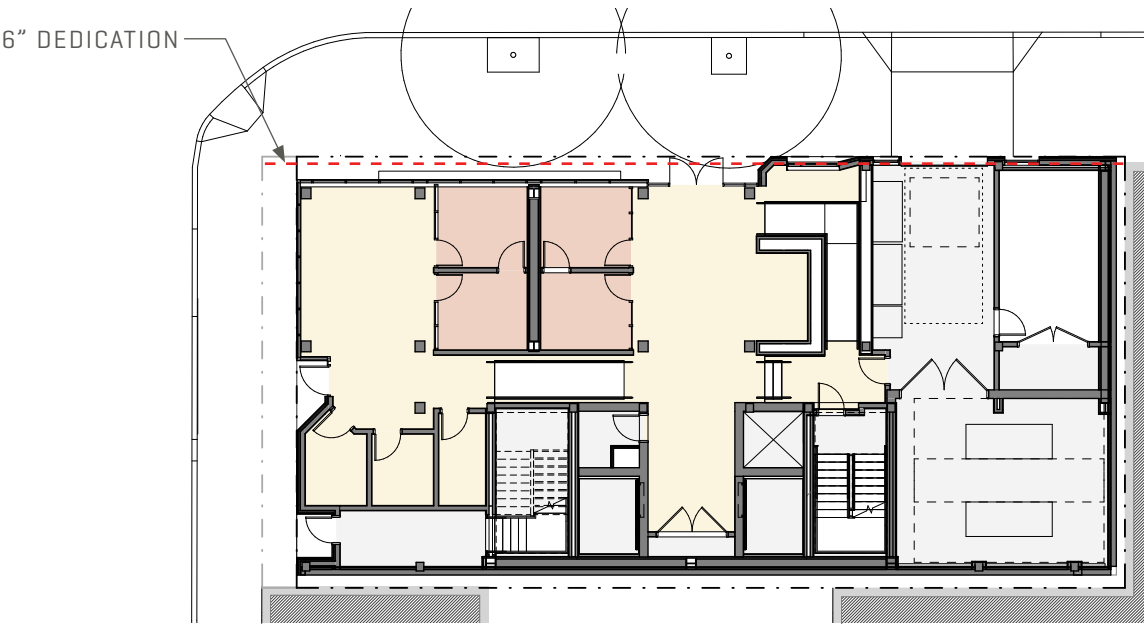


# PUBLIC WORKS ALTERNATIVE REVIEW

The design team plans to submit a Public Works Alternative to maintain the existing 14' - 6" ROW along 13th Avenue rather than reconstruct this frontage to the recommended city standard of 15' - 0". Forgoing this 6" dedication would help maximize the square footage and number of units in the project.

As designed, many efficiency dwelling units in the project are under the required 190 net square feet required by code, however, an appeal has been granted [#28228] to allow a minimum required area of 140 net square feet to be used. If the 6" dedication is required along 13th Avenue, 10 units would fail to meet the required minimum size and need to be removed from the project.

The design team feels the pedestrian experience would not be inhibited by reconstructing the ROW at 14' - 6" instead of the recommended city standard of 15' - 0" because more than 50% of the building's facade along 13th Avenue steps back 3' - 0" at the ground floor with paving up to the building's ground floor glazing, increasing the perceived width of the sidewalk in this area. This area would be used as a "stopping zone" and furnished with built-in seating.



LEVEL 01 FLOOR PLAN



TYPICAL UPPER FLOOR PLAN

# BASEMENT FLOOR PLAN

BUILDING [59,890 GSF]

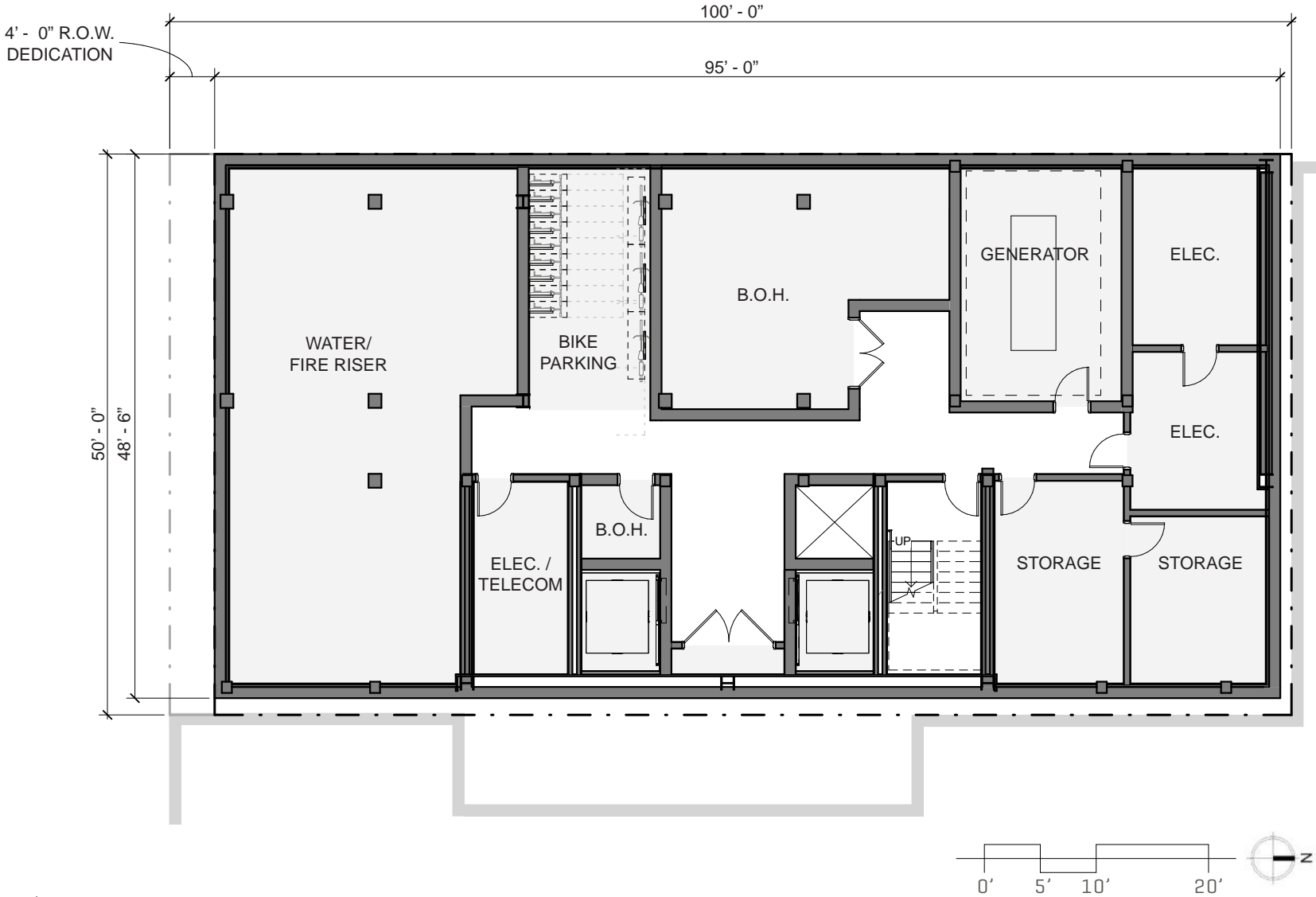
BASEMENT [4,607 GSF]

STORAGE - 493 SF

BIKE PARKING - 1,235 SF

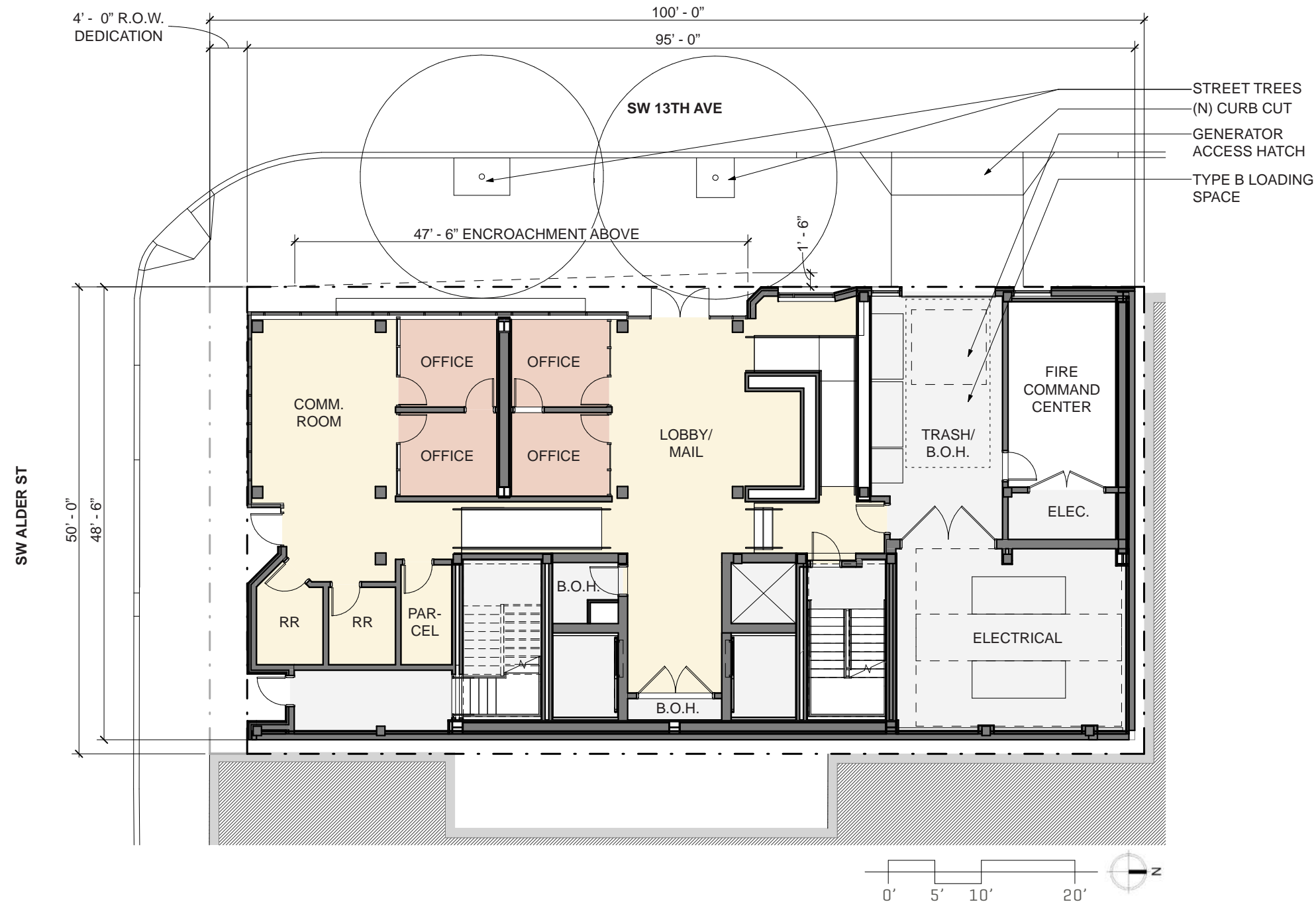
B.O.H. - 1,290 SF

CIRC - 460 SF



# LEVEL 01 FLOOR PLAN

BUILDING [59,890 GSF]  
LEVEL 01 [4,428 GSF]  
LOBBY - 968 SF  
OFFICE - 470 SF  
COMMUNITY ROOM - 310 SF  
RESTRROOMS - 115 SF  
B.O.H. - 1,168 SF  
CIRC - 495 SF





# LEVELS 02-05 FLOOR PLAN

BUILDING [59,890 GSF]  
LEVELS 02-05 [4,568 GSF]  
1 BED - 3 UNITS  
STUDIO - 6 UNITS  
B.O.H. - 532 SF  
CIRC - 929 SF



# LEVELS 06-11 FLOOR PLAN

BUILDING [59,890 GSF]  
LEVELS 06-11 [4,538 GSF]

1 BED - 3 UNITS  
STUDIO - 6 UNITS  
B.O.H. - 532 SF  
CIRC - 929 SF



# LEVEL 12 FLOOR PLAN

BUILDING [59,890 GSF]

LEVELS 12 [3,550 GSF]

PATIO - 550 SF

MEETING AREA - 734 SF

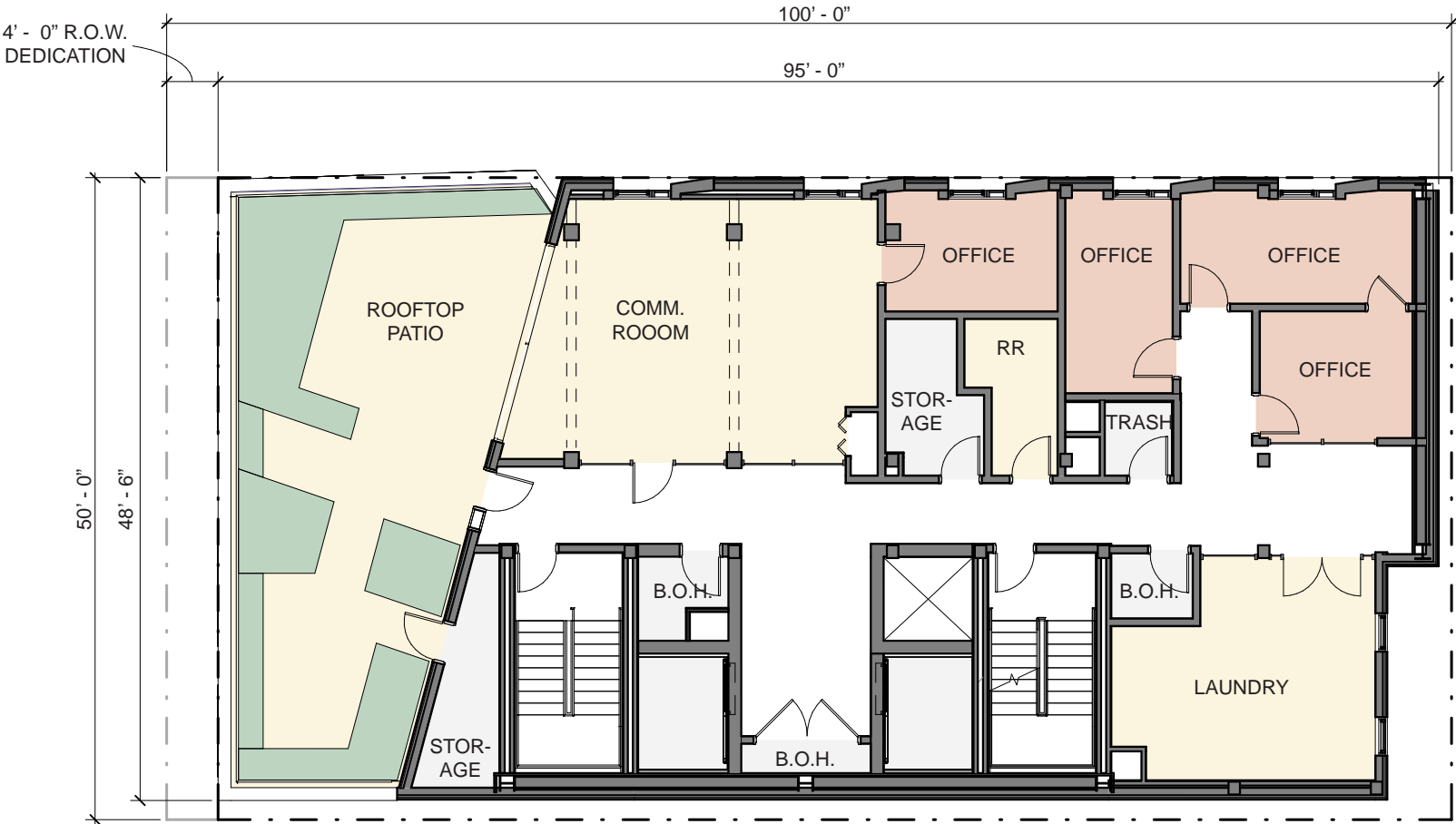
OFFICE- 293 SF

LAUNDRY - 389 SF

RESTRROOMS- 139 SF

B.O.H. - 285 SF

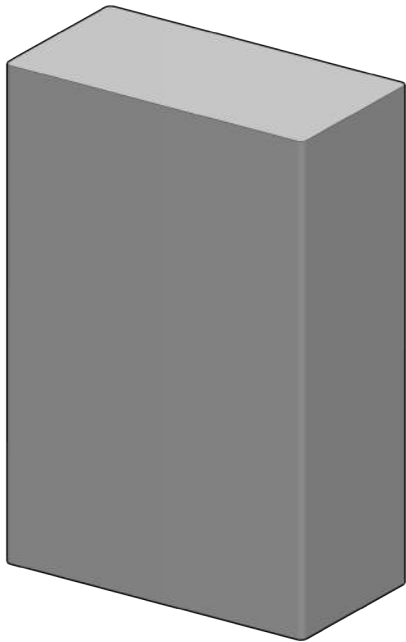
CIRC - 853 SF



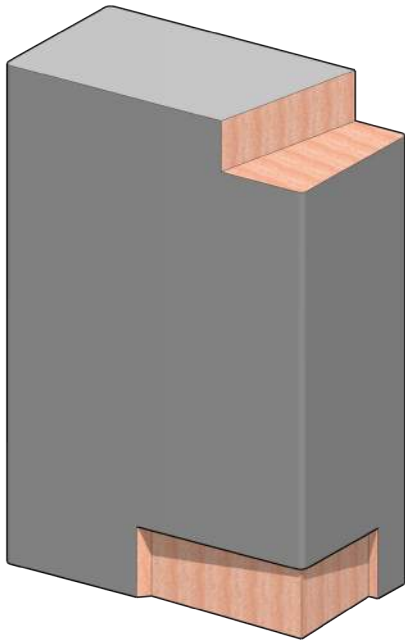


PROJECT IMAGES  
DESIGN INSPIRATION

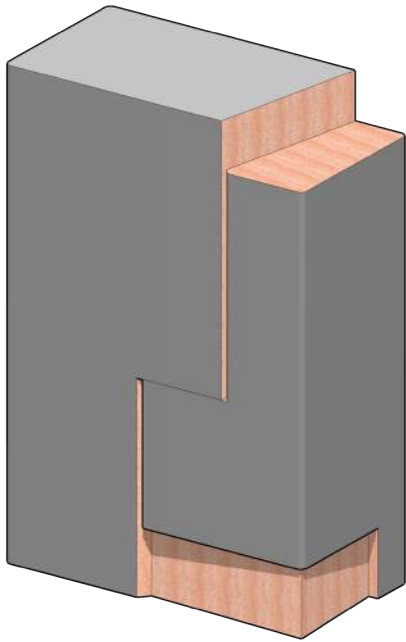




SIMPLE EXTRUSION



MASSING ERODES  
AT GATHERING SPACES



CRACKS FORM  
CONNECTING THESE SPACES

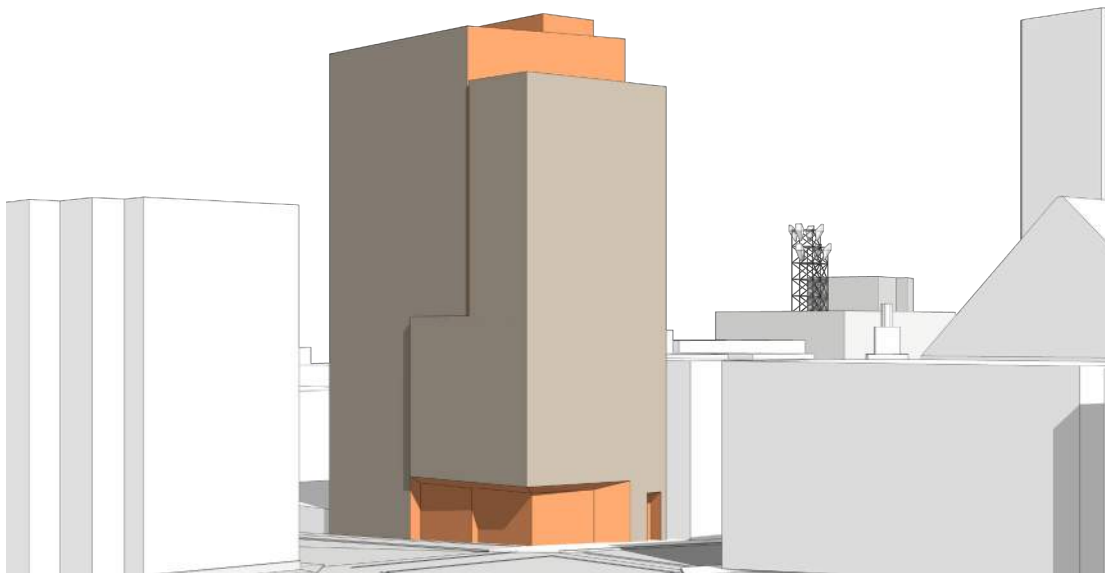
PROJECT IMAGES  
MASSING CONCEPT



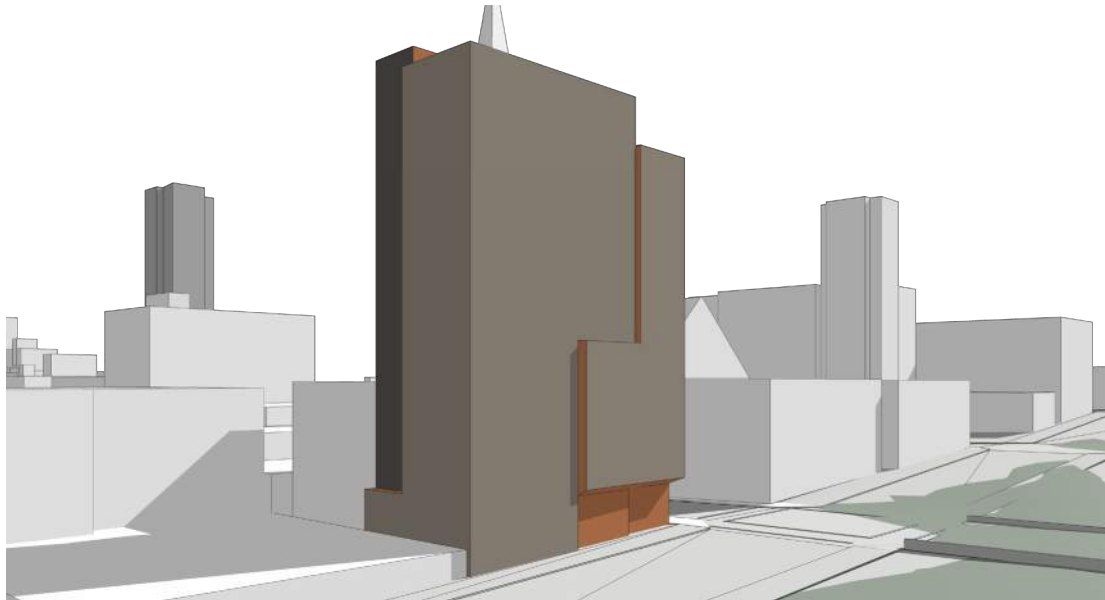
Proposed building aerial massing viewed from SW



Proposed building aerial massing viewed from NW



Proposed building massing viewed from SW looking NE



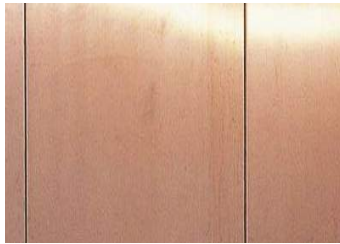
Proposed building massing viewed from NW looking SE



MATERIAL CONCEPT



1. VINYL WINDOWS



2. FLAT PANEL METAL SIDING



3. THIN BRICK VENEER





MATERIAL CONCEPT  
SURROUNDING CONTEXT



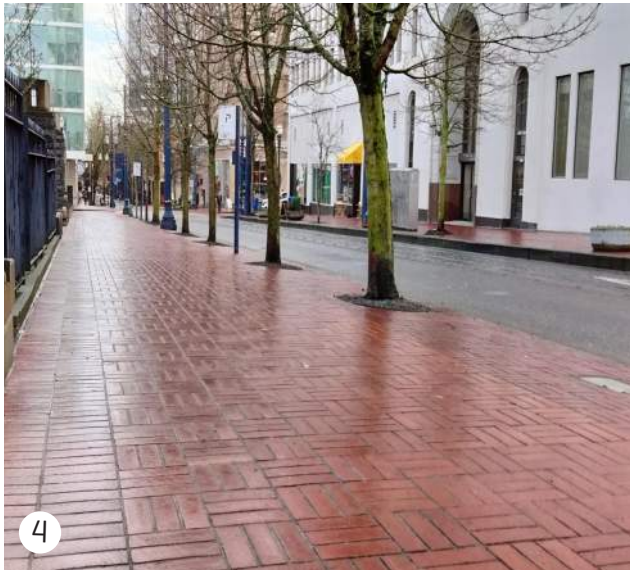
ALDER HOUSE



WASHINGTON PLAZA



THE TWELVE 25 ALDER



MORRISON STREET



FIRST PRESBYTERIAN CHURCH



MATERIAL CONCEPT  
PEDESTRIAN GROUND FLOOR





# ALTERNATE MATERIAL CONCEPT

The design team is carrying an alternate material concept due to the the current market cost for thin brick and it's potential impact on the overall budget. If the team decides to pursue metal panel, the goal would be to use it in a way that does not negatively impact the design concept and adds to the quality of the neighborhood.



Preferred material concept - thin brick veneer and metal panel



Alternate material concept - all metal panel

ALTERNATE MATERIAL CONCEPT



1. VINYL WINDOWS



2. FLAT PANEL METAL SIDING



3. FLAT PANEL METAL SIDING



4. CHEVRON PROFILE METAL SIDING





ALTERNATE MATERIAL CONCEPT  
SURROUNDING CONTEXT



HYATT CENTRIC



11 WEST RESIDENCES



12TH MORRISON



THE RITZ CARLTON



ALTERNATE MATERIAL CONCEPT  
PEDESTRIAN GROUND FLOOR



H O L S T

THANK YOU

	A	B	C	D	E	F
1	ENDORSEMENT	INFO1	INFO2	NAME	ADDRESS/IO ADDRESS	CITYSTATEZIP/ADDRESSEE
2	RETURN SERVICE REQUESTED			CODY DEVELOPMENT CORP	1116 NW 17TH AVE	PORTLAND OR 97209
3	RETURN SERVICE REQUESTED			BLACKBOX LLC	1125 SE DIVISION ST #209	PORTLAND OR 97202-2567
4	RETURN SERVICE REQUESTED			E FLAT LLC	1209 SW ALDER ST #A	PORTLAND OR 97205-2246
5	RETURN SERVICE REQUESTED			SIL CHAIM	1220 SW MORRISON ST RM 1115	PORTLAND OR 97205
6	RETURN SERVICE REQUESTED			RELIANT BEHAVIORAL HEALTH	1220 SW MORRISON ST STE 600	PORTLAND OR 97205-2225
7	RETURN SERVICE REQUESTED			ALDER HOUSE PORTLAND LP	126 NE ALBERTA ST #202	PORTLAND OR 97211-2665
8	RETURN SERVICE REQUESTED			HOME FORWARD(LEASED MULTI	135 SW ASH ST	PORTLAND OR 97204
9	RETURN SERVICE REQUESTED			ELDERS IN ACTION	1411 SW MORRISON ST STE 290	PORTLAND OR 97205
10	RETURN SERVICE REQUESTED			CAMP FIRE COLUMBIA	1411 SW MORRISON ST STE 300	PORTLAND OR 97205
11	RETURN SERVICE REQUESTED			PETERSON ROBERT J & MARTI	17515 NW 41ST AVE	RIDGEFIELD WA 98642-5960
12	RETURN SERVICE REQUESTED			A&M 1312 WASHINGTON OWNER	1840 CENTURY PK E STE 1900	LOS ANGELES CA 90067
13	RETURN SERVICE REQUESTED			DEURWAARDER DAN	200 SW MARKET ST STE 1600	PORTLAND OR 97201-1600
14	RETURN SERVICE REQUESTED			PACIFIC UNIVERSITY	2043 COLLEGE WAY	FOREST GROVE OR 97116
15	RETURN SERVICE REQUESTED			FLT WHITNEY FLTE LLC	2082 MICHELSON DR #400	IRVINE CA 92612
16	RETURN SERVICE REQUESTED			WESTON INVESTMENT CO LLC	2154 NE BROADWAY #200	PORTLAND OR 97232-1561
17	RETURN SERVICE REQUESTED			CASCADE PHYSICIANS PC	2222 NW LOVEJOY ST STE 505	PORTLAND OR 97210
18	RETURN SERVICE REQUESTED			1234 BUILDING LLC	2281 NW GLISAN ST #302	PORTLAND OR 97210-5720
19	RETURN SERVICE REQUESTED			FIRST PRESBYTERIAN CHURCH	245 S BANCROFT ST #D	PORTLAND OR 97239-4272
20	RETURN SERVICE REQUESTED			BACKSTRAND BARBARA MS	2922 NW THURMAN ST	PORTLAND OR 97210
21	RETURN SERVICE REQUESTED			KALBERER COMPANY	321 SW 4TH AVE #800	PORTLAND OR 97204-2330
22	RETURN SERVICE REQUESTED			601 PL HOTEL HOLDING LLC	3561 HOMESTEAD RD	SANTA CLARA CA 95051
23	RETURN SERVICE REQUESTED			TELEGRAM INVESTMENT LLC	409 SW 11TH AVE	PORTLAND OR 97205
24	RETURN SERVICE REQUESTED			SKYLAB ARCHITECTURE LLC	413 SW 13TH AVE STE 200	PORTLAND OR 97205
25	RETURN SERVICE REQUESTED			REACH TAFT LLC	4150 S MOODY AVE	PORTLAND OR 97239-4417
26	RETURN SERVICE REQUESTED			SINGER BEVERLY ALDER LLC	416 NW HERMOSA BLVD	PORTLAND OR 97210
27	RETURN SERVICE REQUESTED			COTILLION HALL LLC	430 N KILLINGSWORTH ST	PORTLAND OR 97217
28	RETURN SERVICE REQUESTED			OREGON HEALTH CARE QUALIT	520 SW 6TH AVE STE 830	PORTLAND OR 97204-1514
29	RETURN SERVICE REQUESTED			ALLIED FOREST PRODUCTS IN	532 SW 13TH ST STE 100	BEND OR 97702-3262
30	RETURN SERVICE REQUESTED			UNITED WAY OF THE COLUMBI	619 SW 11TH AVE #300	PORTLAND OR 97205-2646
31	RETURN SERVICE REQUESTED			OMNIMEDIX INSTITUTE	619 SW 11TH AVE STE 250	PORTLAND OR 97205
32	RETURN SERVICE REQUESTED			MORRISON DEVELOPMENT LLC	621 SW ALDER ST #800	PORTLAND OR 97205
33	RETURN SERVICE REQUESTED			LANA TRAYNOR LLC	6950 SW HAMPTON ST STE 336	TIGARD OR 97223-8332
34	RETURN SERVICE REQUESTED			GS INDIGO LLC	750 BERING DR #300	HOUSTON TX 77057-2132
35	RETURN SERVICE REQUESTED			CARLYLE PARTNERS LLC	838 SW 1ST AVE #210	PORTLAND OR 97204
36	RETURN SERVICE REQUESTED			KACHLIK-PRINCE OF WALES L	911 SW BROADWAY DR	PORTLAND OR 97201
37	RETURN SERVICE REQUESTED			AP&J CORP-95 & FRONT & P	920 SW 6TH AVE #223	PORTLAND OR 97204
38	RETURN SERVICE REQUESTED			RED SHIELD INSURANCE CO I	P O BOX 3736	SEATTLE WA 98124
39	RETURN SERVICE REQUESTED			VIRTUOUS INC	PO BOX 14931	PORTLAND OR 97293
40	RETURN SERVICE REQUESTED			DP ALDER HOUSE LLC	PO BOX 3007	PORTLAND OR 97208-3007
41	RETURN SERVICE REQUESTED			DLS INVESTMENTS INC	PO BOX 5668	PORTLAND OR 97228-5668
42				CURRENT RESIDENT	1218 SW WASHINGTON ST #206	PORTLAND OR 97205
43				CURRENT RESIDENT	1218 SW WASHINGTON ST #213	PORTLAND OR 97205
44				CURRENT RESIDENT	1218 SW WASHINGTON ST #309	PORTLAND OR 97205
45				CURRENT RESIDENT	1218 SW WASHINGTON ST #316	PORTLAND OR 97205
46				CURRENT RESIDENT	1218 SW WASHINGTON ST #405	PORTLAND OR 97205
47				CURRENT RESIDENT	1218 SW WASHINGTON ST #407	PORTLAND OR 97205
48				CURRENT RESIDENT	1218 SW WASHINGTON ST #416	PORTLAND OR 97205
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51				CURRENT RESIDENT	1218 SW WASHINGTON ST #512	PORTLAND OR 97205
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55				CURRENT RESIDENT	1225 SW ALDER ST #402	PORTLAND OR 97205
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60				CURRENT RESIDENT	1225 SW ALDER ST #A	PORTLAND OR 97205
61				CURRENT RESIDENT	522 SW 13TH AVE	PORTLAND OR 97205
62				CURRENT RESIDENT	523 SW 13TH AVE #215	PORTLAND OR 97205
63				CURRENT RESIDENT	523 SW 13TH AVE #216	PORTLAND OR 97205
64				CURRENT RESIDENT	523 SW 13TH AVE #315	PORTLAND OR 97205
65				CURRENT RESIDENT	523 SW 13TH AVE #416	PORTLAND OR 97205
66				CURRENT RESIDENT	1209 SW ALDER ST	PORTLAND OR 97205



	A	B	C	D	E	F
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132				CURRENT RESIDENT	1218 SW WASHINGTON ST #208	PORTLAND OR 97205

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139				CURRENT RESIDENT	1218 SW WASHINGTON ST #313	PORTLAND OR 97205
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144				CURRENT RESIDENT	1218 SW WASHINGTON ST #408	PORTLAND OR 97205
145				CURRENT RESIDENT	1218 SW WASHINGTON ST #412	PORTLAND OR 97205
146				CURRENT RESIDENT	1218 SW WASHINGTON ST #414	PORTLAND OR 97205
147				CURRENT RESIDENT	1218 SW WASHINGTON ST #501	PORTLAND OR 97205
148				CURRENT RESIDENT	1218 SW WASHINGTON ST #504	PORTLAND OR 97205
149				CURRENT RESIDENT	1218 SW WASHINGTON ST #505	PORTLAND OR 97205
150				CURRENT RESIDENT	1218 SW WASHINGTON ST #510	PORTLAND OR 97205
151				CURRENT RESIDENT	1218 SW WASHINGTON ST #511	PORTLAND OR 97205
152				CURRENT RESIDENT	1218 SW WASHINGTON ST #514	PORTLAND OR 97205
153				CURRENT RESIDENT	1218 SW WASHINGTON ST #519	PORTLAND OR 97205
154				CURRENT RESIDENT	1225 SW ALDER ST #202	PORTLAND OR 97205
155				CURRENT RESIDENT	1225 SW ALDER ST #207	PORTLAND OR 97205
156				CURRENT RESIDENT	1225 SW ALDER ST #210	PORTLAND OR 97205
157				CURRENT RESIDENT	1225 SW ALDER ST #305	PORTLAND OR 97205
158				CURRENT RESIDENT	1225 SW ALDER ST #306	PORTLAND OR 97205
159				CURRENT RESIDENT	1225 SW ALDER ST #310	PORTLAND OR 97205
160				CURRENT RESIDENT	1225 SW ALDER ST #408	PORTLAND OR 97205
161				CURRENT RESIDENT	1225 SW ALDER ST #504	PORTLAND OR 97205
162				CURRENT RESIDENT	1225 SW ALDER ST #B	PORTLAND OR 97205
163				CURRENT RESIDENT	1300 SW WASHINGTON ST	PORTLAND OR 97205
164				CURRENT RESIDENT	523 SW 13TH AVE #202	PORTLAND OR 97205
165				CURRENT RESIDENT	1122 SW MORRISON ST	PORTLAND OR 97205
166				CURRENT RESIDENT	1126 SW MORRISON ST	PORTLAND OR 97205
167				CURRENT RESIDENT	1130 SW MORRISON ST	PORTLAND OR 97205
168				CURRENT RESIDENT	1130 SW MORRISON ST #200	PORTLAND OR 97205
169				CURRENT RESIDENT	1130 SW MORRISON ST #210	PORTLAND OR 97205
170				CURRENT RESIDENT	1130 SW MORRISON ST #220	PORTLAND OR 97205
171				CURRENT RESIDENT	1130 SW MORRISON ST #230	PORTLAND OR 97205
172				CURRENT RESIDENT	1130 SW MORRISON ST #240	PORTLAND OR 97205
173				CURRENT RESIDENT	1130 SW MORRISON ST #245	PORTLAND OR 97205
174				CURRENT RESIDENT	1130 SW MORRISON ST #250	PORTLAND OR 97205
175				CURRENT RESIDENT	1130 SW MORRISON ST #265	PORTLAND OR 97205
176				CURRENT RESIDENT	1130 SW MORRISON ST #275	PORTLAND OR 97205
177				CURRENT RESIDENT	1130 SW MORRISON ST #300	PORTLAND OR 97205
178				CURRENT RESIDENT	1130 SW MORRISON ST #301	PORTLAND OR 97205
179				CURRENT RESIDENT	1130 SW MORRISON ST #305	PORTLAND OR 97205
180				CURRENT RESIDENT	1130 SW MORRISON ST #310	PORTLAND OR 97205
181				CURRENT RESIDENT	1130 SW MORRISON ST #312	PORTLAND OR 97205
182				CURRENT RESIDENT	1130 SW MORRISON ST #316	PORTLAND OR 97205
183				CURRENT RESIDENT	1130 SW MORRISON ST #318	PORTLAND OR 97205
184				CURRENT RESIDENT	1130 SW MORRISON ST #320	PORTLAND OR 97205
185				CURRENT RESIDENT	1130 SW MORRISON ST #325	PORTLAND OR 97205
186				CURRENT RESIDENT	1130 SW MORRISON ST #328	PORTLAND OR 97205
187				CURRENT RESIDENT	1130 SW MORRISON ST #330	PORTLAND OR 97205
188				CURRENT RESIDENT	1130 SW MORRISON ST #350	PORTLAND OR 97205
189				CURRENT RESIDENT	1130 SW MORRISON ST #401	PORTLAND OR 97205
190				CURRENT RESIDENT	1130 SW MORRISON ST #407	PORTLAND OR 97205
191				CURRENT RESIDENT	1130 SW MORRISON ST #408	PORTLAND OR 97205
192				CURRENT RESIDENT	1130 SW MORRISON ST #410	PORTLAND OR 97205
193				CURRENT RESIDENT	1130 SW MORRISON ST #411	PORTLAND OR 97205
194				CURRENT RESIDENT	1130 SW MORRISON ST #413	PORTLAND OR 97205
195				CURRENT RESIDENT	1130 SW MORRISON ST #414	PORTLAND OR 97205
196				CURRENT RESIDENT	1130 SW MORRISON ST #415	PORTLAND OR 97205
197				CURRENT RESIDENT	1130 SW MORRISON ST #416	PORTLAND OR 97205
198				CURRENT RESIDENT	1130 SW MORRISON ST #417	PORTLAND OR 97205

	A	B	C	D	E	F
199				CURRENT RESIDENT	1130 SW MORRISON ST #418	PORTLAND OR 97205
200				CURRENT RESIDENT	1130 SW MORRISON ST #420	PORTLAND OR 97205
201				CURRENT RESIDENT	1130 SW MORRISON ST #430	PORTLAND OR 97205
202				CURRENT RESIDENT	1130 SW MORRISON ST #450	PORTLAND OR 97205
203				CURRENT RESIDENT	1130 SW MORRISON ST #460	PORTLAND OR 97205
204				CURRENT RESIDENT	1130 SW MORRISON ST #510	PORTLAND OR 97205
205				CURRENT RESIDENT	1130 SW MORRISON ST #515	PORTLAND OR 97205
206				CURRENT RESIDENT	1130 SW MORRISON ST #516	PORTLAND OR 97205
207				CURRENT RESIDENT	1130 SW MORRISON ST #517	PORTLAND OR 97205
208				CURRENT RESIDENT	1130 SW MORRISON ST #520	PORTLAND OR 97205
209				CURRENT RESIDENT	1130 SW MORRISON ST #525	PORTLAND OR 97205
210				CURRENT RESIDENT	1130 SW MORRISON ST #600	PORTLAND OR 97205
211				CURRENT RESIDENT	1130 SW MORRISON ST #603	PORTLAND OR 97205
212				CURRENT RESIDENT	1130 SW MORRISON ST #604	PORTLAND OR 97205
213				CURRENT RESIDENT	1130 SW MORRISON ST #605	PORTLAND OR 97205
214				CURRENT RESIDENT	1130 SW MORRISON ST #610	PORTLAND OR 97205
215				CURRENT RESIDENT	1130 SW MORRISON ST #618	PORTLAND OR 97205
216				CURRENT RESIDENT	1130 SW MORRISON ST #619	PORTLAND OR 97205
217				CURRENT RESIDENT	1130 SW MORRISON ST #630	PORTLAND OR 97205
218				CURRENT RESIDENT	1130 SW MORRISON ST #698	PORTLAND OR 97205
219				CURRENT RESIDENT	1138 SW MORRISON ST	PORTLAND OR 97205
220				CURRENT RESIDENT	1200 SW MORRISON ST	PORTLAND OR 97205
221				CURRENT RESIDENT	1201 SW MORRISON ST	PORTLAND OR 97205
222				CURRENT RESIDENT	1201 SW YAMHILL ST	PORTLAND OR 97205
223				CURRENT RESIDENT	1216 SW MORRISON ST	PORTLAND OR 97205
224				CURRENT RESIDENT	1217 SW MORRISON ST	PORTLAND OR 97205
225				CURRENT RESIDENT	1218 SW MORRISON ST	PORTLAND OR 97205
226				CURRENT RESIDENT	1219 SW MORRISON ST	PORTLAND OR 97205
227				CURRENT RESIDENT	1220 SW MORRISON ST	PORTLAND OR 97205
228				CURRENT RESIDENT	1220 SW MORRISON ST #1000	PORTLAND OR 97205
229				CURRENT RESIDENT	1220 SW MORRISON ST #1002	PORTLAND OR 97205
230				CURRENT RESIDENT	1220 SW MORRISON ST #1100	PORTLAND OR 97205
231				CURRENT RESIDENT	1220 SW MORRISON ST #1115	PORTLAND OR 97205
232				CURRENT RESIDENT	1220 SW MORRISON ST #1200	PORTLAND OR 97205
233				CURRENT RESIDENT	1220 SW MORRISON ST #1201	PORTLAND OR 97205
234				CURRENT RESIDENT	1220 SW MORRISON ST #1300	PORTLAND OR 97205
235				CURRENT RESIDENT	1220 SW MORRISON ST #1303	PORTLAND OR 97205
236				CURRENT RESIDENT	1220 SW MORRISON ST #1305	PORTLAND OR 97205
237				CURRENT RESIDENT	1220 SW MORRISON ST #200	PORTLAND OR 97205
238				CURRENT RESIDENT	1220 SW MORRISON ST #210	PORTLAND OR 97205
239				CURRENT RESIDENT	1220 SW MORRISON ST #240	PORTLAND OR 97205
240				CURRENT RESIDENT	1220 SW MORRISON ST #260	PORTLAND OR 97205
241				CURRENT RESIDENT	1220 SW MORRISON ST #300	PORTLAND OR 97205
242				CURRENT RESIDENT	1220 SW MORRISON ST #400	PORTLAND OR 97205
243				CURRENT RESIDENT	1220 SW MORRISON ST #404	PORTLAND OR 97205
244				CURRENT RESIDENT	1220 SW MORRISON ST #410	PORTLAND OR 97205
245				CURRENT RESIDENT	1220 SW MORRISON ST #425	PORTLAND OR 97205
246				CURRENT RESIDENT	1220 SW MORRISON ST #433	PORTLAND OR 97205
247				CURRENT RESIDENT	1220 SW MORRISON ST #435	PORTLAND OR 97205
248				CURRENT RESIDENT	1220 SW MORRISON ST #437	PORTLAND OR 97205
249				CURRENT RESIDENT	1220 SW MORRISON ST #500	PORTLAND OR 97205
250				CURRENT RESIDENT	1220 SW MORRISON ST #502	PORTLAND OR 97205
251				CURRENT RESIDENT	1220 SW MORRISON ST #505	PORTLAND OR 97205
252				CURRENT RESIDENT	1220 SW MORRISON ST #510	PORTLAND OR 97205
253				CURRENT RESIDENT	1220 SW MORRISON ST #525	PORTLAND OR 97205
254				CURRENT RESIDENT	1220 SW MORRISON ST #527	PORTLAND OR 97205
255				CURRENT RESIDENT	1220 SW MORRISON ST #535	PORTLAND OR 97205
256				CURRENT RESIDENT	1220 SW MORRISON ST #537	PORTLAND OR 97205
257				CURRENT RESIDENT	1220 SW MORRISON ST #5B	PORTLAND OR 97205
258				CURRENT RESIDENT	1220 SW MORRISON ST #600	PORTLAND OR 97205
259				CURRENT RESIDENT	1220 SW MORRISON ST #625	PORTLAND OR 97205
260				CURRENT RESIDENT	1220 SW MORRISON ST #637	PORTLAND OR 97205
261				CURRENT RESIDENT	1220 SW MORRISON ST #700	PORTLAND OR 97205
262				CURRENT RESIDENT	1220 SW MORRISON ST #800	PORTLAND OR 97205
263				CURRENT RESIDENT	1220 SW MORRISON ST #805	PORTLAND OR 97205
264				CURRENT RESIDENT	1220 SW MORRISON ST #815	PORTLAND OR 97205



	A	B	C	D	E	F
265				CURRENT RESIDENT	1220 SW MORRISON ST #820	PORTLAND OR 97205
266				CURRENT RESIDENT	1220 SW MORRISON ST #828	PORTLAND OR 97205
267				CURRENT RESIDENT	1220 SW MORRISON ST #837	PORTLAND OR 97205
268				CURRENT RESIDENT	1220 SW MORRISON ST #900	PORTLAND OR 97205
269				CURRENT RESIDENT	1220 SW MORRISON ST #905	PORTLAND OR 97205
270				CURRENT RESIDENT	1220 SW MORRISON ST #910	PORTLAND OR 97205
271				CURRENT RESIDENT	1220 SW MORRISON ST #915	PORTLAND OR 97205
272				CURRENT RESIDENT	1220 SW MORRISON ST #920	PORTLAND OR 97205
273				CURRENT RESIDENT	1220 SW MORRISON ST #929	PORTLAND OR 97205
274				CURRENT RESIDENT	1220 SW MORRISON ST #930	PORTLAND OR 97205
275				CURRENT RESIDENT	1220 SW MORRISON ST #931	PORTLAND OR 97205
276				CURRENT RESIDENT	1220 SW MORRISON ST #932	PORTLAND OR 97205
277				CURRENT RESIDENT	1220 SW MORRISON ST #935	PORTLAND OR 97205
278				CURRENT RESIDENT	1220 SW MORRISON ST #937	PORTLAND OR 97205
279				CURRENT RESIDENT	1220 SW MORRISON ST #A	PORTLAND OR 97205
280				CURRENT RESIDENT	1220 SW MORRISON ST #LBBY 2	PORTLAND OR 97205
281				CURRENT RESIDENT	1220 SW MORRISON ST #LBBY 3	PORTLAND OR 97205
282				CURRENT RESIDENT	1221 SW YAMHILL ST	PORTLAND OR 97205
283				CURRENT RESIDENT	1221 SW YAMHILL ST #100	PORTLAND OR 97205
284				CURRENT RESIDENT	1221 SW YAMHILL ST #108	PORTLAND OR 97205
285				CURRENT RESIDENT	1221 SW YAMHILL ST #112	PORTLAND OR 97205
286				CURRENT RESIDENT	1221 SW YAMHILL ST #114	PORTLAND OR 97205
287				CURRENT RESIDENT	1221 SW YAMHILL ST #115	PORTLAND OR 97205
288				CURRENT RESIDENT	1221 SW YAMHILL ST #116	PORTLAND OR 97205
289				CURRENT RESIDENT	1221 SW YAMHILL ST #117	PORTLAND OR 97205
290				CURRENT RESIDENT	1221 SW YAMHILL ST #124	PORTLAND OR 97205
291				CURRENT RESIDENT	1221 SW YAMHILL ST #200	PORTLAND OR 97205
292				CURRENT RESIDENT	1221 SW YAMHILL ST #210	PORTLAND OR 97205
293				CURRENT RESIDENT	1221 SW YAMHILL ST #250	PORTLAND OR 97205
294				CURRENT RESIDENT	1221 SW YAMHILL ST #260	PORTLAND OR 97205
295				CURRENT RESIDENT	1221 SW YAMHILL ST #290	PORTLAND OR 97205
296				CURRENT RESIDENT	1221 SW YAMHILL ST #300	PORTLAND OR 97205
297				CURRENT RESIDENT	1221 SW YAMHILL ST #301	PORTLAND OR 97205
298				CURRENT RESIDENT	1221 SW YAMHILL ST #302	PORTLAND OR 97205
299				CURRENT RESIDENT	1221 SW YAMHILL ST #303	PORTLAND OR 97205
300				CURRENT RESIDENT	1221 SW YAMHILL ST #305	PORTLAND OR 97205
301				CURRENT RESIDENT	1221 SW YAMHILL ST #310	PORTLAND OR 97205
302				CURRENT RESIDENT	1221 SW YAMHILL ST #400	PORTLAND OR 97205
303				CURRENT RESIDENT	1221 SW YAMHILL ST #410	PORTLAND OR 97205
304				CURRENT RESIDENT	1222 SW MORRISON ST	PORTLAND OR 97205
305				CURRENT RESIDENT	1224 SW MORRISON ST	PORTLAND OR 97205
306				CURRENT RESIDENT	1225 SW MORRISON ST	PORTLAND OR 97205
307				CURRENT RESIDENT	1234 SW MORRISON ST	PORTLAND OR 97205
308				CURRENT RESIDENT	417 SW 13TH AVE #200	PORTLAND OR 97205
309				CURRENT RESIDENT	610 SW 13TH AVE	PORTLAND OR 97205
310				CURRENT RESIDENT	624 SW 13TH AVE	PORTLAND OR 97205
311				CURRENT RESIDENT	625 SW 12TH AVE	PORTLAND OR 97205
312				CURRENT RESIDENT	712 SW 12TH AVE	PORTLAND OR 97205
313				CURRENT RESIDENT	713 SW 12TH AVE	PORTLAND OR 97205
314				CURRENT RESIDENT	717 SW 12TH AVE	PORTLAND OR 97205
315				CURRENT RESIDENT	747 SW 12TH AVE	PORTLAND OR 97205
316				CURRENT RESIDENT	1300 SW WASHINGTON ST	PORTLAND OR 97205
317				CURRENT RESIDENT	1306 SW WASHINGTON ST	PORTLAND OR 97205
318				CURRENT RESIDENT	1310 SW WASHINGTON ST	PORTLAND OR 97205
319				CURRENT RESIDENT	1312 SW WASHINGTON ST	PORTLAND OR 97205
320				CURRENT RESIDENT	1316 SW WASHINGTON ST	PORTLAND OR 97205
321				CURRENT RESIDENT	1320 SW WASHINGTON ST	PORTLAND OR 97205
322				CURRENT RESIDENT	1405 SW MORRISON ST	PORTLAND OR 97205
323				CURRENT RESIDENT	1411 SW MORRISON ST	PORTLAND OR 97205
324				CURRENT RESIDENT	1411 SW MORRISON ST #200	PORTLAND OR 97205
325				CURRENT RESIDENT	1411 SW MORRISON ST #201	PORTLAND OR 97205
326				CURRENT RESIDENT	1411 SW MORRISON ST #205	PORTLAND OR 97205
327				CURRENT RESIDENT	1411 SW MORRISON ST #209	PORTLAND OR 97205
328				CURRENT RESIDENT	1411 SW MORRISON ST #290	PORTLAND OR 97205
329				CURRENT RESIDENT	1411 SW MORRISON ST #300	PORTLAND OR 97205
330				CURRENT RESIDENT	1411 SW MORRISON ST #310	PORTLAND OR 97205

[illegible]

[illegible]



	A	B	C	D	E	F
463				CURRENT RESIDENT	523 SW 13TH AVE #718	PORTLAND OR 97205
464				CURRENT RESIDENT	523 SW 13TH AVE #719	PORTLAND OR 97205
465				CURRENT RESIDENT	523 SW 13TH AVE #720	PORTLAND OR 97205
466				CURRENT RESIDENT	523 SW 13TH AVE #721	PORTLAND OR 97205
467				CURRENT RESIDENT	523 SW 13TH AVE #722	PORTLAND OR 97205
468				CURRENT RESIDENT	523 SW 13TH AVE #723	PORTLAND OR 97205
469				CURRENT RESIDENT	1101 SW ALDER ST	PORTLAND OR 97205
470				CURRENT RESIDENT	1101 SW WASHINGTON ST	PORTLAND OR 97205
471				CURRENT RESIDENT	1103 SW ALDER ST	PORTLAND OR 97205
472				CURRENT RESIDENT	1106 SW WASHINGTON ST	PORTLAND OR 97205
473				CURRENT RESIDENT	1107 SW WASHINGTON ST	PORTLAND OR 97205
474				CURRENT RESIDENT	1109 SW WASHINGTON ST	PORTLAND OR 97205
475				CURRENT RESIDENT	1111 SW ALDER ST	PORTLAND OR 97205
476				CURRENT RESIDENT	1115 SW ALDER ST	PORTLAND OR 97205
477				CURRENT RESIDENT	1117 SW ALDER ST	PORTLAND OR 97205
478				CURRENT RESIDENT	1117 SW ALDER ST #201	PORTLAND OR 97205
479				CURRENT RESIDENT	1117 SW ALDER ST #202	PORTLAND OR 97205
480				CURRENT RESIDENT	1117 SW ALDER ST #203	PORTLAND OR 97205
481				CURRENT RESIDENT	1117 SW ALDER ST #204	PORTLAND OR 97205
482				CURRENT RESIDENT	1117 SW ALDER ST #205	PORTLAND OR 97205
483				CURRENT RESIDENT	1117 SW ALDER ST #206	PORTLAND OR 97205
484				CURRENT RESIDENT	1117 SW ALDER ST #207	PORTLAND OR 97205
485				CURRENT RESIDENT	1117 SW ALDER ST #208	PORTLAND OR 97205
486				CURRENT RESIDENT	1117 SW ALDER ST #209	PORTLAND OR 97205
487				CURRENT RESIDENT	1117 SW ALDER ST #301	PORTLAND OR 97205
488				CURRENT RESIDENT	1117 SW ALDER ST #302	PORTLAND OR 97205
489				CURRENT RESIDENT	1117 SW ALDER ST #303	PORTLAND OR 97205
490				CURRENT RESIDENT	1117 SW ALDER ST #304	PORTLAND OR 97205
491				CURRENT RESIDENT	1117 SW ALDER ST #305	PORTLAND OR 97205
492				CURRENT RESIDENT	1117 SW ALDER ST #306	PORTLAND OR 97205
493				CURRENT RESIDENT	1117 SW ALDER ST #307	PORTLAND OR 97205
494				CURRENT RESIDENT	1117 SW ALDER ST #308	PORTLAND OR 97205
495				CURRENT RESIDENT	1117 SW ALDER ST #309	PORTLAND OR 97205
496				CURRENT RESIDENT	1117 SW ALDER ST #401	PORTLAND OR 97205
497				CURRENT RESIDENT	1117 SW ALDER ST #402	PORTLAND OR 97205
498				CURRENT RESIDENT	1117 SW ALDER ST #403	PORTLAND OR 97205
499				CURRENT RESIDENT	1117 SW ALDER ST #404	PORTLAND OR 97205
500				CURRENT RESIDENT	1117 SW ALDER ST #405	PORTLAND OR 97205
501				CURRENT RESIDENT	1117 SW ALDER ST #406	PORTLAND OR 97205
502				CURRENT RESIDENT	1117 SW ALDER ST #407	PORTLAND OR 97205
503				CURRENT RESIDENT	1117 SW ALDER ST #408	PORTLAND OR 97205
504				CURRENT RESIDENT	1117 SW ALDER ST #409	PORTLAND OR 97205
505				CURRENT RESIDENT	1117 SW WASHINGTON ST	PORTLAND OR 97205
506				CURRENT RESIDENT	1122 SW ALDER ST	PORTLAND OR 97205
507				CURRENT RESIDENT	1122 SW HARVEY MILK ST	PORTLAND OR 97205
508				CURRENT RESIDENT	1123 SW WASHINGTON ST	PORTLAND OR 97205
509				CURRENT RESIDENT	1124 SW ALDER ST	PORTLAND OR 97205
510				CURRENT RESIDENT	1126 SW ALDER ST	PORTLAND OR 97205
511				CURRENT RESIDENT	1128 SW ALDER ST	PORTLAND OR 97205
512				CURRENT RESIDENT	1129 SW WASHINGTON ST	PORTLAND OR 97205
513				CURRENT RESIDENT	1129 SW WASHINGTON ST #201	PORTLAND OR 97205
514				CURRENT RESIDENT	1129 SW WASHINGTON ST #202	PORTLAND OR 97205
515				CURRENT RESIDENT	1129 SW WASHINGTON ST #203	PORTLAND OR 97205
516				CURRENT RESIDENT	1129 SW WASHINGTON ST #204	PORTLAND OR 97205
517				CURRENT RESIDENT	1129 SW WASHINGTON ST #205	PORTLAND OR 97205
518				CURRENT RESIDENT	1129 SW WASHINGTON ST #206	PORTLAND OR 97205
519				CURRENT RESIDENT	1129 SW WASHINGTON ST #207	PORTLAND OR 97205
520				CURRENT RESIDENT	1129 SW WASHINGTON ST #208	PORTLAND OR 97205
521				CURRENT RESIDENT	1129 SW WASHINGTON ST #209	PORTLAND OR 97205
522				CURRENT RESIDENT	1129 SW WASHINGTON ST #210	PORTLAND OR 97205
523				CURRENT RESIDENT	1129 SW WASHINGTON ST #211	PORTLAND OR 97205
524				CURRENT RESIDENT	1129 SW WASHINGTON ST #212	PORTLAND OR 97205
525				CURRENT RESIDENT	1129 SW WASHINGTON ST #213	PORTLAND OR 97205
526				CURRENT RESIDENT	1129 SW WASHINGTON ST #214	PORTLAND OR 97205
527				CURRENT RESIDENT	1129 SW WASHINGTON ST #215	PORTLAND OR 97205
528				CURRENT RESIDENT	1129 SW WASHINGTON ST #216	PORTLAND OR 97205

[illegible]

[illegible]



	A	B	C	D	E	F
661				CURRENT RESIDENT	1218 SW WASHINGTON ST #419	PORTLAND OR 97205
662				CURRENT RESIDENT	1218 SW WASHINGTON ST #501	PORTLAND OR 97205
663				CURRENT RESIDENT	1218 SW WASHINGTON ST #502	PORTLAND OR 97205
664				CURRENT RESIDENT	1218 SW WASHINGTON ST #503	PORTLAND OR 97205
665				CURRENT RESIDENT	1218 SW WASHINGTON ST #504	PORTLAND OR 97205
666				CURRENT RESIDENT	1218 SW WASHINGTON ST #505	PORTLAND OR 97205
667				CURRENT RESIDENT	1218 SW WASHINGTON ST #506	PORTLAND OR 97205
668				CURRENT RESIDENT	1218 SW WASHINGTON ST #507	PORTLAND OR 97205
669				CURRENT RESIDENT	1218 SW WASHINGTON ST #508	PORTLAND OR 97205
670				CURRENT RESIDENT	1218 SW WASHINGTON ST #509	PORTLAND OR 97205
671				CURRENT RESIDENT	1218 SW WASHINGTON ST #510	PORTLAND OR 97205
672				CURRENT RESIDENT	1218 SW WASHINGTON ST #511	PORTLAND OR 97205
673				CURRENT RESIDENT	1218 SW WASHINGTON ST #512	PORTLAND OR 97205
674				CURRENT RESIDENT	1218 SW WASHINGTON ST #513	PORTLAND OR 97205
675				CURRENT RESIDENT	1218 SW WASHINGTON ST #514	PORTLAND OR 97205
676				CURRENT RESIDENT	1218 SW WASHINGTON ST #515	PORTLAND OR 97205
677				CURRENT RESIDENT	1218 SW WASHINGTON ST #516	PORTLAND OR 97205
678				CURRENT RESIDENT	1218 SW WASHINGTON ST #517	PORTLAND OR 97205
679				CURRENT RESIDENT	1218 SW WASHINGTON ST #518	PORTLAND OR 97205
680				CURRENT RESIDENT	1218 SW WASHINGTON ST #519	PORTLAND OR 97205
681				CURRENT RESIDENT	1221 SW ALDER ST	PORTLAND OR 97205
682				CURRENT RESIDENT	1221 SW WASHINGTON ST	PORTLAND OR 97205
683				CURRENT RESIDENT	1223 SW WASHINGTON ST	PORTLAND OR 97205
684				CURRENT RESIDENT	1223 SW WASHINGTON ST #200	PORTLAND OR 97205
685				CURRENT RESIDENT	1224 SW HARVEY MILK ST	PORTLAND OR 97205
686				CURRENT RESIDENT	1225 SW ALDER ST	PORTLAND OR 97205
687				CURRENT RESIDENT	1225 SW ALDER ST #201	PORTLAND OR 97205
688				CURRENT RESIDENT	1225 SW ALDER ST #202	PORTLAND OR 97205
689				CURRENT RESIDENT	1225 SW ALDER ST #203	PORTLAND OR 97205
690				CURRENT RESIDENT	1225 SW ALDER ST #204	PORTLAND OR 97205
691				CURRENT RESIDENT	1225 SW ALDER ST #205	PORTLAND OR 97205
692				CURRENT RESIDENT	1225 SW ALDER ST #206	PORTLAND OR 97205
693				CURRENT RESIDENT	1225 SW ALDER ST #207	PORTLAND OR 97205
694				CURRENT RESIDENT	1225 SW ALDER ST #208	PORTLAND OR 97205
695				CURRENT RESIDENT	1225 SW ALDER ST #209	PORTLAND OR 97205
696				CURRENT RESIDENT	1225 SW ALDER ST #210	PORTLAND OR 97205
697				CURRENT RESIDENT	1225 SW ALDER ST #301	PORTLAND OR 97205
698				CURRENT RESIDENT	1225 SW ALDER ST #302	PORTLAND OR 97205
699				CURRENT RESIDENT	1225 SW ALDER ST #303	PORTLAND OR 97205
700				CURRENT RESIDENT	1225 SW ALDER ST #304	PORTLAND OR 97205
701				CURRENT RESIDENT	1225 SW ALDER ST #305	PORTLAND OR 97205
702				CURRENT RESIDENT	1225 SW ALDER ST #306	PORTLAND OR 97205
703				CURRENT RESIDENT	1225 SW ALDER ST #307	PORTLAND OR 97205
704				CURRENT RESIDENT	1225 SW ALDER ST #308	PORTLAND OR 97205
705				CURRENT RESIDENT	1225 SW ALDER ST #309	PORTLAND OR 97205
706				CURRENT RESIDENT	1225 SW ALDER ST #310	PORTLAND OR 97205
707				CURRENT RESIDENT	1225 SW ALDER ST #401	PORTLAND OR 97205
708				CURRENT RESIDENT	1225 SW ALDER ST #402	PORTLAND OR 97205
709				CURRENT RESIDENT	1225 SW ALDER ST #403	PORTLAND OR 97205
710				CURRENT RESIDENT	1225 SW ALDER ST #404	PORTLAND OR 97205
711				CURRENT RESIDENT	1225 SW ALDER ST #405	PORTLAND OR 97205
712				CURRENT RESIDENT	1225 SW ALDER ST #406	PORTLAND OR 97205
713				CURRENT RESIDENT	1225 SW ALDER ST #407	PORTLAND OR 97205
714				CURRENT RESIDENT	1225 SW ALDER ST #408	PORTLAND OR 97205
715				CURRENT RESIDENT	1225 SW ALDER ST #409	PORTLAND OR 97205
716				CURRENT RESIDENT	1225 SW ALDER ST #410	PORTLAND OR 97205
717				CURRENT RESIDENT	1225 SW ALDER ST #501	PORTLAND OR 97205
718				CURRENT RESIDENT	1225 SW ALDER ST #502	PORTLAND OR 97205
719				CURRENT RESIDENT	1225 SW ALDER ST #503	PORTLAND OR 97205
720				CURRENT RESIDENT	1225 SW ALDER ST #504	PORTLAND OR 97205
721				CURRENT RESIDENT	1225 SW ALDER ST #505	PORTLAND OR 97205
722				CURRENT RESIDENT	1225 SW ALDER ST #506	PORTLAND OR 97205
723				CURRENT RESIDENT	1225 SW ALDER ST #507	PORTLAND OR 97205
724				CURRENT RESIDENT	1225 SW ALDER ST #508	PORTLAND OR 97205
725				CURRENT RESIDENT	1225 SW ALDER ST #509	PORTLAND OR 97205
726				CURRENT RESIDENT	1225 SW ALDER ST #510	PORTLAND OR 97205

	A	B	C	D	E	F
727				CURRENT RESIDENT	1225 SW ALDER ST #A	PORTLAND OR 97205
728				CURRENT RESIDENT	1225 SW ALDER ST #B	PORTLAND OR 97205
729				CURRENT RESIDENT	1225 SW ALDER ST #C	PORTLAND OR 97205
730				CURRENT RESIDENT	1225 SW ALDER ST #D	PORTLAND OR 97205
731				CURRENT RESIDENT	1227 SW WASHINGTON ST	PORTLAND OR 97205
732				CURRENT RESIDENT	1229 SW WASHINGTON ST	PORTLAND OR 97205
733				CURRENT RESIDENT	1231 SW WASHINGTON ST	PORTLAND OR 97205
734				CURRENT RESIDENT	1232 SW WASHINGTON ST	PORTLAND OR 97205
735				CURRENT RESIDENT	1234 SW HARVEY MILK ST	PORTLAND OR 97205
736				CURRENT RESIDENT	1237 SW WASHINGTON ST	PORTLAND OR 97205
737				CURRENT RESIDENT	1300 W BURNSIDE ST	PORTLAND OR 97209
738				CURRENT RESIDENT	1306 W BURNSIDE ST	PORTLAND OR 97209
739				CURRENT RESIDENT	1308 W BURNSIDE ST	PORTLAND OR 97209
740				CURRENT RESIDENT	1321 SW WASHINGTON ST	PORTLAND OR 97205
741				CURRENT RESIDENT	1325 SW WASHINGTON ST	PORTLAND OR 97205
742				CURRENT RESIDENT	1327 SW WASHINGTON ST	PORTLAND OR 97205
743				CURRENT RESIDENT	1331 SW WASHINGTON ST	PORTLAND OR 97205
744				CURRENT RESIDENT	1332 W BURNSIDE ST	PORTLAND OR 97209
745				CURRENT RESIDENT	1333 W BURNSIDE ST	PORTLAND OR 97209
746				CURRENT RESIDENT	1335 SW WASHINGTON ST	PORTLAND OR 97205
747				CURRENT RESIDENT	1337 SW WASHINGTON ST	PORTLAND OR 97205
748				CURRENT RESIDENT	1340 W BURNSIDE ST	PORTLAND OR 97209
749				CURRENT RESIDENT	400 SW 12TH AVE	PORTLAND OR 97205
750				CURRENT RESIDENT	401 SW 12TH AVE	PORTLAND OR 97205
751				CURRENT RESIDENT	404 SW 12TH AVE	PORTLAND OR 97205
752				CURRENT RESIDENT	406 SW 13TH AVE	PORTLAND OR 97205
753				CURRENT RESIDENT	406 SW 13TH AVE #201	PORTLAND OR 97205
754				CURRENT RESIDENT	406 SW 13TH AVE #202	PORTLAND OR 97205
755				CURRENT RESIDENT	406 SW 14TH AVE	PORTLAND OR 97205
756				CURRENT RESIDENT	408 SW 12TH AVE	PORTLAND OR 97205
757				CURRENT RESIDENT	409 SW 12TH AVE	PORTLAND OR 97205
758				CURRENT RESIDENT	409 SW 12TH AVE #201	PORTLAND OR 97205
759				CURRENT RESIDENT	409 SW 12TH AVE #202	PORTLAND OR 97205
760				CURRENT RESIDENT	409 SW 12TH AVE #203	PORTLAND OR 97205
761				CURRENT RESIDENT	409 SW 12TH AVE #204	PORTLAND OR 97205
762				CURRENT RESIDENT	409 SW 12TH AVE #205	PORTLAND OR 97205
763				CURRENT RESIDENT	409 SW 12TH AVE #206	PORTLAND OR 97205
764				CURRENT RESIDENT	409 SW 12TH AVE #301	PORTLAND OR 97205
765				CURRENT RESIDENT	409 SW 12TH AVE #302	PORTLAND OR 97205
766				CURRENT RESIDENT	409 SW 12TH AVE #303	PORTLAND OR 97205
767				CURRENT RESIDENT	409 SW 12TH AVE #304	PORTLAND OR 97205
768				CURRENT RESIDENT	409 SW 12TH AVE #305	PORTLAND OR 97205
769				CURRENT RESIDENT	409 SW 12TH AVE #306	PORTLAND OR 97205
770				CURRENT RESIDENT	409 SW 12TH AVE #307	PORTLAND OR 97205
771				CURRENT RESIDENT	409 SW 12TH AVE #401	PORTLAND OR 97205
772				CURRENT RESIDENT	409 SW 12TH AVE #402	PORTLAND OR 97205
773				CURRENT RESIDENT	409 SW 12TH AVE #403	PORTLAND OR 97205
774				CURRENT RESIDENT	409 SW 12TH AVE #404	PORTLAND OR 97205
775				CURRENT RESIDENT	409 SW 12TH AVE #405	PORTLAND OR 97205
776				CURRENT RESIDENT	409 SW 12TH AVE #406	PORTLAND OR 97205
777				CURRENT RESIDENT	409 SW 12TH AVE #407	PORTLAND OR 97205
778				CURRENT RESIDENT	409 SW 12TH AVE #408	PORTLAND OR 97205
779				CURRENT RESIDENT	409 SW 13TH AVE	PORTLAND OR 97205
780				CURRENT RESIDENT	410 SW 13TH AVE	PORTLAND OR 97205
781				CURRENT RESIDENT	410 SW 13TH AVE #B	PORTLAND OR 97205
782				CURRENT RESIDENT	411 SW 12TH AVE	PORTLAND OR 97205
783				CURRENT RESIDENT	411 SW 12TH AVE #204	PORTLAND OR 97205
784				CURRENT RESIDENT	411 SW 12TH AVE #205	PORTLAND OR 97205
785				CURRENT RESIDENT	411 SW 12TH AVE #206	PORTLAND OR 97205
786				CURRENT RESIDENT	411 SW 12TH AVE #208	PORTLAND OR 97205
787				CURRENT RESIDENT	411 SW 12TH AVE #209	PORTLAND OR 97205
788				CURRENT RESIDENT	411 SW 12TH AVE #210	PORTLAND OR 97205
789				CURRENT RESIDENT	411 SW 12TH AVE #211	PORTLAND OR 97205
790				CURRENT RESIDENT	411 SW 12TH AVE #304	PORTLAND OR 97205
791				CURRENT RESIDENT	411 SW 12TH AVE #305	PORTLAND OR 97205
792				CURRENT RESIDENT	411 SW 12TH AVE #306	PORTLAND OR 97205

	A	B	C	D	E	F
793				CURRENT RESIDENT	411 SW 12TH AVE #307	PORTLAND OR 97205
794				CURRENT RESIDENT	411 SW 12TH AVE #308	PORTLAND OR 97205
795				CURRENT RESIDENT	411 SW 12TH AVE #309	PORTLAND OR 97205
796				CURRENT RESIDENT	411 SW 12TH AVE #311	PORTLAND OR 97205
797				CURRENT RESIDENT	411 SW 12TH AVE #404	PORTLAND OR 97205
798				CURRENT RESIDENT	411 SW 12TH AVE #405	PORTLAND OR 97205
799				CURRENT RESIDENT	411 SW 12TH AVE #406	PORTLAND OR 97205
800				CURRENT RESIDENT	411 SW 12TH AVE #407	PORTLAND OR 97205
801				CURRENT RESIDENT	411 SW 12TH AVE #408	PORTLAND OR 97205
802				CURRENT RESIDENT	411 SW 12TH AVE #409	PORTLAND OR 97205
803				CURRENT RESIDENT	411 SW 12TH AVE #410	PORTLAND OR 97205
804				CURRENT RESIDENT	411 SW 12TH AVE #411	PORTLAND OR 97205
805				CURRENT RESIDENT	412 SW 12TH AVE	PORTLAND OR 97205
806				CURRENT RESIDENT	413 SW 13TH AVE	PORTLAND OR 97205
807				CURRENT RESIDENT	413 SW 13TH AVE #200	PORTLAND OR 97205
808				CURRENT RESIDENT	413 SW 13TH AVE #300	PORTLAND OR 97205
809				CURRENT RESIDENT	414 SW 13TH AVE	PORTLAND OR 97205
810				CURRENT RESIDENT	415 SW 12TH AVE	PORTLAND OR 97205
811				CURRENT RESIDENT	415 SW 13TH AVE	PORTLAND OR 97205
812				CURRENT RESIDENT	417 SW 12TH AVE	PORTLAND OR 97205
813				CURRENT RESIDENT	417 SW 13TH AVE	PORTLAND OR 97205
814				CURRENT RESIDENT	419 SW 11TH AVE	PORTLAND OR 97205
815				CURRENT RESIDENT	422 SW 13TH AVE	PORTLAND OR 97205
816				CURRENT RESIDENT	428 SW 12TH AVE	PORTLAND OR 97205
817				CURRENT RESIDENT	430 SW 13TH AVE	PORTLAND OR 97205
818				CURRENT RESIDENT	430 SW 13TH AVE #1002	PORTLAND OR 97205
819				CURRENT RESIDENT	430 SW 13TH AVE #1003	PORTLAND OR 97205
820				CURRENT RESIDENT	430 SW 13TH AVE #1005	PORTLAND OR 97205
821				CURRENT RESIDENT	430 SW 13TH AVE #1006	PORTLAND OR 97205
822				CURRENT RESIDENT	430 SW 13TH AVE #1007	PORTLAND OR 97205
823				CURRENT RESIDENT	430 SW 13TH AVE #1008	PORTLAND OR 97205
824				CURRENT RESIDENT	430 SW 13TH AVE #1010	PORTLAND OR 97205
825				CURRENT RESIDENT	430 SW 13TH AVE #1012	PORTLAND OR 97205
826				CURRENT RESIDENT	430 SW 13TH AVE #1014	PORTLAND OR 97205
827				CURRENT RESIDENT	430 SW 13TH AVE #1016	PORTLAND OR 97205
828				CURRENT RESIDENT	430 SW 13TH AVE #1017	PORTLAND OR 97205
829				CURRENT RESIDENT	430 SW 13TH AVE #1103	PORTLAND OR 97205
830				CURRENT RESIDENT	430 SW 13TH AVE #1105	PORTLAND OR 97205
831				CURRENT RESIDENT	430 SW 13TH AVE #1109	PORTLAND OR 97205
832				CURRENT RESIDENT	430 SW 13TH AVE #1110	PORTLAND OR 97205
833				CURRENT RESIDENT	430 SW 13TH AVE #1114	PORTLAND OR 97205
834				CURRENT RESIDENT	430 SW 13TH AVE #1115	PORTLAND OR 97205
835				CURRENT RESIDENT	430 SW 13TH AVE #1116	PORTLAND OR 97205
836				CURRENT RESIDENT	430 SW 13TH AVE #1117	PORTLAND OR 97205
837				CURRENT RESIDENT	430 SW 13TH AVE #1202	PORTLAND OR 97205
838				CURRENT RESIDENT	430 SW 13TH AVE #1203	PORTLAND OR 97205
839				CURRENT RESIDENT	430 SW 13TH AVE #1205	PORTLAND OR 97205
840				CURRENT RESIDENT	430 SW 13TH AVE #1206	PORTLAND OR 97205
841				CURRENT RESIDENT	430 SW 13TH AVE #1210	PORTLAND OR 97205
842				CURRENT RESIDENT	430 SW 13TH AVE #1211	PORTLAND OR 97205
843				CURRENT RESIDENT	430 SW 13TH AVE #1213	PORTLAND OR 97205
844				CURRENT RESIDENT	430 SW 13TH AVE #1215	PORTLAND OR 97205
845				CURRENT RESIDENT	430 SW 13TH AVE #1216	PORTLAND OR 97205
846				CURRENT RESIDENT	430 SW 13TH AVE #1401	PORTLAND OR 97205
847				CURRENT RESIDENT	430 SW 13TH AVE #1402	PORTLAND OR 97205
848				CURRENT RESIDENT	430 SW 13TH AVE #1403	PORTLAND OR 97205
849				CURRENT RESIDENT	430 SW 13TH AVE #1412	PORTLAND OR 97205
850				CURRENT RESIDENT	430 SW 13TH AVE #1413	PORTLAND OR 97205
851				CURRENT RESIDENT	430 SW 13TH AVE #1416	PORTLAND OR 97205
852				CURRENT RESIDENT	430 SW 13TH AVE #1503	PORTLAND OR 97205
853				CURRENT RESIDENT	430 SW 13TH AVE #1509	PORTLAND OR 97205
854				CURRENT RESIDENT	430 SW 13TH AVE #1515	PORTLAND OR 97205
855				CURRENT RESIDENT	430 SW 13TH AVE #1516	PORTLAND OR 97205
856				CURRENT RESIDENT	430 SW 13TH AVE #1603	PORTLAND OR 97205
857				CURRENT RESIDENT	430 SW 13TH AVE #1604	PORTLAND OR 97205
858				CURRENT RESIDENT	430 SW 13TH AVE #1605	PORTLAND OR 97205



[illegible]

[illegible]

	A	B	C	D	E	F
991				CURRENT RESIDENT	537 SW 12TH AVE	PORTLAND OR 97205
992				CURRENT RESIDENT	550 SW 12TH AVE	PORTLAND OR 97205
993				CURRENT RESIDENT	560 SW 12TH AVE	PORTLAND OR 97205
994				CURRENT RESIDENT	580 SW 12TH AVE	PORTLAND OR 97205
995				CURRENT RESIDENT	610 SW 12TH AVE	PORTLAND OR 97205
996				CURRENT RESIDENT	610 SW 12TH AVE #A	PORTLAND OR 97205
997				CURRENT RESIDENT	610 SW 12TH AVE #B	PORTLAND OR 97205
998				CURRENT RESIDENT	616 SW 12TH AVE	PORTLAND OR 97205
999				CURRENT RESIDENT	619 SW 11TH AVE	PORTLAND OR 97205
1000				CURRENT RESIDENT	619 SW 11TH AVE #102	PORTLAND OR 97205
1001				CURRENT RESIDENT	619 SW 11TH AVE #106	PORTLAND OR 97205
1002				CURRENT RESIDENT	619 SW 11TH AVE #108	PORTLAND OR 97205
1003				CURRENT RESIDENT	619 SW 11TH AVE #110	PORTLAND OR 97205
1004				CURRENT RESIDENT	619 SW 11TH AVE #121	PORTLAND OR 97205
1005				CURRENT RESIDENT	619 SW 11TH AVE #123	PORTLAND OR 97205
1006				CURRENT RESIDENT	619 SW 11TH AVE #129	PORTLAND OR 97205
1007				CURRENT RESIDENT	619 SW 11TH AVE #200	PORTLAND OR 97205
1008				CURRENT RESIDENT	619 SW 11TH AVE #221	PORTLAND OR 97205
1009				CURRENT RESIDENT	619 SW 11TH AVE #225	PORTLAND OR 97205
1010				CURRENT RESIDENT	619 SW 11TH AVE #234	PORTLAND OR 97205
1011				CURRENT RESIDENT	619 SW 11TH AVE #234 2	PORTLAND OR 97205
1012				CURRENT RESIDENT	619 SW 11TH AVE #242	PORTLAND OR 97205
1013				CURRENT RESIDENT	619 SW 11TH AVE #244	PORTLAND OR 97205
1014				CURRENT RESIDENT	619 SW 11TH AVE #250	PORTLAND OR 97205
1015				CURRENT RESIDENT	678 SW 12TH AVE	PORTLAND OR 97205
1016				CURRENT RESIDENT	1111 SW WASHINGTON ST	PORTLAND OR 97205
1017				CURRENT RESIDENT	1209 SW ALDER ST #2	PORTLAND OR 97205
1018				CURRENT RESIDENT	1220 SW HARVEY MILK ST	PORTLAND OR 97205
1019				CURRENT RESIDENT	521 SW 12TH AVE	PORTLAND OR 97205
1020				CURRENT RESIDENT	601 SW 11TH AVE	PORTLAND OR 97205
1021				CURRENT RESIDENT	614 SW ALDER ST	PORTLAND OR 97205
1022	RETURN SERVICE REQUESTED		OWNER	FIRST PRESBYTERIAN CHURCH	1200 SW ALDER ST	PORTLAND OR 97205-2298
1023	RETURN SERVICE REQUESTED	APPLICANT	HOLST ARCHITECTURE	HARRIS MAGGIE	123 NE 3RD AVE STE 310	PORTLAND OR 97232
1024	RETURN SERVICE REQUESTED	OWNERS AGENT	COMMUNITY DEVELOPMENT PARTNERS	HUYNH-CARNES MAI	126 NE ALBERTAA ST STE 202	PORTLAND OR 97211
1025	RETURN SERVICE REQUESTED		NEIGHBORS WEST/NORTHWEST	DARLENE URBAN GARRETT	2257 NW RALEIGH ST	PORTLAND OR 97210
1026	RETURN SERVICE REQUESTED		LAND USE CONTACT	GOOSE HOLLOW BA	PO BOX 915	PORTLAND OR 97207
1027	RETURN SERVICE REQUESTED		STADIUM DISTRICT	C/O VENTURE PORTLAND	1125 SE MADISON STE 112	PORTLAND OR 97214
1028	RETURN SERVICE REQUESTED		PORTLAND DOWNTOWN	DEBARDELABEN MARIAN	2257 NW RALEIGH ST	PORTLAND OR 97210
1029	RETURN SERVICE REQUESTED		LAND USE CONTACT	WASHINGTON CO - TRANSPORTATION	1400 SW WALNUT ST	HILLSBORO OR 97123
1030	RETURN SERVICE REQUESTED		LAND USE CONTACT	CENTRAL CITY CONCERN	232 NW 6TH AVE	PORTLAND OR 97209
1031	RETURN SERVICE REQUESTED		PORTLAND METRO REGIONAL SOLUTIONS	C/O DLCD REGIONAL REPRESENTATIVE	1600 SW FOURTH AVE #109	PORTLAND OR 97201
1032	RETURN SERVICE REQUESTED		LAND USE CONTACT	PORT OF PORTLAND PLANNING	PO BOX 3529	PORTLAND OR 97208
1033	RETURN SERVICE REQUESTED		LAND USE CONTACT	TRANSIT DEVELOPMENT	1800 SW FIRST AVE #300	PORTLAND OR 97201
1034				PORTLAND PARK TRAIL	TATE WHITE	B106/R1302
1035				LAND USE CONTACT	PROSPER PORTLAND	129/PROSPER
1036					DAWN KRANTZ	B299/R5000



# Design Advice Request

## JULIA WEST APARTMENTS

CASE FILE	EA 22-208807 DA		
WHEN	<b>Thursday, 1/19/2023 @ 1:30 PM</b> <i>(This is the hearing start time –see Commission agenda for estimated project start time.)</i>		
WHERE	<b>ONLINE: Meeting link will be listed on the agenda available at <a href="http://www.portland.gov/bds/design-commission">www.portland.gov/bds/design-commission</a></b>		
HOW	<b>TO COMMENT: Follow instructions on the Design Commission agenda <u>or</u> email the planner at <a href="mailto:tanya.paglia@portlandoregon.gov">tanya.paglia@portlandoregon.gov</a></b>		
REVIEW BY	Design Commission		
PROCESS	A <b>Design Advice Request</b> is a voluntary review process that allows the Commission to provide early feedback on a development proposal, prior to the required land use review		
PROPOSAL	DAR for Julia West, a proposed 12-story affordable housing development located on the corner of SW 13th Ave and SW Alder St in the West End Subdistrict of the Central City Plan District. The proposed approximately 59,890 SF building will have 90 units of permanent supportive housing. Amenities will include community rooms, laundry lounge, rooftop terrace, onsite supportive services, and property management. A below-grade utility/back-of-house basement is proposed.		
REVIEW APPROVAL CRITERIA	Central City Fundamental Design Guidelines		
SITE ADDRESS	522 SW 13th Ave		
ZONING/ DESIGNATION	<b>CXd – Central Commercial with Design Overlay</b> <b>Central City Plan District   West End Subdistrict</b>		
APPLICANT(S)	Maggie Harris, Holst Architecture	OWNER(S)	First Presbyterian Church
QUESTIONS? BDS CONTACT	<b>Tanya Paglia, City Planner</b> <b>(503) 865-6518 / <a href="mailto:tanya.paglia@PortlandOregon.gov">tanya.paglia@PortlandOregon.gov</a></b> Bureau of Development Services, 1900 SW 4 <sup>th</sup> Ave, Suite 5000, Portland, OR 97201		

Traducción e interpretación | Chuyển Ngữ hoặc Phiên Dịch | 翻译或传译 | Turjumida ama Fasiraadda | 翻訳または通訳 | ຫຼັກການ ຫຼື ການອະທິບາຍ  
 Письменный или устный перевод | Traducere sau Interpretare | 번역 및 통역 | الترجمة التحريرية أو الشفوية | Письмовий або усний переклад



503-823-7300



[BDS@PortlandOregon.gov](mailto:BDS@PortlandOregon.gov)



[www.PortlandOregon.gov/bds/translated](http://www.PortlandOregon.gov/bds/translated)

TTY: 503-823-6868  
 Relay Service: 711



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
FROM CONCEPT TO CONSTRUCTION

Dan Ryan, Commissioner  
Rebecca Esau, Director  
Phone: (503) 823-7300  
Fax: (503) 823-5630  
TTY: (503) 823-6868  
[www.portland.gov/bds](http://www.portland.gov/bds)

## DESIGN ADVICE REQUEST PROCESS OVERVIEW

### **Purpose**

Design Advice Requests (DARs) are a form of early assistance intended to provide a public forum for the preliminary discussion and exchange of information between the applicant, BDS staff, the public, and the representative Commission. The feedback that results from a DAR is advisory and preliminary in nature. The DAR is not a land use review and decisions are not made in the DAR process.

An applicant may request advice from the Design Commission or Historic Landmarks Commission prior to submitting a land use review. In some cases, a DAR may be required by a provision of the Zoning Code. These requests do not substitute for required prescribed regulatory or legislative processes.

### **Public Participation**

The public meeting with the Commission will provide an opportunity for parties to submit oral and written comment. The Commission relies on Portlanders to bring their perspective on their community. Portland has a strong design legacy that continues through this process. The public's early input on significant projects helps to make sure we get this right. Continued participation through the land use review is necessary for public comments to be part of the land use review record.

### **Meeting Order**

The order of appearance for those attending the meeting is as follows:

- BDS Staff Introduction
- Applicant Presentation
- City Staff Discussion Topics
- Public Comments
- Commission and Applicant Discussion

### **Guiding Criteria**

Design Guidelines are used to guide the conversation during the DAR because they are the approval criteria used in the subsequent land use review. All feedback should relate to the concept's response to the Guidelines. Copies of the Design Guidelines are available online at [portlandoregon.gov/designguidelines](http://portlandoregon.gov/designguidelines).

### **Outside DAR Scope**

The Commissions only have the authority to influence elements of a project that relate to the approval criteria. For example, guidelines do not address private views. Here other resources for questions on issues that the Commissions cannot address:

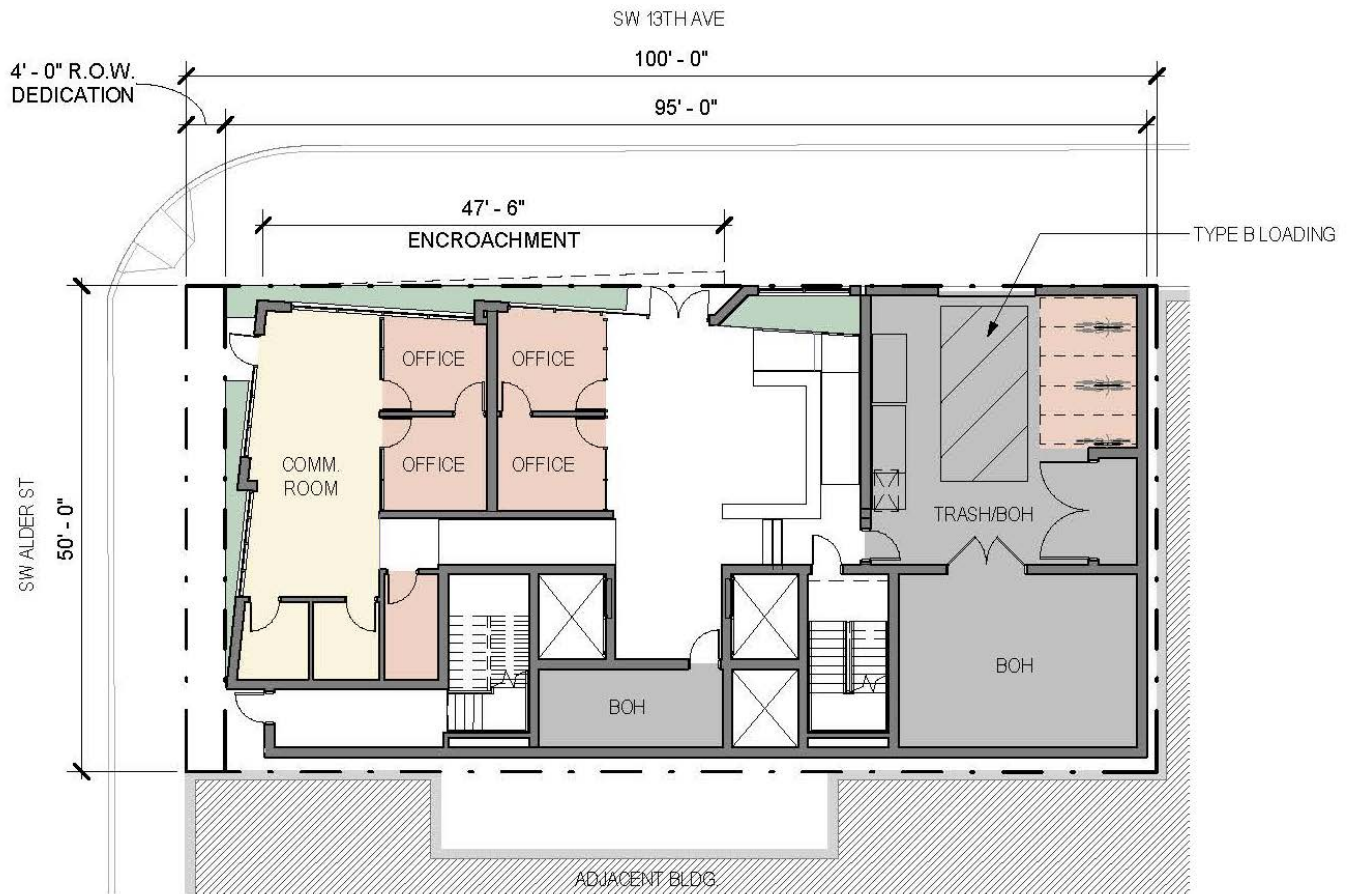
**Bureau of Planning and Sustainability (BPS)**  
503-823-7700 | [portlandoregon.gov/bps](http://portlandoregon.gov/bps)

**Bureau of Transportation (PBOT)** | 503-823-5185 | [portlandoregon.gov/transportation](http://portlandoregon.gov/transportation)

**Office of Community & Civic Life**  
503-823-4519 | [portlandoregon.gov/civic](http://portlandoregon.gov/civic)

- Neighborhood Association Information
- Crime Prevention
- Noise Control Program
- Neighborhood Mediation

- Off-Street Parking Requirements
- Upcoming Legislative Projects on Zoning
- Zoning Allowances
- On-Street Parking
- Construction Impacts on Streets & Sidewalks





## Observing or Testifying at the Portland Design Commission, Historic Landmarks Commission, or Adjustment Committee Webinar Hearings

Thank you for your interest in attending a land use public hearing. All hearings are currently held virtually, via Zoom. The information below will help you get connected.

\*\*\*If you do not have access to the internet from a home computer or mobile phone, please see the end of this document for instructions on how to participate from a City building at 1900 SW 4<sup>th</sup> Avenue in downtown Portland.

### Preparing for the Hearing:

1. To access the Zoom Webinar, please go to the online hearing Agenda, and click the link under the hearing date you are interested in participating: <https://www.portlandoregon.gov/bds/42441>
2. In advance of the hearing, please review documents and drawings in the project link within the Online Agenda.
  - Please also provide comments to the planner assigned in advance of the hearing.

### Getting into the Hearing [Registering in Zoom to observe or participate in Hearing]:

1. In order to observe or testify in the hearing, please be sure to Register for the Webinar as soon as possible.
  - The Webinar Link is posted to the Online Agenda typically one week prior to the hearing date.
2. Once you register you will receive an email notification of how to log-in or access the Webinar.
3. You can enter the Webinar no sooner than ten minutes before the start of the hearing.
4. You will be held in the Zoom waiting room until the Webinar begins. (Please note each individual agenda item has an estimated start time.)
5. If using a smartphone or tablet, download the Zoom app for easy entry into the Webinar.

### Public participation in the Hearing:

1. After Staff and Applicant presentations, the Chair will announce public testimony is open, and will ask if anyone else would like to testify.
2. You can provide public comment in this Webinar in several ways:
  - If during registration you indicated you would like to testify, we will put your name in order of request. Once in the hearing, testifiers will be renamed "Testifier 1 – (Your Name)"
  - Members of the public will be automatically muted except for when they are called by the Hearings Clerk for their public comment. During the Webinar, the Hearings Clerk will promote participants to "Panelists" in the order of Webinar Registrations received. When it is your turn to provide testimony, please accept the Clerk's invitation to be promoted to Panelist.
  - If you indicated in your registration that you did not want to testify but later changed your mind, when testimony is open:
    - Click the "raise your hand" function in ZOOM, and the Hearings Clerk will add you to the list of testifiers.
    - If you will be participating by call-in, raise your hand by pressing \*9 - the Webinar host will see this notification.
  - When you are moved to Panelist position for your testimony, your name will be announced by the Chair or Hearings Clerk. Please be prepared to provide testimony.
  - Each testifier is allotted 2 minutes of testimony unless the Chair grants additional time.
  - Please manage your time when testifying. As a courtesy to other testifiers and our volunteer Commissions, please do not attempt to exceed the allotted amount of time.
3. We will enable screen sharing of presentations only for Design and Landmarks Commission members, project teams, and staff participating in the Webinar.
4. Testifiers who engage in inappropriate behavior or language will be promptly removed from the hearing.

### Follow-up:

1. The Webinar will be recorded and uploaded to the City of Portland Auditors website, under the Case File Number, here: <https://efiles.portlandoregon.gov/Search>.

\*\*\*If you do not have access to the internet from a home computer or mobile phone, we can provide accommodations for you to view a live video display of the hearing from 1900 SW 4<sup>th</sup> Avenue in downtown Portland. This option for participation requires you to travel to a City building where we will provide a computer for viewing the hearing. City staff will not be present at this viewing location. If you require such accommodation, please contact the BDS Hearings Clerk at 503-865-6525 before 8 AM on the day of the hearing.\*\*\*



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
**FROM CONCEPT TO CONSTRUCTION**

Dan Ryan, Commissioner  
Rebecca Esau, Director  
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Fax: (503) 823-5630  
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[www.portland.gov/bds](http://www.portland.gov/bds)

Date: 12/16/2022

To: Maggie Harris | Holst Architecture

From: Tanya Paglia, Land Use Services, [Tanya.Paglia@portlandoregon.gov](mailto:Tanya.Paglia@portlandoregon.gov)

RE: Design Advice Request posting for EA 22-208807 DA – Julia West Apartments

Dear Maggie Harris:

I have received your application for a Design Advice Request (DA) at 522 SW 13<sup>th</sup> Ave. Your case number is given above. The first meeting with the Design Commission is scheduled for **January 19, 2023**. I am the planner handling your case, and can answer any questions you might have during the process.

You are required to post notice on the site of your proposal 20 days before the hearing. The information below will help you do this. I am also enclosing instructions for making the required posting boards and the notice that should be placed on the signs.

- A. You must post one of these signs adjacent to each street frontage on the site:
  - SW 13<sup>th</sup> Ave
  - SW Alder St
- B. These signs must be placed within 10 feet of the street frontage line, and must be visible to pedestrians and motorists. You may not post in the public right-of-way.
- C. Because the meeting with the Design Commission for your case is scheduled for January 19, 2023 you must post the notice by December 29, 2022, 20 days before the hearing.
- D. A certification statement is enclosed, which you must sign and return. The statement affirms that you posted the site. It also confirms your understanding that if you do not post the notice by the date above, your hearing will be automatically postponed. You must return this statement to us by January 5, 2023, 14 days before the hearing.
- E. You should not remove the notice before the meeting, but it must be taken down within two weeks after the meeting. You may want to save the posting boards to use for the required site posting during the Type III land use review.

Encls: Posting Notice  
Statement Certifying Posting  
Additional Instructions for Posting Notice Signs

cc: Application Case File

# Design Advice Request

## JULIA WEST APARTMENTS

CASE FILE	EA 22-208807 DA		
WHEN	<b>Thursday, 1/19/2023 @ 1:30 PM</b> <i>(This is the hearing start time –see Commission agenda for estimated project start time.)</i>		
WHERE	<b>ONLINE: Meeting link will be listed on the agenda available at <a href="http://www.portland.gov/bds/design-commission">www.portland.gov/bds/design-commission</a></b>		
HOW	<b>TO COMMENT: Follow instructions on the Design Commission agenda <u>or</u> email the planner at <a href="mailto:tanya.paglia@portlandoregon.gov">tanya.paglia@portlandoregon.gov</a></b>		
REVIEW BY	Design Commission		
PROCESS	A <b>Design Advice Request</b> is a voluntary review process that allows the Commission to provide early feedback on a development proposal, prior to the required land use review		
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REVIEW APPROVAL CRITERIA	Central City Fundamental Design Guidelines		
SITE ADDRESS	522 SW 13th Ave		
ZONING/ DESIGNATION	<b>CXd</b> – Central Commercial with Design Overlay <b>Central City Plan District   West End Subdistrict</b>		
APPLICANT(S)	Maggie Harris, Holst Architecture	OWNER(S)	Mai Huynh-Carnes, Community Development Partners
QUESTIONS? BDS CONTACT	<b>Tanya Paglia, City Planner</b> <b>(503) 865-6518 / <a href="mailto:tanya.paglia@PortlandOregon.gov">tanya.paglia@PortlandOregon.gov</a></b> Bureau of Development Services, 1900 SW 4 <sup>th</sup> Ave, Suite 5000, Portland, OR 97201		

Traducción e interpretación | Chuyển Ngữ hoặc Phiên Dịch | 翻译或传译 | Turjumida ama Fasiraadda | 翻訳または通訳 | ການແປພາສາ ຫຼື ການອະທິບາຍ  
Письменный или устный перевод | Traducere sau Interpretare | 번역및통역 | الترجمة التحريرية أو الشفوية | Письмовий або усний переклад



503-823-7300



[BDS@PortlandOregon.gov](mailto:BDS@PortlandOregon.gov)



[www.PortlandOregon.gov/bds/translated](http://www.PortlandOregon.gov/bds/translated)

TTY: 503-823-6868  
Relay Service: 711



Maggie Harris | Holst Architecture  
123 NE 3<sup>rd</sup> Ave, Suite 310, Portland, OR 97232

DATE: \_\_\_\_\_

TO: Tanya Paglia | Tanya.Paglia@portlandoregon.gov  
Bureau of Development Services  
1900 SW Fourth Ave., Suite 5000  
Portland, Oregon 97201

**APPLICANT'S STATEMENT CERTIFYING DESIGN ADVICE REQUEST POSTING**

**Case File EA 22-208807 DA**

This certifies that I have posted notice on my site. I understand that the meeting with the Design Commission is scheduled for **January 19, 2023** at 1:30PM, and that I was required to post the property at least 20 days before the hearing.

The required number of poster boards, with the notices attached, were set up on \_\_\_\_\_(date). These were placed adjacent to each street frontage so that they were visible to pedestrians and motorists.

I understand that this form must be returned to the Bureau of Development Services no later than January 5, 2023, 14 days before the scheduled meeting. I also understand that if I do not post the notices by December 29, 2022, or return this form by January 5, 2023, my meeting will automatically be postponed.

In addition, I understand that I may not remove the notices before the meeting, but am required to remove them within two weeks of the meeting.

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Print Name

\_\_\_\_\_  
Address

\_\_\_\_\_  
City/State/Zip Code

## Additional Instructions for Posting Notice Signs

Layout:

The overall board must be printed at its full 18-inch by 24-inch size. Templates for the 18-inch by 24-inch board are provided in Adobe Illustrator, Adobe InDesign, and PDF formats. Place an image of your proposal, preferably a rendering or an elevation, on the left side of the 18-by-24-inch sign board. Make the image as large as possible without covering any of the blue background of the board and leaving enough room for the posting notice text. Place the posting notice text provided by the city planner on the right side of the board. The posting notice text is provided in PDF format by the city planner for easy insertion/attachment the sign template; it should be inserted at its full 8.5-inch by 11-inch size. See the example image on the following page for reference.

### Materials:

Your local sign manufacturer will have a variety of options available, but for environmental reasons we recommend corrugated plastic because it can be recycled. Corrugated plastic is sold under many trade names. It is an extruded twin wall plastic-sheet product produced from high-impact polypropylene resin with a similar make-up to corrugated cardboard and is ideally suited for outdoor signage. It can be direct printed or will accept pressure sensitive adhesive graphics. The sign must be printed in color.

### Installation:

Signs may be attached to an existing building or structure, or mounted on posts, stakes, a fence, or other reasonable and sturdy structure that is fully accessible to the public.

Mounting Height:

To ensure that your sign is displayed at the correct height, the top of the sign when mounted should be no higher than 60" inches above grade and free from any obstruction. The bottom of the sign must be at least 24" above the ground.

An example image of the posting board layout is provided below:

[illegible]

# Design Advice Request

## JULIA WEST APARTMENTS

CASE FILE	EA 22-208807 DA		
WHEN	<b>Thursday, 1/19/2023 @ 1:30 PM</b> <i>(This is the hearing start time –see Commission agenda for estimated project start time.)</i>		
WHERE	<b>ONLINE: Meeting link will be listed on the agenda available at <a href="http://www.portland.gov/bds/design-commission">www.portland.gov/bds/design-commission</a></b>		
HOW	<b>TO COMMENT: Follow instructions on the Design Commission agenda <u>or</u> email the planner at <a href="mailto:tanya.paglia@portlandoregon.gov">tanya.paglia@portlandoregon.gov</a></b>		
REVIEW BY	Design Commission		
PROCESS	A <b>Design Advice Request</b> is a voluntary review process that allows the Commission to provide early feedback on a development proposal, prior to the required land use review		
PROPOSAL	DAR for Julia West, a proposed 12-story affordable housing development located on the corner of SW 13th Ave and SW Alder St in the West End Subdistrict of the Central City Plan District. The proposed approximately 59,890 SF building will have 90 units of permanent supportive housing. Amenities will include community rooms, laundry lounge, rooftop terrace, onsite supportive services, and property management. A below-grade utility/back-of-house basement is proposed.		
REVIEW APPROVAL CRITERIA	Central City Fundamental Design Guidelines		
SITE ADDRESS	522 SW 13th Ave		
ZONING/ DESIGNATION	<b>CXd</b> – Central Commercial with Design Overlay <b>Central City Plan District   West End Subdistrict</b>		
APPLICANT(S)	Maggie Harris, Holst Architecture	OWNER(S)	Mai Huynh-Carnes, Community Development Partners
QUESTIONS? BDS CONTACT	<b>Tanya Paglia, City Planner</b> <b>(503) 865-6518 / <a href="mailto:tanya.paglia@PortlandOregon.gov">tanya.paglia@PortlandOregon.gov</a></b> Bureau of Development Services, 1900 SW 4 <sup>th</sup> Ave, Suite 5000, Portland, OR 97201		

Traducción e interpretación | Chuyển Ngữ hoặc Phiên Dịch | 翻译或传译 | Turjumida ama Fasiraadda | 翻訳または通訳 | ການແປພາສາ ຫຼື ການອະທິບາຍ  
Письменный или устный перевод | Traducere sau Interpretare | 번역및통역 | الترجمة التحريرية أو الشفوية | Письмовий або усний переклад



503-823-7300



[BDS@PortlandOregon.gov](mailto:BDS@PortlandOregon.gov)



[www.PortlandOregon.gov/bds/translated](http://www.PortlandOregon.gov/bds/translated)

TTY: 503-823-6868  
Relay Service: 711



Maggie Harris | Holst Architecture  
123 NE 3<sup>rd</sup> Ave, Suite 310, Portland, OR 97232

DATE: December 29th, 2022

TO: Tanya Paglia | Tanya.Paglia@portlandoregon.gov  
Bureau of Development Services  
1900 SW Fourth Ave., Suite 5000  
Portland, Oregon 97201

## APPLICANT'S STATEMENT CERTIFYING DESIGN ADVICE REQUEST POSTING

### Case File EA 22-208807 DA

This certifies that I have posted notice on my site. I understand that the meeting with the Design Commission is scheduled for **January 19, 2023** at 1:30PM, and that I was required to post the property at least 20 days before the hearing.

The required number of poster boards, with the notices attached, were set up on December 26th, 2022 (date). These were placed adjacent to each street frontage so that they were visible to pedestrians and motorists.

I understand that this form must be returned to the Bureau of Development Services no later than January 5, 2023, 14 days before the scheduled meeting. I also understand that if I do not post the notices by December 29, 2022, or return this form by January 5, 2023, my meeting will automatically be postponed.

In addition, I understand that I may not remove the notices before the meeting, but am required to remove them within two weeks of the meeting.

**Maggie Harris**

Digitally signed by Maggie Harris  
DN: C=US, E=mharris@holstarc.com,  
CN=Maggie Harris  
Date: 2022.12.29 12:35:35-08'00'

Signature

Maggie Harris

Print Name

123 NE 3rd Ave, Suite 310

Address

Portland, OR 97232

City/State/Zip Code



1900 SW Fourth Ave., Suite 5000 Portland, OR 97201 503-823-5185  
Fax 503-823-7576 TTY 503-823-6868 [www.portlandoregon.gov/transportation](http://www.portlandoregon.gov/transportation)

Jo Ann Hardesty Commissioner Chris Warner Director

## PBOT – Development Review Design Advice Request (DAR) Response

**Date:** January 5, 2023

**To:** Maggie Harris, HOLST ARCHITECTURE  
503-348-0281, [mharris@holstarc.com](mailto:mharris@holstarc.com)

**From:** Michael Pina, PBOT Development Review  
503-823-4249, [michael.pina@portlandoregon.gov](mailto:michael.pina@portlandoregon.gov)

**Case File:** EA 22-208807

**Location:** 522 SW 13TH AVE

**R#:** R246879

**Proposal:** New Affordable Housing: ~50,000sf, 12 story, multi-family building with 90 units (mix of studios & one-beds) with associated resident services and amenities. Note: This project is subject to a Type 3 DZ but will use Footnote 2 of Table 825-1 to go through a DAR and Type II DZ.

---

The following comments are in response to the applicant's Design Advice Request, submitted December 6, 2022

### KEY ISSUES

**Window Projections:** The applicant's materials indicated a modification would be sought for a window projection and will comply with BDS' Code Guide – *Window Projections into the Public Right-of-Way*. PBOT understands that of the seven parameters, two of them - 40% of the wall's area and the width of any single projecting window element does not exceed 50% of its building wall's length – cannot be modified. The applicant's materials did not provide sufficient detail to determine whether the proposed requested Modification is supportable by PBOT. Formal plan materials will need to detail dimensional and area calculations demonstrating compliance with the Code Guide.

**Electrical Vault:** In accordance with Administrative Rule TRN 8.13, the City's standard requirement is that transformers or other building specific structures placed to power or service a building must fully reside on-site and outside of the public right of way. The applicant's plan materials indicate that a first-floor location has been identified. PBOT supports the applicant's plan to comply with the requirement to plan for power on-site.

**NW 13<sup>th</sup> Pedestrian Corridor:** Per the applicant's survey, the existing pedestrian corridor along SW 13<sup>th</sup> Ave is 14.5-ft wide, whereas 15-ft is the standard. At time of this response, the applicant has yet to decide whether to modify the building by six inches or request a Public Works Alternative to retain the existing configuration. PBOT recommends complying the City's standard pedestrian corridor configuration, as it provides the most room for street trees and other public infrastructure.

**Loading Space:** PBOT is supportive of the proposed loading space off SW 13<sup>th</sup> Ave. Per PBOT policy, if an access control mechanism (garage door) only serves loading spaces, a Driveway Design Exception (DDE) is not required.



## **Downtown Neighborhood Association**

---

Re: Julie West Building EA 22-208807

January 18, 2023

To Whom It May Concern:

The Downtown Neighborhood Association enthusiastically supports the proposed design of the Julia West Supportive Housing Development (EA 22-208807) and welcomes this addition to the neighborhood.

We support the mission to provide permanent housing to older members of the BIPOC community, and believe that inclusion of this type of housing is an enhancement to our neighborhood.

It is the consensus of the LUT that the design and architecture of the proposed building will complement existing near-by buildings through its proposed façade materials, massing, and geometric details. It also thoughtfully supports the purpose of the building taking into consideration the needs of its intended residents. The fact that the design reflects visual aspects of the Columbia Gorge is an added and much appreciated bonus.

An endorsement of the current design was unanimously passed by the LUT Committee on Jan 17<sup>th</sup>, 2023.

Sincerely,

Xavier D. Stickler

Chair, Downtown Neighborhood Association - Land Use & Transportation Committee





# City of Portland, Oregon - Bureau of Development Services

1900 SW Fourth Avenue • Portland, Oregon 97201 | 503-823-7300 | www.portland.gov/bds



## Early Assistance Application

### FOR INTAKE, STAFF USE ONLY

Date Rec \_\_\_\_\_ by \_\_\_\_\_

LU Reviews Expected \_\_\_\_\_

Related cases

Y N Unincorporated MC

Y N Potential Landslide Hazard Area (LD & PD only)

Y N 100-year Flood Plain

Y N DOGAMI (high)

File Number:

Appt Date/Time:

Qtr Sec Map(s) \_\_\_\_\_ Zoning \_\_\_\_\_

Plan District \_\_\_\_\_

Historic and/or Design District \_\_\_\_\_

Neighborhood \_\_\_\_\_

District Coalition \_\_\_\_\_

Business Assoc \_\_\_\_\_

Neighborhood within 400/1000 ft \_\_\_\_\_

**APPLICANT:** Complete all sections below. Email this application and supporting documents described below to: [LandUseIntake@portlandoregon.gov](mailto:LandUseIntake@portlandoregon.gov). Once the application is received, staff will contact you regarding payment and scheduling a date and time for your meeting.

Site Address \_\_\_\_\_ Site Size/Area \_\_\_\_\_

Property ID(s) R \_\_\_\_\_ R \_\_\_\_\_ R \_\_\_\_\_ R \_\_\_\_\_

**Short Project Description:** do not leave blank or direct to "see attached". Attach additional sheets for a more detailed description, if needed.

**Design & Historic Review** (New development: give project valuation. Renovation: give exterior alteration value) \$ \_\_\_\_\_

**Select** an Early Assistance Type and check boxes for desired meeting/written notes options:

Early Assistance Type	City Reviewers	On-line MS Teams meeting & written notes provided	No meeting, written notes provided
<input type="checkbox"/> <b>Pre-application Conference</b> Only required for Type III and IV land use reviews	BDS Land Use Services, Transportation, Environmental Services, Water, Parks, others as needed	<input type="checkbox"/>	
<input type="checkbox"/> <b>Design Advice Request</b> Public Zoom meeting with Design Commission or Historic Landmarks Commission	BDS Land Use Services and Design Commission or Historic Landmarks Commission		
<input type="checkbox"/> <b>Zoning and Infrastructure Bureaus</b> (including initial bureau responses for street vacations)	BDS Land Use Services, Transportation, Environmental Services, Water, Parks	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> <b>Zoning Only</b>	BDS Land Use Services	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> <b>Pre-Permit Zoning Plan Check</b> <input type="checkbox"/> 1-2 housing units <input type="checkbox"/> all other development	BDS Land Use Services		<input type="checkbox"/>
<input type="checkbox"/> <b>Public Works Inquiry for 1-2 housing units</b> Only for 1-2 unit projects that do not require a land use review, land division or property line adjustment	Transportation, Environmental Services, Water		<input type="checkbox"/>

---

## Applicant Information

Include a separate sheet for additional names if needed.

**PRIMARY CONTACT, check all that apply**   ☐ Applicant   ☐ Owner   ☐ Other \_\_\_\_\_  
Invite to MS Teams Meeting?: ☐ Yes ☐ No

Name \_\_\_\_\_ Company \_\_\_\_\_

Mailing Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_

Day Phone \_\_\_\_\_ email \_\_\_\_\_

---

**Check all that apply**   ☐ Applicant   ☐ Owner   ☐ Other \_\_\_\_\_  
Invite to MS Teams Meeting?: ☐ Yes ☐ No

Name \_\_\_\_\_ Company \_\_\_\_\_

Mailing Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_

Day Phone \_\_\_\_\_ email \_\_\_\_\_

---

**Check all that apply**   ☐ Applicant   ☐ Owner   ☐ Other \_\_\_\_\_  
Invite to MS Teams Meeting?: ☐ Yes ☐ No

Name \_\_\_\_\_ Company \_\_\_\_\_

Mailing Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_

Day Phone \_\_\_\_\_ email \_\_\_\_\_

---

### Please submit the following materials to [LandUseIntake@portlandoregon.gov](mailto:LandUseIntake@portlandoregon.gov):

- ☐ Written project description, including proposed stormwater disposal system and additional property IDs if not included above.
- ☐ List of questions to be discussed.
- ☐ Site plans drawn to a measurable scale, with scale and scale bar identified and building elevations drawn to a measurable scale (if appropriate), with scale and scale bar identified.
- ☐ If the site is in a design overlay and you're planning to meet design standards, completed scorecards are required. Scorecards are available at <https://www.portland.gov/bds/land-use-review-fees-and-types/design-standards>.

### Note:

1. See the Land Use Services fee schedule for detailed fee information: [www.portland.gov/bds/current-fee-schedules](http://www.portland.gov/bds/current-fee-schedules).
2. Public notice (email and internet posting) is provided for Pre-application conferences and Design Advice Requests.
3. Only material submitted with the original application will be addressed by City staff; we are unable to address any additional material that is submitted after the application is received.
4. For some proposals, such as those using the Community Design Standards, you will receive more detailed information if you provide full-sized plans.
5. Estimates for System Development Charges (SDCs) are not provided at Early Assistance Meetings. Refer to SDC information on the BDS website.
6. Plans examiners do not participate in Early Assistance meetings and they do not provide written comments. For life/safety and building code questions, consult with a plans examiner by scheduling a 15-minute appointment or a Life Safety Preliminary Meeting ([www.portland.gov/bds/documents/life-safety-preliminary-meeting-request-packet](http://www.portland.gov/bds/documents/life-safety-preliminary-meeting-request-packet)).

H O L S T

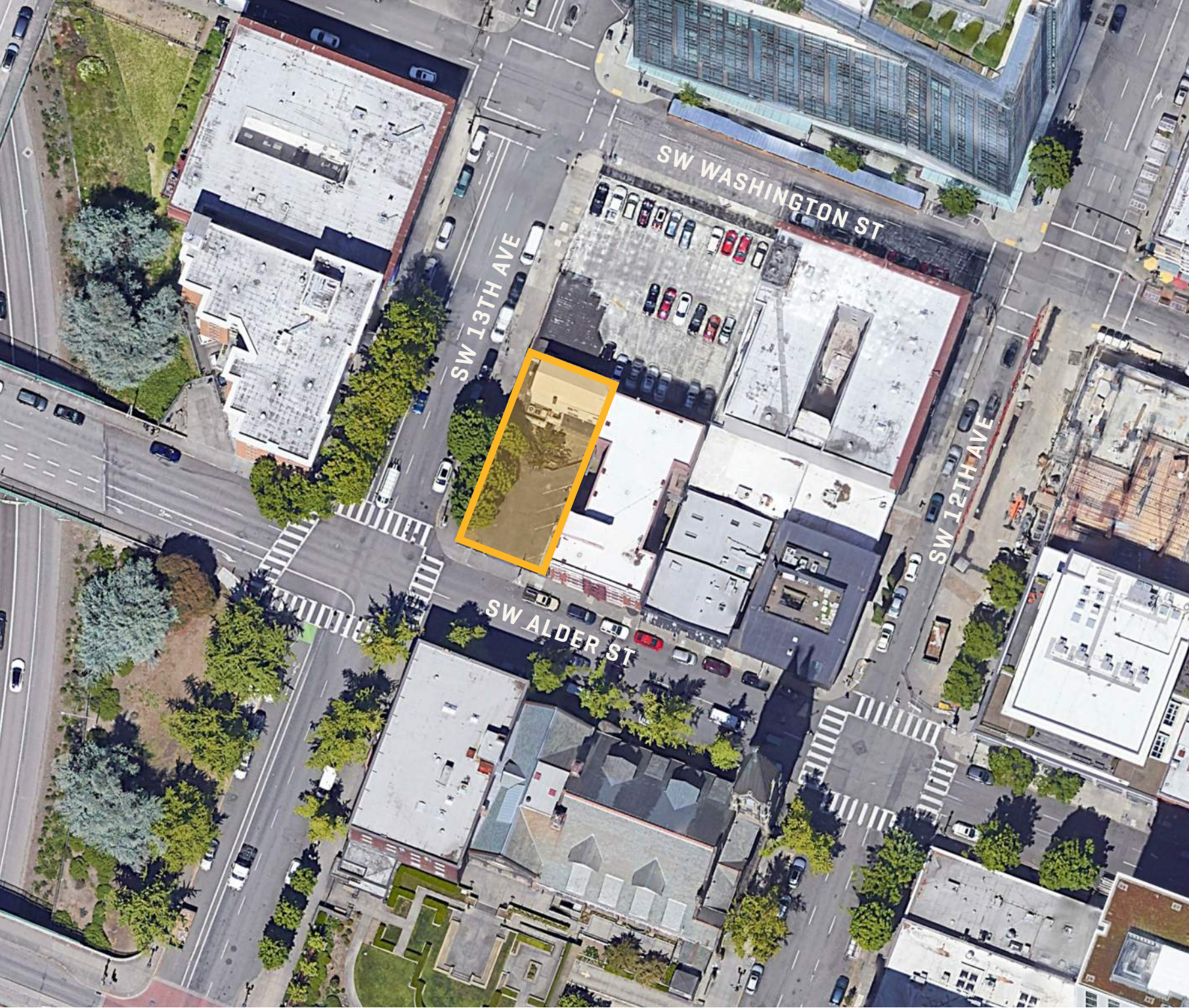
05 December 2022

HOLST ARCHITECTURE  
Julia West

PORTLAND, OR

*Design Advice Request*





## SHEET INDEX

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# PROJECT DESCRIPTION

## TEAM INFO

### APPLICANT

HOLST ARCHITECTURE  
123 NE 3rd Ave Suite 310, Portland, OR 97232  
[503] 233-9856  
Contact: Maggie Harris  
mharris@holstarc.com

## DEVELOPMENT PROGRAM

### PROPOSAL

The proposed building is a 12-story [with 1 below-grade utility/BOH basement] structure of approximately 59,890 square feet with 90 units, 60 studios and 30 1-bedrooms, of permanent supportive housing. Amenities will include community rooms, laundry lounge, rooftop terrace, on-site supportive services, and property management.



# ZONING SUMMARY

522 SW 13TH AVE, PORTLAND, OR 97205

## ZONING ANALYSIS

BASE ZONE: CX

OVERLAYS: DESIGN OVERLAY ZONE

PLAN DISTRICT: CC - CENTRAL CITY

ALLOWABLE USES: OFFICE, RETAIL, RESIDENTIAL, COMMERCIAL, GROUP LIVING, COMMUNITY SERVICE.

GROUND FLOOR ACTIVE USE: YES

MAX FAR: 8:1

BONUS FAR: 3:1 [11:1 TOTAL]

MAX HEIGHT: 150 FT

BONUS HEIGHT: 175 FT [325 FT TOTAL]

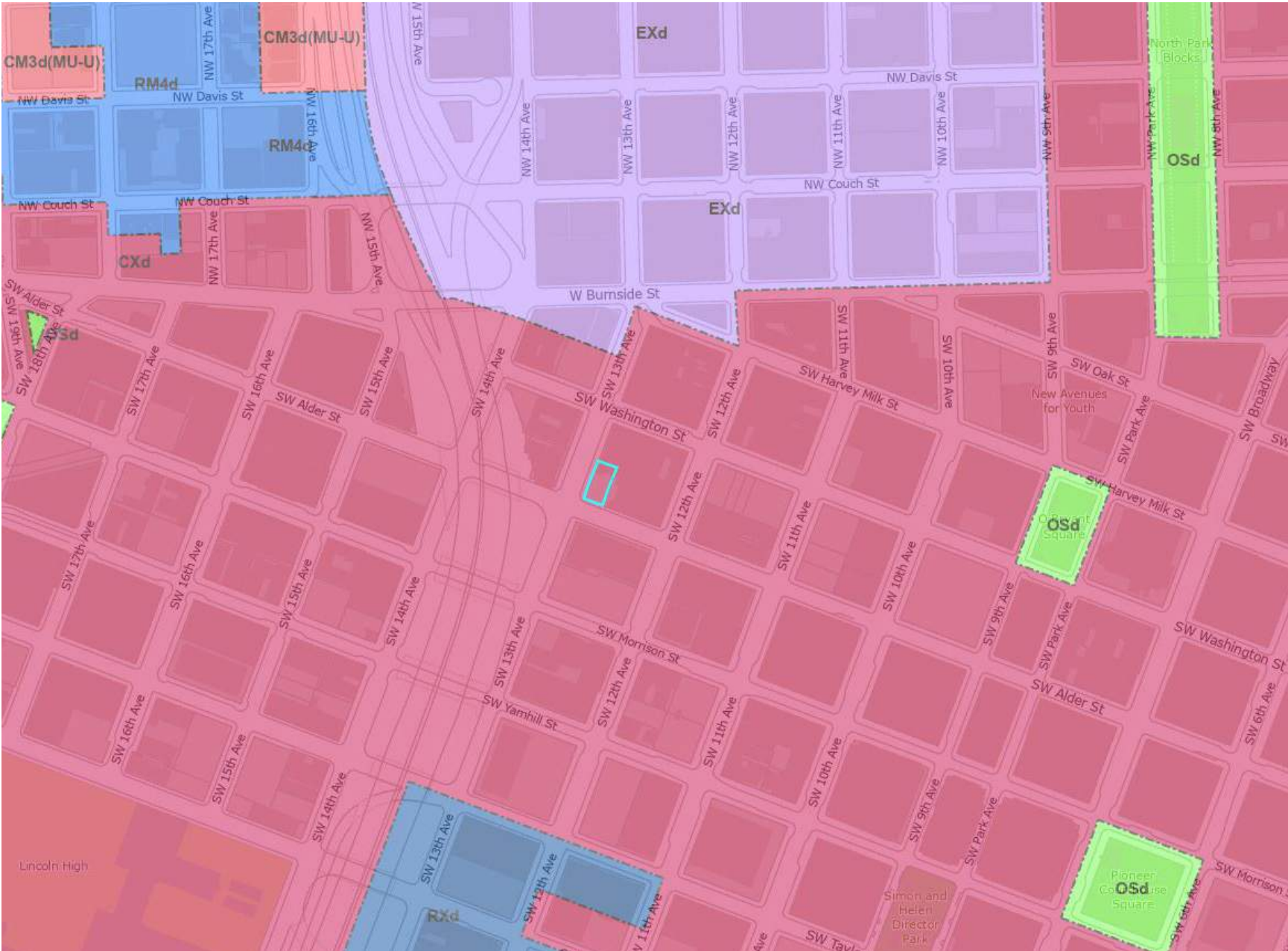
BLDG SETBACKS: NONE

MAX BUILDING SITE COVERAGE: 100%

MIN LANDSCAPED SITE AREA: NONE

MIN/MAX PARKING: 0 [PER 33.266.110.D.1]

GROUND FLOOR WINDOW STANDARDS APPLY



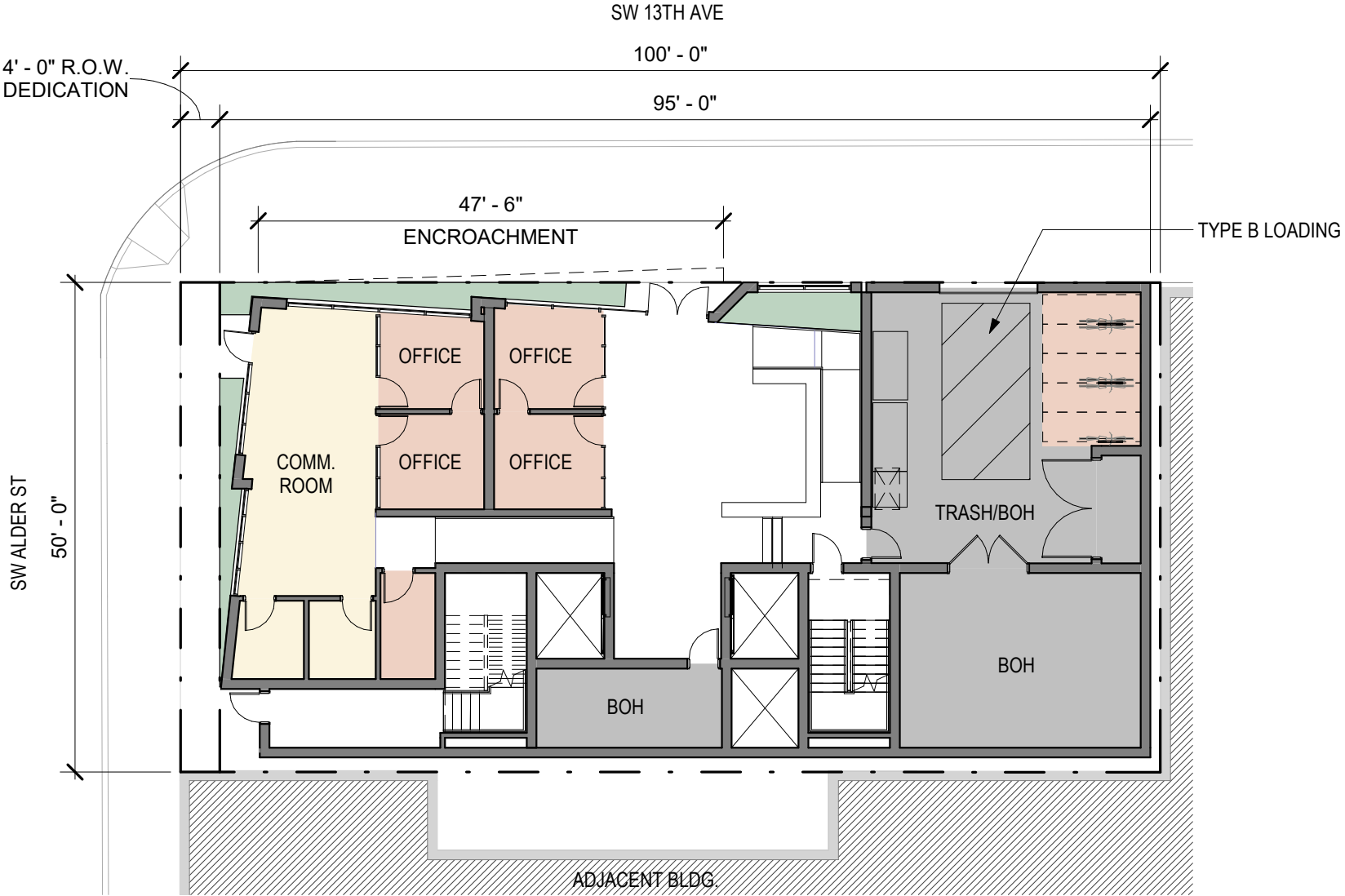


# PROPOSED SITE PLAN

522 SW 13TH AVE, PORTLAND, OR 97205

ANTICIPATED MODIFICATIONS/ADJUSTMENTS: ONE

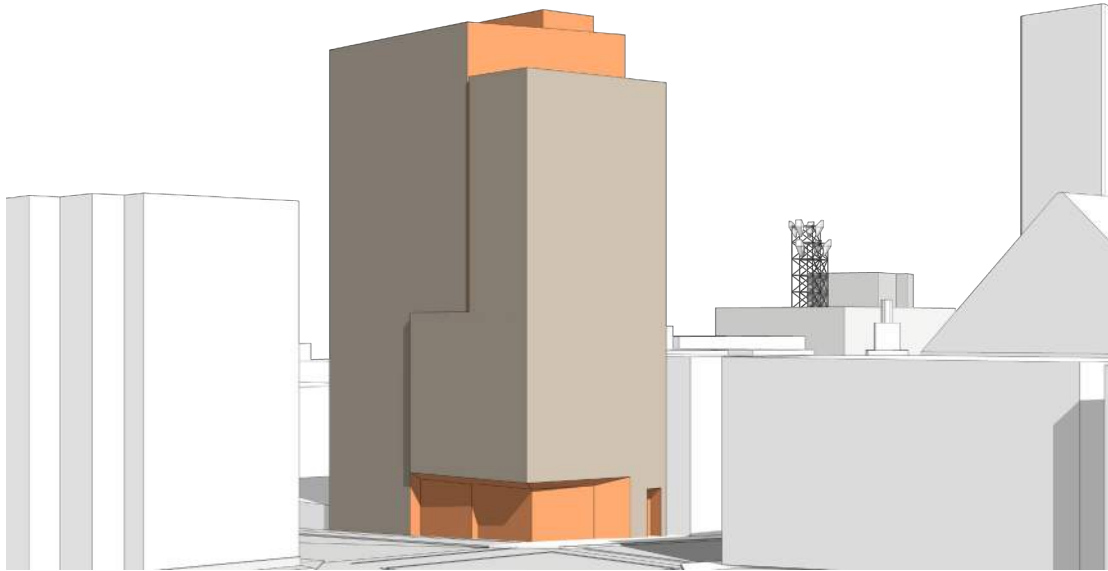
This proposal includes projecting windows into the public right-of-way, shown with a dashed line on the site plan. This plan adheres to the requirements published by the City of Portland titled 'Window Projections Into Public Right-of-Way OSSC/32/#1.



PROJECT IMAGES



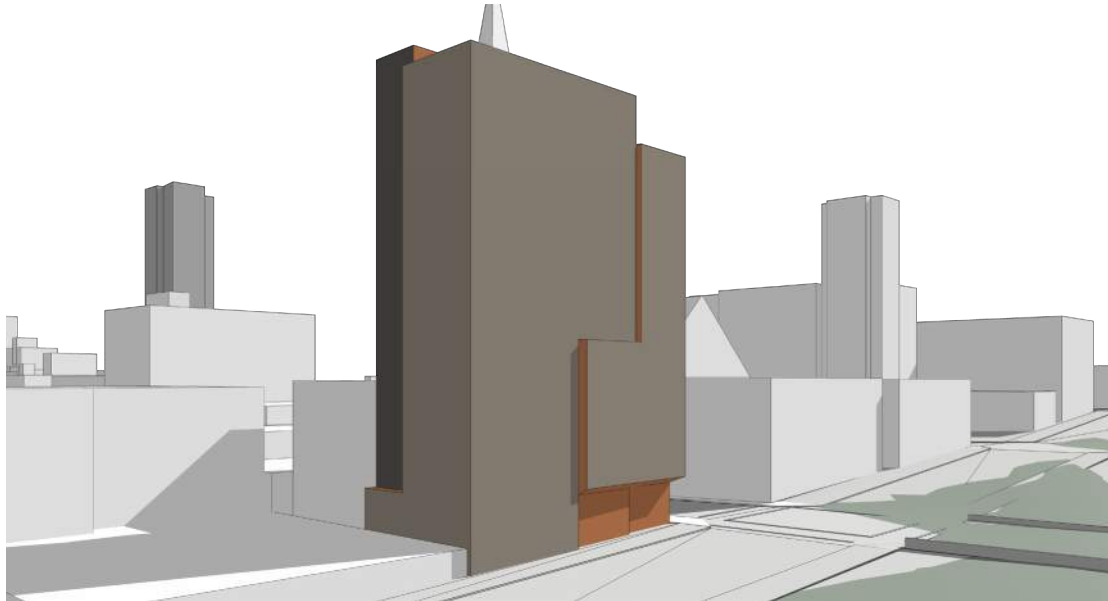
Proposed building aerial massing viewed from SW



Proposed building massing viewed from SW looking NE



Proposed building aerial massing viewed from NW



Proposed building massing viewed from NW looking SE

H O L S T

THANK YOU





**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
**FROM CONCEPT TO CONSTRUCTION**

Dan Ryan, Commissioner  
Rebecca Esau, Director  
Phone: (503) 823-7300  
Fax: (503) 823-5630  
TTY: (503) 823-6868  
[www.portland.gov/bds](http://www.portland.gov/bds)

BDS – Early Assistance Summary Memo

**Date:** December 5, 2022

**To:** MAGGIE HARRIS, HOLST ARCHITECTURE  
123 NE 3RD AVE, SUITE 310  
PORTLAND, OR 97232

FIRST PRESBYTERIAN CHURCH  
1200 SW ALDER ST  
PORTLAND, OR 97205-2298

**From:** Chester Green, Office Support Specialist III

**Case File:** **EA 22-191887**  
Early Assistance Application for Project Site Located at 522 SW 13TH AVE, R246879

Please find attached project specific comments related to your Early Assistance application for the property identified above.

This Early Assistance Summary is neither a land use review nor a final decision regarding the proposed project. The information has not been supplemented or independently verified. Additionally, no site visit was conducted, notice was not provided to neighbors, and a full plan check of applicable development standards was not completed.

If you have questions about comments included in the attached memo(s), please contact the representative identified in the memo. Please note that these comments are based on the information submitted at the time of application. If you have questions regarding the proposal beyond those covered in this summary report, or if your proposal changes in scope or configuration and you have additional questions, an additional early assistance application and review must be requested in order to get responses.

**Upcoming Legislative Changes**

Following is a list of upcoming legislative Bureau of Planning and Sustainability projects that propose to amend the Zoning Code, Tree Code, and/or Zoning Maps. Your project will be reviewed under the code in effect at the time of submittal of building permit or land use review. The notes are addressing the code in effect at the time of your early assistance application, and that code may change between the time of your early assistance application and submittal of a permit or land use review. It is recommended that you review these code projects to determine impacts on your proposal.

- **E-zones Map Correction Project** is correcting the maps of conservation and protection overlay zones (e-zones) to better align with existing rivers, streams, wetlands, flood area, vegetation, steep slopes, and wildlife habitat. Minor code amendments are also proposed. Information about the project can be viewed at [Ezones Map Correction Project | Portland.gov](#). The project will have hearings before the City Council in Spring 2022 with an expected effective date of October 1, 2022. Electric Vehicle (EV) Ready Code Project is establishing requirements for Electric Vehicle (EV) charging infrastructure requirements for new multi-dwelling and mixed use development. Information about the project can

be viewed at [Electric Vehicle \(EV\) Ready Code Project | Portland.gov](#). The project will have hearings before the Planning & Sustainability Commission in Summer 2022.

- **Floodplain Resilience Plan** is updating regulations in the Zoning Code and Title 24 related to development and vegetation removal in the floodplain and areas flooded in 1996. Information about the project can be viewed at [Floodplain Resilience Plan | Portland.gov](#). The project is expected to have hearings before the Planning & Sustainability Commission in Summer 2022.

### **Building Codes**

Please note that the comments provided herein do not address building and mechanical code related issues per the Oregon Residential, Structural, and Mechanical Specialty Codes. These codes may have an impact on your proposed design, especially with regard to exterior openings or projections that are close to property lines not along a public right of way. For early assistance with building code related items, you may request a separate Life Safety Preliminary Meeting. Additional information is included in the request packet located online at <https://www.portlandoregon.gov/bds/article/94545>. Please be aware of which Oregon Residential, Structural and Mechanical Specialty Codes will be in effect at the time of your building permit submittal. More information about current and future code adoption can be found here: <https://www.oregon.gov/bcd/codes-stand/Pages/index.aspx>

### **Portland Housing Bureau Financial Incentives**

The Portland Housing Bureau provides financial assistance for various development phases to both nonprofit and for-profit affordable housing developers (typically multi-dwelling rental housing). For more information, go to the following link: [portland.gov/phb/inclusionary-housing](http://portland.gov/phb/inclusionary-housing).

### **Tree Requirements**

For more information on Urban Forestry Tree Requirements please use the following link: [www.portlandoregon.gov/trees/earlyassistance](http://www.portlandoregon.gov/trees/earlyassistance). These requirements refer to any early assistance meetings or land use reviews that will involve street trees, heritage trees, and trees on City-owned or City-managed sites.



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
FROM CONCEPT TO CONSTRUCTION

Dan Ryan, Commissioner  
Rebecca Esau, Director  
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Fax: (503) 823-5630  
TTY: (503) 823-6868  
[www.portland.gov/bds](http://www.portland.gov/bds)

## BDS – Early Assistance Land Use Planner Response

**Date:** December 2, 2022

**To:** Maggie Harris | Holst Architecture  
123 NE 3<sup>rd</sup> Ave, Suite 310 | Portland, OR 97232

**From:** Tanya Paglia, City Planner  
503-865-6518, [Tanya.Paglia@portlandoregon.gov](mailto:Tanya.Paglia@portlandoregon.gov)

**Case File:** EA 22-191887

**Location:** 522 SW 13TH AVE

**Property ID:** R246879

**Proposal:** New Affordable Housing: ~50,000sf, 12 story, multi-family building with 90 units (mix of studios & one-beds) with associated resident services and amenities. Stormwater to be managed on site per the current BES Stormwater Management Manual. (This project is subject to a Type 3 DZ, but will use Footnote 2 of Table 825-1 to go through a DAR and Type II instead.)

### Limitation

This letter serves as a summary of the information we discussed at the Early Assistance appointment on November 1, 2022, and is intended to highlight preliminary requirements and next steps. This summary is advisory and preliminary in nature, and is neither a complete land use review nor a final decision regarding the project. This summary is based on the preliminary information you provided BDS staff. I have not supplemented or independently verified this information. Additionally, no site visit was conducted, notice was not provided to neighbors, and a full plan check of applicable development standards was not completed. Any future land use review application for your proposed project must include the necessary plans, elevations, detail drawings, a narrative addressing the approval criteria, and fees.

The information provided at your appointment was based on the current Zoning Code. It is possible that the code could change before you apply and those changes could affect your proposal. Your land use review application will be reviewed based on the Zoning Code in effect when you submit your application.

### Zoning:

- **Base:** CXd, Central Commercial base zone (33.130 Commercial Mixed Use Zone) with Design Overlay
- **Overlay(s):** Design Overlay Zone (33.420)
- **Plan District:** Central City Plan District, Central Eastside Subdistrict (33.510)
- **Pattern Area:** Inner
- **Pedestrian District:** Central City Pedestrian District
- **Streets:** Adjacent streets are classified as follows:
  - SW 13<sup>th</sup> Ave is classified as a Major City Walkway in Ped Dist, City Bikeway, Neighborhood Main Street Street Design, Local Service Transit Street, Traffic Access St, Local Service Freight Street, Minor Emergency Response.



- SW Alder St is classified as a Major City Bikeway, Major City Walkway in Ped Dist, Neighborhood Main Street Street Design, Transit Access, Local Service Traffic, Local Service Freight, Minor Emergency Response.
- **Transit:** Considered “close to transit”
- **Corridors:** Not considered a Civic or Neighborhood Corridor
- **Neighborhood Plan:** Downtown Community Residential Plan
- **Historic Designation:** Unranked HRI Resource on the site

## A. KEY ISSUES AND REQUIREMENTS

The following issues and requirements have been summarized for the applicant to pay special attention to as they may impact the proposed project.

### 1. Design Overlay Review Options

- a. **Design Standards Track.** The proposal is not eligible to use the non-discretionary design standards track based on the thresholds in Section 33.420.050.
- b. **Design Review Track.** If not using design standards, a Type III Design Review will be required per Table 825-1 of Section 33.825.025. Additional information about Design Review can be found below in the sections below, including Design Review submittal requirements in Section D.
  - Please also note that affordable housing projects subject to a Type III Design Review procedure may choose a Type II Design Review procedure if at least 50% of the total number of dwelling units on the site are affordable to those earning no more than 60% of the area median income for 30 years or an affordability level established by Title 30. In addition, this option is only available for projects receiving funds, or a commitment of funds, from a government agency, as indicated in Title 30. Privately funded affordable projects cannot utilize this option.
  - If a Type II procedure is chosen, the applicant must provide a letter from the funding agency certifying that the development meets the affordability requirement and any administrative requirements of the Portland Housing Bureau, and a Design Advice Request is required (see Section 33.730.050.B). The application for Design Review may not be submitted before the required Design Advice Request is held. Information on the certification process can be found at [portland.gov/phb/development-incentive-programs/other-programs#toc-certification-program-design-review-certification-process-for-affordable-housing](http://portland.gov/phb/development-incentive-programs/other-programs#toc-certification-program-design-review-certification-process-for-affordable-housing).
  - To request a certification letter from the Portland Housing Bureau, please email Rachel Stein at [Rachel.Stein@portlandoregon.gov](mailto:Rachel.Stein@portlandoregon.gov) or go to [portland.gov/phb/certification-program](http://portland.gov/phb/certification-program) to initiate the process.
  - If a Type III procedure is chosen, a Pre-Application Conference must be held before the Type III Design Review application may be submitted.
- c. **Neighborhood Contact Requirement (33.420.030).** For proposals in the Design Overlay Zone that will add at least 10,000 square feet of net building area to a site, the neighborhood contact steps of 33.705.020.C., Neighborhood Contact III, are required. This requirement must be completed 14 days before submitting a Design Review application (or building permit for projects utilizing the Design Standards). Additional information on the requirements of Neighborhood Contact III requirements at [portland.gov/bds/neighborhood-contact](http://portland.gov/bds/neighborhood-contact). A timeline of the process is available at <https://www.portland.gov/sites/default/files/2022/Neighborhood%20Contact%203%20Timeline%202022.04.pdf>

### 2. Design Review and Other Land Use Review Processes

- a. **Design Review Approval Criteria.** The applicable approval criteria are the Central City Fundamental Design Guidelines and can be found at [portlandoregon.gov/designguidelines](http://portlandoregon.gov/designguidelines).

**b. Additional Land Use Reviews.** Additional land use reviews can be requested in addition to the Design Review. The development standards of the Zoning Code are expected to be met. However, if a standard cannot be met, a *Modification* or *Adjustment* review can be requested. Please note, requests for Modifications or Adjustments must mitigate **and** better meet the purpose of the standard and applicable Design Guidelines.

- A **Modification** review may be requested for site-related standards (such as setbacks, size of loading spaces) that are not met.
- An **Adjustment** review may be requested as part of the design review for use-related development standards (such as floor area ratios, number of loading spaces, number of parking spaces) that are not met.

All additional land use reviews should be listed on the land use application, the respective fees paid, and a response provided that addresses the additional approval criteria listed in the relevant Portland Zoning Code Chapters.

**c. Other Approval Criteria.** May apply if Modifications (Section [33.825.040](#)) or Adjustments (Section [33.805.040](#)) to development standards are requested.

**d. Fee(s).** Current fee(s) for land use reviews can be found at [Land Use Services Fee Schedule](#).

**e. Design Advice Request Recommended (Required for Type II).** A Design Advice Request (DAR) is recommended before the Design Commission and is required if pursuing a Type II review procedure. The items noted in Section 3 below would be potential topics of discussion at the DAR meeting. Please refer to the DAR Information *Sheet* for process details and submittal requirements at [portland.gov/bds/zoning-land-use/documents/design-advice-request-information-sheet](http://portland.gov/bds/zoning-land-use/documents/design-advice-request-information-sheet).

**f. 2022 Guide to Design Review.** You are encouraged to review the Guide to the Design Review Process prepared by the Design Commission, which provides guidance and expectations of the Design Review process. This guide was adopted by the Design Commission in January 2022. The guide can be found at [https://www.portland.gov/sites/default/files/2022/2022-dz-guide-to-design-review\\_2.pdf](https://www.portland.gov/sites/default/files/2022/2022-dz-guide-to-design-review_2.pdf).

**g. Certificate of Compliance.** Approval of a Design Review allows for the proposed work to be built. The expectation is that the building permit will reflect the project (including the details) that was approved. To ensure this, a Certificate of Compliance will be required at the time of building permit as indicated in a condition of approval. The Certificate of Compliance form can be found at [portland.gov/bds/documents/certificate-compliance-design-and-historic-resource-review-approvals](http://portland.gov/bds/documents/certificate-compliance-design-and-historic-resource-review-approvals).

### 3. Design Review Issues to Address

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This preliminary feedback is a response to the information in your Early Assistance submittal and based on the approval criteria of the Central City Fundamental Design Guidelines (CCFDG).

#### a. Context

- Emerging and long-term context. Note the emerging as well as long-term context, such as the landmark church across the street, of the neighborhood and provide a study in the Design Review submittal. The site is also a gateway location for people entering the West End from the west. (CCFDG A2, A4, A5, A9, C4, C6)
- Scale. The height and massing are appropriate for the area context. (CCFDG A3, C4)
- Materials: With the Design Review submittal, please provide a context study that shows how the proposed design's materiality works within the neighborhood design language. (CCFDG A4, C4)
- Non-street facing facades. Consider the north, and east façades to be highly visible elevations given the height of the proposed building and the scale of the existing surrounding development. Vantage points from the pedestrian realm will allow views of the

non-street facing facades. Large blank façade areas should be avoided. Consider how to break up the mass with windows, and details/materials if the walls are at the property lines. Quality of material should be considered at these facades. (CCFDG A5, A8, C1, C6)

- Outdoor residential spaces. Outdoor residential spaces are really important to people living in this urban context, thus balconies, decks and terraces are highly encouraged, and the rooftop deck is appreciated and expected in the guidelines. (CCFDG A8, C1, C6)
- Tall Ground Floor. A tall ground floor ground floor is appropriate for the large scale of the building and is common in the area. (CCFDG A4, C4, C6, C7, C8)

#### **b. Public Realm**

- Ground Floor Activation - Maximize the ground floor glazing and active uses behind it, especially on corners. While activation of SW Alder St via the large community room is excellent, more active space is needed on SW 13<sup>th</sup> Ave. Given the minimal size of the site, amount of program proposed, and specific downtown location, this issue will be of the utmost importance during the Design Review. It will be critical to understand, EARLY in the DAR process, all necessary back-of-house functions and to be creative with sizing and locating them off the street façade; this early work will ensure we activate the streets and provide a safe place at the street that welcomes the residents to their home. (CCFDG A8)
- Ground level weather protection - Pedestrian weather protection is expected. This can be achieved with generous canopies that project out over the sidewalk or ground level setbacks for at least a majority of all street frontages (CCFDG B6).
- Utility Transformers - Please note new requirements in Section 5.a. below, Electric Utility Provider Coordination (CCFDG A8). If new utility transformers are needed, they may be located on-site as follows:
  - Within the building behind active uses or behind loading area, or
  - In underground parking garages, or
  - Underground below open space if the lid and associated no-build zone are integrated with the landscape design.

Note: Given the large size of the building and the minimal size of the site, conversations with BDS DZ planner, PBOT and PGE need to begin immediately to fully explore a ROW solution. Please pay close attention to the "Plan for Power" notes later in this document.

- Gas & Electric Meters. Locate gas and electric meters inside the building to minimize their impact. Gas regulators may be placed on the building's exterior and should be well integrated and, ideally, screened within the façade. (CCFDG B2, C5)
- Signs - Signs should be sized appropriately for the building, the district and the pedestrian realm and should incorporate district-appropriate materials. (CCFDG A8, C4, C5, C8, C13)

#### **c. Quality & Permanence**

- Ground level materials. Materials at the ground floor should be durable enough for use adjacent to public sidewalks, such as brick and masonry. (CCFDG C2)
- Building materials. High quality, durable building materials (building skin, storefronts, windows, doors, canopies, signs, etc.), that respond to the context of the surrounding area or district, are expected. At ground level facades facing pedestrian areas, provide robust materials that ensure longevity. (CCFDG C2, C4)
- Vents/Louvers & Mechanical - Vents through the roof are preferable. If wall-mounted on the facade, vents/louvers should be integrated into the window openings. The Code Guide specific to the screening of dryer vents can be found at [portlandoregon.gov/bds/article/726141](http://portlandoregon.gov/bds/article/726141). Associated mechanical units should be organized and screened (CCFDG B2, C5, C11).



- Exterior Lighting - Exterior lighting should be integrated into the building's overall concept and ensure a safe pedestrian condition along the adjacent sidewalk and within open spaces on the site. Exterior lighting can be used to highlight the building's architecture, however, should not impact the skyline at night (CCFDG B2, C4, C5, C8, C11).

#### 4. Applicable Development Standards

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Please note, meeting the minimum Title 33 standards does **not** ensure that a project will meet the Design Review approval criteria and receive approval. It is recommended you design to meet/exceed the approval criteria, and not begin with just meeting the minimum Title 33 standards.

**a. Development standards that will apply to the project.** These include, but are not necessarily limited to, those from the following chapters in the Zoning Code (Title 33) and other City codes available online at [portland.gov/code/33](http://portland.gov/code/33).

- 33.825 Design Review
- 33.510 Central City Plan District, West End Sub District - development standards in the plan district may supersede those in the base zone and chapters below.
- 33.420 Design Overlay Zone
- 33.266 Parking and Loading
- 33.258 Nonconforming Upgrades - interior or exterior improvements to a site totaling more than \$330,800 requires up to 10% of the project cost must be spent toward bringing the site into conformance with identified zoning code standards. The Relief and Recovery ordinance adopted by Council in July 2021 waives this requirement for the following projects until March 23, 2023:
  - Daycare uses
  - Affordable housing projects when 50% of dwelling units are under 60% median family income or as defined by Title 30
  - Community Service uses
  - Retail Sales and Services uses with a valuation of under \$1,000,000
- 33.248 Landscaping and Screening
- 33.245 Inclusionary Housing - applies to new development with 20 or more dwelling units.
- 33.130 Commercial Zone CXd, Central Commercial base zone with Design Overlay
- Title 32 Sign Code – signs over 32 SF in size in the Design Overlay zone require Design Review.
- Title 11 Tree Code – Exemptions for tree density and preservation of this Title only apply to private trees on properties zoned IH, on sites with more than 85% building coverage, and sites less than 5,000 SF in area.

**b. Specific Development Standards to note for this project.** This list is not intended to be comprehensive. Always reference Title 33 for all applicable development standards and the exact language of each standard.

- Floor Area Ratio (FAR). The site is located in the Central City plan district and FAR limits for the plan district supersede the base zone.
  - For this site, the maximum FAR without bonus or transfer is 8:1 (33.510.200 / Map 510-2). Maximum FAR can be increased on a site if FAR is transferred or earned through a bonus as allowed by 33.510.205, Floor Area Bonus and Transfer Options.
  - Per 33.510.200.D.1 the maximum amount of FAR that can be earned on a site through use of bonus options is 3 to 1.
  - Per 33.510.205.B.1 the first 3:1 of any increase in FAR must be earned or gained through Inclusionary Housing
  - There is no limit on the amount of FAR that can be transferred to a site.
  - The minimum FAR for this site is 2:1.

- Floor area is measured to the exterior faces of a building. Floor area does not include areas where the floor elevation is 4 feet or more below the lowest elevation of an adjacent right-of-way, rooftop parking, and roofed porches or balconies unless they are enclosed by walls more than 42 inches in height for more than 75 percent of their perimeter. Floor area does not include areas devoted to structured parking or long-term bicycle parking (not located in-unit), up to a maximum FAR of 0.5 to 1, and floor area for indoor common areas used to meet 33.130.228.
- Height.
  - Per Map 510-3 (Map 3 of 3), the maximum base height is 150'.
  - Per Map 510-4 (Map 3 of 3), the maximum bonus height is 325'.
  - When any portion of a building is within 20 feet of a street lot line, the height of the building is measured is the highest elevation of the sidewalk area located adjacent to the site within 25 feet of the building if the highest elevation within the sidewalk area is not more than 10 feet above the lowest elevation within the area. OR height is measured from a point 10 feet above the lowest elevation of the sidewalk area located adjacent to the site within 25 feet of the building if the highest elevation within the sidewalk area is more than 10 feet higher than the lowest elevation within the area.
- Required Building Lines – 33.510.215.B.1.
  - New development and major remodels in the RX, CX and EX zones must meet one of the following standards:
    - a. The building must extend to the street lot line along at least 75 percent of the lot line; or
    - b. The building must extend to within 12 feet of the street lot line along at least 75 percent of the length of the street lot line. The space between the building and the street lot line must be designed as an extension of the sidewalk and
  - Exterior walls of buildings designed to meet the requirements of this Paragraph must be at least 15 feet high measured from the finished sidewalk at the building's edge
- Ground Floor Windows – 33.510.220. In the CX zone, the ground floor windows standards of 33.510.220 apply.
  - Ground level facades that face a street lot line, sidewalk, plaza, or other publicly accessible open area or right-of-way must have windows that cover at least 40 percent of the ground level wall area.
  - For the purposes of this standard, ground level wall area includes all exterior wall area from 2 feet to 10 feet above the finished grade.
  - To meet the standards, ground floor windows must be windows that allow views into work areas or lobbies, or be windows in pedestrian entrances. Windows into storage areas, vehicle parking areas, garbage and recycling areas, mechanical and utility areas and display cases attached to outside walls do not qualify. Windows into bicycle parking areas are allowed to qualify for up to 25 percent of the ground floor windows coverage requirement.
  - The bottom of the windows of nonresidential spaces must be no more than 4 feet above the finished grade:
- Bird-Safe Exterior Glazing – 33.510.223.
  - For new buildings, the standards apply per façade when the façade has 30 percent or more glazing within the first 60 feet measured from the grade adjacent to the façade.

The standards also apply to glazing located directly adjacent to an ecoroof, roof garden, or other vegetated or landscaped roof area.

- At least 90 percent of the windows and glazing on the following portions of each façade must choose treatment patterns and application techniques from the Portland Bird Safe Windows List:
  1. Windows and glazing, including glazed balcony railings, located within the first 60 feet of the building measured from the grade adjacent to the facade;
  2. Windows and glazing located within the first 15 feet of the building above an adjacent ecoroof, roof garden, or other vegetated or landscaped roof area; and
  3. The glazed portions of sky bridges or fences.
- Ground Floor Active uses – 33.510.225. The ground floor active use standards apply to new development and major remodels on sites with frontage on a street shown on Map 510-9. Both Alder and 13th are designated for required ground floor active uses. Per 33.510.225.C, Ground floor active use standards:
  1. Dwelling units are prohibited on the ground floor.
  2. Buildings must be designed and constructed to accommodate uses such as those listed in Subsection A. Areas designed to accommodate these uses must be developed at the time of construction. This standard must be met along at least 50 percent of the ground floor of walls that front onto a sidewalk, plaza, or other public open space.

Areas designed to accommodate active uses must meet the following standards:

  - a. The distance from the finished floor to the bottom of the structure above must be at least 12 feet. The bottom of the structure above includes supporting beams;
  - b. The area must be at least 25 feet deep, measured from the street-facing facade; c. The area may be designed to accommodate a single tenant or multiple tenants. In either case, the area must meet the standards of the Accessibility Chapter of the State of Oregon Structural Specialty Code. This code is administered by BDS; and d. The street-facing facade must include windows and doors.
- Street-Facing Windows – 33.130.230.A. At least 15 percent of the total square foot area of building facades that face a street lot line must be windows or main entrance doors. Windows used to meet this standard must allow views from the building to the street. Glass block does not meet this standard.
- Ecoroofs – 33.510.243. In the CX zone, new buildings with a net building area of 20,000 square feet or more must have an ecoroof that meets the standards of 33.510.243.B.1 and 2.
- Low Carbon Buildings – 33.510.244. New development with a net building area of at least 50,000 square feet, must provide a letter from the Bureau of Planning and Sustainability that verifies that the project has registered for a green building certification program, approved by the Bureau of Planning and Sustainability, and has prepared a preliminary description of how the building can achieve the certification.

## 5. Coordination with Other Agencies

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Refer to individual responses from all participating bureaus, review groups and agencies for more detailed information.



### a. Electric Utility Provider Coordination

- Utility Transformers – Plan for Power (new change for 7/1/22). Utility transformers should be located on-site, behind active use street frontage, behind at-grade loading docks, or in underground parking garages. Please consult with the Case Planner assigned to this Early Assistance appointment and coordinate with the utility providing electrical service to determine power needs, transformer sizing and transformer location. Please note this document [Guidance to Siting Electrical Transformers](#) and the below [Path to Siting Electrical Transformers](#).

If an agreement is made with the Land Use Case Planner, and a written acknowledgement from the Utility Provider is provided per the steps below, a transformer can be located in the ROW. Please note, [PBOT has a Design Exception Request per TRN 8.13](#) process for locating private use utility vaults in the public right-of-way, known as Utility Vault Exclusive Use for Development (UVE). Additional information can be found at [portland.gov/transportation/development/utility-vault-permitting-and-leasing-development](http://portland.gov/transportation/development/utility-vault-permitting-and-leasing-development).

Path to Siting Electric Transformers Note: It is highly likely this project will fall under 3.a. below. Please stay in touch early and often with the DZ planner during the DA (and LU if necessary) to locate the transformer appropriately to meet the various needs of various agencies.

1. Planner communicates the following to applicant:
    - a. Plan for power on-site: contact your power company to understand your power needs (see contacts further below). Specifically, the size of the utility provider's transformer and electrical room.
    - b. Identify your ground floor activation requirements (Zoning Code/land use approval criteria)
  2. If planner finds no Code or Design/Historic Resource Review issues with the proposed location for a transformer on site, transformer is located on site.
  3. If planner finds Code or Design/Historic Resource Review regulations not met with the proposed location[s] for a transformer on site:
    - a. Applicant works with power provider to identify other suitable locations on private property. If unsuccessful, applicant follows 'initial submittal' guidelines in TRN 8.13, co-signed by utility, to request locating transformer in a vault in the ROW (and city staff and applicant can get started on locating the vault to maximize trees and allow for utility needs); or
    - b. Applicant can pursue further discussion to study design solutions in a Design Advice Request or additional Early Assistance meetings to allow transformer on site.
      - If a solution is found, transformer is located on site.
      - If no solutions, follow step 3.a above.
- For properties served by PGE - [portlandgeneral.com/construction/electric-service-requirements](http://portlandgeneral.com/construction/electric-service-requirements)
  - For properties served by Pacific Power - [pacificpower.net/working-with-us/builders-contractors/electric-service-requirements.html](http://pacificpower.net/working-with-us/builders-contractors/electric-service-requirements.html)
  - Note that the service requirements included in these links may not cover all requirements associated with your project. Applicants should contact the PGE Service Coordinator at 503-736-5450 or the Pacific Power Business Center at 888-221-7070 to identify issues that are specific to your project and to coordinate electric service requirements.
  - PGE requires minimum clearances from electric wires, conductors and cables. Please be aware of these clearances by calling PGE at 503-736-5450. More information on PGE minimum clearance can be found at [portland.gov/bds/documents/why-you-should-respect-portland-general-electrics-power-line-clearances](http://portland.gov/bds/documents/why-you-should-respect-portland-general-electrics-power-line-clearances)

**b. Transportation (PBOT)**

- Oriel Windows. Projecting bays (aka oriel windows) are subject to the Window Projections into Public ROW standards. Note standards A through D must be met. However, Exceptions to standards E through G can be requested as part of the Design Review. The Code Guide for these standards can be found at [portlandoregon.gov/bds/article/68600](http://portlandoregon.gov/bds/article/68600). A Modification fee is required for staff to consider an Exception.
- Loading. If Modifications or Adjustments to Title 33 loading standards are contemplated, you must reach out early and coordinate with both PBOT and BDS Design Review staff ahead of the Land Use Review submittal. PBOT may require a Traffic Scope Approval and Loading Demand Study, which both need to be submitted before the Land Use Review submittal. More information can be found at [portland.gov/transportation/development/traffic-impact-studies](http://portland.gov/transportation/development/traffic-impact-studies).
- Public Works Permit – If PBOT requires a 30% Public Works Permit approval before their response to a Design Review, it should be noted that such approvals can often take longer than the Land Use Review process. Therefore, you are highly encouraged to initiate the Public Works Permit process before you submit the Design Review.

**c. Environmental Services (BES)**

- Stormwater Management. Stormwater management information, including infiltration tests, utility plans, stormwater facility designs, and site landscaping, must be submitted with the Design Review application. BES needs to review these elements early to ensure there are no issues that could affect the building size, location, or site design.

**d. Fire / Life Safety**

- Preliminary Life Safety Meeting. A separate, preliminary life safety meeting is very beneficial to identify critical life safety and building code issues early in the process and allow the Design Review proposal to address those issues. This meeting is encouraged prior to submitting the Design Review. More information and the application can be found at [portland.gov/bds/documents/life-safety-preliminary-meeting-request-packet](http://portland.gov/bds/documents/life-safety-preliminary-meeting-request-packet).
- Glazing and Energy Calculations. If large amounts of glazing are proposed, it is highly encouraged that energy calculations are done prior to submitting the Design Review, in case the building design is affected by energy code requirements.

**e. Urban Forestry** – Projects that require street tree preservation and planting should reach out to Urban Forestry early in the concept design phase to understand the requirements and process.

**f. Housing Bureau (PHB)** – Projects that trigger Inclusionary Housing (new buildings with 20 or more dwelling units or alterations to existing buildings that add 20 or more dwelling units) or choose to voluntarily comply with the requirements of Chapter 33.245 in order to obtain bonus FAR or density, should contact the Portland Housing Bureau at 503-823-9042 or [inclusionary-housing@portlandoregon.gov](mailto:inclusionary-housing@portlandoregon.gov). Additional information regarding the City's Inclusionary Housing program is available online at the following link: [portland.gov/phb/inclusionary-housing](http://portland.gov/phb/inclusionary-housing).

**B. QUESTIONS RAISED AT THE MEETING****1. Permitting**

- **Confirm standard demolition permit**
  - **understanding is that included in 1983 historic resource inventory but not ranked or designated, therefore there is no demolition delay required and no additional review required**

The building on the subject site is listed in the City's Historic Resource Inventory (HRI), however, it would only be defined as a Significant Resource if it had a Rank of I, II, III, and this building is unranked. Per 33.910,

Definition of a Significant Resource: a Significant Resource is a building, portion of a building, structure, object, landscape, tree, site, or place that the City has determined to be significant for its archaeological, architectural, cultural, or historical merit but has not been designated by the City as a landmark or district, and has not been listed by the federal Keeper of the National Register of Historic Places. Rank I, II, III resources identified in the 1984 Historic Resource Inventory that have not been demolished or removed are Significant Resources.

As this is an unranked building and therefore not meeting the definition of a Significant Resource, the following would information regarding demolition delay would not apply:

Demolition or major alterations constituting a demolition of Significant Resources on the City's HRI is subject to the 120-day delay as specified in Sections 33.445.330 and 33.445.340. Per Section 33.445.340, 120-day delay allows time for consideration of alternatives to demolition, such as rehabilitation, reuse, relocation, or architectural salvage. 120-day delay is a nondiscretionary administrative process with public notice but no hearing. An application for a 120-day Demolition Delay can be found at [portlandoregon.gov/bds/article/154486](http://portlandoregon.gov/bds/article/154486)

Please note, the 120-delay application is a separate process from a demolition permit review. It has a \$465 fee. See this link for how to submit this application: <https://www.portland.gov/bds/zoning-confirmation-letters-and-land-use-compatibility-statements>

- **Any hazmat investigation/abatement required?**

See Process Management Response.

- **Any tree removal or arborist report requirements?**

A tree removal plan will be required at the time of permit

- **Option for concurrent and/or consecutive permitting for demolition, site development or foundations**

See Process Management Response.

## 2. PBOT

- **Confirm if any decorative street lighting requirements**
- **Confirm if existing traffic light needs to be replaced with cantilevered light**
- **Confirm loading zone requirements; if required can back into ROW?**

See PBOT Response.

## 3. Bike Parking

- **Discuss bike parking appeals options**
  - **Option to provide in more flexible storage in unit**
  - **Option for building provided bike checkout service to reduce bike parking requirements**



See below for bicycle parking requirements. As bicycle parking standards have been recently updated, it is now extremely unusual to justify Modifications to these standards. Any Modifications to bike parking standards would also require PBOT support. See PBOT Response for additional information responding to these questions. BDS staff understand the site/program constraints. BDS staff also suggest you work closely with PBOT staff before the DAR Commission meeting in order to allow for a thorough conversation of any potential Modification or Adjustment requests.

Required Bicycle Parking – 33.266.200 and Table 266-6.

- **Minimum Required Bicycle Parking.** For multi-dwelling development, long-term and short-term bicycle parking spaces are based on the number of units and on whether the project is in Bike Parking Area A or B per Map 266-1. Your site is Area A, so a minimum of 2 long-term spaces or 1.5 long-term spaces per unit and a minimum of 2 short-term spaces or 1 per twenty units (whichever is greater) is required.
- **Bicycle Parking Space, Maneuvering Area, and Clearance Dimensions.** Required bike parking spaces must meet the minimum requirements for spacing as shown in Table 266-7. The standard required bicycle space is 2 feet wide, 6 feet long and 3 feet 4 inches tall. There must be at least 5 feet behind all bicycle parking spaces to allow room for bicycle maneuvering. Where short-term bicycle parking is adjacent to a public sidewalk, the maneuvering area may extend into the right-of-way. A wall clearance of 2 feet 6 inches must be provided. The area devoted to bike parking must be paved with racks meeting the requirements of 33.266.210.C.2.
- **Alternative Spacing Requirements.** Alternative Spacing Requirements for horizontal, vertical and stacked bicycle parking spaces are allowed as described in 33.266.210.C.3 and Table 266-7.
- **Long-term bicycle parking.** Long-term bike parking must meet the standards of 33.266.210.C and D including location and security standards. Long-term bicycle parking for residential uses [if residential use only] must be provided in one of the following:
  - A restricted access, lockable room or enclosure, designated primarily for bicycle parking;
  - A bicycle locker; or
  - In a residential dwelling unit meeting 33.266.210.D1.a.(4).

Up to 50 percent of long-term bicycle parking spaces may be provided in a residential dwelling unit, if they meet the following

- The bicycle parking is located within 15 feet of the entrance to the dwelling unit.
- The bicycle parking is located in a closet or alcove of the dwelling unit that includes a rack that meets the standard (2' x 6') bicycle parking spacing dimensions in Table 266-7.
- For buildings with no elevators, long-term bicycle parking must be located in the ground floor units.

When more than 20 long-term spaces are required, the project must also meet the Additional Development Standards per 33.266.210.D.3. At least 30 percent of required long-term spaces must be in a horizontal rack, or on the lower level of a stacked bicycle parking rack. At least 5 percent of required long-term spaces must accommodate a larger bicycle space, placed in a horizontal rack (see Figure 266-14). At least 5 percent of required long-term spaces must have electrical sockets accessible to the spaces. Each electrical socket must be accessible to horizontal bicycle parking spaces.

- **Short-term bicycle parking.** Short-term bike parking must meet the standards of 33.266.210.C and E. All short-term bicycle parking spaces must be on-site, outside a building. They must be at the same grade as the sidewalk or at a location that can be reached by an accessible route. For a building with more than one main entrance, the bicycle parking must be along all façades with a main entrance, and within 50 feet of at least one main entrance on each façade that has a main entrance, as measured along the most direct pedestrian access route (see Figure 266-16).

#### 4. Inclusionary Housing

- **Understand any available bonuses and/or credits available**
  - Per 33.510.200.D.1 the maximum amount of FAR that can be earned on a site through use of bonus options is 3 to 1.
  - Per 33.510.205.B.1 the first 3:1 of any increase in FAR must be earned or gained through Inclusionary Housing
  - Per 33.510.205.C.2.a projects that include buildings that trigger 33.245, Inclusionary Housing, receive bonus floor area. The amount of bonus floor area earned is an amount equal to the net building area of the building that triggers 33.245, up to a maximum increase of 3 to 1 FAR on the site.
  - Inclusionary Housing – 33.245. New buildings with 20 or more dwelling units are required to provide affordable housing units. For projects located in the Central City or Gateway plan districts, on-site affordable dwelling units must be provided at one of the following rates:
    - 10 percent of the total number of dwelling units or bedrooms in the new building or the alteration must be affordable to those earning no more than 60 percent of the area median family income; or
    - 20 percent of the total number of dwelling units or bedrooms in the new building or the alteration must be affordable to those earning no more than 80 percent of the area median family income.
  - Prior to permit approval, the Portland Housing Bureau must issue a letter certifying that the development meets the standards stated in 33.245 and any administrative requirements. If affordable dwelling units will be provided, the property owner must execute a covenant with the City that complies with the requirements of 33.700.060. The covenant must ensure that the affordable dwelling units will remain affordable to households meeting the income restriction, and meet the administrative requirements of the Portland Housing Bureau. The development and recording of this covenant will be coordinated by

the Portland Housing Bureau – the Housing Bureau will not issue the letter referenced above until the required covenant has been recorded.

- For more information about income restrictions, unit comparability requirements, calculation of the applicable fee-in-lieu, or the administrative requirements of the Portland Housing Bureau. Note that the covenant must be completed and recorded prior to approval of your building permit. Additional information regarding the City's Inclusionary Housing program is available online at the following link: <https://www.portland.gov/phb/inclusionary-housing>.

## 5. Confirm Process Manager

See Process Management Response.

## C. PREVIOUS LAND USE REVIEWS

As part of your application, address relevant conditions of approval from previous land use reviews on the site and discuss the current status of compliance. Below are the relevant land use case reviews that the City of Portland has on record for the subject site:

- LUR 05-163830 DZ Design Review approval with conditions of a new fabric awning.
- LUR 04-64212 DZ Design Review approval with conditions of exterior changes, including a new door opening, relocation of mechanical units, and new light fixtures. A reduction in surface parking spaces was also approved.
- LU 00-007369 CU (Ref: LUR 00-00814 CU MS PR AD) Design Review approval with conditions of a Conditional Use Master Plan for redevelopment of and expansion of 1st Presbyterian Church facilities; Central City Parking Review for a 170 stall subsurface parking garage; and an Adjustment for parking stall dimensions.
- LU 00-007368 HDZ (Ref: LUR 00-00813 HDZ) Historic Design Review approval of amended Maser Plan for 116 visitor parking spaces and design review approval of parking structure, plaza, and landscaping.
- LUR 93-00623 DM Approval of demolition of the Danmoore Hotel building, a Historic Landmark, to allow expansion of church-related activities on the site.
- LU 93-010134 CU (Ref: LUR 93-00135 CU) Conditional use approval with conditions of a Conditional Use Master Plan for the 1st Presbyterian Church.
- LU 85-005073 DZ (Ref: DZ 76-85) Denial of variance to allow 100% commercial use of building.
- LU 79-0026000 CU (Ref: CU 065-79): Conditional Use approval with conditions to renovate an existing vacant structure for commercial use.
- DZ 35-76 Withdrawn Design Review case. No other information on this case could be found.
- CU 052-85 Conditional Use approval with conditions for the expansion of and 100 percent commercial use of the building.

## D. SUBMITTAL REQUIREMENTS FOR LAND USE REVIEWS

This list identifies the materials you must submit for your Land Use application to be considered complete. For additional details, see Zoning Code Section [33.730.060](#).

### GENERAL

- Digital submittal required.
- For final drawings (C Exhibits) and Appendix set (APP Exhibits):
  - Use 11"x17" format

- Leave a 1.5"x5" blank space at the bottom right corner for Staff to add the case number, exhibit number and stamp.
- Conduct a thorough review before submitting your drawing packet.
- Review all color quality in submittal to ensure it accurately represent the colors intended.
- When returning for a 2nd hearing, revisions to the prior submittals should be illustrated and clearly marked in a side-by-side comparison.

#### PROJECT INFORMATION & NARRATIVE

- Land Use Review application form
- Project team and project cost
- Project description
- Zoning summary
- Response to guidelines/approval criteria (Word doc.)
- Modifications and Adjustments requests & approval criteria responses (Word doc.)
- Response to DAR (narrative)
- Technical Reports - Stormwater Loading Analysis, Queuing Study, etc.

#### DRAWINGS

"C" Exhibits should represent proposed development/alterations, be at an architectural or engineering scale and use 11"x17" format:

- Title Page
- Table of Contents
- Site Plan
- Floor and Roof Plans - roof plan should show all rooftop elements, including mechanical
- Elevations - B/W and color, and without shade or shadows, include material key, street-facing elevations in their immediate context, including adjacent buildings
- Building Sections - Include some depicting relationships to adjacent buildings
- Enlarged Details - windows/doors, storefronts, canopies, balconies, signage, and their attachments, etc., control joints, seismic joints, and other visible construction details
- Materials / Colors - clearly identify each building material by name
- Landscape Plans
- Lighting Plans
- Civil Plans
- Cut Sheets - only pertinent product info like type, finish, color, dimensions

#### SUPPORTING INFORMATION

Appendix ("APP" Exhibits) should include information that supports the drawings and use 11"x17" format:

- Renderings - day and night in context, must be simple and not enhanced marketing-type images, avoid dramatic lighting effects
- Context - plan area, urban (3-block radius), site
- Sightlines - sightline drawings from relevant vantage points
- Material Photos & Examples
- Massing & Design Concept
- Miscellaneous Diagrams - FAR, ground floor windows, clear vs. spandrel panels, height, Modifications, Adjustments, etc.
- Responses to DAR (diagram)

#### DIGITAL MODEL

Design Review proposals in the Central City plan district that include new development or changes in the bulk of an existing building are required to submit a three-dimensional digital model with the Design Review application. The digital files required include:

- Sketch up Model (.skp File)
- 3-D Model plugged into Google Earth (.kmz File)



**E. NEIGHBORHOOD NOTIFICATION**

When you apply for a:

Type III Land Use Review, all property owners within 400 feet, and all neighborhood associations and recognized organizations within 1,000 feet of your site will receive notification of your proposal.

Type II Land Use Review, all property owners within 150 feet, and all neighborhood associations and recognized organizations within 400 feet of your site will receive notification of your proposal.

- Contact information for neighborhood associations, neighborhood district coalitions, and business associations is available at [portlandoregon.gov/civic/search](http://portlandoregon.gov/civic/search).
- A Summary of the Land Use Review Procedure Types and what Public Notice requirements exist can be found here [portland.gov/bds/zoning-land-use/land-use-review-fees-and-types](http://portland.gov/bds/zoning-land-use/land-use-review-fees-and-types).

**F. SUBMITTAL – LAND USE REVIEWS & PERMITS**

**PLEASE BE ADVISED** - If a Land Use Review is required, permits for the work subject to the Land Use Review cannot be accepted until the Land Use Review approval is issued and recorded.

**Land Use Reviews and other LUS application submittals:**

When you are ready to submit a land use review application, please see the BDS Website at [portland.gov/bds/land-use-review-fees-and-types/land-use-reviews-and-final-plat-applications](http://portland.gov/bds/land-use-review-fees-and-types/land-use-reviews-and-final-plat-applications) for current submittal requirements. Currently, we are accepting electronic land use applications via email at [LandUseIntake@portlandoregon.gov](mailto:LandUseIntake@portlandoregon.gov). A Land Use Services technician will contact you with instructions for providing payment for emailed applications.

**Permit submittals:**

When you are ready to submit a permit, please see our website for updated information on how to apply for permits at [portland.gov/bds/permit-review-process/apply-or-pay-permits](http://portland.gov/bds/permit-review-process/apply-or-pay-permits).



# Portland Housing Bureau

## PHB- Inclusionary Housing Response

Early Assistance Appointment

**Date:** November 1, 2022

**To:** Maggie Harris (Holst Architecture)

**From:** Chris Flanary, Housing Program Specialist, [Chris.Flanary@portlandoregon.gov](mailto:Chris.Flanary@portlandoregon.gov)

**Case File:** 22-191887

**Location:** 522 SW 13TH AVE

**Property ID:** R246879

**Proposal:** New Affordable Housing: ~50,000sf, 12 story, multi-family building with 90 units (mix of studios & one-beds) with associated resident services and amenities. Stormwater to be managed on site per the current BES Stormwater Management Manual. (This project is subject to a Type 3 DZ, but will use Footnote 2 of Table 825-1 to go through a DAR and Type II instead.)

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## Section I: Inclusionary Housing Code Overview

Pursuant to Inclusionary Housing Code Section PCC [30.01.120](#) and Zoning Code Chapter PCC [33.245](#), effective February 1, 2017, all residential buildings proposing 20 or more new residential units must provide a percentage of the new units at rents affordable to households at 80% of the Median Family Income (MFI). The City has defined four different options for meeting the Inclusionary Housing (IH) requirements. All permit applications must include one of these options in their proposal or pay a fee-in-lieu.

The IH affordability period is 99-years and the property owner must enter into an Inclusionary Housing Covenant with Portland Housing Bureau (PHB), the details of which are specific to the IH option chosen, and must submit to annual monitoring by PHB Risk Analysis & Compliance team, including the submission of annual rents and tenant income.

PHB has reviewed the materials submitted as well as the input from the meeting to determine the minimum requirements of the proposed building and provide the following comments.

## Section II: Property Specifics

### A. Subjectivity to Inclusionary Housing

The applicant was informed that this project, in its current configuration, triggers the IH requirements.

The applicant's development proposal includes ninety (90) housing units with the following designations:

- (60) Studio units
- (30) Windowed one-bedroom (W1B) units



# Portland Housing Bureau

The options discussed below specifically correlate to the information provided. PHB asks the applicant to be aware that any change in the building plans detailing the number of units, types, and sizes will require additional PHB review.

## B. IH Options Discussed in Early Assistance Appointment

### Option 2: 60% MFI units

Option 2 would require that the building offer 10% of its residential units at 60% MFI. Current rent restriction figures can be found on page 2 on the current year's "Income and Rent Limits (PHB)" document located here: <https://www.portland.gov/phb/income-rent-and-utility-limits>

#### **Reasonable Equivalency:**

As per Inclusionary Housing Administrative Rules, applicants are required to make Inclusionary Housing Units ("IH Rental Units") reasonably equivalent to market rate units. PHB will assess reasonable equivalency using the following criteria:

- **Bedroom Distribution and Unit Count:** IH Rental Units must be provided at the same ratio within the development as market rate units
- **Unit Sizes:** IH Rental Units must be at least 95% the size of the average of the total units with the same bedroom count, as measured in square feet.
- **Unit Distribution:** No more than 25% of the total units on any floor shall be designated as IH Rental Units, excluding the top floor of a development.
- **Unit Amenities:** IH Rental Units must have like or equal performing finishes and appliances as far as durability and sustainability to the market rate units, which will be certified by a development's architect prior to receiving its final certificate of occupancy.

To meet the Reasonable Equivalency standard of Bedroom Distribution and Unit Count, the building must provide 10% of each unit type as IH Rental Units. With the currently proposed plans, this equates to a total of nine (9) IH Rental Units, distributed as follows:

- (6) Studio units
- (3) Windowed One-bedroom (W1B) units

#### **Incentives:**

As proposed above, the project would be eligible to receive:

- 10-year property tax exemption on the residential and residential related square footage of the improvements including common residential areas and residential designated parking.
  - *Multiple Unit Limited Tax Exemption (MULTE) Program Portland City Code 3.103:* <https://www.portland.gov/code/3/103>
  - If the project will be providing affordable units in addition to the minimum number of required units to fulfill the IH Program requirements, the MULTE Program may be available for the additional portion of the project with restricted affordability. Additional program information is available online at <https://www.portland.gov/phb/multe>.



# Portland Housing Bureau

- *Effective July 1, Inclusionary Housing projects seeking approval for the Multiple-Unit Limited Tax Exemption (MULTE) Program will begin paying processing fees due to Multnomah County at permit issuance. Until now, the Portland Housing Bureau has paid these fees to Multnomah County on behalf of the projects. Current County rates are \$850 per unit in the building receiving the tax exemption up to a maximum amount of \$9,000 per building. PHB reviewers will apply the fees within the City's permitting system. The fees apply to any new permits which have not gone through pre-screening and are not yet under review as of July 1, 2022.*
- If the property will be owned and operated by an eligible non-profit housing provider, in accordance with ORS 307.540, for low-income tenants (at or below 60% MFI), the property owner can utilize the Non-Profit Limited Tax Exemption (NPLTE) Program, which has an ongoing annual certification process. The NPLTE applies to the percentage of a property that is dedicated to low-income tenants, including the value of the structural improvements and applicable common areas and parking, plus the value of the land. Additional program information is available online at <https://portland.gov/phb/nplte>.
- Affordable Housing Construction Excise Tax (AHCET) exemption for the IH Rental Units
  - *Affordable Housing Construction Excise Tax FAQ:*  
<https://www.portland.gov/sites/default/files/2020/affordable-housing-cet-faqs.pdf>
  - *AHCET Exemption application:*  
<https://www.portland.gov/sites/default/files/2020/ahcet-exemption-application-6-18-19.docx>
- System Development Charge (SDC) exemption for the IH Rental Units
  - *System Development Charge Exemption Program website:*  
<https://www.portland.gov/phb/sdc-exemption/rentals>
  - If the project will be providing affordable units in addition to the minimum number of required units to fulfill the IH Program requirements, the SDC Exemption Program may be available for the additional portion of the project with restricted affordability.
- Full or partial exemption from parking requirements as detailed in Portland Zoning Code, administered by Bureau of Development Services, Planning and Zoning.
- FAR density bonus as detailed in Portland Zoning Code, administered by Bureau of Development Services, Planning and Zoning.

## **Accessibility:**

For Projects that receive the 10-year property tax exemption through the MULTE Program, at least 5% of the Rental Units restricted under the MULTE Regulatory Agreement must be built to be Type A as defined by the Oregon Structural Specialty Code, according to PCC 3.103.040(D).

## C. Deeper Housing Affordability FAR Bonus Density ("DHA") Program Options Discussed in Early Assistance Appointment

The Deeper Housing Affordability Program would require that each building offer 50% of its residential units at 60% MFI (the "DHA Units" or "DHA Rental Units"). Current rent restriction figures





# Portland Housing Bureau

can be found on page 2 on the current year's "Income and Rent Limits (PHB)" document located here: <https://www.portland.gov/phb/income-rent-and-utility-limits>

## **DHA Reasonable Equivalency:**

As per [DHA Administrative Rules](#), applicants are required to make the DHA Units reasonably equivalent to market rate units. PHB will assess reasonable equivalency using the following criteria:

- **Bedroom Distribution and Unit Count:** DHA Rental Units must be provided at the same ratio within the development as market rate units.
- **Unit Sizes:** DHA Rental Units must be at least 95% the size of the average of the total units with the same bedroom count, as measured in square feet.
- **Unit Distribution:** No more than 50 percent of the Dwelling Units in the Basement can be designated as Affordable Rental Units. If multiple Buildings are on a Site, each Building must meet its own Minimum Unit obligation internally. Consolidating Affordable Units from multiple Buildings on the same Site into a single Building is not allowed.
- **Unit Amenities:** DHA Rental Units must have like or equal performing finishes and appliances as far as durability and sustainability to the market rate units, which will be certified by a development's architect prior to receiving its final certificate of occupancy.

To meet the Reasonable Equivalency standard of Bedroom Distribution and Unit Count, the building must provide 50% of each unit type as DHA Rental Units. With the currently proposed plans, this equates to a total of forty-five (45) DHA Rental Units, distributed as follows:

- (30) Studio units
- (15) Windowed one-bedroom (W1B) units

## **Incentives:**

As proposed above, the project would be eligible to receive:

- Affordable Housing Construction Excise Tax (AHCET) exemption for the DHA Rental Units
  - *Affordable Housing Construction Excise Tax FAQ:*  
<https://www.portland.gov/sites/default/files/2020/affordable-housing-cet-faqs.pdf>
  - *AHCET Exemption application:* <https://www.portland.gov/sites/default/files/2020/ahcet-exemption-application-6-18-19.docx>
- System Development Charge (SDC) exemption for the DHA Rental Units
  - *System Development Charge Exemption Program website:*  
<https://www.portland.gov/phb/sdc-exemption/rentals>
  - If the project will be providing affordable units in addition to the minimum number of required units to fulfill the IH Program requirements, the SDC Exemption Program may be available for the additional portion of the project with restricted affordability.
- FAR density bonus as detailed in Portland Zoning Code, administered by Bureau of Development Services, Planning and Zoning.
- If the property will be owned and operated by an eligible non-profit housing provider, in accordance with ORS 307.540, for low-income tenants (at or below 60% MFI), the property owner can utilize the Non-Profit Limited Tax Exemption (NPLTE) Program, which has an ongoing annual certification process. The NPLTE applies to the percentage of a property that



# Portland Housing Bureau

is dedicated to low-income tenants, including the value of the structural improvements and applicable common areas and parking, plus the value of the land. Additional program information is available online at <https://portland.gov/phb/nplte>.

## Section III: Important Reminders

Below is a list of common items that can cause a delay in PHB signing-off on your permit. Please make sure your permit application, project plans, and project timelines all account for the following:

- A. **Inclusionary Housing Intake Form**—PHB needs a completed Intake form in order to determine IH requirements and corresponding incentives for the project. It is best practice to submit the intake form with permit application. PHB cannot proceed with its review without this application.
- B. **Gross Square Footage (GSF) of Units within the Plan Set**—PHB needs the GSF of each residential dwelling unit in a project clearly identified within the plan set. It is PHB's preference that this information be included in the architectural pages within the individual units on the floor plans. If that is not possible, please provide a chart with the unit number, unit type (studio, 1BR, etc.), and GSF either in the code summary or architectural pages. For PHB, GSF should be calculated using Life Safety's definition.
- C. **MULTE Approval**—All projects that apply for the MULTE must go before Portland City Council for approval. The MULTE Council process takes 7-9 weeks to complete. Please work this process into your project timeline and provide a completed MULTE Application as soon as possible. This 7 to 9-week process does not include finalizing regulatory agreements, which can take several more weeks.
- D. **Water Meter Sizing Worksheet (W-4)**: Projects that are mixed-use, and applying for SDC Exemptions, are required to submit two W-4s to the Portland Water Bureau. One W-4 showing only the residential space and a second W-4 showing only the commercial space. Please label each as either "Residential" or "Commercial" at the top of the corresponding W-4 form. These should be submitted with your SDC application packet with the permit application. If the W-4 forms submitted do not follow the guidelines above, you will need to resubmit the W-4 forms before SDC exemption estimates can be calculated, which may delay the permit approval timeline. W-4 Forms are available at: <https://www.portland.gov/water/water-development-services/documents/w-4-form-large-meter-sizing-worksheet>. If you have specific questions about completing the W-4, please contact the Portland Water Bureau.
- E. **SDC Loan/Deferral Contracts**: When requesting an SDC loan or deferral contract, applicants should wait until after the SDC Exemption is approved by PHB to make the loan or deferral contract request to the SDC Bureau. This will ensure that the loan/deferral contract is for the correct amount. More information on the assessment of SDCs can be found at: <https://www.portland.gov/bds/current-fee-schedules/systems-development-charges-sdcs#toc-payment-methods-and-timing-of-sdcs>.
- F. **Rent Determination**: PHB determines rent using the HUD's annually published Median Family Income and Rent Chart (MFI and Rent Chart) for the Portland Metropolitan Area. The current MFI and Rent Chart is available at: <https://www.portland.gov/phb/income-rent-and-utility-limits>.



## Portland Housing Bureau

The MFI and Rent Chart is posted and updated annually on the PHB website. Maximum rent paid by tenants includes any utility allowance (see below) or required expenses to live in an IH Rental Unit (i.e. parking, meal plans, and amenities). Details and instructions on how to apply the MFI and Rent Chart can be found in PHB's Risk Analysis & Compliance Policies & Guidelines located at <https://www.portland.gov/phb/development-incentive-project-compliance>.

- G. **Utility Allowance:** IH Rental Units are subject to an Utility Allowance (UA). UAs are passed along to the tenant in the form of reduced rent for those utilities which are paid for by the tenant.

Owners may choose from one of two methods to determine the UA:

1. **UA Schedule.** The UA Schedule takes averages obtained from local utility providers to determine the utility allowance based on the Building's types of utilities. The current year's schedule can be found here under "Utility Allowance Schedule": <https://www.portland.gov/phb/income-rent-and-utility-limits>
2. **Energy Consumption Model Analysis.** Applicant may commission an Energy Consumption Model Analysis through an Oregon Housing and Community Service (OHCS) approved Energy Consumption Model Analyst to determine the utility allowance based on the specifics of the building.

To the extent IH Rental Unit tenants pay their own utilities directly or are billed back for reimbursement of utilities by the Owner, the Owner must deduct that amount from the maximum allowable rent charged to the tenant. No UA is required for utilities paid by the Owner and not reimbursed by the tenant.

Example: a one-person household earning 80% MFI occupies a studio IH Rental Unit. The maximum monthly rent for that unit, based on the MFI and Rent Chart, is \$1,140 and the UA is \$84. The maximum an Owner could collect from this household is \$1,056 = (\$1,140 - \$84).

For more information, you may refer to the Inclusionary Housing Program Administrative Rules: <https://www.portland.gov/policies/housing/program-specific-administrative-rules/hou-304-inclusionary-housing-program> or visit the Inclusionary Housing website at <https://portland.gov/inclusionary-housing/inclusionary-housing-comprehensive-guide>. To reach PHB's Inclusionary Housing staff, please call 503-823-9042 or email [Inclusionary-Housing@portlandoregon.gov](mailto:Inclusionary-Housing@portlandoregon.gov).



1900 SW Fourth Ave., Suite 5000 Portland, OR 97201 503-823-5185  
Fax 503-823-7576 TTY 503-823-6868 www.portlandoregon.gov/transportation  
Jo Ann Hardesty Commissioner Chris Warner Director

## PBOT – Development Review Early Assistance Appointment Response

**Date:** October 25, 2022  
**To:** Maggie Harris, HOLST ARCHITECTURE  
503-348-0281, mharris@holstarc.com  
**From:** Michael Pina, PBOT Development Review  
503-823-4249, Michael.Pina@portlandoregon.gov  
**Case File:** EA 22-191887  
**Location:** 522 SW 13TH AVE  
**R#:** R246879  
**Proposal:** New Affordable Housing: ~50,000sf, 12 story, multi-family building with 90 units (mix of studios & one-beds) with associated resident services and amenities. Stormwater to be managed on site per the current BES Stormwater Management Manual. (This project is subject to a Type 3 DZ, but will use Footnote 2 of Table 825-1 to go through a DAR and Type II instead.)

Portland Transportation/Development Review staff has reviewed the Early Assistance conference materials to identify potential issues and requirements

### A. KEY ISSUES AND REQUIREMENTS

- Dedicate approximately 4-ft on SW Alder and reconstruct the corner and both pedestrian corridors to City standards below, reviewed through a Public Works permit.
- Complying with the loading requirement is to the site's benefit and is strongly encouraged. If requesting a loading Adjustment, application materials will need to demonstrate how the proposal equally or better meets the purposes of the code.
- Modifications to bike parking requirements are co-reviewed by PBOT and must provide detailed information on how the proposal better meet the purposes of the code. More information on submittal requirement noted below.
- In accordance with Administrative Rule TRN 8.13, private power must fully reside outside of the public Right-of-Way (ROW). Exceptions to this requirement must follow the exception process detailed in the Administrative Rule.

### B. GENERAL COMMENTS

TSP Classifications: At this location, the City's Transportation System Plan (TSP) classifies the abutting street(s) as follows:

Street Name	Traffic	Transit	Bicycle	Pedestrian	Freight	Emergency Response	Street Design
SW 13 <sup>th</sup> Ave	Traffic Access St	Local Service	City Bikeway	Major City Walkway in Ped Dist	Local Service	Minor Response	N'hood Main Street
SW Alder St	Local	Transit	Major	Major City	Local	Minor	N'hood



	Service	Access	City Bikeway	Walkway in Ped Dist	Service	Emergency Response	Main Street
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Existing Improvements: At this location, according to the City's GIS data, the site's abutting Rights-of-Way (ROW) are improved as follows:

Street Name	ROW Width*	Roadway Width*/Condition	Pedestrian Corridor Width*/Configuration			
			Curb	Furnishing	Sidewalk	Frontage
SW 13 <sup>th</sup> Ave	80-ft	50-ft, paved	0.5-ft	N/A	14.5-ft	N/A
SW Alder St	60-ft	44-ft, paved	0.5-ft	N/A	7.5-ft	N/A

NOTE: The applicant is advised the information contained herein is derived from City GIS and other databases typically used by city staff, as well as information from the applicant. It has not been confirmed via a survey. This evaluation is not implied to be more accurate than the sources that the information was obtained from. It is the applicant's responsibility to provide a current survey to document the location of the abutting rights-of-way and to challenge any anticipated dedication amount that is being required.

- 1. Required ROW Improvements:** PBOT has updated the City's *Pedestrian Design Guide (PDG)*, the Bureau's reference document for pedestrian corridor standards, effective July 1, 2022. With the new PDG, PBOT evaluates the required pedestrian corridor width based upon the 'Design' classification in accordance with the City's Transportation System Plan (TSP). Thus, the following standards are reflective of the updated PDG.

The following is required to be reviewed through a Public Works permit, which is to receive 30% concept approval prior to issuance of the building permit.

- SW 13<sup>th</sup> Ave: For a north-south downtown *Neighborhood Main Street* in the CXd zone, the City's *PDG* document recommends a 15-ft wide pedestrian corridor consisting of a 0.5-ft curb, 4-ft wide hardscaped furnishing zone, 8-ft wide sidewalk, and 2.5-ft frontage zone. The existing corridor meets City standards therefore no dedication required. However, it's anticipated the corridor will be damaged during construction, **therefore reconstruct this frontage to City standards above.**
- SW Alder St: For an east-west downtown *Neighborhood Main Street* in the CXd zone, the City's *PDG* document recommends a 12-ft wide pedestrian corridor consisting of a 0.5-ft curb, 4-ft wide hardscaped furnishing zone, 6-ft wide sidewalk, and 1.5-ft frontage zone. The existing corridor does not meet City standards due to being 8-ft wide. **Therefore, dedicate approximately 4-ft and reconstruct to City standards above.**
- Corner: **The corner must be reconstructed to meet current ADA requirements.**

- 2. Loading Requirements:** In accordance with 33.266.310.C.1, one Standard B loading space is required when there are more than 40 dwelling units in the building and have a measurement of 18-ft long, 9-ft wide, and a vertical clearance of 10-ft. Within the Central City, loading facilities are allowed to have rearward motion into the loading space. The applicant is advised that providing sufficient on-site loading to support the operational functions of the building is to the site's benefit, and reliance on the public ROW is a risk for the building user and may be subject to change in the future.

In accordance with 17.24.005, PBOT has the authority to manage all aspects of the public ROW, and may remove, relocate, or modify existing on-street parking spaces and/or Truck Loading Zones (TLZs) as needed to effectively manage the competing public demands for a limited amount of ROW. There is no guarantee that on-street parking or TLZs within will continue to be available to support the proposed development.

If the applicant requests an adjustment / modification to waive the required Standard B loading space, a Loading Demand Study in this instance is not required. However, the burden of proof is on the applicant to sufficiently demonstrate that the proposal equally or better meets the purposes of the code requirements. If the project is appealed; the applicant may be required to further substantiate the request by providing additional technical data supporting the reduction in loading spaces

- 3. Vehicular Access:** Site access must meet the requirements of Title 17.28.110 and TRN 10.40. Standard commercial driveways are 20 to 24-ft wide. The required driveway width may be reduced to 10 feet if the driveway only provides access to a required on-site loading space. Per PBOT policy, if an access control mechanism only serves loading spaces, a Driveway Design Exception (DDE) is not required.
- 4. Bicycle Parking:** The purpose of the Bicycle parking chapter is to encourage the use of bicycles by providing secure and convenient places to park bicycles, while helping achieve the City's mode split goal of 25 percent of all trips be made by bicycle.

The applicant asked about two options about reducing the bike parking requirements: 1) provide in more flexible storage in unit, and 2) option for building provided bike checkout service to reduce bike parking requirements. PBOT is not supportive of the checkout service option as it relies on a third-party vendor which may not be available for the duration life of the building and is not enforceable.

In accordance with Title 33.266.200 - Table 266-6, if the applicant is willing to execute a covenant that restricts the building as an "Elderly and Disabled Housing", then the required minimum bike parking would be reduced to 1 space per 8 units. This would be the most direct, least-resistant path for a bike parking reduction.

If the applicant does not choose the covenant path, a detailed breakdown comparing the required and proposed requirements must be submitted to PBOT ahead of submitting the Land use package, demonstrating the difficulty / rationale in not meeting the standards. Information shall include, but not limited to:

- Total number of bike spaces required. Percent and number of those spaces within a bike room and in units, both required and proposed.
- Percent and number of horizontal and electrified spaces, both required and proposed.
- Detailed site plan of bike room and corresponding measurements (aisle width, spacing, rack size, etc)
- Floor plan of units with bike parking, both required and proposed.
- Rack model proposed. PBOT only allow those with lift assist.

- 5. Electrical Service:** In accordance with Administrative Rule TRN 8.13, effective July 1, 2022, transformers, or other building specific structures, placed to power or service a building must fully reside outside of the public right of way. The site plan provided did not indicate an electrical utility location within the building. The applicant is encouraged to explore varying designs / floor plans which place the transfer on-site. Early contact with the service provider is advised.

If requesting an exception, prior to submitting, the applicant must submit a letter to PBOT Development Review from a registered professional engineer to document that there is no viable location on private property to place the infrastructure. Plus, demonstration that a utility room at street level conflicts with other code standards.

**6. Signals and Street Lighting:** Preliminary response from Signals and Lighting group noted the following requirements:

- **Lighting:** This area falls within the twin ornamental street light design district, which will require some changes to the existing lighting system. Remove the two existing metal cobrahead poles closest to the project (one on Alder and one on 13<sup>th</sup>) and replace with twin ornamental street light poles. The exact number may change in concept design, but my best estimate is two twins on the corner and one twin on 13<sup>th</sup>. We will require a new base-mounted lighting panel to power the lights.
- **Signal:** We will require a new traffic signal mast arm pole for eastbound traffic to replace the existing end-of-life spanwire pole. We will also require a new traffic signal controller cabinet to replace the existing cabinet currently located on the spanwire pole.

The applicant is encouraged to contact Adam Moore, Engineering Associate at [adam.moore@portlandoregon.gov](mailto:adam.moore@portlandoregon.gov) for more detailed information on required upgrades.

**7. Street Trees:** There are significant street trees abutting the site whose condition may have an impact on required frontage improvements. The applicant is advised to intently review Urban Forestry's response associated with this Pre-application conference. If you have further questions, the applicant should contact the assigned forester noted in their response. Urban Forestry's general line is 503-823-TREE (8733) or [trees@portlandoregon.gov](mailto:trees@portlandoregon.gov). For additional information on street tree requirements, the applicant is advised to visit <https://www.portlandoregon.gov/trees/article/542497>.

**8. Public Works Response:**

*Molly Awram, Senior Engineering Associate, [molly.awram@portlandoregon.gov](mailto:molly.awram@portlandoregon.gov)*

**SW 13<sup>th</sup> Ave:** The site survey shows an existing vault which appears to conflict with the pedestrian zone sidewalk. If this vault is not going to be abandoned, it will need to be relocated out of the ped zone unless a design exception is approved by PBOT Utilities to retain its location. Other utility items in the ped corridor appear to be located correctly in the furnishing zone, and there do not appear to be any major grading concerns with the curb and sidewalk reconstruction on this frontage.

The existing corner needs to be brought up to standard with dual ramps built within the existing marked crosswalks. Crosswalk striping is in poor condition in some of the street view images and may require additional repair beyond the standard sawcut.

There are existing utility lids located in the legal ADA crossing, as well as other significant utilities with lids in close proximity to the construction area. Lids in conflict with the legal ADA ped path must be relocated or obtain approval of a design exception from PBOT Utilities.

The existing ped signal pole and cabinet appear to be in the furnishing zone, outside of the legal crossing.

There are no catch basins along this block face for either frontage; flow conditions should be assessed for the need to place catch basins. Final determination to be made during review of PW permit.

**SW Alder:** The site survey shows an existing vault in conflict with the pedestrian zone. If this vault is not going to be abandoned, it will need to be relocated out of the ped zone unless a design exception is approved by PBOT Utilities to retain its location. There do not appear to be any major grading concerns with the curb and sidewalk reconstruction on this frontage.

**Excavation and Shoring:** The limits of excavation for the proposed development need to be shown. Because the proposed development and excavation are in close proximity to the ROW., excavation limits need to be shown in order to verify that no work is proposed within the ROW which exceeds the limits of the PW Permit (if required). If the excavation layback exceeds the limits of the PW Permit, approval of a mass excavation encroachment permit will be required. Excavation information may be provided on the Grading and Erosion Control Plan sheets, or on a separate sheet. Please provide slope layback information, as well as the limits and cross sections showing the proposed excavation relative to the finished face of curb and property lines. Cross sections are to be worst case locations. Shoring designs are also preferred to be reflected in a detail drawing so that the anticipated wall height and required pile size is absolutely clear to the contractor during construction. Piling, that are located in the ROW., will be required to be cut off 5-feet below the curb gutter elevation, tiebacks will be required to be de-tensioned at the end of their required use.

If shoring, and structural walls which support the ROW are proposed (on-site or within the ROW); sufficient information on the location of proposed shoring design, calculations and a geotechnical report will be required for evaluation by the Transportation Bridges and Structures group prior to PBOT Building Permit approval, or issuance of an Encroachment Permit (if applicable). If tieback shoring is proposed, the tiebacks may not extend past the centerline of the impacted ROW without providing written consent from the adjacent property owner (opposite of the proposed shoring). The applicant should be aware that all Transportation Structural reviews and reviews of encroachments into the public ROW extending past the curb line (or less if warranted), will require additional review time by other Bureaus and Transportation staff, which will be necessary for Transportation's approval of the Building Permit. It is recommended that the applicant's design team provide the necessary information to PBOT at an early stage of the permit process, in an additional separate design set.

Designs and Calculations are required to be stamped by an Oregon licensed civil engineer. An additional set of shoring designs, calculations and the geo-technological report will be required for PBOT permitting to forward to the Bridges and Structures group for review. Additionally, a digital copy should also be provided.

#### **C. SUBMITTAL REQUIREMENTS FOR LAND USE**

This list identifies Portland Transportation submittal requirements. Please see the Conference Summary Memo for all of the materials you must submit for your application to be considered complete.

1. Written narrative adequately addressing all transportation related approval criteria.
2. Preliminary plans showing necessary dedication(s) and right-of-way improvements.
3. Utility Plan

All submittal requirements should be provided with the application.

#### **D. PERMIT INFORMATION**

At the time of permit review (following the land use review) you should be aware of the following:

1. **SDCs:** System Development Charges (SDCs) may be assessed for this development. To receive an estimate of the SDC amount, the applicant is advised to leave a voicemail



message to include the case file number, at (503) 823-7002, Option 2. Additional information about PBOT SDCs can be found at:

<https://www.portlandoregon.gov/transportation/46210>.

2. **ROW Dedication:** The City's dedication process is administered by PBOT's Right-of-Way Acquisitions Section & is separate from the Building Permit process. It is important for the applicant to understand the dedication process and timeline thereof to avoid any conflicts with the Building Permit process. When dedication is required, it is the applicant's responsibility to provide a current survey if they wish to challenge the anticipated dedication amount that is being required. Building permits will not be approved prior to the completion of dedication. Additional information on the dedication process can be reviewed at the following link:

<http://www.portlandonline.com/transportation/index.cfm?a=82666&c=38718>.

3. **ROW Improvement Permitting:** The ROW improvements will need to be designed by an Oregon licensed civil engineer and constructed under a Public Works Permit, which is separate from the Building Permit that will be necessary for construction of the proposed project. Conceptual PW Design must be submitted to Public Works Permitting in order to verify the type of PW Permit that is required and to determine the required performance guarantee amount. PW Design Review will determine specific design elements including stormwater management, bus stop, curb-cuts, landscaping, location of signage, location of utility poles and street lights, as well as other design requirements.

The applicant is therefore encouraged to contact Public Works at (503) 823-1987 or at [pwp@portlandoregon.gov](mailto:pwp@portlandoregon.gov) to familiarize themselves with the process and initiate the appropriate meetings/process. Additional information on the City's Public Works Permitting process can be found at the following link: <http://www.portlandonline.com/publicworks>. It is important for the applicant to understand the Public Works process and timeline thereof to avoid any conflicts with the Building Permit process.

Plans, fees, a contract (called the application for permit) and a performance guarantee for the estimated value of the improvement must be submitted prior to (Final Plat approval). The performance guarantee may be in the form of a surety bond, irrevocable letter of credit, set-aside account, or cash deposit.

3. **Accuracy of Location:** The applicant is advised that the City cannot guarantee the accuracy of location of utilities in the street, and that the information used by the City and furnished to the applicant or their representatives may be incorrect. Verification of private and public utility locations, as well as the responsibility for any and all damage caused by work in the right-of-way, will be the responsibility of the permittee at the time of performing work and right-of-way improvements associated with their project.
4. **TSUP:** PBOT's Temporary Street Use Permitting (TSUP) are responsible for managing construction activities when proposed development will prohibit use of an area of within the public right-of-way. A separate street temporary closure permit will be required. Additionally, closures that do not allow safe passage and unobstructed flow of normal public use in a partially open area or lane, will also require a City approved Traffic Control Plan. For information on obtaining a separate temporary street closure permit, please contact: <http://www.portlandoregon.gov/transportation/permitting> (503-823-7611), for an application, general information, cost and submittal information Jesse Long (503-823-7611) [Jesse.Long@portlandoregon.gov](mailto:Jesse.Long@portlandoregon.gov).



# CITY OF PORTLAND ENVIRONMENTAL SERVICES



1120 SW Fifth Avenue, Suite 613, Portland, Oregon 97204 ■ Mingus Mapps, Commissioner ■ Michael Jordan, Director

## Early Assistance Comments

**Date:** November 10, 2022

**To:** HOLST ARCHITECTURE \*MAGGIE HARRIS\*, Applicant

**From:** Ella Indarta, BES Systems Development  
503-823-8068, Ella.Indarta@portlandoregon.gov

**Case File:** EA 22-191887

**Location:** 522 SW 13TH AVE

The Bureau of Environmental Services (BES) has reviewed the submitted materials to identify potential issues and requirements and provide the following comments. Some references to Portland City Code (PCC) are included below; the applicant may refer to the Auditor's Office [Online Charter and Code](#).

### A. KEY ISSUES AND REQUIREMENTS

Following is a brief summary of issues and requirements that may impact your proposed project or are submittal requirements that will require time to prepare prior to submittal of the application.

1. The applicant must submit a site plan showing the existing sanitary sewer connection location(s) and stormwater disposal system(s) for the structures to remain on this site as well as all proposed sanitary connections and stormwater systems.
2. The applicant must submit a stormwater report, including the results of infiltration testing, with the land use and building permit applications.
3. Required public right-of-way improvements may trigger stormwater management requirements. If triggered, some or all of this area is eligible to pay an Offsite Stormwater Management Fee in lieu of building a stormwater facility.

### B. SANITARY SERVICE

1. *Sanitary Infrastructure:* According to available GIS data, the following sewer infrastructure is located in the vicinity of the project site:
  - a. Public 9-inch VSP combined sewer in SW Alder (BES as-built # 21403).
2. *Water Main and Sewer Main Locations:* According to available GIS data, a water main is located between the proposed development site and the combined main in SW Alder. Any new connection(s) to the sewer main will cross the water main and will require a [Water Utility Protection Plan](#). Sanitary laterals must meet required separation distances according to the Water Bureau; the applicant should contact the assigned Water Bureau reviewer or the Water Bureau general email ([devrev@portlandoregon.gov](mailto:devrev@portlandoregon.gov)) with questions related to required separation distances.
3. *Connection Requirements:* Connections to the City sewer system must meet the standards of the City of Portland's [Sewer and Drainage Facilities Design Manual](#), [PCC 17.32.090](#), administrative rules [ENB-4.07](#) and [ENB-4.17](#), and all other relevant City codes and rules. Sanitary sewage from private property must be separately conveyed to the property line and connected through individual laterals for discharge to the City separate sanitary or combined sewer. Per [ENB-4.07](#), sewer connection permits are required to make new connections to City mains and laterals, relocate or upsize existing laterals, and repair sewers in City right-of-way. The permittee is responsible for verifying the location, depth and size of an existing sewer lateral and for ensuring the lateral is clear of obstructions prior to connection.

### C. STORMWATER MANAGEMENT

1. *Stormwater Infrastructure:* According to available GIS data, the following stormwater infrastructure is located in the vicinity of the project site:
  - a. There are no public storm-only sewers available to this property and a public storm main extension is not required. The combined sewer described above may provide the only offsite discharge location for stormwater from the development.
  - b. Currently, stormwater from the public right-of-way discharges to existing combined sewer infrastructure.
2. *General Stormwater Management Requirements:* Development and redevelopment sites that include any of the triggers listed in PCC 17.38.040 are subject to the policies and standards of PCC 17.38.035, Portland's [Stormwater Management Manual](#) (SWMM) and [Source Control Manual](#) (SCM). Projects must comply with the current adopted version of the SWMM as of the permit application date. A fundamental evaluation factor in the SWMM is the Stormwater Infiltration and Discharge Hierarchy (Section 1.3.3), which sets the framework that will be used to determine when a project's stormwater runoff must be infiltrated onsite and when offsite discharge will be permitted, and the parameters that must be met for either scenario. If tested infiltration rates on a property are greater than or equal to 2 inches per hour, onsite infiltration will be required unless the site qualifies for the ecoroof exception per Section 3.2.1 or infiltration is determined infeasible based on site conditions described in Chapter 2 of the SWMM. Note that maximum building coverage allowed by the zoning code, including below grade development, does not exempt the applicant from stormwater requirements. Pollution reduction and flow control requirements must be met using vegetated facilities to the maximum extent feasible, though roof runoff and some paved impervious surfaces are exempt when discharging directly to a UIC (refer to Sections 1.3.2, 1.3.4, 3.2.4 and 4.2.2 of the SWMM).
3. *Public Right-of-Way Stormwater Management:* Stormwater runoff from the public right-of-way must comply with all applicable standards of the SWMM and Sewer and Drainage Facilities Design Manual and be conveyed to a discharge point along a route of service approved by the BES Director or the Director's designee. Additional guidance on meeting the 2020 SWMM for projects in the public right-of-way is available at <https://www.portland.gov/bes/stormwater/swmm-and-right-way-projects>.
  - a. Under the 2020 SWMM, sidewalk improvements behind an existing curb that create or replace 500 SF or more of impervious area are no longer exempt from stormwater management requirements unless they fall under a specific exemption described in Section 1.2.1.2 of the SWMM. Based on the scope of PBOT requirements, the length of project frontage and existing conditions, BES does not expect that the required sidewalk improvements will exceed 500 SF of triggered impervious area. However, if the scope of work changes or future analysis shows that the triggered area will exceed 500 SF, then the applicant should note that this area is eligible to pay an Offsite Stormwater Management Fee in lieu of building a stormwater facility through the Staff Review Special Circumstances (SRSC) process. Refer to Section 1.8.1 of the SWMM and contact BES Development Engineering staff to confirm SWMM requirements.
4. *Private Property Stormwater Management:* Stormwater runoff from this project must comply with all applicable standards of the SWMM and SCM and be conveyed to a discharge point along a route of service approved by the BES Director or the Director's designee.
  - a. The applicant must submit a Presumptive (SWMM Section 2.5.2) or Performance Approach (SWMM Section 2.5.3) stormwater report and a preliminary utility plan showing stormwater management facilities sized according to SWMM standards. The report must follow the outline included in Section 3.4.3 of the SWMM and be stamped by an Oregon registered engineer or other qualified design professional. Required elements of the report include:

- 1) Results of infiltration test(s) on the subject site performed by an Oregon-licensed engineer, certified engineering geologist, or registered geologist in accordance with the open pit, encased or double-ring infiltrometer testing methods described in Section 2.3.2 of the SWMM. To best assess the feasibility of onsite infiltration, the design team must test infiltration rates at depths that appear conducive to infiltration using field-based decisions and by referencing available soil information, geotechnical analyses and/or boring logs. To the extent feasible, proposed infiltration facilities must correspond with the location and depth of the completed infiltration testing. Indicate on a plan the approximate location of the test(s).
  - 2) Calculations prepared by an engineer using the [Presumptive Approach Calculator \(PAC\)](#). If using other software under the Performance Approach, the principles of Section 2.5.3 must be followed.
  - 3) If BES approves offsite discharge to the combined sewer, PCC 17.38 and the SWMM require stormwater discharge to be controlled so that the post-development 25-year peak flow rate is limited to the pre-development 10-year peak flow rate. The applicant must show through the Presumptive or Performance Approach stormwater report how flow and volume control standards that apply to the proposed discharge point will be met.
- b. *Infiltration Facility Setback Requirements:* Required minimum setback distances from infiltration facilities to slopes, property lines, foundations and other features are described in Section 2.2.4 and Table 2-1 of the SWMM. Most infiltration facilities must be set back 5 feet from parcel property lines and 10 feet from foundations, as measured to the high water level at the edge of vegetated facilities, the middle of drywells, and the edge of soakage trenches. Note that no setbacks are required for property lines with the right-of-way. Additional specific setback requirements are described for rain gardens, filter strips, downspout extensions, and ponds (see Section 2.2.4 of the SWMM). BES will review all proposals to reduce required setbacks. Stormwater facilities with reduced setbacks may need to be designed under the Presumptive or Performance Approach and additional documentation and analysis (such as analysis from a geotechnical engineer, structural engineer, registered geologist or other environmental professional) may be required as described in Section 2.2.4 of the SWMM.
- c. *Ecoroofs:* Full coverage ecoroofs may meet the entire stormwater management obligation of a building. If instead the applicant proposes an ecoroof that only partially covers a building, the following considerations must be followed, as applicable. For more information about partial-coverage ecoroofs, see <https://www.portlandoregon.gov/bes/article/691262>.
- 1) *Building Coverage:* If a building with  $\geq 60\%$  ecoroof is proposed, onsite stormwater infiltration does not need to be investigated for the building area.
  - 2) *Ground Level:* Incidental ground-level impervious areas associated with an adjacent building that has  $\geq 60\%$  ecoroof also does not need to be evaluated for on-site infiltration. However, larger impervious areas that allow sufficient space to install an infiltration facility, such as parking lots, must be investigated for the feasibility of infiltrating stormwater per SWMM procedures.
  - 3) *Pollution Reduction:* Pollution reduction must be provided for all non-ecoroof area when discharging to a storm-only system (i.e. SWMM Hierarchy Level 2). In the combined system (Level 3), pollution reduction is not required.
  - 4) *Flow Control:* Flow control must be provided for all non-ecoroof area. A partial ecoroof can contribute toward meeting the site's overall flow control obligation, and in some cases a partial ecoroof may be all that is required. To assess this, the project engineer must calculate flow control using the Santa Barbara Urban Hydrograph method using a 5-minute time of concentration, an ecoroof curve



number of 61 (from SWMM Table A-8), and a weighted curve number for the entire roof area (formula is provided in guidance document linked above).

5. **Landscaping Benefits:** BES's mission includes the protection of public health, water quality and the environment by providing sewage and stormwater collection and treatment services, and by protecting the quality of surface and ground waters. Landscaping is needed to mitigate some of the negative impacts of streets and parking areas in the Willamette River watershed. New landscaping will have a dual benefit that is aligned with the two prongs of BES's mission:
  - a. Landscaping will help by lowering the temperature of runoff, facilitating infiltration of stormwater which recharges groundwater, and increasing and cooling base flows that will eventually flow into the Willamette River.
  - b. Landscaping will help the public conveyance system by intercepting stormwater thereby reducing the peak flow – and reducing the total volume – of runoff that is conveyed to the public sewer system.

Note that if an Adjustment to landscaping requirements identified in Zoning Code is proposed, BES will provide input to BDS regarding whether applicable stormwater related approval criteria can be met with the requested Adjustment. The applicant will need to demonstrate in a narrative and on a site plan how the intent of the approval criteria can be met.

#### **D. GENERAL PUBLIC WORKS PERMIT INFORMATION**

*For questions related to the public improvements described throughout these notes, please contact Andre Duval at (503) 823-7214 or [andre.duval@portlandoregon.gov](mailto:andre.duval@portlandoregon.gov) or the BES Development Engineering hotline at (503) 823-7761, option 3.*

1. **General Public Works Permit Information:** Information on the City's public works permit (PWP) process, including submittal requirements and review timelines, is available at [www.portlandoregon.gov/publicworks](http://www.portlandoregon.gov/publicworks). All submitted public works plans must meet the City's Sewer and Drainage Facilities Design Manual (SDFDM), SWMM, and public works permitting plan submittal requirements and drafting standards. Contact Public Works Permitting at (503) 823-1987 or [pwd@portlandoregon.gov](mailto:pwd@portlandoregon.gov) with questions related to the general public works permit process.
2. **Hazardous Substances Code:** The City's Hazardous Substances Code (PCC 17.24.067) requires the excavation and removal of disturbed contaminated soils from right-of-way access areas and utility corridors. The soils must be replaced with clean fill at a minimum depth of 5 feet. A demarcation/contaminant barrier is also required when it has been determined the soils are contaminated at depth. Erosion control measures for contaminated soils (Section 8.2.1 of the SCM) must be met. Soil stockpiles must be covered and contained with a barrier on all four sides, with an impervious layer underneath the stockpile to inhibit contaminants from leaching back into the soil.

#### **E. SUBMITTAL REQUIREMENTS FOR LAND USE**

1. Full land use plan set, including preliminary utility plan showing all existing and proposed sanitary and storm facilities and connections. All BES assets and easements must also be shown and labeled on plans.
2. A Presumptive or Performance approach stormwater report, including the results of infiltration testing, as described in this memo.

#### **F. PERMIT INFORMATION**

At the time of permit review the applicant should be aware of the following:

1. **Connection Fees:** Sewage system connection fees and system development charges are assessed at the time of building plan review and change every fiscal year on July 1<sup>st</sup>. For

additional information on these fees, navigate [here](#) or call the BES Development Review Team at 503-823-7761.

2. *Connection Requirements:* Connection to public sewers must meet the standards of the City of Portland's [Sewer and Drainage Facilities Design Manual](#).
3. *UIC Registration:* The Oregon Department of Environmental Quality (DEQ) regulates underground injection control (UIC) facilities to protect groundwater. Drywells and soakage trenches are examples of UICs. It is the applicant's responsibility to register all onsite UICs with DEQ, as appropriate. To learn more visit [DEQ's website](#) or contact the DEQ UIC Program at 503-229-5623. The SWMM also includes general UIC information.
4. *Source Control Requirements:* Source control requirements from the [Source Control Manual](#) (SCM), [Portland City Code \(PCC\) Title 17](#), and [BES Administrative Rules](#) that may be applicable to this project are listed below with the corresponding chapter, section, code, or rule. For specific questions on the following, please contact BES Source Control at 503-823-7122.
  - a. *Site Use and Activity-Based Source Control Requirements (SCM Chapter 6):* BES recommends the applicant review the following SCM sections to understand the structural, treatment, and operational BMP requirements that may impact the project design.
    - 1) *Waste and Recycling Storage (SCM Section 6.1)*



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
FROM CONCEPT TO CONSTRUCTION

Dan Ryan, Commissioner  
Rebecca Esau, Director  
Phone: (503) 823-7300  
Fax: (503) 823-5630  
TTY: (503) 823-6868  
[www.portland.gov/bds](http://www.portland.gov/bds)

## Site Development

### Early Assistance Conference Response

**Date:** November 14, 2022  
**To:** Conference Facilitator  
**From:** Kevin Wells, 503-823-5618  
Kevin.Wells@portlandoregon.gov  
**Case File:** EA 22-191887  
**Location:** 522 SW 13TH AVE  
**R#:** R246879  
**Proposal:** New Affordable Housing: ~50,000sf, 12 story, multi-family building with 90 units (mix of studios & one-beds) with associated resident services and amenities. Stormwater to be managed on site per the current BES Stormwater Management Manual. (This project is subject to a Type 3 DZ, but will use Footnote 2 of Table 825-1 to go through a DAR and Type II instead.)

The Site Development Section of the Bureau of Development Services (BDS) has reviewed the conference materials provided by the applicant. The following comments identify conditions that may impact the project, or submittal requirements for land use or building permit review.

#### Site Conditions

Topography: The site is relatively level with an approximate elevation of 88 feet NAVD.

Landslide Hazard Area: The site is not in a Landslide Hazard Area.

Flood Hazards: The site is not in a FEMA or City of Portland regulated Flood Hazard Area.

#### Building Permits

The applicant must obtain a building permit to facilitate the proposed improvements. As required by PCC Title 24.10.070, any owner or authorized agent who intends to construct, enlarge, alter, repair, move, change the character or use of the occupancy, or change the occupancy of a building or structure that is regulated by the State Building Code, must first make application to the BDS and obtain a building permit.

#### Demolitions

[Title 24.55](#) provides demolition requirements for existing structures. Removal of any structure exceeding 200 square feet requires a demolition permit. Based on a review the site's permit history, the existing structure appears to have residential units. The presence of four or less residential units will trigger compliance with Title 24.55.205 requirements for controlling lead and asbestos during demolition. Key provisions are as follows.

#### Title 24.55.205 Site Control Measures in Residential Demolitions

A. The provisions of Title 24.55.205 apply to the following, regardless of zoning or Comprehensive Plan Map designation:

1. Demolition of structures used for residential purposes with four or fewer dwelling units, including mixed use structures. "Mixed use" for purposes of this Section 24.55.205 means the combination on a site of residential uses with commercial or industrial uses.
2. Any detached accessory structures with a floor area over 200 square feet on a site with a structure covered by Subsection 1. above.
3. Major residential alterations, as that term is defined in Section 24.55.150. Except for this Subsection A., whenever the term "demolition" is used in this Section 24.55.205, it includes major residential alterations.

**B. Documentation Required.** A permit to demolish a structure within the scope of this Section as defined in Subsection A. above will not be issued until the Bureau of Development Services (BDS) has received all of the following:

1. A copy of the asbestos survey required under Oregon Revised Statutes 468A.757 and Oregon Administrative Rules Chapter 340, Division 248, Section 0270, as each of these is amended from time-to-time.
2. If asbestos is identified in the asbestos survey: A close-out letter from the licensed asbestos abatement contractor verifying all of the asbestos identified in the asbestos survey has been abated and all required DEQ notification forms and the asbestos waste shipment form.
3. A Demolition Plan as described in Section 24.55.150.
4. The applicant must provide a lead-based paint inspection report in order to seek an exemption from the lead-hazard reduction requirements in Subsection C.1. of this section. The requirements for the inspection report will be contained in the BDS Administrative Rule Related to Chapter 24.55 – Demolitions.
5. Verification of all required certifications as described in the BDS Administrative Rule Related to Chapter 24.55 – Demolitions.

*Please follow this [link](#) for the complete Title section regulations.*

## **Geotechnical Engineering Requirements**

The applicant must submit a geotechnical report with the building permit application. The report must be prepared by an Oregon-registered professional engineer with experience in geotechnical engineering. The report must summarize the subsurface conditions, including groundwater, and provide the engineer's recommendations for site preparation, grading, seismic design, and foundation support.

In order to evaluate whether the foundation design of the proposed structure complies with the Oregon Structural Specialty Code, for buildings that are more than 6 stories, the applicant must submit a site-specific seismic hazard study. Site Development anticipates the seismic hazard study will be included in the geotechnical report.

**Ground Improvement:** If ground improvement is recommended by the geotechnical engineer, the ground improvement plans and calculations must be submitted with the building permit application. Ground improvement cannot be a deferred submittal.

## **Temporary Shoring**

Adjoining private and public property must be protected from damage during construction, demolition, and remodeling. The applicant must submit plans and calculations for temporary shoring to facilitate the proposed subterranean basement. The shoring plans must be prepared by a professional engineer with experience in shoring design.



## **Erosion Control**

The applicant must submit an erosion control plan with the building permit application. The project area meets the criteria specified in City Code 10.30.030 as a Special Site with additional requirements for erosion, sediment, and pollution control. The plan should be reviewed by a Certified Professional in Erosion and Sediment Control (CPESC) or State of Oregon registered professional engineer prior to submittal to the City. Please refer to the City of Portland Erosion and Sediment Control Manual for additional information.

DEQ permit required: The applicant is advised that a 1200-C NPDES permit from the Oregon Department of Environmental Quality (DEQ) is required for construction activities including clearing, grading, excavation, and stockpiling that will disturb one or more acres and may discharge to surface waters or conveyance systems leading to surface waters of the state, in addition to City requirements. Important: The City will not issue a building permit until DEQ approves the 1200-C permit, where a 1200-C is required.

# Water Bureau

## Early Assistance Appointment Response

**Date:** November 1, 2022  
**From:** Benjamin Kersens, 503-865-6370, Ben.Kersens@portlandoregon.gov  
**Case File:** EA 22-191887  
**Location:** 522 SW 13TH AVE  
**Property ID:** R246879  
**Proposal:** New Affordable Housing: ~50,000sf, 12 story, multi-family building with 90 units (mix of studios & one-beds) with associated resident services and amenities. Stormwater to be managed on site per the current BES Stormwater Management Manual. (This project is subject to a Type 3 DZ, but will use Footnote 2 of Table 825-1 to go through a DAR and Type II instead.)

The Portland Water Bureau (PWB) has reviewed the early assistance materials to identify potential issues and requirements.

### A. KEY ISSUES

1. To install a new sanitary lateral to the property you will need to cross an existing water main. PWB will require a Utility Protection Plan prior to construction. Refer to the [Portland Guidelines for Utility Protection](#) for more information.

### B. WATER AVAILABILITY

1. Water is available to this site from the 8" CI water main in SW 13<sup>th</sup> Ave and the 6" CI main in SW Alder. The static water pressure is estimated as 49 - 62 psi at 87 feet in elevation.
  - a. PWB has a preference that new services be locate in SW 13<sup>th</sup> Ave.
2. The site is currently served through a 1" meter and service and a 4" fireline on SW 13<sup>th</sup> Ave. Service line and meter sizes are determined by the total fixture units being served by that line and meter. If the services are found to be inadequate, they will be resized at the expense of the applicant. If an existing service is not used for the new development, it must be removed. All fees to remove services are the responsibility of the applicant.

Submission of the fixture count is required at permit application. Please refer to the [W3](#) and [W4](#) forms on our website for more information.

### C. OTHER CATEGORY

1. Backflow prevention assemblies are required for all dedicated irrigation services, dedicated fire lines, mixed-use/multi-tenant developments, certain occupancies, and meters larger than 1.5". A backflow assembly may be required on smaller services based on the use of

the property. Dedicated fire sprinkler water services are to be equipped with a state-approved detector style backflow prevention assembly.

Backflow prevention assemblies can significantly impact property frontage development. Water Bureau required backflow assembly installations are required on private property, at the public right of way line, centered on the city's water service. Some installations are required to be installed above finished grade in an approved insulated outdoor enclosure. Assemblies installed inside of buildings must be approved prior to installation. Water services to high rise buildings (measured 75-feet from lowest finished floor to top of structure) are required to be equipped with Reduced Pressure type backflow assemblies.

Please reference possible backflow assembly requirements for your project at <https://www.portland.gov/water/backflow-prevention/backflow-assembly-installation-requirements> or contact Water Quality Inspection at 503-823-7479 for more information.

2. To obtain fire flow information fill out a "Fire Flow Request Form" found at our website, <https://www.portland.gov/water/water-development-services/request-fire-flow-information> or by calling 503-823-1408.
3. If there is contamination in or near the ROW at the location of proposed water mains or services, PWB requires:
  - a. Verification of clean soils at the location of the installations; or
  - b. Identification of the extent and degree of contamination such that appropriate remediation plans can be generated prior to any PWB construction. The remediation, disposal fees, and charges are the responsibility of the applicant.
4. The developer will be required to confirm through permit review that the existing and proposed PWB infrastructure will meet City standards relative to the proposed improvements. Water Bureau infrastructure may need to be adjusted or fully reconstructed at the expense of the developer if standards cannot be met. Please review the Portland Water Bureau Engineering and Technical Standards Administrative Rule that was instituted June 2022 at <https://www.portland.gov/water/water-development-services/engineering-admin-rule>
  - i. Based on a Streetview review, the existing fire service may stub into a vault in the right-of-way. This does not meet current standards. If the 4" tap is reused then the vault, if present, would need to be decommissioned according to City standards.

#### D. WATER CODE REQUIREMENTS

##### Separate Water Service Requirements for Commercial Development

The Portland Water Bureau's guiding code, [Title 21](#) was updated in January 2021.

- **New mixed-use structures** are required to have separate meters for the commercial and residential portions of the development.
- **Water services may not cross property lines.** Separate services and meters are required for **development on an individual lot, regardless of lot ownership.** An exception is when a single structure crosses a property line, in which case a single meter may serve the structure.

Topic	Code and Comments	Code Citation & Link
Title 21	City Water Code	<a href="#">Title 21 Water</a>
Engineering and Technical Standards	Administrative Rule	<a href="#">Administrative Rule</a>

#### E. PERMIT INFORMATION

At the time of permit review (following the land use review) you should be aware of the following:

1. Meters will be sized during the building permit process. Sizing is based on total count of all fixtures supplied by the identified service. Applicant will provide an SDC Form, W-3, or W-4 for each meter as part of the building permit submittal. There will be no reduction in meter size based on grey water usage or the installation of low-flow fixtures.
2. All new domestic service taps and upsized meters will be assessed a [System Development Charge](#) (SDC). Fee is based on meter size except when a header service is installed, in which case the fee is based on the shared meter equivalent. See PWB Code Guide for more information: <https://www.portland.gov/water/water-development-services/separate-meter/>.
3. SDC credit will be given for meters that are permanently removed. SDC credit is applied towards services within the same lot and is not transferrable.
4. Fire lines are excluded from Systems Development Charges.
5. The applicant can consider the use of a combination domestic and fire service for domestic services of 2" or less.
6. Service/Mains work may fall outside of our Rate Ordinance requiring a Site Specific estimate. Ordinance rates for service installations and water main extensions can be found in Exhibit A of the current Water Fee Schedule: <https://www.portland.gov/water/water-development-services/water-development-fees/>.





# Urban Forestry

## Early Assistance Response

Date: October 26, 2022  
From: Mariano Masolo  
503-823-4560, [Mariano.Masolo@portlandoregon.gov](mailto:Mariano.Masolo@portlandoregon.gov)  
Case File: EA 22-191887  
Location: 522 SW 13TH AVE  
Proposal: New Affordable Housing: ~50,000sf, 12 story, multi-family building with 90 units (mix of studios & one-beds) with associated resident services and amenities. Stormwater to be managed on site per the current BES Stormwater Management Manual. (This project is subject to a Type 3 DZ, but will use Footnote 2 of Table 825-1 to go through a DAR and Type II instead.)

Portland Parks, Urban Forestry staff has reviewed the Early Assistance materials to identify potential issues and requirements in accordance with Title 11, Trees. This response identifies potential issues and/or impacts on existing street and heritage trees, and trees on city-owned or managed sites, if applicable. Trees on private property are subject to development standards from the Bureau of Development Services. See planner requirements for private property trees.

**Please note that there may be other applicable tree requirements in Title 33 Planning & Zoning.**

### A. Response Summary

The development will be subject to Urban Forestry standards and requirements during the permit review process as detailed below.

### B. Tree Plan (11.50.060)

A tree plan must be submitted with each phase of review including land use reviews, building permit applications, and public works permits. The plan must include the following information for street trees:

- a. The size and location of street trees adjacent to the subject property.
- b. Trees proposed to be preserved including tree protection specifications in accordance with 11.60.030.
- c. Tree(s) proposed for removal.
- d. Tree planting plan (tree species and location(s)).

### C. Street Trees

#### 1. Existing Street Conditions

- a. SW 13<sup>th</sup> Ave: The site has approximately 100 feet of street frontage. The right-of-way is improved with pavement, curbs, planting cutout, sidewalks. There are no overhead high voltage power lines. There is one street tree.
  - i. Red maple (*Acer rubrum*) 15" DBH. Tree is in good condition.



- b. SW Alder St.: The site has approximately 50 feet of street frontage. The right-of-way is improved with pavement, curbs, and sidewalks. There are no overhead high voltage power lines. There are no street trees.

2. *Street Tree Preservation* (11.50.040)

Based on the proposed development it appears existing street trees may be impacted. Development proposals must be configured to avoid street trees.

The existing red maple is a healthy, functioning street tree and must be preserved at all phases of construction. If the applicant believes the tree must be removed to facilitate development, the applicant must provide adequate technical analysis demonstrating why the tree cannot be preserved while developing the site to City standards.

3. *Street Tree Protection Specifications* (11.60.030)

Tree protection is required in accordance with Title 11 Trees, Protection Methods (11.60.030). Tree protection shall follow either the Prescriptive or Performance path. Protection methods must be shown on the tree plan. If using the Performance path, the alternate tree protection plan must be prepared by an arborist who has visited the site

4. *Street Tree Planting* (11.50.060.C)

The applicant has not provided a conceptual street tree planting plan. One street tree must be planted or retained for each full increment of 25 linear feet (11.50.060.C.1). Street trees must be planted at a minimum 2.5 caliper inches. Trees will be required to be planted through the building permit and public works permit.

Street tree planting may be exempt under 11.50.060.B when existing above or below grade utilities prevent planting street trees or when the existing planting strip is less than 3-feet wide.

Due to the existing condition of the right-of-way, street trees may not be required unless PBOT requires frontage improvements.

## **D. Heritage Trees**

1. *Heritage Trees* (11.20.060):

There is not a heritage tree located on/adjacent to the site that is on the City of Portland's Heritage Tree list.





## **URBAN FORESTRY TREE REQUIREMENTS**

### **Early Assistance and Land Use Review**

Portland Parks & Recreation Urban Forestry staff review Early Assistance and Land Use Review materials to identify potential issues and requirements in accordance with Title 11, Trees and Title 33, Zoning Code. The purpose of these reviews is to identify potential issues and/or impacts on existing street trees, heritage trees, and trees on City-owned or managed sites (if applicable), as well as to provide adequate areas for future street tree planting on existing and proposed public streets. Trees on private property are subject to development standards from the Bureau of Development Services. See planning requirements for private property trees or call the Zoning Hotline at 503-823-7526.

#### Tree Plan Submittal Requirements (11.50.070)

A tree plan must be submitted with each phase of review including land use reviews, building permit applications, and public works permits. The tree plan information may be combined with other relevant plan sheets. The tree plan submittal shall include the following information:

- ☐ existing improvements;
- ☐ proposed alterations;
- ☐ existing street trees  $\geq 3"$  DBH including size and location;
- ☐ existing on-site trees  $\geq 6"$  DBH within 15' of the limits of disturbance;
- ☐ trees proposed for removal;
- ☐ tree planting proposal, including tree size, species and location; and
- ☐ trees to be retained and proposed tree protection measures meeting the specification in Chapter 11.60.

Any changes to an approved Tree Plan, including amending tree species must be approved by the City Forester. Please note that the City Forester may not approve revised tree planting plans based on the lack of species availability. To facilitate species availability, it is recommended that tree procurement occur approximately 6 months prior to installation.

#### Tree Mitigation (11.50.040.C.2)

Healthy street trees  $\geq 6"$  DBH that are approved for removal shall be replanted with two trees in addition to trees required to be planted to meet Street Tree Planting Standards, below. When street improvements are to partially or fully unimproved streets, healthy street trees  $\geq 12"$  DBH approved for removal shall be replanted with two trees, with trees planted to meet Street Tree Planting Standards credited towards meeting this requirement. Tree replacement for trees removed shall occur in the street planter strip, on site, or in the same watershed either by planting or by paying a fee in lieu of planting in accordance with table 60-1, below.

On City-owned or managed sites, healthy, non-nuisance trees  $\geq 6"$  DBH that are approved for removal shall be replanted per the Administrative Rule for tree replacement standards, below:



## Tree Replacement for Development on City Owned or Managed Sites

Size of tree to be removed (inches in diameter)	Number of trees to be planted
6 and up to 12	Up to 2
More than 12 and up to 20	Up to 3
More than 20 and up to 25	Up to 5
More than 25	Up to 6

### Street Tree Planting Standards (11.50.050)

One street tree shall be planted or retained for each full increment of 25 linear feet per side of street frontage. Planting is exempt when existing above or below grade utilities prevent planting of street trees, or if the existing design of the street will not accommodate street tree planting because the planting strip is less than 3 feet wide, there is not a planting strip, or there is insufficient space to add tree wells. Trees planted to meet street tree planting standards are credited toward mitigation requirements when street improvements are to partially or fully unimproved streets. When the required number of trees cannot be planted, a fee in lieu of planting will be required, in accordance with Table 60-1, below.

**Table 60-1 Broadleaf Tree Size Requirements**

Development Type	Tree Size	
	On Site	Street
One and Two Family Residential	1.5"	1.5"
Multi Dwelling Residential	1.5"	2"
All others	1.5"	2.5"

### Tree Planting Specifications

If there are fewer than 8 required trees, they may all be the same species. If there are between 8 and 24 required trees, no more than 40 percent can be of one species. If there are more than 24 required trees, no more than 24 percent can be of one species. Street tree species shall conform to the appropriate "City of Portland Approved Street Tree Planting List." The City Forester may approve or require an alternate or unlisted species.

All required street trees shall be planted in-ground following Standard Drawing Number P-581 "Typical Street Tree installation," except when in raised planters that are used to meet Bureau of Environmental Services storm water management requirements. Please include the Standard Drawing Number P-581 as part of the Public Works permit application. Plant materials shall be installed to current nursery industry standards and proper arboricultural practices [American National





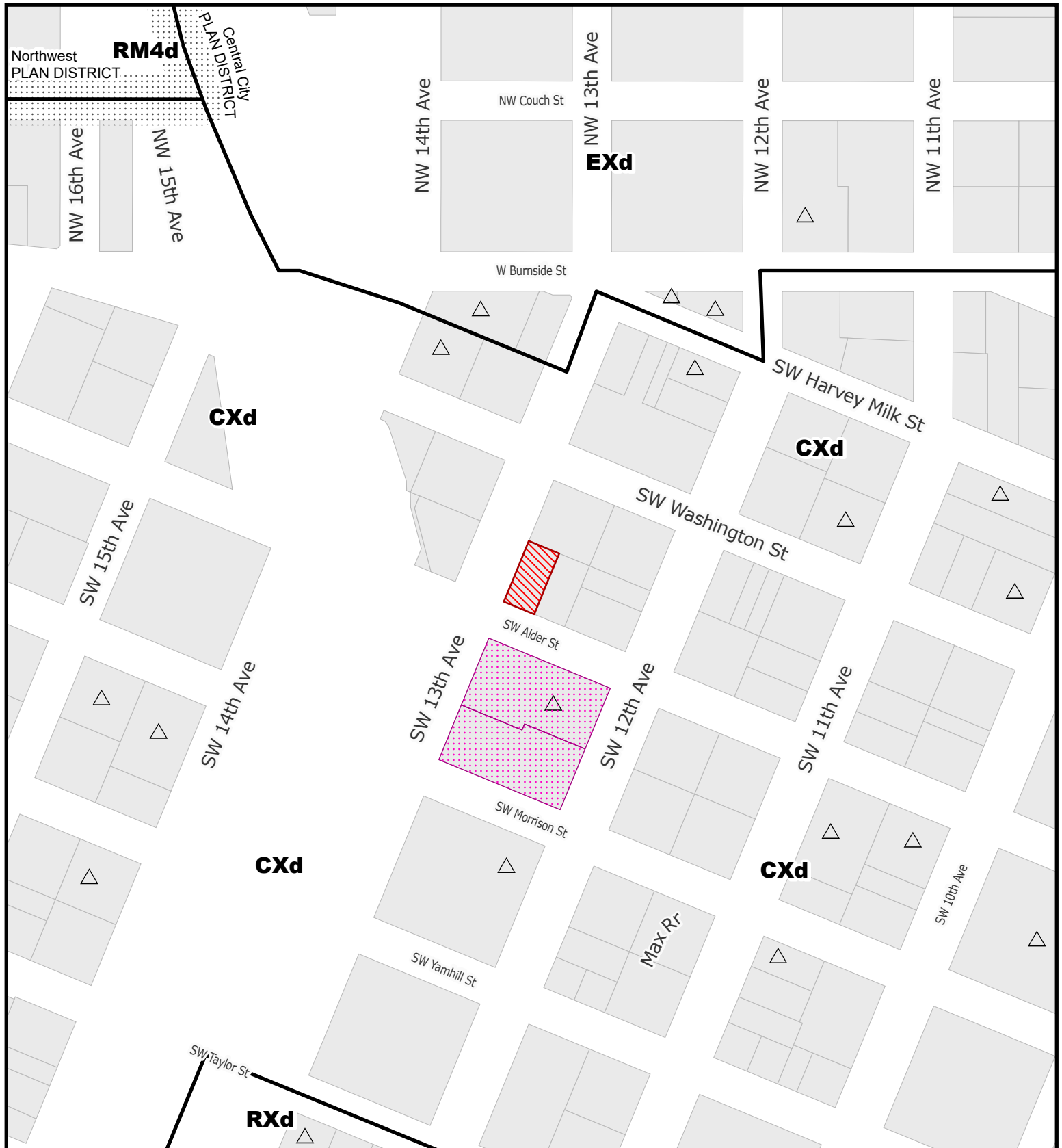
Standards Institute, *ANSI A300 Part 6: Tree, Shrub, and Other Woody Plant Maintenance-Standard Practices (Planting and Transplanting)* 2012, Tree Care Industry Association, Inc. Londonderry, NH]. Plant materials shall be properly supported to ensure survival.

All trees required or approved to be planted by Title 11 shall be planted or payment in lieu of planting made prior to the expiration of the permit or City's final acceptance of the project, as applicable. However, it is encouraged that planting occur during the wet months or as per City Forester recommendations. Street tree planting may be deferred between May 1 and September 30 upon filing a performance guarantee as provided in Section 11.10.060 or other assurance deemed acceptable by the City Forester or BDS Director as applicable.


#### Tree Protection Specifications (11.60.030)





Trees to be retained shall be protected in accordance with Title 11 Trees, Protection Specifications (11.60.030.C). Tree protection shall be shown on the tree plan and include the distance from the trunk of the tree to the fence. A standard root protection zone is established as follows; a minimum of 1 foot radius (measured horizontally away from the face of the tree trunk) for each inch of tree diameter. Protection fencing shall be a minimum 6-foot high metal chain link construction fence, secured with 8-foot metal posts established at the edge of the root protection zone and permissible encroachment area.





For Zoning Code in Effect Post October 1, 2022

**ZONING**   
 THIS SITE LIES WITHIN THE:  
 CENTRAL CITY PLAN DISTRICT  
 WEST END SUB DISTRICT

-  Site
-  Also Owned Parcels
-  Plan District
-  Historic Landmark

File No.	<u>EA 22 - 191887 APPT</u>
1/4 Section	<u>3028</u>
Scale	<u>1 inch = 200 feet</u>
State ID	<u>1N1E33DD 3300</u>
Exhibit	<u>B</u> <u>Oct 28, 2022</u>
EA 22-208807 DA G-2	



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
FROM CONCEPT TO CONSTRUCTION

Carmen Rubio, Commissioner  
Rebecca Esau, Director  
Phone: (503) 823-7310  
TTY: (503) 823-6868  
[www.portland.gov/bds](http://www.portland.gov/bds)

## Design Advice Request

### DISCUSSION MEMO

**Date:** 1/12/2022  
**To:** Portland Design Commission  
**From:** Tanya Paglia, Design & Historic Review Team  
503-865-6518 | [Tanya.Paglia@portandoregon.gov](mailto:Tanya.Paglia@portandoregon.gov)  
**Re:** EA 22-208807 DA – Julia West  
Design Advice Request Memo – January 19, 2023 Meeting

This memo is regarding the upcoming DAR on 1/19/2023 for Julia West Apartments. The following supporting documents are available as follows:

- Drawings & Guideline matrix – accessed here:  
<https://efiles.portlandoregon.gov/record/15696534>

*Note, Commissioners who requested hard copies will receive the drawing set by courier.*

#### I. PROGRAM OVERVIEW

DAR for Julia West, a much needed 12-story affordable housing development located on the corner of SW 13th Ave and SW Alder St in the West End Subdistrict of the Central City Plan District. The proposed approximately 59,890 SF CLT structure will have 90 units of permanent supportive housing. Amenities will include community rooms, laundry lounge, rooftop terrace, onsite supportive services, and property management. A below-grade utility/back-of-house basement is proposed.

##### Notes:

Review Type. As an affordable housing development, this project intends to go through a Type II Design Review procedure rather than a Type III procedure, so the land use review will be processed at the staff level and this project will not come before the Design Commission unless appealed.

Electrical Vault. PBOT has adopted a new policy that electrical transformers be located on private property except in rare circumstances when Title 33 standards and/or Design Guidelines are not met. With the transformer now required to be located inside the building as the first option, the applicants are working with Pacific Power and Light to locate the electrical transformer in a room at the rear of the loading dock, away from the building face. From staff's perspective this is a highly desirable location as it consolidates back-of-house functions and does not add additional inactive street frontage. At the time this memo was written, PPL has indicated preliminary support for this placement. The applicants continue to work with PPL and there might be more information available by 1/19/2023 when they present their DAR materials.

If this placement falls through for some reason, and if another placement option creates a less active ground floor, staff will be investigating right-of-way options with the applicant, PBOT and PPL to ensure this small ground floor meets Zoning Code and Central City Fundamental Design Guidelines

The following summarizes key policy context as it applies to the subject site.

#### Plans

- [2035 Comprehensive Plan](#)
- [Downtown Community Residential Plan](#)

#### Development Standards

- CXd, [Central Commercial base zone](#) with [Design Overlay](#)
- [Central City Plan District, West End Subdistrict](#)

*Though early in the design process, the proposal appears generally compliant with zoning code standards (allowed use, maximum setbacks, parking, loading, landscaping, windows, etc.). The project has anticipated Exceptions to oriel window standards.*

Streets – Adjacent streets are classified as follows:

- SW 13th Ave is classified as a Major City Walkway in Ped Dist, City Bikeway, Neighborhood Main Street Design, Local Service Transit Street, Traffic Access St, Local Service Freight Street, Minor Emergency Response.
- SW Alder St is classified as a Major City Bikeway, Major City Walkway in Ped Dist, Neighborhood Main Street Design, Transit Access, Local Service Traffic, Local Service Freight, Minor Emergency Response.

## II. DEVELOPMENT TEAM BIO

Architect	Maggie Harris   Holst Architecture
Owner's Representative	Mai Huynh-Carnes   Community Development Partners
Project Valuation	\$ 10,000,000

## III. FUTURE DESIGN REVIEW APPROVAL CRITERIA:

- Central City Fundamental Design Guidelines

## IV. POTENTIAL ORIEL WINDOW EXCEPTIONS

No Modifications or Adjustments have been identified for the current project, however, Oriel Window Exceptions will be required for the design as presented today.

The standards for windows allowed to project into the public right-of-way include 7 criteria; The project proposes to meet criteria: A, B, C, D and G and request Exceptions to E and F:

- Projection.** Maximum projection of 4 feet into the right-of-way including trim, eaves and ornament.
- Clearance.** Clearance above grade as defined in Chapter 32, Section 3202.3.2 of the current Oregon Structural Specialty Code. (The 2004 edition of the Oregon Structural Specialty Code states that no projection is allowed for clearances less than 8 feet above grade. For clearances above grade greater than 8 feet, 1 inch of projection is allowed for each additional inch of clearance, provided that no such projection shall exceed a distance of 4 feet.)



- C. **Area.** Maximum wall area of all windows which project into public right-of-way on a wall is 40% of the wall's area.
- D. **Wall Length.** Maximum width of any single window which projects into public right-of-way is 50% of its building wall length.
- E. **Window Area.** Minimum of 30% window area at the face of the projecting window element. Projections greater than 2 feet 6 inches must have windows at all sides. Required side windows must be a minimum of 10% of side walls.
- F. **Width.** Maximum width of 12 feet for each projecting window element. When approved through Design Review, the width may vary provided the area of all windows on a wall which project into public right of way does not exceed 40% of the wall's area and the width of any single projecting window element does not exceed 50% of its building wall's length.
- G. **Separation.** Minimum separation of 12 feet measured from other projecting window elements on the same elevation or plane of wall. When approved through Design Review, required separation may vary provided the area of all projecting window elements on a wall does not exceed 40% of the wall's area and the width of any single projecting window element over the right-of-way does not exceed 50% of its building wall's length.

The Following Oriel Window Exceptions may be requested:

- Exception to Oriel Window Standards Criterion E – **Window Area**  
Minimum: 30% or more of face of projecting element must be window area.  
Proposed: 26% of face of projecting element is window area.
- Exception to Oriel Window Standards Criterion F – **Width**  
Maximum: 12' maximum width for projecting elements.  
Proposed: 47'-6" width of projecting element.

## V. STAFF ANALYSIS & RECOMMENDED DAR DISCUSSION TOPICS

Staff advise you consider the following among your discussion items on January 19, 2023:

### CONTEXT

- **Building Base.** The Commission has consistently noted in the past that buildings in this area have rich bases and should have special qualities including a sense of craft with a higher level of detail and materials to bring richness and human-scale to the pedestrian realm. On such a small site, ground level is particularly important. Staff encourages additional design consideration at the compact building base and would also like the commission to weigh in on whether the proposed base has those qualities. Refer to *Central City Fundamental Design Guidelines: A5 – Enhance, Embellish, and Identify Areas, C2 – Promote Quality and Permanence in Development, C4 – Complement the Context of Existing Buildings.*
- **Non-street facing facades.** The Commission has consistently approved property line walls, that will be highly visible, with subtle material shifts and detailing to avoid blank walls void of any design attention. While they are facing interior property lines, the north, and east façades will be visible elevations given the height of the proposed building and the scale of the existing surrounding development. Vantage points from the pedestrian realm will allow ample views of the two non-street facing facades. The applicant has not provided information yet on their design and materials palettes, however, staff would like commission to discuss their expectations for these facades. Refer to *Central City Fundamental Design Guidelines: A8 –*

*Contribute to a Vibrant Streetscape, C2 – Promote Quality and Permanence in Development, C4 – Complement the Context of Existing Buildings, C5 – Design for Coherency.*

- **Projecting Oriel Element.** As proposed, the base of the building features a large projecting element on its west façade. The oriel's maximum projection into the ROW of 1'-6" (which tapers to 0') is fairly modest given the scale of the building, and the projecting element occupies only 29% of the front façade area. The oriel projection creates movement and interest in the building's façade and staff is currently in support of this feature and the 2 Exception requests. Staff would also like the commission to note whether they support the two exceptions requested which are only allowed through Design Review. Refer to *Central City Fundamental Design Guidelines: A5 – Enhance, Embellish, and Identify Areas, A8 – Contribute to a Vibrant Streetscape, C6 – Develop Transitions between Buildings and Public Spaces, C8 – Differentiate the Sidewalk-Level of Buildings, C10 – Integrate Encroachments.*

## PUBLIC REALM

- **Weather Protection.** The proposed ground level provides very little weather protection to the public realm. The two adjacent streets are both Major City Walkways and the site is located in a designated Pedestrian District. Weather protection is essential in this area. Refer to *Central City Fundamental Design Guidelines: A8 – Contribute to a Vibrant Streetscape, B2 – Protect the Pedestrian, B4 – Provide Stopping and Viewing Places, B6 – Develop Weather Protection, C6 – Develop Transitions between Buildings and Public Spaces.*
- **West Ground Floor Frontage.** The building's ground floor erodes away from the property line on the west frontage and allows room for an activated area adjacent to the main entrance. This frontage is subject to the zoning standard 33.510.215.B, Required Building Lines. This standard requires that: The space between the building and the street lot line must be designed as an extension of the sidewalk and committed to active uses such as sidewalk cafes, vendor's stands, or developed as "stopping places."

Staff believes that meeting the standard by creating a sense of an active "front porch" area along the west exterior frontage would be of great benefit to the residents, giving them opportunities to sit outside and chat while watching street activity, making the frontage more active. The proposal is currently showing one bench in this area. Given the zoning standard's language and the design guidelines, this area should be fleshed out a little more to create a more activated space. Refer to *Central City Fundamental Design Guidelines: A5 – Enhance, Embellish, and Identify Areas, A8 – Contribute to a Vibrant Streetscape, B4 – Provide Stopping and Viewing Places, C6 – Develop Transitions between Buildings and Public Spaces, C9 – Develop Flexible Sidewalk-Level Spaces.*

- **Ground Floor Opacity.** The southwest corner of the building at the intersection of SW 13th Ave and SW Alder is highly glazed and is programmed with an active use. Moving along the street frontages away from that corner, the building has opaque zones on both street frontages. The north end of the west side is a loading dock area, and the east end of the south frontage is an exit corridor. Do commissioners have suggestions for ways to reduce the opacity in these areas or otherwise generate a sense of activity? Refer to *Central City Fundamental Design Guidelines: A8 – Contribute to a Vibrant Streetscape, C1 – Enhance View Opportunities, C6 – Develop Transitions between Buildings and Public Spaces.*
- **Outdoor residential spaces.** Outdoor residential spaces are important to people living in this dense urban context and adding balconies would also contribute to the activation of the streetscape. The applicant is commended on providing an outdoor rooftop space for the

residents. Refer to *Central City Fundamental Design Guidelines: A8 – Contribute to a Vibrant Streetscape, C1 – Enhance View Opportunities.*

## QUALITY & PERMANENCE

- **Material Concepts.** The application includes two material concepts in the current set: one with thin brick in a light color as the primary cladding with flat metal siding as an accent material; the alternate with chevron profile metal siding and flat panel metal siding as the primary cladding with a contrasting color flat panel metal siding as an accent material. While both brick and metal cladding are found in the area, mid-scale buildings with punched windows tend to be masonry, whereas metal and glass are usually materials found in taller towers with curtain wall systems. Given the surroundings, Commission should comment on the quality and permanence of both options and their relevance to the context. Refer to *Central City Fundamental Design Guidelines: A4 – Use Unifying Elements, A5 – Enhance, Embellish, and Identify Areas, C2 – Promote Quality and Permanence in Development, C4 – Complement the Context of Existing Buildings.*
- **Ground level materials.** Materials at the ground floor should be durable enough for use adjacent to public sidewalks. Both material concepts show flat panel metal siding as part of the ground floor material palette. Durability and longevity of ground level materials are important for highly traveled pedestrian zones. Does the Commission support flat metal at the ground floor? If so, what specifications are acceptable for a highly traveled pedestrian zone? Refer to *Central City Fundamental Design Guidelines: C2 – Promote Quality and Permanence in Development, C6 – Develop Transitions between Buildings and Public Spaces.*

# 1-19-23 - DESIGN COMMISSION HEARING

## BRIEFING - PBOT Healthy Business Permit & Public Street Plaza Programs

ATTENDEES - **TESTIFIERS IN RED** *(subject to change)*

FIRST NAME	LAST NAME	EMAIL	ADDRESS	CITY	ZIP	WOULD YOU LIKE TO TESTIFY	TESTIFIED YES/NO
LaJune	Thorson	lajune.thorson@gmail.com	255 SW Harrison St. 26 D	Portland	97201	YES	
Tina	Bue	tinabue@gmail.com	4525 Northeast Fremont Street, Apt 406	Portland	97213	NO	
Bette	Hess	pdxbookworm@gmail.com	1300 NE 16th Ave, Apt 426	Portland	97232	NO	
Doug	Bean	dougb@dougbbean.com	PO Box 2519	Portland	97208	NO	

## EA 22-208807 DA – Julia West

ATTENDEES - **TESTIFIERS IN RED** *(subject to change)*

FIRST NAME	LAST NAME	EMAIL	ADDRESS	CITY	ZIP	WOULD YOU LIKE TO TESTIFY	ARE YOU FOR OR AGAINST
LaJune	Thorson	lajune.thorson@gmail.com	255 SW Harrison St. 26 D	Portland	97201	YES	FOR
Tina	Bue	tinabue@gmail.com	4525 Northeast Fremont Street, Apt 406	Portland	97213	NO	N/A
Bette	Hess	pdxbookworm@gmail.com	1300 NE 16th Ave, Apt 426	Portland	97232	NO	FOR
Doug	Bean	dougb@dougbbean.com	PO Box 2519	Portland	97208	NO	N/A
Alex	Jensen	ajensen@djcoregon.com	12866 SE 126th Ave	Happy Valley	97086	N/A	N/A





City of Portland  
**Design Commission**

## Design Advice Request

EA 22-208807 DA

# **Julia West Apartments**

January 19, 2023

Staff Presentation

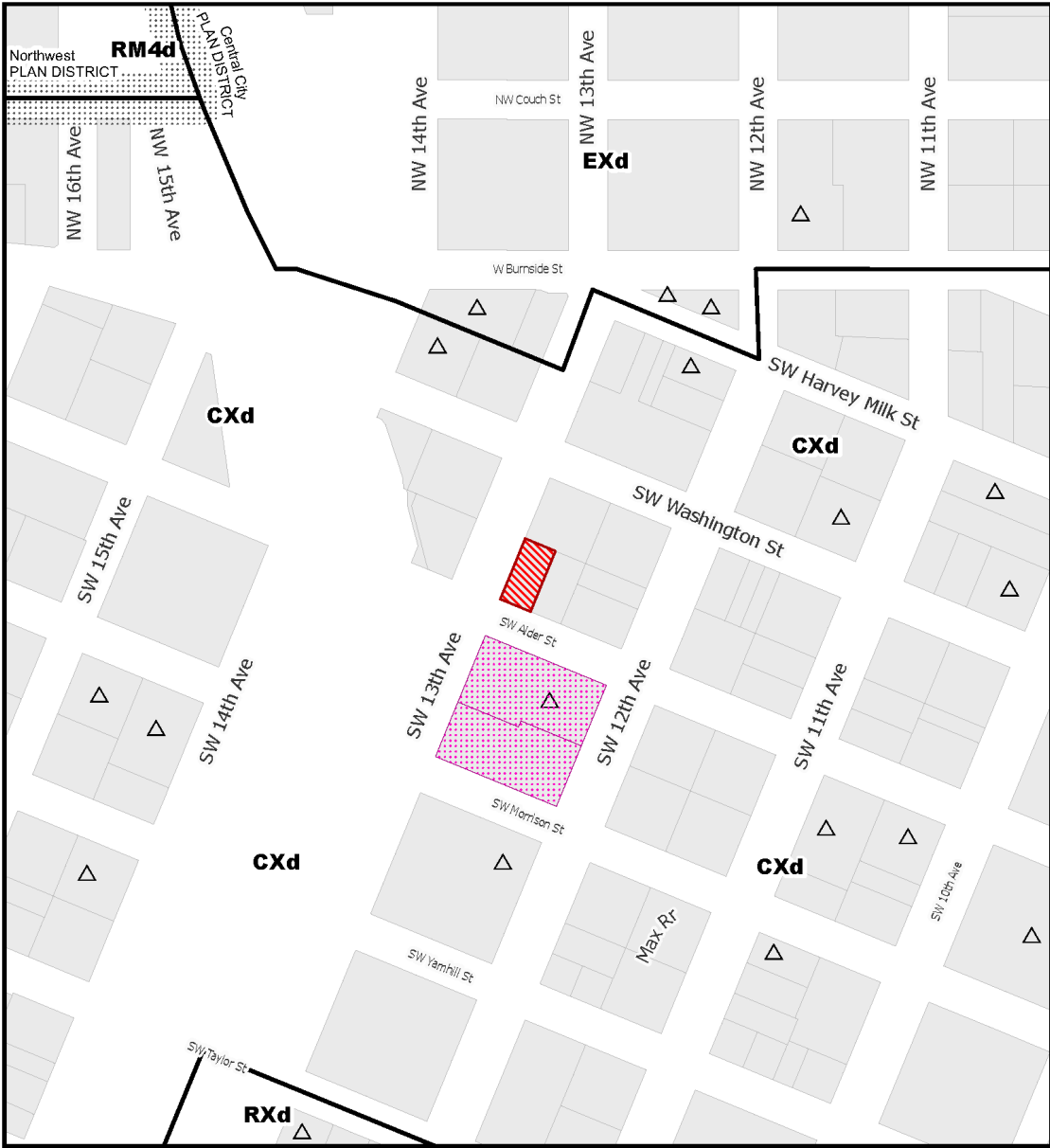
**Staff Introduction**

**Applicant Presentation**

**Staff Discussion Topics**

**Public Comments**

**Commission Discussion**



For Zoning Code in Effect Post October 1, 2022

**ZONING**   
THIS SITE LIES WITHIN THE:  
CENTRAL CITY PLAN DISTRICT  
WEST END SUB DISTRICT

-  Site
-  Also Owned Parcels
-  Plan District
-  Historic Landmark

File No.	EA 22 - 208807 DA
1/4 Section	3028
Scale	1 inch = 200 feet
State ID	1N1E33DD 3300
Exhibit	B Dec 07, 2022

## Location

Central City Plan District | West End Subdistrict

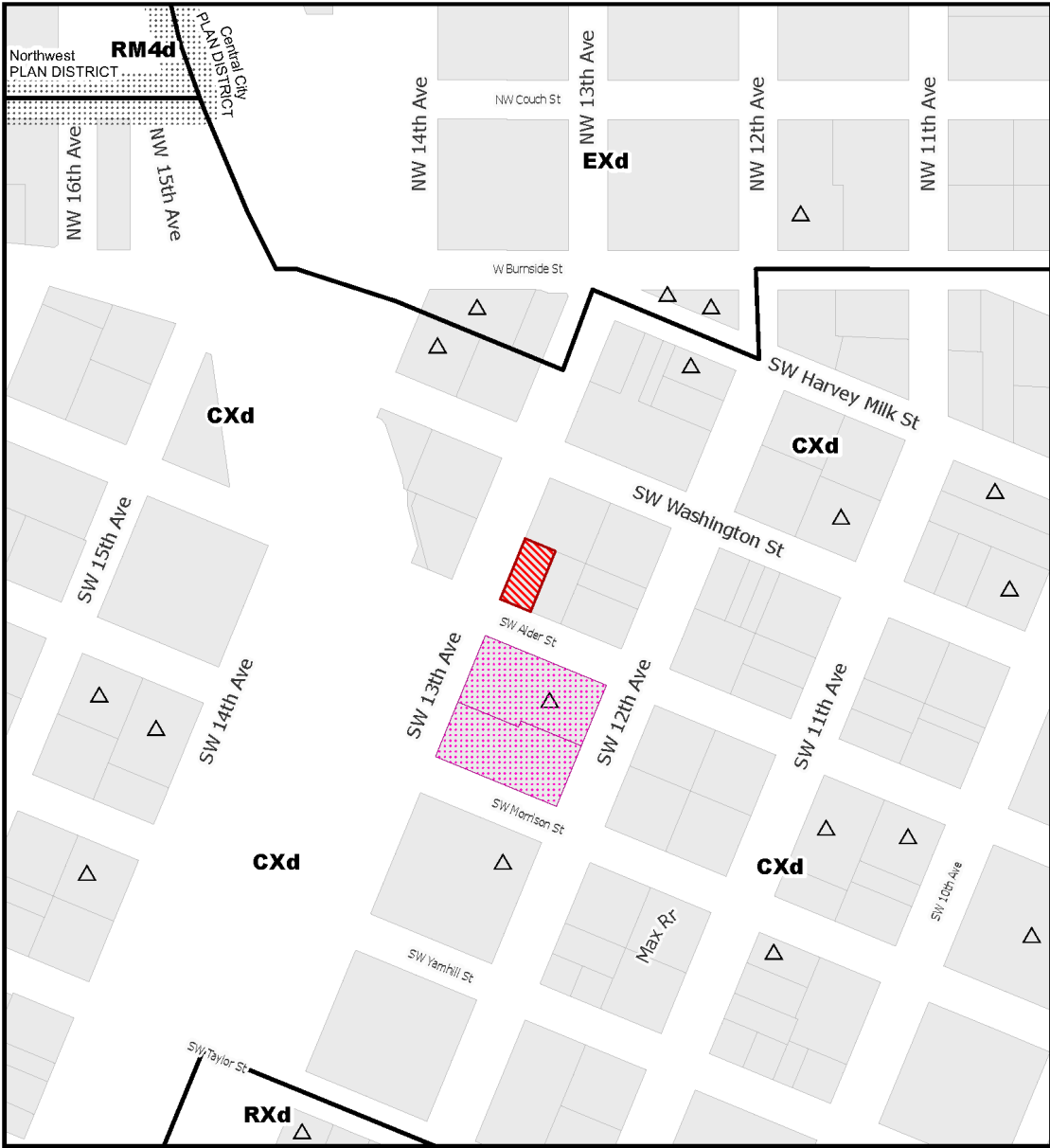
## Approval Criteria for Future Design Review

Central City Fundamental Design Guidelines

Design exception requests for window projection into public right-of-way (IBC/32/#1)

## Site Area:

5,000 SF



For Zoning Code in Effect Post October 1, 2022

**ZONING**   
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# Zoning

## Base Zone:

CXd, Central Commercial, Design Overlay

## Floor Area Ratio:

Base: 8:1 (Map 510-2) | Min: 2:1

Max with bonus: 11:1; Max with transfer: unlimited

Proposed: ~11

## Height:

Base: 150' (Map 510-3); Max with bonus: 325'

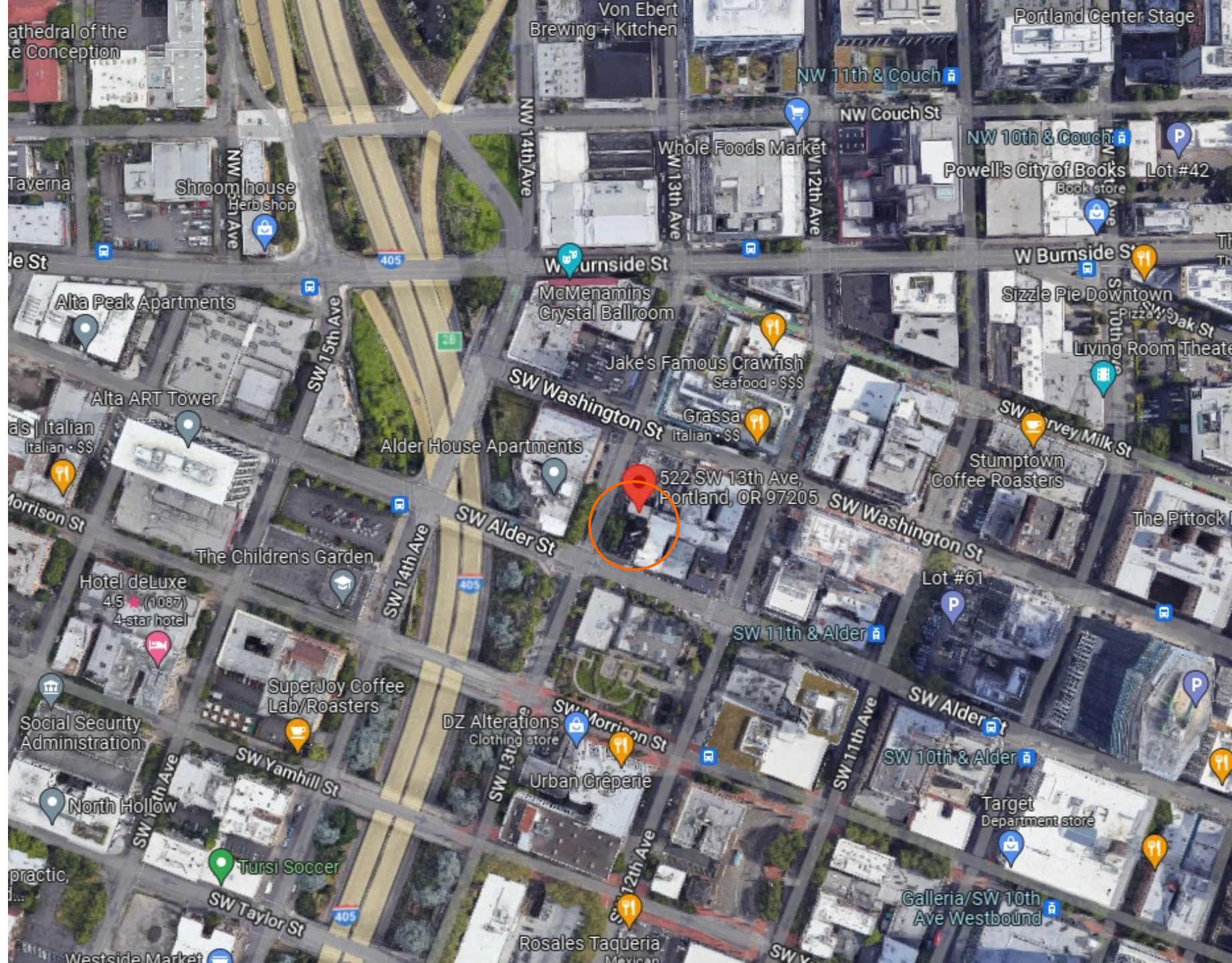
Proposed: ~138'

## Parking:

Required: 0 (affordable housing exception 33.266.110.D)

Proposed: 0





EA 22-208807 G-5

Context

DA G-5





EA 22-208807 DA G-5

Looking north down SW 13<sup>th</sup> Ave





EA 22-208807 DA G-5

Looking south down SW 13<sup>th</sup> Ave





EA 22-208807 DA G-5

Looking east down SW Alder St





EA 22-208807 DA G-5

Looking west down SW Alder St





EA 22-208807 DA G-5

**Back of site seen from SW Washington St with parking structure on lot to the north in foreground**

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## Memo Topics:

1. Context: Base, Non-street-facing facades, Oriel
2. Public Realm: Weather Protection, West Frontage, Ground Floor Opacity, Outdoor Residential Spaces
3. Quality & Permanence: Material Concepts, Ground Level Materials

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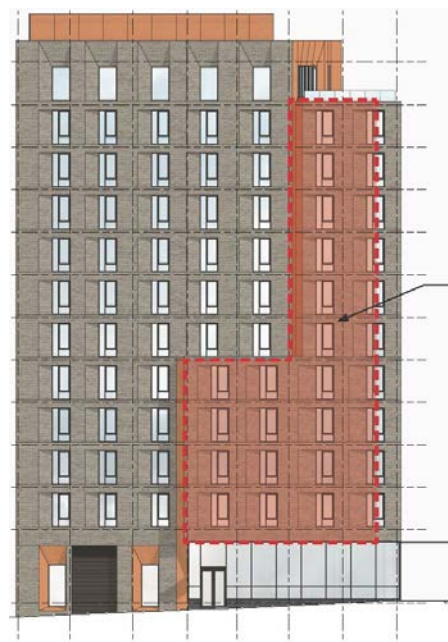
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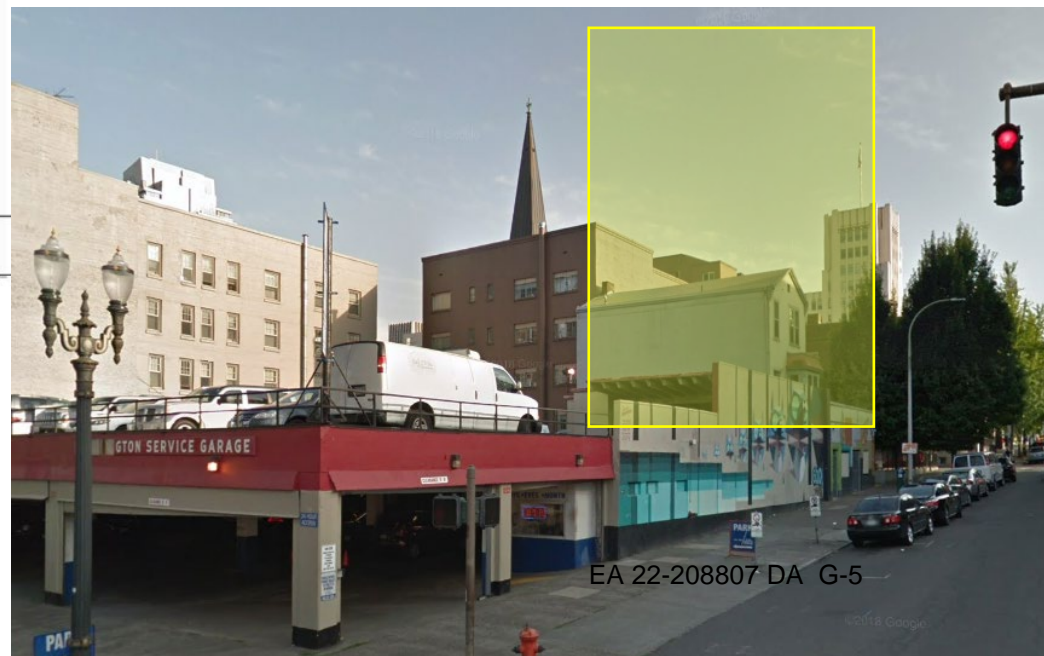


# Context:

- Building Base
- End Walls - Non-street-facing Facades
- Oriel Element



PROJECTION AREA:  
28% OF FACADE





# Public Realm:

- Weather Protection
- West Ground Floor Frontage
- Ground Floor Opacity
- Outdoor Residential Spaces





# Quality and Permanence:

- Material Concepts
- Ground Level Materials

## ALTERNATE MATERIAL CONCEPT



1. VINYL WINDOWS



2. FLAT PANEL METAL SIDING



3. FLAT PANEL METAL SIDING



4. CHEVRON PROFILE METAL SIDING



## MATERIAL CONCEPT



1. VINYL WINDOWS



2. FLAT PANEL METAL SIDING



3. THIN BRICK VENEER



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