

**Bureau of Development Services - Land Use Services Division**  
**Refund Request Form for Void/Withdrawn/Cancelled Application/Case/Appointments**

**PLANNER:** Complete Upper Section of this form. Submit form to Section or Division Manager for authorization.

Today's Date:

Intake Date:

To: BDS Administration Section, A/P

From:

(Required if case 6+ months old)

Approved by Manager:  Digitally signed by Kara Fioravanti  
Date: 2018.04.13 13:19:59 -07'00'

Division Manager:

Case Number:

**Refund of Service Bureau Fees:**

- Reviewed by Service Bureaus  No (100% refund)  Yes (No Refund)

\* If over \$1,000 dollars has been paid to PBOT, Section Manager check with PBOT for possible partial refund.

**Refund of Hearings Officer Fee**

- Did hearing occur?  No (100% refund)  Yes (No Refund)

Write an explanation on the lines provided below. Your explanation will go into TRACS. If there are concurrent reviews, and one or more are withdrawn, identify which reviews are withdrawn. **Special Refund Instructions.**

Applicant requests to withdraw application. Status is incomplete and notice has not been sent. Project is no longer feasible.

Is the case now considered inactive?  No  Yes If yes, please attach the case file.

**Please check the appropriate situation.**

- (A) **Unnecessary fees/Review** When a fee is accepted for a land use review that is later found to not be required, a full refund of all land use review fees for the unnecessary review will be given. If there are concurrent reviews, identify on reverse page which review is being withdrawn.
- (B) **Errors** - When an error is made in calculating a fee, overpayment will be refunded.
- (C) **Void Land Use Review or Final Plat** (Zoning Code Section 33.730.060.A 2.d) – The fee is non-refundable.
- (D) **Withdrawn Application**

Application Withdrawn:	Percent Refund of LUS Fee
<b>1. Early Assistance Appointment</b>	
<input type="checkbox"/> At least 7 days prior to the appointment.	50% of LUS fee
<b>2. Final Plat</b>	
<input type="checkbox"/> After staff sends the first redlines or plat comments to the customer.	50% of LUS fee
<input type="checkbox"/> After staff sends the second redlines or plat comments to the customer.	25% of LUS fee
<b>3. Land Use Review - Type I, II or IIX</b>	
<input checked="" type="checkbox"/> Before the Notice of Proposal is sent to P&D.	75% of LUS fee (amount retained should not be less than \$200 or more than \$1,500)
<input type="checkbox"/> After the Notice of Proposal is sent to P&D, but before staff sends the Notice of Decision to P&D.	25% of LUS fee (amount retained should not be less than \$300 or more than \$4,000)
<b>4. Land Use Review - Type III or IV</b>	
<input type="checkbox"/> Before the Request for Response is sent to the infrastructure bureaus.	75% of LUS fee (amount retained should not be less than \$400 or more than \$2,000)
<input type="checkbox"/> After the Request for Response is sent to the infrastructure bureaus, but before the Notice of Public Hearing is sent to P&D.	50% of LUS fee (amount retained should not exceed \$7,000)
<input type="checkbox"/> After the Notice of Public Hearing is sent to P&D, but before the staff recommendation is published.	30% of LUS fee (amount retained should not exceed \$10,000)

5. Pre-application Conference	
<input type="checkbox"/> Before the staff sends the conference information to the infrastructure bureaus.	75% of LUS fee
<input type="checkbox"/> After staff sends the conference information to the infrastructure bureaus, but at least 7 days prior to the conference.	50% of LUS fee
<input type="checkbox"/> Within 6 days prior to the conference.	25% of LUS fee

(E) Appeal Fees

Full refund if the following are met:

1. Type III – Appellant prevailed, and no new evidence presented at appeal hearing.
2. Type II, IIx and III – Appellant prevailed by:
  - a. overturning the lower decision-maker's decision; or
  - b. persuading the appellate decision-maker to modify the lower decision-maker's decision in the appellant's favor for one or more of the reasons identified in the appeal.

*It is not necessary for the appellant to prevail on all of the issues raised. Prevailing on just one issue is sufficient.*

(F) No refund (They do not qualify for any of the partial refunds provided for in D above)

1. Appeal fees are nonrefundable, except as provided for in Subsection E.

(G) Letter waiving LUS Fee (fees waived by Director) Amount reduced \$\_\_\_\_/\_\_\_\_% Attached waiver letter.

(H) Special Circumstances/Refund arrangements per Division Manager or Section Manager.

(I) Public Registry (PR)

- LUS 100% Refund -Unnecessary fees or review
- LUS 75% Refund - Completeness check only, check sheet NOT sent or completed
- LUS 50% Refund - First checksheet sent, minimal staff time spent, bureau comments returned
- LUS 25% Refund- Second checksheet sent, comprehensive staff review

**FORWARD THIS FORM TO LUS TECHS AFTER ALL FIELDS ABOVE FILLED IN AS NEEDED**

**LUS TECH STAFF:** Initial and date after data entry  Date:

Refunds:	Fee Code	<input type="checkbox"/> Full	<input type="checkbox"/> Partial	%	Refund of \$
	<input type="text" value="324"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="text" value="100"/>	<input type="text" value="1,405.00"/>
	<input type="text" value="375"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="text" value="100"/>	<input type="text" value="2,485.00"/>
	<input type="text" value="404"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="text" value="100"/>	<input type="text" value="125.00"/>
	<input type="text" value="1090"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="text" value="100"/>	<input type="text" value="578.00"/>
	<input type="text" value="2504"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="text" value="100"/>	<input type="text" value="100.00"/>
	<input type="text" value="2524"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="text" value="75"/>	<input type="text" value="1,440.00"/>
	<input type="text"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="text"/>	<input type="text"/>
	<input type="text"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="text"/>	<input type="text"/>
	<input type="text"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="text"/>	<input type="text"/>
	<input type="text"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="text"/>	<input type="text"/>

Please process a refund in the amount of \$  to:

Company Name   
 Contact Person   
 Mailing Address   
 City/State/Zip

**Original Payment Type**

- Check
- Cash
- Card

Email to Cashiers

Vendor #  Authorization #

Dec. 08, 2017

## Design Review Project Narrative 1549 SE Ladd Ave.

The proposed project is a 2-story rear addition & garage remodel of an existing commercial office in a historically contributing craftsman style house in Ladd's Addition Historic District located at 1549 SE Ladd Ave. (Prior change of occupancy approval permit # 2010-100555-000-00-CO) The goal of this project is to increase office space while maintaining the historic character of the house and complying with LAC guidelines.

The projected scope of work is less than \$444,750 threshold. Per 33.846 (Table 846-3), LU review Type-II (minor DR) is required. No neighborhood contact is required per 33.700.025. The proposal will create less than 10,000 SF of gross building area for commercial use.

The extent of work is as follows:

Removal of existing rear covered porch. No architecturally significant features exist at this portion.



Garage remodel - partial removal of existing detached garage - slab, foundation & partial wall to remain.

Partial removal of existing roof & framing at rear gable to accommodate new footprint. New roof to match existing roof styles & flared roof eaves.

New 2-story addition at rear of existing structure to attach with existing detached garage. Floor levels & roof height to align w/ existing. No overall height increase.

New attached covered porch at new accessible entry on Mulberry Alley.

New windows & doors to match existing materials, configurations, and colors.

New exterior finishes & materials (paint/trims/siding) to match existing.

Existing design of architectural elements/details such as overhangs, rafter tails, posts/columns to be replicated in new construction.

Existing bathrooms to be reconfigured for ADA compliance.

Reconfiguration of existing stairs.

LU 17 - 280914 HR

Dec. 08, 2017

## Design Review Approval Criteria Compliance 1549 SE Ladd Ave

33.445.320 Historic Resource Review

33.846 Historic District: Ladd's Addition District Specific Guidelines

- A. Community Design
- B. New Construction / Building Addition
- C. Exterior Rehabilitation - Not Applicable

### A. COMMUNITY DESIGN

#### A1. TRAFFIC CONTROL

New proposal does not provide enough volume of traffic to negatively affect surrounding streets and sidewalks.

#### A2. STREET FUNCTIONS

Not applicable.

#### A3. SERVICE ALLEYS

New proposal does not interfere with existing service alley (Mulberry Alley) but rather, enhances the pedestrian accessibility and safety with new lighting, landscaping and screening.

#### A4. VEHICULAR AND PARKING ACCESS

Not Applicable. Per 33.266 (Table 266-1) There is no minimum parking requirement for CS zone.

#### A5. SIDEWALK HISTORY

Not applicable.

#### A6. STREET LIGHTS AND STANDARDS

Not Applicable.

#### A7. Public Utility Features

Not Applicable.

#### A8. Historic Plaques and Signs.

Not Applicable. None are present on existing property.

Dec. 08, 2017

## Design Review Approval Criteria Compliance 1549 SE Ladd Ave

33.445.320 Historic Resource Review

33.846 Historic District: Ladd's Addition District Specific Guidelines

### B. NEW CONSTRUCTION / BUILDING ADDITION

#### B1. SITING

Not Applicable to front of building. No new construction and change to front of building. New construction on south property line is setback at least 5ft. per lot line abutting R-5 zone, 33.130 (Table 130-4) where the existing height of wall is 15ft or less. New wall on north property line is setback 5-ft. from adjacent commercial building. See site plan.

#### B2. LANDSCAPING

Applicable on south property line per 33.248.020 Landscaping & Screening. L3 screening - continuous 6-ft. high shrubs, ground cover & small trees (1 per 15 ft.) is required. Continuous landscaping at existing garage is prohibited due to existing non-conforming setback. See landscape plan.

#### B3. FENCES & RETAINING WALLS

Front & side yard fences/landscape retaining walls to remain.

#### B4. PARKING

Not Applicable. Per 33.266 (Table 266-1) There is no minimum parking requirement for CS zone.

#### B5. BUILDING HEIGHT

The new addition matches the floor levels & roof heights of the existing building (33'-0" from top of curb) & doesn't exceed maximum FAR of 3:1 & maximum height of 45 ft per 33.130 (Table 130-3). See elevations.

#### B6. BUILDING FACADE PROPORTIONS:

Not Applicable to commercial buildings.

#### B7. FOUNDATIONS

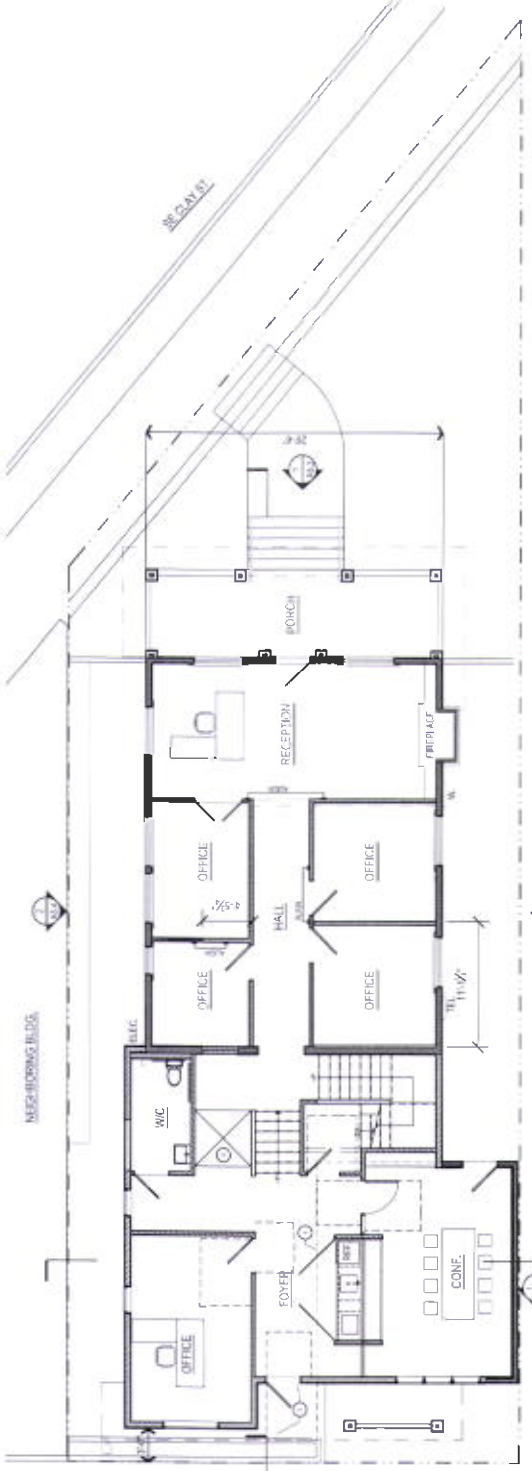
Where the new floor level matches the existing floor, new stem walls to match existing height. New accessible entry via alley to have concrete slab on grade poured over exist. concrete slab & within 6 inches of alley elevation.



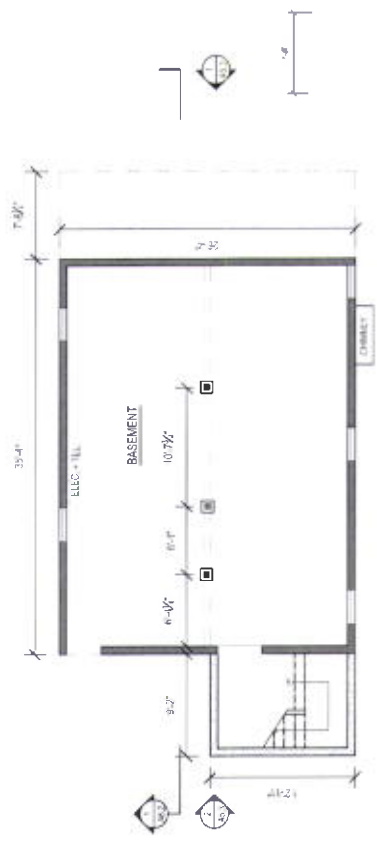




- SHEET NOTED:  
 1. EXISTING CONCRETE, MASONRY AND MECHANICAL ARE TO REMAIN UNLESS NOTED OTHERWISE.  
 2. NEW NECESSARY STRUCTURAL SUPPORTS SHALL BE CONCRETE ON EXISTING SLAB.  
 3. NEW ROOFLET.  
 4. EXISTING LIGHTING SHALL BE REMOVED AND NEW LIGHTING TO BE INSTALLED AS SHOWN.  
 5. ALL FINISHES TO BE AS NOTED OR REFERRED TO OTHERWISE.  
 6. REFER TO SHEET A3.2 FOR FINISHES.



1. FIRST FLOOR CONSTRUCTION PLAN  
 SCALE: 1/4" = 1'-0" ON 22X34 1/8" = 1'-0" ON 11X17



1. BASEMENT CONSTRUCTION PLAN  
 SCALE: 1/4" = 1'-0" ON 22X34 1/8" = 1'-0" ON 11X17

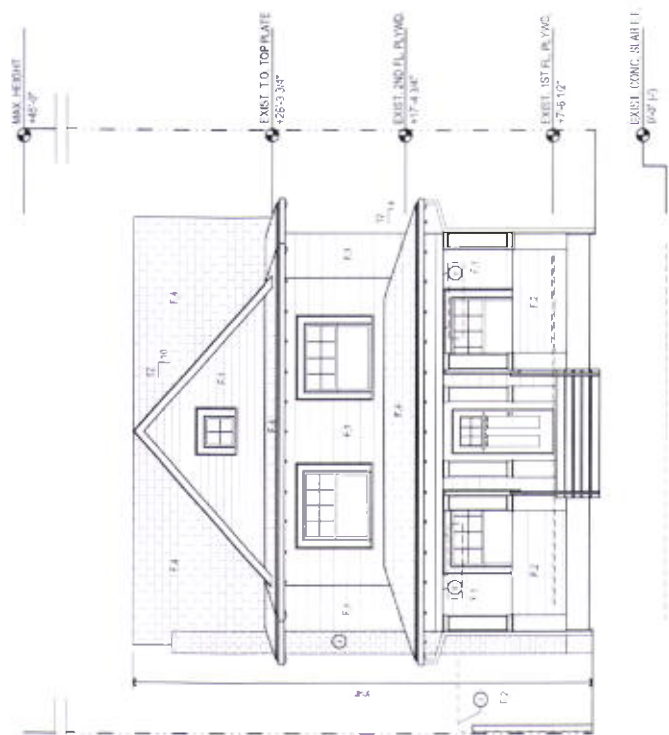




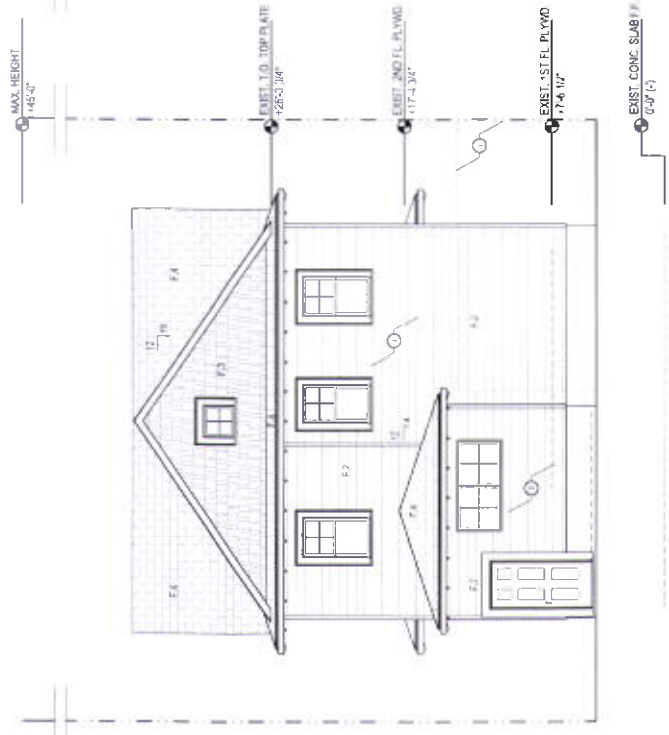




- SHEET NOTES:**
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL ORDINANCES. ALL PERMITS ARE THE RESPONSIBILITY OF THE OWNER.
  2. EXISTING AND PROPOSED WORK SHALL BE SHOWN ON THIS SHEET AS SHOWN.
  3. BACK ELEVATION TO BE REFINISHED FOR PROPOSED ADDITION.
  4. EXIST. DECOMMISSIONED REPLACE TO REMAIN.
  5. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL ORDINANCES.



**1. EXIST ELEVATION - FRONT (EAST)**  
 SCALE: 1/4" = 1'-0" ON 11X11"  
 NTS. ON B.5X11



**2. EXIST ELEVATION - BACK (WEST)**  
 SCALE: 1/4" = 1'-0" ON 11X11"  
 NTS. ON B.5X11

**FINISH SCHEDULE:**

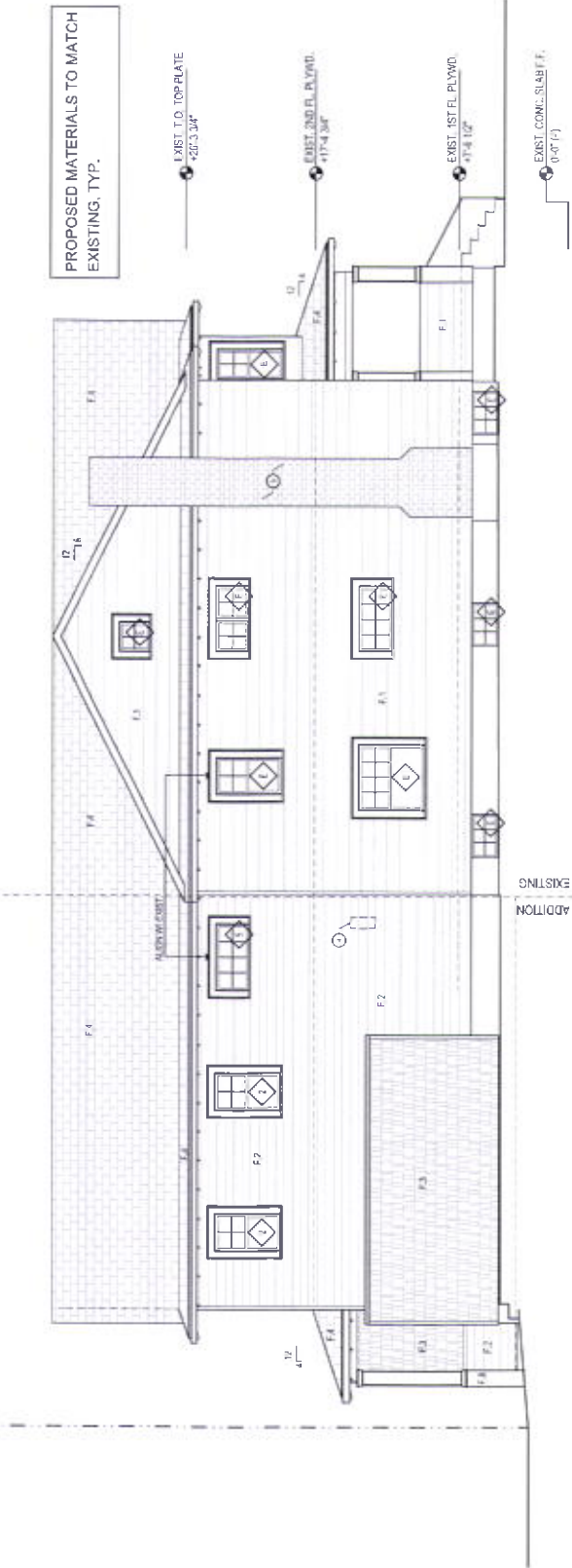
F1	EXIST. HORIZONTAL FIBER CEMENT LAP SIDING 24" X 80" EXPOSURE EXIST. TORQUAN
F2	EXIST. HORIZONTAL FIBER CEMENT LAP SIDING 24" X 80" EXPOSURE EXIST. TORQUAN REPLACE W/ FIBER CEMENT LAP SIDING TO MATCH EXIST. NEW 1.885 SF CONTRACTOR V.J.T. SEE DTLS. ON A4.1
F3	EXIST. CEDAR SHINGLE SIDING PTD. TO MATCH EXIST. NEW 561 SF CONTRACTOR V.J.T. SEE DTLS. ON A4.1
F4	NEW COMPOSITE ROOF TRD. REPLACE ALL EXIST. TTL 3,988 SF V.J.T. SEE REMOVALS & SECTIONS ON A4.1
F5	50PFT 124 CEDAR T&G PTD. TO MATCH EXIST., UNDERSIDE OF RAFTERS/TALS. NEW 4-SF



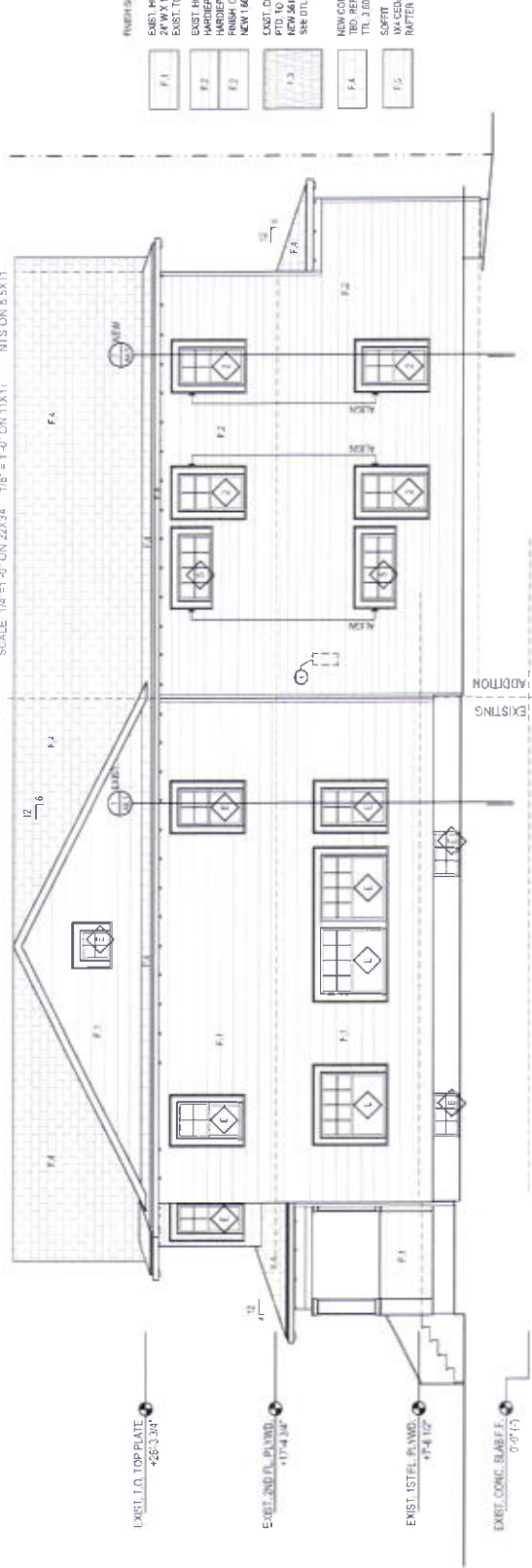


SHEET NOTES:  
 1. THESE FINISH SYMBOLS, MATCHES, AND ABBREVIATIONS: ALL ITEMS ARE EXIST TO REMAIN UNLESS NOTED OTHERWISE.  
 2. NOT USED.  
 3. EXIST. RECOMMENDED IN PLACE TO REMAIN.  
 4. FINISH POSITIONATION BRACKET SECURITY LATCH LOCATION UNLESS NOTED OTHERWISE.

PROPOSED MATERIALS TO MATCH EXISTING, TYP.



1. PROPOSED ELEVATION - SIDE (SOUTH)  
 SCALE: 1/4" = 1'-0" ON Z2X34 - 1/8" = 1'-0" ON 11X17 - NTS ON 8.5X11

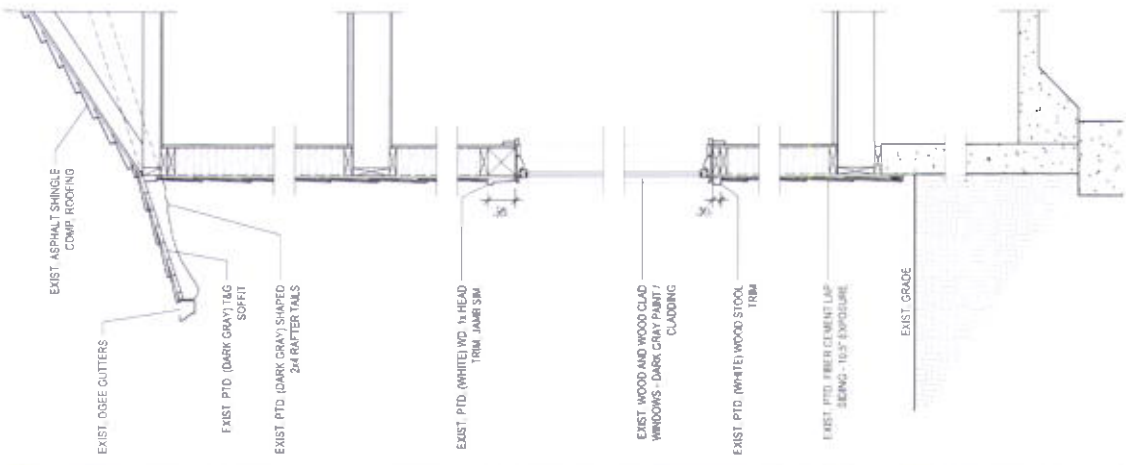


2. PROPOSED ELEVATION - SIDE (NORTH)  
 SCALE: 1/4" = 1'-0" ON Z2X34 - 1/8" = 1'-0" ON 11X17 - NTS ON 8.5X11

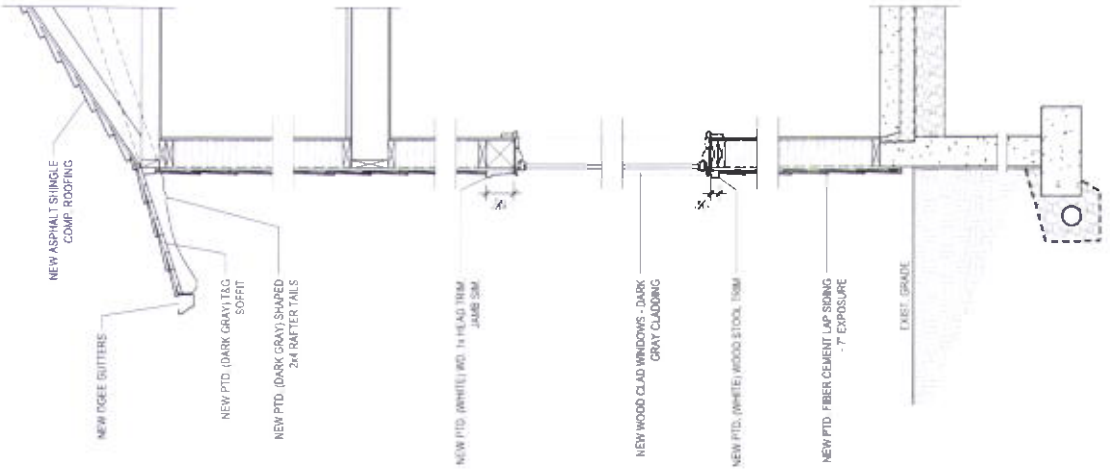
- FINISH SCHEDULE
- F.1 EXIST. MONTMORA, FIBER CEMENT LAP SIDING  
24" W X 10.2" EXPOSURE  
EXIST. TO REMAIN
  - F.2 EXIST. HORIZONTAL FIBER CEMENT LAP SIDING  
HARDENED 4" EXPO. EXIST. CHANGE. REPLACE W/ 7"  
HORIZONTAL FIBER CEMENT LAP SIDING TO MATCH EXIST.  
FINISH (DETERMINE FROM CONTRACTOR V.I.F. SEE DTLS. ON A6.1)
  - F.3 EXIST. CEDAR SHINGLE SIDING  
PTD. TO MATCH EXIST.  
NEW 5/4" S.F. CONTRACTOR V.I.F.  
SEE DTLS. ON A6.1
  - F.4 NEW COMPOSITE ROOF  
T80. REPLACE ALL EXIST.  
TTL. 3.655 SF. V.I.F. SEE REMARKS & SEE DTLS. ON A6.1
  - F.5 MA-CERT#66 PTD. TO MATCH EXIST. UNDERSIDE OF  
SUPPORT  
RAFTER TALS. NEW - SF







1. WALL SECTION @ EXIST.  
SCALE 1" = 1'-0" ON 22X34, 1/2" = 1'-0" ON 11X17



1. WALL SECTION @ NEW ADDITION  
SCALE 1" = 1'-0" ON 22X34, 1/2" = 1'-0" ON 11X17

Siding

Trim

Soffit

HardieWrap®

Finishing Touches

● HardiePlank® Lap Siding

HardiePanel® Vertical Siding

HardieShingle® Siding



PHOTO FOR REFERENCE ONLY, COLOR TO MATCH EXIST. BLUE

**SELECT CEDARMILL®**

*Woodstock Brown*

Thickness	5/16 in.					
Length	12 ft. planks					
Width	5.25 in.	6.25 in.	7.25 in.	8.25 in.	9.25 in.*	12 in.*
Exposure	4 in.	5 in.	6 in.	7 in.	8 in.	10.75 in.
ColorPlus Pcs./Pallet		280	252	210		
Prime Pcs./Pallet	360	308	252	230	190	152
Pcs./Sq.	25.0	20.0	16.7	14.3	12.5	9.3

Available Colors



[View all HardiePlank Lap Siding Products](#)

\*These 9.25 in. and 12 in. are only available primed.

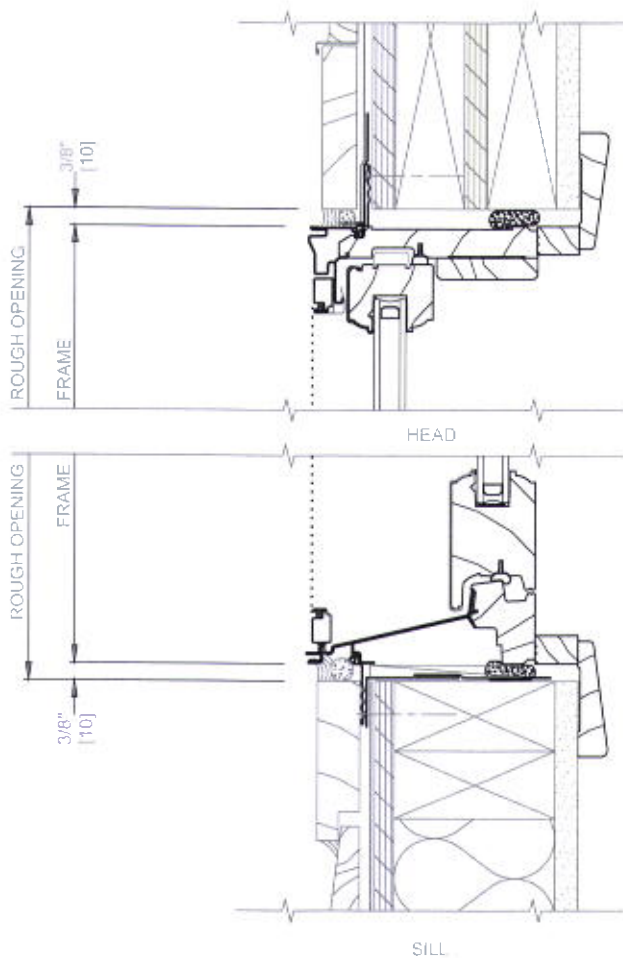




## FIN INSTALLATION DETAILS

Aluminum-Clad Wood Exterior

Double-Hung with Wood Trim / Siding



**WATER-RESISTANT BARRIER BY OTHERS**

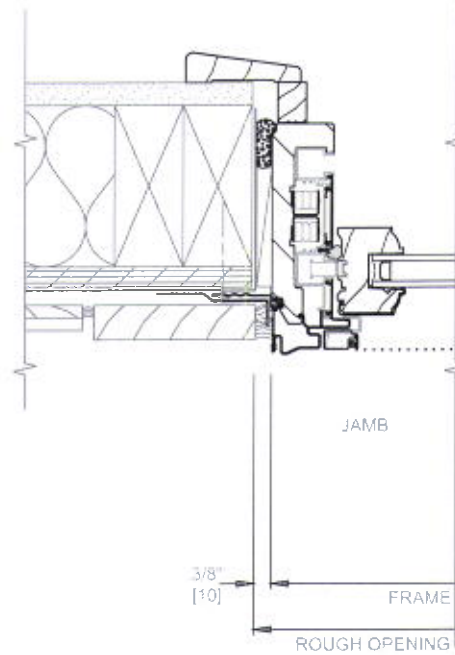
Continuous water-resistive barrier attached to the wall sheathing.

**FLASHING BY OTHERS**

Metal head flashing.

**SMARTFLASH® INSTALLATION TAPE**

Integrate the window and door flashing tape into the wall system.



SHIM AND PLUMB UNITS AS REQUIRED BY OTHERS.

### INSTALLATION FIN #42G7

Attach unit to wall construction with nails or screws at each pre-punched hole in the installation fin.

**PELLA WINDOW AND DOOR INSTALLATION SEALANT AND WATER RESISTANT BACKER ROD.**

Apply continuous sealant according to label directions and ASTM C1193.

**LOW EXPANSION, LOW PRESSURE POLYURETHANE INSULATING WINDOW AND DOOR FOAM SEALANT - (DO NOT USE HIGH PRESSURE OR LATEX FOAMS).**

Apply a continuous 1" bead of insulating foam to provide a full interior seal.

**JAMB EXTENSION #283G (OPTIONAL)**

**PELLA 2-1/2" RANCH-1 TRIM (#30AY) (OPTIONAL)**

Scale 3" = 1'-0"

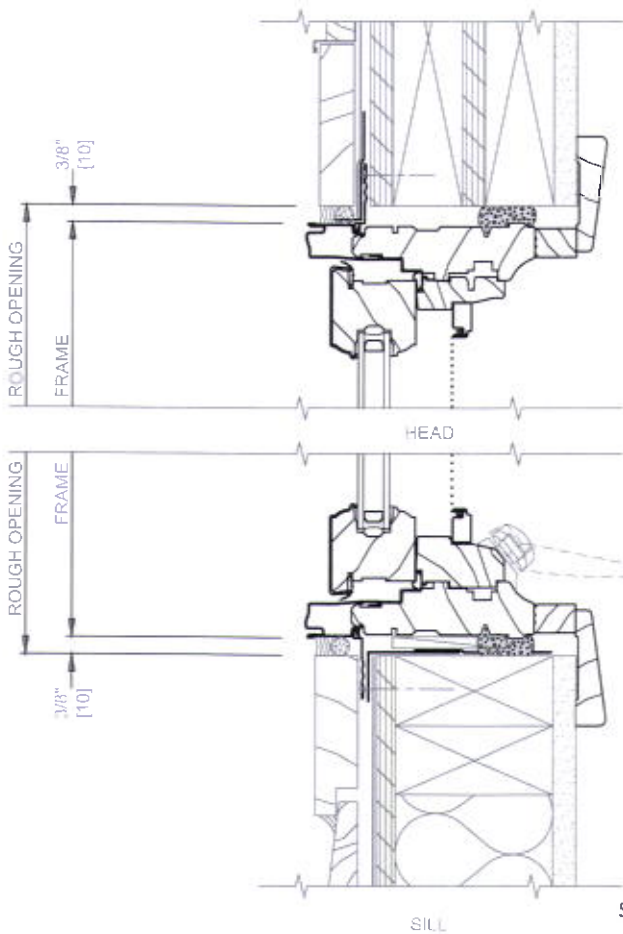
- Items in bold are available from Pella.
- These details are for typical single punch openings.
- See page W-ID-3 for typical sealant details.
- Refer to the appropriate Pella® Installation Instruction for step-by-step instructions.



## FIN INSTALLATION DETAILS

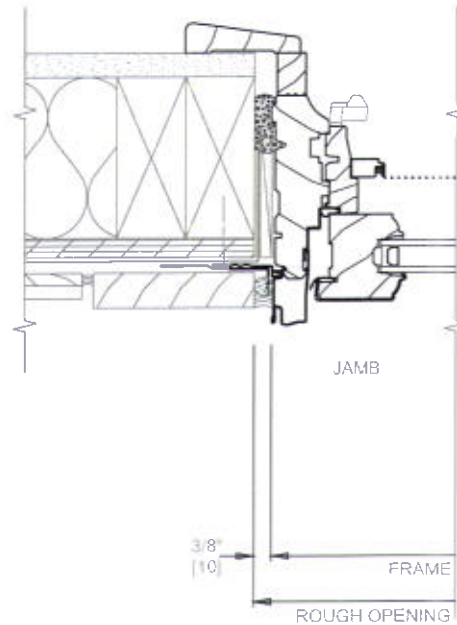
### Aluminum-Clad Wood Exterior

#### Casement with Wood Trim/Siding



**WATER RESISTANT BARRIER BY OTHERS**  
Continuous water-resistive barrier attached to the wall sheathing.

**FLASHING BY OTHERS**  
Metal head flashing.



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Integrate the window and door flashing tape into the wall system.

SHIM AND PLUMB UNITS AS REQUIRED BY OTHERS.

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- These details are for typical single punch openings.
- See page W-ID-3 for typical sealant details.
- Refer to the appropriate Pella® Installation Instruction for step-by-step instructions.

# Rustic Walnut entry doors.

## DISTINCTIVE AND STUNNING

Pella's Rustic Walnut wood doors bring to life the beauty of nature. Natural distressing gives these doors their characteristic charm and makes each door as distinctive as its owner. Unique decorative accents like hinge straps, clavos and speakeasies allow you to personalize your door.



## FACTORY-PREFINISHED STAIN CHOICES



## STYLES AND SIZES



<sup>1</sup> Eyebrow-top version available.



<sup>2</sup> Radius-top version available.



<sup>3</sup> Grooved-panel version available.



Customer Service: 1-800-653-6556 or [cs@destinationlighting.com](mailto:cs@destinationlighting.com)

M-F: 7am-5pm & Sunday: 11am-4pm (PST)

## Seeded Glass LED Outdoor Wall Light Oil Rubbed Bronze Designers Fountain Lighting



<b>Product Number:</b>	P1584804 or 582676	<b>Shade Material:</b>	Glass
<b>Manufacturer:</b>	Designers Fountain Lighting	<b>Material:</b>	Cast Aluminum
<b>Model Number:</b>	LED33421-ORB	<b>Shipping:</b>	UPS Regular
<b>Collection:</b>	Piedmont	<b>Certification Agencies:</b>	CUL
<b>Manufacturer Finish:</b>	Oil Rubbed Bronze	<b>Backplate Dimension:</b>	4.5 x 8
<b>Manufacturer Shade Color:</b>	Clear Seeded	<b>Wet Location:</b>	Yes
<b>Glass Treatment:</b>	Seeded	<b>Damp Location:</b>	Yes
<b>Total Wattage:</b>	10 w.	<b>Harsh Environ/Coastal:</b>	No
<b>Voltage Type:</b>	Line Voltage	<b>Kelvin Temperature:</b>	3000
<b>Average Rated Life1:</b>	50,000 hrs	<b>Lumens:</b>	594
<b>Height:</b>	10.25 in.	<b>Color Rendering Index:</b>	70
<b>Width:</b>	6.50 in.	<b>Made In America:</b>	No
<b>Depth:</b>	7.50 in.	<b>Dusk To Dawn:</b>	No
<b>Wattage:</b>	10	<b>Motion Sensor:</b>	No
<b>Bulb Type:</b>	LED	<b>Title 24:</b>	No
<b>Base Type:</b>	Integrated LED		
<b>Bulb Included:</b>	Yes		
<b>Dark Sky:</b>	No		
<b>ADA Compliant:</b>	No		
<b>EnergyStar Compliant:</b>	Yes		

4.8 ★★★★★

Google  
Customer Reviews



Customer Service: 1-800-653-6556 or [cs@destinationlighting.com](mailto:cs@destinationlighting.com)

M-F: 7am-5pm & Sunday: 11am-4pm (PST)

### Motion Activated Flood Light in Bronze Finish



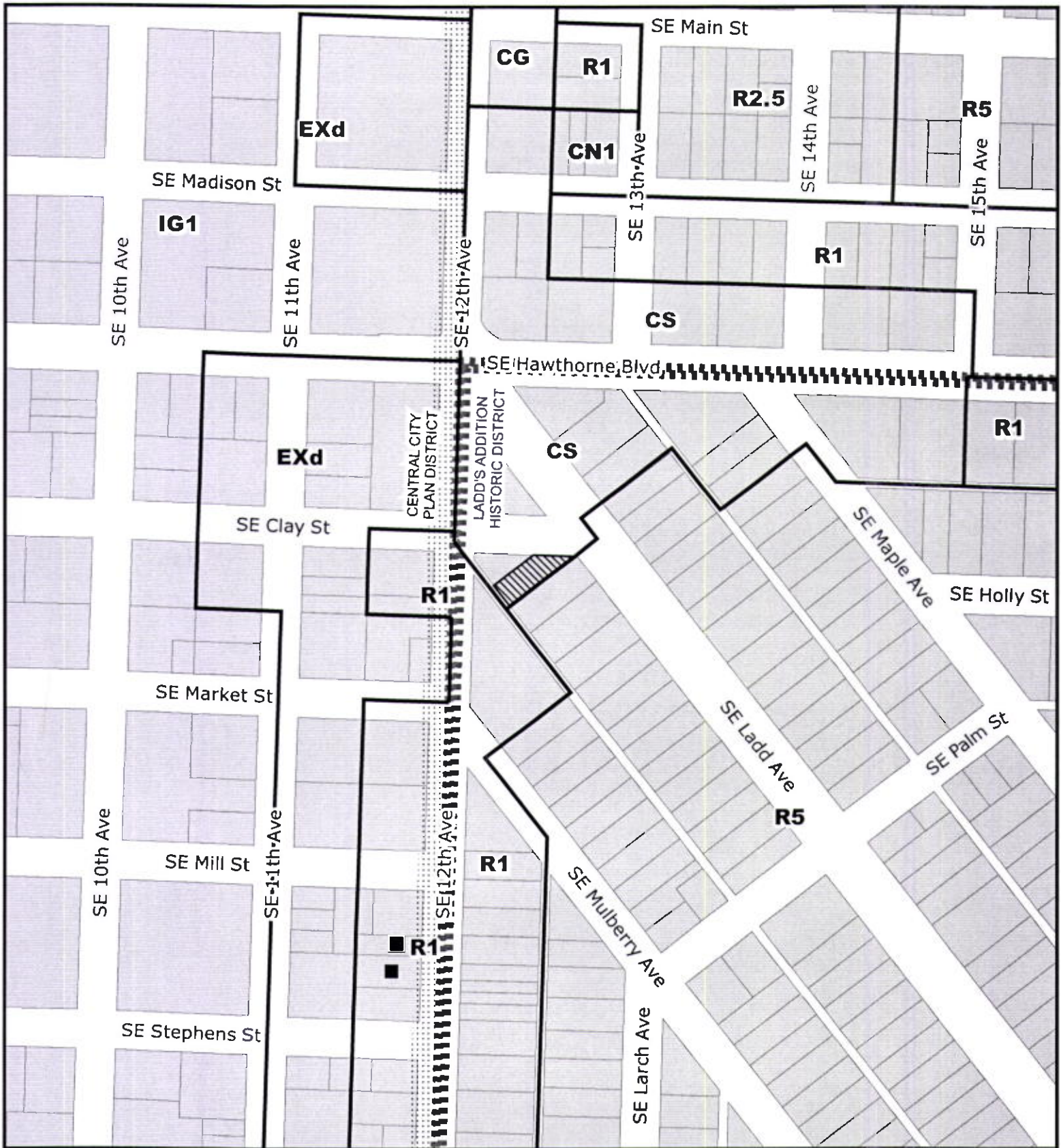
<b>Product Number:</b>	391610	<b>ADA Compliant:</b>	No
<b>Manufacturer:</b>	RAB Electric Lighting	<b>EnergyStar Compliant:</b>	No
<b>Model Number:</b>	STL360HB	<b>Shade Material:</b>	Metal
<b>Collection:</b>	Stealth	<b>Material:</b>	Cast Aluminum
<b>Manufacturer Finish:</b>	Bronze	<b>Security Type:</b>	Flood
<b>Shade Color:</b>	Bronze Tones	<b>Shipping:</b>	UPS Regular
<b>Total Wattage:</b>	300 w.	<b>Certification Agencies:</b>	UL
<b>Voltage Type:</b>	Line Voltage	<b>Backplate Dimension:</b>	4-3/4 x 4-5/8
<b>Height:</b>	5-5/8 in.	<b>Wet Location:</b>	Yes
<b>Width:</b>	20 in.	<b>Damp Location:</b>	Yes
<b>Length:</b>	15-1/2 in.	<b>Harsh Environ/Coastal:</b>	No
<b>Depth:</b>	7 in.	<b>Weight:</b>	4.6 lbs
<b>Wattage:</b>	150	<b>Made In America:</b>	No
<b>Bulb Type:</b>	Halogen	<b>Dusk To Dawn:</b>	Yes
<b>Bulb Shape:</b>	PAR38	<b>Motion Sensor:</b>	Yes
<b>Base Type:</b>	Medium	<b>Title 24:</b>	No
<b>Number Of Bulbs:</b>	2		
<b>Bulb Included:</b>	No		
<b>Bulb Color:</b>	Frosted		
<b>Dark Sky:</b>	No		

4.8 ★★★★★

Google

Customer Reviews





# ZONING



Site



Historic Landmark

THIS SITE LIES WITHIN THE:  
LADD'S ADDITION HISTORIC DISTRICT

File No. LU 17-280914 HR

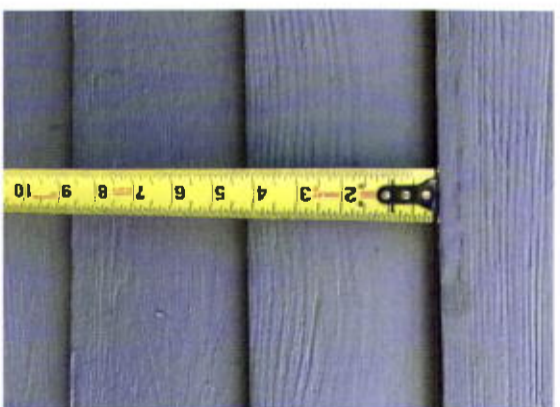
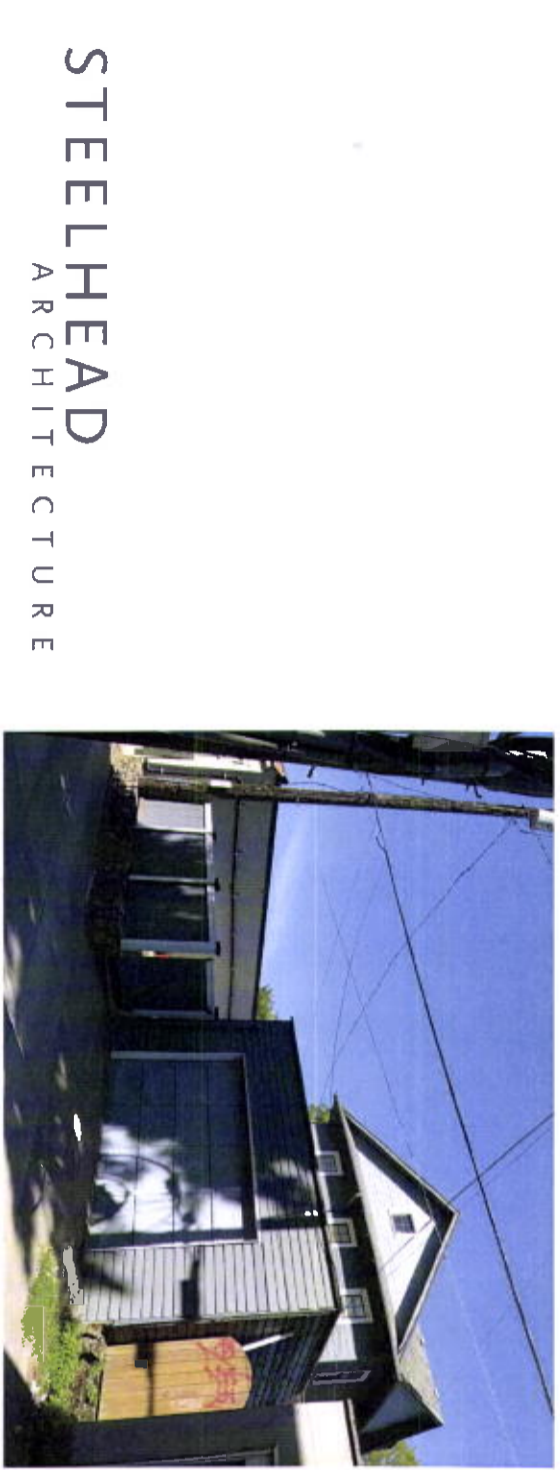
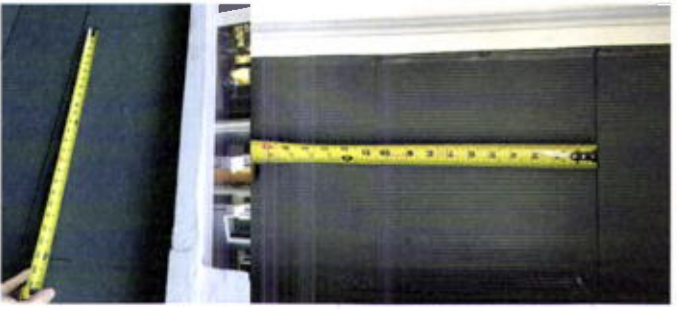
1/4 Section 3231

Scale 1 inch = 200 feet

State ID 1S1E02CA 4000

Exhibit B Dec 13, 2017





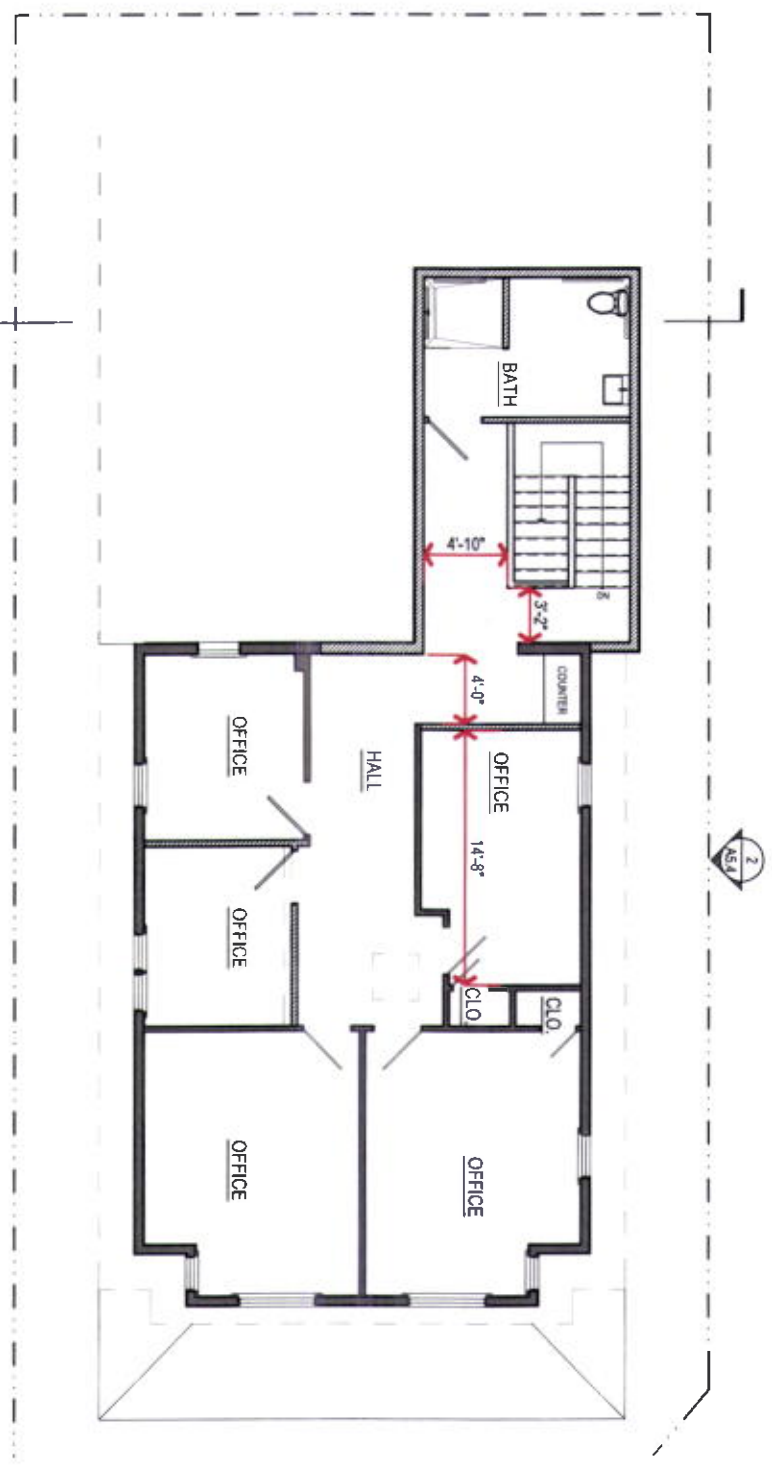
STEELHEAD  
ARCHITECTURE

LADD OFFICE

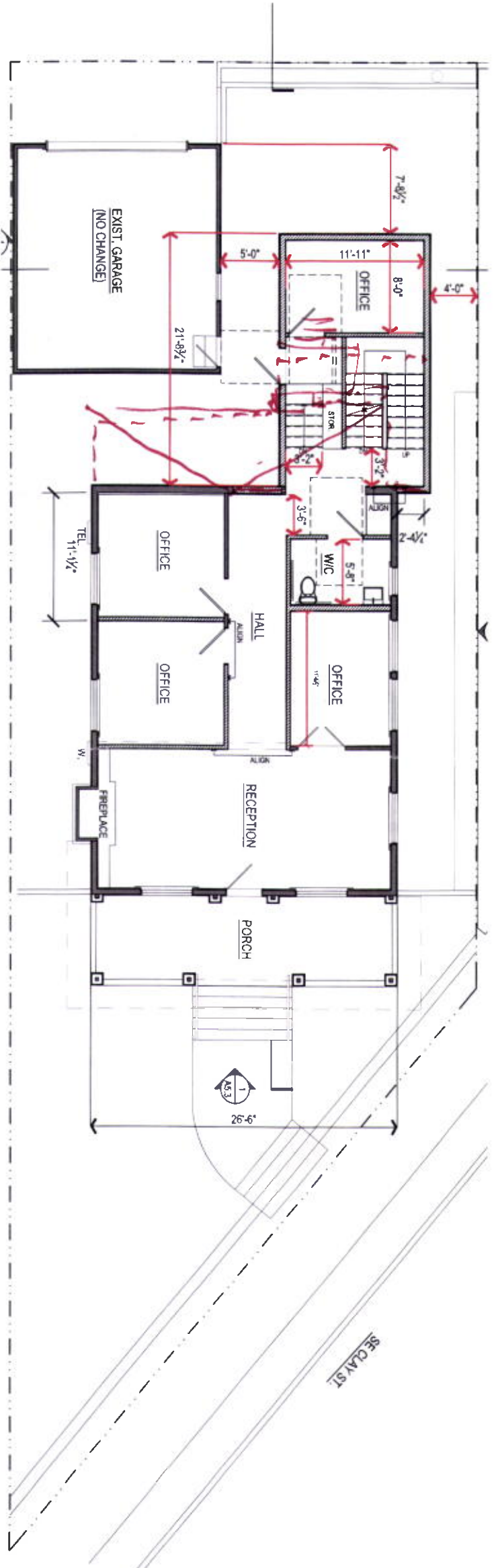
DR - DEC. 08, 2017

LN 17-280914HR





2. SECOND FLOOR PLAN  
SCALE: 3/32" = 1'-0" ON 11X17



1. MAIN FLOOR PLAN  
SCALE: 3/32" = 1'-0" ON 11X17



**NOTES:**

1. EXIST. PROPERTY LINE
2. EXIST. ROOFING TO BE REPLACED, FRAMING TO REMAIN
3. EXIST. STRUCTURES - OFFICE / NON-CONFORMING DETACHED GARAGE. NO CONSTRUCTION ABOVE EXIST. DETACHED GARAGE WITHIN 5'-0" OF PROPERTY LINE
4. NEW 8:12 GABLE ROOF CENTERED ON PROPOSED 2-STORY ADDITION. MATCH HEIGHT TO EXIST. RIDGE - FLARED EAVES TYP. ALL (3) SIDES. MATCH EXIST.
5. NEW ACCESSIBLE ENTRANCE W/ NEW COVERED ROOF ABOVE
6. NEW ALUMINUM WOOD CLAD WINDOWS TO MATCH EXIST. DOUBLE HUNG / FIXED WINDOWS - DETAILS & TRIMS. NEW DOOR SIM. TO EXIST.
7. NEW L3 CONTINUOUS LANDSCAPING & SCREENING PER CODE
8. NEW PTD. F.2 SIDING
9. NEW UPPER STORY WINDOWS TO MATCH EXIST. HEAD HEIGHT





**NOTES:** EXIST. UTILITY POLE HIDDEN FOR CLARITY

1. PROPOSED 2-STORY ADDITION AT NORTH ELEVATION TO EXTEND 20" BEYOND EXIST. FOOTPRINT. MAINTAIN 5FT SETBACK FROM PROPERTY LINE
2. NEW F2 HORIZONTAL LAP SIDING TO MATCH EXIST. SIDING
3. PROPOSED SECONDARY SIDING TO MATCH EXIST. WD. SHINGLE SIDING
4. NEW 2X2 ATTIC WINDOW SIM. TO EXIST. ELEVATIONS
5. NEW WINDOW AT CONF. RM. TO BE LOCATED MIN. 3'-0" FROM SOUTH PROPERTY LINE
6. NEW WAINSCOT FINISH AT LOWER PORTION OF WALL TO GIVE IMPRESSION BLDG. IS ABOVE GRADE - SIMILAR TO EXIST. FRONT PORCH CONDITION.
7. NEW COLUMNS, TYP. (2) TO MATCH EXIST. AT FRONT PORCH
8. NEW SCONCE LIGHT LOCATION - SEE PRODUCT CUT SHEET PROVIDED



## Mendez Garcia, Santiago

**From:** gabe.headrick@gmail.com on behalf of Gabe Headrick  
<gabe.headrick@steelheadarchitecture.com>  
**Sent:** Thursday, January 11, 2018 3:35 PM  
**To:** Mendez Garcia, Santiago  
**Subject:** Re: Clarification on Demolition Criteria in Historic Districts  
**Attachments:** 2018-01-11 11.01.37.jpg; 2018-01-11 11.01.52.jpg

Hello Santiago, sorry I missed your phone call back yesterday. I met with my client today and I think there are different, reduced scale designs that could work for him. I also believe we could likely meet the demo criteria you describe. But I think any of the alternate designs would need to attach to the garage, even if it was just to the edge of it. I did not see anything in the document you attached that specifically spoke about detached garages needing to stay detached. As I stood in the alley today looking at it more I really don't see the detached aspect of the garage being what is contributing to the scale and mass. To me if say 10-15 feet of the garage 'snorkeled' out from an attached condition it would still read the same as exists. To be honest this alley already is totally compromised in scale due to the 3-story apartment across from our project - see attached photos.

So I guess my question is just if planning is at all open to looking at attached proposals or if it's just a no go. We're happy to work through some thoughts to discuss with you (understanding that it would eat up the remainder of the submittal fee) that I think would maintain the identity of the 1-story garage. But if the detached is a pre-requisite to any approval I don't want to waste my clients money and we would likely just get a refund and kill the project.

Depending on the answer to that, the setback is the next issue. We can absolutely set the proposed addition back the 8-ft. My argument for the screening requirement then is if we can show the garage as a non-demo then it would be an existing non-conforming structure. The L3 landscape requirement is defined to create a screen 6-ft in height. It isn't intended to screen 2nd stories. So if we already have an existing non-conforming structure - a garage that screens well over 6-ft - then I'd argue that we've met the intent of the screening requirement. Our proposal already shows new L3 everywhere along that property line that we can. Additionally, the intent of landscape screening at R-zones is to screen a commercial building from a residential neighborhood. In this case our proposal would look like a house. Same materials, roof pitch, window sizes, etc. as the existing house, and many around it. In a discretionary design review I would think there would be a little more freedom to look at what the intent is - beyond the code verbage - and have some more flexibility.

Please let me know what feedback you can give me.

Thanks.

Gabe

CONTRIBUTING

IF YOU ATTACH TO THE GARAGE, YOU WOULD HAVE TO MEET SETBACK REQUIREMENTS FOR THE ENTIRE RH FACING FACADE.

On Tue, Jan 9, 2018 at 4:40 PM, Mendez Garcia, Santiago <[Santiago.MendezGarcia@portlandoregon.gov](mailto:Santiago.MendezGarcia@portlandoregon.gov)> wrote:

Hi Gabe,

I've followed up on your case with my team to confirm our criteria for determining demolitions in Historic Districts. Since this question comes up a lot in Ladd's Addition, we have consistently told applicants that two walls and a roof must remain in alterations to contributing accessory structures, otherwise it is considered a demolition. The garage on this property is considered a Contributing Structure, which "contributes in scale, mass and details to the spatial order of

*[Handwritten signature]*

\$3,071<sup>1</sup>



# Land Use Review Application

File Number: LU 17-200914 HR

## FOR INTAKE, STAFF USE ONLY

Date Rec 12-8-17 by Bryan

Type I  Type Ix  Type II  Type Iix  Type III  Type IV

LU Reviews HR

[Y]  Unincorporated MC

[Y] [N] Flood Hazard Area (LD & PD only)

[Y] [N] Potential Landslide Hazard Area (LD & PD only)

[Y]  100-year Flood Plain [Y]  DOGAMI

Qtr Sec Map(s) 3231 Zoning CS

Plan District None

Historic and/or Design District Ladd's

Neighborhood Hosford-Abernethy

District Coalition SEU

Business Assoc. Hawthorne

Related File # \_\_\_\_\_

### APPLICANT: Complete all sections below that apply to the proposal. Please print legibly.

Development Site Address or Location 1549 SE Ladd Ave.

Cross Street Ladd Ave. Sq. ft./Acreage 4,046 sf

#### Site tax account number(s)

R 200331 R

R 463302480 R

#### Adjacent property (in same ownership) tax account number(s)

R R

#### Describe project (attach additional page if necessary)

Two-story rear addition & garage remodel of an existing commercial office in a Ladd's Addition Historic District craftsman style house. (Prior change of occupancy approval permit # 2010-100555-000-00-CO). New attached rear covered porch & new accessible entry. Reconfiguration of existing stairs. Reconfiguration of existing bathrooms for ADA compliance. No change of use.

#### Describe proposed stormwater disposal methods

New drywell

#### Identify requested land use reviews

Type II LU & Historic Review - LADD'S ADDITION

TIER 6 type II

• Design & Historic Reviews - For new development, provide project valuation.

For renovation, provide exterior alteration value.

AND provide total project valuation.

\$         

\$ 60,000

\$ 120,000

• Land Divisions - Identify number of lots (include lots for existing development).

New street (public or private)?

1

yes  no

• Affordable Housing - For buildings containing five or more dwelling units, will 50% or more of the units be affordable to households with incomes equal to or less than 60% of the median family income for the county or state, whichever is greater?

yes  no  N/A

continued / over



**Applicant Information**

- Identify the primary contact person, applicant, property owner and contract purchaser. Include any person that has an interest in your property or anyone you want to be notified. Information provided, including telephone numbers and e-mail addresses, will be included in public notices.
- For all reviews, the applicant must sign the Responsibility Statement.
- For land divisions, all property owners must sign the application.

**PRIMARY CONTACT:**

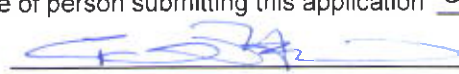
Name Gabe Headrick Signature \_\_\_\_\_  
 Company/Organization Steelhead Architecture  
 Mailing Address 201 SE 3rd Ave.  
 City Portland State OR Zip Code 97214  
 Day Phone 503-348-8874 FAX \_\_\_\_\_ email gabe.headrick@steelheadarchitecture.com  
**Check all that apply**  Applicant  Owner  Other \_\_\_\_\_

Name Patrick Sweeney Signature \_\_\_\_\_  
 Company/Organization Penultimate Properties LLC  
 Mailing Address 1549 SE Ladd Ave.  
 City Portland State OR Zip Code 97214  
 Day Phone \_\_\_\_\_ FAX \_\_\_\_\_ email sweeney@503law.com  
**Check all that apply**  Applicant  Owner  Other \_\_\_\_\_

Name \_\_\_\_\_ Signature \_\_\_\_\_  
 Company/Organization \_\_\_\_\_  
 Mailing Address \_\_\_\_\_  
 City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_  
 Day Phone \_\_\_\_\_ FAX \_\_\_\_\_ email \_\_\_\_\_  
**Check all that apply**  Applicant  Owner  Other \_\_\_\_\_

Name \_\_\_\_\_ Signature \_\_\_\_\_  
 Company/Organization \_\_\_\_\_  
 Mailing Address \_\_\_\_\_  
 City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_  
 Day Phone \_\_\_\_\_ FAX \_\_\_\_\_ email \_\_\_\_\_  
**Check all that apply**  Applicant  Owner  Other \_\_\_\_\_

**Responsibility Statement** As the applicant submitting this application for a land use review, I am responsible for the accuracy of the information submitted. The information being submitted includes a description of the site conditions. I am also responsible for gaining the permission of the owner(s) of the property listed above in order to apply for this review and for reviewing the responsibility statement with them. If the proposal is approved, the decision and any conditions of the approval must be recorded in the County Deed Records for the property. The City of Portland is not liable if any of these actions are taken without the consent of the owner(s) of the property. In order to process this review, City staff may visit the site, photograph the property, or otherwise document the site as part of the review. I understand that the completeness of this application is determined by the Director. By my signature, I indicate my understanding and agreement to the Responsibility Statement.

Print name of person submitting this application Gabe Headrick, AIA  
 Signature   
 Phone number 503.348.8874 Date 12-08-17



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
 FROM CONCEPT TO CONSTRUCTION

Chloe Eudaly, Commissioner  
 Rebecca Esau, Director  
 Phone: (503) 823-7300  
 Fax: (503) 823-5630  
 TTY: (503) 823-6868  
 www.portlandoregon.gov/bds

December 21, 2017

*character defining roof cap  
 recreate ~~at~~ ground level*

Gabe Headrick  
 STEELHEAD ARCHITECTURE, LLC  
 201 SE 3rd Ave  
 Portland, OR 97214

Re: Land Use Review LU 17-280914 HR – Demolition & Rear Addition

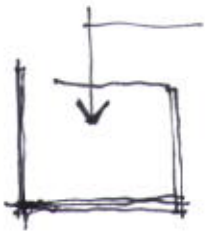
Dear Gabe Headrick:

The Bureau of Development Services received your application for a Historic Resource Review located at 1549 SE LADD AVE on December 8, 2017. Your case has been assigned to me, Santiago Mendez. In order to continue to review your application, additional information is needed. Once you submit this information, your application will be considered complete, and I will proceed with a full review of your proposal. Up to this point, your application has been reviewed only to determine if all required information has been submitted. The application has not been fully reviewed to determine if it meets the relevant approval criteria, however some issues you may want to consider are identified in Section II below.

**I. Information Necessary to Complete Application**

The following information must be submitted before your proposal can be evaluated:

1. **Demolition:** Upon initial review of the design, staff has determined that a Type IV Demolition Review is required as the garage, a contributing resource in the Ladd's Addition Historic District, would be demolished to the extent that its significance and integrity would be lost. A Type IV Demolition Review application must be submitted as a separate application that would need to be processed prior to the review for the current proposal. The fee for a Type IV Demolition Review is \$8,919. A Pre-Application Conference is required prior to submittal of the Type IV Demolition Review. The fee for the Pre-Application Conference is \$5,299. Because the required Type IV Demolition Review and pre-requisite Pre-Application Conference have not been applied for, the current application must be withdrawn or the proposal must be redesigned so that a Type IV is no longer required.
2. **Setback and Landscaping:** Staff has determined that a Modification is required to the setback and landscaping requirements. The property is abutting a side lot line of an R Zone lot to the southeast and as the height of the side building wall is 26' 3 3/4", any new construction (including the garage structure) is required to be setback at least 8 ft. from the side lot lines and provide at least a 5 ft. landscape buffer with the L3 Standard. (33.130.215 Table 130-4) The request for Modification must be accompanied with the required \$945 fee and response to Modification approval criteria (33.846.070). Staff does not support a Modification to the setback as is discussed below under Section II.
3. **Nonconforming Development and Project Value:** Staff has determined that a cost estimate is required to verify project cost. Alterations that exceed the nonconforming upgrades threshold of \$158,400 require the site be brought into conformance. If the site is nonconforming, 10% of the project cost must be used to bring the project into conformance with development standards. (Portland Zoning Code 33.258.070.D.2)



*DETACHED  
 MODIFY*

4. **Bike Parking:** The proposed addition results in a total building area of 4,846 sq. ft., therefore two long-term and two-short term bike parking spaces must be provided. These must be shown on the plans and must meet the standards, or a Modification or an Adjustment must be requested, accompanied by the required fees.  
(Portland Zoning Code 33.266.210)

## II. Issues to Consider

While not necessary to determine the application complete, additional information may be needed to show that your proposal meets the applicable approval criteria. You are encouraged to address the following issues regarding the approvability of your proposal:

1. **Demolition Review:** In order for a Type IV Demolition Review to be approved, the applicant must demonstrate that the proposal, on balance, meets the goals and policies of the Comprehensive Plan. The decision is made by City Council, following a recommendation by the Historic Landmarks Commission. Staff does not believe that approval of a Type IV Demolition Review would be warranted as the merits of preservation are weighed against the merits of the proposed replacement structure. City Council has previously determined that in order for a demolition to be approved, the replacement proposal must include some demonstration of public benefit, as preservation of historic resources and neighborhood character are listed along the goals and policies of the Comprehensive Plan. In Ladd's Addition, specifically, garages and the service alleys are character-defining features of the district, valued for their existing character and scale. As such, staff does not anticipate this proposal would be recommended for approval, or ultimately approved by City Council.
2. **Proposed Development:** In addition to the resulting demolition of the historic garage, staff does not believe that the proposed development is approvable because the proposal compromises the integrity of the primary resource, also a contributing resource in the Ladd's Addition Historic District. Staff also notes that the proposed building's scale overwhelms the adjacent alley, which is characterized by smaller scale development on the east. Staff does not believe that Guidelines #10 Building Additions and #11 Development Impacts are met by the proposal. As is noted above, the proposal would also require a Modification to the side setback. In order to be approved, the proposal must meet the purpose of the standard being modified and better meet the approval criteria; staff does not believe the proposal better meets the approval criteria. Staff is able to work with the applicant to reach an approvable design. Alternatively, the applicant may elect to apply for a Design Advice Request with the Historic Landmarks Commission. The Historic Landmarks Commission would be the appeal body to consider a staff decision of denial and therefore can provide advice on how to ultimately obtain an approval for the project.

## III. Time to Complete Application

The Portland Zoning Code allows you up to 180 days to complete your application. Since the 180-day period began on the day we received the application, the deadline to make your application complete is **Wednesday, June 6, 2018**

## IV. Determination of a Complete Application

The application will be determined complete when you have submitted:

1. All of the requested information included in Section I, above. If you cannot provide all of the requested information at one time and intend to submit additional information, please include a written statement with each separate submittal indicating that you

still intend to provide the additional missing information by the **Wednesday, June 6, 2018** deadline, **or**

2. Some of the requested information included in Section I, above, and a written statement that no additional information will be provided; **or**
3. A written statement that none of the requested information included in Section I, above, will be provided.

Please be aware that not submitting the requested information may result in your application being denied. The information is needed to demonstrate the approval criteria are met. Once the application is deemed complete, review of your application can proceed using the information you have provided.

Your application will be approved if it meets the relevant land use review approval criteria. It is your responsibility to document how the approval criteria are met. The items listed above will help provide that documentation.

#### **Voiding of Application**

If your application is not complete by **Wednesday, June 6, 2018**, it will be voided, and the application fee will not be refunded. The City's land use review procedures are outlined in Chapter 33.730 of the Portland Zoning Code.

Please contact me if you have any questions about this letter. My telephone number is **503-823-1361**, and my e-mail address is [Santiago.Mendez@portlandoregon.gov](mailto:Santiago.Mendez@portlandoregon.gov). You may mail correspondence to me at the Bureau of Development Services, Suite 5000, 1900 SW Fourth Avenue, Portland, OR 97201. If you deliver the requested material in person, please bring it to the **fifth** floor receptionist at 1900 SW Fourth Avenue. Please label all correspondence and materials you submit with the case number LU 17-280914.

Sincerely,



Santiago Mendez, Planner  
Land Use Services Division

cc: Penultimate Properties LLC  
Application Case File







CITY OF  
**PORTLAND, OREGON**  
 BUREAU OF DEVELOPMENT SERVICES  
 1900 SW 4th Ave., Suite 5000  
 Portland, OR 97201



**RECEIPT #: 2061497**

**12/8/2017**

**Site Address: 1549 SE LADD AVE**

**IVR Number: 4129657**

Permit Number: 17-280914-000-00-LU

Land Use Review

**APPLICANT** STEELHEAD ARCHITECTURE, LLC \*GABE HEADRICK\* Phone: (503) 348-8874

Fee Code	Fee Description	Fee Amount	Paid to Date	Balance	This Transaction	New Balance
1090	Site Development - Land Use Reviews	\$578.00				
2504	Life Safety Review - Land Use	\$100.00				
*2524	Design / Historic Review Type G	\$1,920.00				
324	BES Land Use Rvw-Engineering	\$1,405.00				
375	PBOT Design Review (Type III)	\$2,485.00				
404	Water Available Plan Rvw - Type C	\$125.00				
Bill #4232185	Sub Total	\$6,613.00	\$0.00	\$6,613.00	\$6,613.00	\$0.00
TOTAL		\$6,613.00	\$0.00	\$6,613.00	\$6,613.00	\$0.00

**Shaded items indicate fees not yet calculated.**

**\* Fees marked with an asterisk are due at application.**

**PAYOR** STEELHEAD ARCHITECTURE, LLC \*GABE HEADRICK\* Phone: (503) 348-8874  
 Payment #: 2061497 Method of Payment: 07607G VISA GABE HEADR Receipt By: Carmen Adkins

**CITY CONTACT** Phone:  
 E-Mail: Fax: (503) 823-4172

**Notice: This document is not a permit. This document may not represent all fees owing for this permit. All fees are subject to change based on new or corrected information. For more information, consult your City of Portland Contact listed above.**



PLAN CHECK: LU 17-280914 HR  
1549 SE LADD AVE

TYPE IIX - HR CRAFTSMAN  
CS - STOREFRONT COMMERCIAL  
LADDS - CONTRIBUTING 1909  
PRIMARY + SECONDARY 1925 TOTAL VALUE \$120,000?

DESCRIPTION:

TWO STORY REAR ADDITION + GARAGE REMODEL OF AN EXISTING  
COMMERCIAL OFFICE IN A LADD'S CRAFTSMAN STYLE HOUSE. NEW  
ATTACHED REAR COVERED PORCH & NEW ACCESSIBLE ENTRY. RECONFIGURATION  
OF EXISTING BATHROOMS FOR ADA COMPLIANCE. NO CHANGE OF USE.  
RECONFIGURATION OF EXISTING STAIRS

33.130.205 FAR ✓  
MAX 3:1 = 12,588 SF  
PROPOSED = 4,849

NON STARTER

33.130.210 HEIGHT ✓  
MAX = 45'  
PROPOSED = 33' A.B.V. TO CURB

33.130.215 SETBACKS ✓ HAS TO MEET MAIN STRUCTURE  
ABUTTING RS TO SOUTH  
ALLOWABLE: FRONT - NO MIN / 10' MAX  
GARAGE - 5' / 18'  
SIDE/REAR - —  
LANDSCAPE AREA No min

HEIGHT OF  
WALL  
MOD.

33.130.220 BUILDING COVERAGE ✓

ALLOWED: MINIMUM 50% OF SITE AREA

PROPOSED = 52%

33.130.225 LANDSCAPED AREAS ✓

NO MIN

33.130.227 TREES ✓

33.130.230 GROUND FLOOR WINDOWS ✓

~~33.130.224~~

~~33.130.275 DEMOLITIONS~~

NON CONFORMING - 33.258 → PROJECT VALUE \$120,000?

BIKE PARKING - 33.266 ?

2 SHORT TERM

2 LONG TERM

DEMOLITION? 50%

Dec. 08, 2017

## Design Review Project Narrative 1549 SE Ladd Ave.

The proposed project is a 2-story rear addition & garage remodel of an existing commercial office in a historically contributing craftsman style house in Ladd's Addition Historic District located at 1549 SE Ladd Ave. (Prior change of occupancy approval permit # 2010-100555-000-00-CO) The goal of this project is to increase office space while maintaining the historic character of the house and complying with LAC guidelines.

The projected scope of work is less than \$444,750 threshold. Per 33.846 (Table 846-3), LU review Type-II (minor DR) is required. No neighborhood contact is required per 33.700.025. The proposal will create less than 10,000 SF of gross building area for commercial use.

The extent of work is as follows:

Removal of existing rear covered porch. No architecturally significant features exist at this portion.

Garage remodel - partial removal of existing detached garage - slab, foundation & partial wall to remain.

Partial removal of existing roof & framing at rear gable to accommodate new footprint. New roof to match existing roof styles & flared roof eaves.

New 2-story addition at rear of existing structure to attach with existing detached garage. Floor levels & roof height to align w/ existing. No overall height increase.

New attached covered porch at new accessible entry on Mulberry Alley.

New windows & doors to match existing materials, configurations, and colors.

New exterior finishes & materials (paint/trims/siding) to match existing.

Existing design of architectural elements/details such as overhangs, rafter tails, posts/columns to be replicated in new construction.

Existing bathrooms to be reconfigured for ADA compliance.

Reconfiguration of existing stairs.

• NON CONFORMING DETACHED  
• STRUCTURE

• MOD SETBACK +  
LANDSCAPING  
11' SETBACK  
LU 17-280914 HP



Dec. 08, 2017

## Design Review Approval Criteria Compliance 1549 SE Ladd Ave

33.445.320 Historic Resource Review

33.846 Historic District: Ladd's Addition District Specific Guidelines

- A. Community Design
- B. New Construction / Building Addition
- C. Exterior Rehabilitation - Not Applicable

### A. COMMUNITY DESIGN

#### A1. TRAFFIC CONTROL

New proposal does not provide enough volume of traffic to negatively affect surrounding streets and sidewalks.

#### A2. STREET FUNCTIONS

Not applicable.

#### A3. SERVICE ALLEYS

New proposal does not interfere with existing service alley (Mulberry Alley) but rather, enhances the pedestrian accessibility and safety with new lighting, landscaping and screening.

#### A4. VEHICULAR AND PARKING ACCESS

Not Applicable. Per 33.266 (Table 266-1) There is no minimum parking requirement for CS zone.

#### A5. SIDEWALK HISTORY

Not applicable.

#### A6. STREET LIGHTS AND STANDARDS

Not Applicable.

#### A7. Public Utility Features

Not Applicable.

#### A8. Historic Plaques and Signs.

Not Applicable. None are present on existing property.



Dec. 08, 2017

## Design Review Approval Criteria Compliance 1549 SE Ladd Ave

33.445.320 Historic Resource Review

33.846 Historic District: Ladd's Addition District Specific Guidelines

### B. NEW CONSTRUCTION / BUILDING ADDITION

#### B1. SITING

Not Applicable to front of building. No new construction and change to front of building. New construction on south property line is setback at least 5ft. per lot line abutting R-5 zone, 33.130 (Table 130-4) where the existing height of wall is 15ft or less. New wall on north property line is setback 5-ft. from adjacent commercial building. See site plan.

#### B2. LANDSCAPING

Applicable on south property line per 33.248.020 Landscaping & Screening. L3 screening - continuous 6-ft. high shrubs, ground cover & small trees (1 per 15 ft.) is required. Continuous landscaping at existing garage is prohibited due to existing non-conforming setback. See landscape plan.

#### B3. FENCES & RETAINING WALLS

Front & side yard fences/landscape retaining walls to remain.

#### B4. PARKING

Not Applicable. Per 33.266 (Table 266-1) There is no minimum parking requirement for CS zone.

#### B5. BUILDING HEIGHT

The new addition matches the floor levels & roof heights of the existing building (33'-0" from top of curb) & doesn't exceed maximum FAR of 3:1 & maximum height of 45 ft per 33.130 (Table 130-3). See elevations.

#### B6. BUILDING FACADE PROPORTIONS:

Not Applicable to commercial buildings.

#### B7. FOUNDATIONS

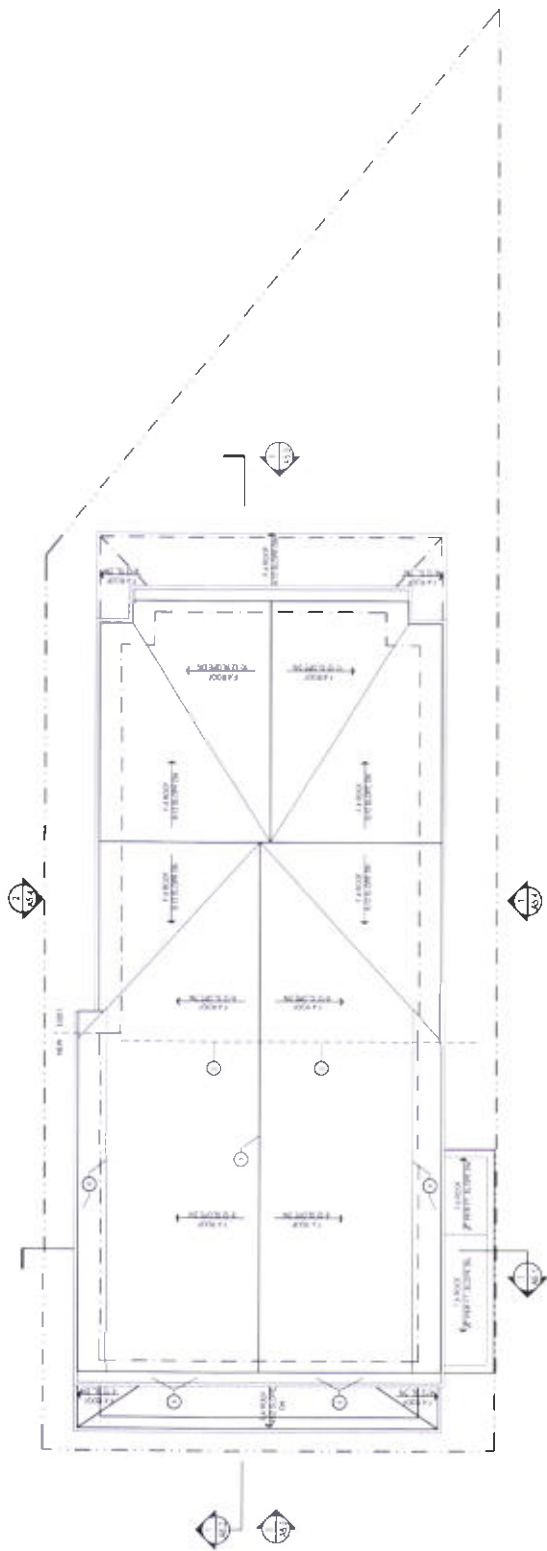
Where the new floor level matches the existing floor, new stem walls to match existing height. New accessible entry via alley to have concrete slab on grade poured over exist. concrete slab & within 6 inches of alley elevation.



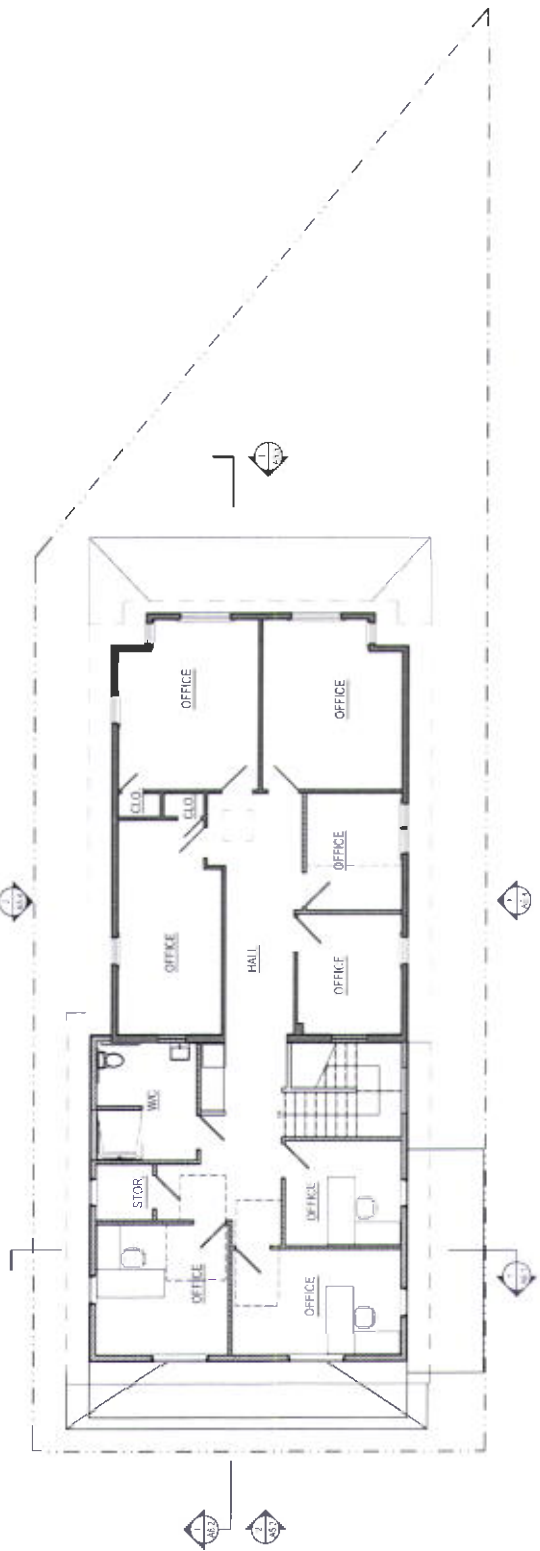




**SHEET NOTES:**  
 1. ALL DIMENSIONS UNLESS OTHERWISE NOTED.  
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ASHRAE 90.1. ALL ITEMS ARE TO BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ASHRAE 90.1.  
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ASHRAE 90.1.  
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ASHRAE 90.1.  
 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ASHRAE 90.1.

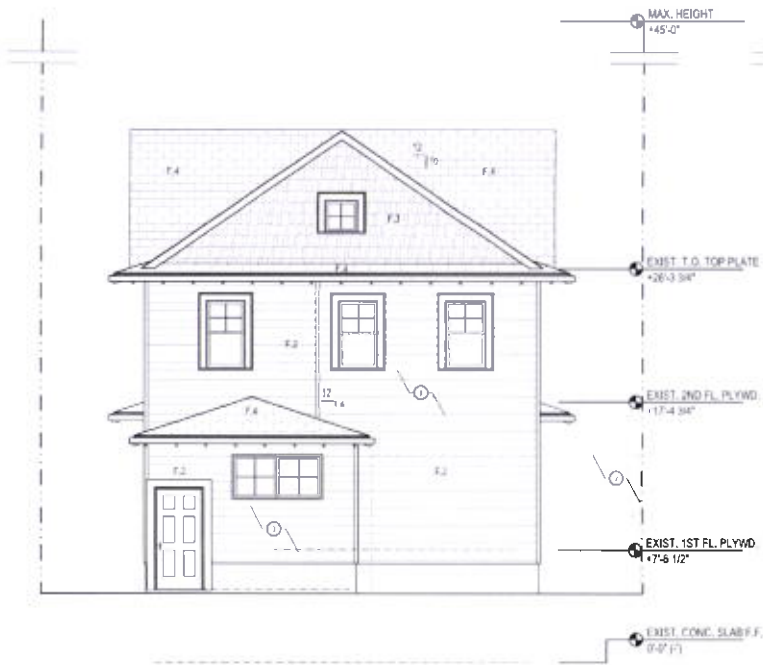


2. ROOF PLAN  
 SCALE 1/8"=1'-0" ON 22X34 1/8"=1'-0" ON 11X17



1. SECOND FLOOR CONSTRUCTION PLAN  
 SCALE 1/8"=1'-0" ON 22X34 1/8"=1'-0" ON 11X17





2. EXIST. ELEVATION - BACK (WEST)

SCALE: 1/4" = 1'-0" ON 22X34 1/8" = 1'-0" ON 11X17 NTS ON 8.5X11



1. EXIST. ELEVATION - FRONT (EAST)

SCALE: 1/4" = 1'-0" ON 22X34 1/8" = 1'-0" ON 11X17 NTS ON 8.5X11

- SHEET NOTES:**
1. REFER TO ALL OTHER SYMBOLS, HATCHES AND ABBREVIATIONS. ALL ITEMS ARE EXIST UNLESS NOTED OTHERWISE.
  2. DASHED LINE OF EXIST. GARAGE IS TO BE REMOVED AND REFINISHED TO MATCH EXIST. FINISH. SEE OTHER ELEVATIONS.
  3. BACK ELEVATION TO BE REMOVED FOR PROPOSED ADDITION.
  4. EXIST. COMPOSITE ROOF TO REMAIN.
  5. EXIST. FRAMING PTG. W/O. DAMAGE TO REMAIN - 10 SF TOTAL AREA.

**FINISH SCHEDULE:**

- F1 EXIST. HORIZONTAL (FIBER CEMENT) LAP SIDING  
24" X 10.5" EXPOSURE  
EXIST. TO REMAIN
- F2 EXIST. HORIZONTAL (FIBER CEMENT) LAP SIDING  
HARDPLANK 4" EXPO. EXIST. GARAGE. REPLACE W/ 7"  
HARDPLANK 3" EXPOSURE. FIT TO MATCH EXIST.  
FINISH: CEDAR MILL. TRIM TO MATCH EXIST.  
NEW 1.00 SF. CONTRACTOR V.I.F. SEE DTLS. ON AB.1
- F3 EXIST. CEDAR SHINGLES SIDING  
PTG. TO MATCH EXIST.  
NEW 561 SF. CONTRACTOR V.I.F.  
SEE DTLS. ON AB.1
- FA NEW COMPOSITE ROOF  
T&G. REPLACE ALL EXIST.  
TTL. 3.00 SF. V.I.F. SEE MEMORANDUMS & SEE DTLS. ON AB.1
- F5 SOFFIT  
1X4 CEDAR T&G. PTG. TO MATCH EXIST. UNDERSIDE OF  
RAFTER TAILS. NEW - SF

EXISTING BUILDING ELEVATIONS

LADD OFFICE  
15133 LADD AVE.  
PORTLAND, OR 97114

STEELHEAD ARCHITECTURE  
15133 LADD AVE. PORTLAND, OREGON 97114



DESIGN REVIEW  
12/08/17

A4.1



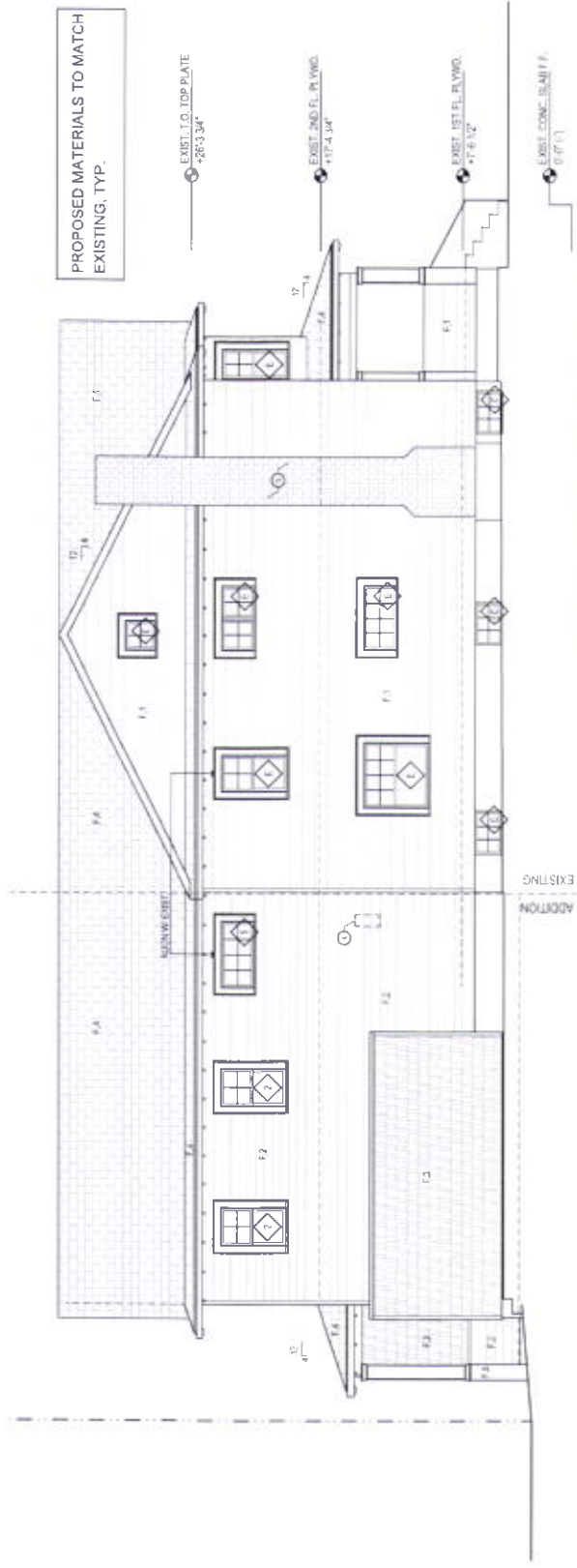






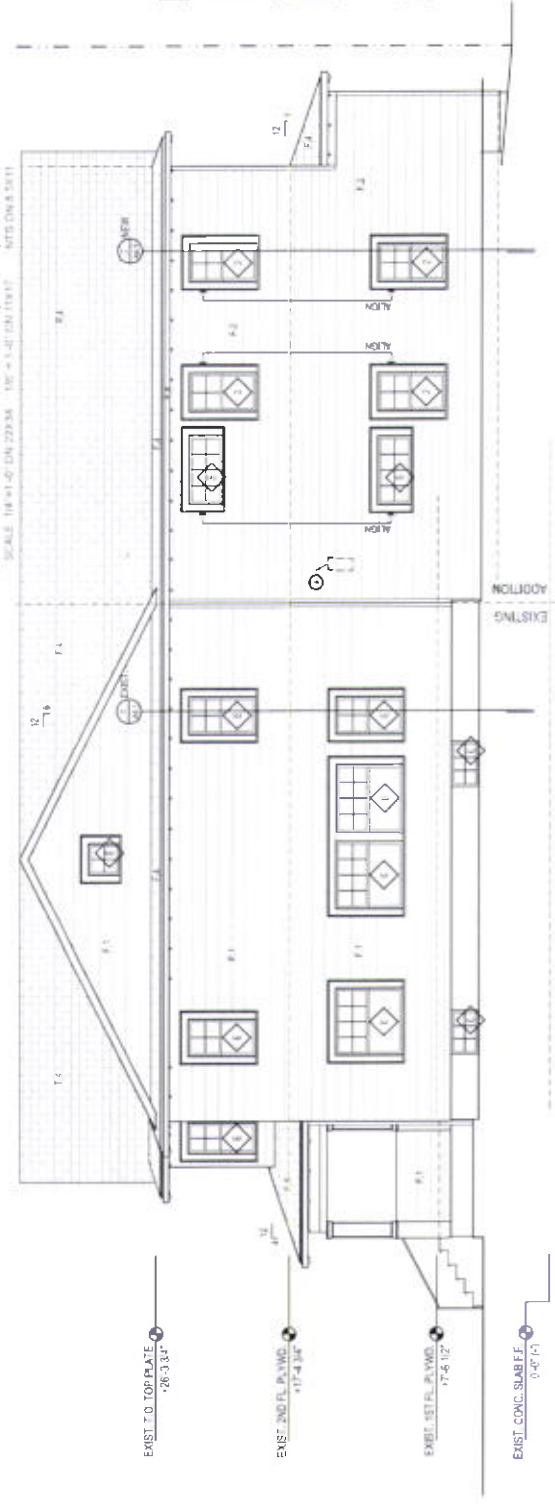
- SHEET NOTES:**
1. REFER TO ALL FOR SYMBOLS, MATCHES AND ABBREVIATIONS. ALL ITEMS ARE EXIST UNLESS NOTED.
  2. NOT USED.
  3. EXIST. RECOMMENDED FINISHES TO REMAIN.
  4. FINISHES INDICATED BY SHADING INDICATE FINISH LOCATION.

PROPOSED MATERIALS TO MATCH EXISTING, TYP.



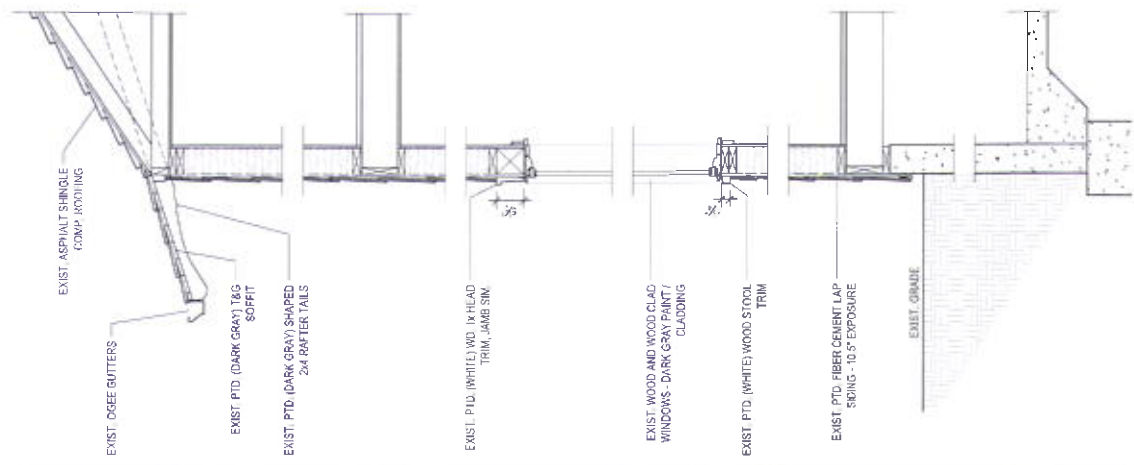
1. PROPOSED ELEVATION - SIDE (SOUTH)

- FINISH SCHEDULE**
- |     |  |
|-----|--|
| F.1 | EXIST. HORIZONTAL REINFORCMENT LAP SOING<br>24" W X 10.5' EXPOSURE<br>EXIST. TO REMAIN                 |
| F.2 | EXIST. HORIZONTAL FIBER CEMENT LAP SOING<br>24" W X 10.5' EXPOSURE<br>EXIST. TO REMAIN                 |
| F.3 | EXIST. CEILING<br>24" W X 10.5' EXPOSURE<br>EXIST. TO REMAIN   |
| F.4 | NEW COMPOSITE ROOF<br>TYP. REPLACE ALL EXIST<br>TYP. 3/8" S.F. V.I.F. SEE FINISHES & SEE DTLS. ON A6.1 |
| F.5 | EXIST. CEILING<br>24" W X 10.5' EXPOSURE<br>EXIST. TO REMAIN   |

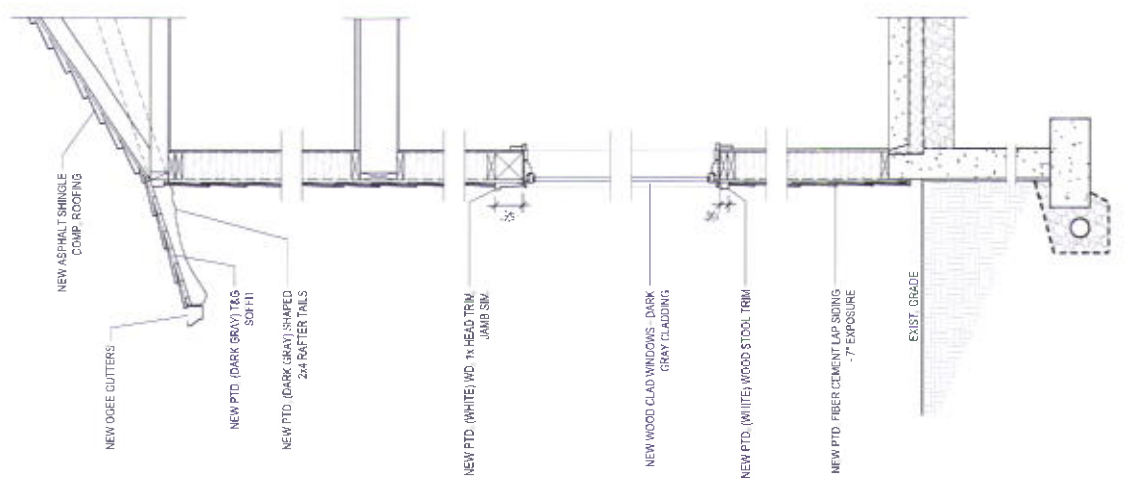


2. PROPOSED ELEVATION - SIDE (NORTH)

SCALE: 1/8" = 1'-0" ON 22/23.8 1/8" = 1'-0" ON 13/17.17 NTS ON 8.5X11



1. WALL SECTION @ EXIST.  
 SCALE: 1/8"=1'-0" ON 22X34, 1/2" = 1'-0" ON 11X17



1. WALL SECTION @ NEW ADDITION  
 SCALE: 1/8"=1'-0" ON 22X34, 1/2" = 1'-0" ON 11X17

Siding

Trim

Soffit

HardieWrap®

Finishing Touches

● HardiePlank® Lap Siding

HardiePanel® Vertical Siding

HardieShingle® Siding



### SELECT CEDARMILL®

*Woodstock Brown*

Thickness	5/16 in.					
Length	12 ft. planks					
Width	5.25 in.	6.25 in.	7.25 in.	8.25 in.	9.25 in.*	12 in.*
Exposure	4 in.	5 in.	6 in.	7 in.	8 in.	10.75 in.
ColorPlus Pcs./Pallet		280	252	210		
Prime Pcs./Pallet	360	308	252	230	190	152
Pcs./Sq.	25.0	20.0	16.7	14.3	12.5	9.3

PHOTO FOR REFERENCE ONLY, COLOR TO MATCH EXIST, BLUE

#### Available Colors



[View all HardiePlank Lap Siding Products](#)

\*These 9.25 in. and 12 in. are only available primed.

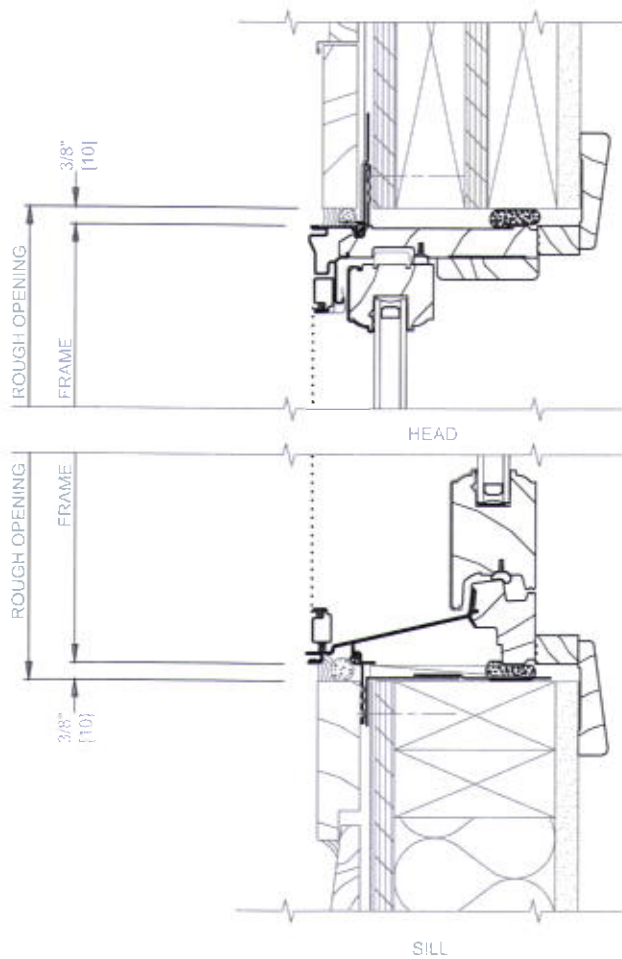




## FIN INSTALLATION DETAILS

Aluminum-Clad Wood Exterior

Double-Hung with Wood Trim / Siding



**WATER-RESISTANT BARRIER BY OTHERS**

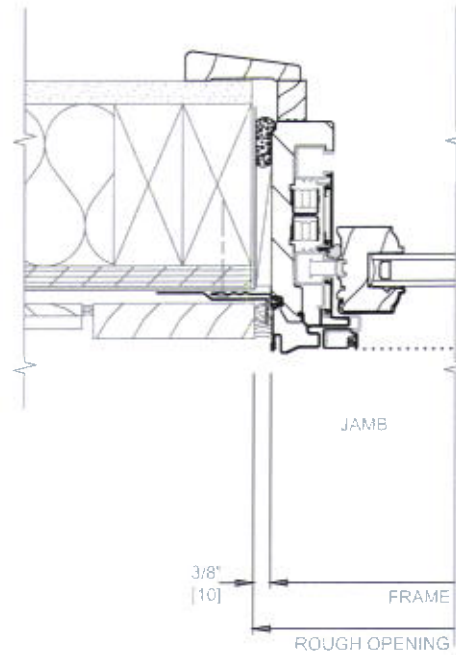
Continuous water-resistive barrier attached to the wall sheathing.

**FLASHING BY OTHERS**

Metal head flashing.

**SMARTFLASH® INSTALLATION TAPE**

Integrate the window and door flashing tape into the wall system.



SHIM AND PLUMB UNITS AS REQUIRED BY OTHERS.

### INSTALLATION FIN #42G7

Attach unit to wall construction with nails or screws at each pre-punched hole in the installation fin.

**PELLA WINDOW AND DOOR INSTALLATION SEALANT AND WATER RESISTANT BACKER ROD.**

Apply continuous sealant according to label directions and ASTM C1193.

**LOW EXPANSION, LOW PRESSURE POLYURETHANE INSULATING WINDOW AND DOOR FOAM SEALANT - (DO NOT USE HIGH PRESSURE OR LATEX FOAMS).**

Apply a continuous 1" bead of insulating foam to provide a full interior seal.

**JAMB EXTENSION #283G (OPTIONAL)**

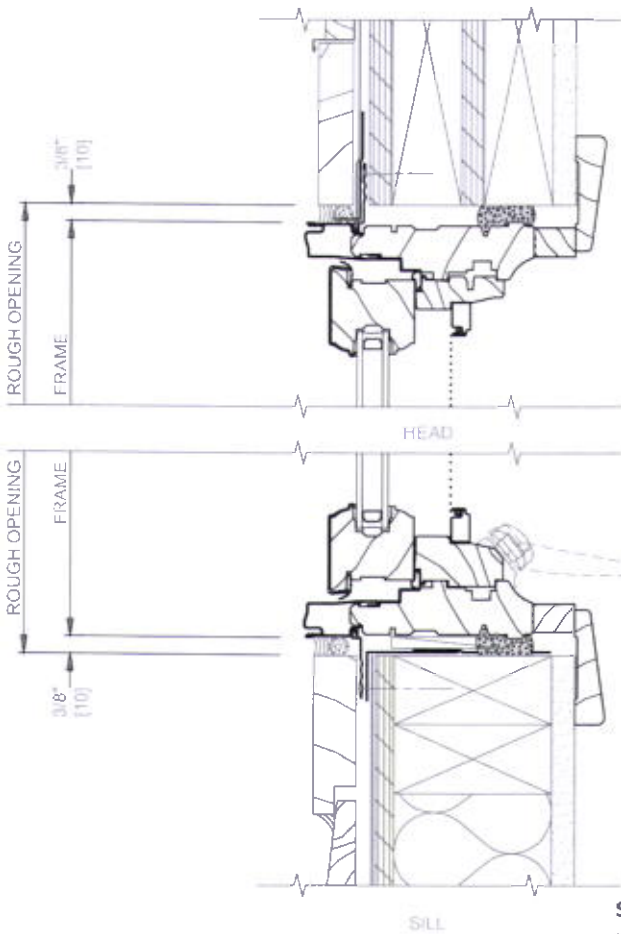
**PELLA 2-1/2" RANCH-1 TRIM (#30AY) (OPTIONAL)**

Scale 3" = 1'-0"

- Items in bold are available from Pella.
- These details are for typical single punch openings.
- See page W-ID-3 for typical sealant details.
- Refer to the appropriate Pella® Installation Instruction for step-by-step instructions.

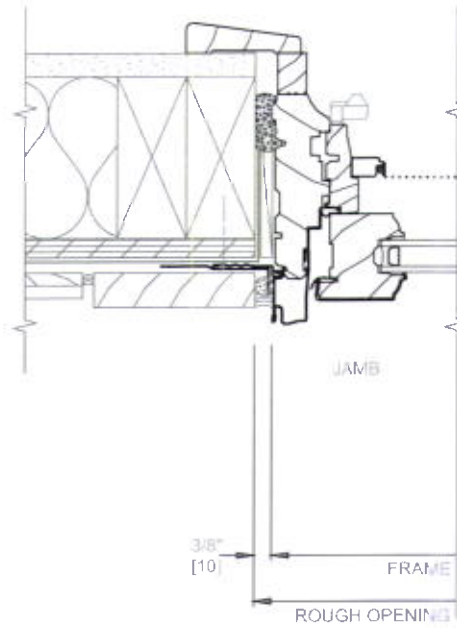


**FIN INSTALLATION DETAILS**  
 Aluminum-Clad Wood Exterior  
 Casement with Wood Trim / Siding



**WATER RESISTANT BARRIER BY OTHERS**  
 Continuous water-resistive barrier attached to the wall sheathing.

**FLASHING BY OTHERS**  
 Metal head flashing.



**SMARTFLASH® INSTALLATION TAPE**  
 Integrate the window and door flashing tape into the wall system.

SHIM AND PLUMB UNITS AS REQUIRED BY OTHERS.

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- Items in bold are available from Pella.
- These details are for typical single punch openings.
- See page W-ID-3 for typical sealant details.
- Refer to the appropriate Pella® Installation Instruction for step-by-step instructions.

# Rustic Walnut entry doors.

## DISTINCTIVE AND STUNNING

Pella's Rustic Walnut wood doors bring to life the beauty of nature. Natural distressing gives these doors their characteristic charm and makes each door as distinctive as its owner. Unique decorative accents like hinge straps, clavos and speakeasies allow you to personalize your door.

## FACTORY-PREFINISHED STAIN CHOICES



## STYLES AND SIZES



<sup>1</sup> Eyebrow top version available.



<sup>1</sup> Radius top version available.



<sup>1</sup> Grooved panel version available.





Customer Service: 1-800-653-6556 or cs@destinationlighting.com

M-F: 7am-5pm & Sunday: 11am-4pm (PST)

### Seeded Glass LED Outdoor Wall Light Oil Rubbed Bronze Designers Fountain Lighting



<b>Product Number:</b>	P1584804 or 582676	<b>Shade Material:</b>	Glass
<b>Manufacturer:</b>	Designers Fountain Lighting	<b>Material:</b>	Cast Aluminum
<b>Model Number:</b>	LED33421-ORB	<b>Shipping:</b>	UPS Regular
<b>Collection:</b>	Piedmont	<b>Certification Agencies:</b>	CUL
<b>Manufacturer Finish:</b>	Oil Rubbed Bronze	<b>Backplate Dimension:</b>	4.5 x 8
<b>Manufacturer Shade Color:</b>	Clear Seeded	<b>Wet Location:</b>	Yes
<b>Glass Treatment:</b>	Seeded	<b>Damp Location:</b>	Yes
<b>Total Wattage:</b>	10 w.	<b>Harsh Environ/Coastal:</b>	No
<b>Voltage Type:</b>	Line Voltage	<b>Kelvin Temperature:</b>	3000
<b>Average Rated Life1:</b>	50,000 hrs	<b>Lumens:</b>	594
<b>Height:</b>	10.25 in.	<b>Color Rendering Index:</b>	70
<b>Width:</b>	6.50 in.	<b>Made In America:</b>	No
<b>Depth:</b>	7.50 in.	<b>Dusk To Dawn:</b>	No
<b>Wattage:</b>	10	<b>Motion Sensor:</b>	No
<b>Bulb Type:</b>	LED	<b>Title 24:</b>	No
<b>Base Type:</b>	Integrated LED		
<b>Bulb Included:</b>	Yes		
<b>Dark Sky:</b>	No		
<b>ADA Compliant:</b>	No		
<b>EnergyStar Compliant:</b>	Yes		

4.8 ★★★★★  
Google  
Customer Reviews



Customer Service: 1-800-653-6556 or [cs@destinationlighting.com](mailto:cs@destinationlighting.com)

M-F: 7am-5pm & Sunday: 11am-4pm (PST)

### Motion Activated Flood Light in Bronze Finish



<b>Product Number:</b>	391610	<b>ADA Compliant:</b>	No
<b>Manufacturer:</b>	RAB Electric Lighting	<b>EnergyStar Compliant:</b>	No
<b>Model Number:</b>	STL360HB	<b>Shade Material:</b>	Metal
<b>Collection:</b>	Stealth	<b>Material:</b>	Cast Aluminum
<b>Manufacturer Finish:</b>	Bronze	<b>Security Type:</b>	Flood
<b>Shade Color:</b>	Bronze Tones	<b>Shipping:</b>	UPS Regular
<b>Total Wattage:</b>	300 w.	<b>Certification Agencies:</b>	UL
<b>Voltage Type:</b>	Line Voltage	<b>Backplate Dimension:</b>	4-3/4 x 4-5/8
<b>Height:</b>	5-5/8 in.	<b>Wet Location:</b>	Yes
<b>Width:</b>	20 in.	<b>Damp Location:</b>	Yes
<b>Length:</b>	15-1/2 in.	<b>Harsh Environ/Coastal:</b>	No
<b>Depth:</b>	7 in.	<b>Weight:</b>	4.6 lbs
<b>Wattage:</b>	150	<b>Made In America:</b>	No
<b>Bulb Type:</b>	Halogen	<b>Dusk To Dawn:</b>	Yes
<b>Bulb Shape:</b>	PAR38	<b>Motion Sensor:</b>	Yes
<b>Base Type:</b>	Medium	<b>Title 24:</b>	No
<b>Number Of Bulbs:</b>	2		
<b>Bulb Included:</b>	No		
<b>Bulb Color:</b>	Frosted		
<b>Dark Sky:</b>	No		

4.8 ★★★★★  
 Google  
 Customer Reviews



# Informational Guide: Residential Demolitions



## The Demolition Ordinance

On February 12, 2015, Portland City Council amended Chapter 24.55.200 "Residential Demolition Delay – Housing Preservation" and associated sections of Title 24, Portland Building Regulations. Effective April 20, 2015, the amended demolition provisions and associated procedures require a 35-day delay period (with a potential appeal to extend for an additional period of 60 days) and notifications to neighbors and Recognized Organizations. Additionally, the applicant must submit a hazardous material certification to the Bureau of Development Services (BDS) before the permit may be issued. (See Demolition Permit Requirements at the end of the Guide for more information).

## Where Do the Demolition Ordinance Requirements Apply?

- The demolition delay and notice requirements apply to all residential structures that have a residential Comprehensive Map Designation. They do not apply to accessory structures such as garages and additional dwelling units (ADUs) or residences in non-residential comprehensive plan map areas.
- The demolition delay and notice requirements do not apply to accessory structures such as detached garages or other outbuildings.

## Key Definitions from Title 24

- **Demolition.** Demolition means removal of the entire superstructure down to the subflooring, such that none of the existing superstructure is maintained. Demolition includes removal of all exterior walls. It also includes alteration, abandonment or removal of all of the existing perimeter foundation.
- **Subflooring.** Subflooring means the bottom-most structural floor laid as a base for a finished floor.
- **Superstructure.** Superstructure means the part of the building or construction entirely above its foundation or basement.

## Defining "Demolition"

Whether a proposed scope of work is considered to be a demolition, rather than a major addition or alteration, is primarily determined by the status of the superstructure at any point in the work. As stated in first sentence of the definition, a project is a demolition if it involves the removal of the entire superstructure. In addition, the next two sentences of the definition identify changes to the perimeter foundation that will result in a demolition when these are done in conjunction with the removal of the superstructure.

The intent of this Guide is to clarify terms used to determine whether a project constitutes a demolition, and to illustrate how the Bureau of Development Services is interpreting the ordinance governing demolitions and major alterations/additions.

### 1 Determining the Superstructure

#### A. What is considered the "Superstructure"?

Whether a project is a demolition depends on the impact of the work on the superstructure of the house. To determine what constitutes the superstructure, first identify the subflooring of that structure. The superstructure is the portion of the structure above the subflooring. (See Figures 1 & 2.)

#### B. What is considered the "Subflooring"?

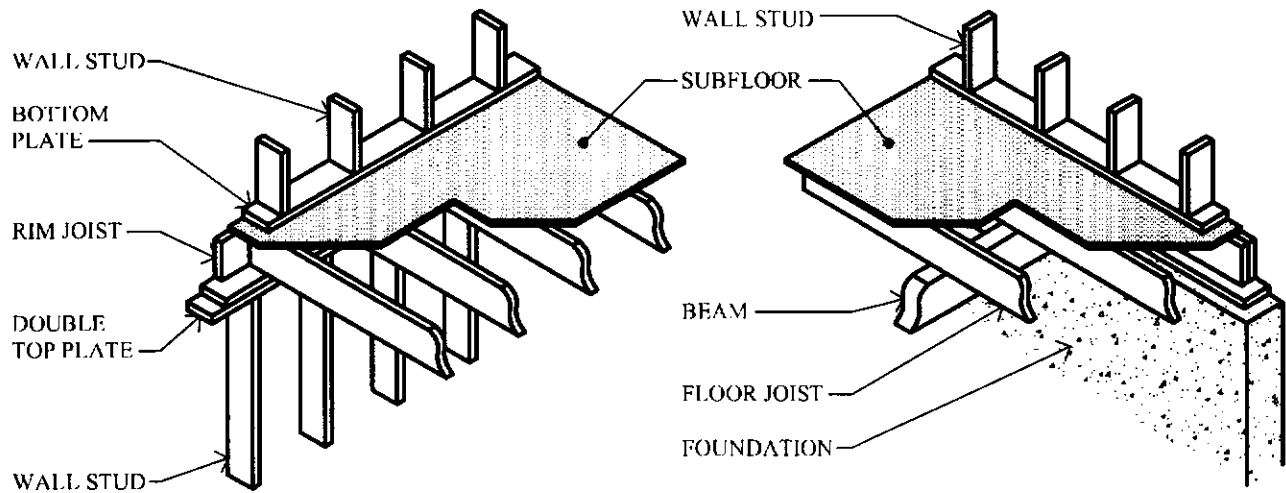
Subflooring is the horizontal material between the floor framing (such as 2x8 joists) and the floor finish (such as tile or carpet). Typically the subfloor material is plywood or 1x6 boards. For the analysis of a demolition project, the critical "subflooring" is located at the bottom-most structural floor laid over floor framing. (See Figure 1.)

\* TITLE 24 DEFINITION

50% ~~WALLS~~ \*ART CASE



**Figure 1: Subflooring in conventional construction**



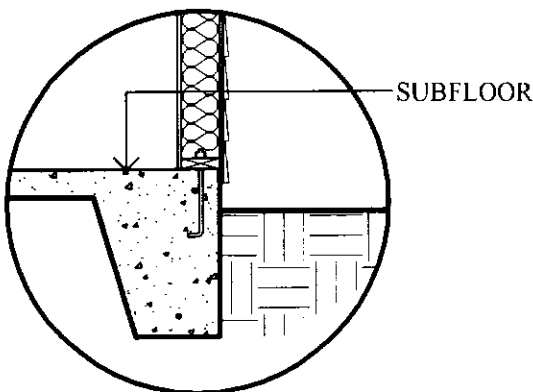
**C. Identifying the building's superstructure**

The superstructure is the portion of the building that is above and supported by the subflooring. (See Figure 2.)

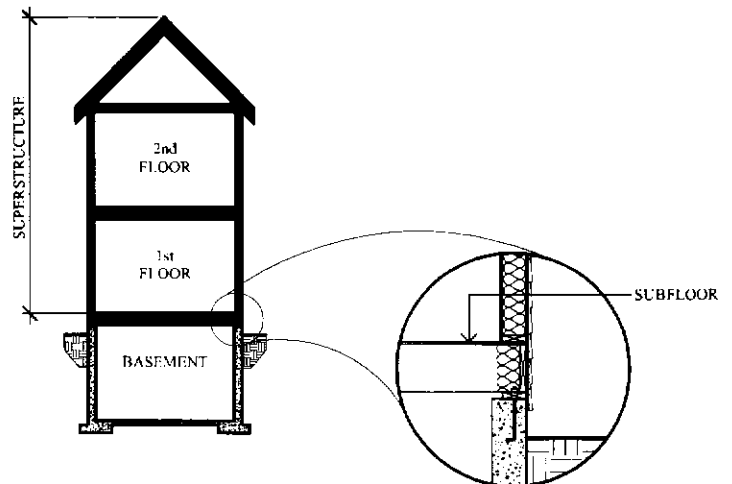
**D. What if there is no framed floor?**

If a house was constructed with only a slab on grade instead of a crawlspace or basement, the bottom-most subflooring is the surface of the slab. (See Figure 3.)

**Figure 3: Slab on Grade**



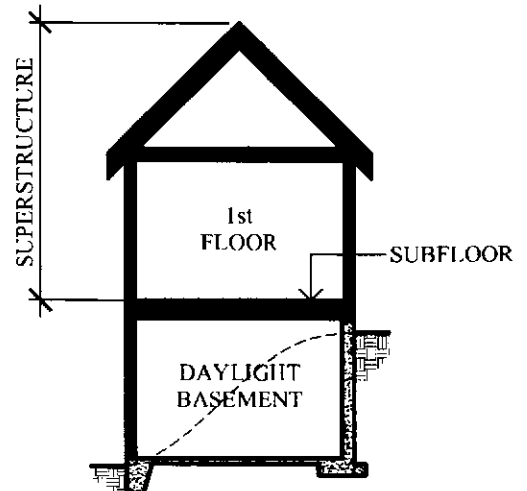
**Figure 2: Superstructure**



**E. What if there is both a slab on grade and a framed floor?**

For cases such as a home with a daylight basement, there may be a basement slab and a framed floor on the story above the basement. The subfloor is defined as the bottom-most structural floor laid over floor framing; however, the bottom-most subflooring is considered to be at the main level framed floor, rather than the basement slab level. (See Figure 4.)

**Figure 4: Daylight basement**

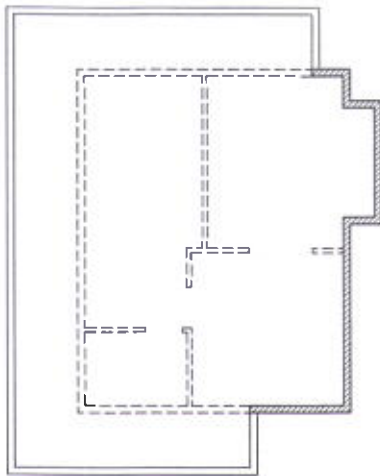


## 2 Determining the Extent of Superstructure Removal

### A. What is the minimum amount of superstructure that needs to be kept in order to NOT be a demolition?

- The project scope must leave at least one full exterior wall line remaining in place. If less than one complete wall line remains, the project will be considered a demolition.
- Even if one full exterior wall line remains, the scope of work to the foundation must also be analyzed to determine if a project is a demolition. (See Section 3.)
- To qualify as a full remaining wall line, the remaining wall must extend the full width or length of the house, from corner to corner. The remaining wall line may include existing offsets or jogs. (See Figure 5.)
- Since the remaining wall must extend for the full width or length of the house, wall fragments that are kept do not count as qualifying remaining walls. (See Figure 6.) If only wall fragments remain, rather than a full wall line, the project will be considered a demolition.

Figure 5:  
Remaining full wall line is not considered a demolition






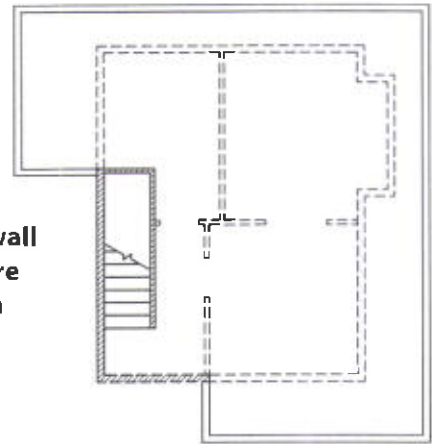
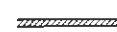


 EXISTING WALLS TO REMAIN  
 EXISTING WALLS TO BE REMOVED  
 PROPOSED WALLS

Figure 6:  
Remaining wall fragments are considered a demolition



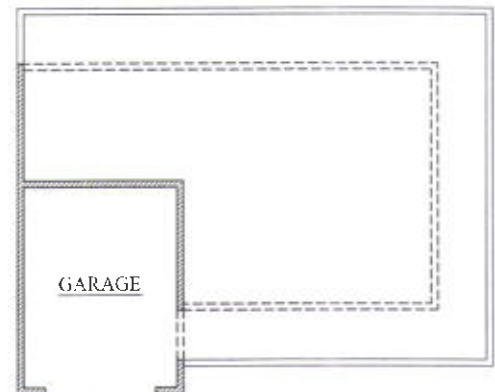
 EXISTING WALLS TO REMAIN  
 EXISTING WALLS TO BE REMOVED  
 PROPOSED WALLS




### B. How are garage walls counted?

- If the garage foundation is connected to the house foundation, its walls are included in the superstructure.
- If the garage is detached or it is supported by a foundation that does not connect with the house foundation, it is not included in the superstructure analysis to determine whether the proposed changes constitute a demolition. (See Figure 7.)

In Figure 7, the garage has a foundation attached to the house foundation. Therefore, the exterior garage walls are included in the analysis of the superstructure. The left exterior garage wall is part of a full remaining wall line, and the project would not be considered a demolition as long as no part of the foundation was removed under the subfloor.

Figure 7: Wall of attached garage is included in the determination of superstructure

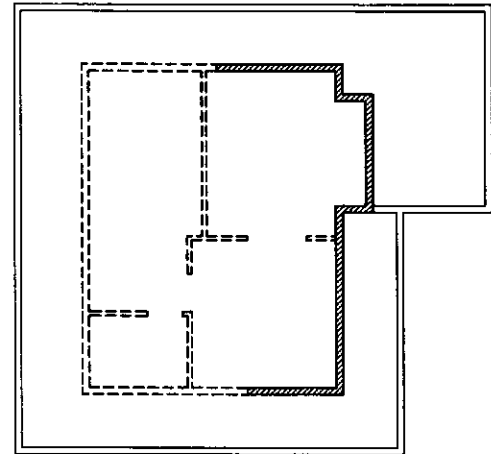


 EXISTING WALLS TO REMAIN  
 PROPOSED WALLS  
 EXISTING WALLS TO BE REMOVED OR CHANGED TO INTERIOR WALLS

### C. Can the remaining wall be absorbed into an addition?

An exterior wall can be reused in an enlarged house, but in order to qualify as a remaining wall for the purpose of not being considered a demolition, the wall must remain an exterior wall. If the wall becomes an interior wall, then it will be treated as if it were removed for the purposes of determining if the project is a demolition. (See Figure 8.)

**Figure 8: Remaining full wall line becomes interior = demolition**



----- : EXISTING WALLS TO BE REMOVED  
————— : PROPOSED WALLS  
————— : EXISTING EXTERIOR WALL BECOMES INTERIOR WALL

### D. Can the remaining wall be altered?

- It is acceptable to add structural reinforcements to the remaining wall, but structural elements cannot be removed or replaced. The structural elements that must remain are the full wall studs and sheathing. (See Figure 9.)
- If dry rot or other damage is present that requires the remaining wall to be rebuilt, the wall no longer qualifies as an original remaining exterior wall. It is important to evaluate the strength of the remaining wall line when planning a project. If the remaining wall collapses during construction, the project will be halted and must be permitted as a demolition.
- All walls that are required to remain in place in order not to trigger a designation of demolition must remain in place for the full duration of the project until the final inspection is approved. If any part of the required remaining walls collapse during construction, the permit will be cancelled and reprocessed as a demolition permit.

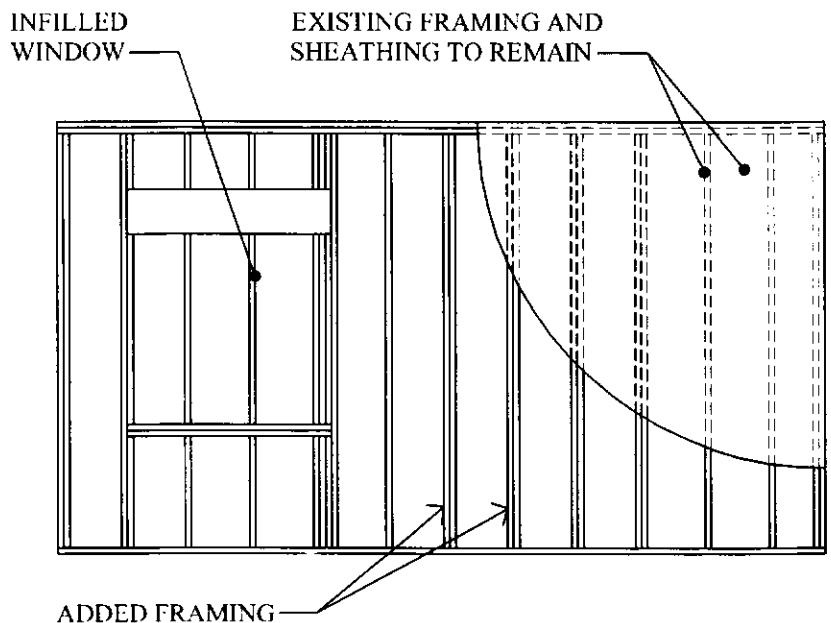
### E. Can new openings be cut into the remaining wall?

No new openings can be cut into the wall. However, existing openings may be infilled. (See Figure 9.)

### F. Can the remaining wall be temporarily supported while the floor is replaced?

No. If the subfloor below the remaining wall is removed, then the wall is also considered to be removed, and cannot count as a remaining existing wall. That wall is treated as a demolished wall.

**Figure 9: Acceptable changes to a remaining existing wall**



## Determining the Extent of Foundation Changes



### 3 A. What is considered the foundation?

The superstructure is any part of the house above the subflooring of the lowest floor framing. The foundation is the portion of the structure below the subfloor and lowest floor framing. The foundation is usually constructed of concrete and may include wood framed portions, such as "cripple walls" or "pony walls." (See Figure 10.)

### B. Can I replace a failing foundation without the project being considered a demolition?

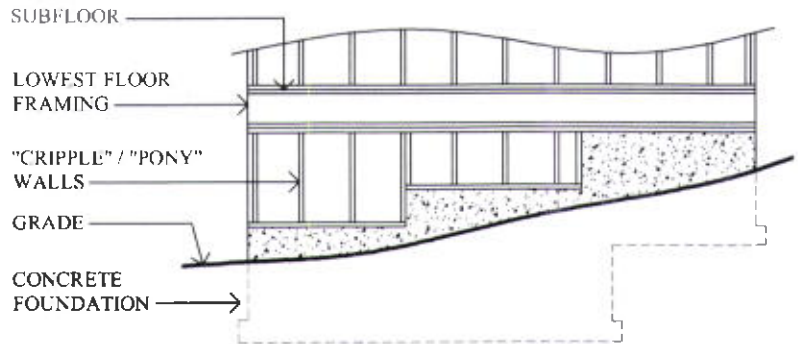
If the scope of work is only to replace a failing foundation, and the house above remains unchanged, this would not be considered a demolition. This is because a demolition involves the removal of the superstructure.

### C. I'm removing some of the superstructure. What is the minimum amount of foundation that needs to be kept in order to NOT be a demolition?

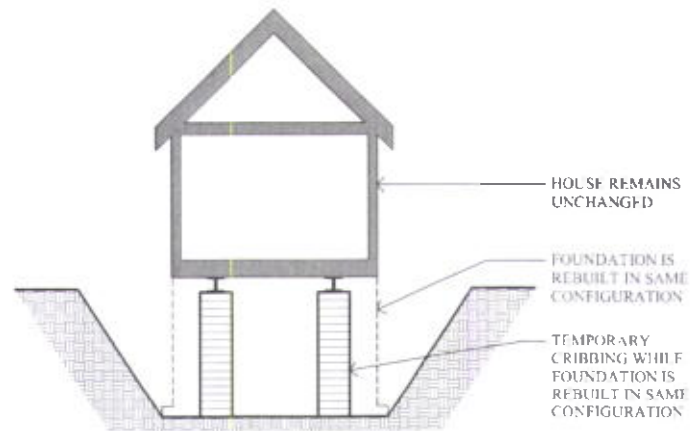
- If any portion of the superstructure above is removed, all of the foundation must remain intact. The remaining foundation must still support all the remaining floor framing, subfloor, and at least one exterior wall line as determined above. (See Figure 12.)

- If additional structural elements are added that remove the load from the existing foundation, this foundation is considered abandoned. (See Figure 13.) This is the equivalent of removing the foundation, and the project would be designated as a demolition.

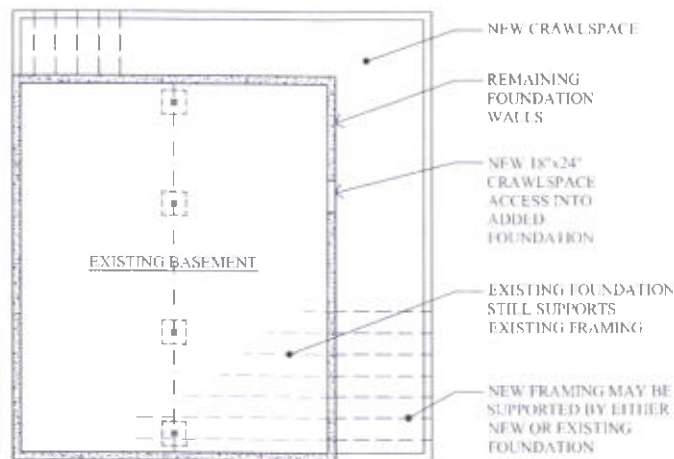
**Figure 10: Typical foundation with concrete stem walls and wood pony walls**



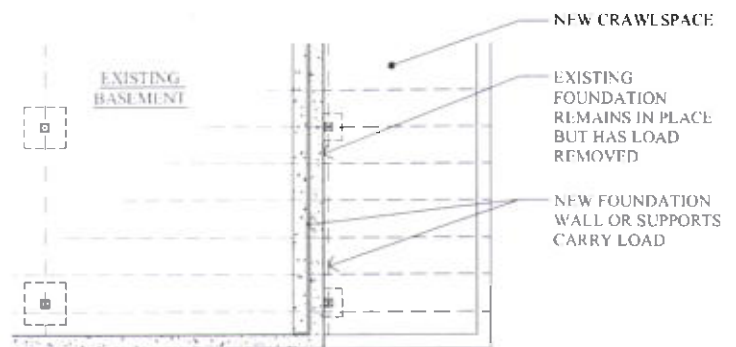
**Figure 11: Foundation replacement without changes to the superstructure above.**



**Figure 12: The remaining foundation supports existing structure**



**Figure 13: Existing foundation remains, but is abandoned**



#### D. Can I leave the existing foundation but enlarge the house around it?

In order to not be a demolition, the existing foundation must remain, but does not need to be visible from the exterior when the project is complete. However, the criteria for remaining exterior walls of the superstructure above must still be met.

#### E. Can I make changes to the existing foundation?

Only minor changes may be made to the existing foundation without considering the foundation wall removed. For example, small new openings may be cut into the wall, such as a crawlspace access or vent opening. (See Figure 12.)

#### F. What if the existing foundation completely or partially collapses while the project is under construction?

- Existing foundations need to be carefully evaluated for condition and strength while planning the project. All foundations that are required to remain in place in order not to trigger a designation of demolition must remain for the full duration of the project, through final inspection.
- If any part of the required remaining foundation collapses during construction, the existing permit will be cancelled and reprocessed as a demolition permit.

### Triggering a change to demolition status after the permit is issued.

**Project changing from a major alteration/addition to a demolition:** An increase in the scope of work may shift the project from a major alteration/addition to a demolition.

If the project changes from a major alteration/addition to a demolition, you'll need to stop work on the project. The Bureau of Development Services will cancel your existing permit and set up a new demolition permit in its place. Before issuance of the demolition permit, you must satisfy the 35-day delay and notification requirements. The project may also be subject to an extended delay of up to 60 additional days if a successful appeal is filed. Building Inspectors will issue a **stop work order** when they observe changes that shift the status of the project to a demolition.

### Demolition Permit Requirements

There are specific delay periods, notification

requirements, and certification forms to complete prior to the issuance of a permit to demolish a one or two family residential structure. While the key requirements are listed below, there may be other forms or submittal requirements that apply to your specific project.

### Demolition Delay

- **35-Day Delay:** The applicant must wait 35 days from the day BDS receives the complete permit application and all intake fees have been paid before the demolition permit will be issued.
- **60-Day Delay Extension:** Any person may request an extension of the initial 35-day demolition delay period for up to 60 additional days by filing an appeal to the Code Hearings Office through BDS. There are specific requirements for an appeal.

### Notification

- **Notification to surrounding properties:** BDS will mail notice to the properties within 150 feet of the demolition site within 5 business days of receiving a complete application.
- **Notification to Recognized Organizations:** BDS will mail notice of the application to recognized organizations whose boundaries include the site, the Architectural Heritage Center and Restore Oregon.
- **Door Hangers:** The permit applicant must place door hangers on the abutting properties and properties across the street no less than five full days before demolition activity begins on the site.

### Required Forms

- **Certification Regarding Asbestos and Lead-Based Paint:** The applicant must submit this form to BDS before their permit can be issued. By submitting the form, the applicant certifies that the site has been tested by a certified contractor and either does not contain asbestos or lead-based paint or that it does and the materials will be properly abated, handled and disposed of.
- **Owner Intent to Demolish Form:** The owner of the property must sign this form acknowledging that they are aware of the primary uses permitted under current zoning on the site.

**Note:** The Door Hanger, Certification Regarding Asbestos and Lead-Based Paint, and Owner Intent to Demolish are available online at the BDS webpage for Residential Demolitions - Overview and Criteria ([www.portlandoregon.gov/bds/67326](http://www.portlandoregon.gov/bds/67326)). Copies of these forms can also be obtained from the Development Services Center at 1900 SW 4th Ave. Call for hours 503-823-7310 or on [www.portlandoregon.gov/bds](http://www.portlandoregon.gov/bds).

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