



City of Portland Historic Landmarks Commission

Design Advice Request #2

SUMMARY MEMO

Date: June 16, 2023

To: LEVER ARCHITECTS, Douglas Miller

From: Arthur Graves, Development Review
503.865.6517

Re: EA 22-184037 DA – Jefferson High School Development
Design Advice Request #2 Commission Summary Memo – May 22, 2023

Thank you for taking advantage of the opportunity to hold a Design Advice Request regarding your project. I hope you find it informative and valuable as you continue with your project development. Following, is a summary of the comments provided by the Historic Landmarks Commission at the May 22, 2023, Design Advice Request. This summary was generated from notes taken at the public meeting and a subsequent review of the public meeting recordings. To review those recordings, please visit: [Efiles - EA 22-184037 DA – Redevelopment of Jefferson High School buildings and site. \(22/EF/13309\) \(portlandoregon.gov\)](https://efiles.portlandoregon.gov/efiles/EA%2022-184037%20DA%20-%20Redevelopment%20of%20Jefferson%20High%20School%20buildings%20and%20site.%20(22/EF/13309))

These Historic Landmarks Commission comments are intended to guide you in further design exploration of your project. These comments may also inform City staff when giving guidance over the course of future related land use reviews. It should be understood that these comments address the project as presented on May 22, 2023. As the project design evolves, the comments, too, may evolve or may no longer be pertinent.

Design Advice Requests are not intended to substitute for other Code-required land use or legislative procedures. Please keep in mind that the formal Type II land use review process [which includes a land use review application, public notification and a Final Decision] must be followed once the Design Advice Request meetings are complete, if formal approval for specific elements of your project is desired.

Please continue to coordinate with me as you prepare your Type II Land Use Review Application.

Encl:
Summary Memo

Cc: Historic Landmarks Commission
Respondents

Executive Summary.

- The Historic Landmarks Commission (HLC) appreciated the design team's continued progress with the site.
- The HLC supported the retention and revitalization of the 1909 building and continued to support keeping as much historic material as possible.
- The HLC supported the proposed reuse and alterations of the 1909 building's north façade for the main entrance to the school.
- The HLC supported the project's response to Superblock criteria including plaza and gathering spaces to be located adjacent to the 1909 building's north façade.
- The HLC supported further reduction of proposed blank wall along the ground floors of the east and west elevations.

Commissioners Present. Andrew Smith (Chair), Kristen Minor, Peggy Moretti.

Absent: Kimberly Moreland, Matthew Roman.

Recused: Maya Foty (Vice Chair), Cleo Davis.

Summary of Comments. Following is a general summary of Commission comments by design tenet.

CONTEXT and QUALITY & PERMANENCE

- 1. Historic Character, Historic Defining Features, and Building Retention/Prioritization;**
- 2. Response to Context;**
- 3. Building Program;**
- 4. Superblock Requirements;**
- 5. Street Hierarchy and Site Access;**
- 6. Site Parking;**
- 7. Materials.**

- The HLC supported the proposed alterations to the 1909 building regarding restoring the "essence" of the original design. The Commission suggested continued exploration and study to try and bring back as much of the original façade of the building as possible.
- The Commission was encouraged at the adaptive reuse of the 1909 building's entrances, specifically the removal of the steps to be replaced with more accessible entrances.
- Commission was supportive of proposed alterations to the north elevation of the 1909 building providing increased activation and access.
- The Commission was split on the removal of the 1928 building: One Commissioner supported the applicant's argument for its removal. Another Commissioner struggled with the removal of 1928 building but could support the demolition provided mitigation was provided through additional attention and details to be provided to the 1909 building if the 1928 building were to be removed. One Commissioner requested additional study be presented at the next DAR showing the 1928 building repaired and/or incorporated into the proposed design.
- One Commissioner suggested the 1928 building could be a great commons if proposed program were to be reworked. They noted, if the gym and theater were rotated down across the south side of the site this could allow the 1928 building to be visible (and be a great

commons). In addition, reorientation of program could make for improved ground level frontages on east and west, also allowing the stairs currently shown hanging off the gym to the west to be located off the gym to the south (providing an interesting visual feature from the south rather than an awkward projection to the west).

- Commissioners had concerns with the proposed commons area. Commissioners commented that a vertical expression of the common area should be integrated and studied further, to provide greater emphasis/excitement/interest to the locations.
- Commissioners commented on the east and west elevations of the proposed building being austere and not responsive to adjacent neighborhood buildings. It was suggested that the elevations should include greater transparency and articulation. Commissioners suggested the applicant study/review the scale and rhythm of the facing small houses and spaces between them for appropriate clues, as the east and west facades of the 1909 building did, to successfully break up the scale and extent of the blank facades.
- Commissioners suggested the design team study the rhythms and proportions of the 1909 building's north façade (in how it is broken up and articulated) and draw from these aspects in the design of the new building.
- Responding to the current design's large expanses of solid wall on the east and west ground floor elevations facing the street Commissioners agreed greater work is needed regarding how those facades address the street(s) particularly at the lower levels next to the residential neighborhoods. One Commissioner noted, the character of facades and relationship to the street level is more important than scale, setback, or height of the new building.
- Commissioners requested improved symmetry in the proposed design.
- Commissioners agreed the new building must have a greater relationship, response, and respect to the 1909 building. It was noted the proposed design has no relation to 1909 building at all and appears "unfriendly" and "cold".
- Commissioners agreed it is important the new building not extend to the property line more than the 1909 building – providing deference to 1909 building.
- Commissioners supported the proposed Superblock response including through-block connection pulling people through the site.
- One Commissioner had concerns that the proposed plaza/landscape design was too "fussy". They commented further that the design appeared to be a plan-driven design with little to no verticality, stating, "The major cross-campus connection needs a vertical emphasis".
- Commissioners suggested efforts be made in the new plaza design to reference key features being removed (i.e., flag pole, steps, footprint of statue, etc.) as a way to provide a subtle memory of what used to be. For example, the footprint of the statue could be the area in the new design that is known as the "speaker's corner", etc. Commissioners built on this idea further, suggesting features from the interior (i.e., from the 1928 building) be integrated into the proposed new exterior plaza design to help tell the story of the place.
- Regarding parking, Commissioners commented that the site plan and access make sense.

- One Commissioner commented that the parking on the south portion of the site should be constrained, thoughtfully oriented, and screened so headlights are not shining into adjacent residences.
- One Commissioner suggested the applicant attempt to integrate the parking into the proposed grandstands to maximize use of the site area, conceal parking, and help alleviate parking and vehicle issues in the surrounding neighborhood.
- Commissioners supported the proposed red brick but requested an additional white accent, such as terra cotta, to break up the brick and provide additional “sparkle” to the brick and the building. Commissioners commented that the addition of a white accent would provide greater continuity with the 1909 building and other contributing buildings in the Piedmont Conservation District.
- Commissioners commented that the materials proposed should translate excitement for learning, adventure of learning, and a sense of discovery.
- One Commissioner stated they would like to know what will happen with the pieces of the 1928 building if the building needs to come down.

PUBLIC REALM

- 1. Access and Main Entrance:**
- 2. Ground Level Frontages:**
- 3. Outdoor Areas/Landscaping**

- Commissioners agreed that, if possible, one of the existing entrances on the east or west elevation of the 1909 building should be retained (but only if it is truly secondary).
- Commissioners agreed the current proposal’s ground floor on the east and west elevations contains too much blank façade (brick) and should provide increased glazing for a successful pedestrian environment.
- One Commissioner commented, “When you can save and reuse parts of a building, and it’s not forced, it can be good – otherwise it’s not.” Also adding, “It’s wonderful when you can have those encounters with the ghosts of the past.”

MODIFICATIONS

- Commissioners did not object to the proposed Modifications.

Exhibit List

- A. Applicant’s Submittals
 1. Initial DAR #2 Submittal: November 28, 2023
 2. Revised Drawings: May 02, 2023
 3. Revised Drawings: May 08, 2023
- B. Zoning Map
- C. Drawings
 1. Site Plan
 2. Landscape Plan
 3. East Elevation

- 4. South Elevation
- 5. West Elevation
- 6. Floor Plans
- D. Notification: Landmarks Commission website agenda
- E. Service Bureau Comments: None provided
- F. Public Testimony: None provided
- G. Other
 - 1. Historic Landmark Commission Memo and Attachments: May 15, 2023
- H. Hearing May 22, 2023
 - 1. Staff PPT Presentation



City of Portland Historic Landmarks Commission

Design Advice Request

SUMMARY MEMO

Date: December 07, 2022

To: BORA ARCHITECTS, Becca Cavell

From: Arthur Graves, Development Review
503.865.6517

Re: EA 22-184037 DA – Jefferson High School Development
Design Advice Request Commission Summary Memo – November 14, 2022

Thank you for taking advantage of the opportunity to hold a Design Advice Request regarding your project. I hope you find it informative and valuable as you continue with your project development. Following, is a summary of the comments provided by the Historic Landmarks Commission at the November 14, 2022, Design Advice Request. This summary was generated from notes taken at the public meeting and a subsequent review of the public meeting recordings. To review those recordings, please visit: [\(Efiles - EA 22-184037 DA – Redevelopment of Jefferson High School buildings and site. \(22/EF/13309\) \(portlandoregon.gov\)\)](https://efiles.portlandoregon.gov/efiles/EA%2022-184037%20DA%20-%20Redevelopment%20of%20Jefferson%20High%20School%20buildings%20and%20site.%20(22/EF/13309))

These Historic Landmarks Commission comments are intended to guide you in further design exploration of your project. These comments may also inform City staff when giving guidance over the course of future related land use reviews. It should be understood that these comments address the project as presented on November 14, 2022. As the project design evolves, the comments, too, may evolve or may no longer be pertinent.

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Please continue to coordinate with me as you prepare your Type II Land Use Review Application.

Encl:
Summary Memo

Cc: Historic Landmarks Commission
Respondents

Executive Summary.

- The Historic Landmarks Commission (HLC) noted appreciation for the robust community engagement and encouraged that feedback to lead some design responses.
- The HLC suggested keeping as much historic material as possible. They suggested doing some investigative work to see if some historic elements were covered up rather than removed so that these might be revealed again.
- The HLC encouraged retention of the 1909 building and 1928 addition, if possible, and encouraged an appropriate level of design and massing with regard to new construction responding to the surrounding neighborhood.
- The HLC encouraged creating spaces for community gathering and a connection across the site, in line with the Superblock requirements, and to make the site more accessible to the surrounding community.
- The Commission requested a tour of the site and buildings to better understand the project.

Commissioners Present. Kristen Minor (Chair), Andrew Smith, Matthew Roman, Kimberly Moreland (arrived at 2:25pm), Peggy Moretti.

Recused: Maya Foty (Vice Chair).

Summary of Comments. Following is a general summary of Commission comments by design tenet.

CONTEXT and QUALITY & PERMANENCE

- 1. Architectural Integrity and the current condition of the 1909 building,**
- 2. Relationship to the Neighborhood**

- The HLC requested additional information on each of the historic building additions in order to make a more informed decision of which portions of the contributing building are most significant and which could be replaced without negatively impacting the historic qualities of the site.
- Because of the degree of historic and architectural alteration the buildings have gone through over the years the HLC requested the team further clarify what aspects of the existing Jefferson High School buildings the community valued.
- Commissioners agreed a full restoration of the historic building to be maintained is not required. However, Commissioners agreed partial restorations and improvements to historic elements may be necessary, of the east and west entrances for example.
- The HLC supported maintaining as much of the 1909 building and 1928 addition as possible and encouraged a strategy to restore the building if possible. Commission supported new buildings south of the 1909 building and 1928 addition.
- The Commission had concerns with the “austere” nature of the school buildings regarding the smaller residential homes surrounding much of the site. The HLC supported stepping the building down at the edges of the site. The Commission also supported providing landscaping at the edges, between the building and the sidewalk, as a way to buffer and transition from the larger architectural scale of the school to the smaller scale of the adjacent neighborhood.

- The Commission supported the massing and volume study proposing an edge along Commercial Street. However, Commission agreed additional study regarding historic setbacks was needed for a coherent design.
- The HLC agreed the form and mass of the 1909 building should be studied further and integrated into proposed new buildings and/or building additions for an overall consistent and coherent campus design.
- The HLC supported the development of the site in a way that honors the historic buildings to be maintained. The Commission agreed new buildings should not overwhelm the existing historic buildings being retained.
- The Commission requested the applicant further investigate the existing buildings, in particular the 1909 building and 1928 addition, for historic architectural details that may be covered over and which could be restored.
- The HLC supported a site plan and design that encourages the community to engage with the school and site.
- The Commission supported a “quad” in the area where existing buildings are proposed to be removed.
- The HLC agreed wayfinding, site access points, and building entrances should be clearly visible.

PUBLIC REALM

3. Front door, access, and pedestrian movement through the site,

- The HLC agreed ramps proposed to the 1909 building’s entrance should maintain, and not cover or obscure, the building’s classical base/plinth.
- Commissioners agreed the stairs at the north entrance should be maintained if possible, but was open to changes to ensure this area was accessible to all.
- The Commission requested additional study and outreach to the community to understand the hierarchy and preference of the east and west entrances.
- The HLC supported an accessible main entrance at the north elevation.
- The Commission supported access points to the site at N Emerson Street and at N Sumner Street: to the north and to the south of the 1909 building.
- The HLC had concerns with the site’s response to Superblock requirements regarding access through the site both during and after the school day for students and non-students.
- The Commission supported the development of strong clear areas for students and pedestrians to gather on and move through the site.

Exhibit List

- A. Applicant's Submittals
 - 1. Initial Submittal: September 21, 2022
 - 2. Revised Drawings: October 24, 2022
 - 3. Revised Drawings: October 31, 2022
 - 4. Revised Drawings: November 04, 2022
- B. Zoning Map
- C. Drawing
 - 1. Site axonometric
- D. Notification
 - 1. Posting notice as sent to applicant: For November 14, 2022, meeting date
 - 2. Applicant's statement certifying posting: For November 14, 2022, meeting date
- E. Service Bureau Comments:
 - 1. PBOT: September 14, 2022
- F. Public Testimony: None provided
- G. Other
 - 1. Application form: September 21, 2022
 - 2. Historic Landmark Commission Memo and Attachments: November 07, 2022
 - 3. Sanborn maps
- H. Hearing November 14, 2022
 - 1. Staff PPT Presentation
 - 2. Applicant PPT Presentation



City of Portland, Oregon - Bureau of Development Services

1900 SW Fourth Avenue • Portland, Oregon 97201 | 503-823-7300 | www.portland.gov/bds



Early Assistance Application

FOR INTAKE, STAFF USE ONLY

Date Rec _____ by _____

LU Reviews Expected _____

Related cases

Y N Unincorporated MC

Y N Potential Landslide Hazard Area (LD & PD only)

Y N 100-year Flood Plain

Y N DOGAMI (high)

File Number: _____

Appt Date/Time: _____

Qtr Sec Map(s) _____ Zoning _____

Plan District _____

Historic and/or Design District _____

Neighborhood _____

District Coalition _____

Business Assoc _____

Neighborhood within 400/1000 ft _____

APPLICANT: Complete all sections below. Email this application and supporting documents described below to: LandUseIntake@portlandoregon.gov. Once the application is received, staff will contact you regarding payment and scheduling a date and time for your meeting.

Site Address _____ Site Size/Area _____

Property ID(s) R _____ R _____ R _____ R _____

Short Project Description: do not leave blank or direct to "see attached". Attach additional sheets for a more detailed description, if needed.

Design & Historic Review (New development: give project valuation. Renovation: give exterior alteration value) \$ _____

Select an Early Assistance Type and check boxes for desired meeting/written notes options:

Early Assistance Type	City Reviewers	On-line MS Teams meeting & written notes provided	No meeting, written notes provided
<input type="checkbox"/> Pre-application Conference Only required for Type III and IV land use reviews	BDS Land Use Services, Transportation, Environmental Services, Water, Parks, others as needed	<input type="checkbox"/>	
<input type="checkbox"/> Design Advice Request Public Zoom meeting with Design Commission or Historic Landmarks Commission	BDS Land Use Services and Design Commission or Historic Landmarks Commission		
<input type="checkbox"/> Zoning and Infrastructure Bureaus (including initial bureau responses for street vacations)	BDS Land Use Services, Transportation, Environmental Services, Water, Parks	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Zoning Only	BDS Land Use Services	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Pre-Permit Zoning Plan Check <input type="checkbox"/> 1-2 housing units <input type="checkbox"/> all other development	BDS Land Use Services		<input type="checkbox"/>
<input type="checkbox"/> Public Works Inquiry for 1-2 housing units Only for 1-2 unit projects that do not require a land use review, land division or property line adjustment	Transportation, Environmental Services, Water		<input type="checkbox"/>

Applicant Information

Include a separate sheet for additional names if needed.

PRIMARY CONTACT, check all that apply ☐ Applicant ☐ Owner ☐ Other _____

Invite to MS Teams Meeting?: ☐ Yes ☐ No

Name _____ Company _____

Mailing Address _____

City _____ State _____ Zip Code _____

Day Phone _____ email _____

Check all that apply ☐ Applicant ☐ Owner ☐ Other _____

Invite to MS Teams Meeting?: ☐ Yes ☐ No

Name _____ Company _____

Mailing Address _____

City _____ State _____ Zip Code _____

Day Phone _____ email _____

Check all that apply ☐ Applicant ☐ Owner ☐ Other _____

Invite to MS Teams Meeting?: ☐ Yes ☐ No

Name _____ Company _____

Mailing Address _____

City _____ State _____ Zip Code _____

Day Phone _____ email _____

Please submit the following materials to LandUseIntake@portlandoregon.gov:

- ☐ Written project description, including proposed stormwater disposal system and additional property IDs if not included above.
- ☐ List of questions to be discussed.
- ☐ Site plans drawn to a measurable scale, with scale and scale bar identified and building elevations drawn to a measurable scale (if appropriate), with scale and scale bar identified.
- ☐ If the site is in a design overlay and you're planning to meet design standards, completed scorecards are required. Scorecards are available at <https://www.portland.gov/bds/land-use-review-fees-and-types/design-standards>.

Note:

1. See the Land Use Services fee schedule for detailed fee information: www.portland.gov/bds/current-fee-schedules.
2. Public notice (email and internet posting) is provided for Pre-application conferences and Design Advice Requests.
3. Only material submitted with the original application will be addressed by City staff; we are unable to address any additional material that is submitted after the application is received.
4. For some proposals, such as those using the Community Design Standards, you will receive more detailed information if you provide full-sized plans.
5. Estimates for System Development Charges (SDCs) are not provided at Early Assistance Meetings. Refer to SDC information on the BDS website.
6. Plans examiners do not participate in Early Assistance meetings and they do not provide written comments. For life/safety and building code questions, consult with a plans examiner by scheduling a 15-minute appointment or a Life Safety Preliminary Meeting (www.portland.gov/bds/documents/life-safety-preliminary-meeting-request-packet).

Jefferson High School Modernization

Additional Information for Second Design Advice Request (DAR) with the Historic Landmarks Commission

Previous Early Assistance Meetings

- An Early Assistance Meeting was held on September 21, 2022 (EA 22-175771)
- A DAR with the Historic Landmarks Commission was held on November 14, 2022 (EA 22-184037)

Background

Jefferson High School, located in the North Portland Albina neighborhood, is a densely developed site that has long served as one of the anchors of the Black community in Portland. The 13.47 acre site includes the original 1909 structure, later alterations and additions, track, fields, and parking.

Jefferson High School is known for its focus on health sciences and biotechnology education, as well as its strong Performing and Visual Arts Program, including the internationally renowned Jefferson Dancers.

Site Description and Historic Resource Status

Zoning is IR with a Main Street overlay at the north. The High School modernization project will require a Conditional Use. The site is part of the Piedmont Conservation District, ranked HRI Rank II, and is a contributing resource in the Piedmont Conservation District. Its historic significance is noted as “association, setting and location, but not design, materials or workmanship.”

Project Description

The Jefferson HS Modernization will be designed for an average student capacity of 1,700 students. As a focus school additional space will be necessary to support dance and theater programs, as well as expanded community. Total anticipated gross square footage for the new facility will be around 330,000 GSF.

Design Justice and Community Engagement

The Design Team’s work has been centered around Design Justice. We recognize that the most marginalized people are often those who are also most negatively impacted by any proposed development and who often have the fewest opportunities to participate in the design process. To mitigate this inequity, Colloqate [the team’s Community Engagement partner] is working with seven Community Design Organizers who, in turn, are working within their affinity groups and communities to expand and deepen the conversation about the modernization of the High School.

To date, the engagement and organizing efforts have been most focused on reaching Black/African American stakeholders, followed by Latine stakeholders. This is informed by the fact that JHS’s cultural significance is most central to Black/African American community members, and a conviction that by centering the needs and experiences of this community, we will by necessity encounter and address the systemic injustices that are experienced by all communities of color and culture.

The schedule is fast-paced and full engagement with impacted communities will require sustained effort, building relationships and communications channels across language and trust barriers. We will continue to engage, report, and refine the feedback we are receiving.

At the end of the current Planning phase, an “Engagement Implications” report will be issued in early draft form. This report will be updated as the project design progresses into 2023

We do not assume that “consensus” exists within any specific community of color or culture. On the fundamental question of Replacement versus Modernization, our current findings include the following:

- A majority of respondents support retaining the 1909 building.
- A small number of respondents also support retaining the 1928 building and appear to do so out of a love for the broadcasting classes it once accommodated with secondary motivations being out of appreciation for the building itself.
- There is a significantly less prevalent narrative among BIPOC stakeholders that JHS stands as a monument to white supremacy, and that everything should be replaced.
- Most of the stakeholders we engaged who support full replacement do so out of distrust that a renovation would bring existing buildings up to appropriate standards for today’s students.
- There is deep concern among Black community members, current students, and Jeff alumni that if all buildings including the 1909 structure are demolished to build a replacement this will sever the community’s cultural connection to the school amidst ongoing displacement from the historic Albina area.
- We are not hearing any community opposition at this point to either the through-block connection, or the height to which we are proposing to build the project, or its setbacks. Indeed, there is some support for taller buildings than the code allows. The community has acknowledged that a mid-block main entry is problematic from an accessibility standpoint, and also because of its location behind locked site gates. There is support (not universal) for a new entry on Commercial

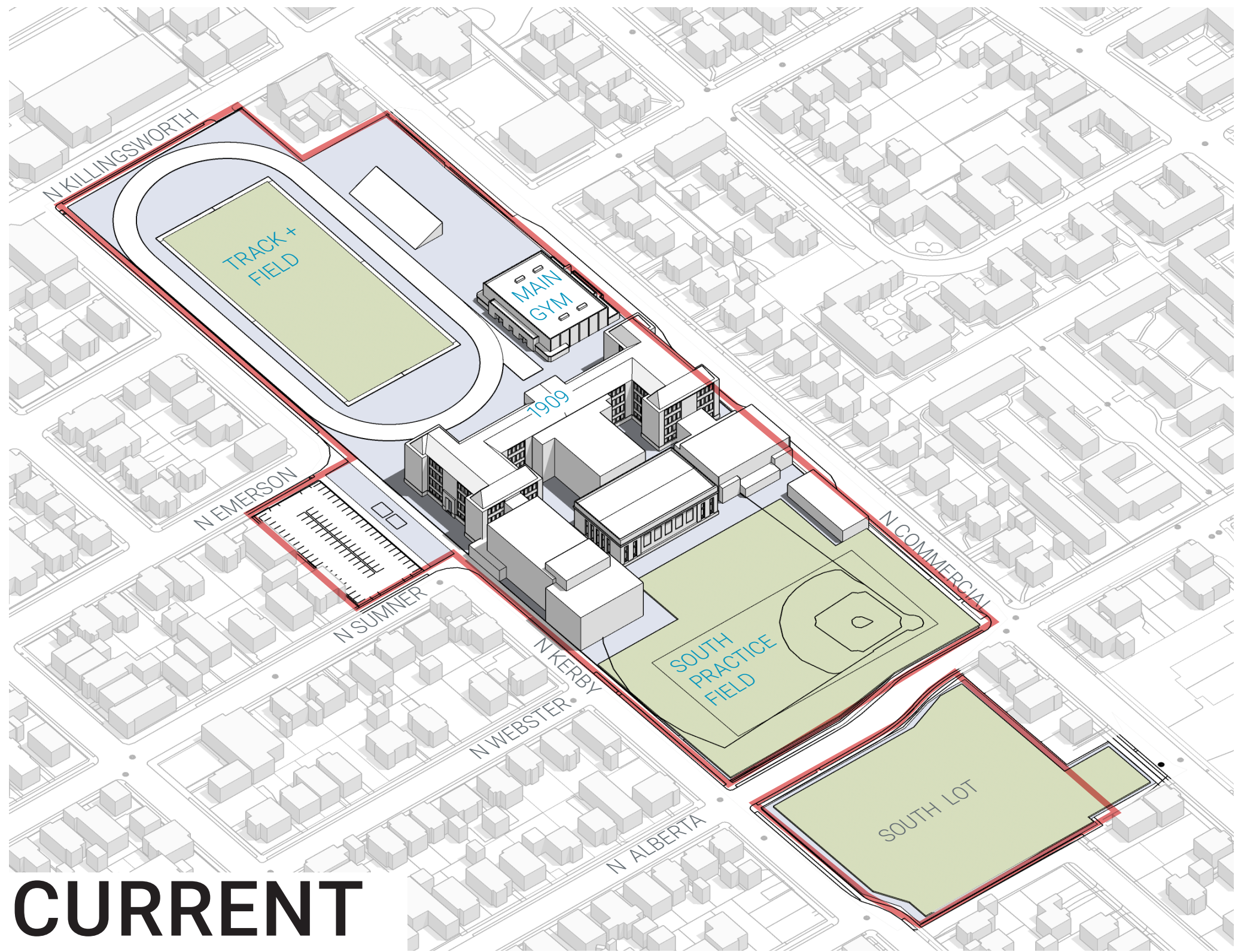
Discussion items:

The two key issues that we want to focus on for this DAR are as follows:

1. Update on the overall site plan and the new design elements South of the existing 1909 building.
2. Strategy related to the 1928 gymnasium building, focused on reasons for the proposed removal of this building and plans to honor and reincorporate portions of its interior into the new design.

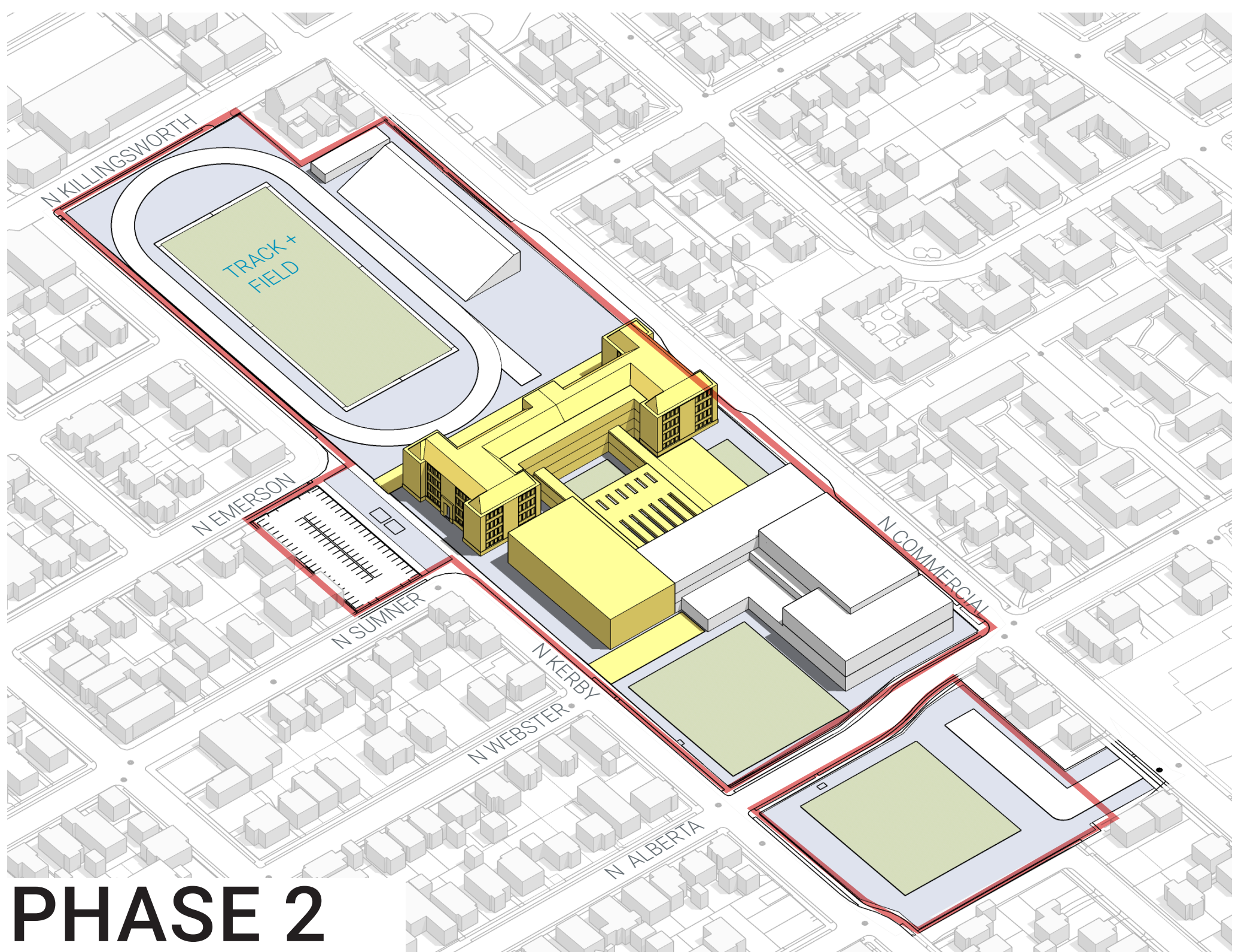
OVERVIEW OF PROJECT PHASING

RETAIN 1909 + EXPANSION



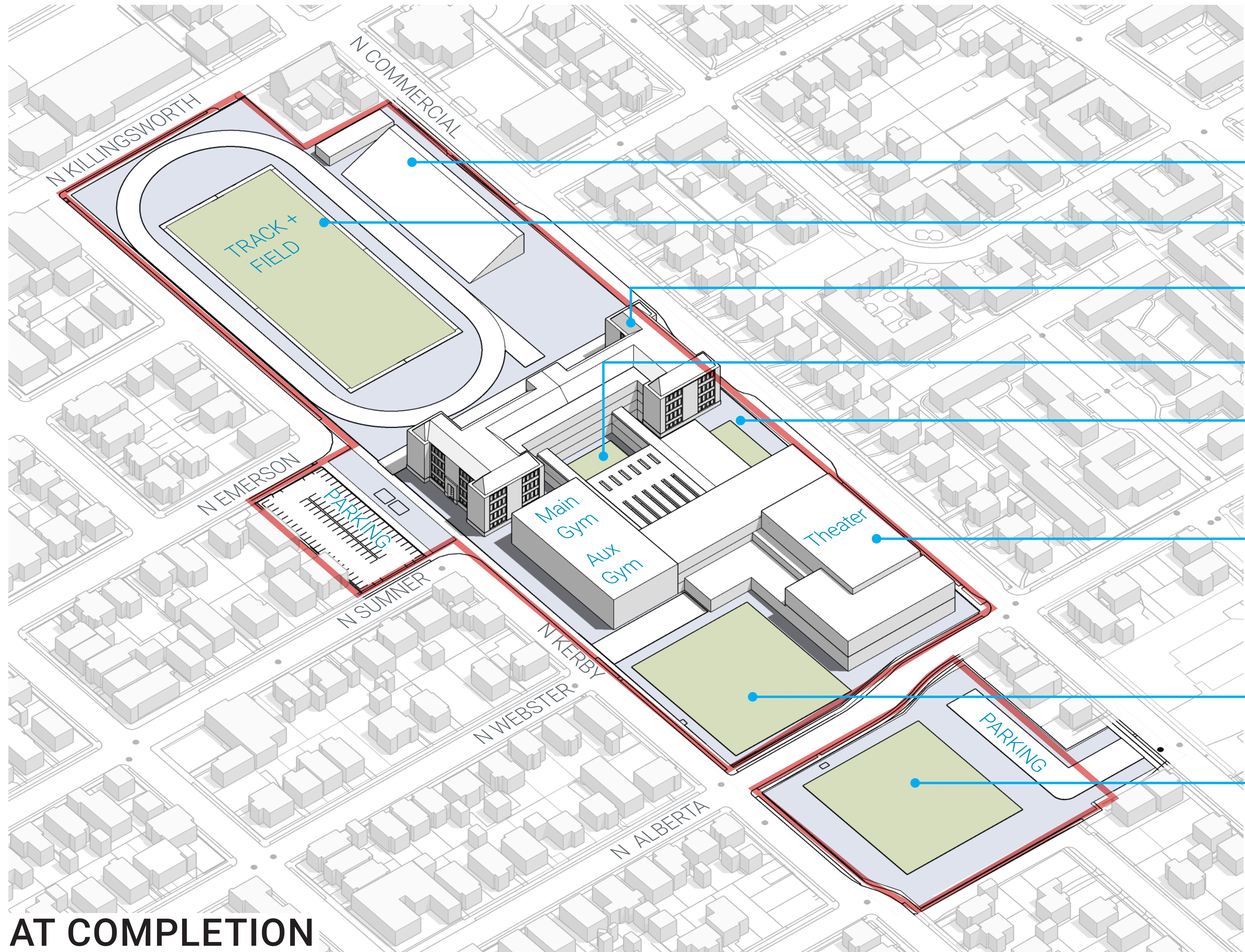
CURRENT

Existing buildings stay operational
Track + Field stays operational
Temporary practice move to South Lot



PHASE 1

Build new theater, performing arts spaces with 24 classrooms, server, and admin
Move into new wing by Fall 2026
New grandstand/field house and updates to track + field.



AT COMPLETION

- Fully renovate 1909 main building
- Update existing Track and Field with new grandstands
- Students stay in existing spaces during construction

DISRUPTIONS

Minimal to Athletics

- Maintain use of Track + Field
- Use existing gyms until new gyms are completed

Minimal to Academics

- Students stay in existing buildings during Phase 1
- Classes move into new wing at end of Phase 1

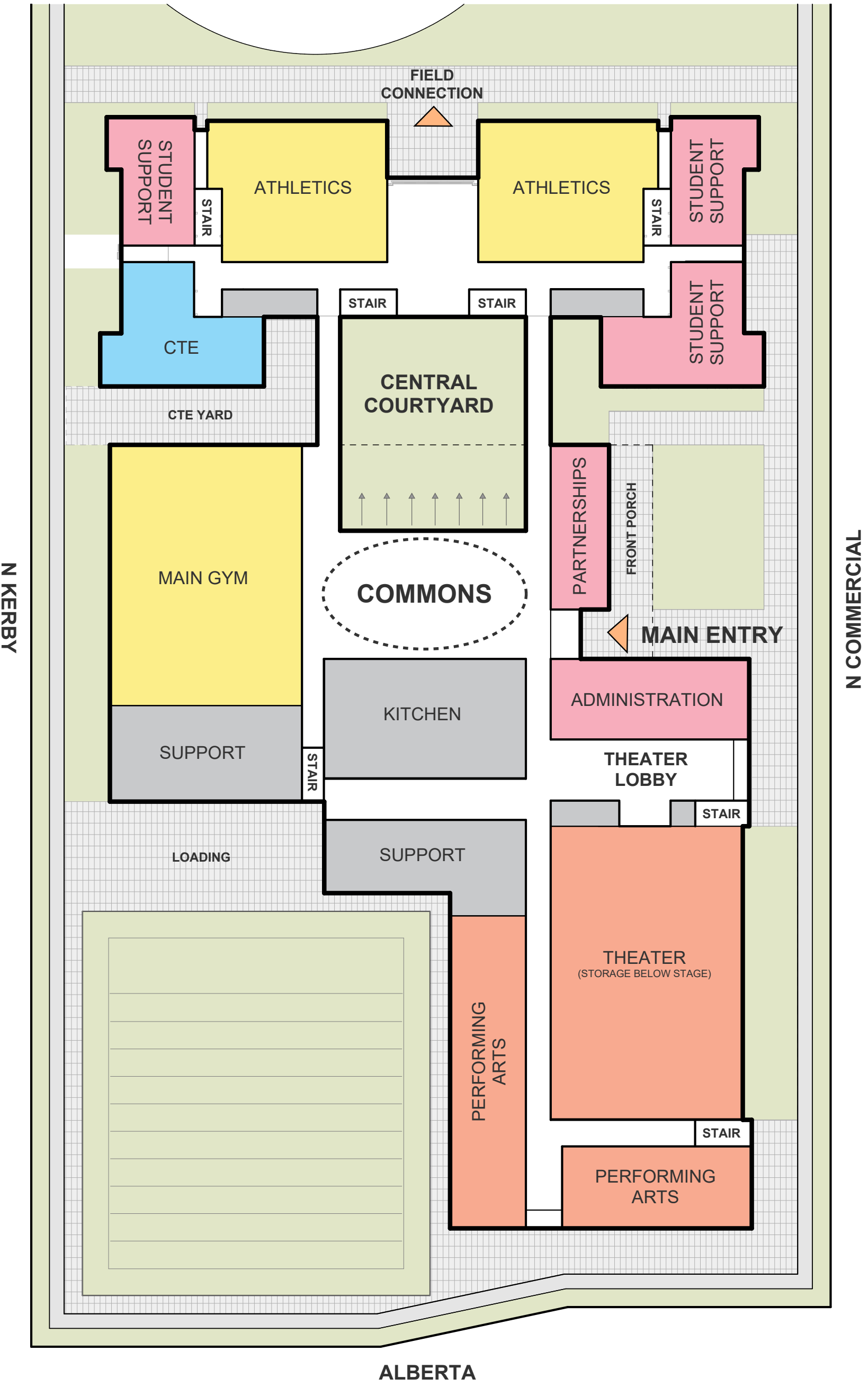
Minimal to Performing Arts

- Existing theater stays operational until new theater is completed at the end of Phase 1
- Dance stays in existing studios until new dance studios are completed at the end of Phase 1

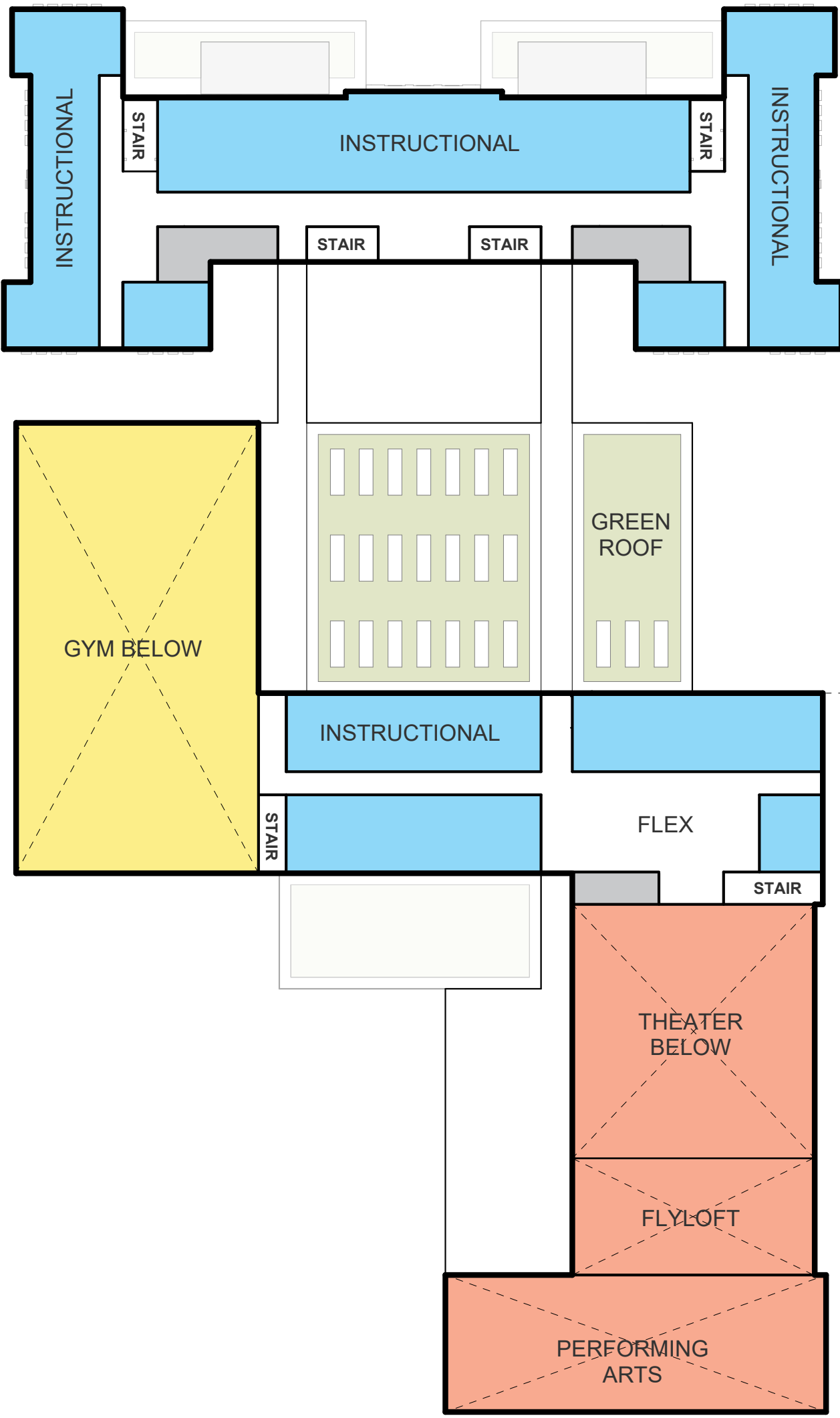
OVERVIEW OF DESIGN APPROACH

RETAIN 1909 + EXPANSION

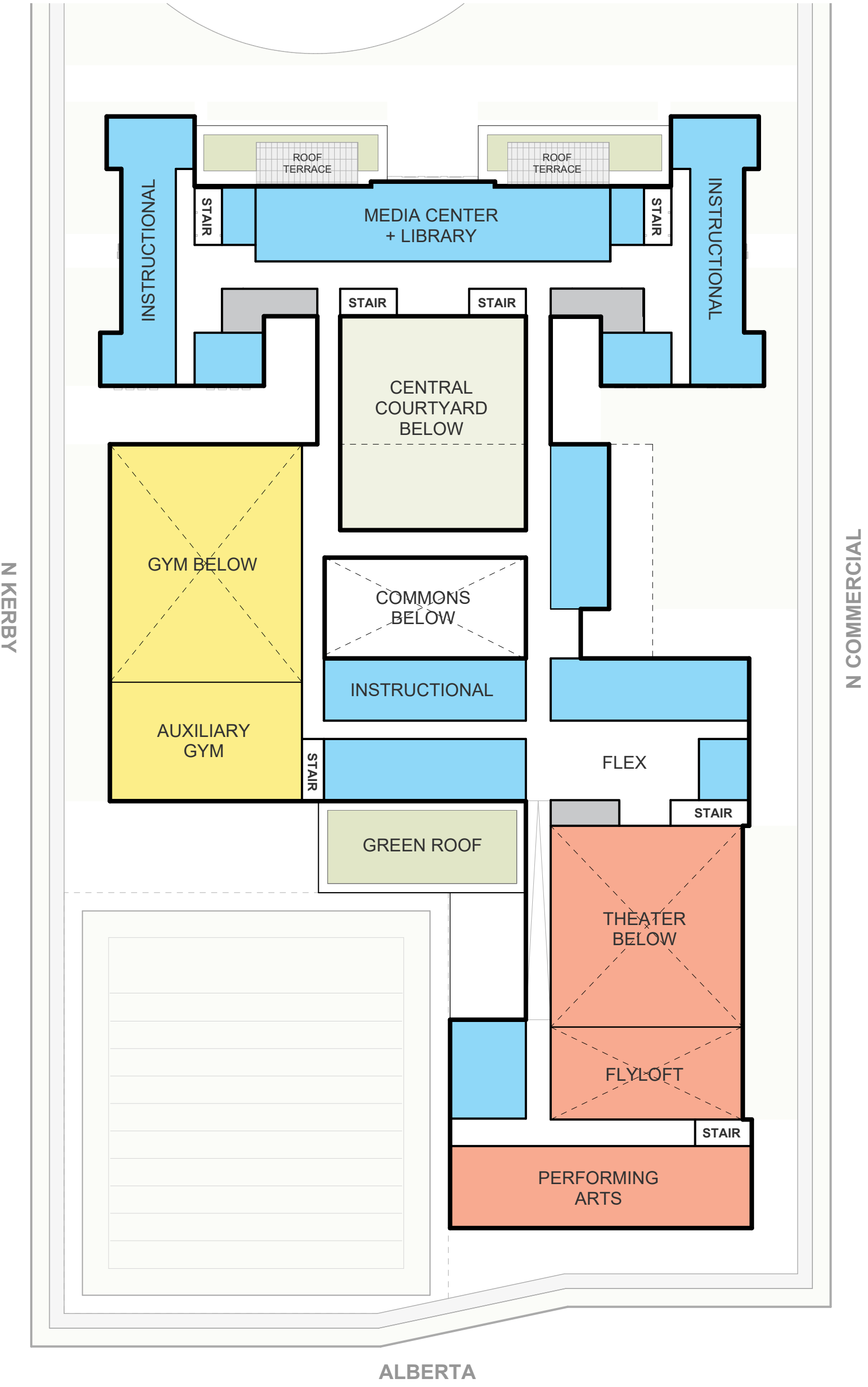
A FLOOR



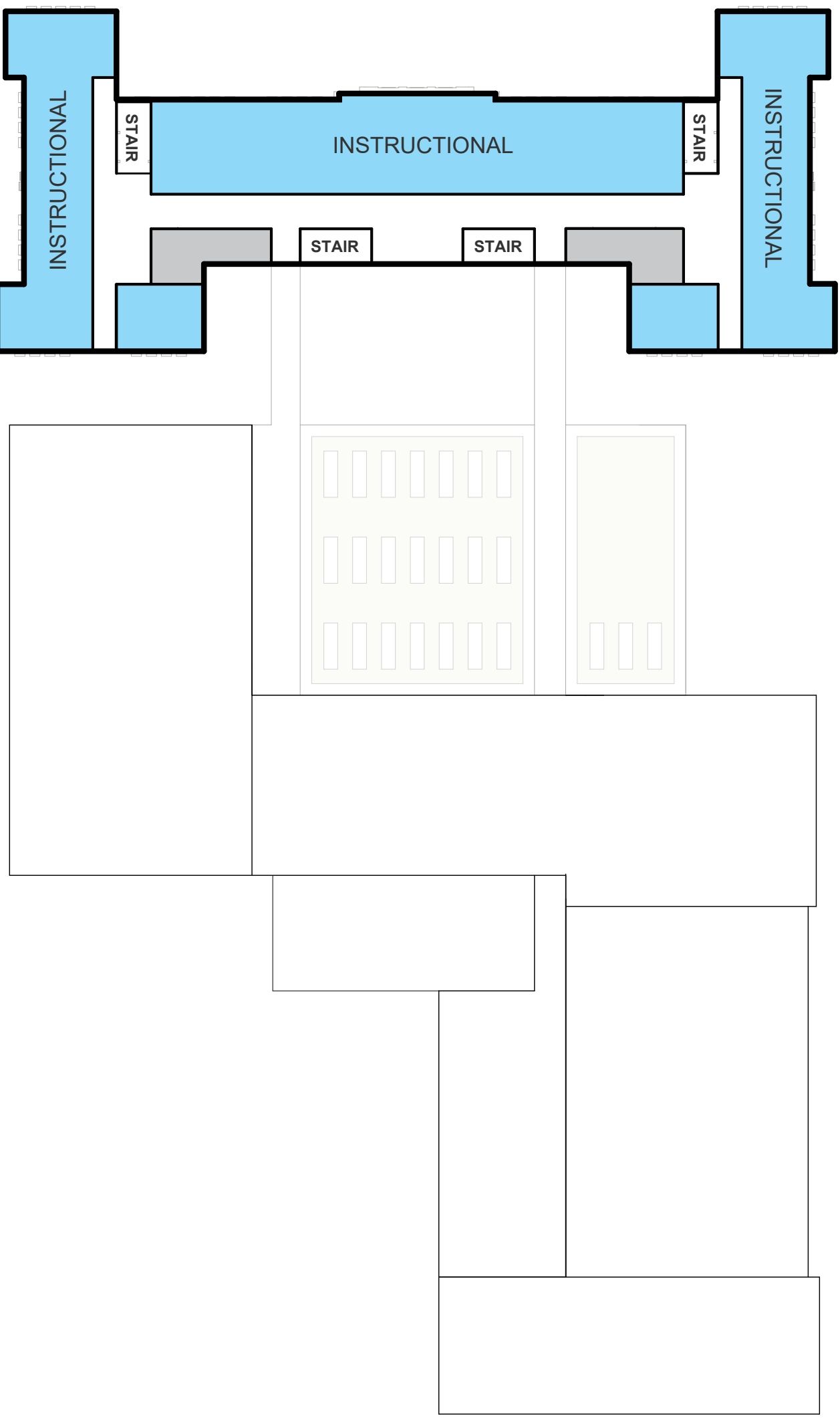
C FLOOR



B FLOOR



D FLOOR



OVERVIEW OF PROGRAM ORGANIZATION BY FLOOR

COLOR CODE:

- Performing Arts and Dance related spaces
- Athletics related spaces
- Administration and Partners related program and spaces
- Instructional related spaces

Design Approach Overview

Full Renovation of 1909

The H shape of the 1909 building provides good daylighting orientation and is well suited for instructional use.

The renovation will be complete in all aspects, starting with the safe removal of all hazardous materials that meets all environmental building code requirements. The structure will be reinforced to meet current seismic requirements for a new school project. All building systems will be replaced - including all mechanical, plumbing, electrical and fire suppression systems.

Key themes: Trust, Identity/Culture/Belonging, Safety/Security

Celebrate the main historic entry of the 1909 building

by altering the site grading to create an fully accessible entry at the level of the existing Track & Field. This will also create opportunities to showcase and celebrate Jeff's alumni and athletic achievements .

Key themes: Identity/Culture/Belonging, Delight

An **entry plaza** signifies the main entry of the school along the street on Commercial. A **'community porch'** provide covered space with open outdoor space for the school as well as for community use, with access to partnership spaces. The main entry is adjacent to admin program to provide safe secured entry into the school.

Key themes: Identity/Culture/Belonging, Safety/Security, Access, Resources

Central courtyard provides outdoor amenity at the heart of the proposed design, as a connector between the 1909 building and the new additions to the south. The connecting hallways are prime location for storytelling, art and display. Covered outdoor area provide opportunities for year round use.

Key themes: Outdoors, Flexibility/Change, Delight

The **Commons** is centralized acting as a social anchor and ease wayfinding for students. As double height space, it helps to maximize daylight in the building and reinforces the Commons as the social heart of the school. It is also located adjacent to the Main Gym and Theater, providing a large reception space for events.

Key themes: Identity/Culture/Belonging, Access, Flexibility/Change

The **theater and performing arts** are along the street to provide opportunities for community use. A separate theater lobby and entry provide options during events while keeping the rest of the school closed. The lobby is another opportunity to showcase Jeff's achievements in performing arts.

Key themes: Resources, Delight

Media Center/Library, located at the center of the 1909 building, provide opportunities to feature and honor the history along historic *Center Hall*. Possible north terraces provide universally accessible opportunities to views north to Killingsworth and the T&F.

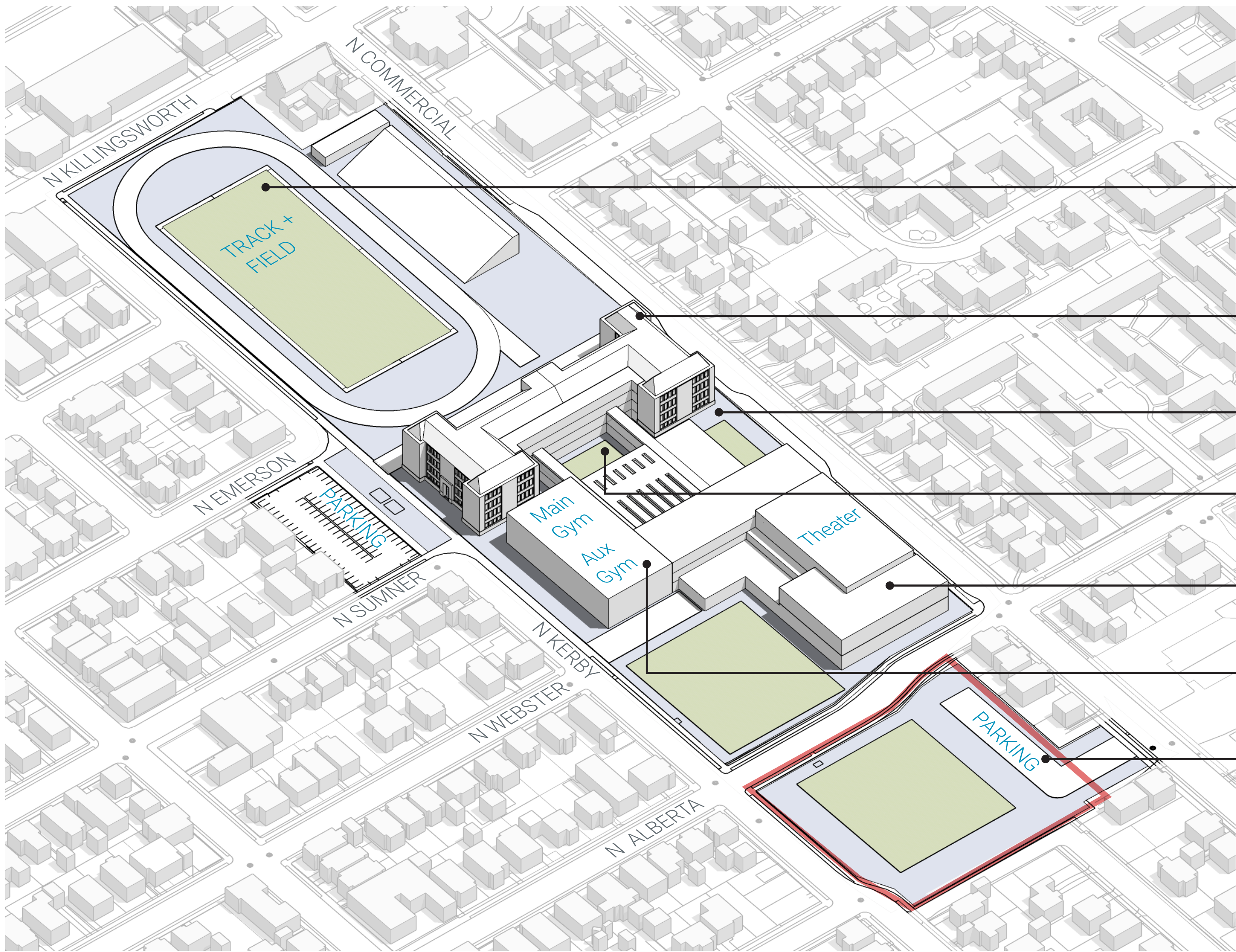
Key themes: Identity/Culture/Belonging, Resources, Delight

Sustainable building features, such as green roof and photo-voltaics visible on the roof, will be incorporated into the renovation and expansion of JHS. We also plan to incorporate a **Climate Dashboard** in the lobby to create educational opportunities for both visible and invisible key sustainability features in the building design, as well on the overall site.

Key themes: Trust, Flexibility/Change, Resources

COMMUNITY ENGAGEMENT NARRATIVE THEMES

RETAIN 1909 + EXPANSION



- Engagement feedback incorporated into overall planning approach:
- Keeping and improving the beloved blue Track & Field also minimizes disruptions to students and families during construction.
 - Renovating 1909 provides historical continuity and irreplaceable value as a cultural and community hub
 - Entry plaza with porch and partnership spaces offer amenities for communities and neighbors
 - Central courtyard provide access to outdoors and covered gathering opportunities
 - State-of- the- Art performing arts wing and theater is prominent with street presence
 - New state-of-the-Art athletic facilities
 - Additional parking reflect staff and student feedback



TRUST

Black & Brown voices support full renovation of 1909 with expansion over full replacement scenarios.

PPS Ed Specs and design guidelines ensures spatial parity between high school projects.

Community values maintaining and improving the blue track and field that the alumni, staff and students invested in recently.

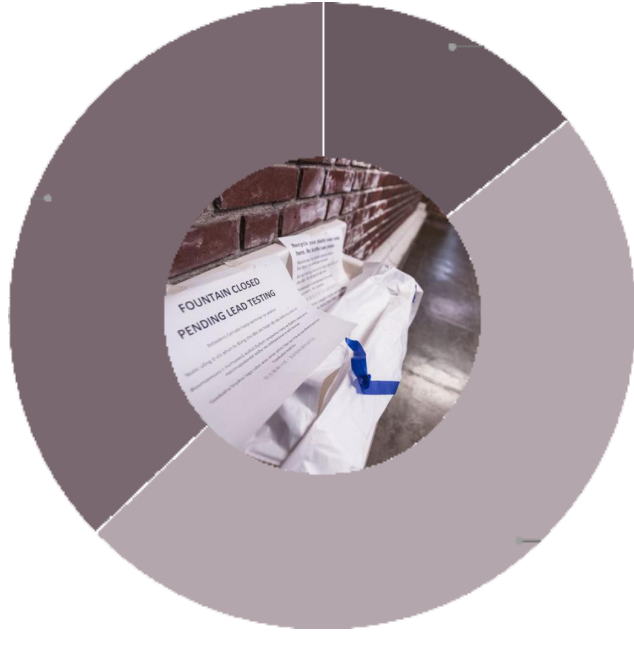


IDENTITY, CULTURE, BELONGING

Preserving the 1909 building and re-purposing 1928 artifacts into the new school will help future students connect and learn about the school's history.

Multiple storytelling opportunities are identified to recognize local and school history to reflect JHS as a significant anchor for Black and Brown communities in Portland.

Commons, community porch, entry plaza, and partners spaces offer places for broader community connection.

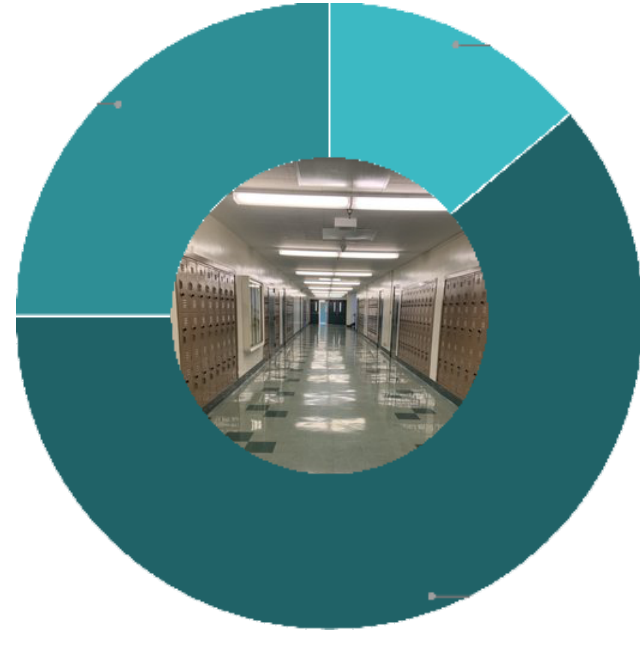


SAFETY

Replacing all building systems and safe removal of all hazardous materials in the existing school is proposed in the full renovation of 1909.

Clear secured main school entry provides visible and accessible access along Commercial Ave.

Site is fully secured during school day with perimeter fencing and gates.



ACCESS

Universal design approach provides fully accessible entrances and school.

New path across the site offers neighbors an accessible path from Kirby to Commercial on evenings and weekend

Building additions are designed as 2 and 3 stories, minimizing stairs and travel. Elevators provide access to all levels.



FLEXIBILITY, CHANGE

Sustainable design strategies provide for future flexibility and adaptability.

Organizing instructional space uses together allow for flexibility as school programming and needs change.

The Commons is centrally located to maximize use as social space for students during the school day, as well as school and community events.



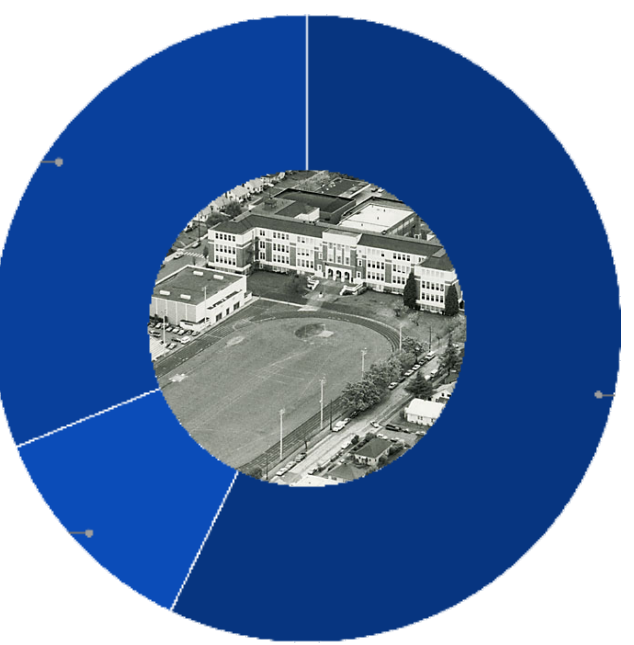
RESOURCES

Theater lobby and event entry maximize community use of the theater, dance and performing arts spaces.

Community and partnership programs are located with direct access in/out.

All gender restrooms are included in school planning.

All new athletic spaces - main & auxiliary gym, new grandstand, field house, weight room, locker rooms is conveniently located to existing Track & Field.



DELIGHT

Art, artifacts & storytelling opportunities are identified in multiple locations in the renovation of 1909 and in the new addition to celebrate past achievements and history.

There are opportunities to reuse/re-purpose existing student artwork in the new school, to be explored during the building design phases.

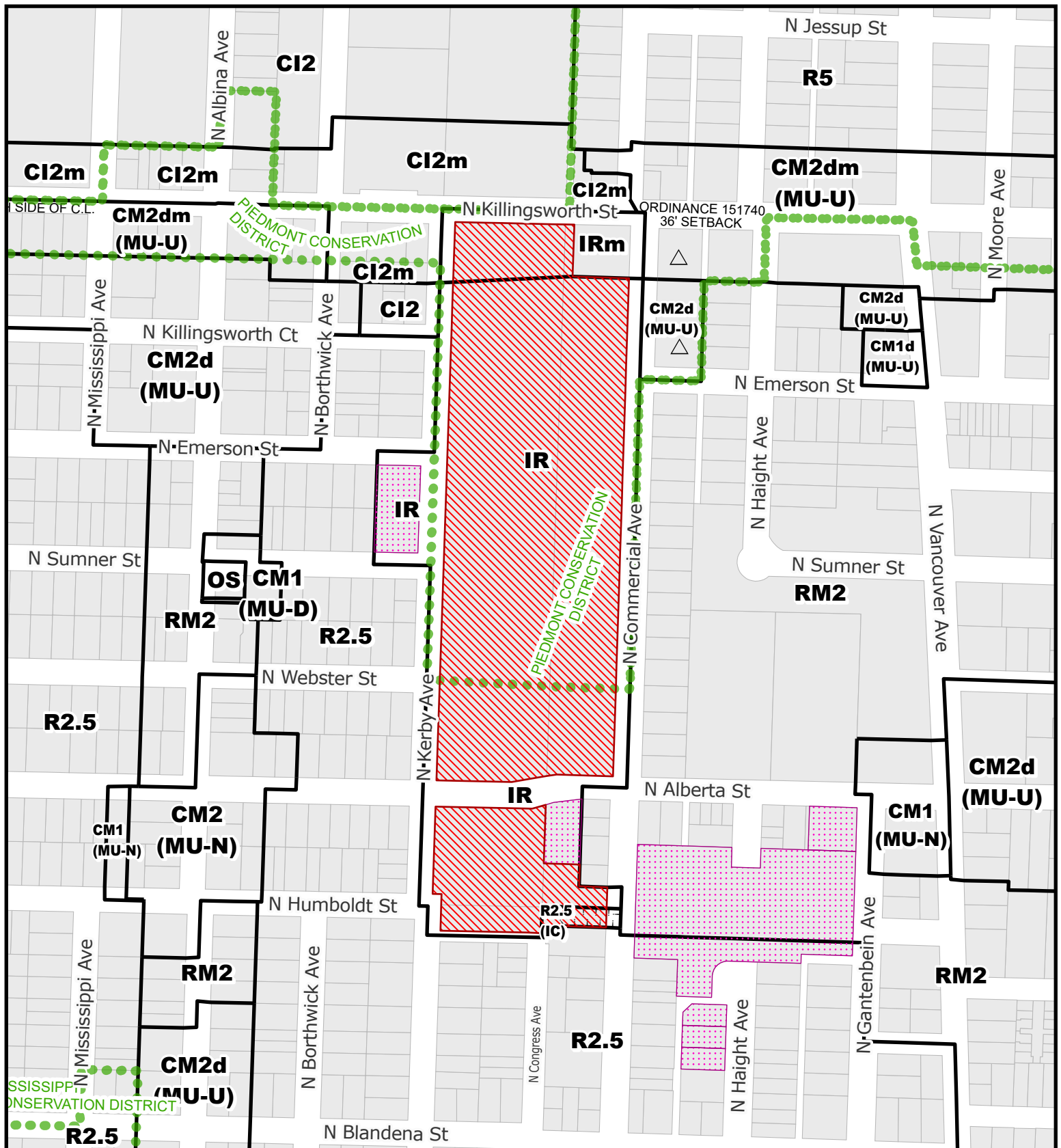


EMBRACING THE OUTDOORS

Courtyard with covered outdoor space provided much desired usable outdoor space at the center of the school.

Natural daylight is maximized with by locating instructional spaces along exterior wall.

South lot to become multi-use open space and possible location for edible garden area use.



For Zoning Code in Effect Post October 1, 2022

ZONING

THIS SITE LIES WITHIN THE:
PIEDMONT CONSERVATION DISTRICT

-  Site
-  Also Owned Parcels
-  Conservation District
-  Historic Landmark

File No.	EA 22 - 205977 DA
1/4 Section	2529,2530
Scale	1 inch = 300 feet
State ID	1N1E22BA 100
Exhibit	B Nov 29, 2022

Jefferson High School

Portland, OR

Design Advice Request #2 - DRAFT



BORA

LEVER

PLACE



Project Overview & DAR# 1 Summary

Proposed Historic Landmarks Timeline

DAR #1

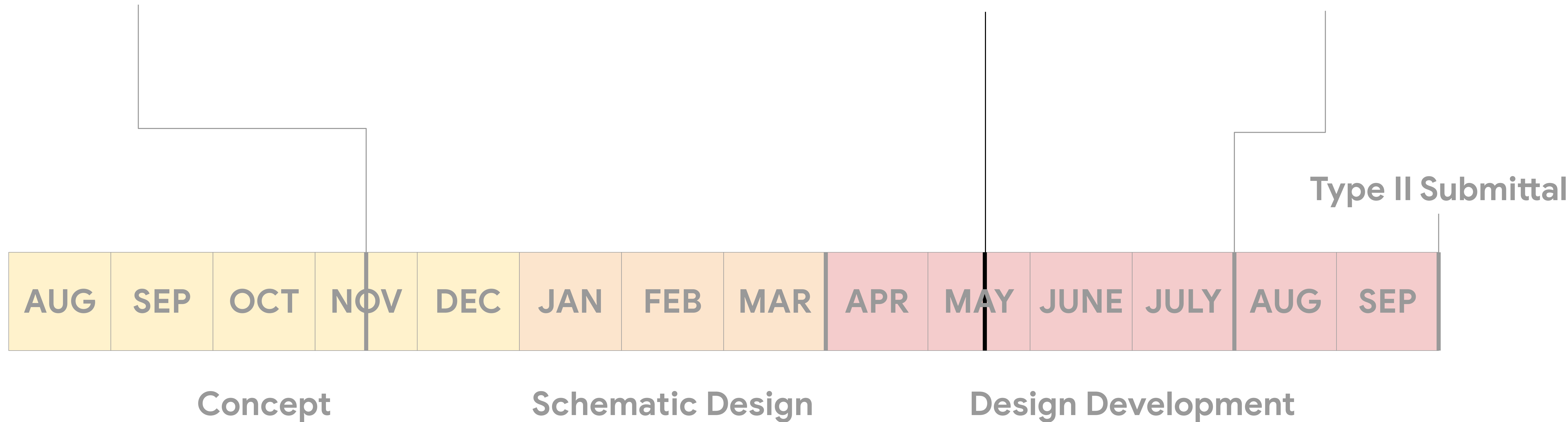
DAR #2

DAR #3

Project Introduction

Design Progress

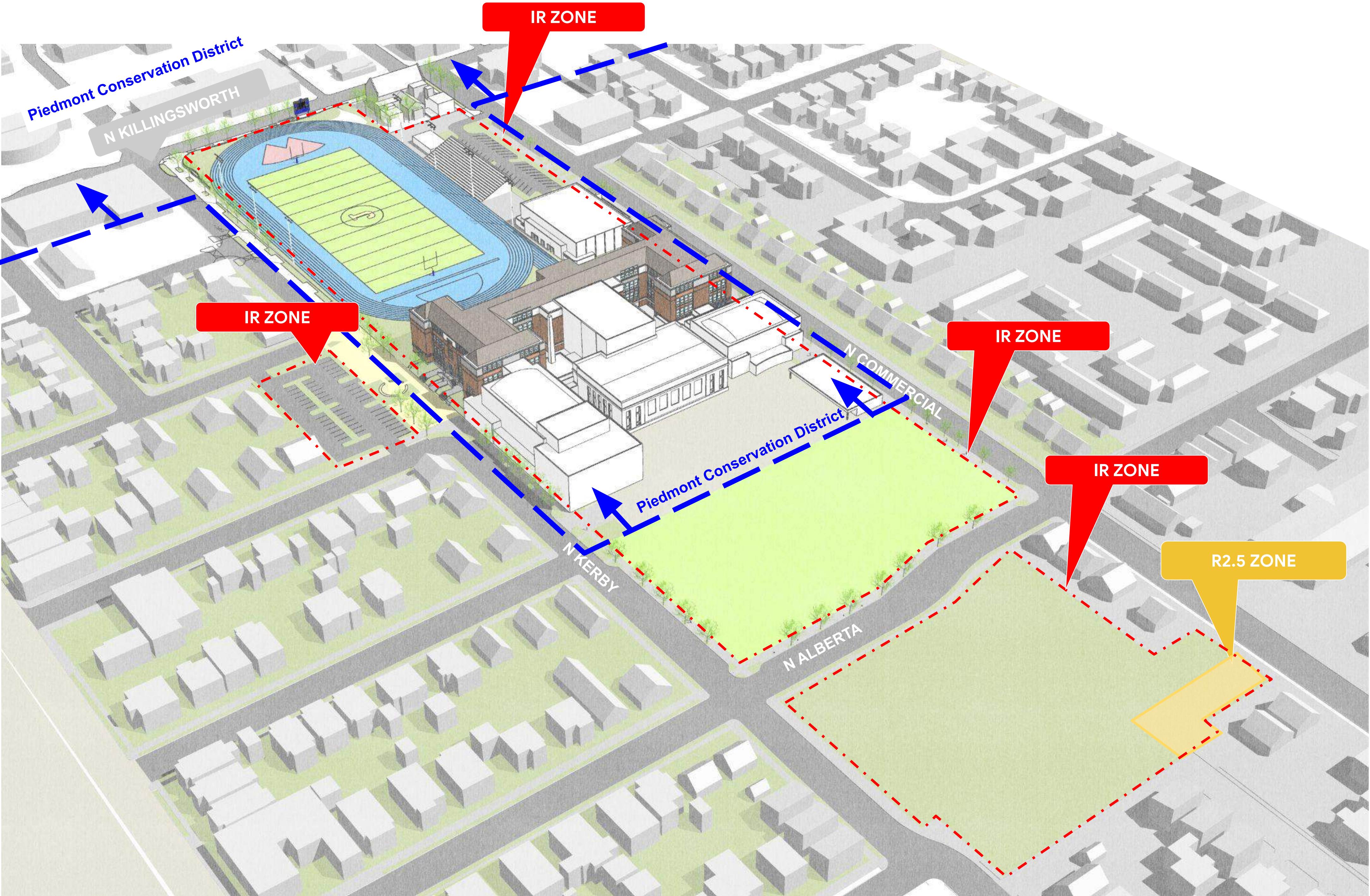
Final Design



Jefferson Site

Zoning Information

Zoning Designation:	<u>IR Zone</u> Institutional Residential <u>R2.5</u> at small area in SE of site
Overlays	Centers Main Street Overlay Zone Historic Resource Overlay Zone
District:	Piedmont Conservation District Contributing Resource
Neighborhood Plan:	Humboldt Neighborhood Plan
Site Area:	14.02 Acres, (610,711 sf)
Minimum FAR:	0.5:1
Maximum FAR:	2.1
Base Height:	75'
Min Landscaped Area:	20% of site area (122,142 sf)
Setbacks*	
	From all streets: Maximum of 10'
	From all streets: 1 ft setback for every 2 ft of building height
	*setback requirements conflict, modification will be needed



Jefferson High School Modernization

Site and Building Program

Jefferson High School Modernization will be approximately 340,000 sf

This includes:

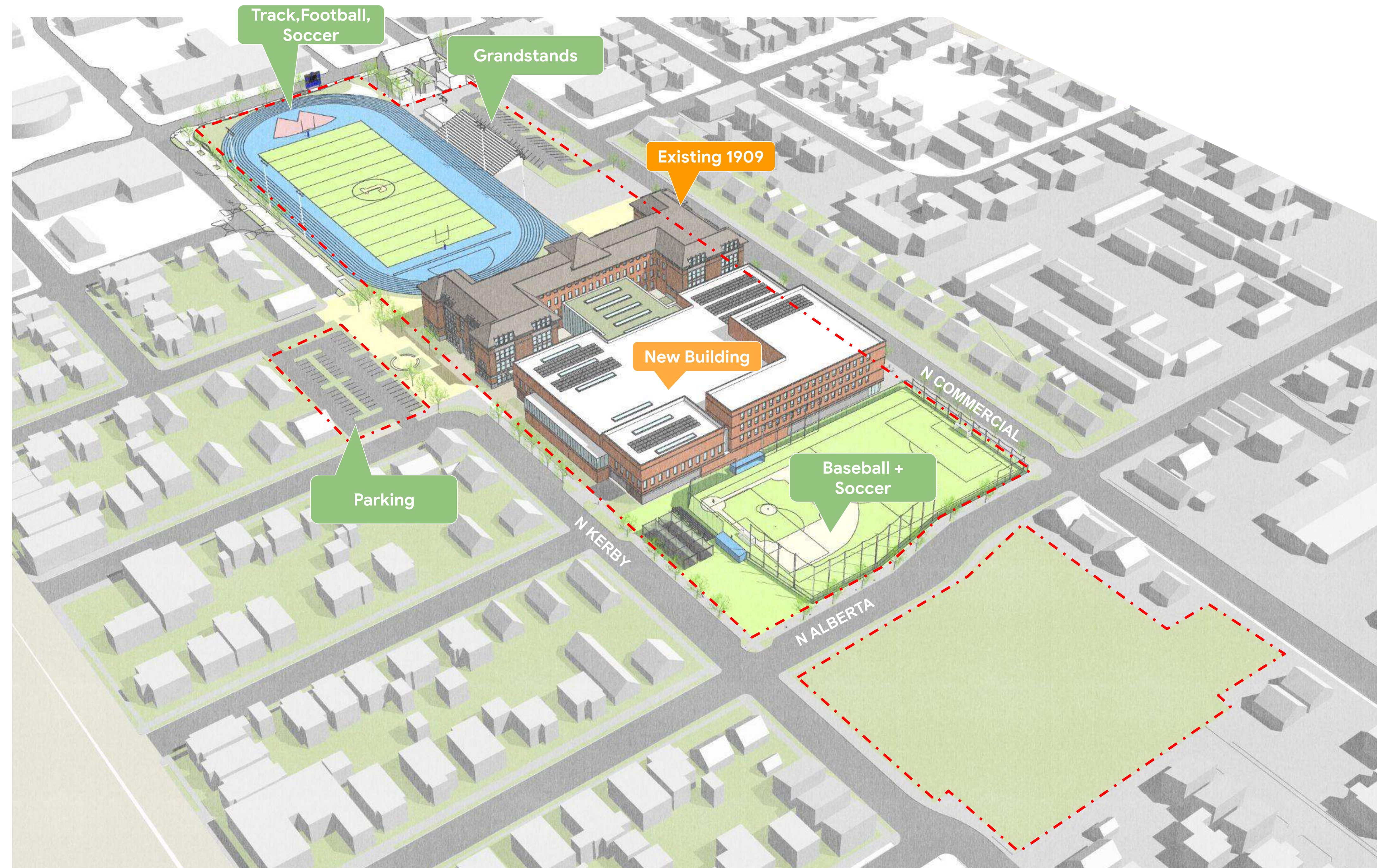
- **100,000 sf renovation of the historic 1909 building**
- **240,000 sf new addition**
- athletic fields and facilities

The building includes:

- Classrooms: 36 general education, 11 science labs, and 5 fine and performing arts
- 1,000 seat theatre
- Gymnasium with 2,000 person capacity
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- Student commons and media center
- Community support programs

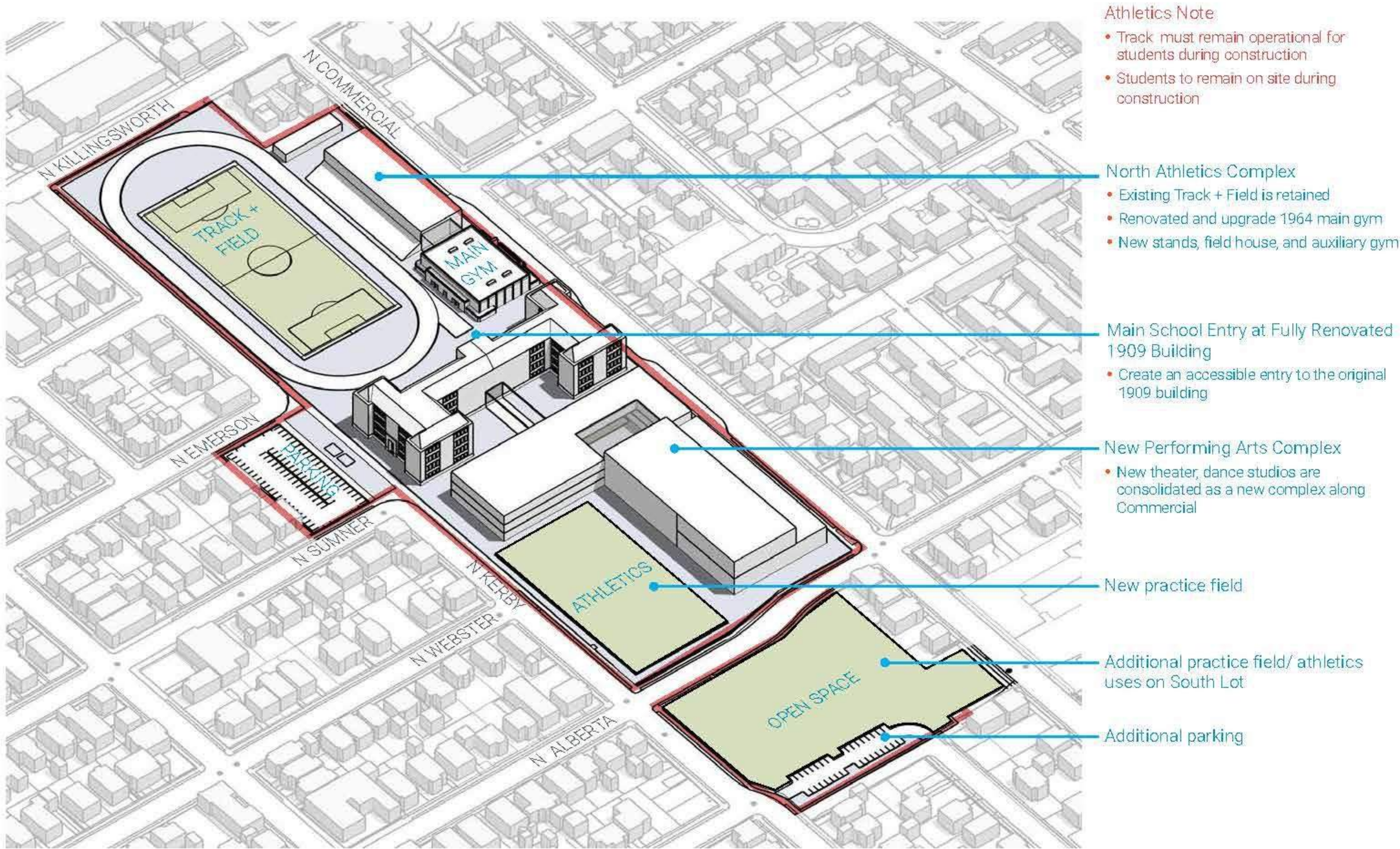
The site improvements include:

- New 1,500 person grandstand for track/football
- Practice baseball and soccer fields
- Softball field
- Student outdoor gathering spaces
- Bike parking and Vehicular Parking



Site Aerial - November 14, 2022

DAR #1



Hearing Summary Notes

DAR #1 – November 14, 2022

- Provide information on the strategy for maintaining as much of the historic site character as possible and clarify the approach to the 1909 building.
- Discuss how the design responds to the neighborhood context including the scale of the smaller houses at the south end of the site as well as the character of the overall Piedmont Conservation District. How does the new project respond to the 1909 building create a coherent campus design?
- Clarify response to Superblock Requirements, including cross block connections and plaza.
- Describe how the the design creates a hierarchy of entries and street frontages.
- Comment on the approach to providing site parking.
- Discuss the approach to material palette for new construction.

DAR #2 Discussion Items

Overall Site Layout + Massing. Massing, Scale and Compatibility with existing 1909 and with neighborhood.

1909 Remodel. Approach; new roof, removing the berm, exploration of existing features.

1928 Gym. Remove gym for new building & find ways to memorialize in the new project.

Site Layout. Connect to the community with a through-block connection north of 1909.

Piedmont Conservation District

Representative Buildings



North Portland Library
1909



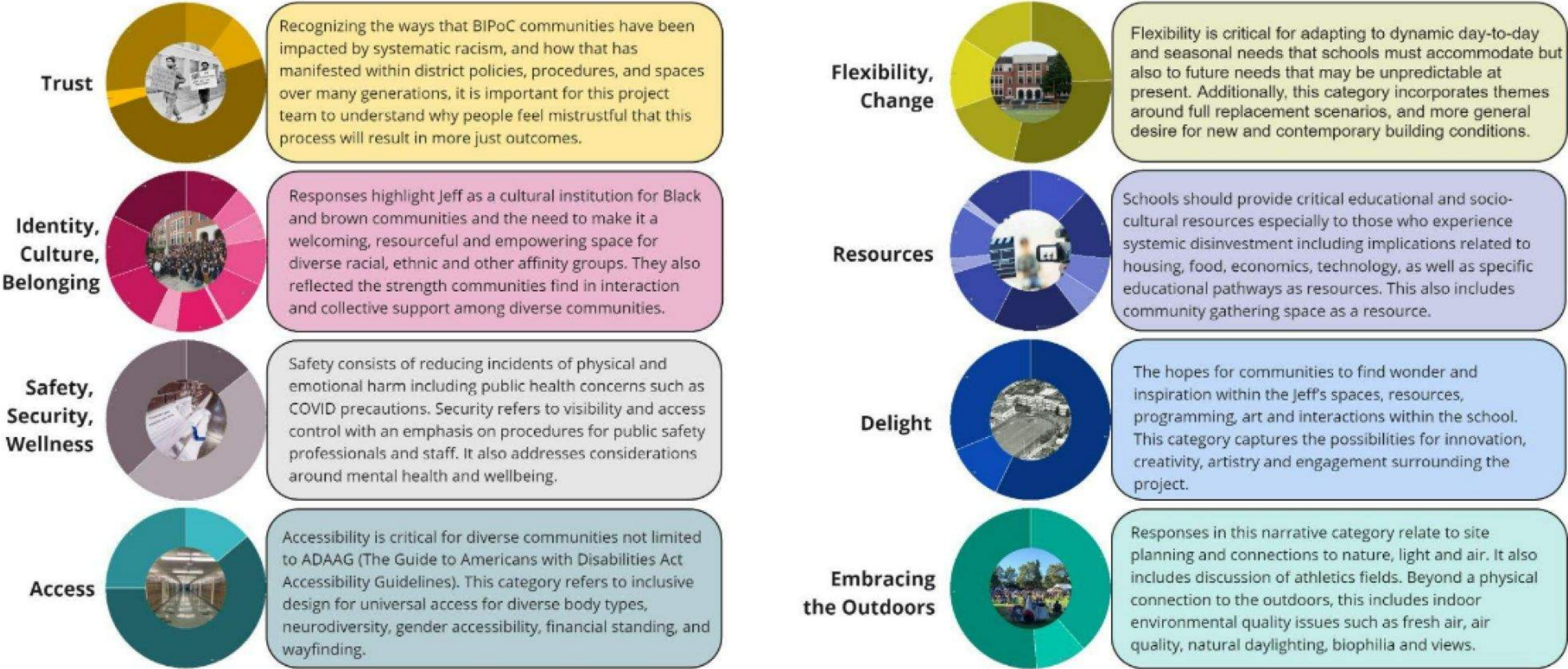
Peninsula Park Community Center
1913



Chapel Pub
1932

Community Engagement

Emerging Themes for Jefferson High School Modernization



Student Input

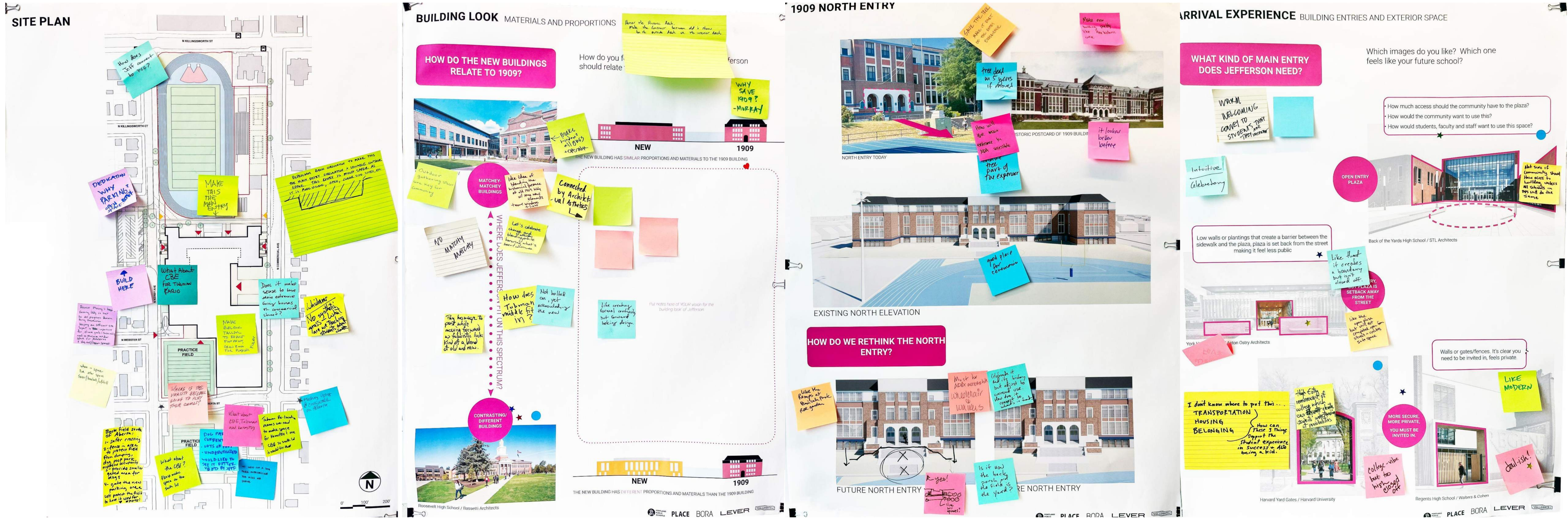
Learning from Jeff Students



‘People used to make postcards of our school.
Wouldn’t it be cool if our school was beautiful and
people wanted to make postcards of it again?’
- *Jeff Student*

Design Advice Group (DAG) #1

Boards with Community Comments



Design Advice Group (DAG) #1

Summary of Comments

Site:

- Make the north the main entry; north is safer
- Make building tall to reduce footprint
- Make space for additional sports: Soccer, baseball, softball
- N Commercial main entry facing housing is difficult

Building Look:

- Pay homage to past while moving forward with the new
- Don't match the new buildings to the old
- Celebrate change by blending with new and honoring what has been

1909 North Entry + Arrival:

- Make new building pretty, like the original
- North Entry is a good place for ceremonies
- Celebrate the 1909's history, but adjust to current use
- **MUST BE ACCESSIBLE**
- Warm and welcoming, convey to the students they are important
- Open plaza is nice, but not completely open - creates a safe space
- Modern campus vibe is nice
- Don't make it feel like a jail or too closed off

Design Advice Group (DAG) #2

Boards with Community Comments

TE PLAN

Sticks?

Need additional storage

Blue parking

Enter and use ballrooms

PREVIOUS

CAMPUS OVERVIEW AERIAL VIEWS OF JEFFERSON HS

Great improvement on last time

Add pool

Track, Football, and Soccer

USE ROOF OF TRAIL USING DIA FOR GYMNASIUM? Tennis? Games?

What's the plan for Buses for Sporting Club? When do they play? Drop off and pick up?

PARKING FOR SOFTBALL. PLEASE ADD.

BARRIER ALBERTA DON'T COME HERE

What's the plan for Buses for Sporting Club? When do they play? Drop off and pick up?

What's the plan for Buses for Sporting Club? When do they play? Drop off and pick up?

ARRIVAL EXPERIENCE BUILDING ENTRIES AND EXTERIOR SPACE

Let's take a walk around the school.

Walk around Jefferson with us. Reference these 6 views On the Jefferson Campus Plan.

Let's take a walk around the school.

Walk around Jefferson with us. Reference these 6 views On the Jefferson Campus Plan.

NORTH ENTRY

North Entry; Remixed.

The new Jeff will be entered on A Level. This is one idea for and entry. What do you think?

North Entry; Remixed.

The new Jeff will be entered on A Level. This is one idea for and entry. What do you think?

Design Advice Group (DAG) #2

Summary of Comments

Site:

- New addition of [softball and baseball is exciting!](#) A few wish baseball field could be competition sized.
- Dense building allows for more athletics - great!
- Need more [site area dedicated to athletic support](#) - bathrooms, concessions, ticketing, etc.
- Make sure view of school from Alberta is beautiful and welcoming.

North Entry + Plaza:

- [Love the through-block connection](#) at the main entry. It's great for students and the neighborhood.
- [Accessible Entry to A Level feels really good](#) and makes the building better. Strong student support.
- [Create outdoor spaces for students](#) at the north entry.

Synthesis:

Summary of What We've Learned so far

- **Reflect history; but Jeff shouldn't be held in the Past.** The track and 1909 building are significant to the community. Keeping them is important, but making them accessible, modern and new is important. The new parts of the building can feel new and unique.
- **Athletics are important.** Jefferson should have similar athletics programs to other PPS High Schools.
- **Connect the site to the Community.** There is a lot of excitement around an A Floor Accessible Entry on the North of the 1909 building. The through block connection is exciting for students and community members.
- **Convey to the students they are important.** New school should be welcoming and safe.

Design Overview

Current Jefferson High School Campus

Add notes



Re-establish Crossblock Connection + North Entry

Add notes



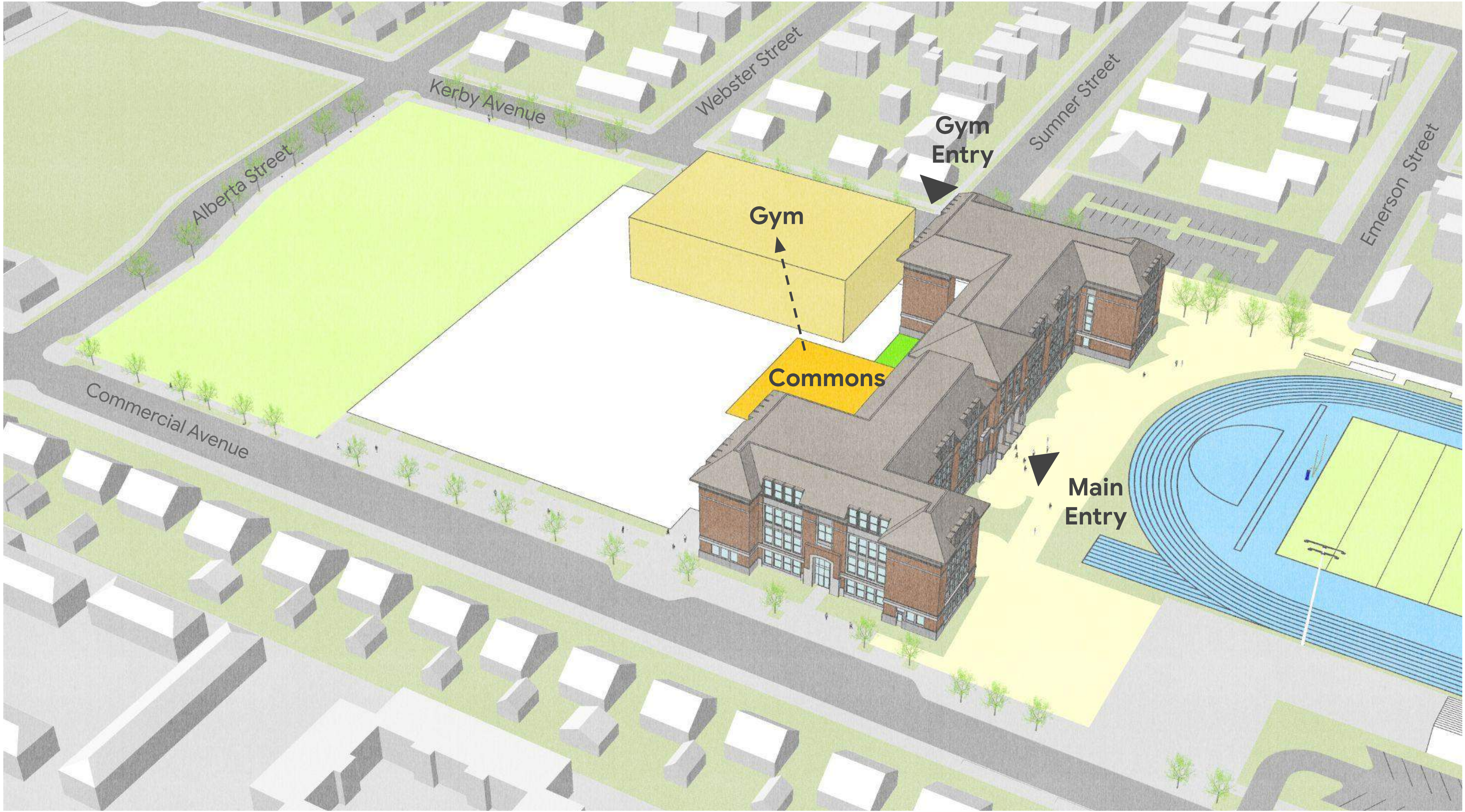
Central Commons

Add notes



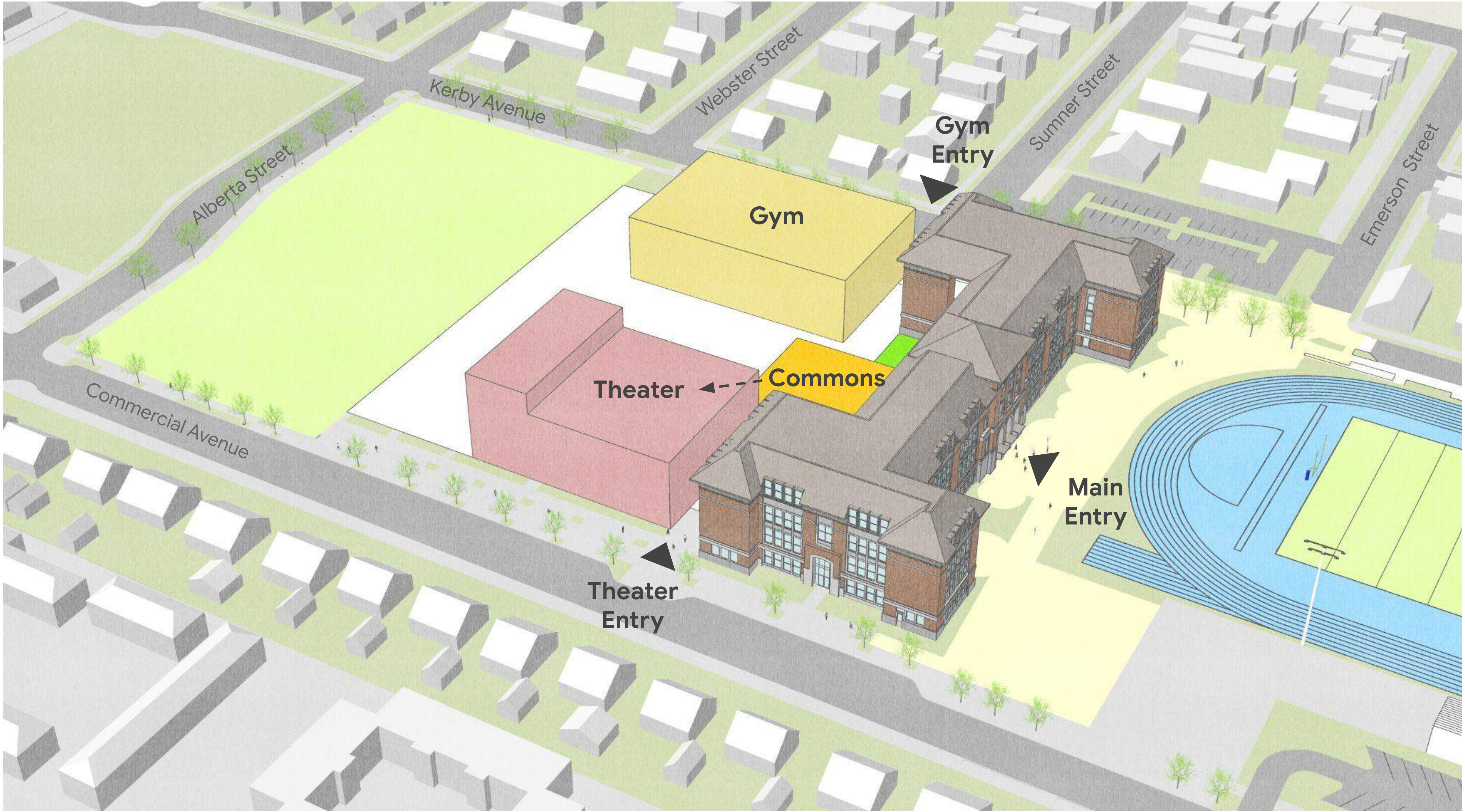
New Main Gym

Add notes



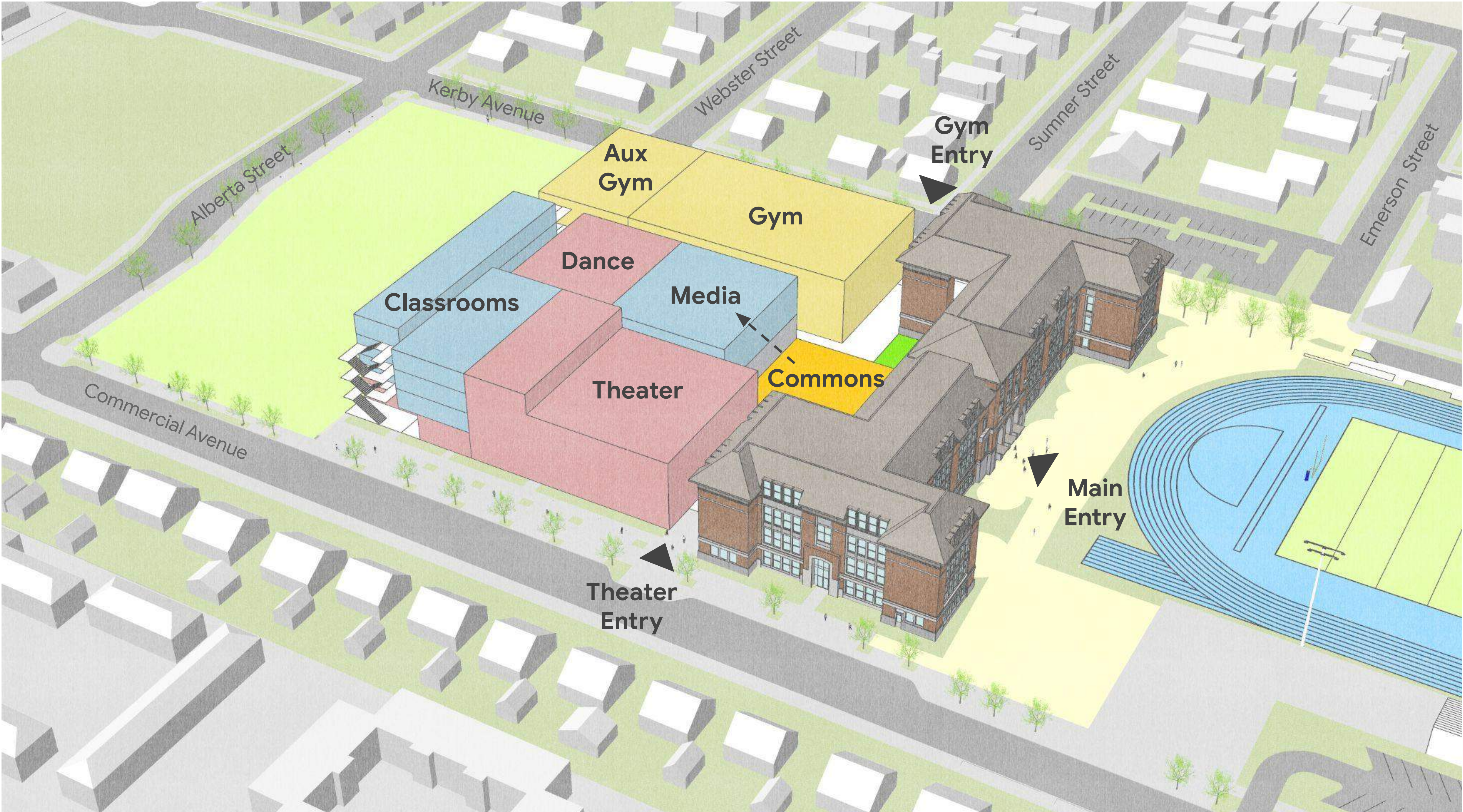
New Theater

Add notes



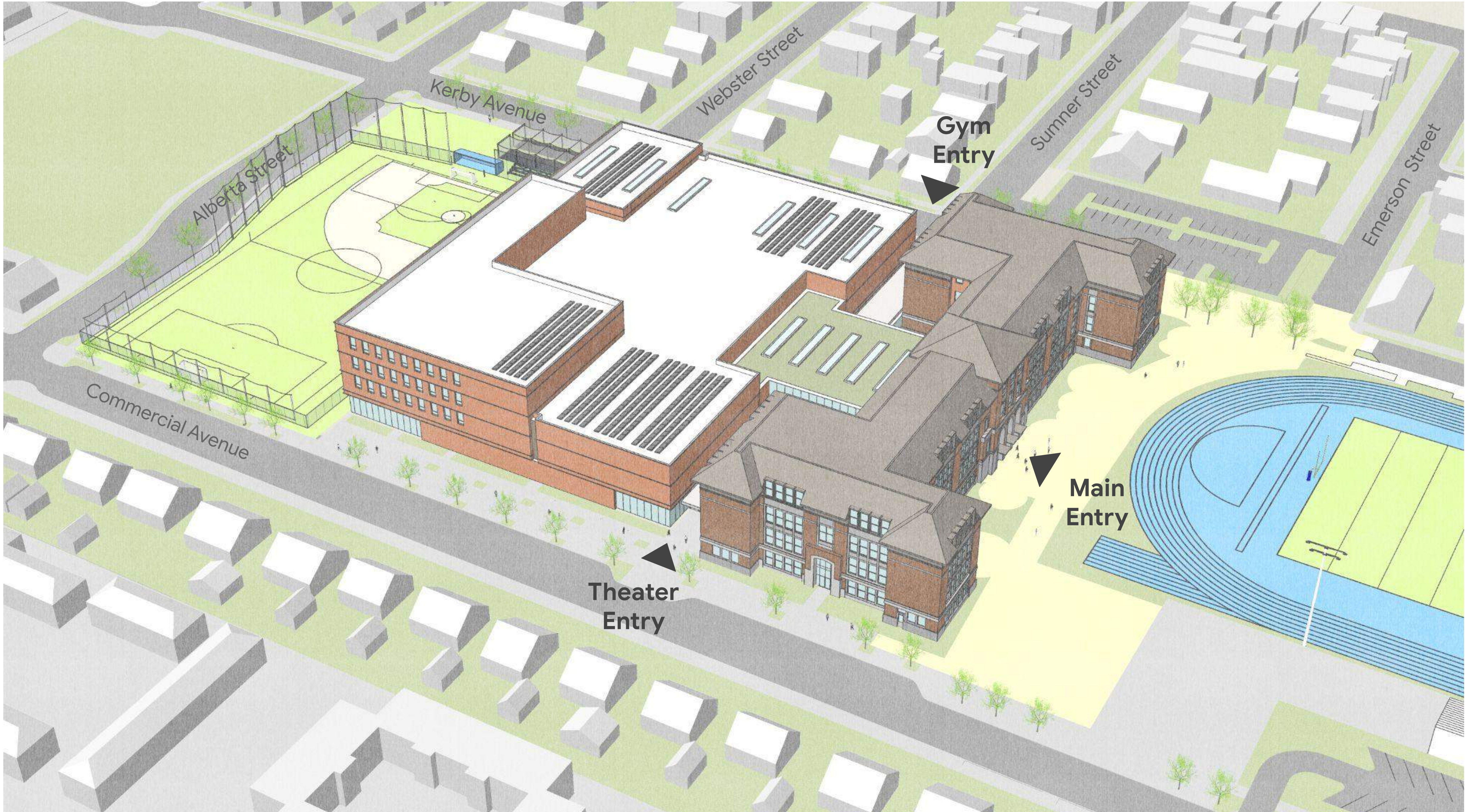
Program

Add notes



Proposed Massing

Add notes



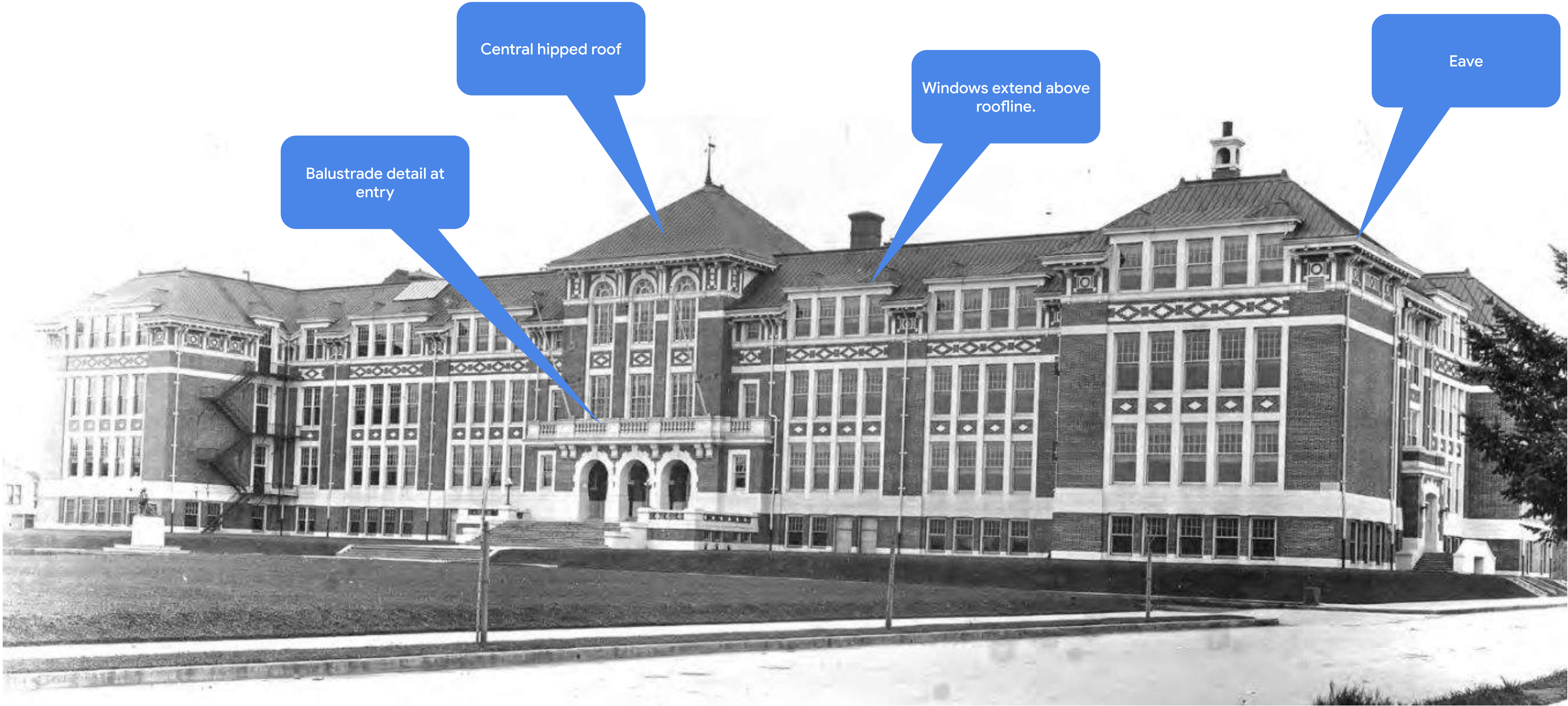
1909 Renovation Approach

1909



DRAFT

1909 Conditions



1909 Building North Elevation

Existing Conditions



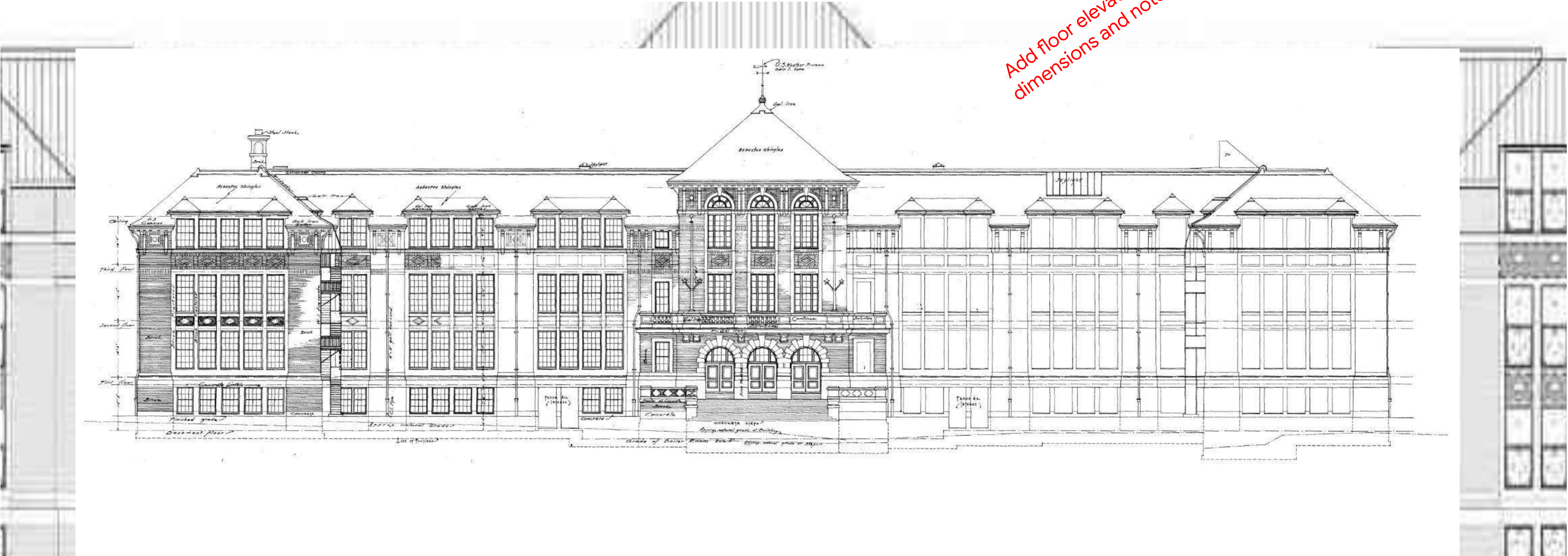
1909 North Elevation

Proposed Design

Clarify approach
for spandrel area

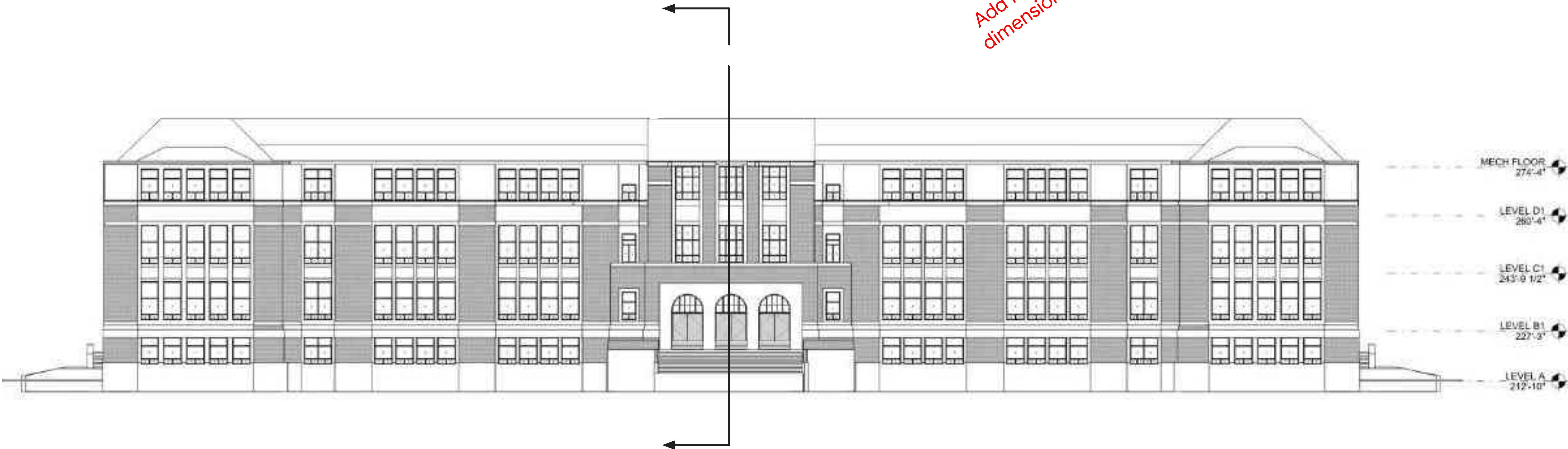


Original North Elevation



Existing North Elevation

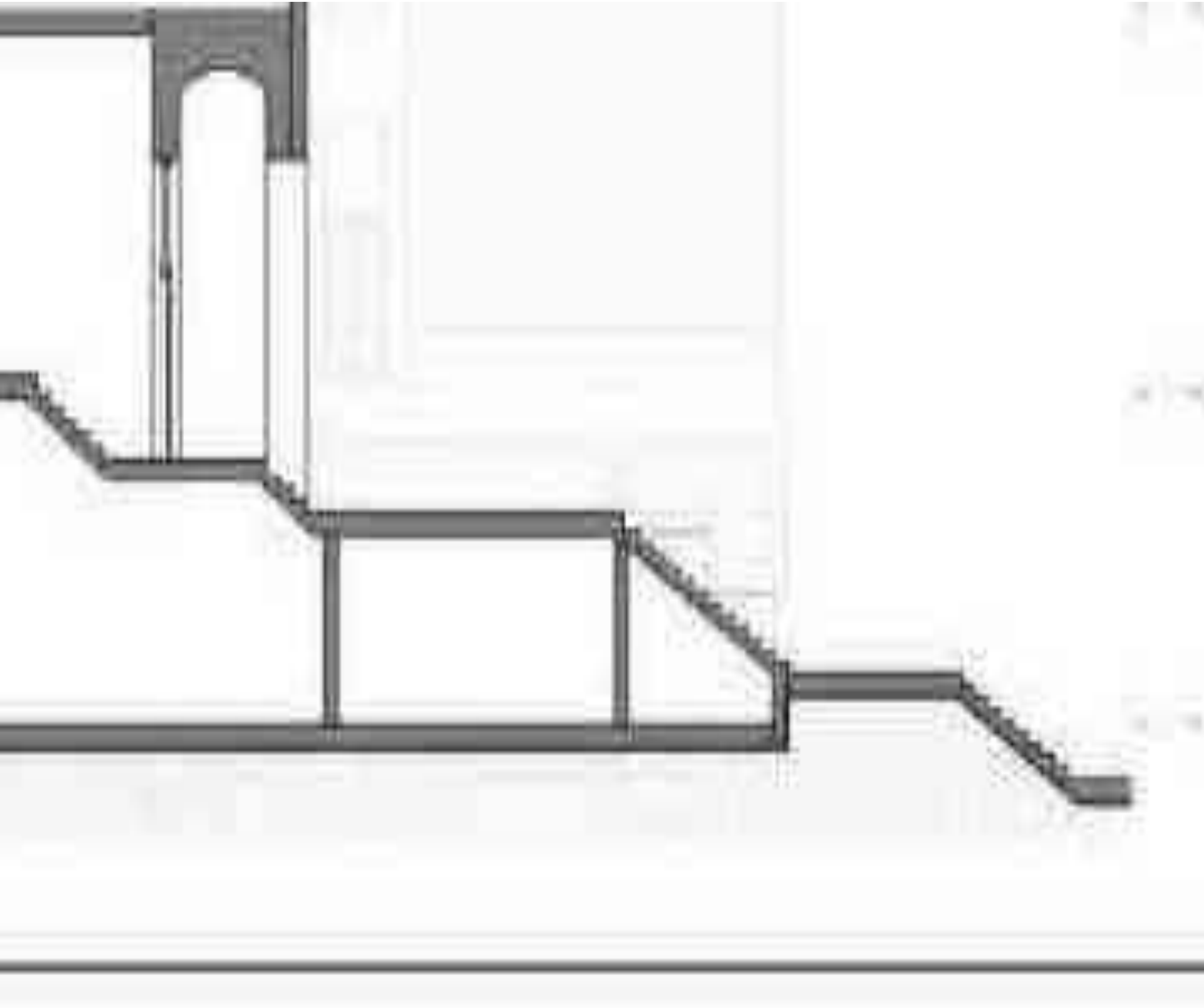
Add floor elevations,
dimensions and notes



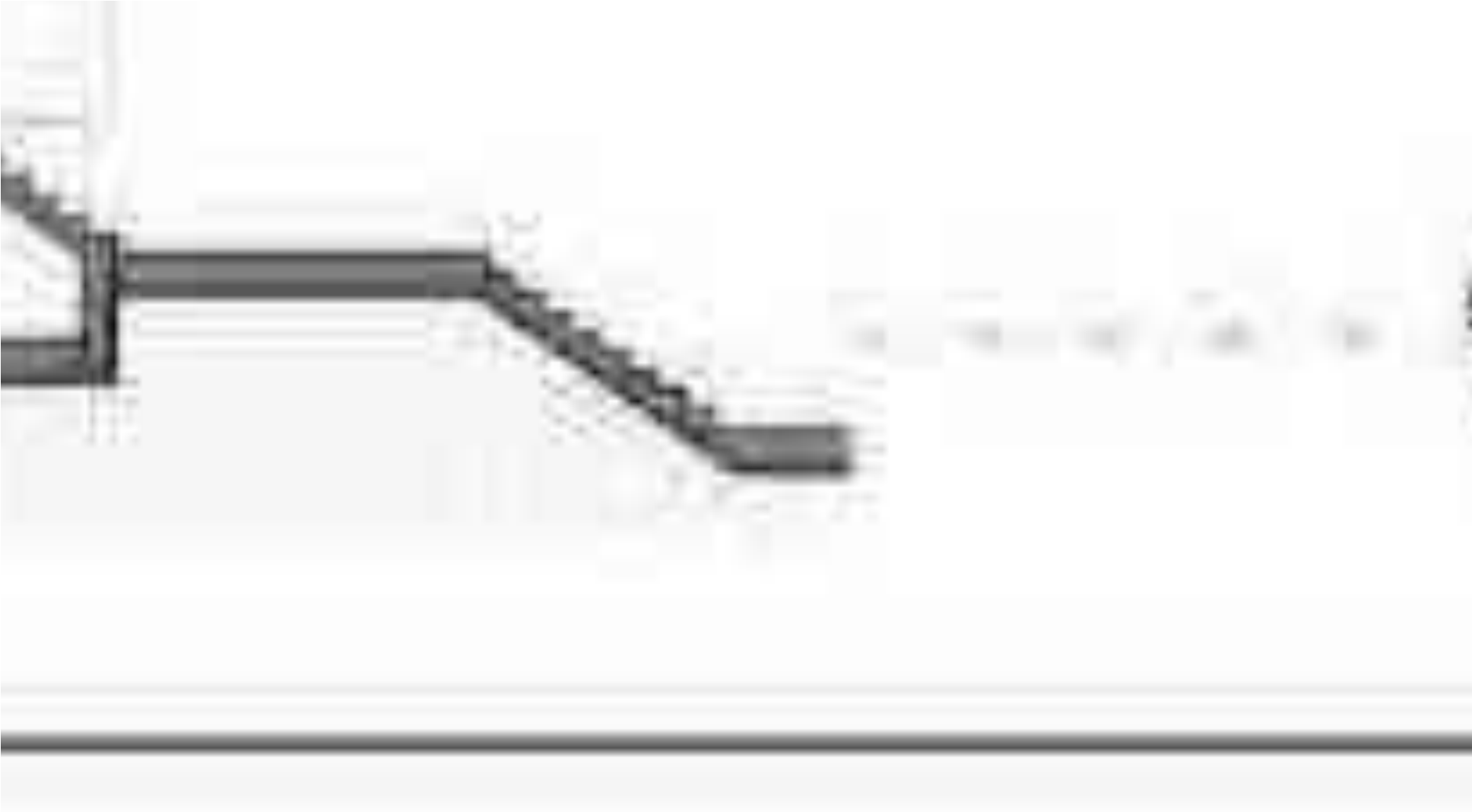
Proposed North Elevation



1909 North Entry Building Sections

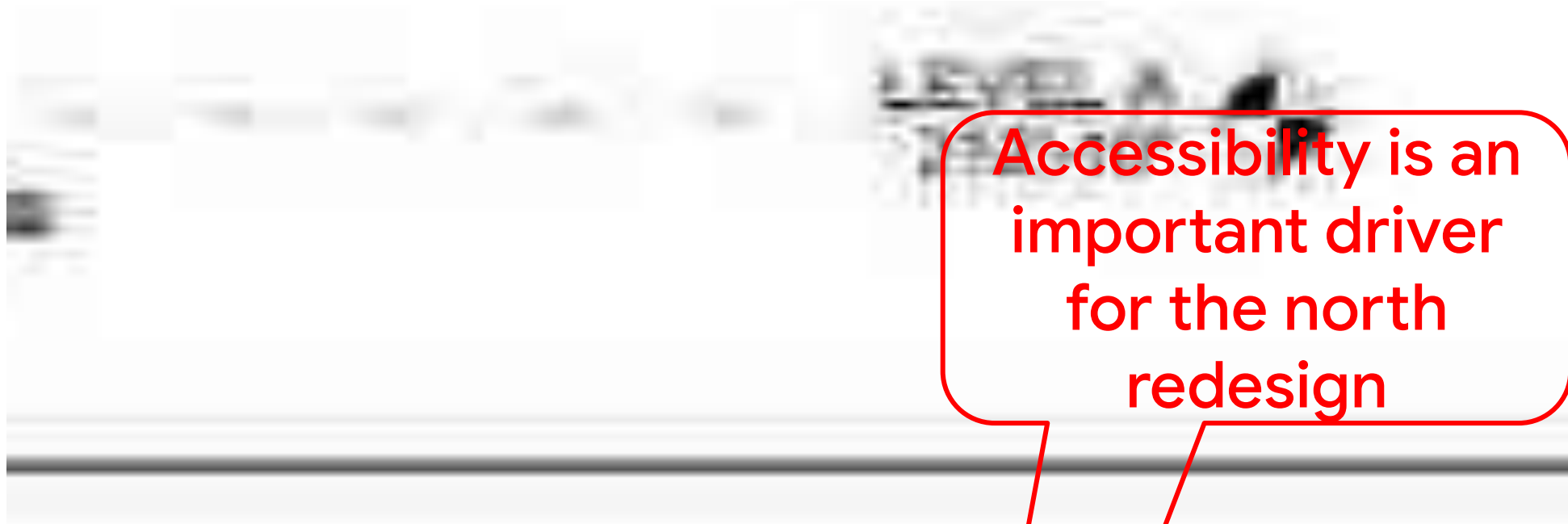


1-Original Condition



2-Existing Condition

Add floor elevations,
dimensions and notes



3-Proposed Condition

New Building Massing

Existing South Elevation



Southwest Corner

Alberta + Commercial



Southeast Corner

Alberta + Kerby



East Elevation

1909 + New Building

Add scale and notes



South Elevation

New Building

Add scale and notes



West Elevation

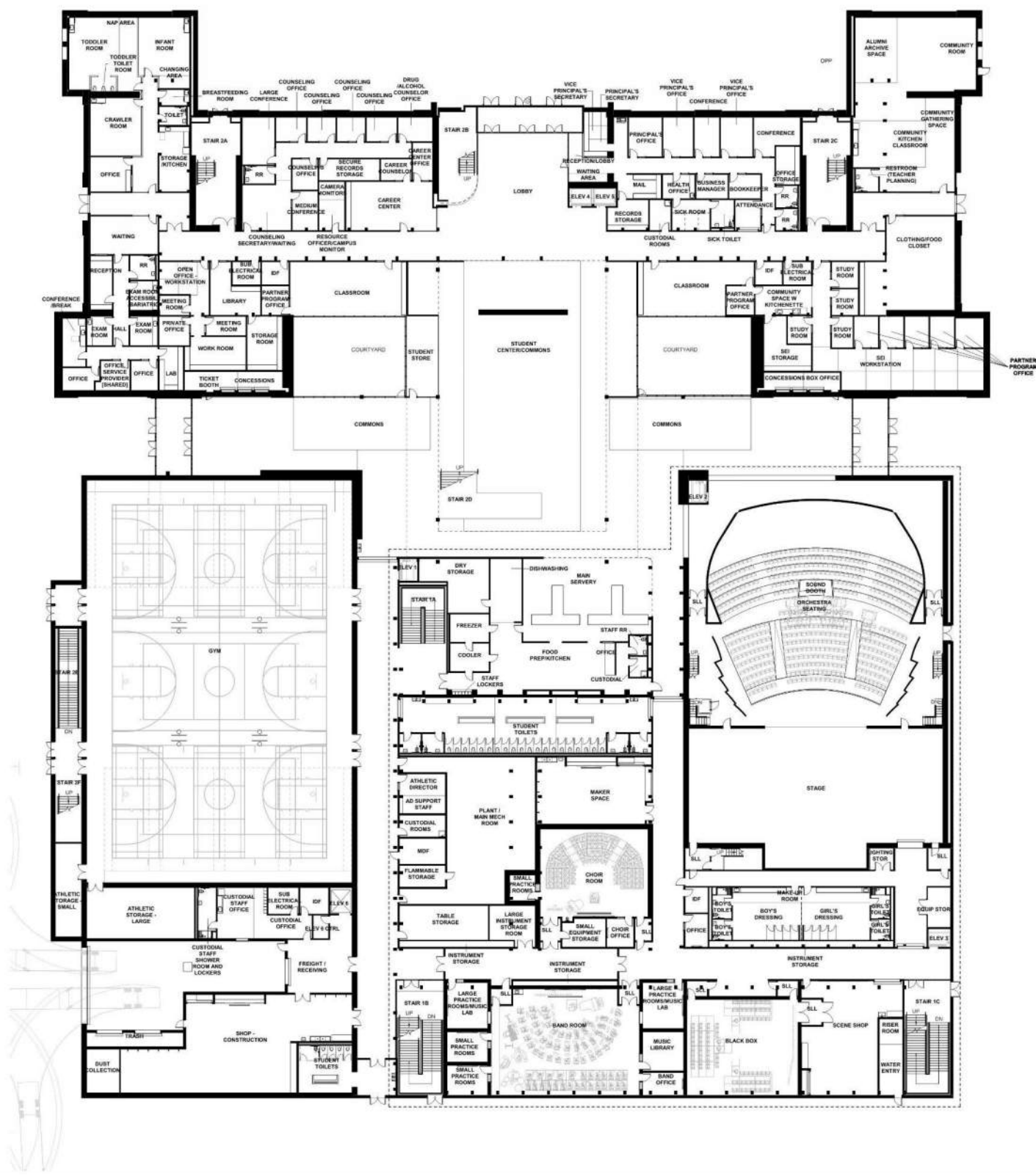
1909 + New Building

Add scale and notes

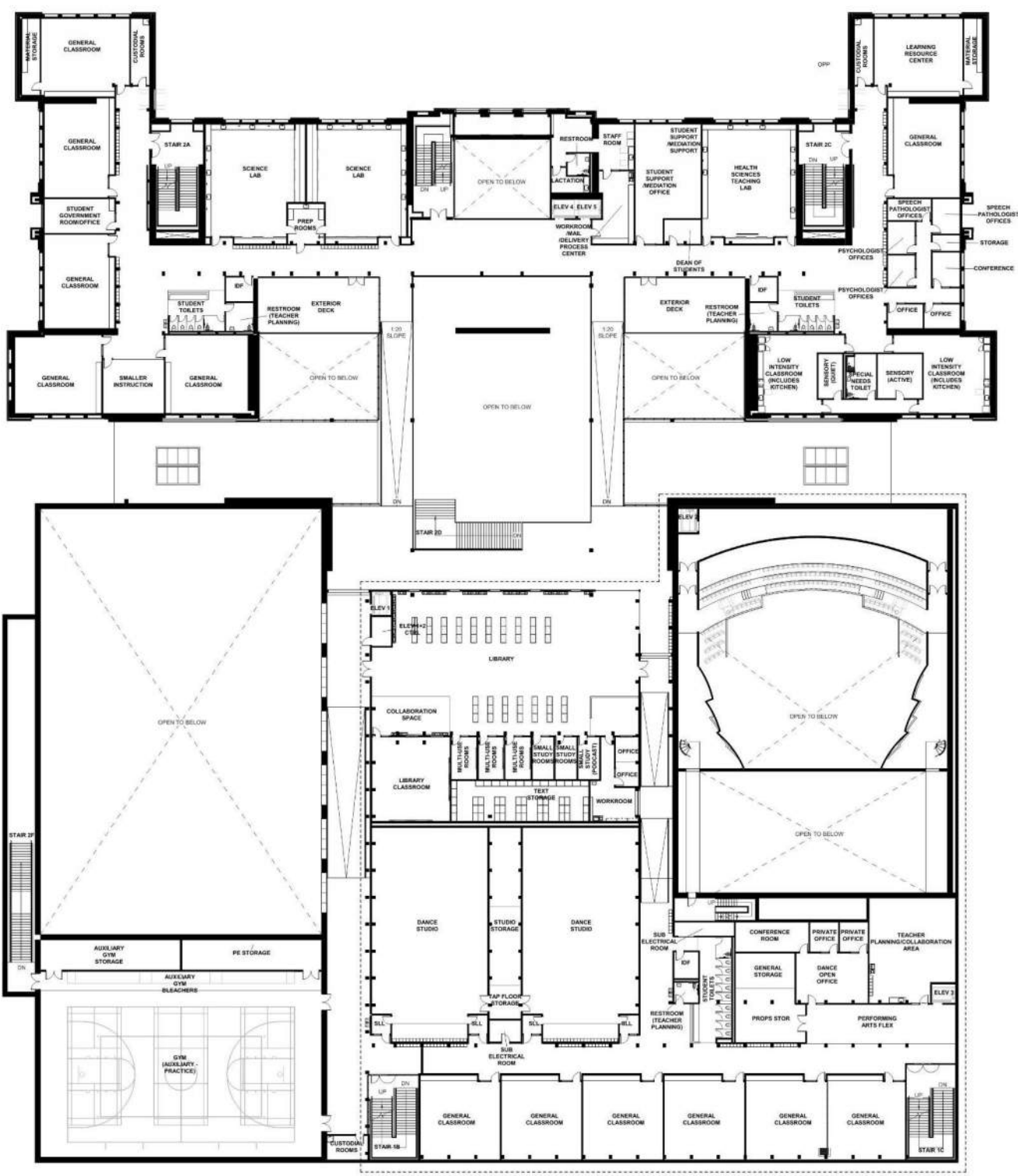


Floor Plans

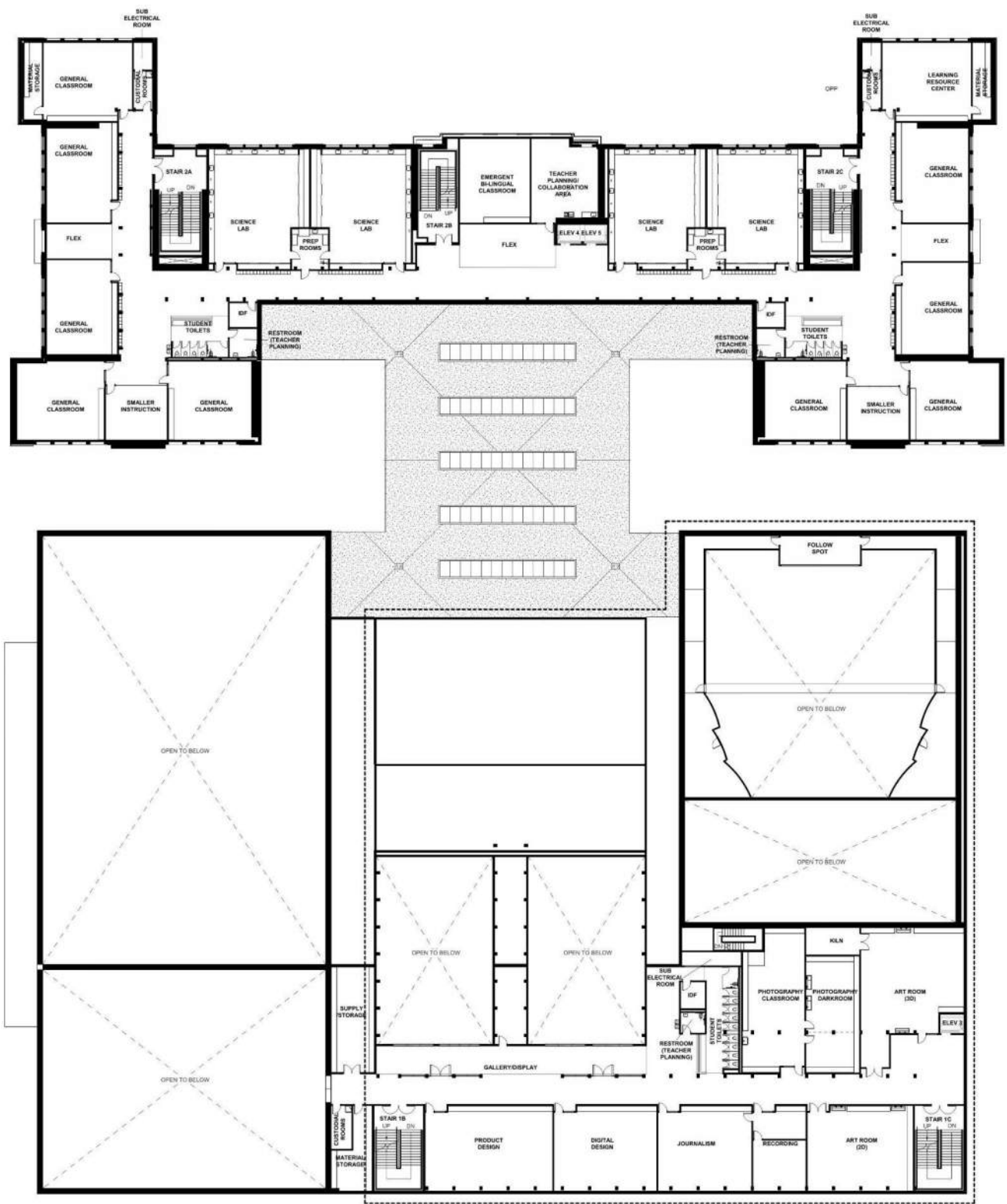
Update with simplified, colored floor plans



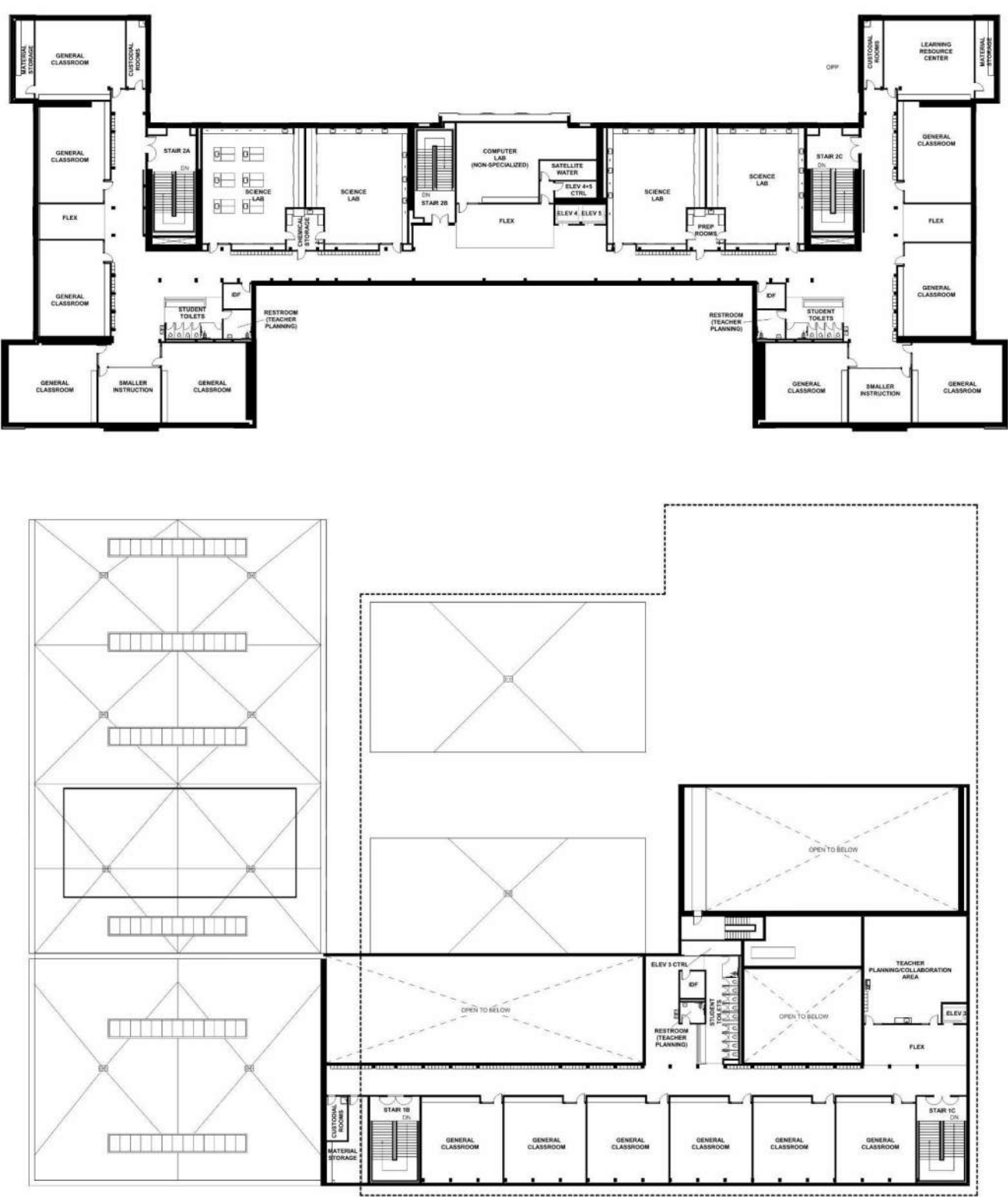
Level A



Level B



Level C



Level D

Discussion + Questions

Modifications & Adjustments

- **Modification: Building Setbacks.** 33.150.215 sets up a conflict in setback requirements. As part of the Interstate Killingsworth Pedestrian District a 10' maximum setback is permitted for all frontages. The same code section also requires 10' minimum and 1' setback for each 2 feet of building height across from the adjacent residential.
- **Modification: Transit Street Main Entry.** The new main entry of the school will utilize the historical north-central alignment of the 1909 building. 33.150.265 requires a main entrance within 25 feet of a transit street. Building setbacks and historical placement prevent meeting this requirement. 33.415.350 also requires an entrance every 100' on transit streets. The site specifics and program requirements prevent strict adherence to this requirement.
- **Modification: Fencing.** 33.150.285 allows a maximum 10' tall fence within the setback. The athletics facilities are a priority for the community and the project is working to maximize the usable space set aside for sports. To accommodate the fields, there will be a need for ball netting, lights, and fences on the south portion of the site along the lot line.

Discussions

- **Discussion: Street Hierarchy** The design reestablishes the historical north side of 1909 as the principal entry to the building. Secondary entries at the gym and theater will be clearly identified through signage and design cues.
- **Discussion: Parking Areas** The transportation study has identified a projected future demand of 177 parking spaces. Currently there are 84 non-conforming stalls. Although there is no code minimum parking requirement due to proximity to transit, there is a practical need for some parking to be provided on site. Any parking provided within the scope of the project will conform to city standards.
- **Discussion: 1928 Gym Removal** The existing 1928 gym was identified as a priority for study by the design team. There are a number of barriers that stand in the way of retaining the structure. Our approach will be to explore salvage of specific elements for use in the new school.

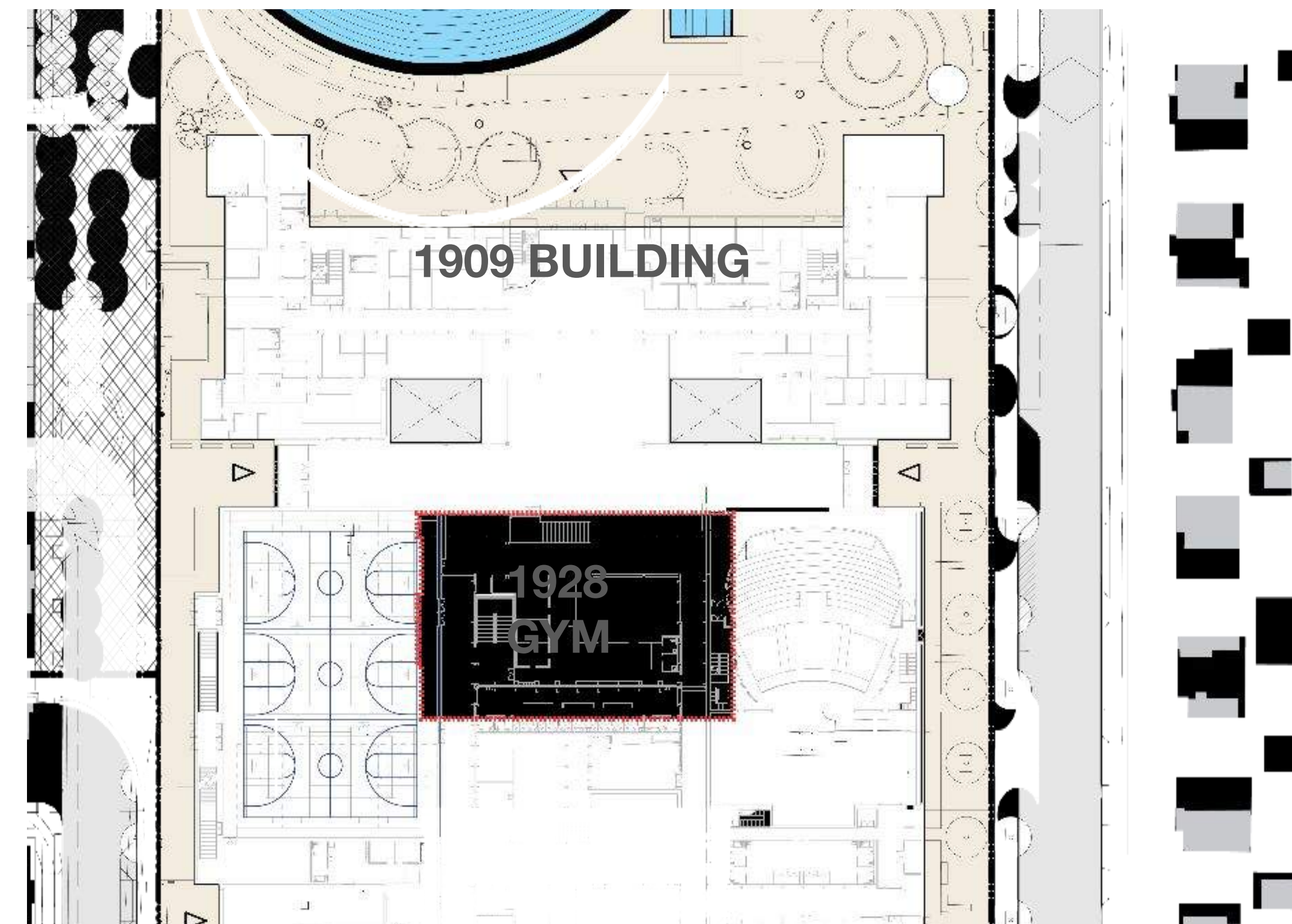
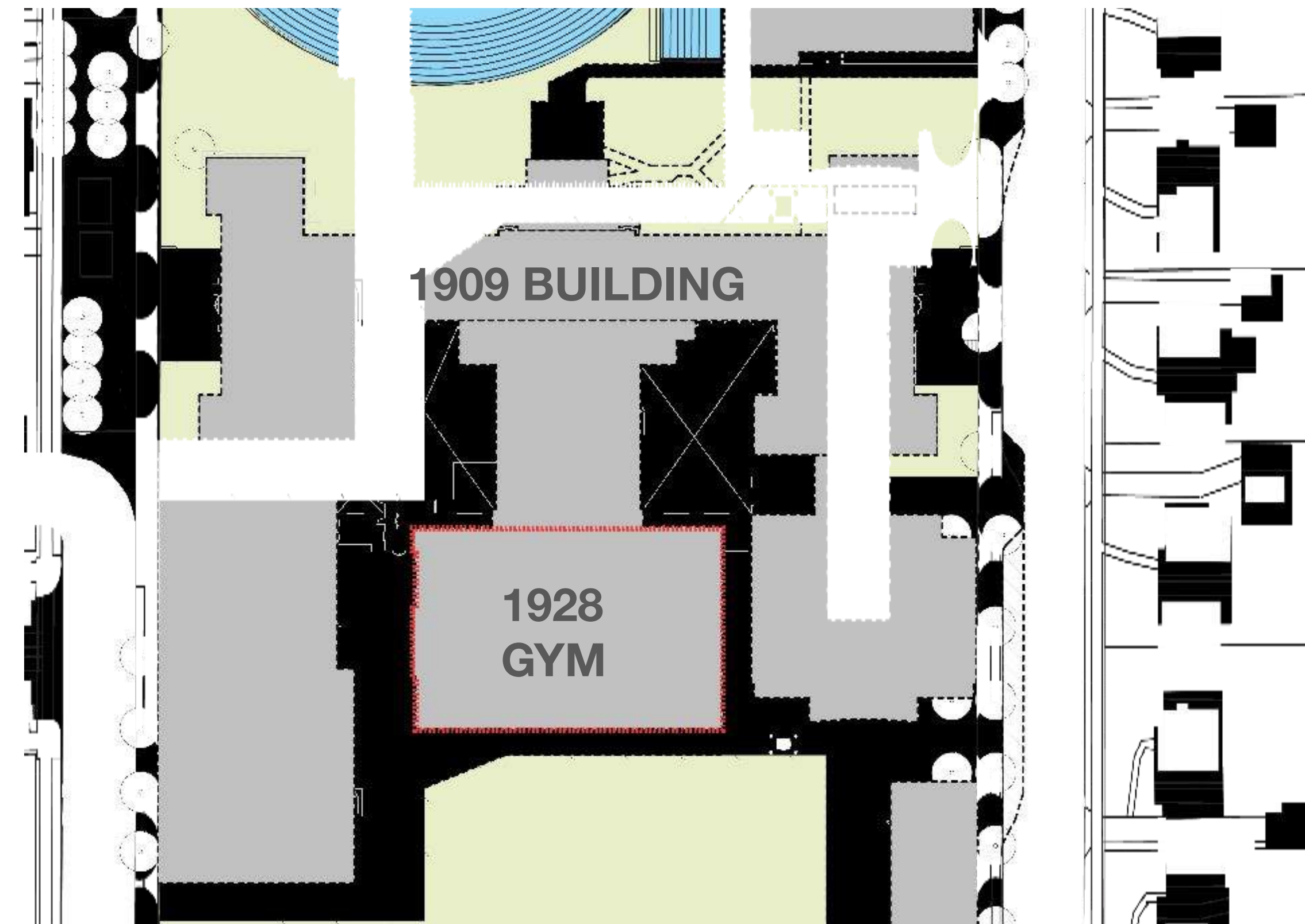
Clarifications

- **Clarification: Sports Fields Setbacks.** The DAR #1 memo noted that 33.279.040 requires a 50' setback from adjacent R zones. We believe that this standard only applies to the adjacency with houses on the parcels south of Alberta and does not apply to the fields bounded by streets on the north side of Alberta.
- **Clarification: Superblocks.** The DAR #1 memo noted that 33.293 requires walkways, plazas and landscaped areas to create neighborhood links that have been lost to street vacations. The project seeks to meet the intent of this provision.

Removal of 1928 Gymnasium Existing Site

The existing gym building is challenging to incorporate into the modernized project.

- The existing structure is seismically deficient. Seismic Risk Category IV will require substantial upgrade.
- Existing interior fit out is not usable for the new high-school program
- Floor levels do not align with the existing 1909 floor levels or the proposed new levels
- Project construction phasing will not allow construction of new program while retaining the gym



Superblock Requirements

Compliance with Requirements

Superblock Requirements:

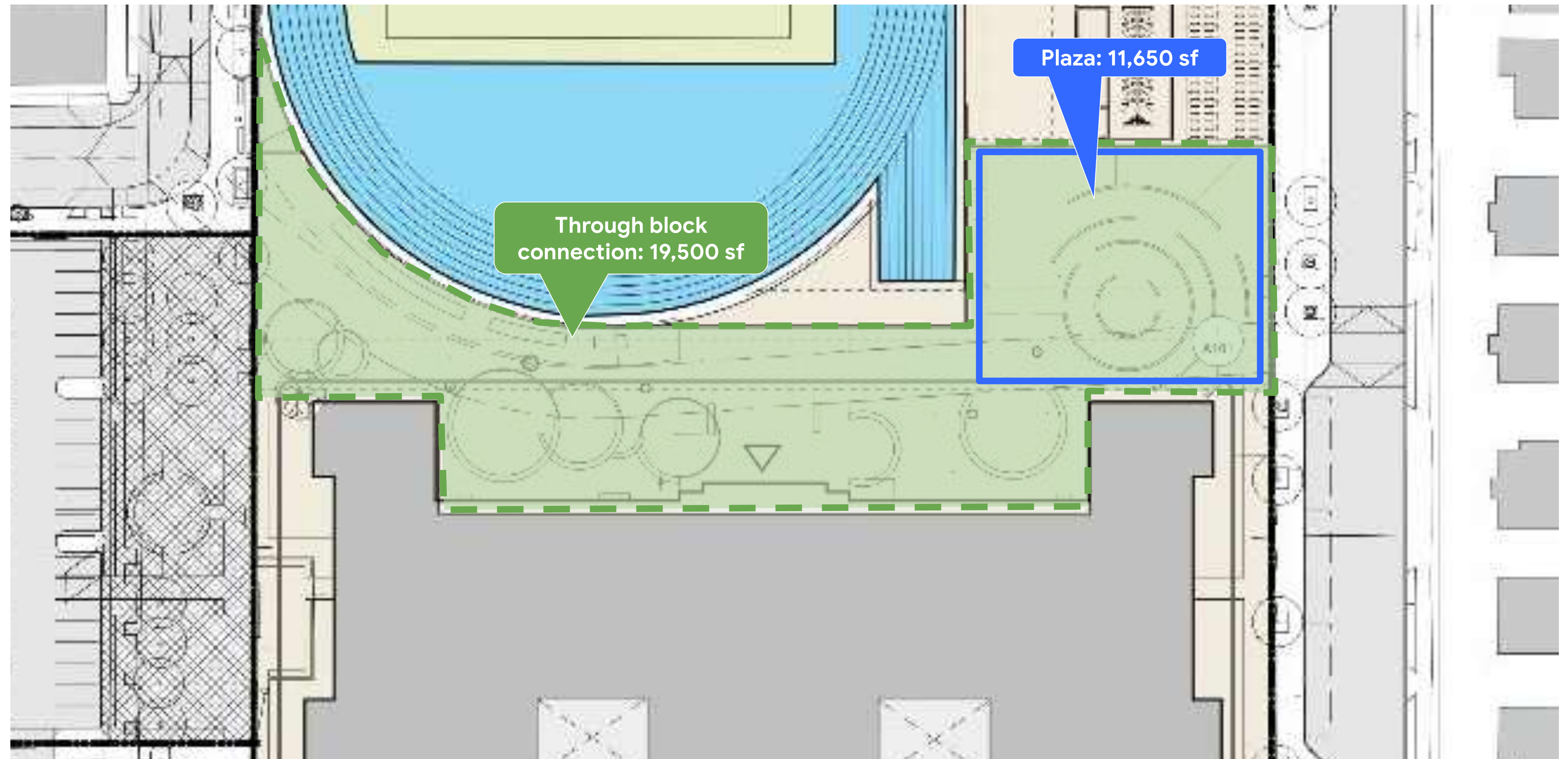
The Jefferson Site is defined as a superblock. The project is required to provide one public plaza that is 5% of the total land area (30,742 sf) or 20,000 sf maximum.

The total area of walkways, landscaped areas, public plazas, and public atriums must be 50% of the total area of vacated streets within the superblock. *We do not know the original street size of vacated streets in 1908.*

Proposal:

The design provides a public entry plaza and a through block connection to the north of 1909. The combined area of these two elements is 31,150 sf of public open space for the community, over 5% of the site area.

Additionally, the site provides public open space outside of the theatre, gymnasium, and with the multiple sports fields on the site.



Building Setbacks

Modification

Zoning Setback Conflict:

33.150.215 sets up a conflict in setback requirements.

- As part of the Interstate Killingsworth Pedestrian District a 10' maximum setback is permitted for all frontages.
- The same code section also requires:
 - 10' minimum setback
 - 1' setback for each 2 feet of building height across from the adjacent residential.

Setback Proposal @ N Commercial Street.

The theatre is 72' tall, and setback 31' feet from the property line.

The east elevation of 1909 is setback 31' feet from the property line.

The theatre is setback the same amount from N. Commercial as the 1909 building, but does not meet the 2' for every one foot setback requirement.

Setback Proposal @ N Kerby

The gym is 55' tall and setback from the street 29'

The egress stair is 35' tall and setback 18' from the street.

All the buildings along N Kerby meet the setback requirement of 2 feet setback for every one foot of height, but are not setback further than 1909.

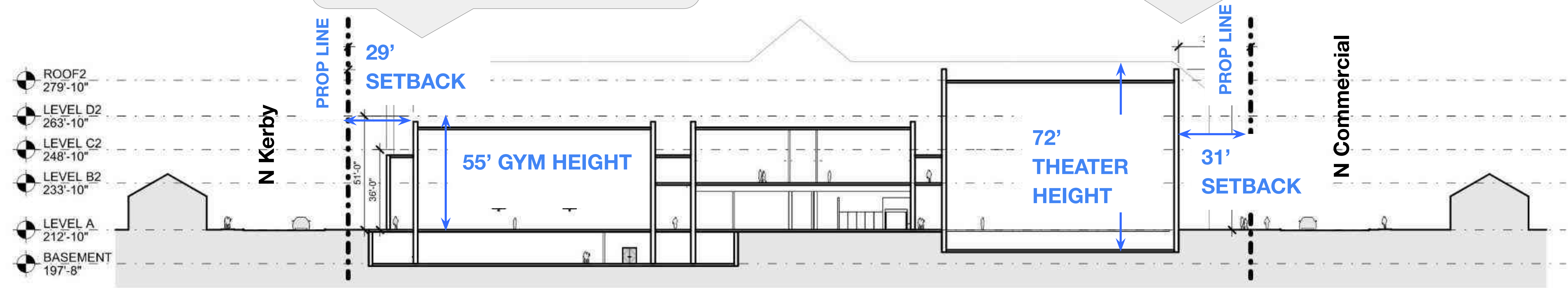
Building Setbacks Modification



1909 - EW SECTION

The new building along N Kerby meets the setback requirement of 2 feet setback for every one foot of height, but is not setback further than 1909.

The theater is setback further from N. Commercial than the 1909 building, but does not meet the 2' for every one foot setback requirement.



NEW BUILDING - EAST WEST SECTION

Thank you.

Jefferson High School

Portland, OR

Design Advice Request #2

May 8, 2023



BORA

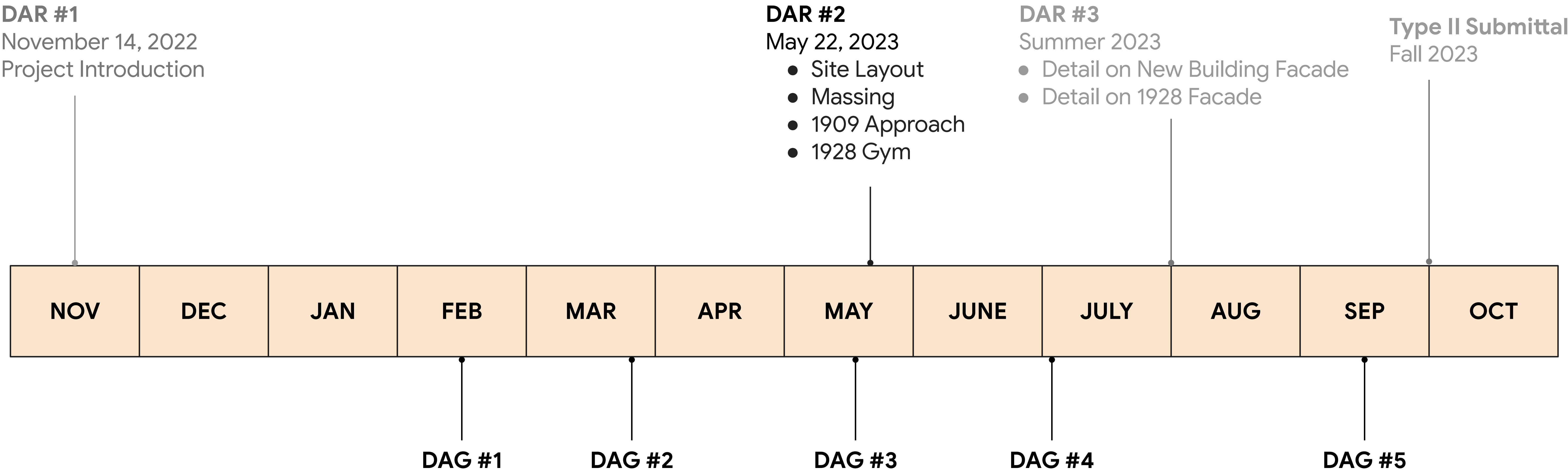
LEVER

PLACE



Project Overview & DAR# 1 Summary

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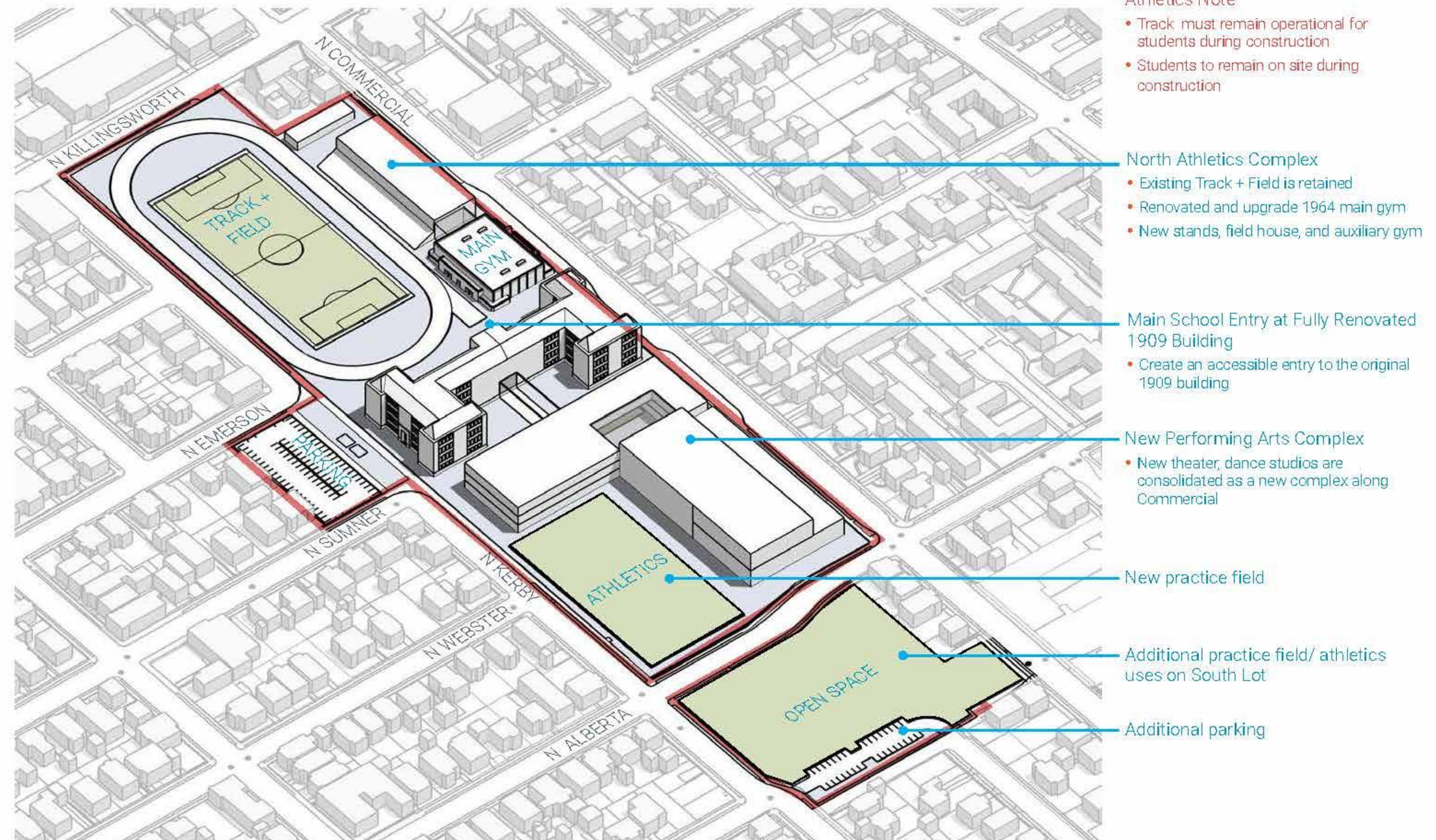


What is DAG? DAG is the “Design Advisory Group” for Jefferson High School. The group is run by PPS and consists of 40 community members. The design team presents current design thinking and solicits feedback from community members during these meetings.

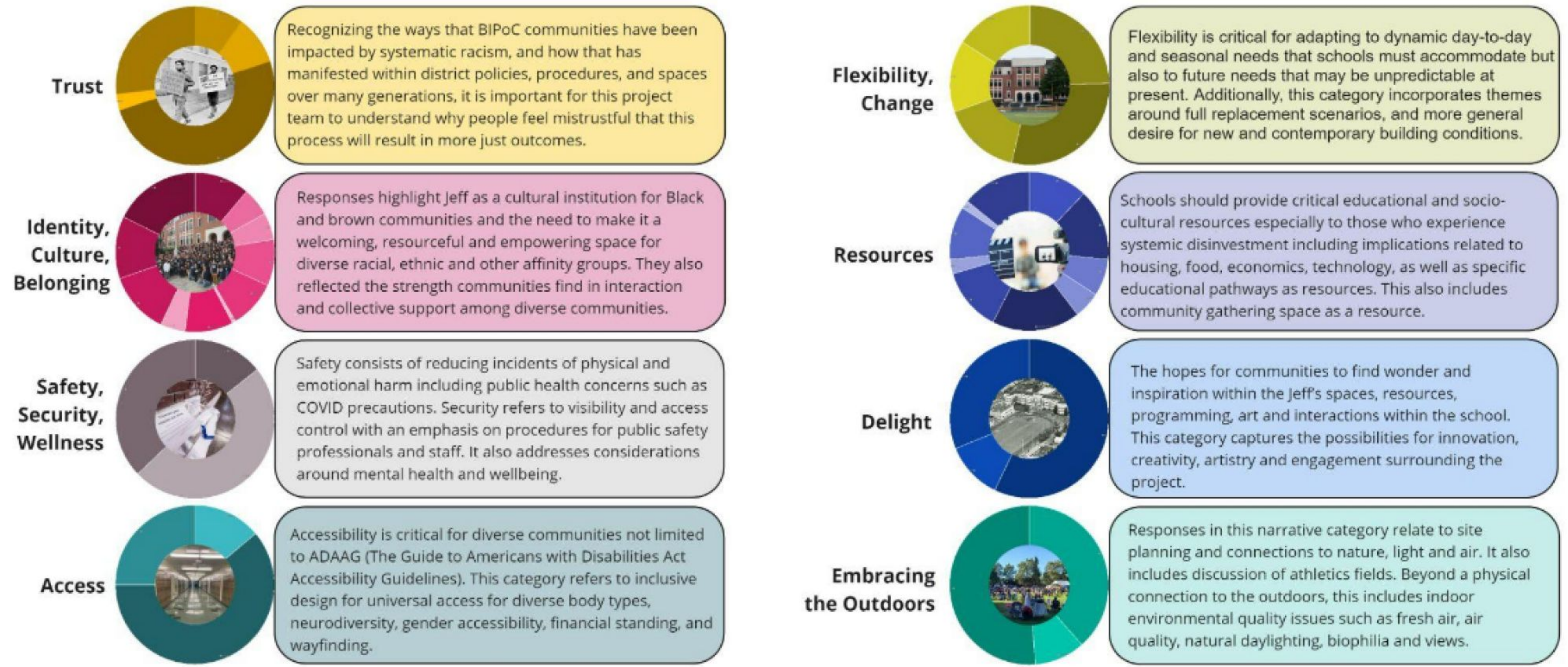
Site Aerial - November 14, 2022

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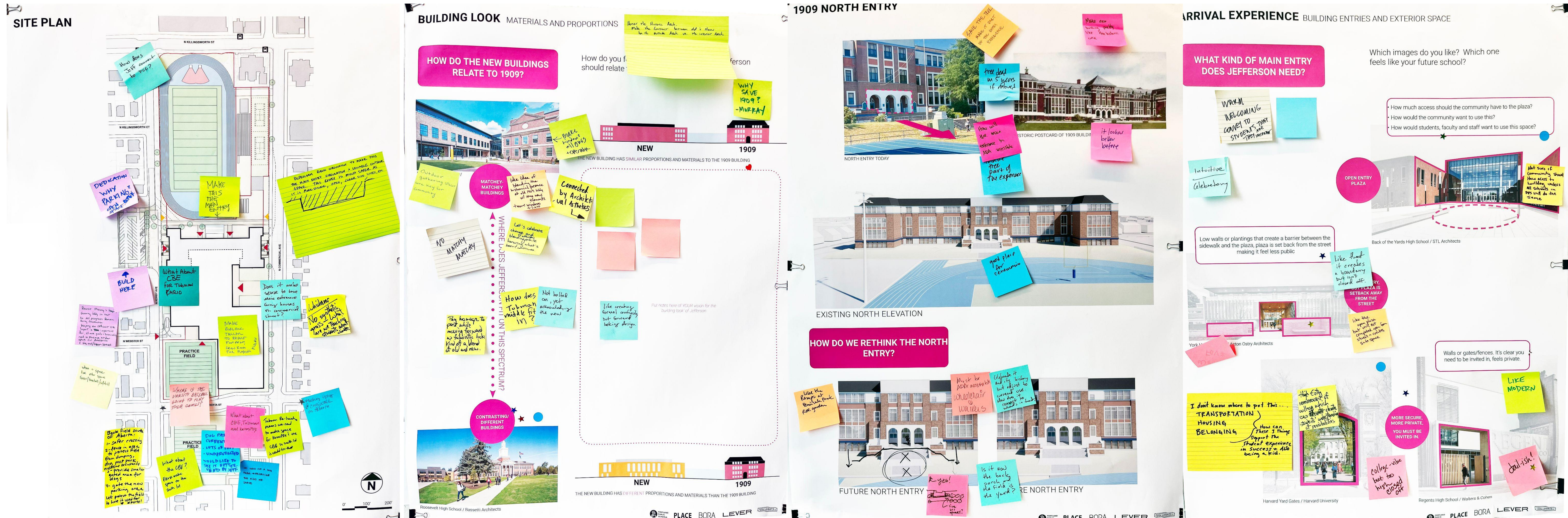


Emerging Themes for Jefferson High School Modernization



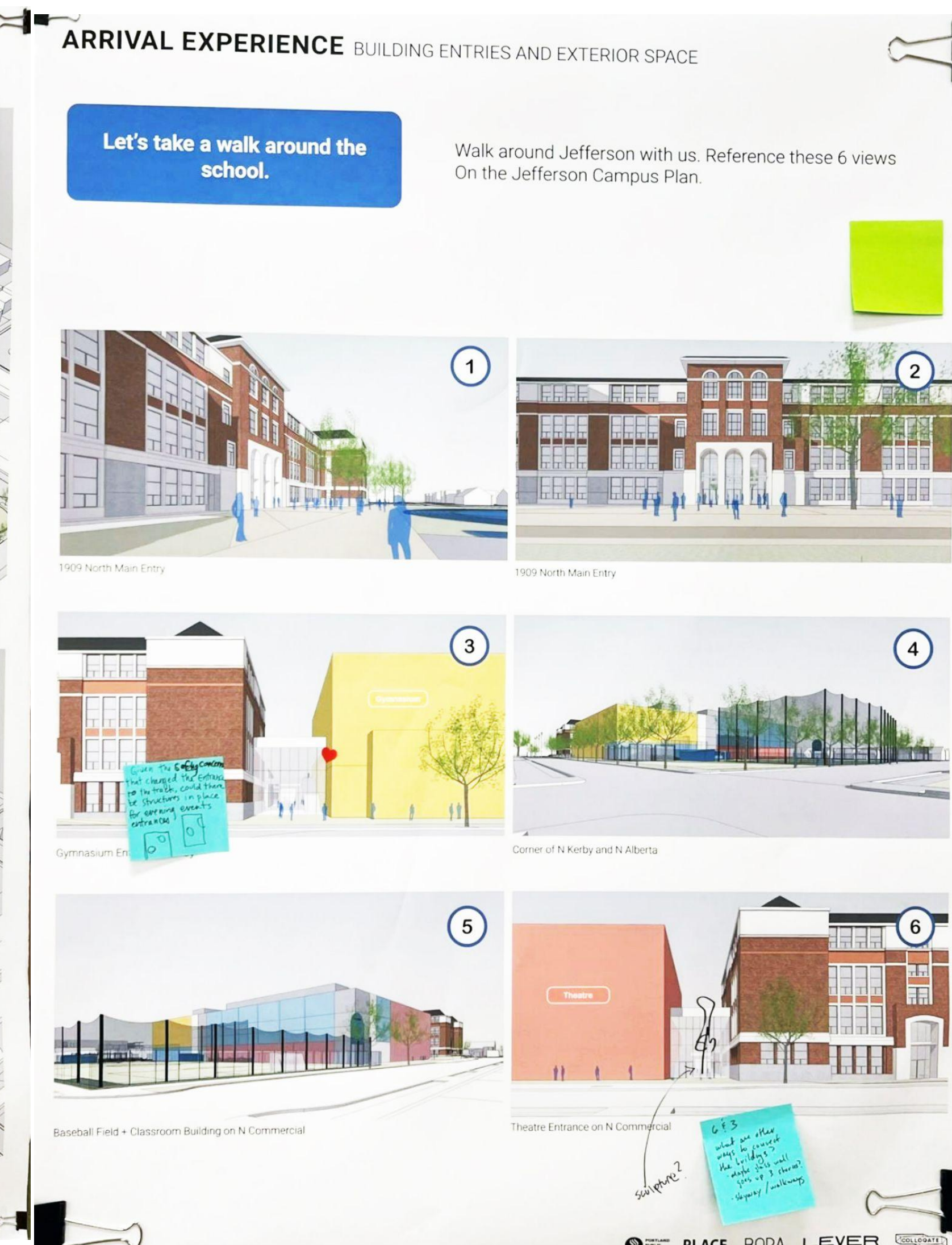
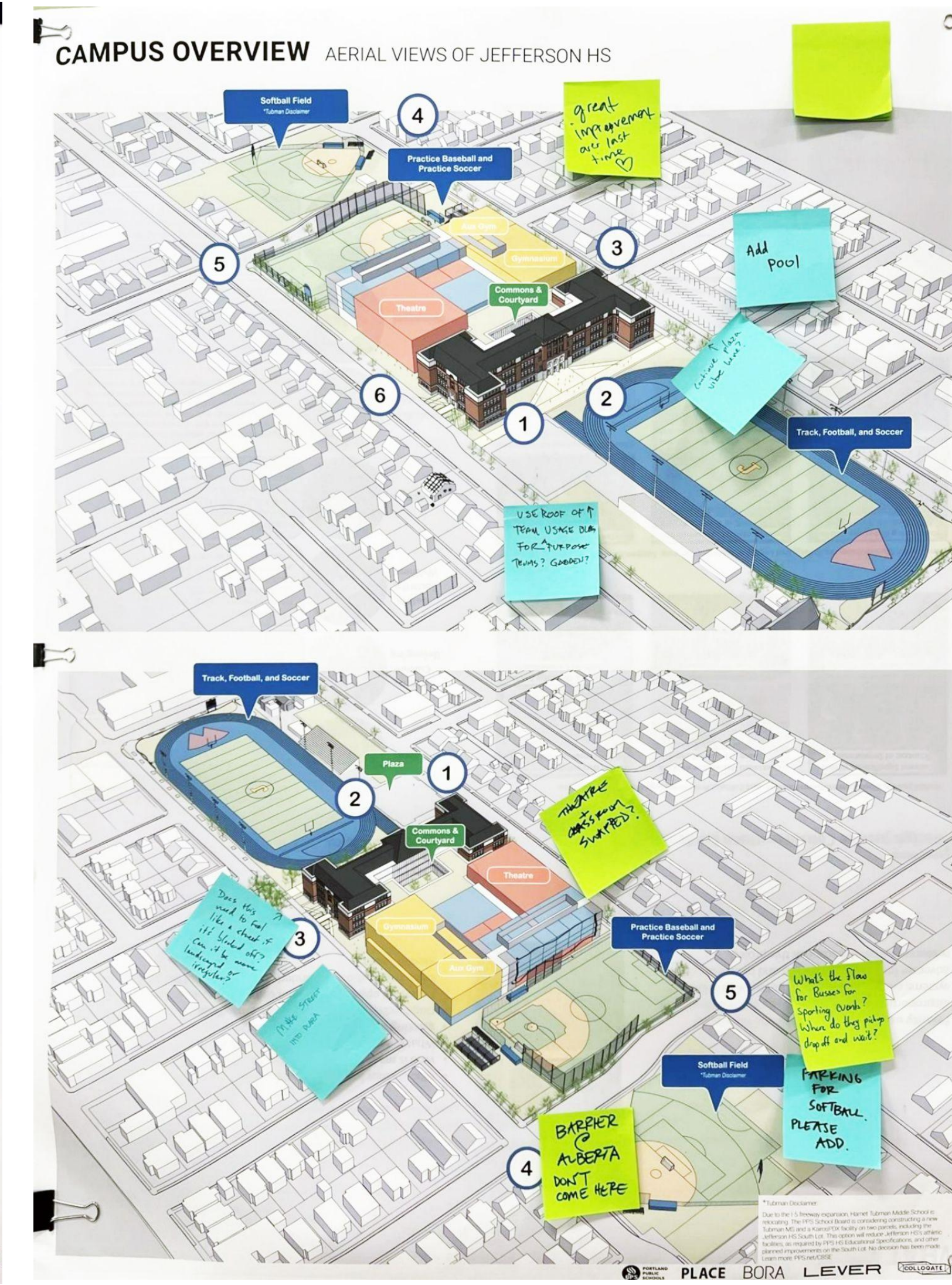
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Boards with Community Comments



Design Advice Group (DAG) #2

Boards with Community Comments



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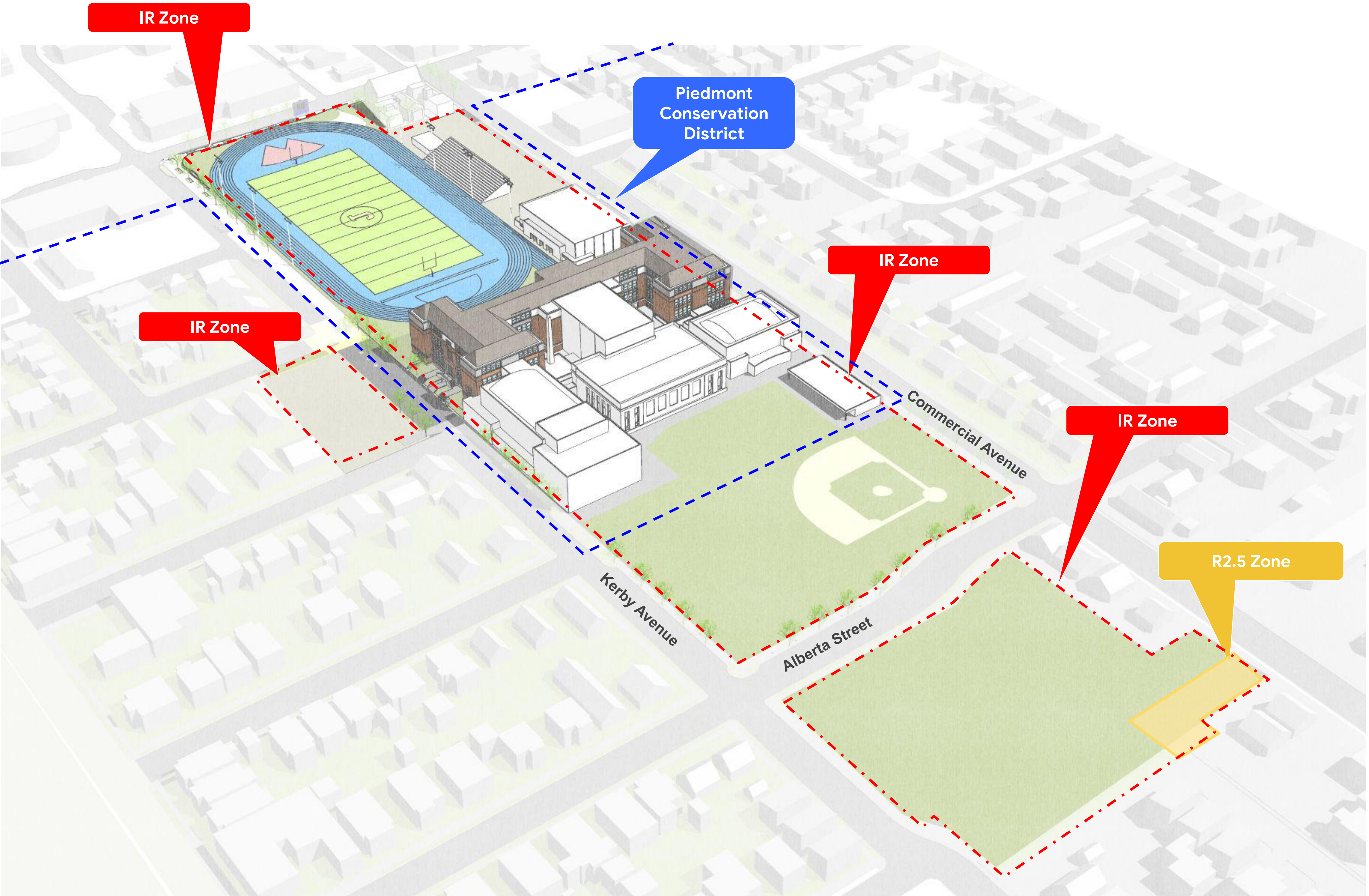
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Jefferson Site

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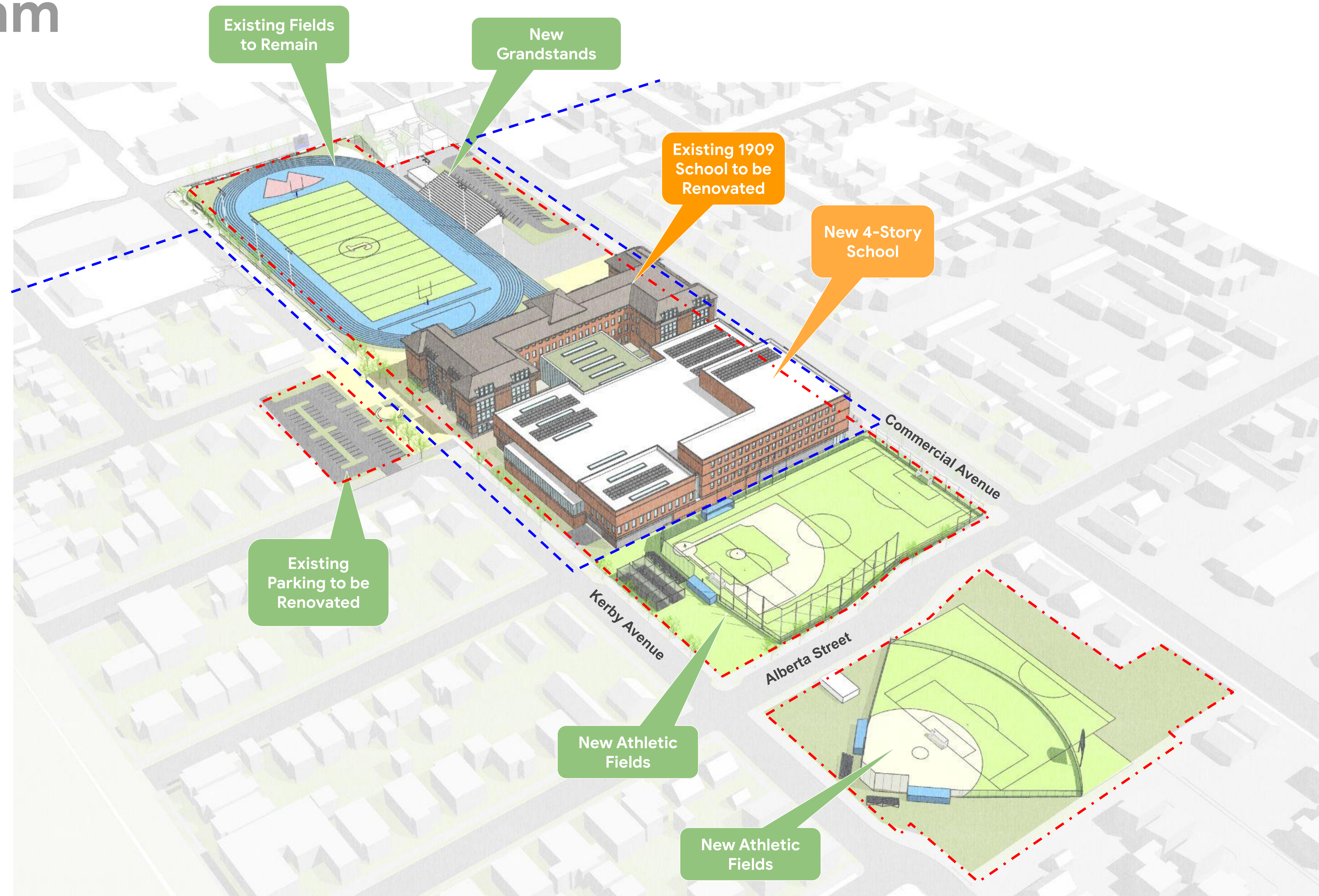
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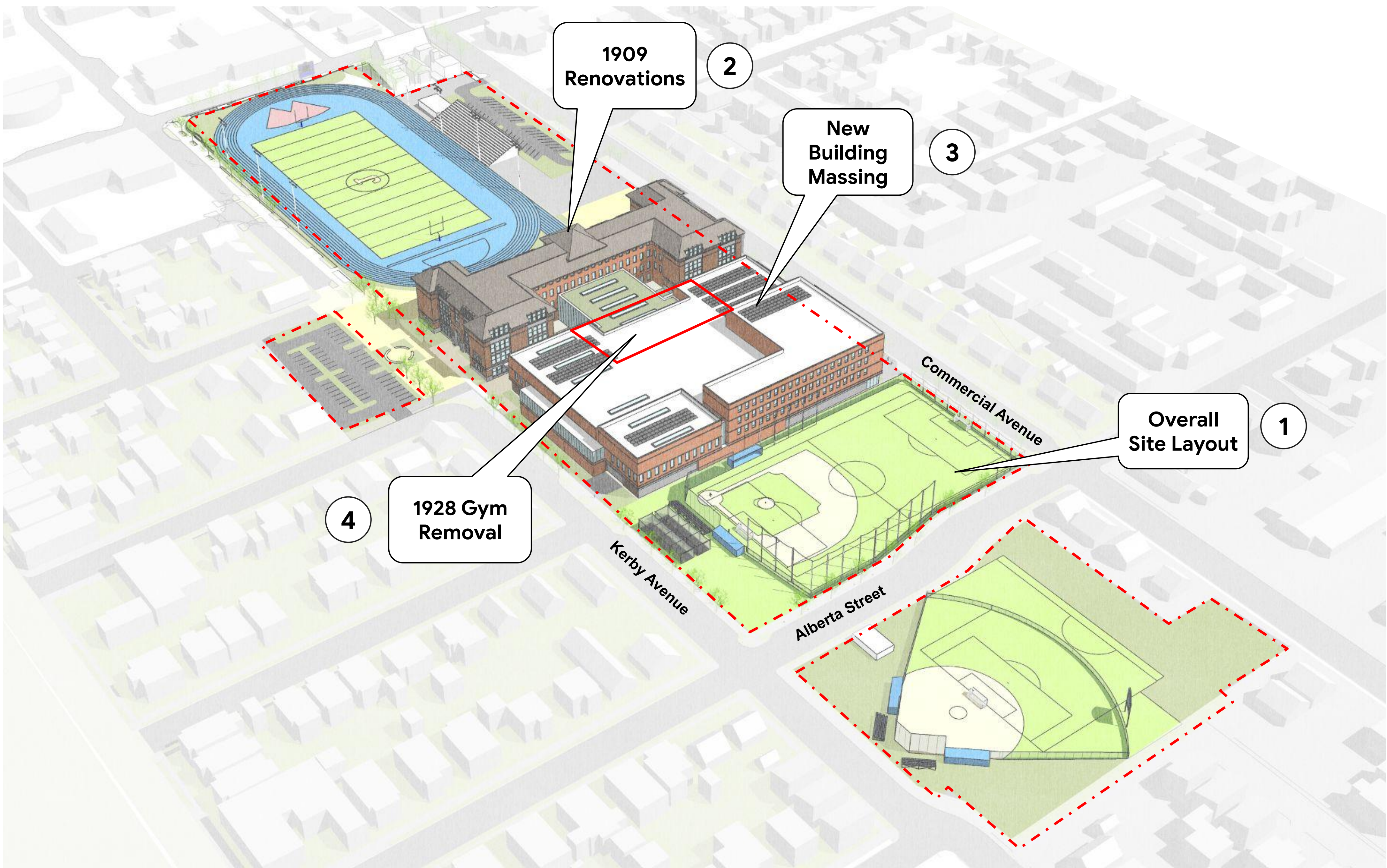
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- Practice baseball and soccer fields
- Softball field
- Student outdoor gathering spaces
- Bike parking and Vehicular Parking



DAR #2 Discussion Topics

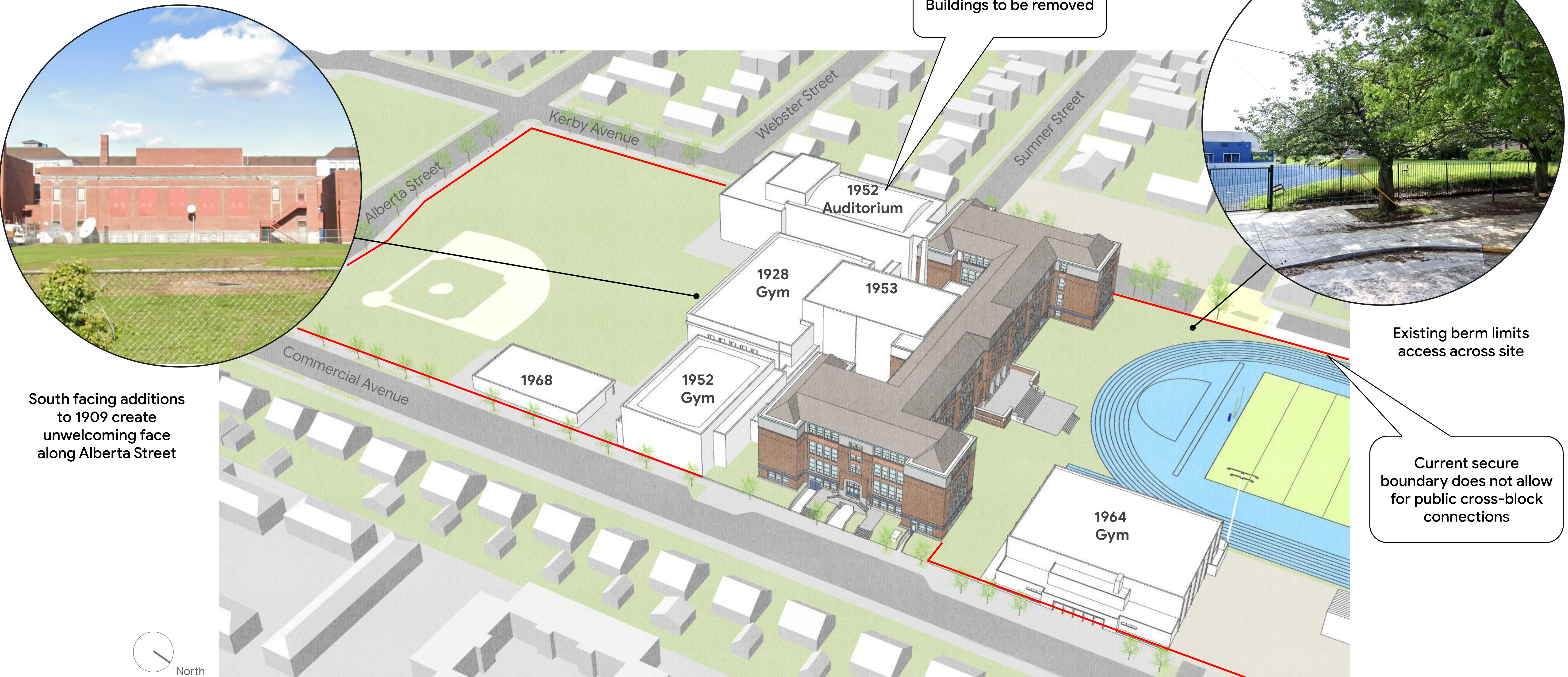
- ① **Overall Site Layout**
New Building and Athletic fields locations
Public Cross-Block Connection
North Main Entry and site hierarchy
- ② **1909 Renovations**
Making Level A the main floor and entry by removing the stairs and berm, rewire roof
- ③ **New Building Massing**
Massing, Scale and Compatibility with the existing 1909 building and the neighborhood
- ④ **1928 Gym**
Remove 1928 gym to enable the new building and find ways to memorialize it in the new project

Discussion + Questions



1. Overall Site Layout

Current Jefferson High School Campus

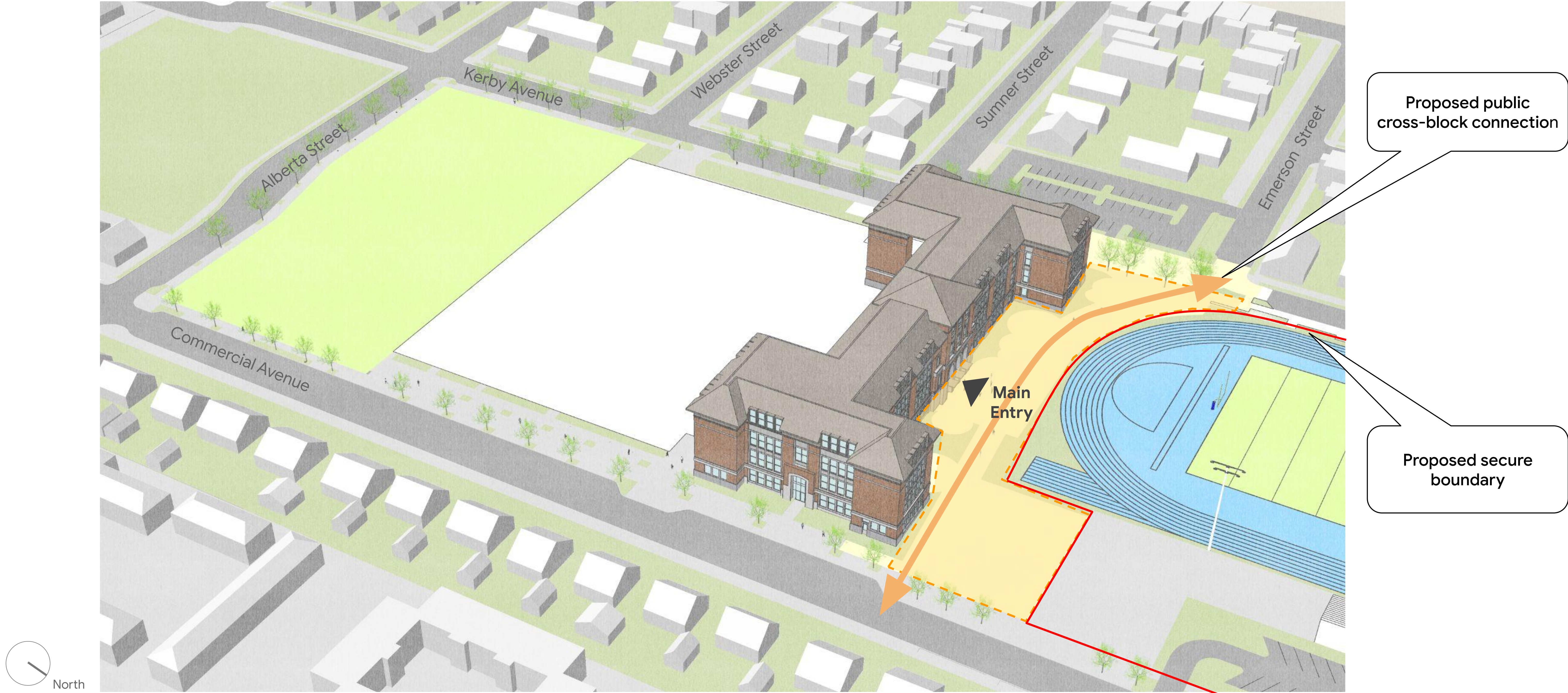


Buildable Areas

Athletics and academics are an important part of the Jefferson community. The proposed design optimizes the available site area.



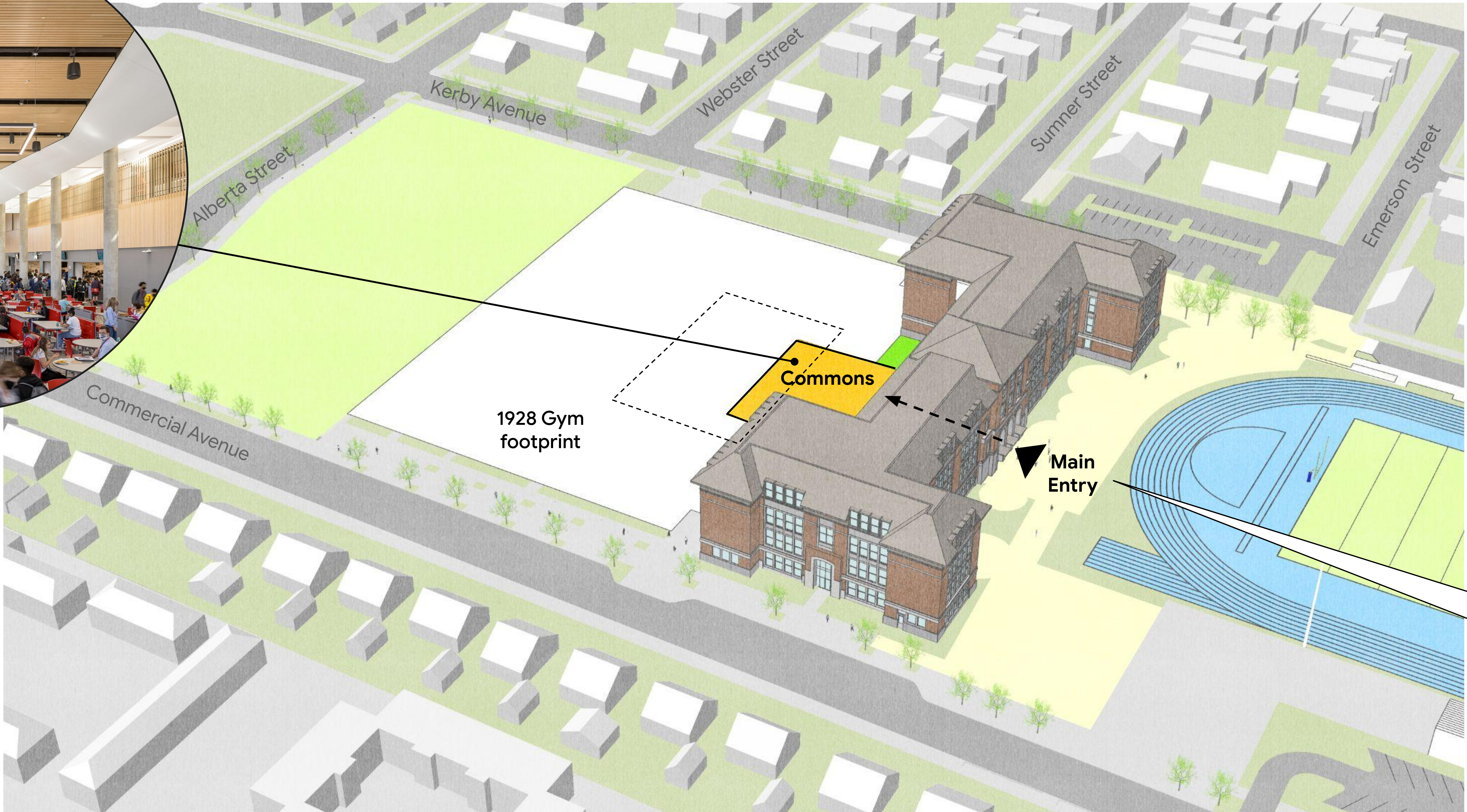
Re-Establish Crossblock Connection + North Entry



Central Commons



A centrally located Commons becomes the heart the school.
McDaniel HS

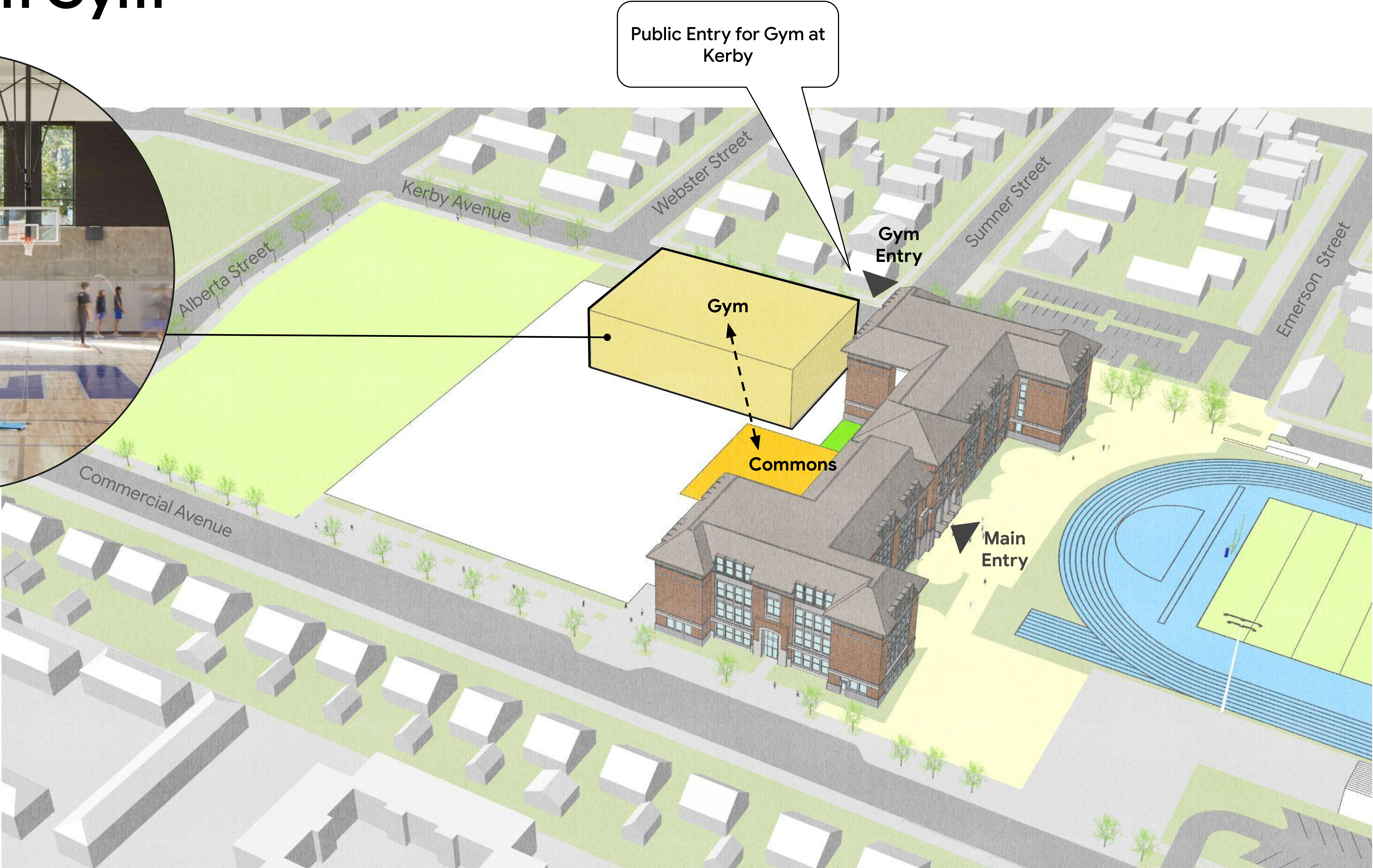


Main Entry connects directly to Commons at Level A

New Main Gym



Grant HS

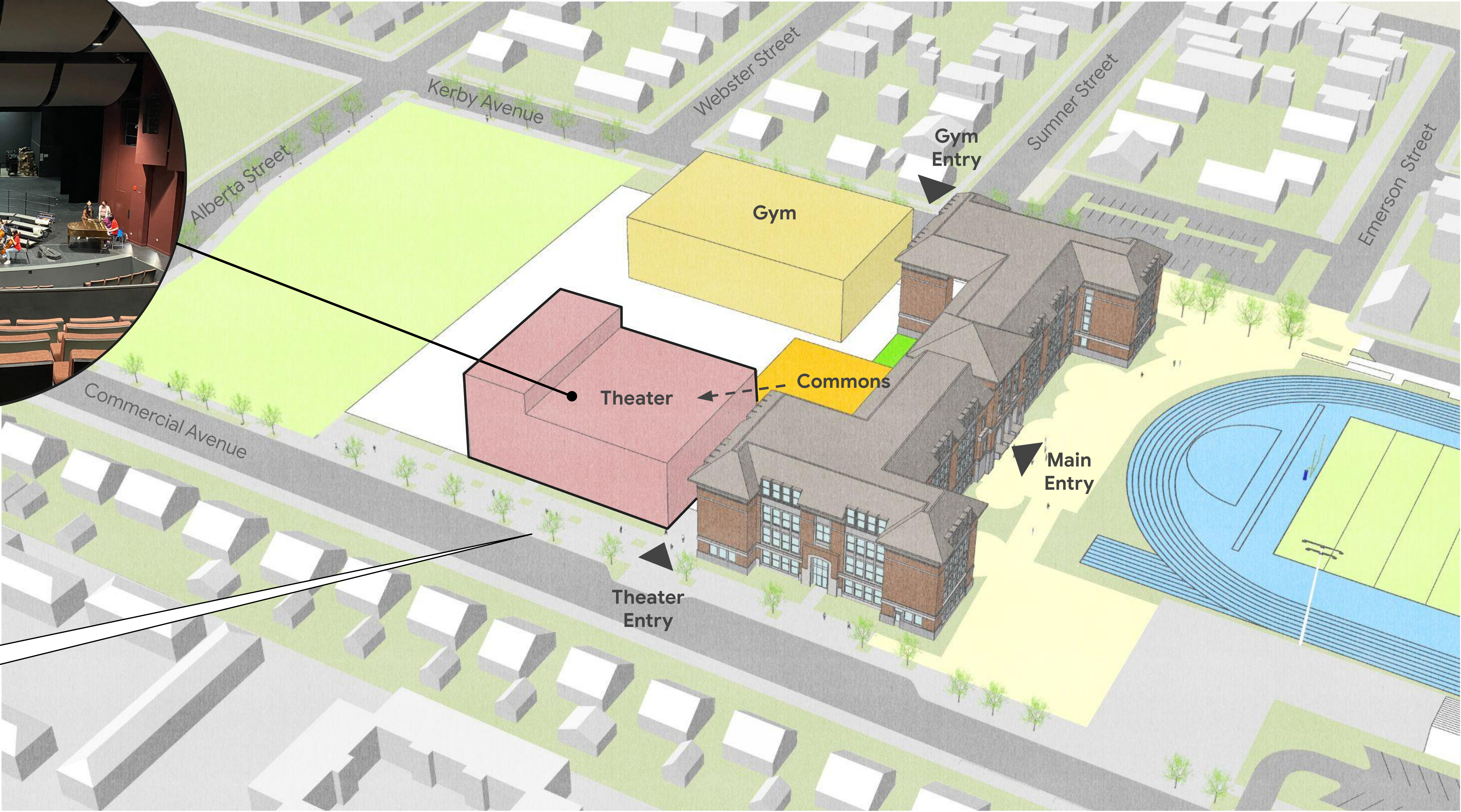
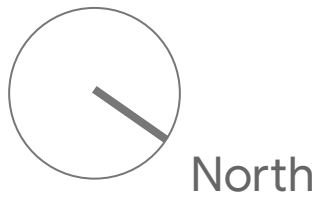


New Theater



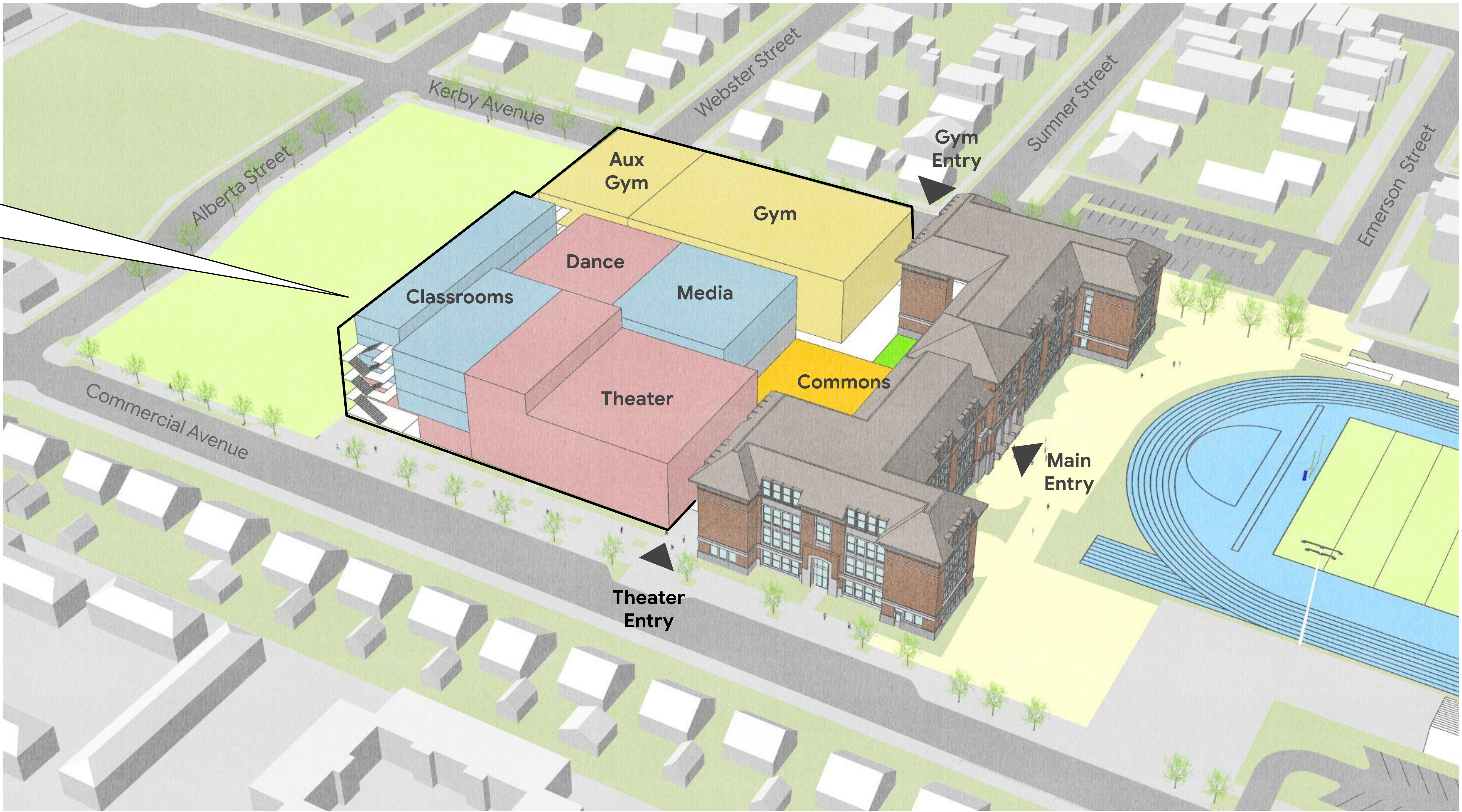
Lincoln HS

Public Entry for Theater
at Commercial

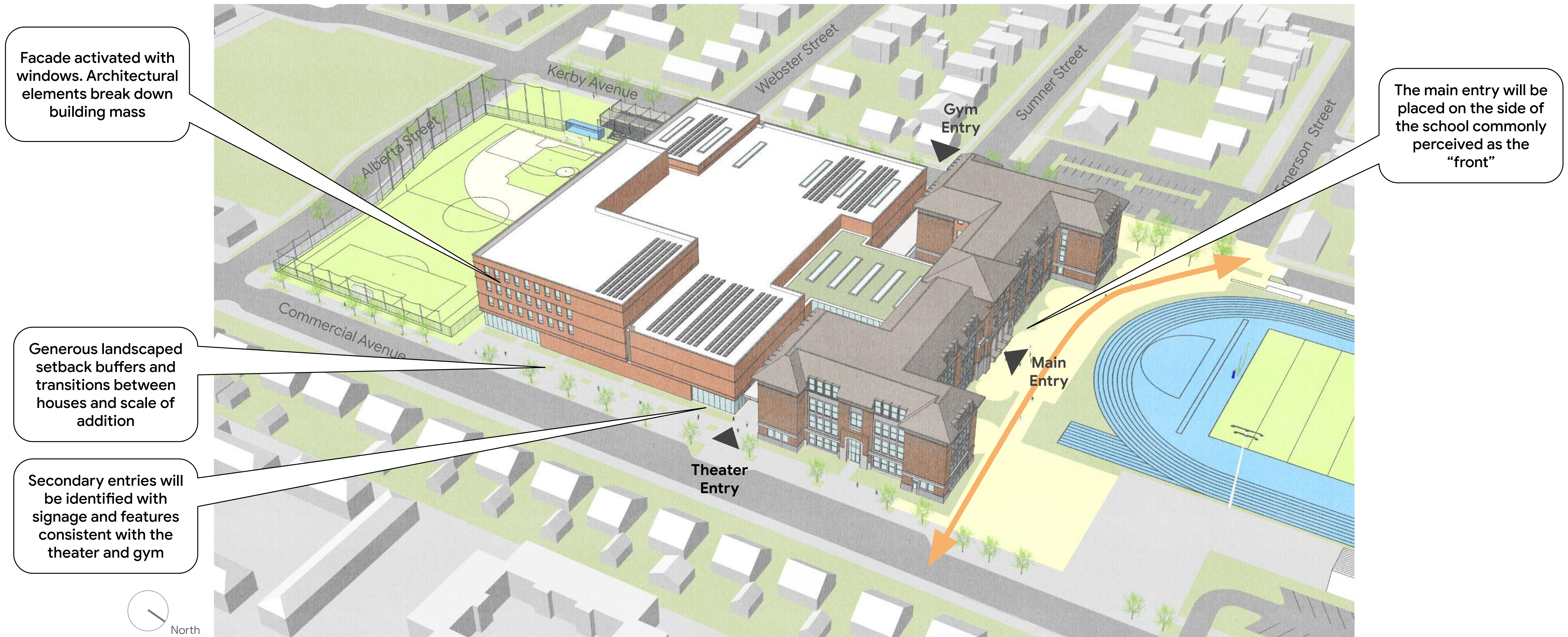


Classroom Program

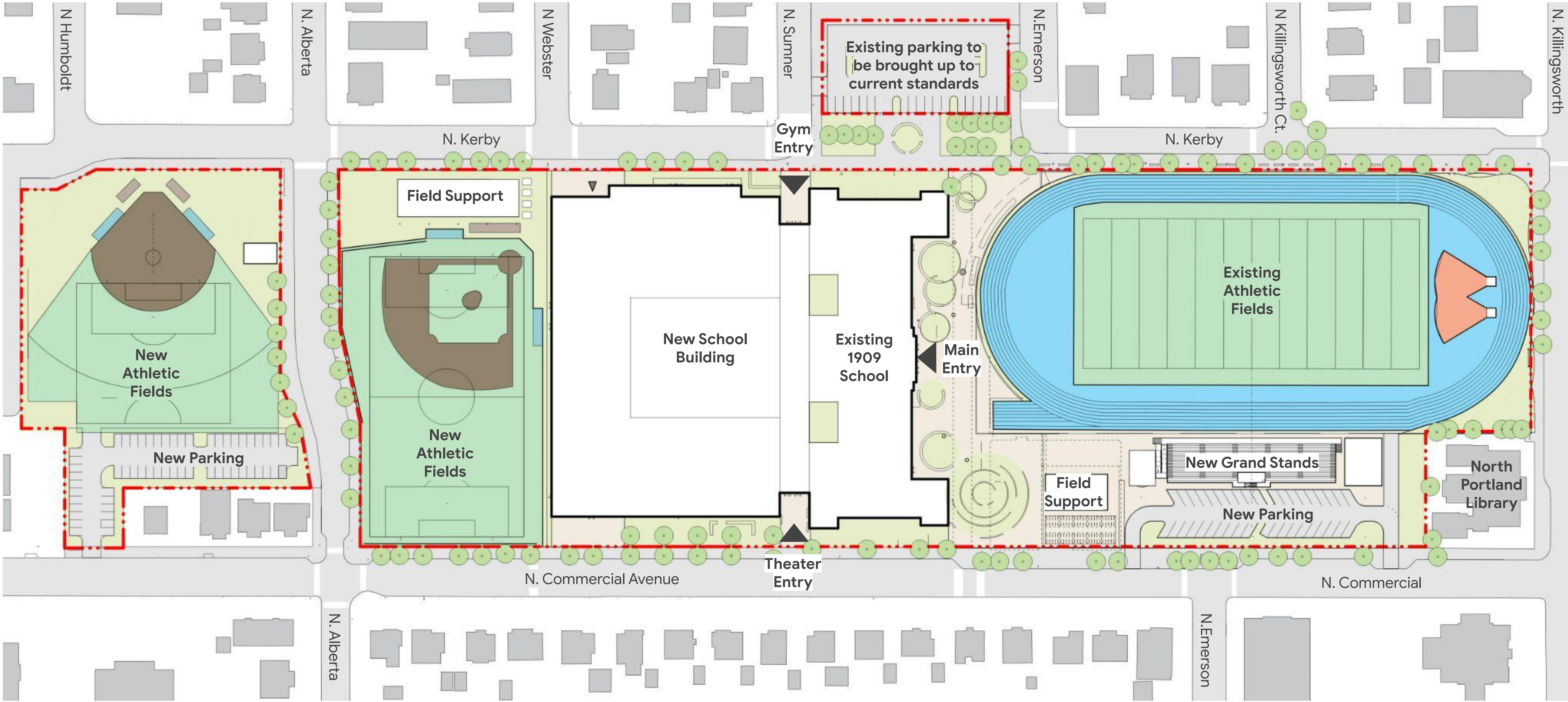
Classrooms face south to minimize glare and for easier control of solar heat gain



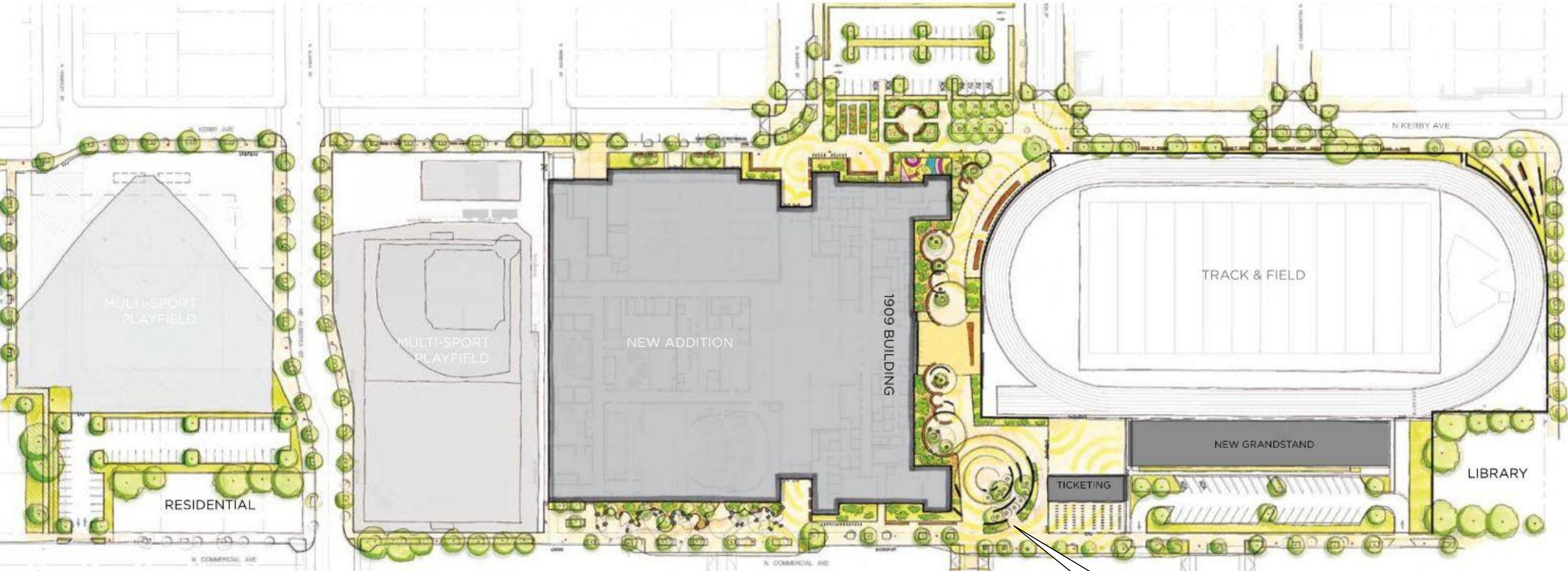
Proposed Massing



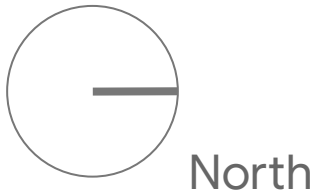
Site Plan



Landscape Site Plan



Landscape design will create a variety of new public spaces



2. 1909 Renovation



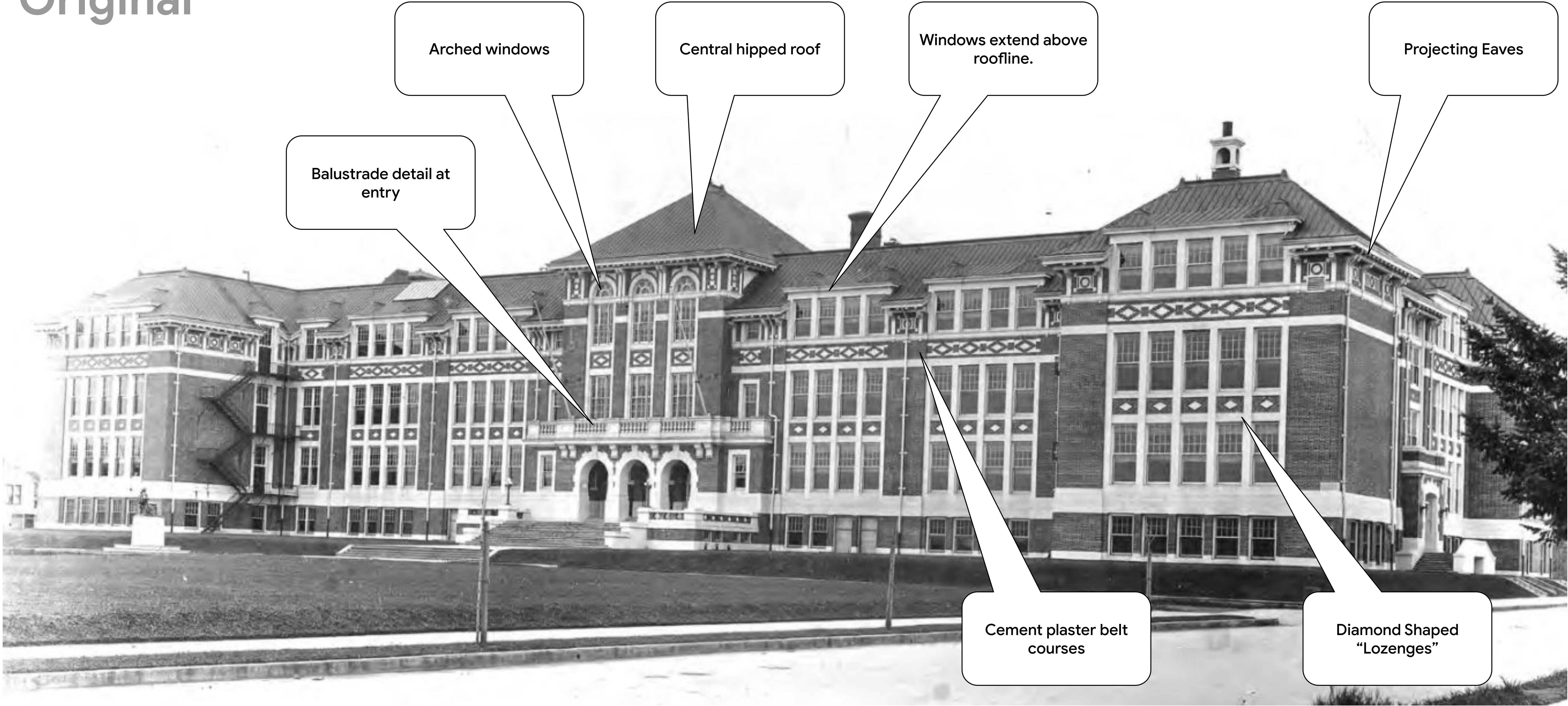
‘People used to make postcards of our school.
Wouldn’t it be cool if our school was beautiful and
people wanted to make postcards of it again?’
- *Jeff Student*

1909



North Elevation

Original

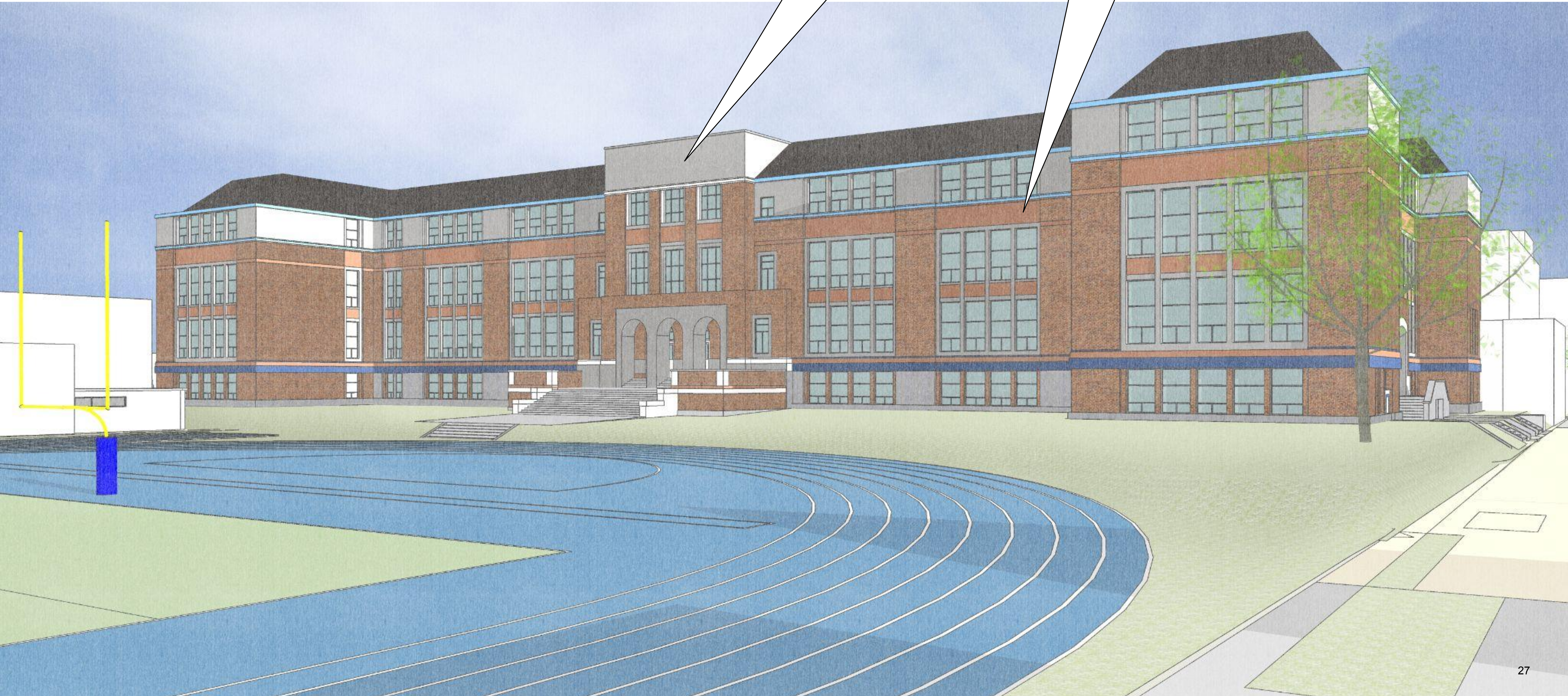


North Elevation

Current

Existence of original arched windows to be investigated Summer 2023

Condition of diamond brickwork to be investigated Summer 2023



North Elevation

Proposed

Bring back original roof form

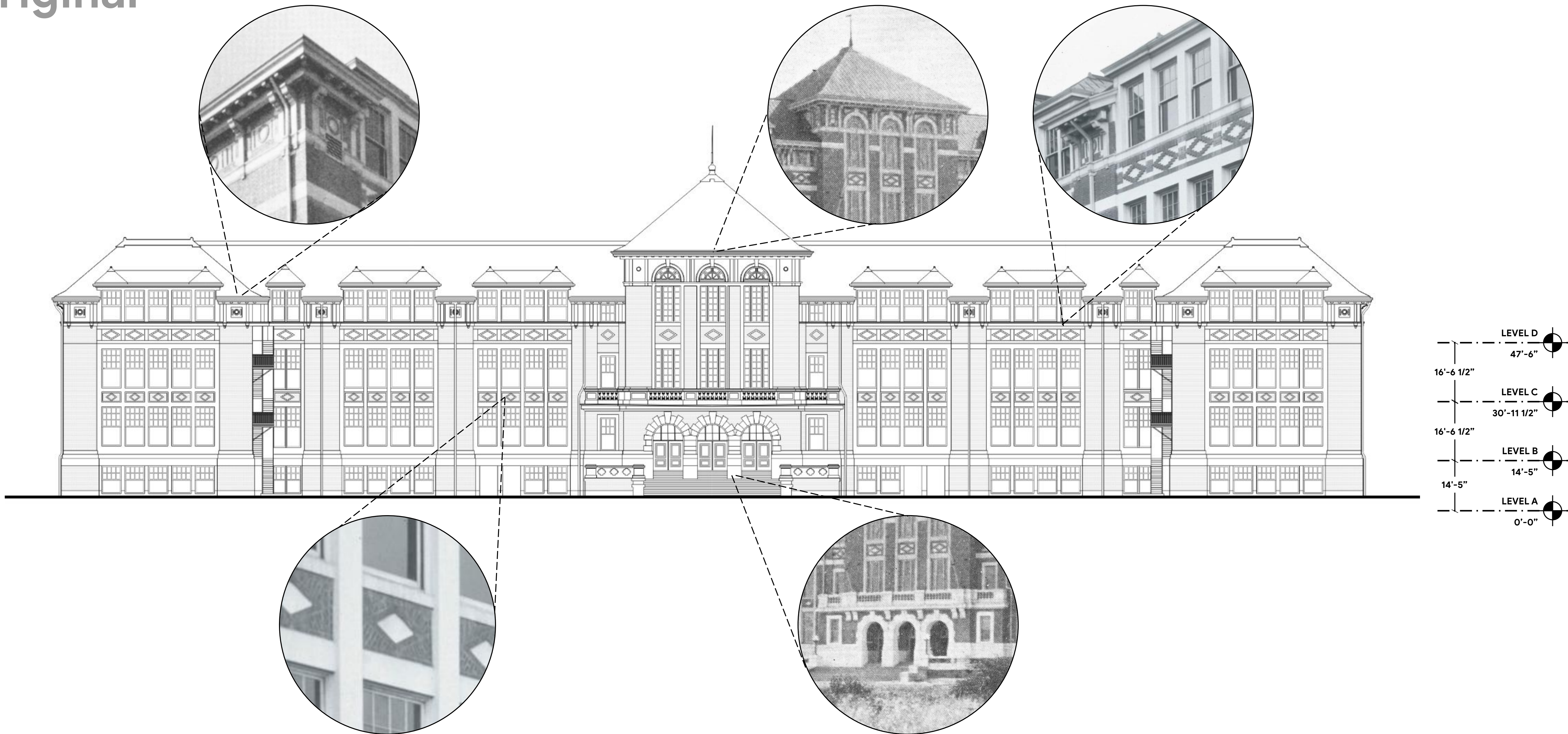
Restore arched windows if possible

Restore diamond lozenges if possible

Reactivate main building entry on the north

North Elevation

Original



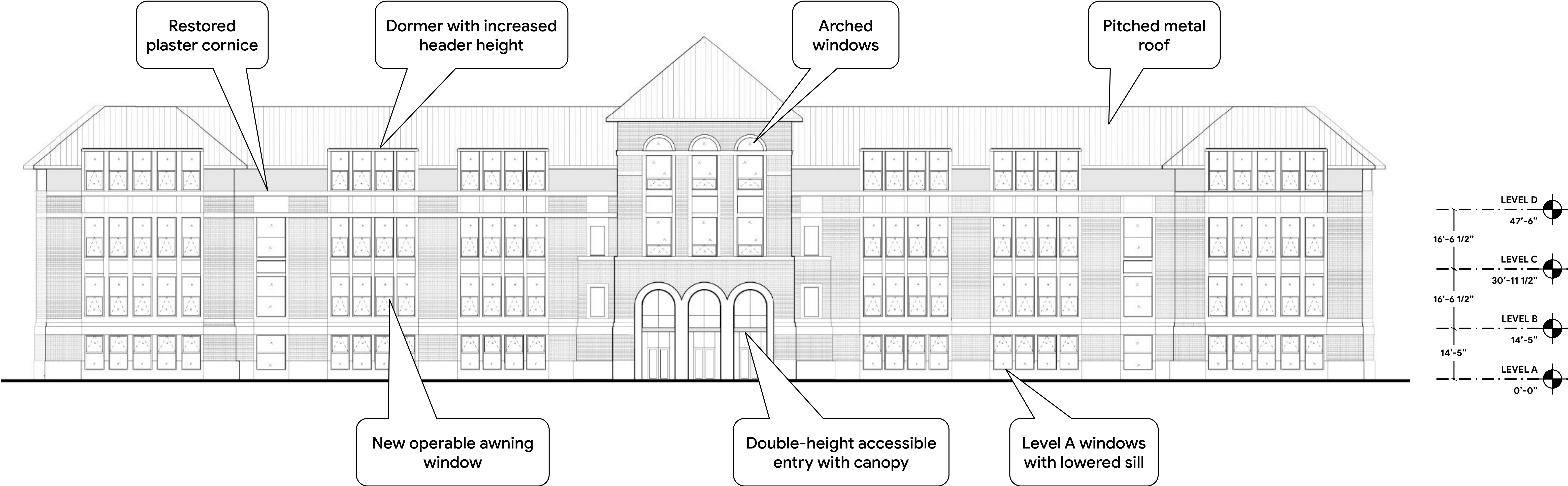
North Elevation

Current



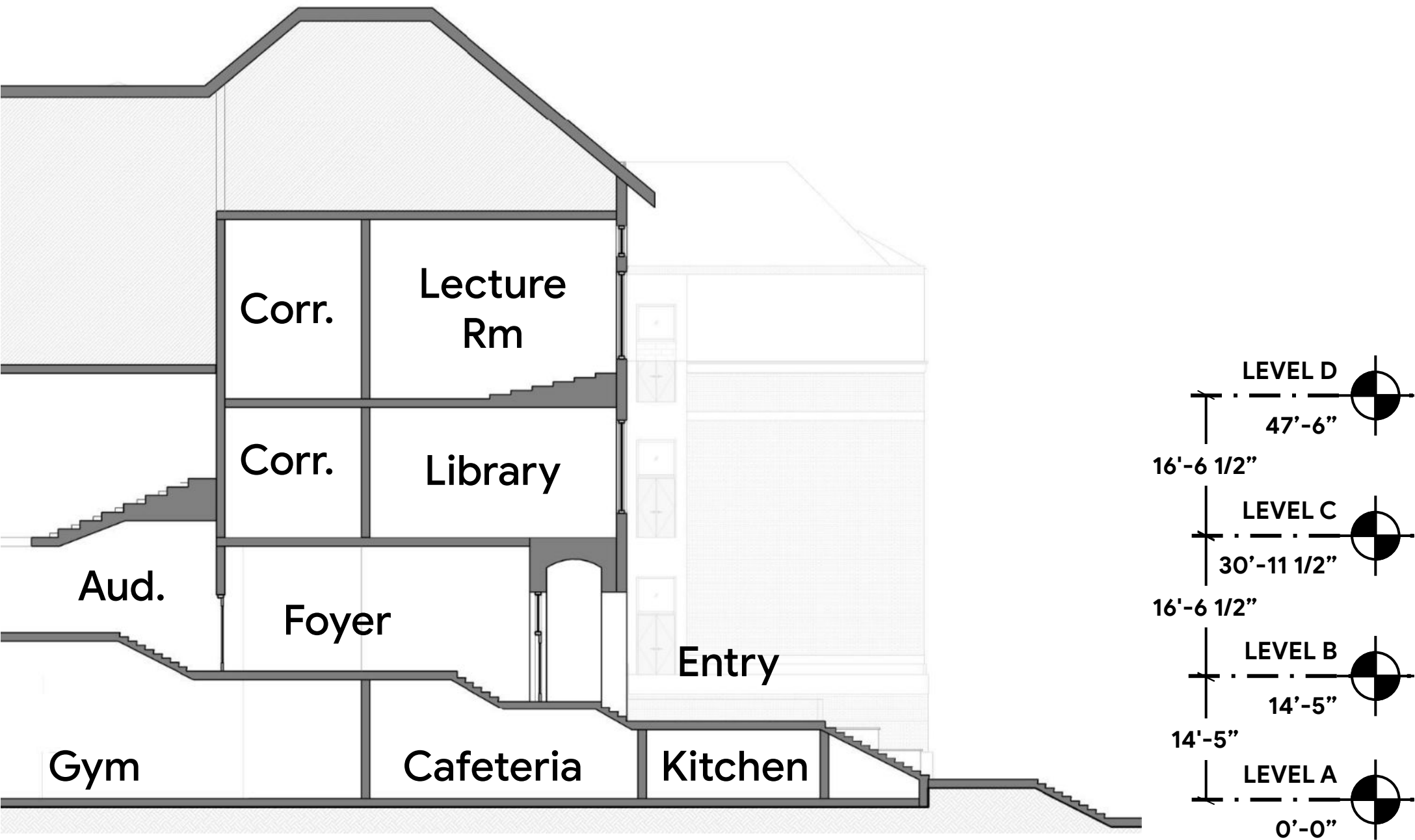
North Elevation

Proposed

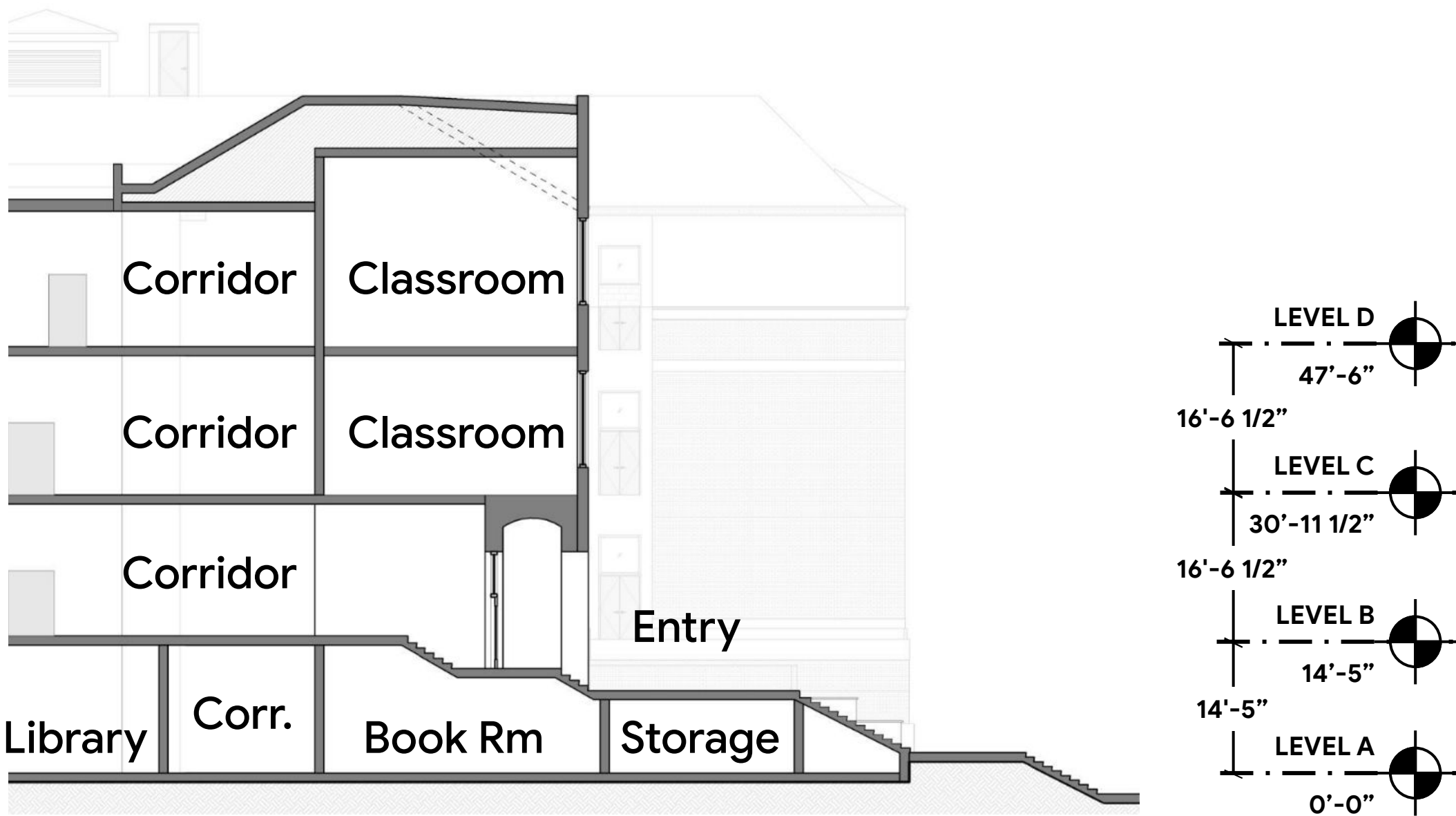


1909 North Entry

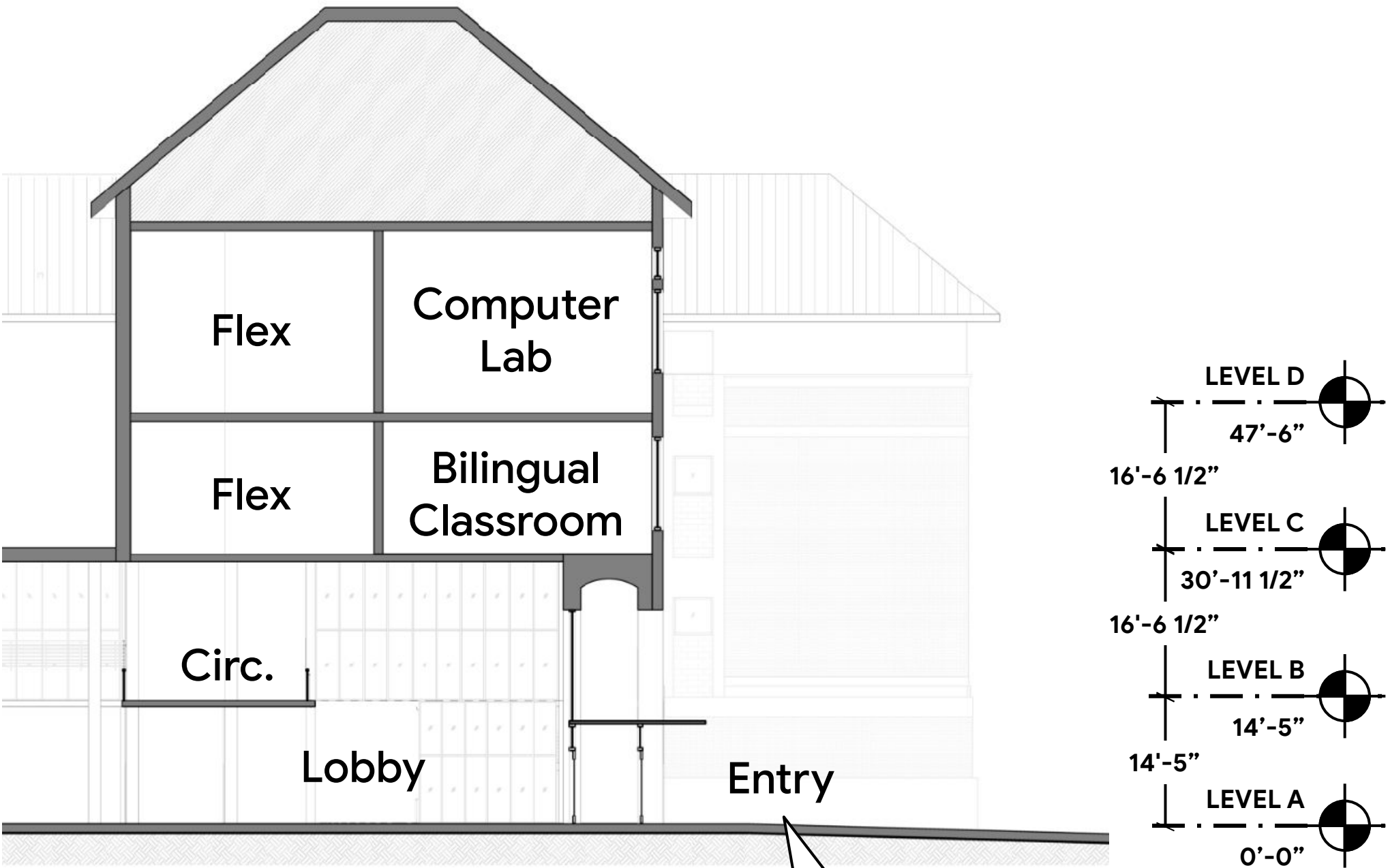
Building Sections



Original North Entry



Current North Entry

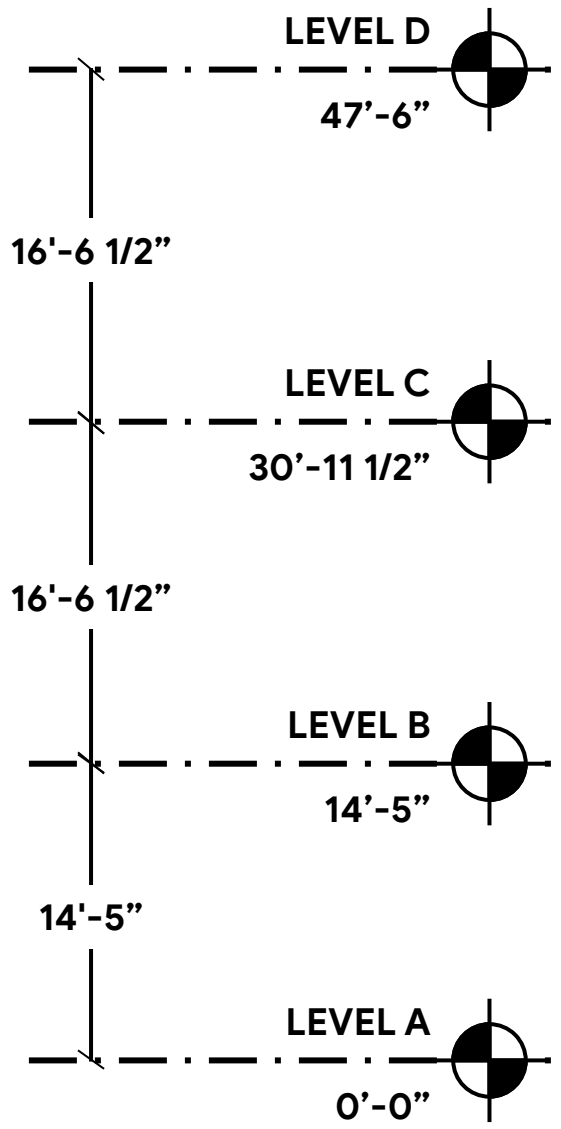
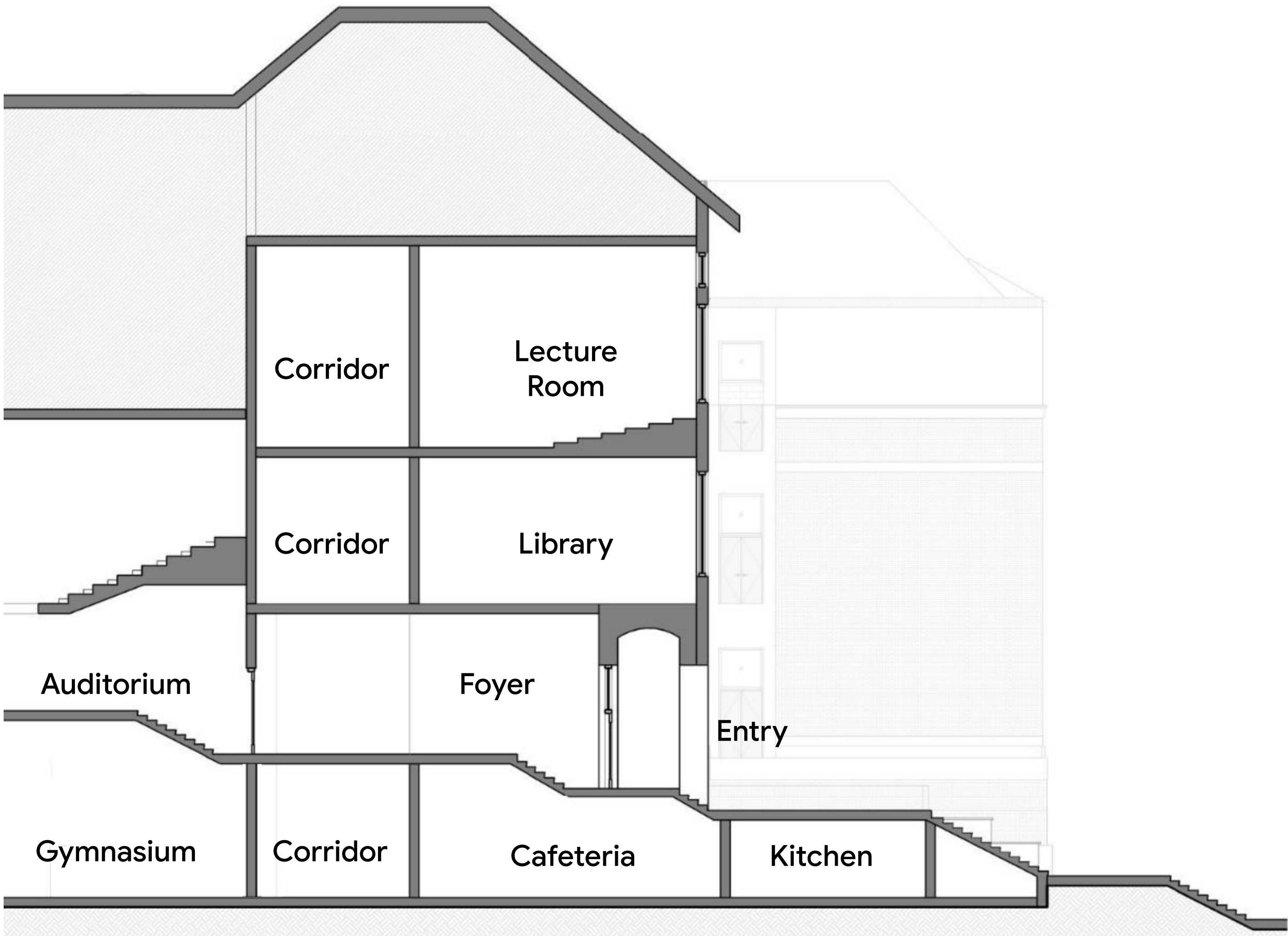
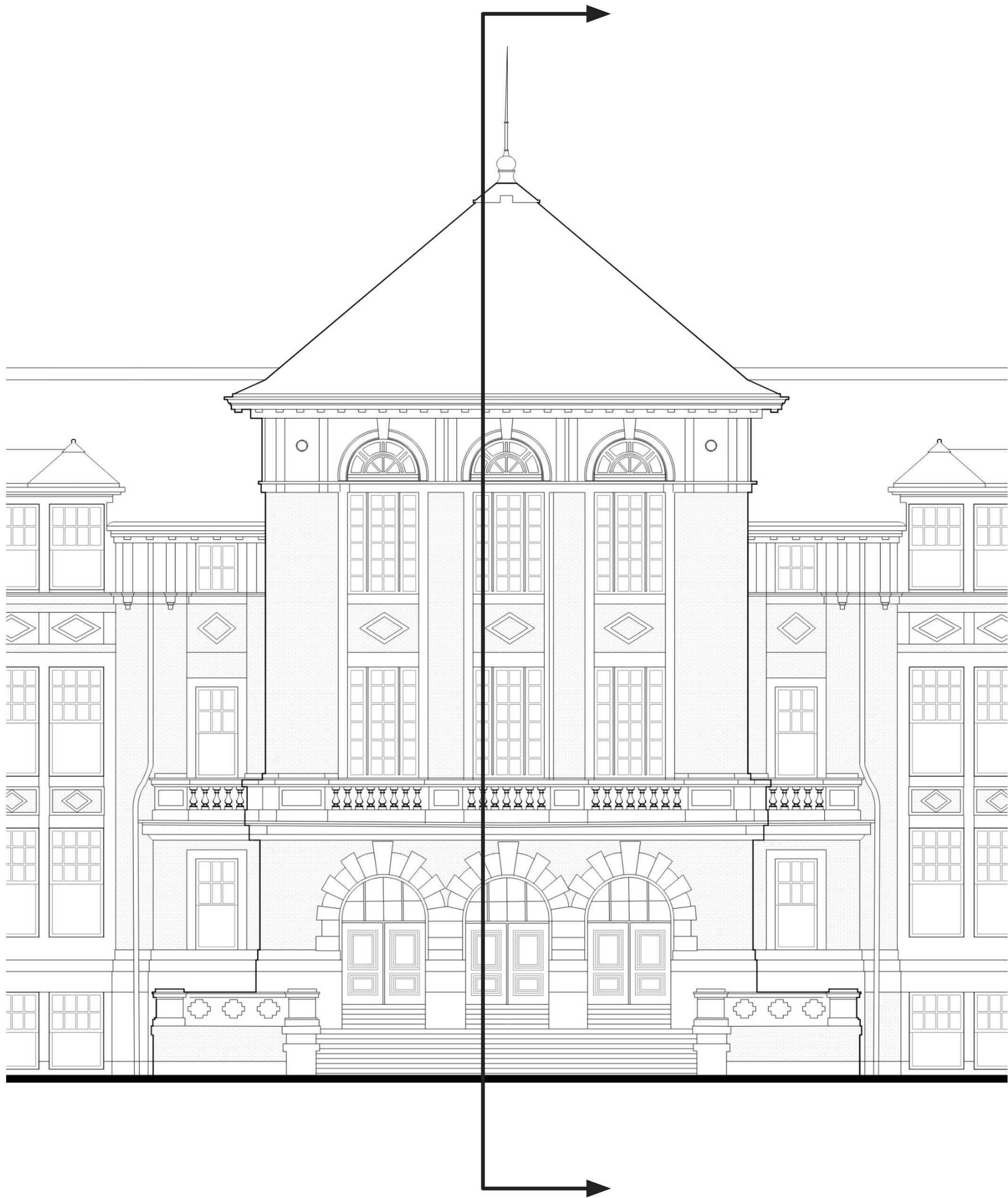


Proposed North Entry

Accessibility is an important driver for the North Entry redesign

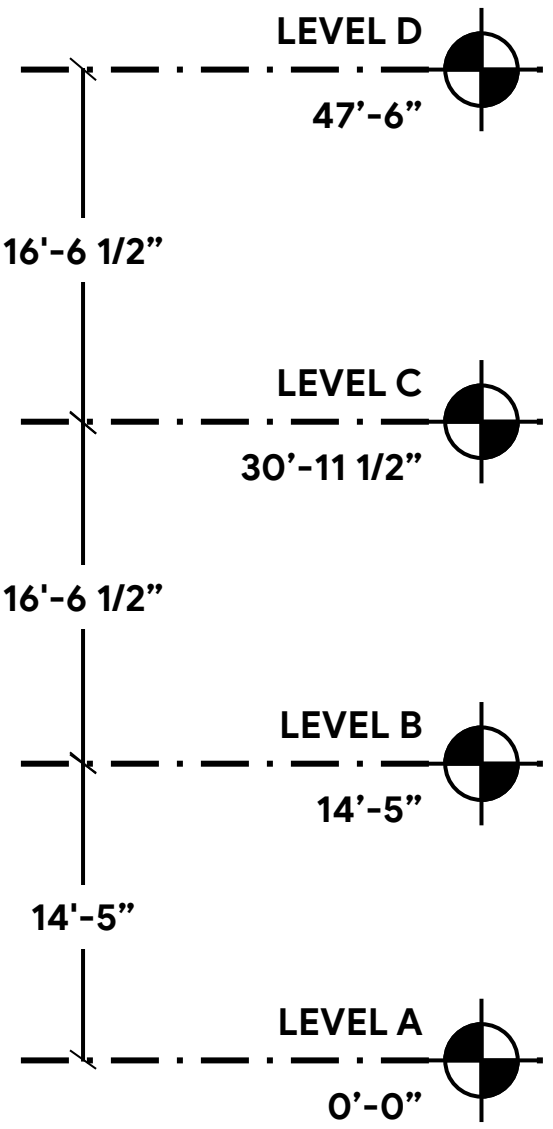
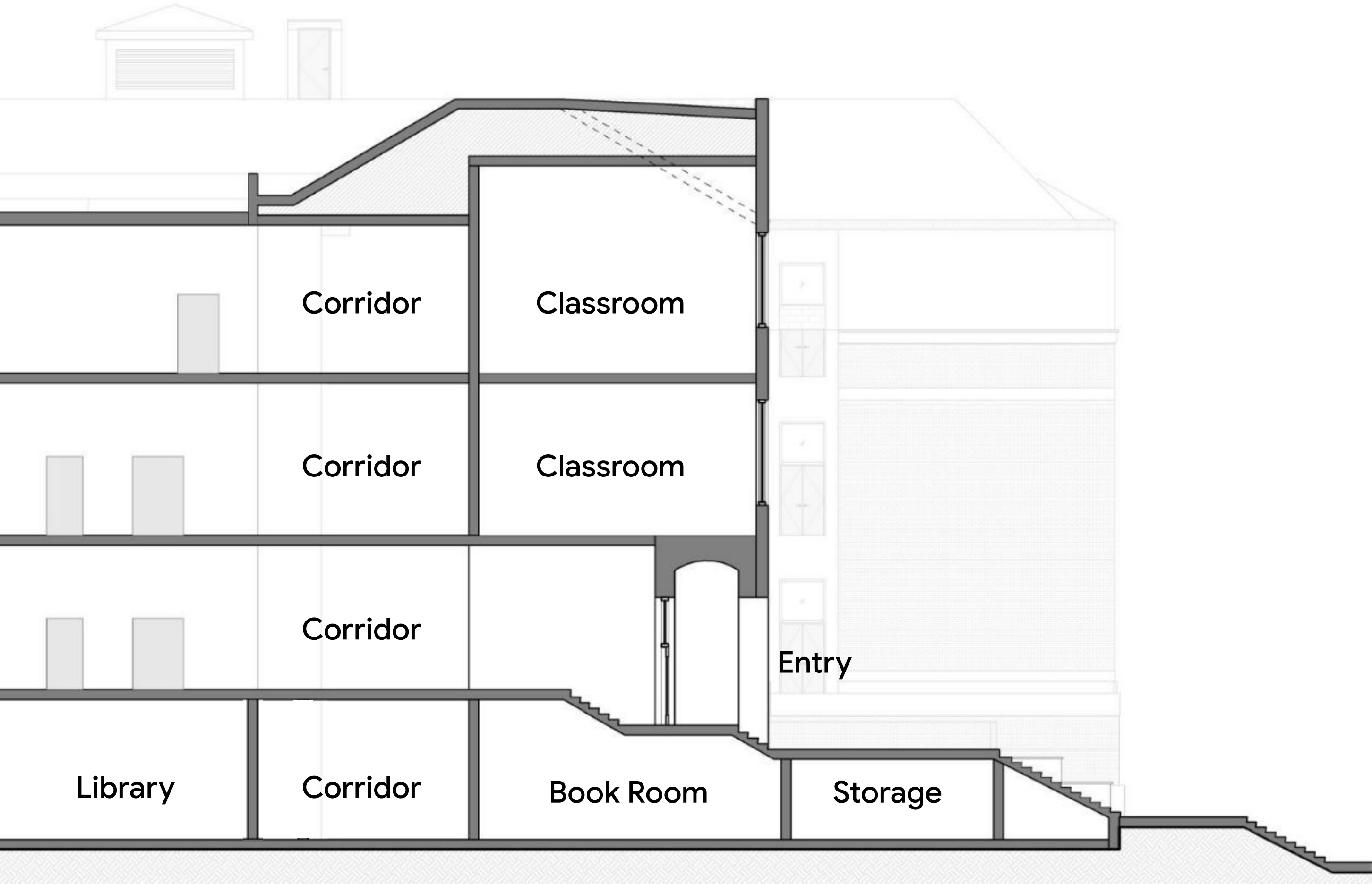
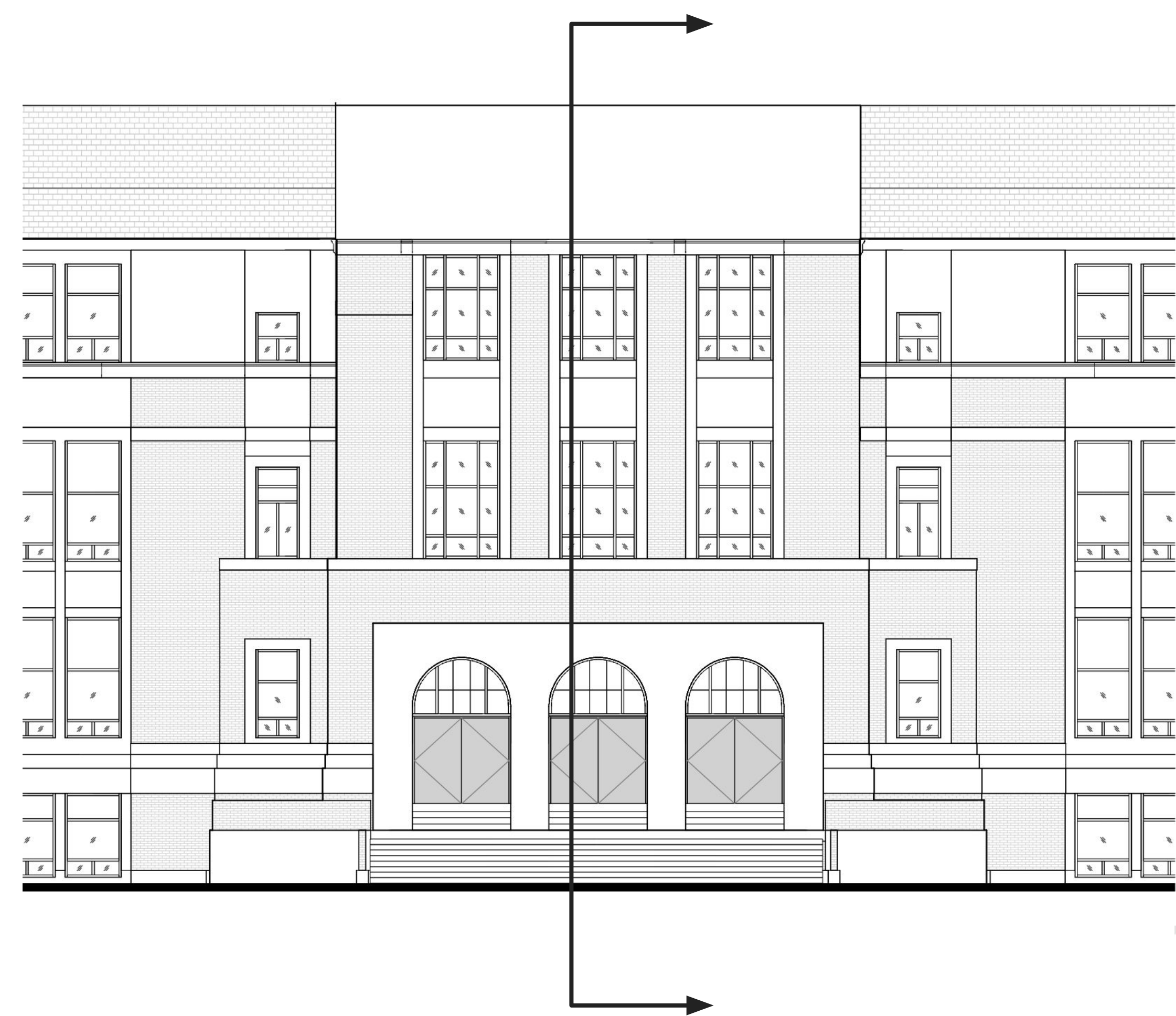
1909 North Entry

Original



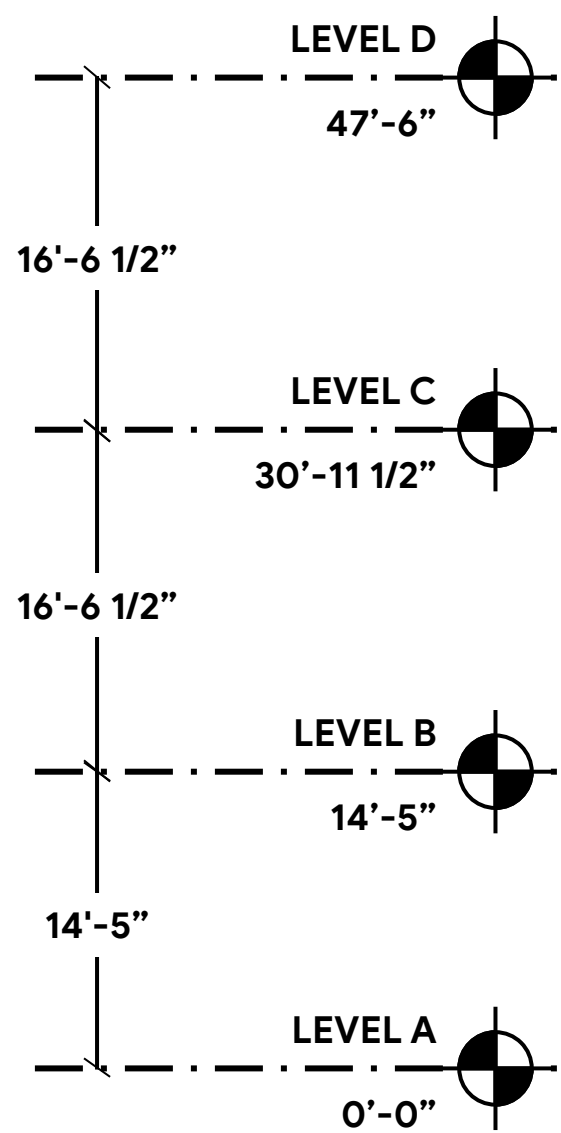
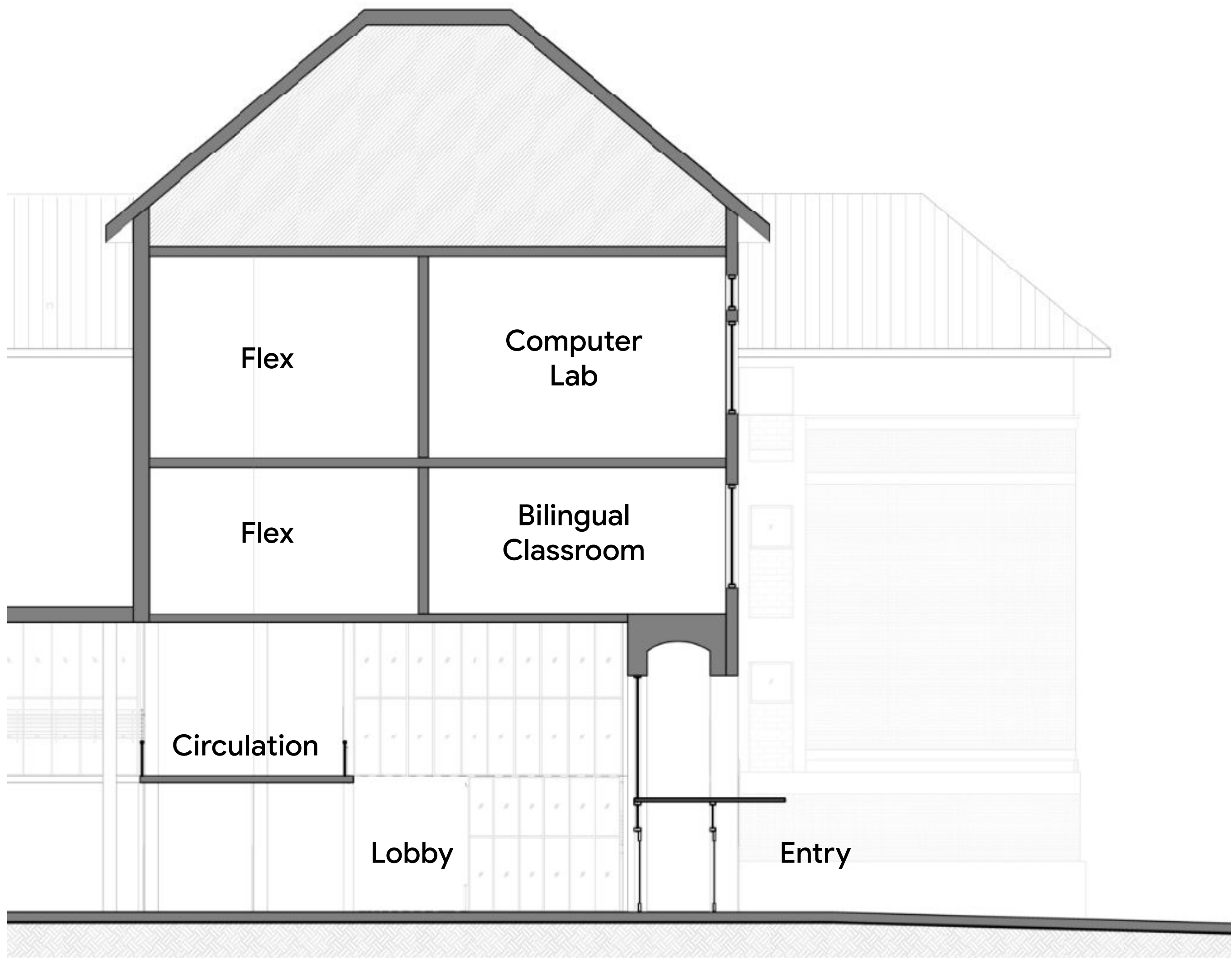
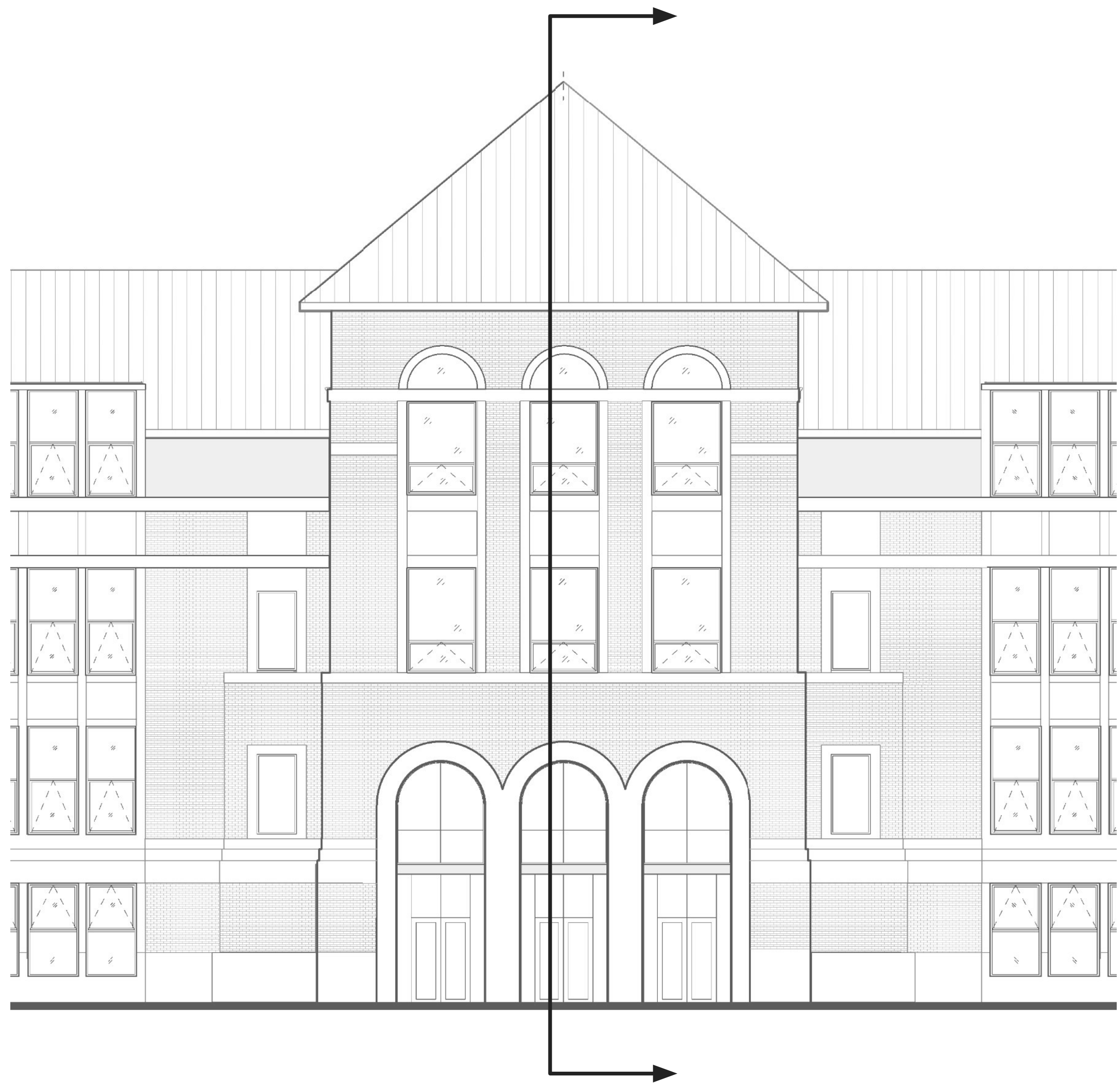
1909 North Entry

Current

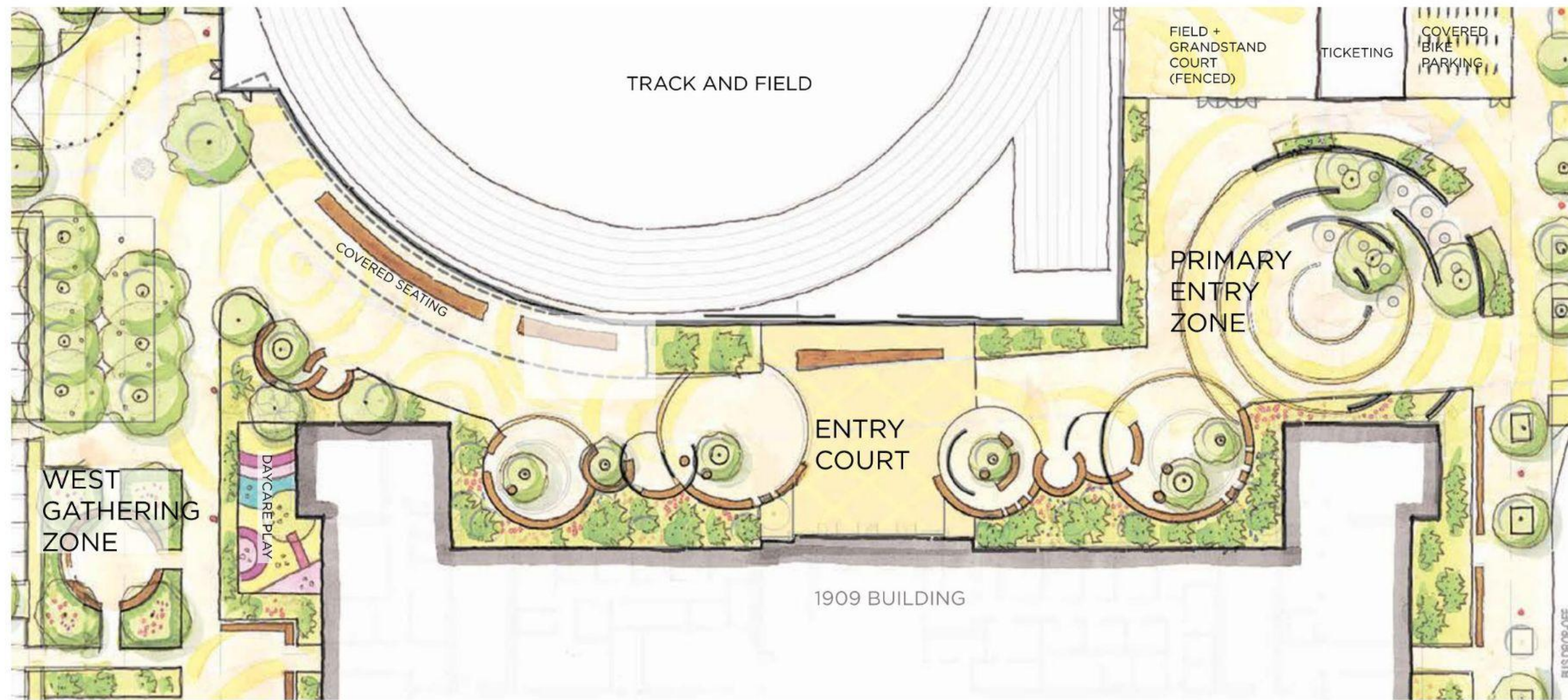


1909 North Entry

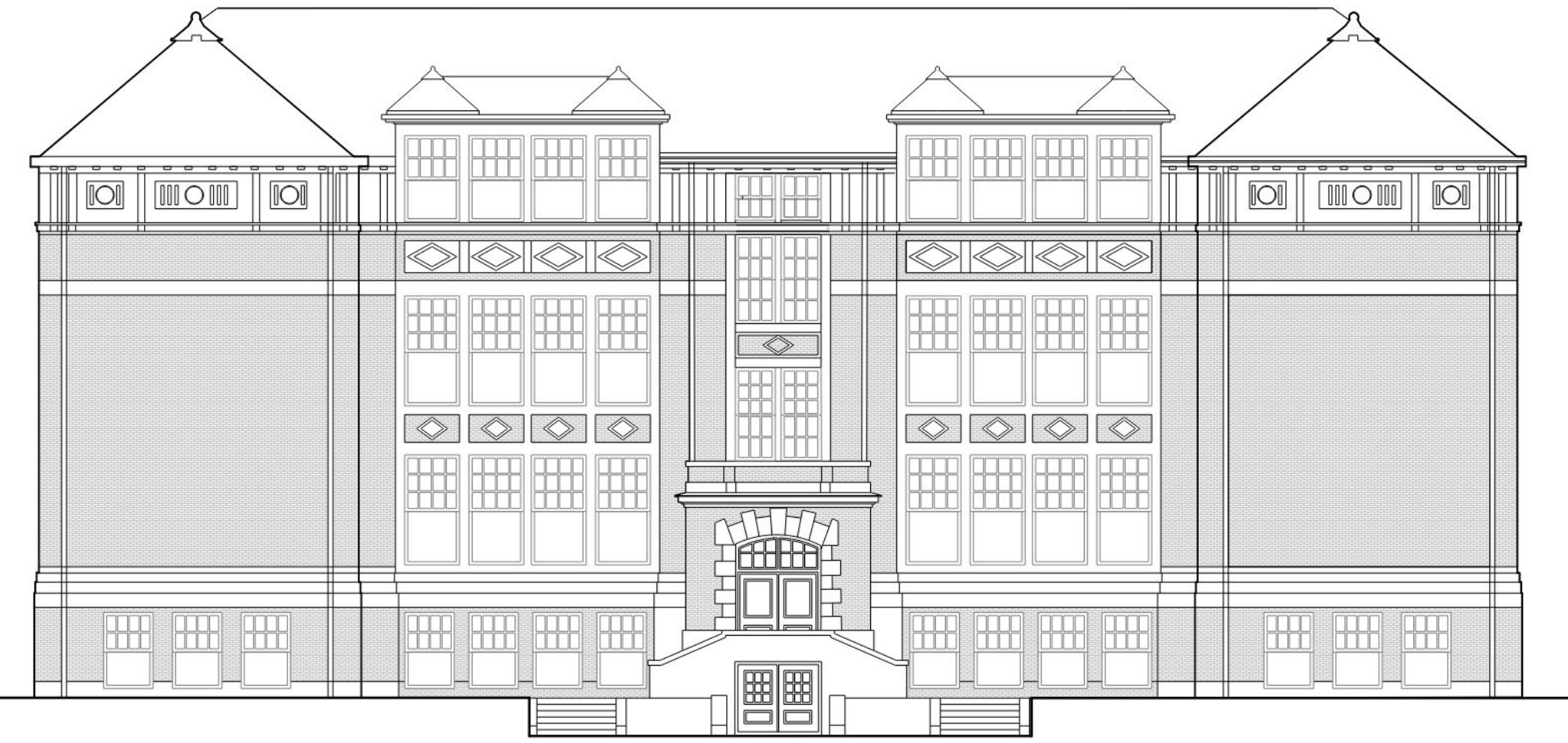
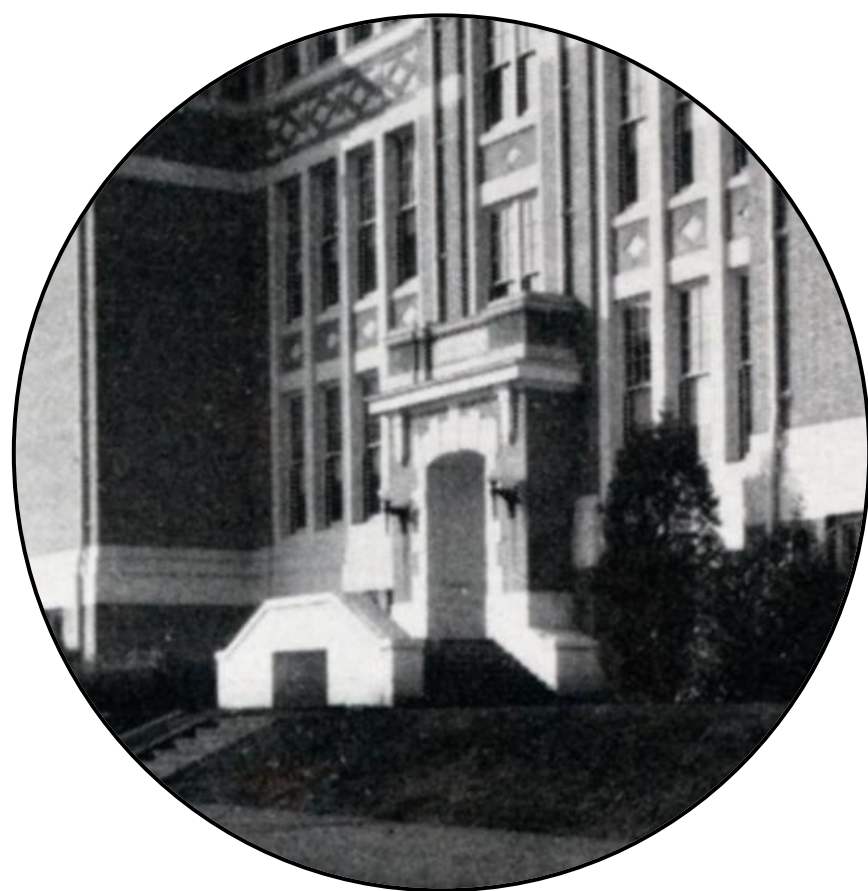
Proposed



North Landscape



East / West Facade Elevations



Original Elevation



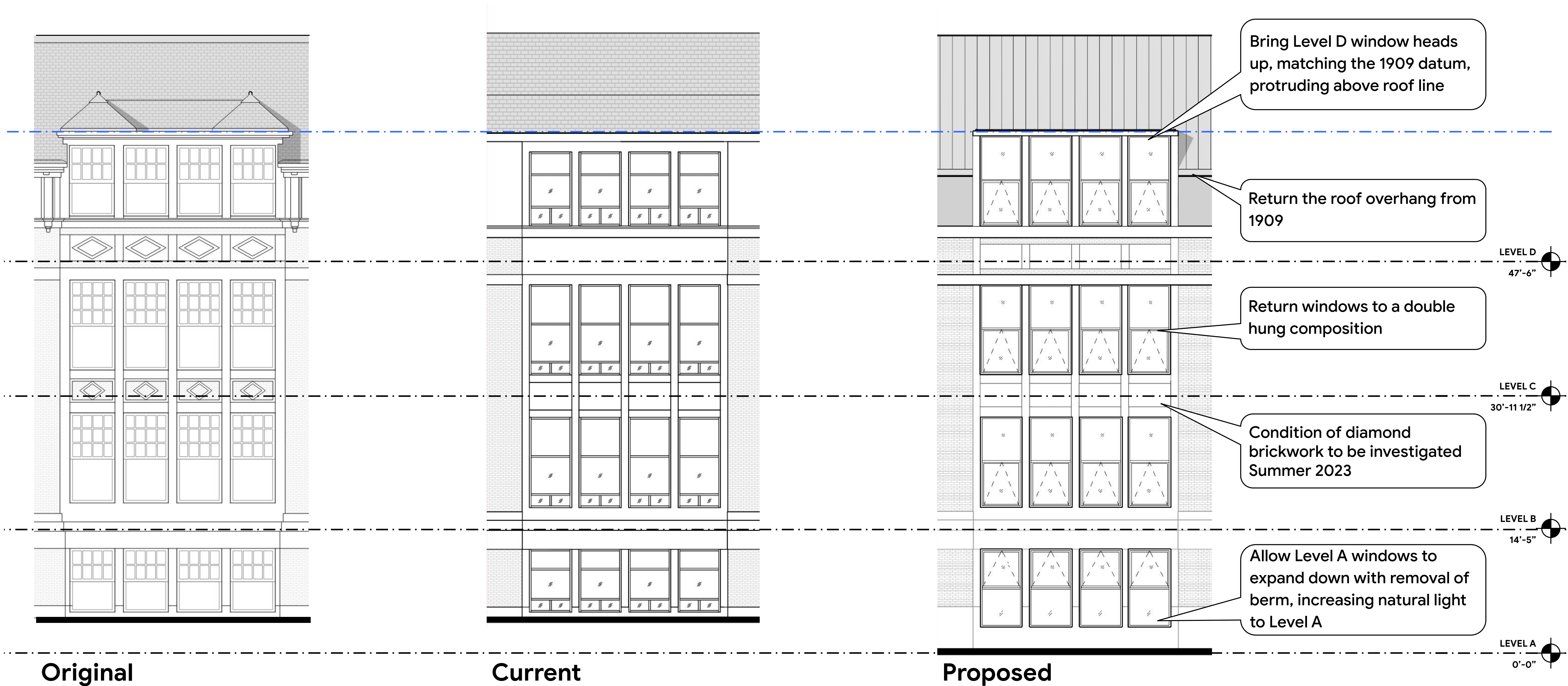
Current Elevation



Proposed Elevation

1909 West Entry
used for Community
Partner Programs that
require after hours,
accessible access

Enlarged Facade



1909 North Facade



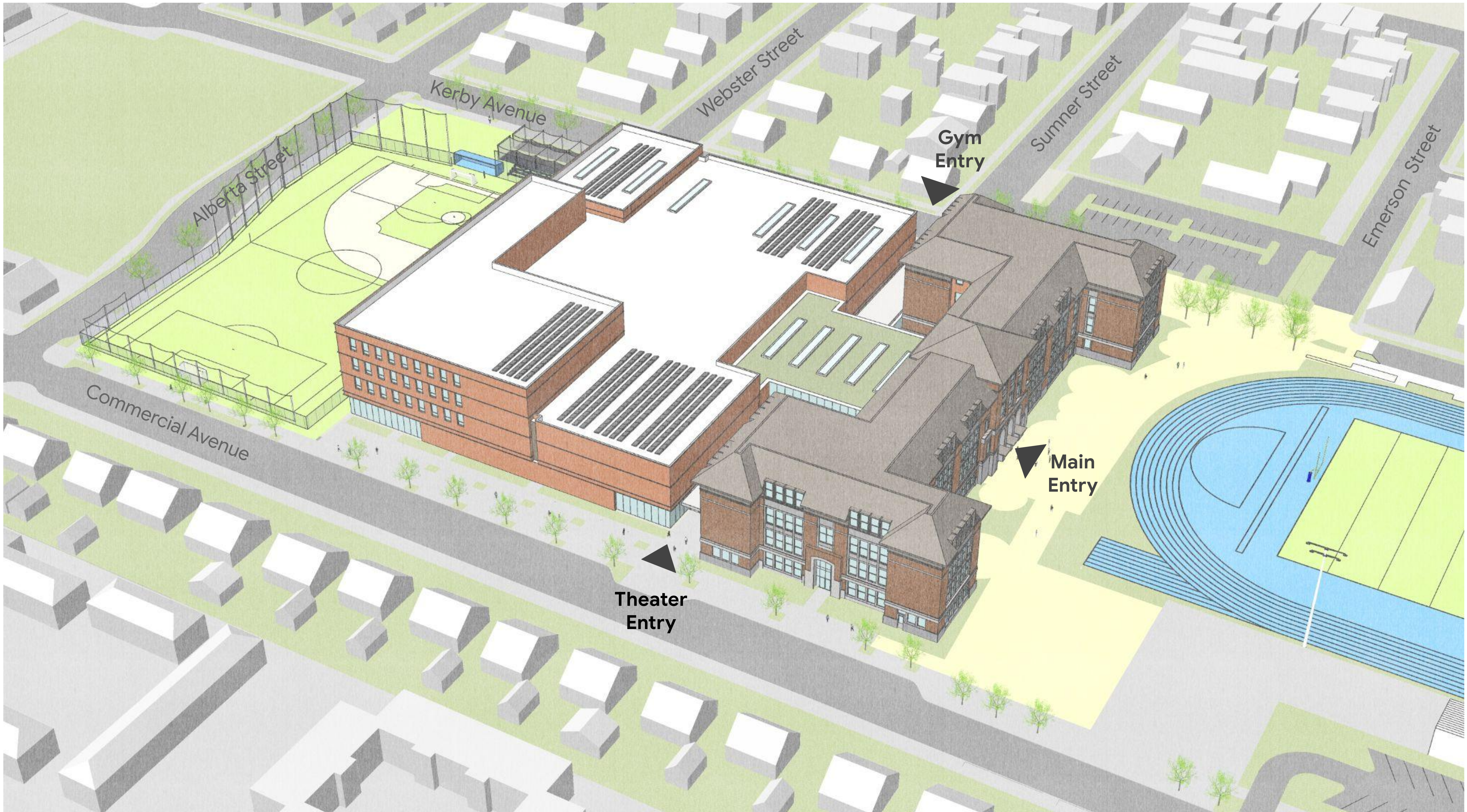
Original



Current

3. New Building Massing

New Building Massing



Existing South Elevation



Southwest Corner

Alberta + Commercial



Note: New buildings as shown are early concepts. Massing and material representation are subject to further development.

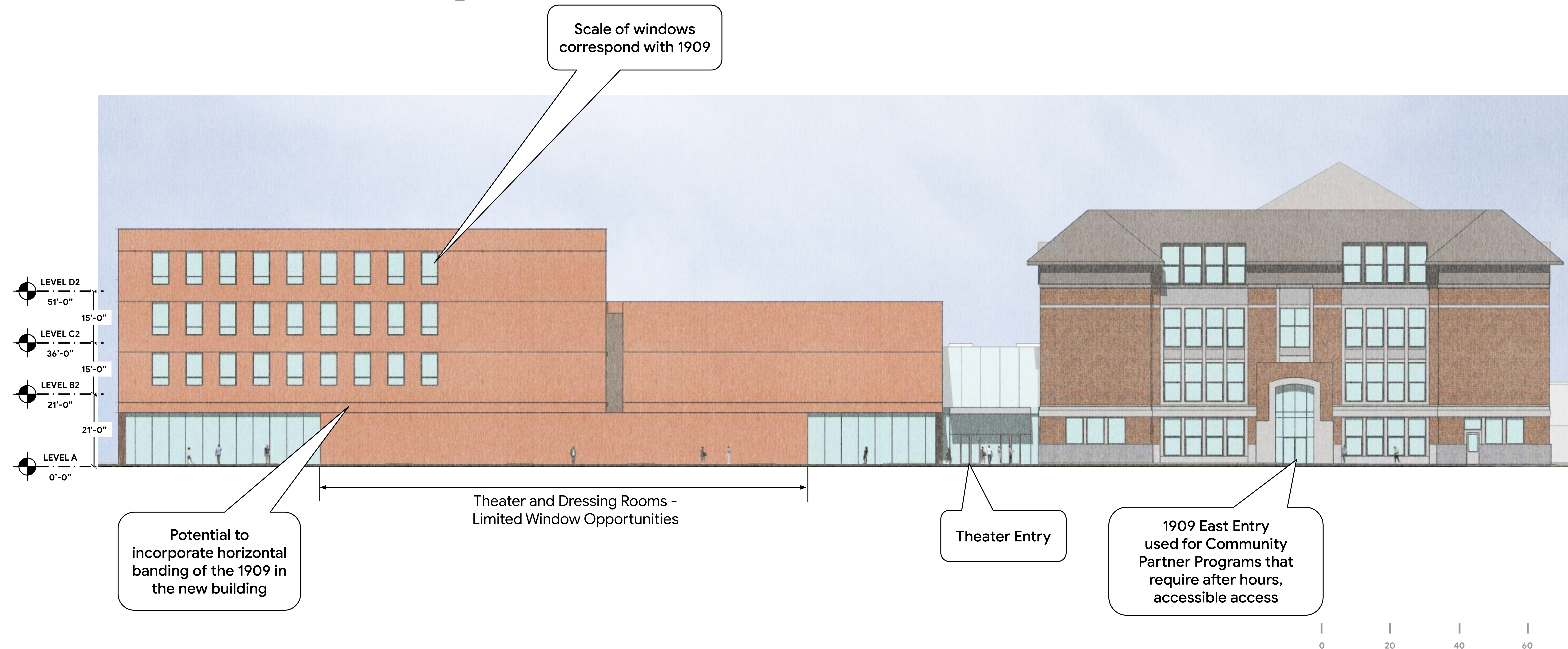
Southeast Corner

Alberta + Kerby



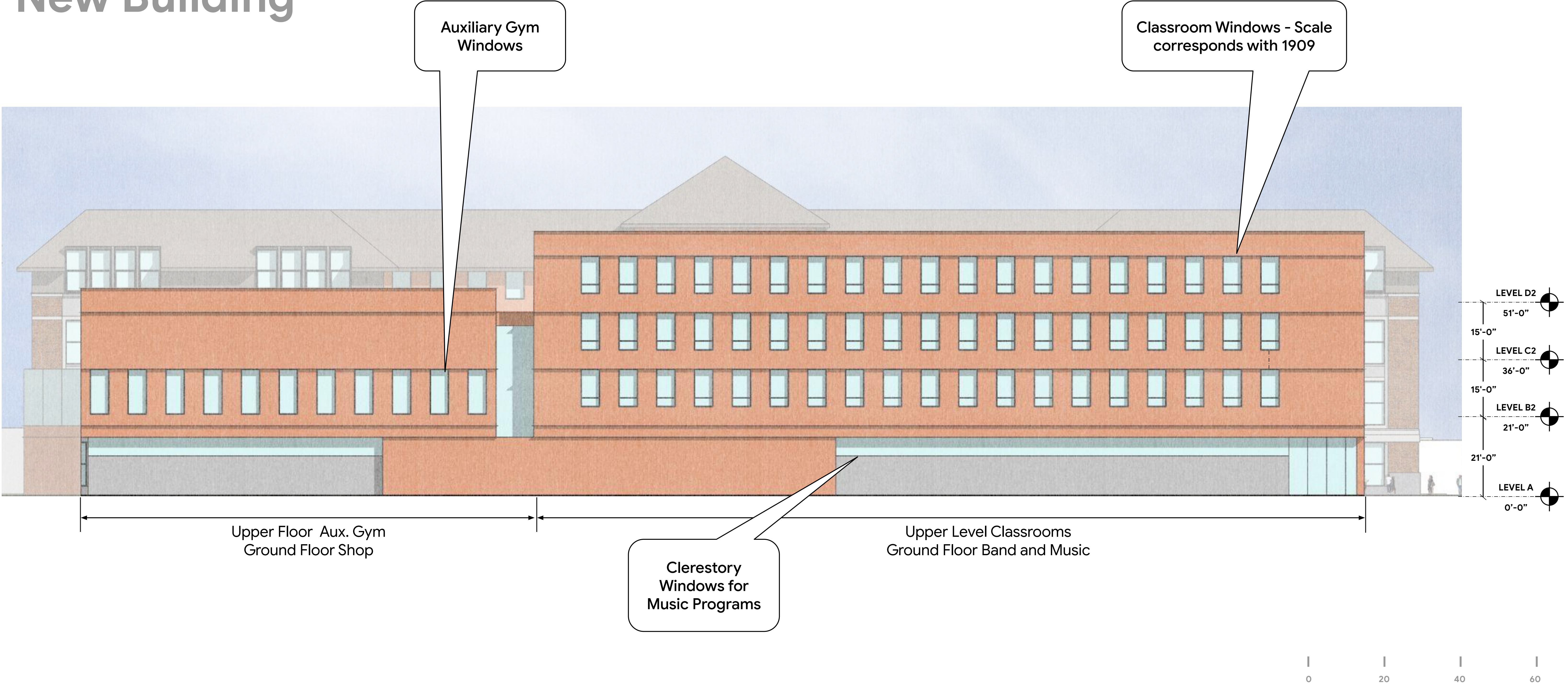
East Elevation

1909 + New Building



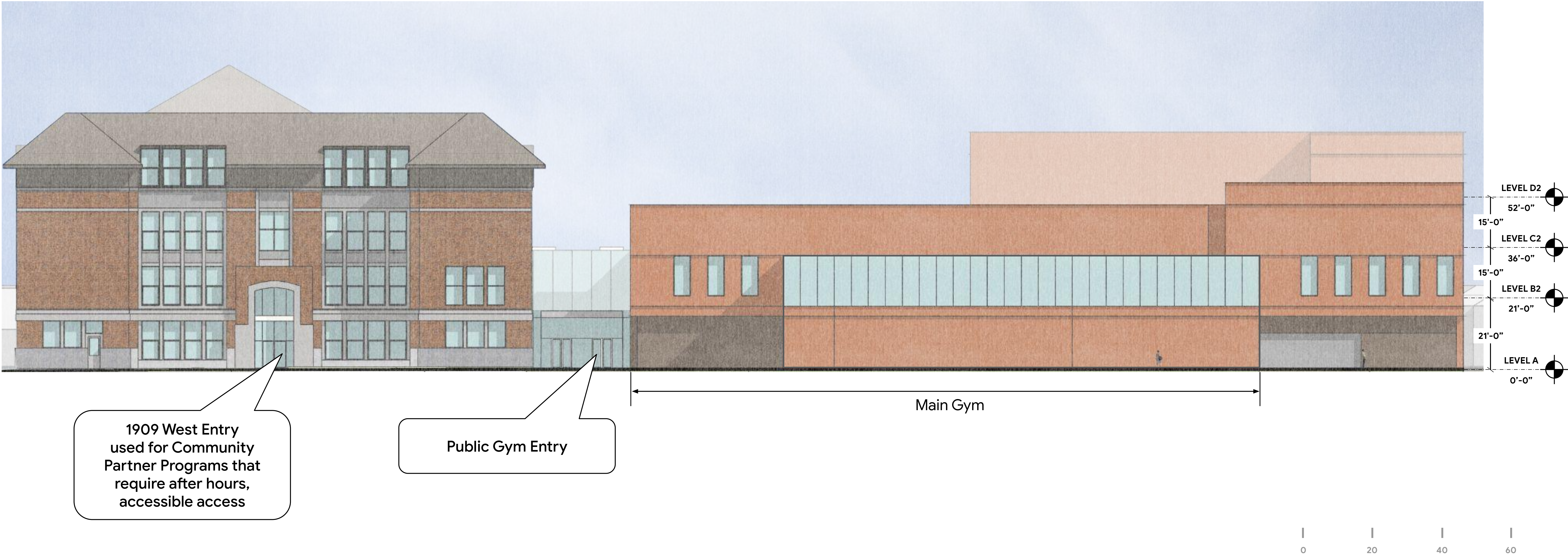
South Elevation

New Building

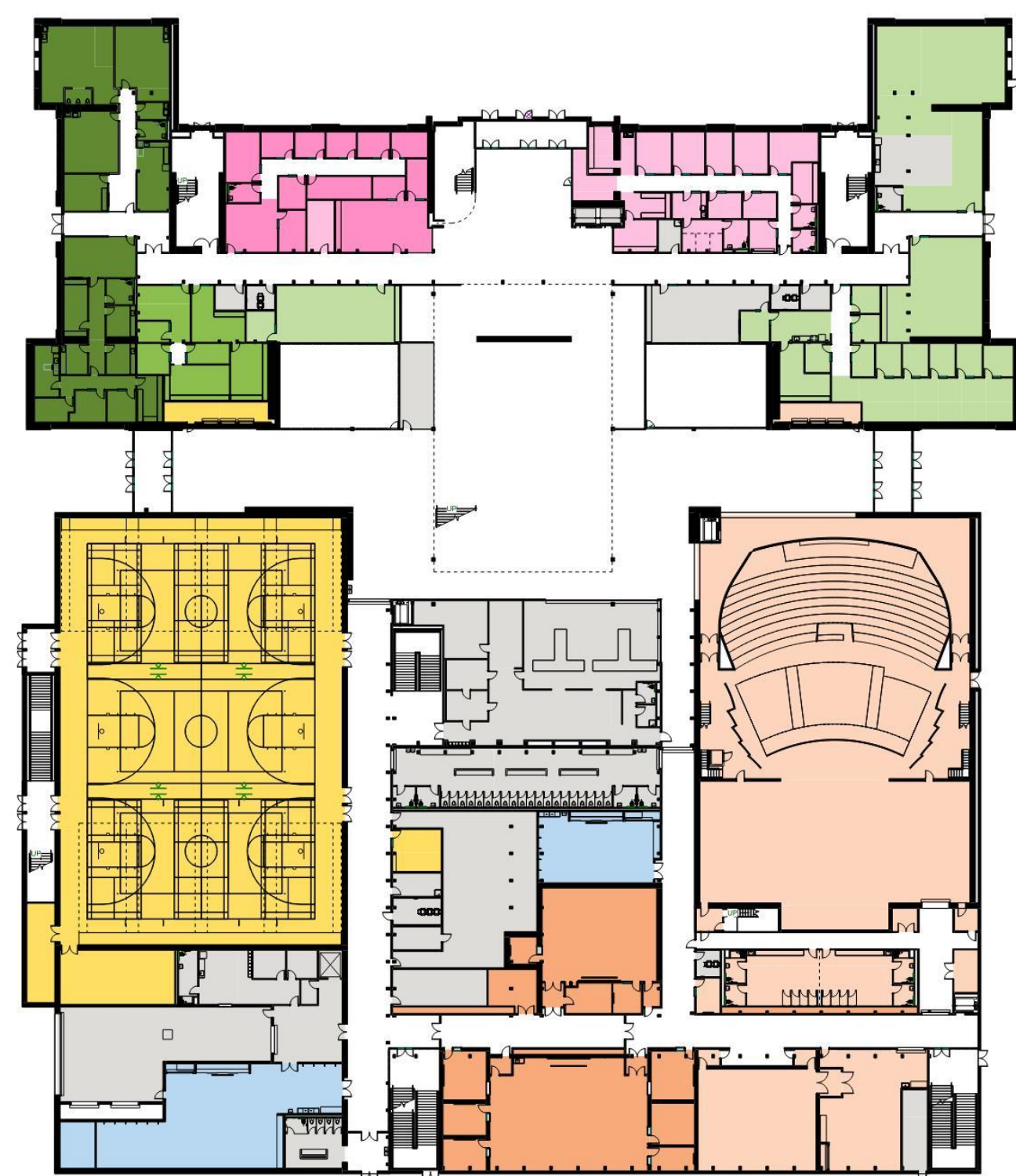


West Elevation

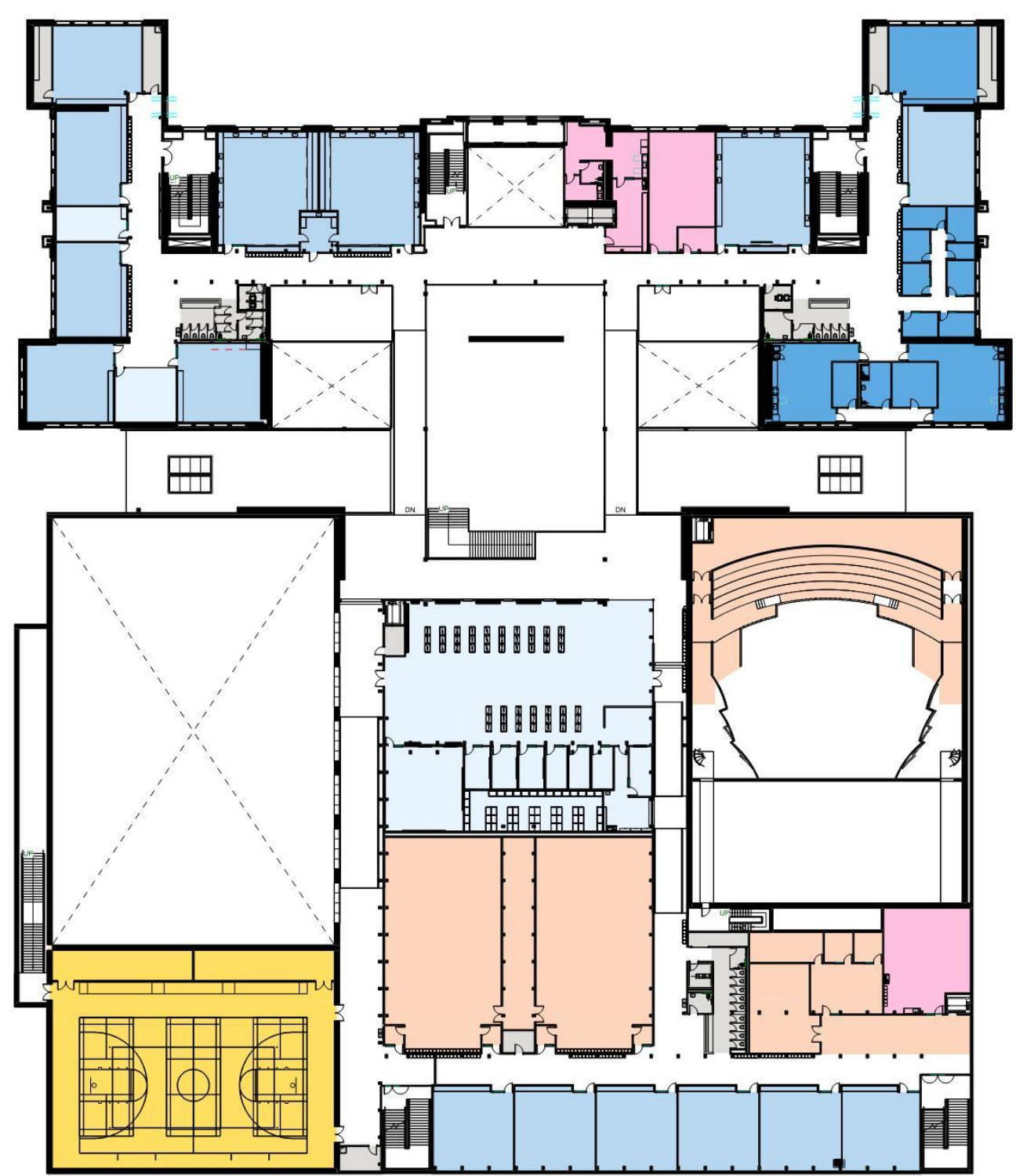
1909 + New Building



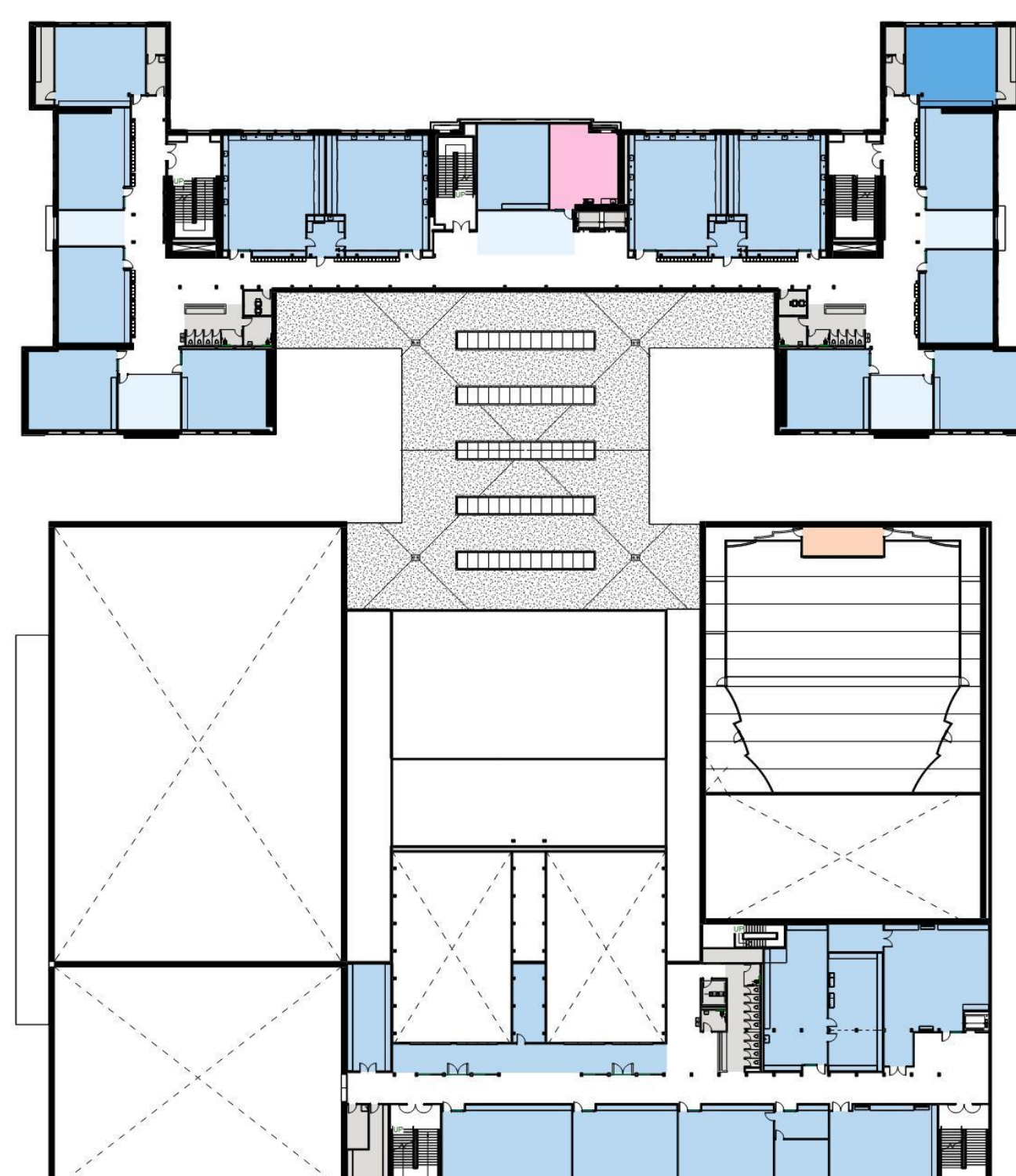
Floor Plans



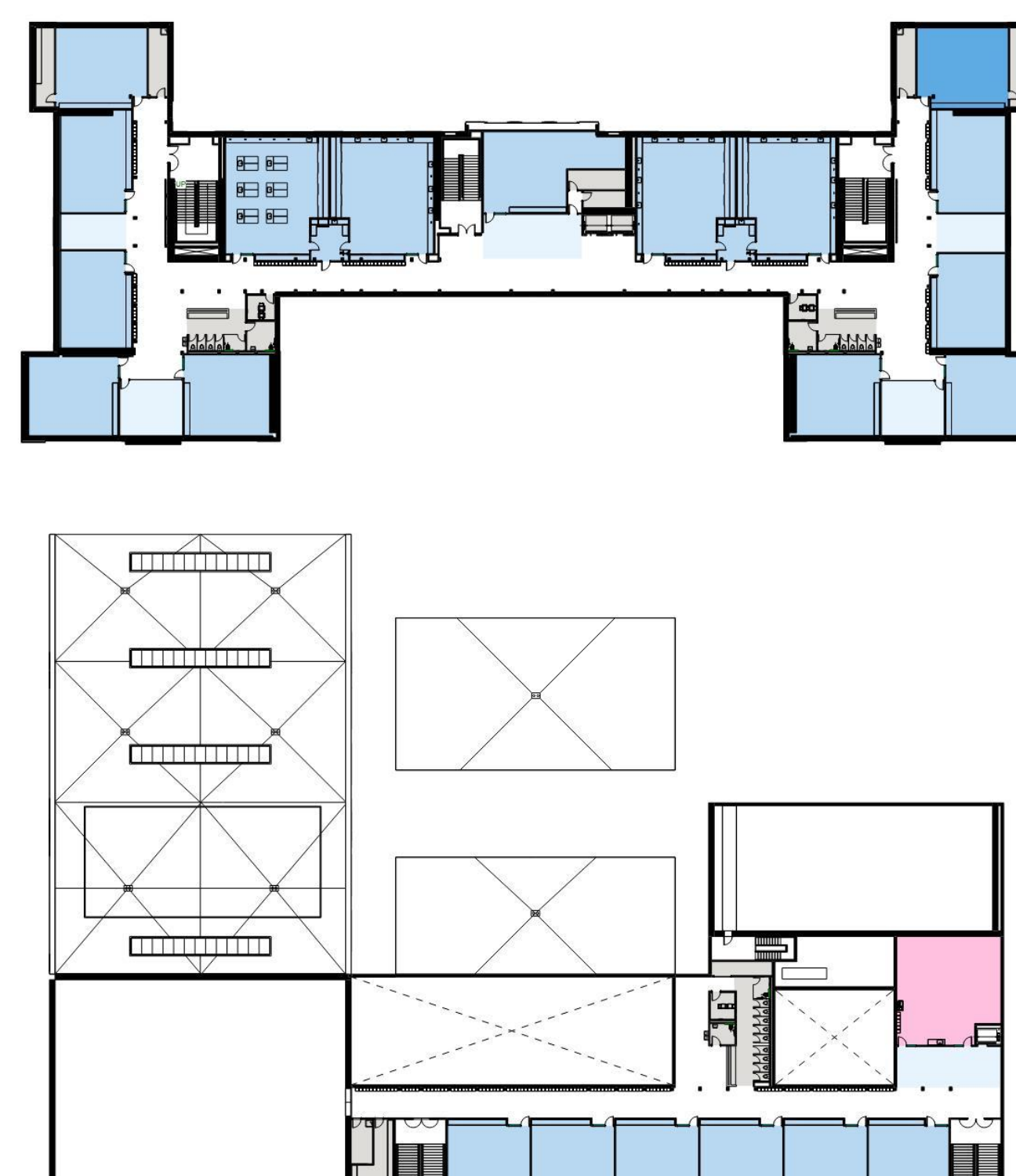
Level A



Level B



Level C



Level D

Note: Building floor plans are in progress and subject to further refinement

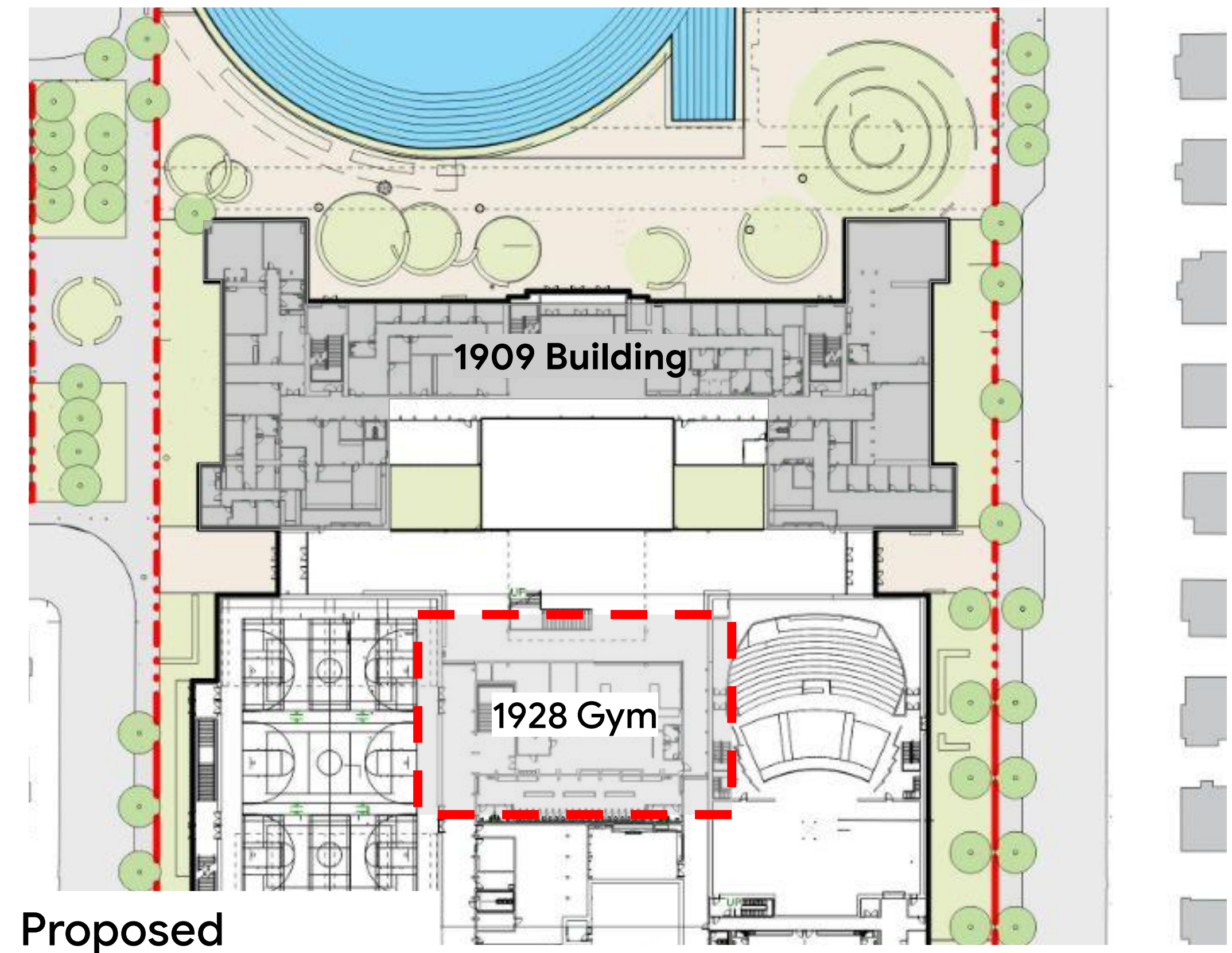
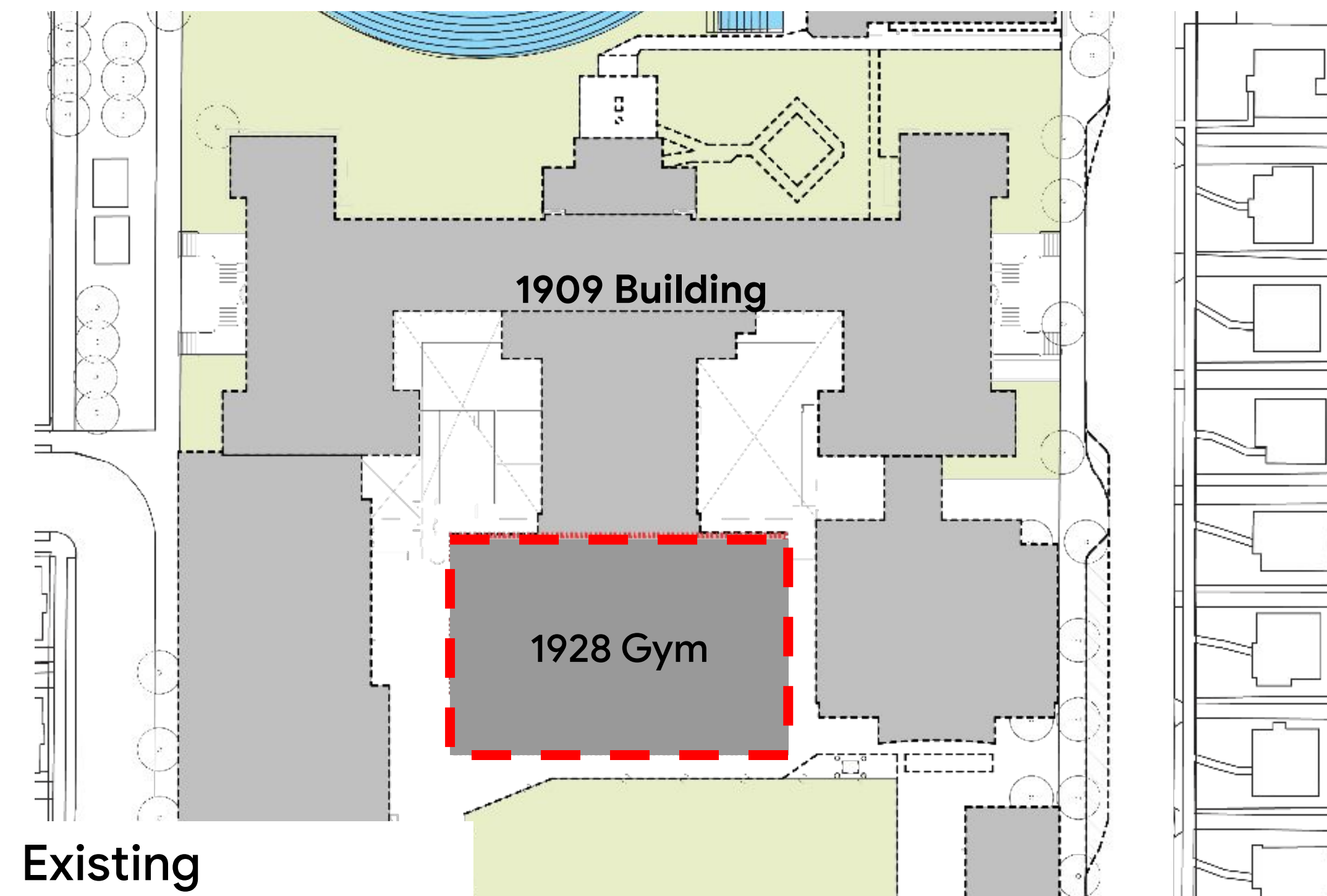
4. 1928 Gym

Removal of 1928 Gymnasium

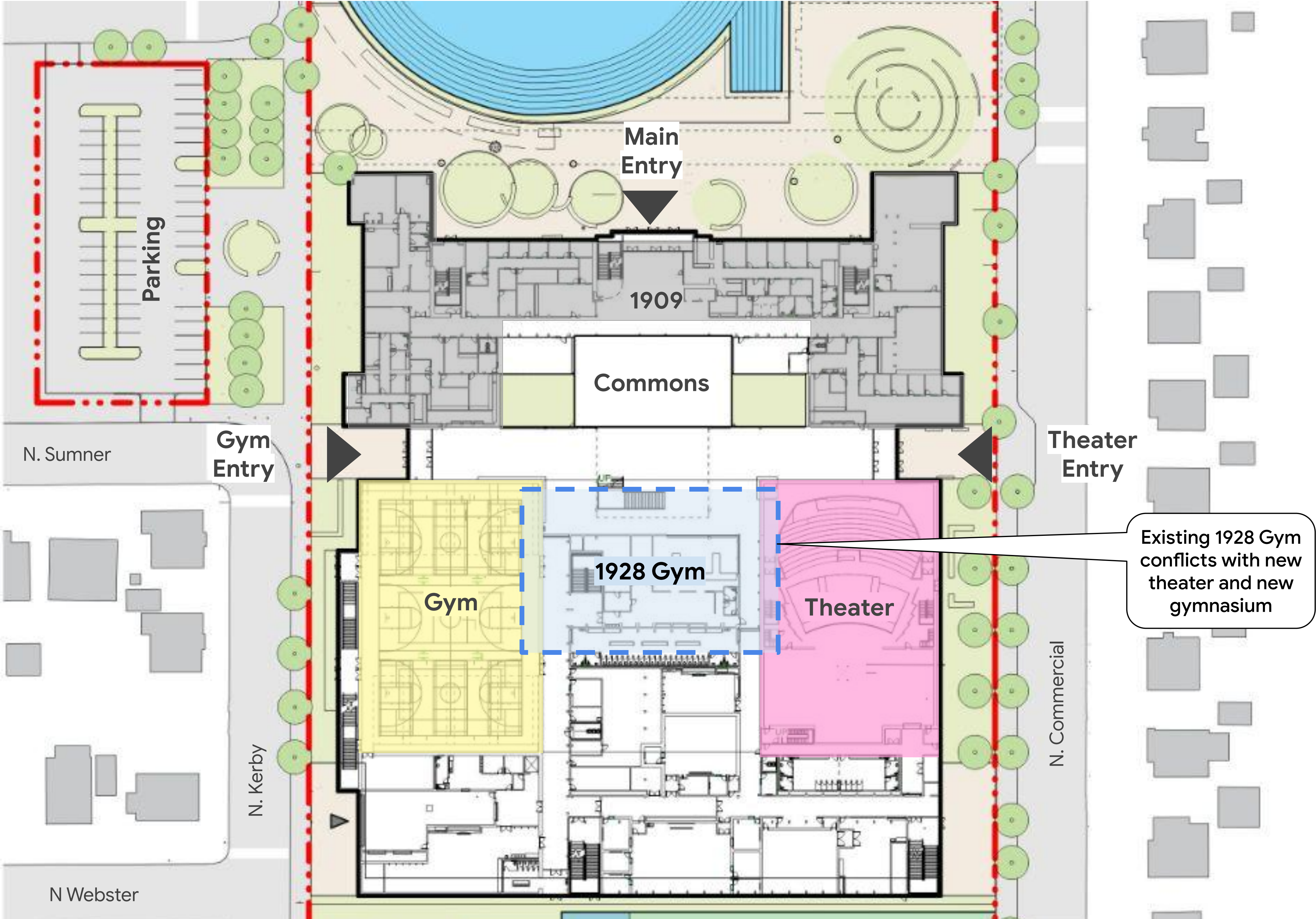
Existing Site

The existing gym building is challenging to incorporate into the modernized project.

- The footprint of the gym overlaps with the spaces required to fit the new athletics and theater programs.
- The existing structure is seismically deficient. Seismic Risk Category IV will require substantial upgrade.
- Existing interior fit out is not usable for the new high-school program
- Floor levels do not align with the existing 1909 floor levels or the proposed new levels
- Project construction phasing will not allow construction of new program while retaining the gym



Level A Plan + 1928 Gym



Discussion + Questions

Modifications & Adjustments

- **Modification: Building Setbacks.** 33.150.215 sets up a conflict in setback requirements. As part of the Interstate Killingsworth Pedestrian District a 10' maximum setback is permitted for all frontages. The same code section also requires 10' minimum and 1' setback for each 2 feet of building height across from the adjacent residential.
- **Modification: Transit Street Main Entry.** The new main entry of the school will utilize the historical north-central alignment of the 1909 building. 33.150.265 requires a main entrance within 25 feet of a transit street. Building setbacks and historical placement prevent meeting this requirement. 33.415.350 also requires an entrance every 100' on transit streets. The site specifics and program requirements prevent strict adherence to this requirement.

Discussions

- **Discussion: Street Hierarchy** The design reestablishes the historical north side of 1909 as the principal entry to the building. Secondary entries at the gym and theater will be clearly identified through signage and design cues.
- **Discussion: Parking Areas** The transportation study has identified a projected future demand of 177 parking spaces. Currently there are 84 non-conforming stalls. Although there is no code minimum parking requirement due to proximity to transit, there is a practical need for some parking to be provided on site. Any parking provided within the scope of the project will conform to city standards.
- **Discussion: 1928 Gym Removal** The existing 1928 gym was identified as a priority for study by the design team. There are a number of barriers that stand in the way of retaining the structure. Our approach will be to explore salvage of specific elements for use in the new school.

Clarifications

- **Clarification: Sports Fields Setbacks.** The DAR #1 memo noted that 33.279.040 requires a 50' setback from adjacent R zones. We believe that this standard only applies to the adjacency with houses on the parcels south of Alberta and does not apply to the fields bounded by streets on the north side of Alberta.
- **Clarification: Superblocks.** The DAR #1 memo noted that 33.293 requires walkways, plazas and landscaped areas to create neighborhood links that have been lost to street vacations. The project seeks to meet the intent of this provision.

Superblock Requirements

Compliance with Requirements

Superblock Requirements:

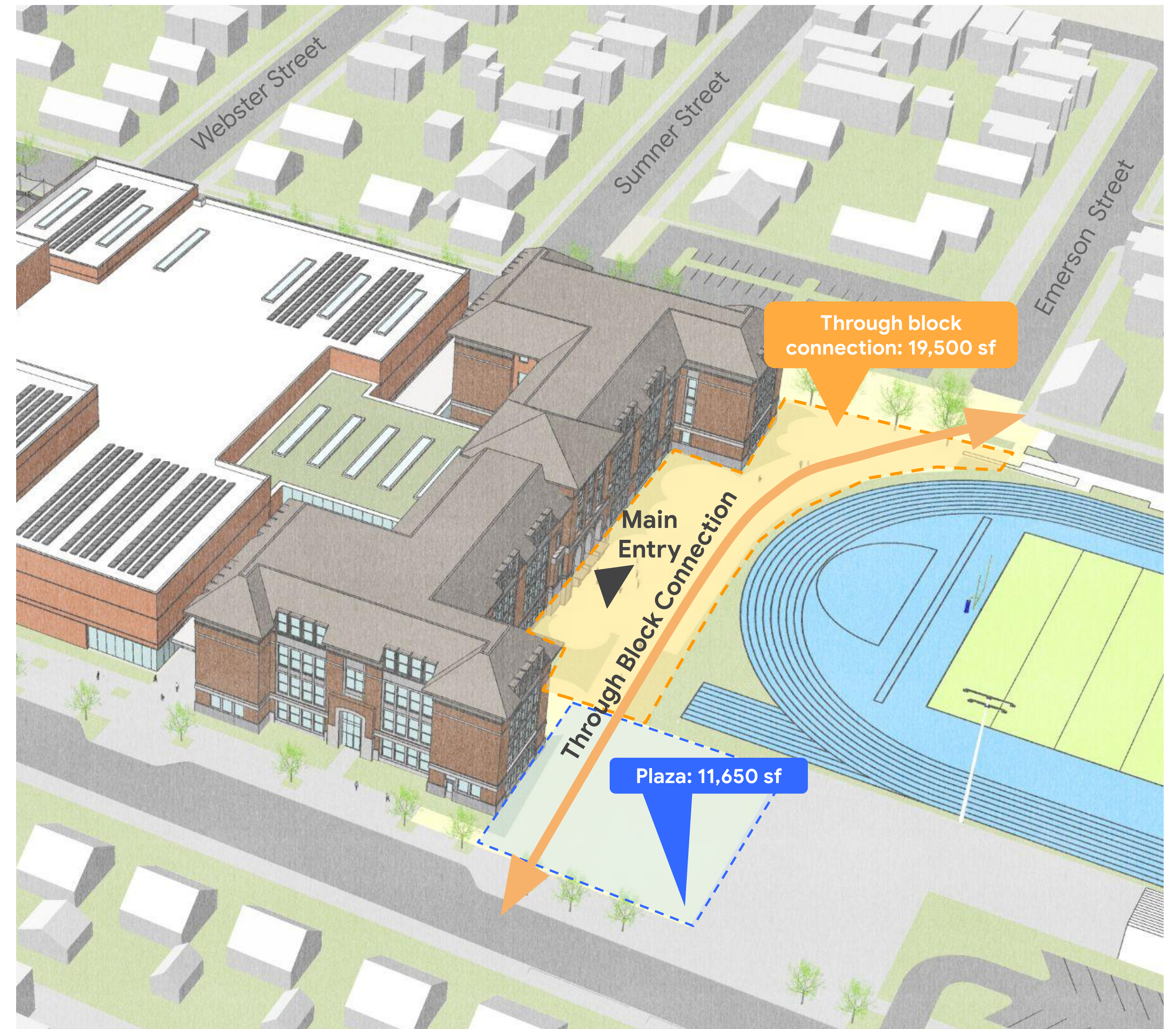
The Jefferson Site is defined as a superblock. **The project is required to provide one public plaza that is 5% of the total land area (30,742 sf) or 20,000 sf maximum.**

Additionally, the total area of walkways, landscaped areas, public plazas, and public atriums must be 50% of the total area of vacated streets within the superblock. *We do not know the original street size of vacated streets pre-1909.*

Proposal:

The design provides a public entry plaza and a through block connection at the north of 1909. **The combined area of these two elements is 31,150 sf of public open space for the community, over 5% of the site area.**

Additionally, the site provides public open space outside of the theatre, gymnasium, and with the multiple sports fields on the site.



Building Setbacks

Modification

Zoning Setback Conflict:

33.150.215 sets up a conflict in setback requirements.

- As part of the Interstate Killingsworth Pedestrian District a **10' maximum setback is permitted for all frontages.**
- The same code section also requires:
 - **10' minimum setback**
 - **1' setback for each 2 feet of building height across from the adjacent residential.**

Proposal:

Zoning code has conflicting setback requirements. The building program has set dimensions and areas that need to be maintained, and might require the building to encroach into the 1 foot per 2 feet of height setback requirement. The design team would like the flexibility to work with a setback that compliments the 1909 building and provides ample landscaping along the street frontage.

Setback Proposal @ N Kerby

The gym is 55' tall and setback from the street 29'

The egress stair is 33'-6" tall and setback 17' from the street.

All the buildings along N Kerby meet the setback requirement of 2 feet setback for every one foot of height, but are not setback further than 1909.

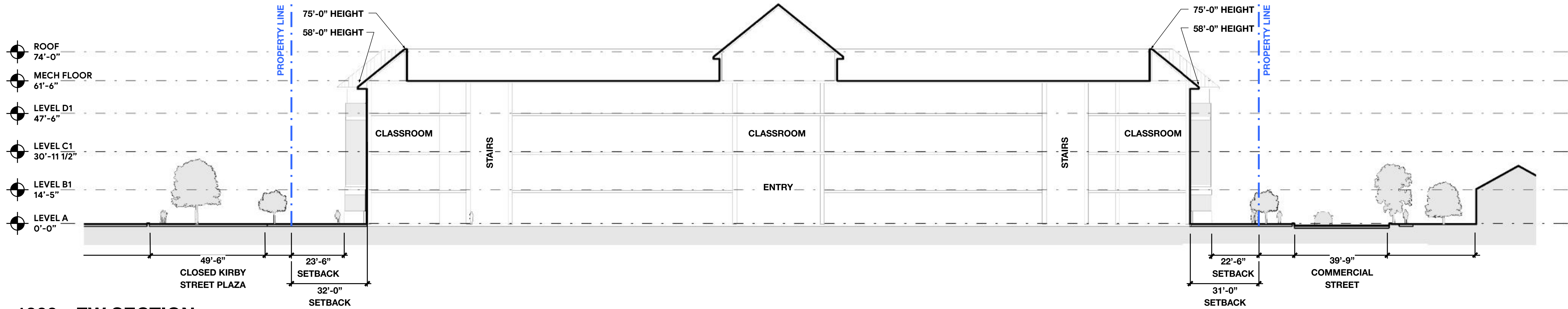
Setback Proposal @ N Commercial Street.

The theater is 70' tall, and setback 32' feet from the property line.

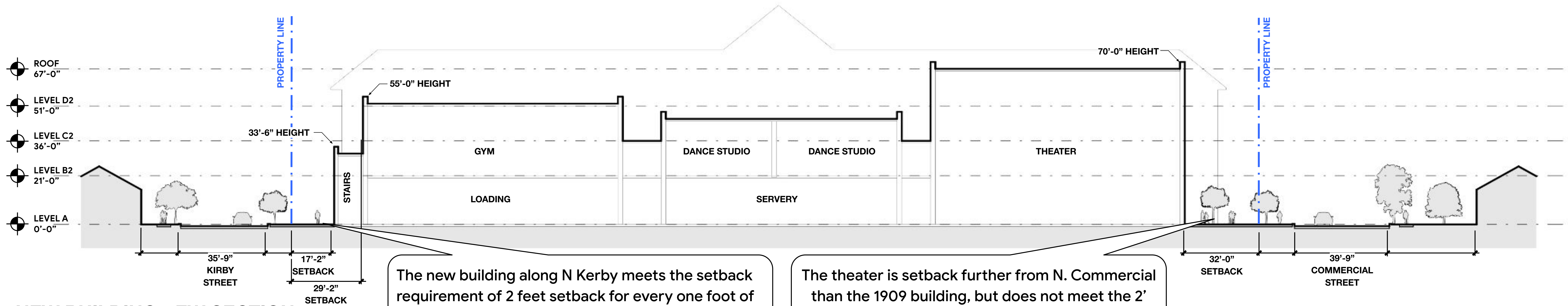
The east elevation of 1909 is setback 31' feet from the property line.

The theater is setback further from N. Commercial further than the 1909 building, but does not meet the 2' for every one foot setback requirement.

Building Setbacks Modification



1909 - EW SECTION



NEW BUILDING - EW SECTION

The new building along N Kerby meets the setback requirement of 2 feet setback for every one foot of height, but is not setback further than 1909.

The theater is setback further from N. Commercial than the 1909 building, but does not meet the 2' for every one foot setback requirement.

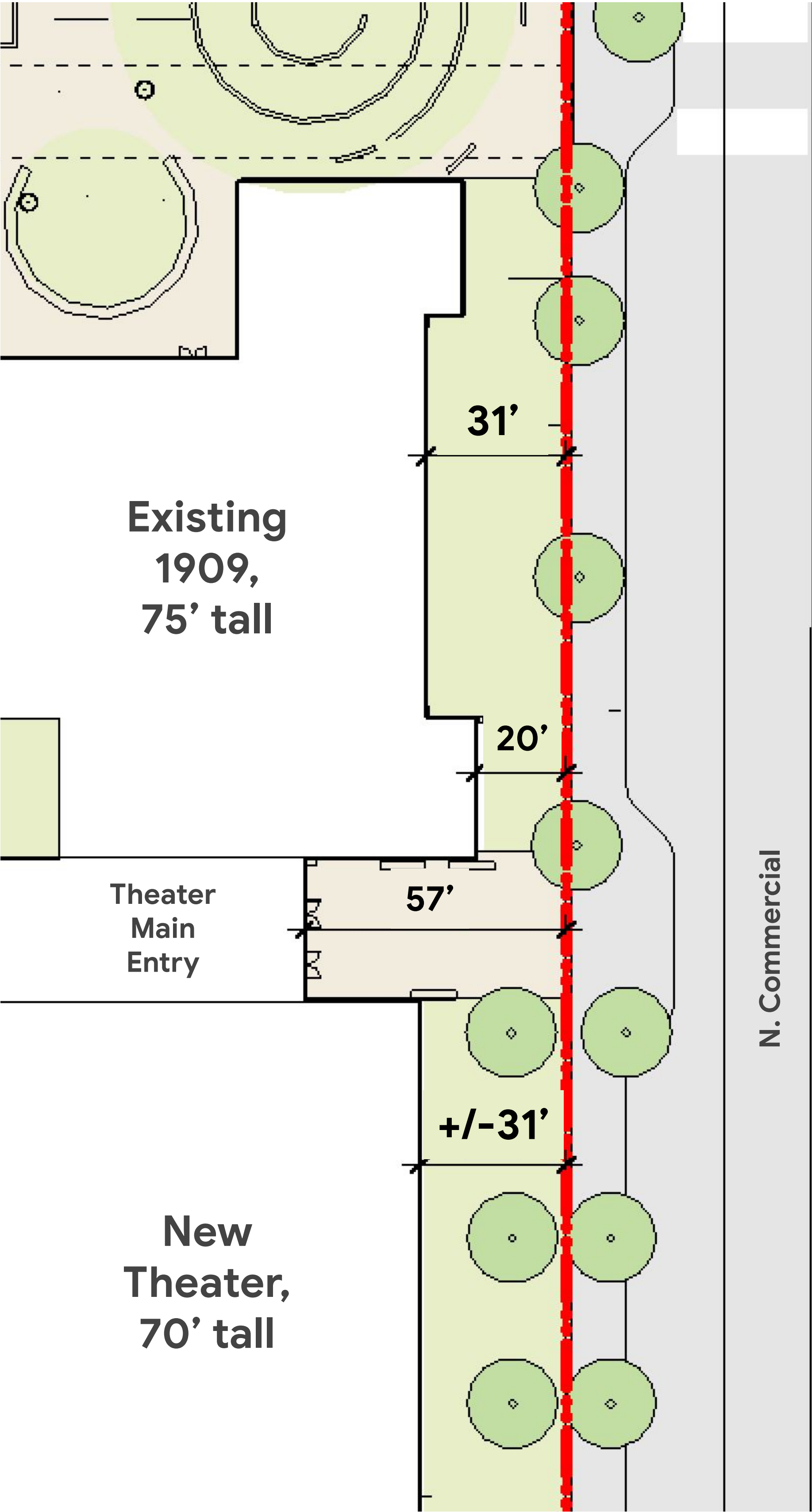
Building Setbacks Modification

Setback Proposal @ N Commercial Street.

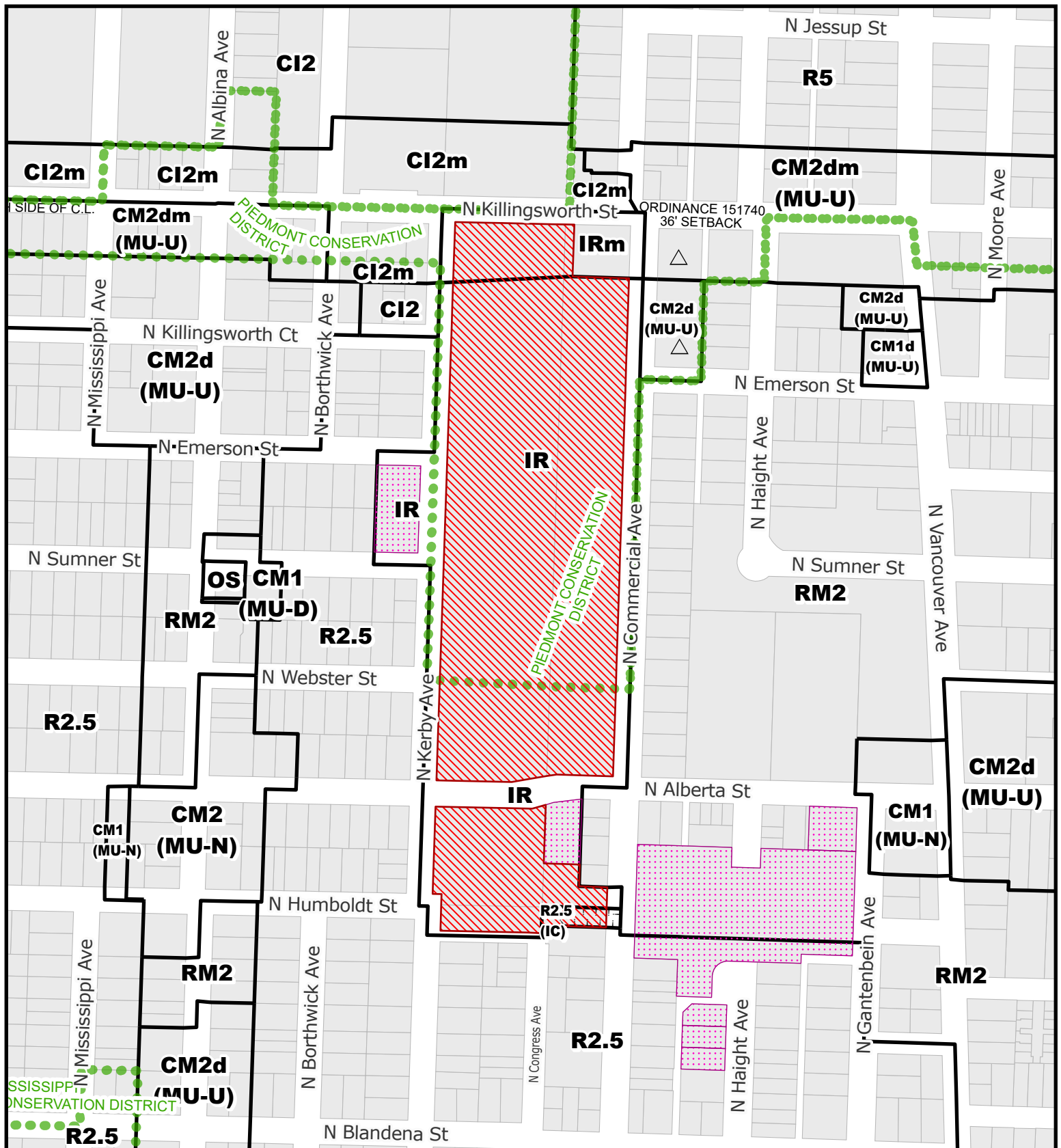
The theater is 70’ tall, and setback 32’ feet from the property line.

The east elevation of 1909 is 75’ tall and setback 31’ feet from the property line.

The theater is setback further from N. Commercial and is shorter than the 1909 building, but the theater does not meet the 2’ for every one foot setback requirement.



Thank you.



For Zoning Code in Effect Post October 1, 2022

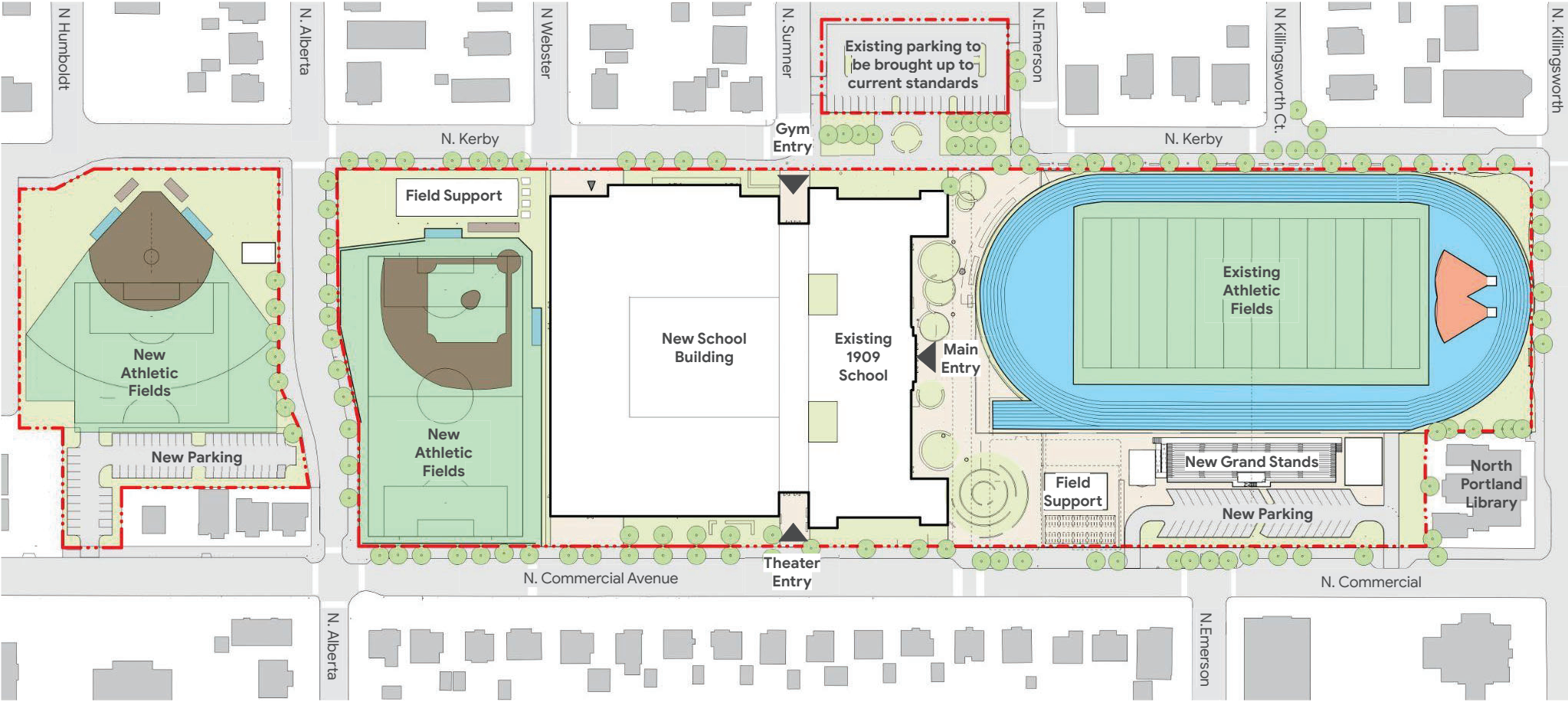
ZONING

THIS SITE LIES WITHIN THE:
PIEDMONT CONSERVATION DISTRICT

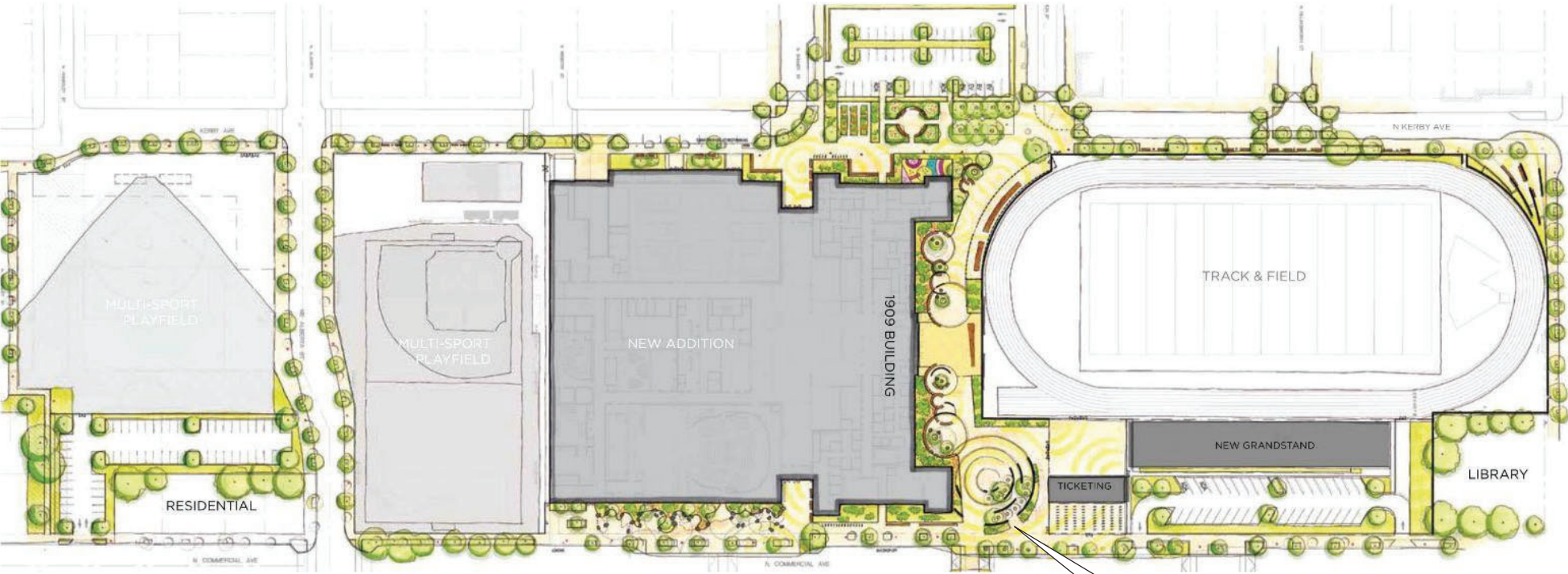
-  Site
-  Also Owned Parcels
-  Conservation District
-  Historic Landmark

File No.	EA 22 - 205977 DA
1/4 Section	2529,2530
Scale	1 inch = 300 feet
State ID	1N1E22BA 100
Exhibit	B Nov 29, 2022

Site Plan



Landscape Site Plan

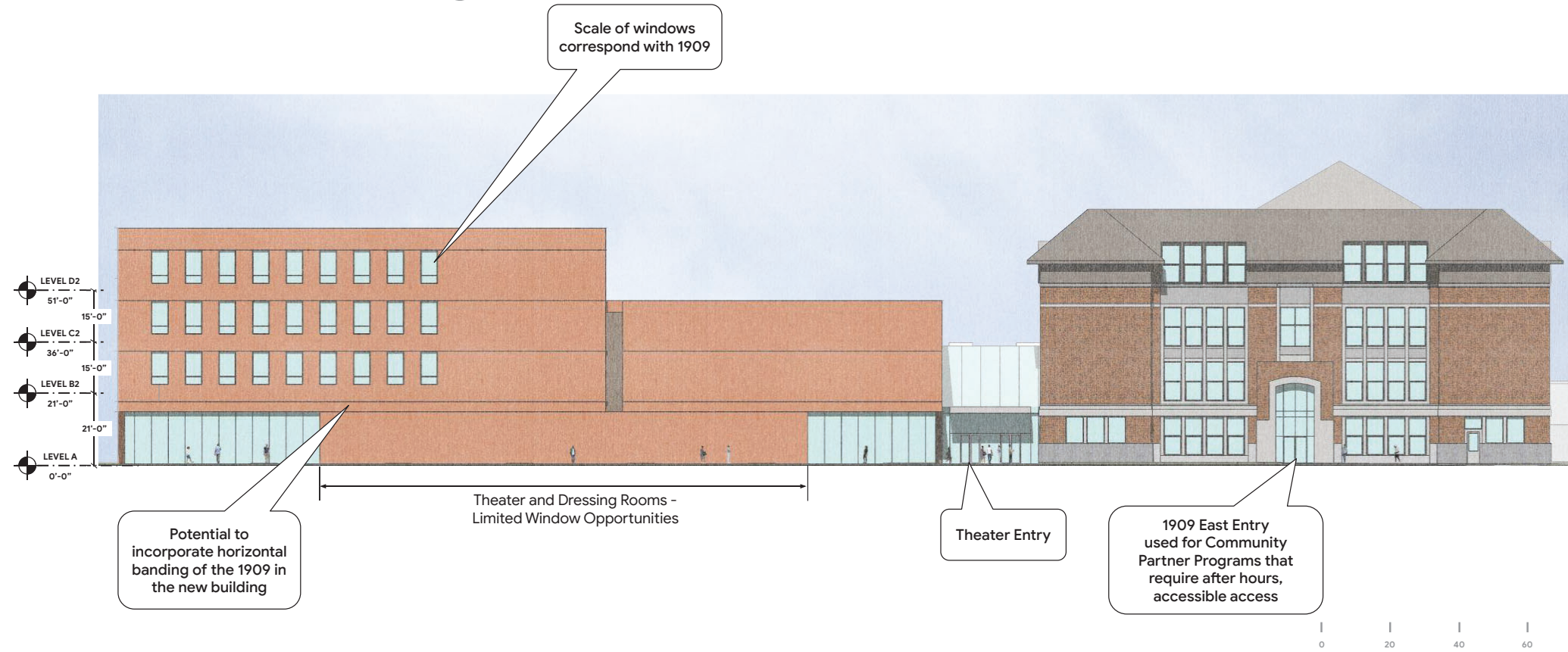


Landscape design will create a variety of new public spaces

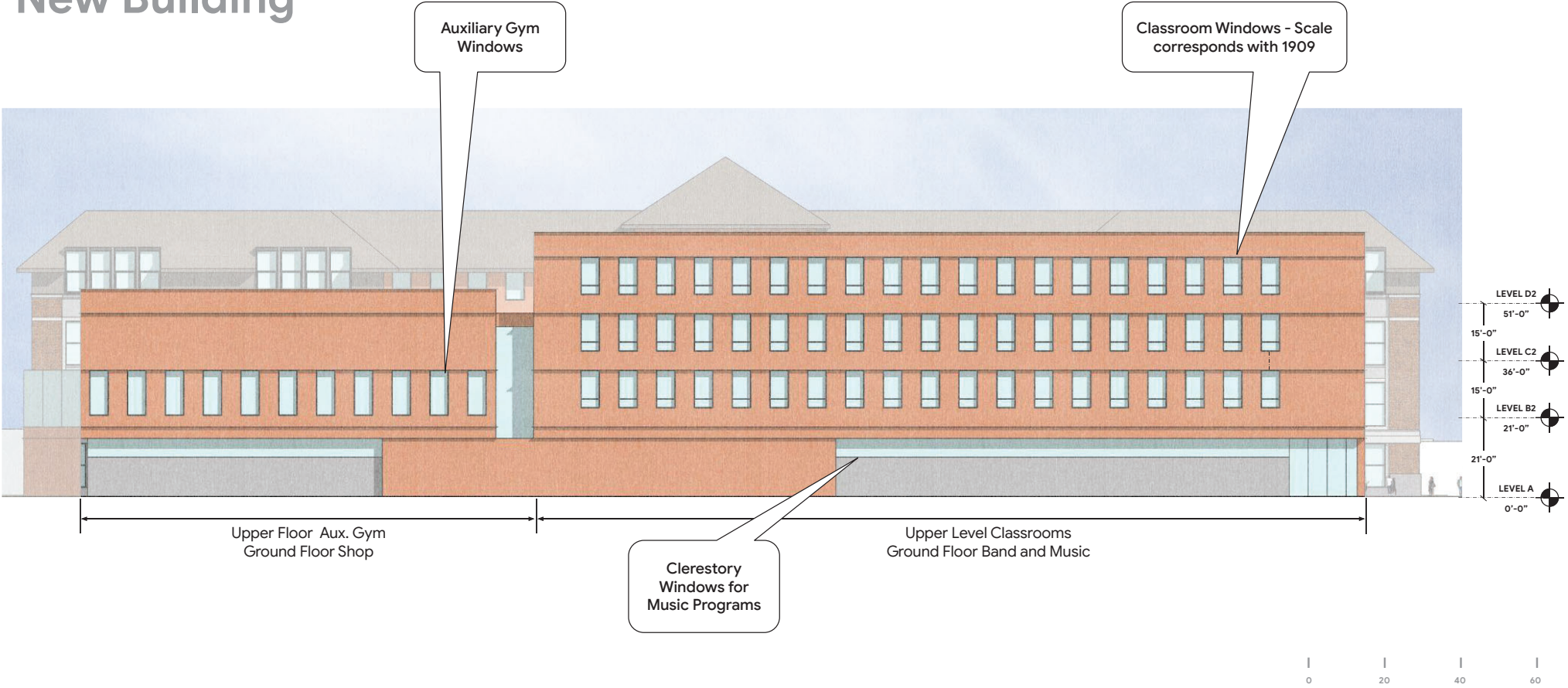


East Elevation

1909 + New Building

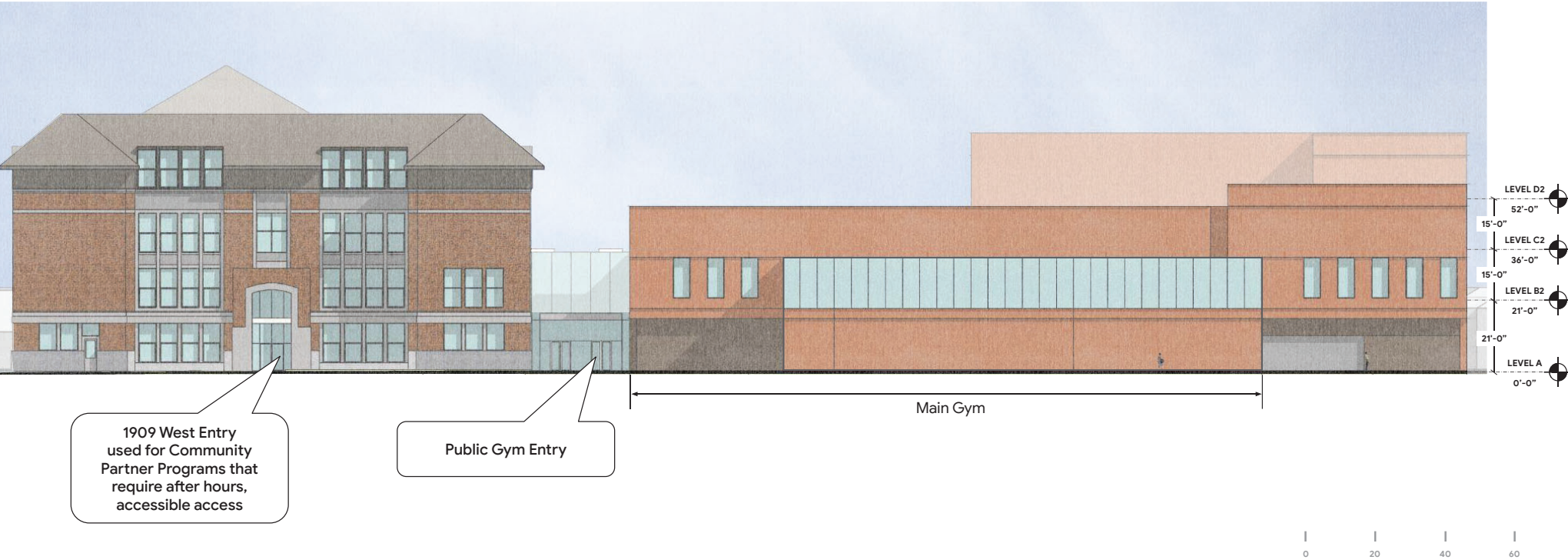


South Elevation New Building

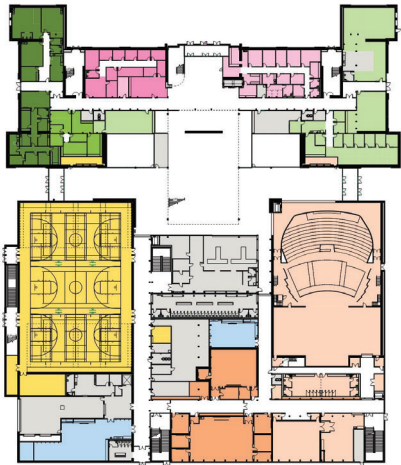


West Elevation

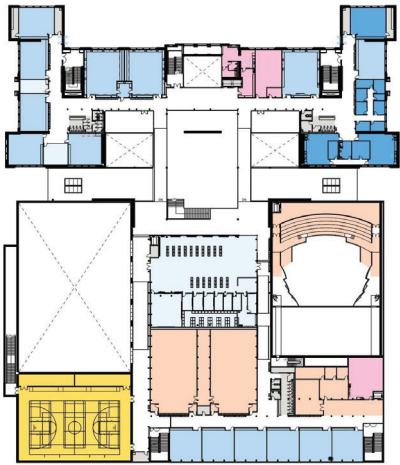
1909 + New Building



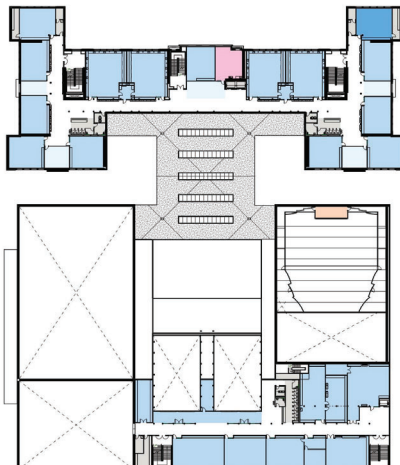
Floor Plans



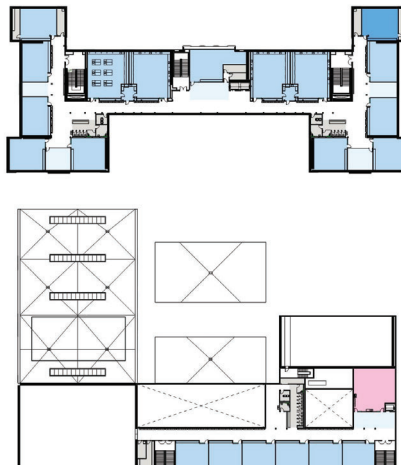
Level A



Level B



Level C



Level D

Note: Building floor plans are in progress and subject to further refinement



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Carmen Rubio, Commissioner
Rebecca Esau, Director
Phone: (503) 823-7300
TTY: 711
www.portland.gov/bds

Design Advice Request #2

DISCUSSION MEMO

Date: May 15, 2023
To: Historic Landmarks Commission
From: Arthur Graves, Design Review
503.865.6517 | Arthur.Graves@portlandoregon.gov
Re: EA 22-184037 DA – Jefferson High School Redevelopment
Design Advice Request (DAR) #2 Memo – May 22, 2023

This project had its initial DAR on November 14, 2022 – see attached Commission Memo and Summary Memo.

This memo is regarding the upcoming DAR #2 for the project on May 22, 2023, for Jefferson High School Redevelopment. The following supporting documents are available as follows:

- Drawings – accessed here:
[Efiles - EA 22-184037 DA – Redevelopment of Jefferson High School buildings and site. \(22/EF/13309\) \(portlandoregon.gov\).](#)
Note, Commissioners who requested hard copies will receive the drawing set by courier.
- Guideline matrix and other documents:
[Efiles - EA 22-184037 DA – Redevelopment of Jefferson High School buildings and site. \(22/EF/13309\) \(portlandoregon.gov\).](#)

I. PROGRAM OVERVIEW

Redevelopment of the Jefferson High School (JHS) building and site, a contributing resource in the Piedmont Conservation District (PCD). One option is proposed at this time which includes the retention of the 1909 portion of the existing building and redevelopment of the remaining site. The existing field located between N Killingsworth St and the 1909 building will be maintained.

Modifications to development standards are anticipated and listed below. Additional Modifications are anticipated as the design is developed and will be presented at the second DAR (date to be determined).

Note: The applicant intends to return for a third DAR in late July or early August (2023) to discuss DAR #2 Commission comments and additional design details.

The focus of the first DAR (November 14, 2022) primarily included: Discussion of buildings to be removed and/or retained; Hierarchy of streets and site access/entry; Building location, height, and massing on the site (at the edges or in the center); Response to surrounding residential neighborhood; Superblock requirements, Vehicle parking location(s), Potential Modifications.

This DAR (DAR #2) revisits these issues with a more developed program and design responding to Commissioner's concerns from DAR #1.

II. DEVELOPMENT TEAM BIO

Architect	Doug Miller Lever Architecture
Owner's Representative	Stephen Effros Portland Public Schools Office of School Modernization
Project Valuation	\$ 21,000,000

III. FUTURE HISTORIC RESOURCE REVIEW APPROVAL CRITERIA:

- *Community Design Guidelines (refer to matrix)*
- *33.846.070 Modifications During Historic Resource Review*
 - A. Better meets historic resource review approval criteria.
 - The resulting development will better meet the approval criteria for historic resource review than would a design that meets the standard being modified; and
 - B. Purpose of the standard.
 - 1. The resulting development will meet the purpose of the standard being modified; or
 - 2. The preservation of the character of the historic resource is more important than meeting the purpose of the standard for which a modification has been requested.

IV. SITE INFORMATION

1. **Policy.** The following summarizes key policy context as it applies to the subject site.
 - a. **Historic District:** Contributing resource in the Piedmont Conservation District, Significant Resource on the Historic Resources Inventory (HRI).
 - b. **Development Standards:** IR (Institutional Residential) Base Zone, Historic Resource Protection Overlay and Centers and Main Streets Overlay (m) Overlay Zones. (Note: The m Overlay is limited to the north portion of the site adjacent to N. Killingsworth St.)

Some Modifications are able to be identified at this time (see Section V.8. below).
 - c. **Streets:** *Adjacent streets are classified as follows:*
 - **N Killingsworth St:** District Collector Street, Major Transit Priority Street, City Bikeway, Major City Walkway, Truck Access Freight Street.
 - **N Commercial Ave:** Local Service Traffic Street, Local Service Transit Street, City Bikeway, Neighborhood Walkway, Local Service Freight Street.
 - **N Alberta St:** Neighborhood Collector Traffic Street, Local Service Transit Street, City Bikeway, City Walkway, Local Service Freight Street.
 - **N Humboldt St:** Local Service Street, Local Service bicycle street, Local Service pedestrian street, Local Service Freight Street.
 - **N Kerby Ave:** Local Service Street, Local Service bicycle street, Local Service pedestrian street, Local Service Freight Street.

2. **Natural or Built Context.**

- a. **Jefferson High School Site:** Approximately 13.56 acre site – the northern two-thirds of which are in the PCD, the southern third of the site is not. A track and football field are located on the north portion of the site, immediately adjacent to N. Killingsworth St. Buildings occupy the center of the site. The south portion of the site includes an additional sports field. South of N. Alberta St. is an undeveloped lot. A small parking area (outside of the Conservation District) is west of the vacated N Kerby St.
- b. **Jefferson High School Building:** The dominant structure seen across the field from N. Killingsworth St is the original building, constructed in 1909. The 1909 building was constructed in the Renaissance Revival style but the architectural integrity was noticeably impacted during 1950's renovations. Later additions were added in 1928, 1952, 1953, 1964, and 1968.



3. Context Background:

Characteristics of the Piedmont Conservation District (Albina Community Plan).

The Piedmont Historic Design Zone/Neighborhood Conservation District is divided into three sections: (1) the Piedmont Subdivision, bounded by Martin Luther King Jr. Boulevard, Killingsworth, Commercial and N Rosa Parks Way, (2) Peninsula Park and the residential area west of the park, and (3) Killingsworth Street between Martin Luther King Jr. Boulevard and the 1-5 freeway.

Killingsworth Street is another example of commercial streetcar development. The streetcar ran along Killingsworth from Martin Luther King Jr. Boulevard to Greeley. The historic structures that remain are predominantly made of brick, built up to the sidewalk with retail on the ground level and housing or office above. This area was an education node with Jefferson High School built in 1909 and the Albina Library built in 1912. Today, Portland Community College is located across the street.

Architectural Styles:

- Twentieth Century Classical
- Streetcar Era Commercial
- Byzantine
- Jacobethan

Characteristics of the Institutional Residential Zone (PZC 33.150.030.C).

The IR zone is a multi-use zone that provides for the establishment and growth of large institutional campuses as well as higher density residential development. The IR zone recognizes the valuable role of institutional uses in the community. However, these institutions are generally in residential areas where the level of public services is scaled to a less intense level of development. Institutional uses are often of a significantly different scale and character than the areas in which they are located. Intensity and density are regulated by the maximum number of dwelling units per acre and the maximum size of buildings permitted.

Some commercial and light industrial uses are allowed, along with major event entertainment facilities and other uses associated with institutions.

V. STAFF ANALYSIS & RECOMMENDED DAR DISCUSSION TOPICS. Staff recommends you consider the following eleven topics among your discussion items:

CONTEXT | QUALITY & PERMANENCE

Relevant Guidelines: P1: Community Plan Area Character, P2: Historic and Conservation Districts, D2: Outdoor Areas, D4: Parking Areas and Garages, D6: Architectural Integrity, D7: Blending into the Neighborhood, D8: Interest, Quality and Composition, E1: Pedestrian Networks.

1. Historic Character, Historic Defining Features, and Building Retention/Prioritization:

The site is a contributing resource in the PCD, however, much of the original historic character of the existing buildings has been removed over time. The current proposal includes retaining only the original 1909 building.

- ***Staff requests comments on the proposal to retain the 1909 building but to remove the 1928 bldg.***
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2. Response to Context:

The site and proposed development extend from N. Killingsworth St (Commercial Zone) south to N. Alberta St. (Single and Multi-Dwelling Residential Zones)

- ***Staff requests comments on how the proposed development should respond to the existing context, including: the site; 1909 bldg.; the PCD; and the surrounding residential community (outside the PCD).***
- ***Other than the use of brick, the proposed addition appears to have little historic or architectural connection to the 1909 bldg. Staff requests discussion and comments regarding the new building's response to the historic/architectural character of the 1909 bldg.***
- ***Staff requests comments regarding the lack of symmetry of the proposed addition in contrast to the strong symmetry of the 1909 bldg.***
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- ***Staff requests comments on the need for a stronger physical and visual through-site connection from the field to the north, 1909 building, new building, to the fields to the south.***

3. Building Programming:

Current programming includes a central commons area, south facing classroom block, and a theatre and gym at the east and west frontages.

- ***Staff requests comments on the proposed building programming as it relates to the exterior expression of the building vis-à-vis massing and fenestration.***

4. Superblocks Requirements:

The 13.47 acre site is a Superblock (per 33.293) requiring: “a 20,000 square foot plaza or atrium”; and that the “total of walkways, landscaped areas, public plazas, and public atriums must be at least 50 percent of the total area of the vacated streets within the superblock”. “Walkways must link all buildings to public sidewalks, adjacent superblocks, and nearby transit facilities. Where the site lies between two parallel streets which were formerly connected by a vacated street, a walkway connecting the two parallel streets must be provided as a substitute for the vacated streets. The connecting walkway does not need to be located within the alignment of the vacated streets, but must provide approximately the same connections for pedestrians.” These areas are currently not defined on the drawings, and it is not clear if the applicant intends to fully or partially meet these standards.

- **Staff requests comments on Commission’s expectations for response to Superblock requirements.**

5. Street Hierarchy and Site Access:

The site has multiple street frontages. N Killingsworth St has the highest transit classification and is the only street adjacent to the site providing bus service. Nevertheless, students and staff access the site from all directions.

- **Staff requests comments on the proposed site and building access.**

6. Site Parking:

Existing tennis courts in the northeast corner of the site are proposed to be removed for additional onsite parking. All existing parking appears to remain. It is not yet clear how much new parking is proposed.

- **Staff requests comments on proposed location(s) of new surface parking.**

7. Materials:

Brick is the dominant material in the current JHS and is common throughout the PCD.

- **Staff requests comments on the proposed use of red brick for the new building addition.**

PUBLIC REALM

Relevant Guidelines: P1: Community Plan Area Character, P2: Historic and Conservation Districts, E1: Pedestrian Networks, E2: Stopping Places, E3: The Sidewalk Level of Buildings, E4: Corners that Build Active Intersections, E5: Light, Wind and Rain, D1: Outdoor Areas, D2: Main Entrances, D3: Landscape Features, D6: Architectural Integrity, D7: Blending into the Neighborhood, D8: Interest, Quality and Composition.

8. Access and Main Entrance:

Access through, across, and into the site and buildings is critical, as is clear wayfinding regarding the main entrance(s). The proposed design includes: access to the gym from the west, access to the theater from the east, and the main entrance at the north.

- **Staff requests comments on the proposed building access points and main entry location and/or hierarchy.**
- **Staff requests comments on the proposed public cross-block connection.**

9. Ground Level Frontages:

Proposed programming results in ground level frontages on the east and west elevations being largely blank walls.

- **Staff requests comments on the proposed blank walls on the east and west ground level frontages.**

10. Outdoor Areas/Landscaping:

In relation to setbacks on the east and west frontages, Superblock requirements, and the proposed north main entrance, outdoor areas are proposed.

- ***Staff requests comments on the proposed outdoor areas on the north, east, and west frontages.***

MODIFICATIONS

Relevant Guidelines: P1: Community Plan Area Character, P2: Historic and Conservation Districts, E1: Pedestrian Networks, E2: Stopping Places, E3: The Sidewalk Level of Buildings, E4: Corners that Build Active Intersections, E5: Light, Wind and Rain, D1: Outdoor Areas, D2: Main Entrances, D3: Landscape Features, D6: Architectural Integrity, D7: Blending into the Neighborhood, D8: Interest, Quality and Composition.

11. Modifications:

The following potential Modifications have been identified by staff from the limited drawing submittal. This is not a comprehensive list:

1. **Setback – Minimum (33.150.215):** 1 ft. for every 2 ft. of building height but not less than 10 ft. The east elevation does not meet this requirement.
 2. **Setback – Maximum (33.150.215):** 10 ft. The proposal is exceeding the setback maximum on the east, west, and south frontages.
 3. **Transit Street Main Entrance (33.150.265):** Due to distance from and orientation to N Killingsworth St (transit street) this standard requiring transit street entrances to be within 25 feet of a transit street does not appear to be met.
 4. **Parking area setbacks and landscaping (33.266.130.G.2.c and G.3.a):**
Proposed parking does not appear to meet the landscaped setback standard requiring 5 ft of L3 or the interior landscaping standard requiring, “At least 45 square feet of interior landscaped area must be provided for each parking space”.
- ***Staff requests comments on the proposed approvability of the Modifications listed.***



City of Portland

Landmarks Commission

Design Advice Request

EA 22-184037 DAR#2

Jefferson High School Renovations

May 22, 2023

Staff Presentation

Staff Introduction

Applicant Presentation

Staff Discussion Topics

Public Comments

Commission Conversation

Location

Piedmont Conservation District, Industrial Residential Base Zone:

Characteristics of the Piedmont Conservation District (Albina Community Plan). The Piedmont Historic Design Zone/Neighborhood Conservation District is divided into three sections: (1) the Piedmont Subdivision, bounded by Martin Luther King Jr. Boulevard, Killingsworth, Commercial and Portland, (2) Peninsula Park and the residential area west of the park, and (3) Killingsworth Street between Martin Luther King Jr. Boulevard and the 1-5 freeway.

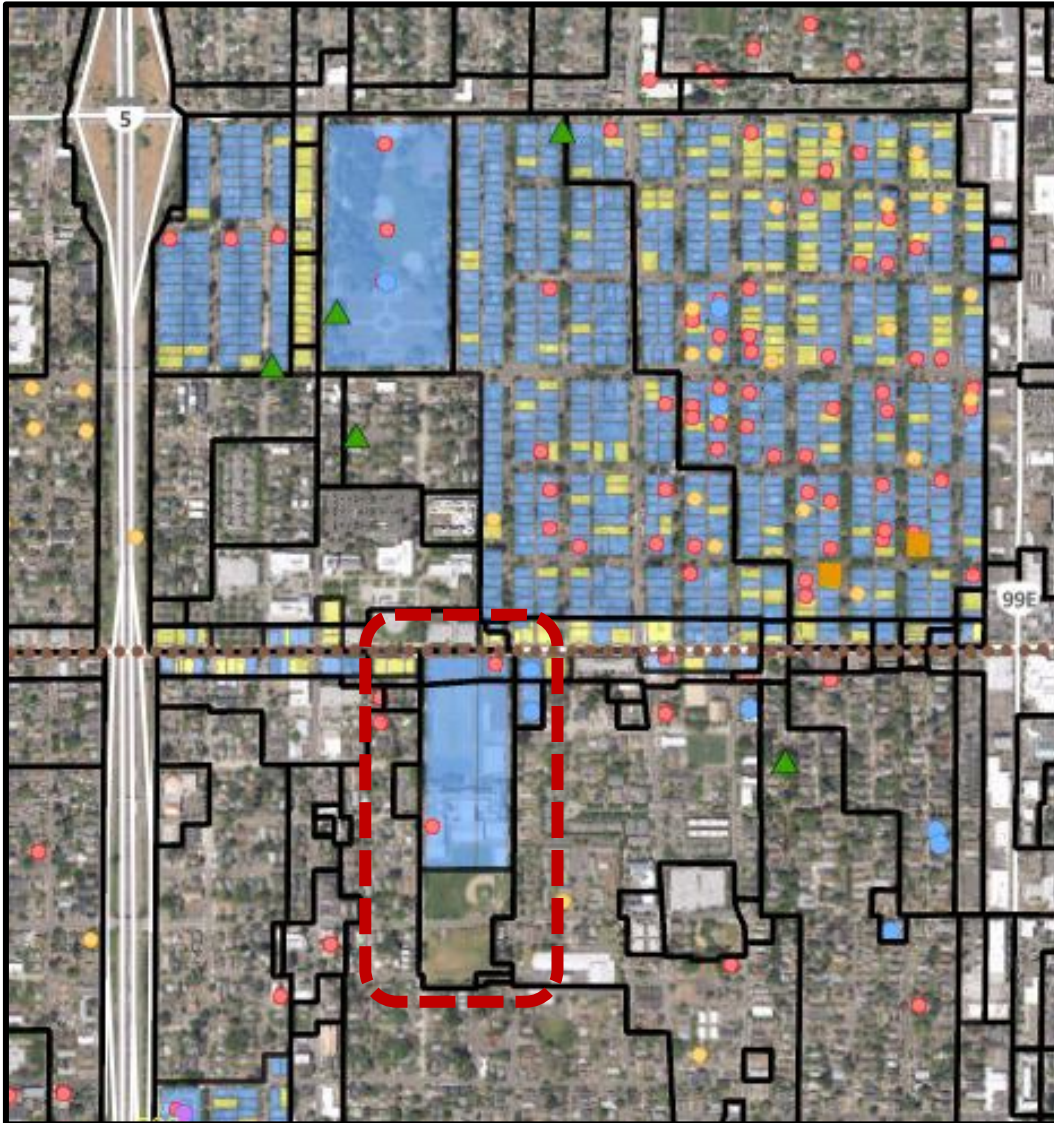
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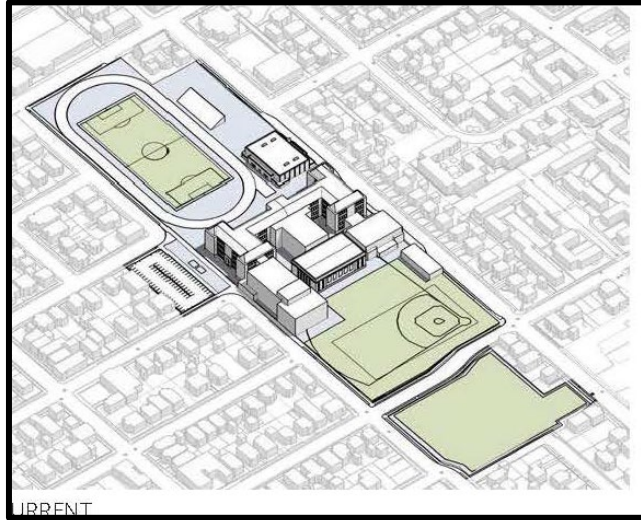
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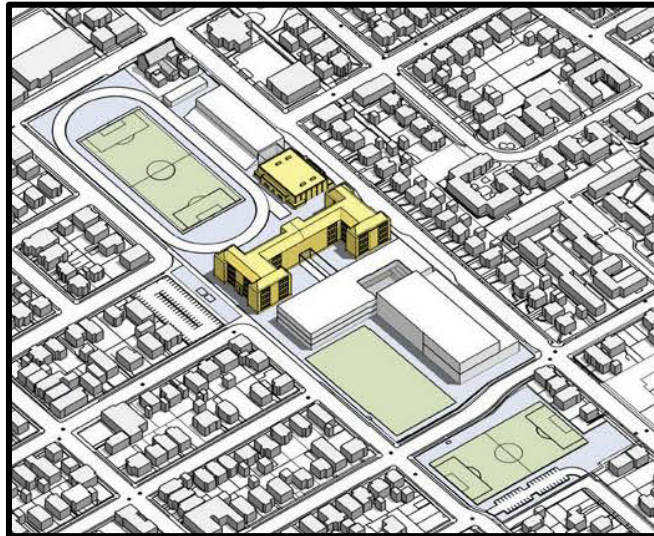
Project Scope

Proposed redevelopment of the Jefferson High School buildings and campus located in the Piedmont Conservation District. Proposed alterations to the 13.56 acre site include partial demolition of the existing contributing buildings and site amenities: track, fields, parking areas, etc. to be replaced with new buildings, track, fields, parking areas, etc.

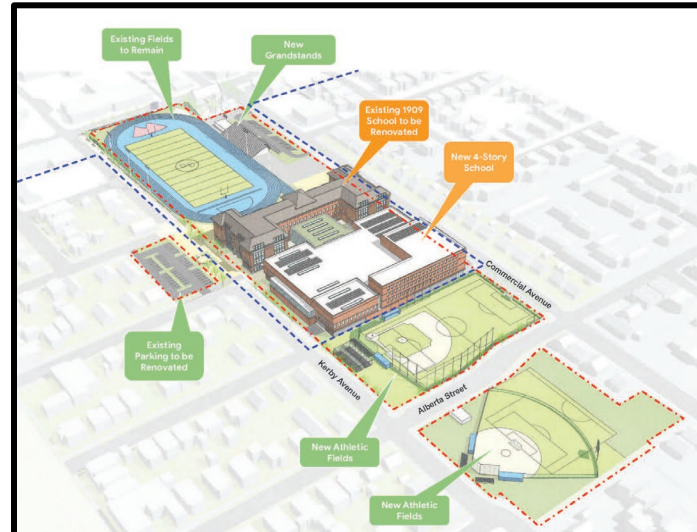
Modifications and Adjustments to setbacks, transit street main entrance, and parking area setbacks and landscaping are anticipated.



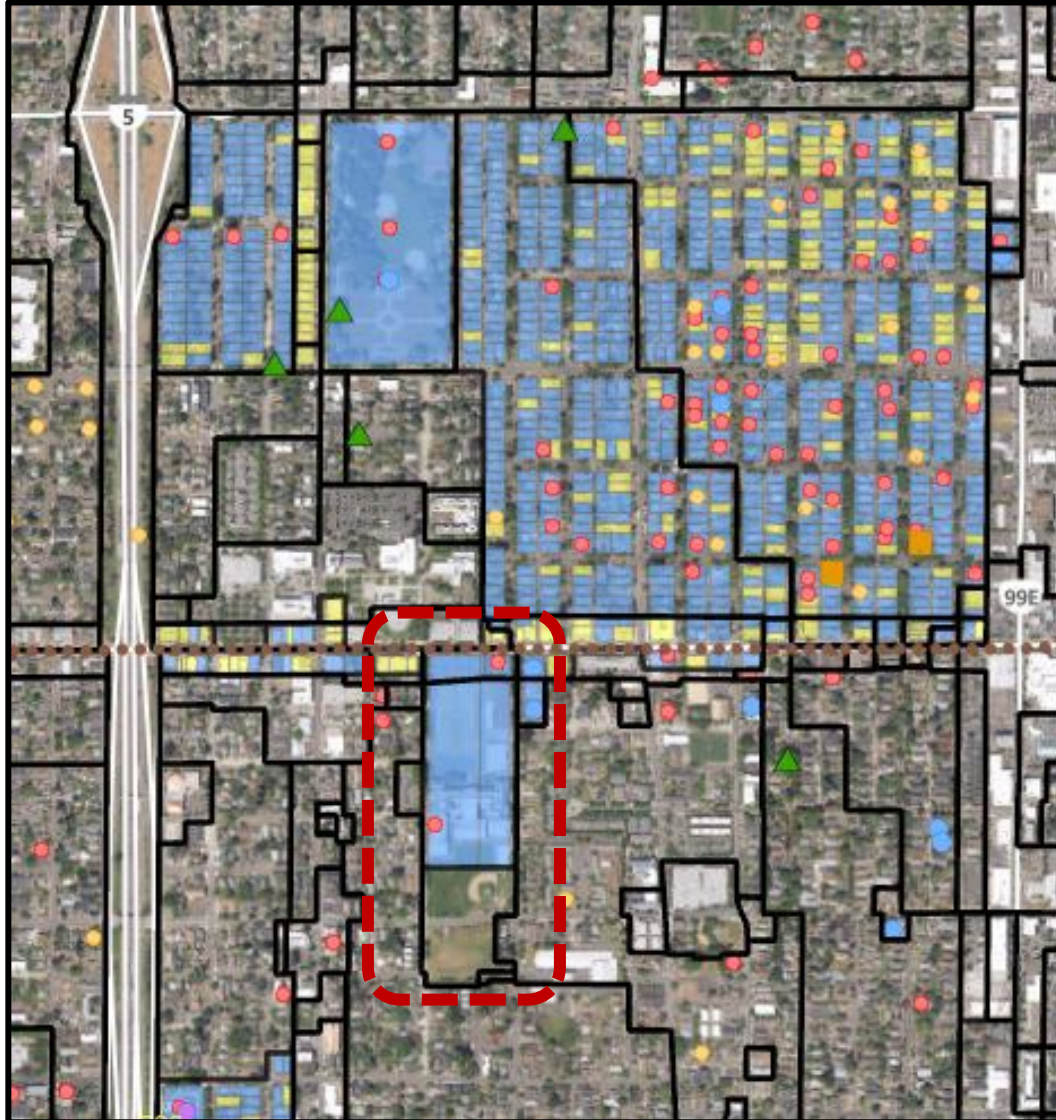
Existing

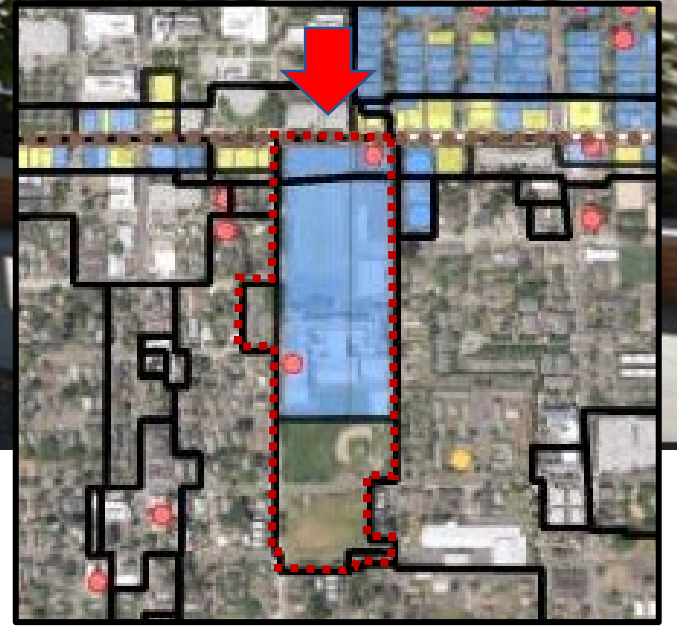


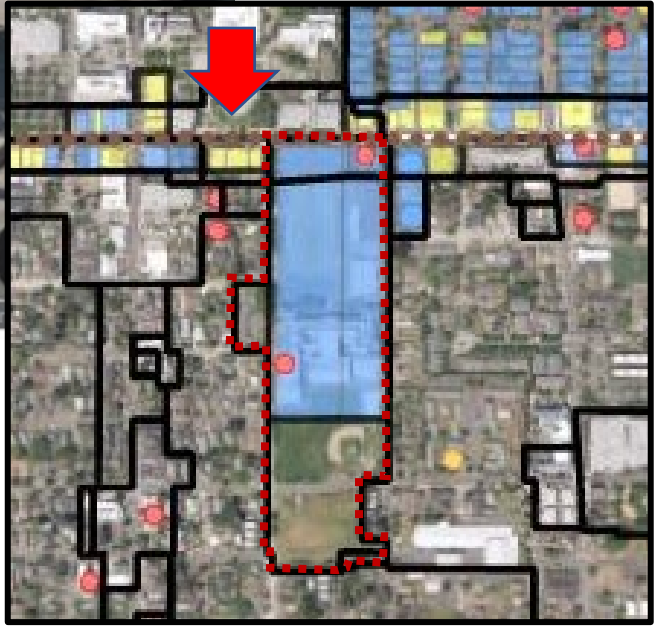
Proposed: DAR #1



Proposed: DAR #2

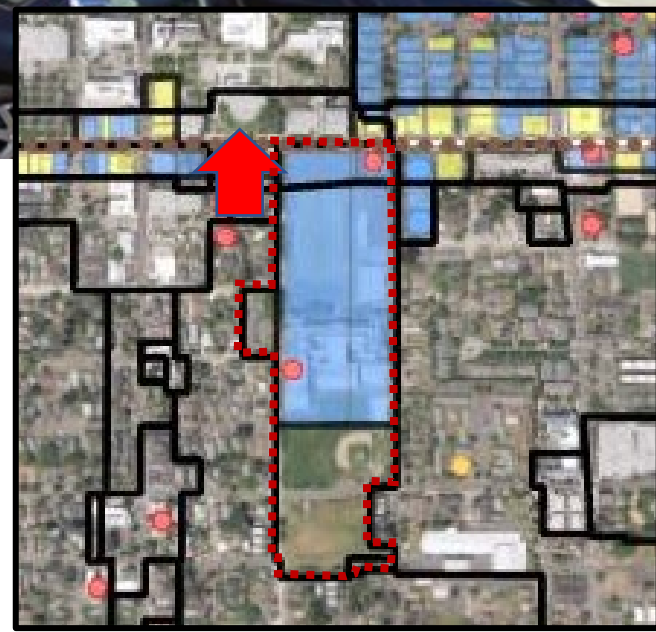
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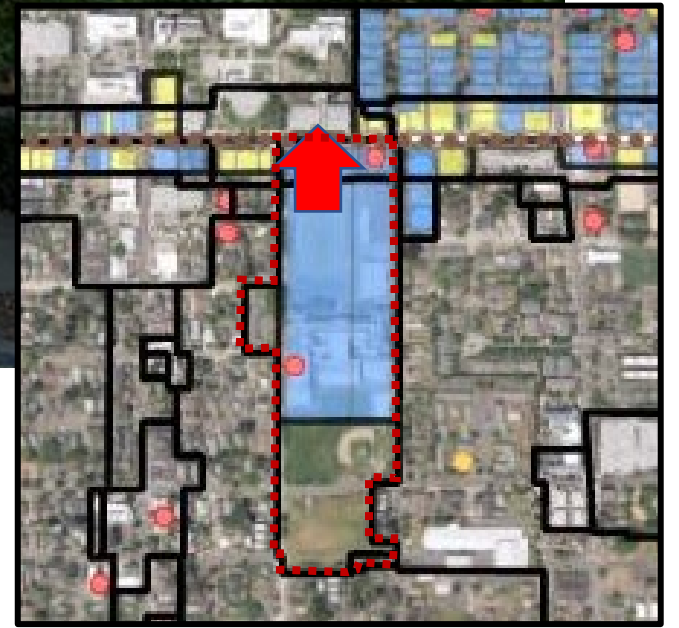


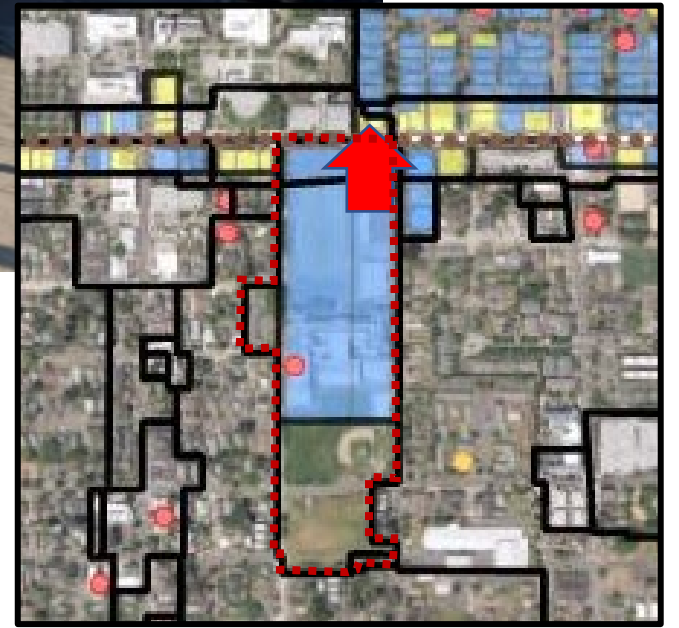


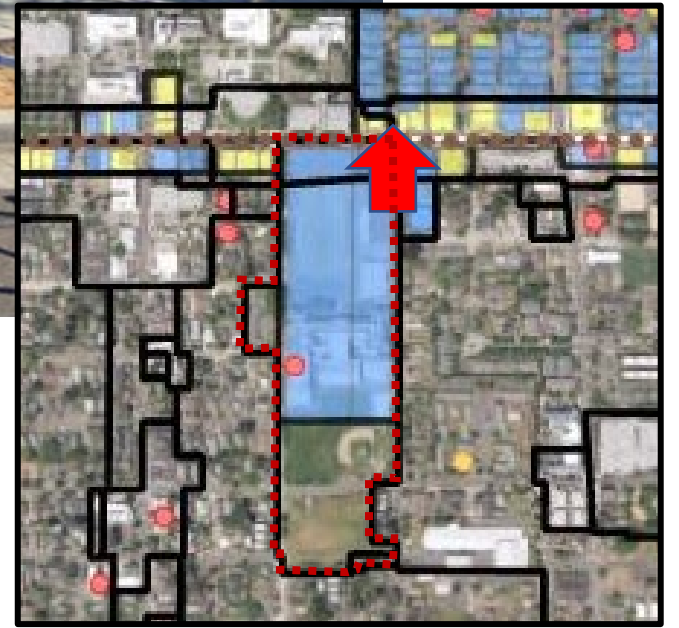


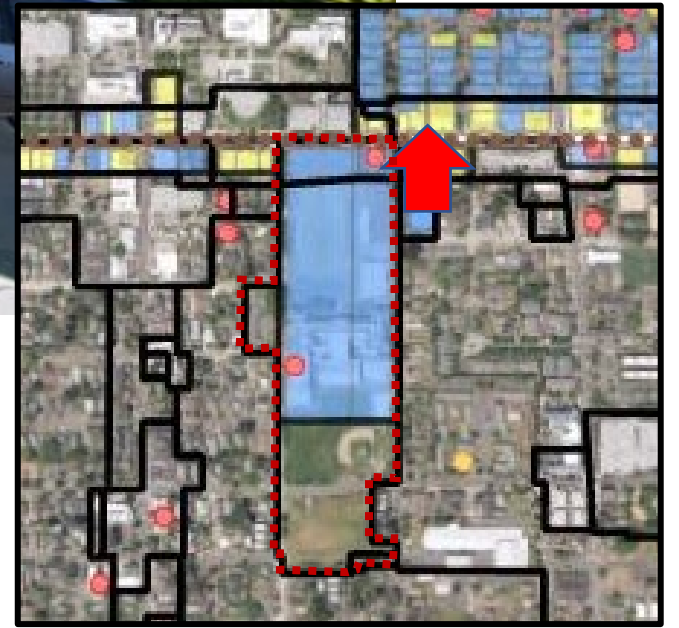
Street View - May 2009

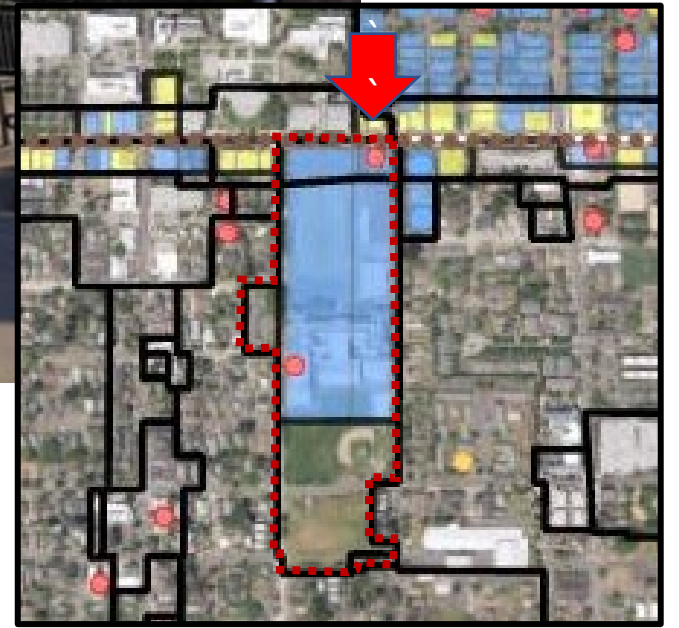


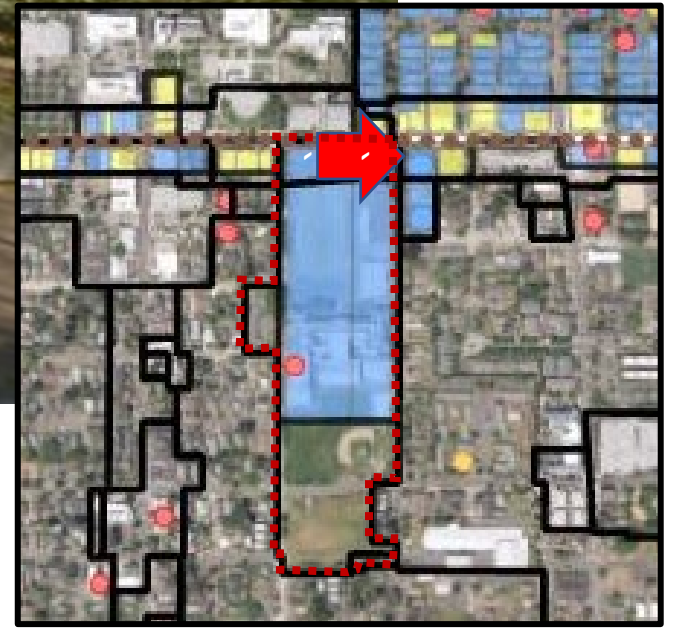


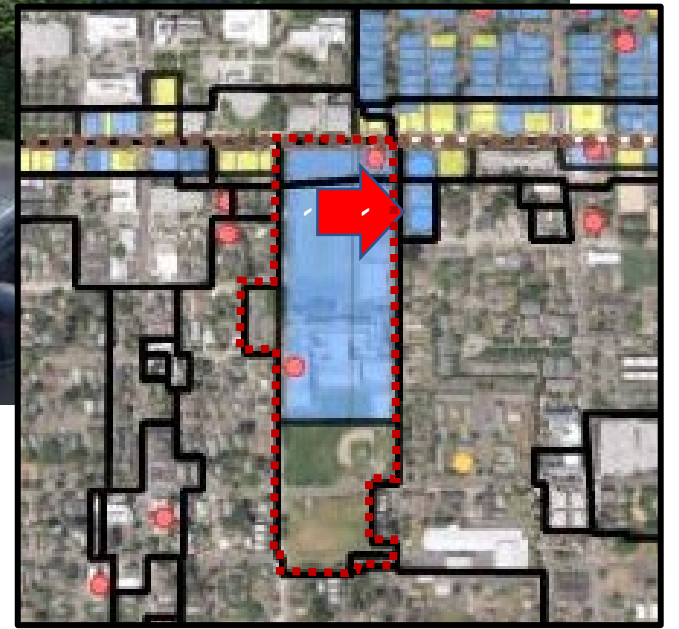
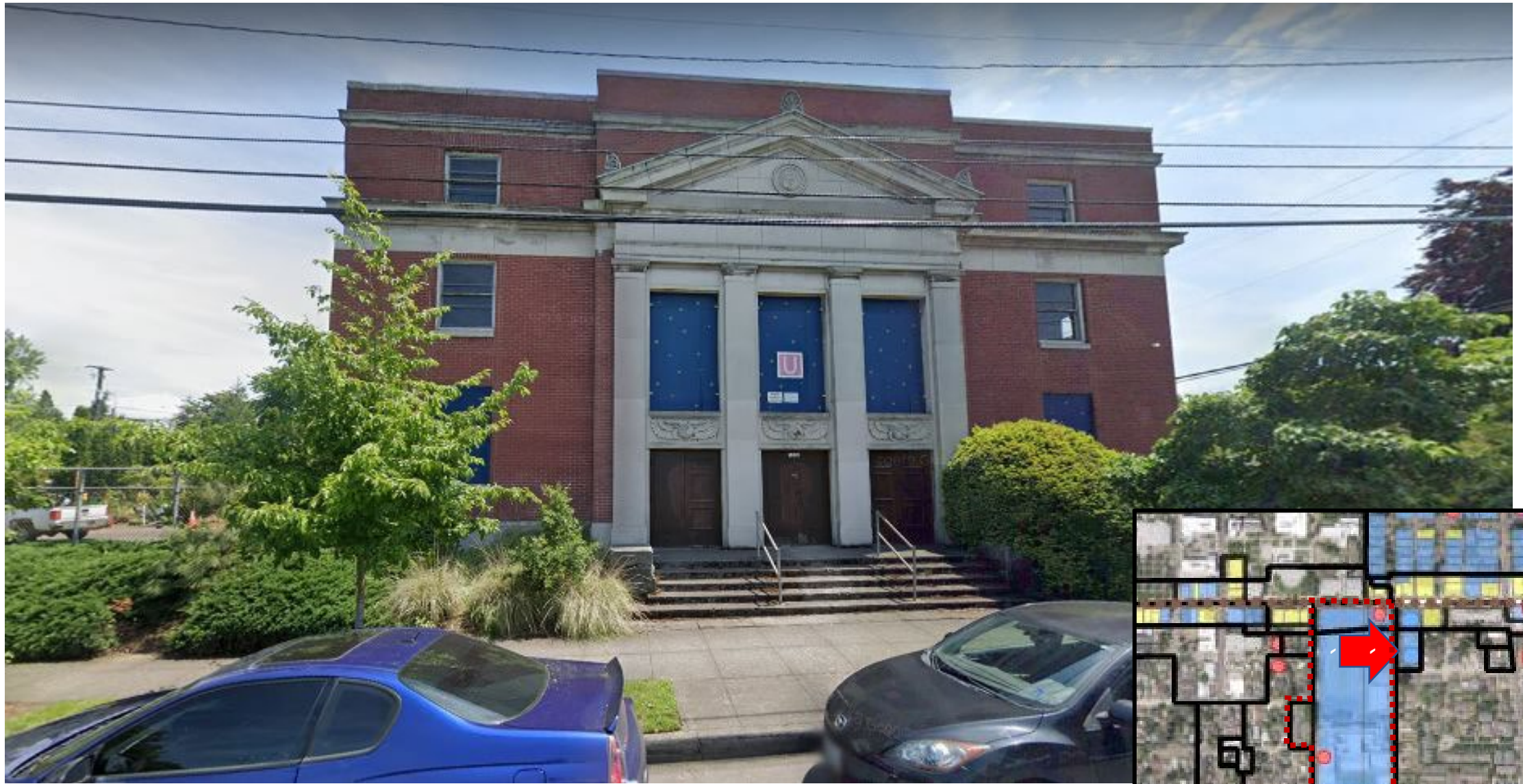


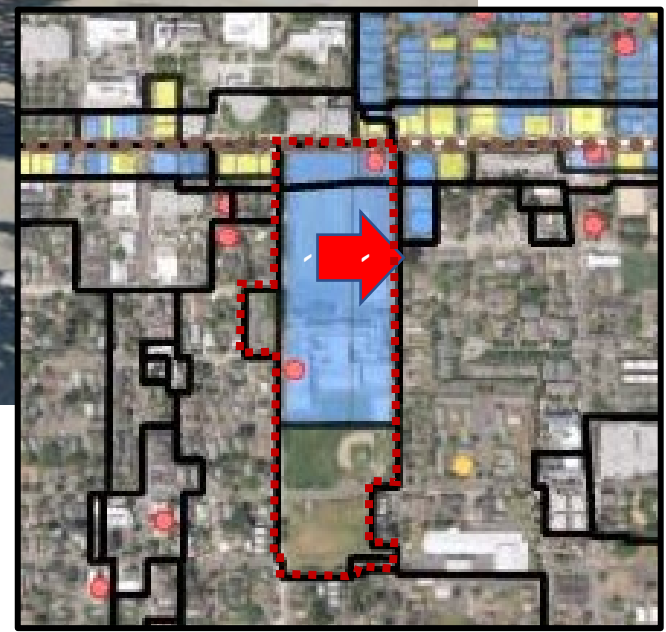


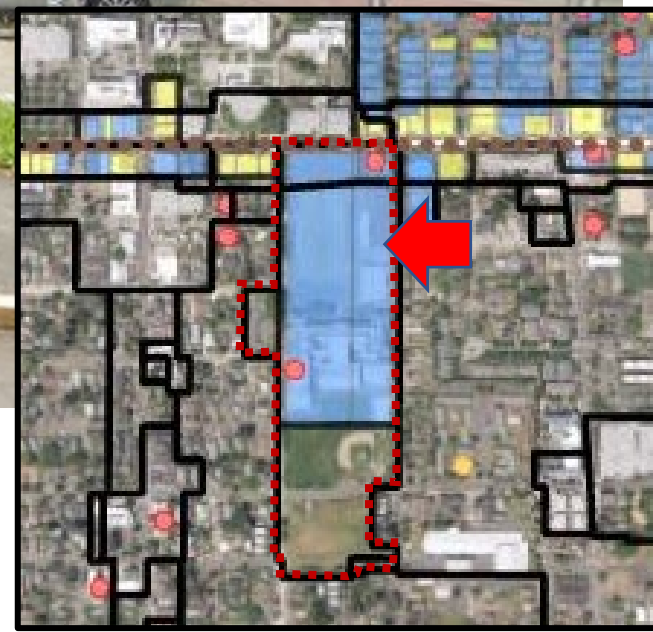


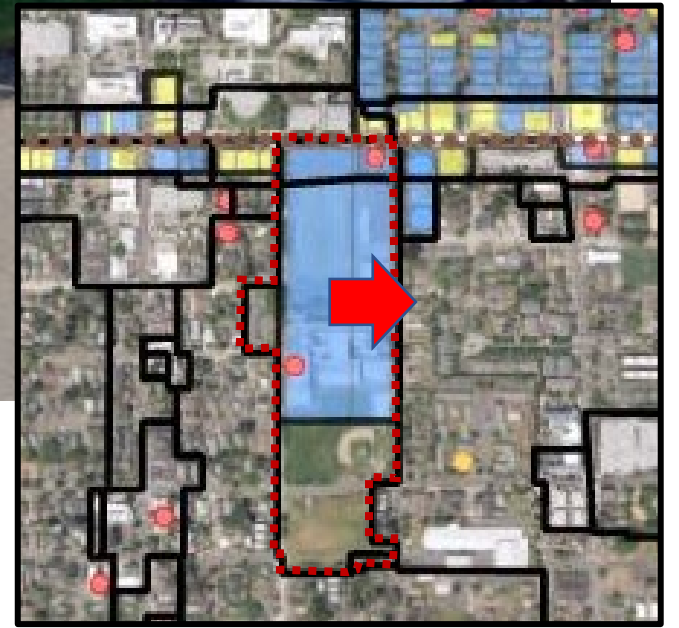


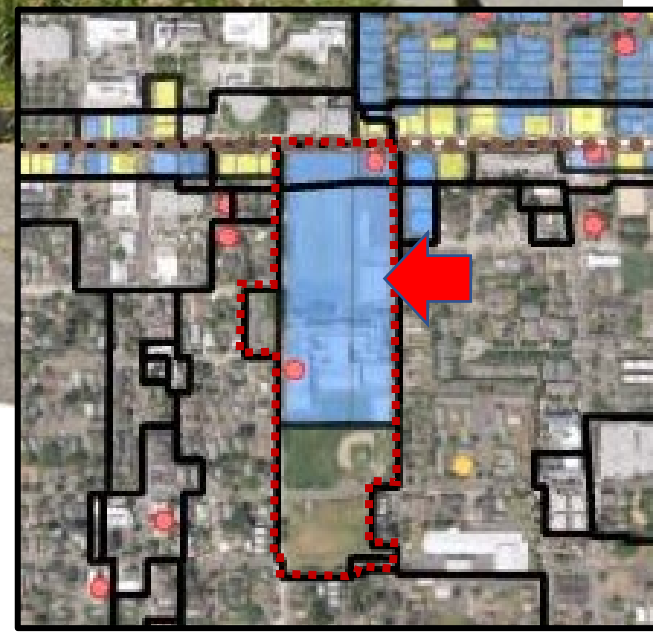


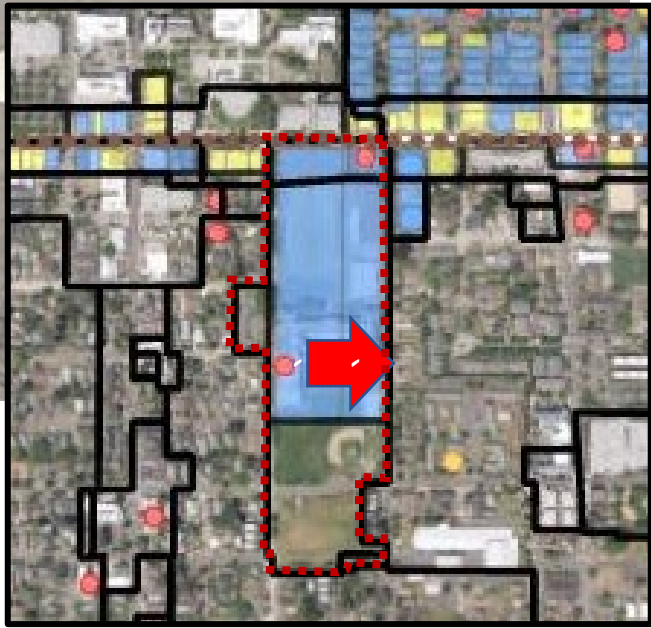




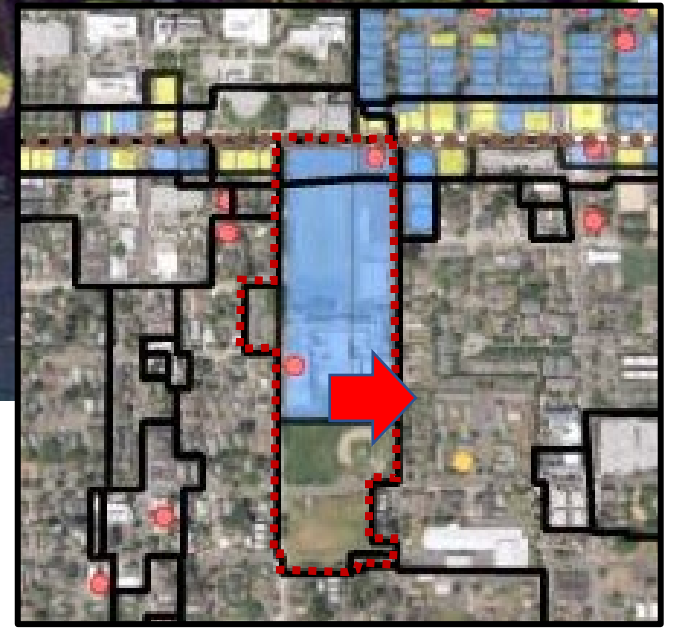


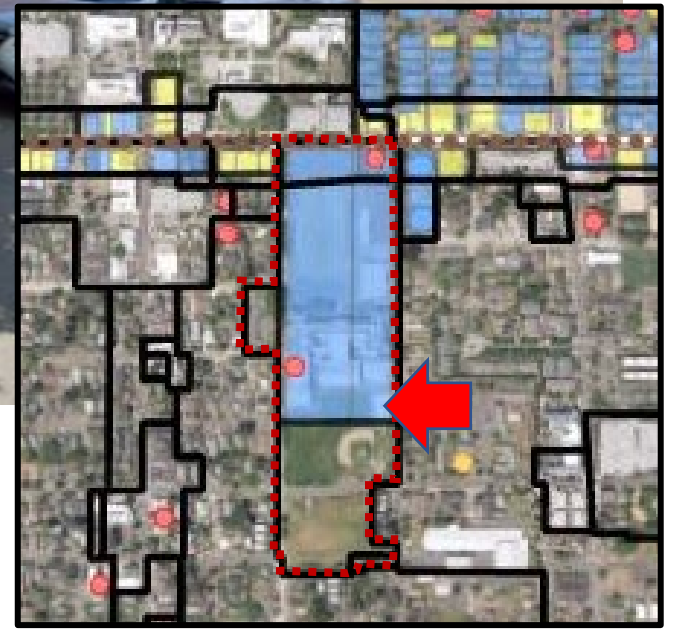
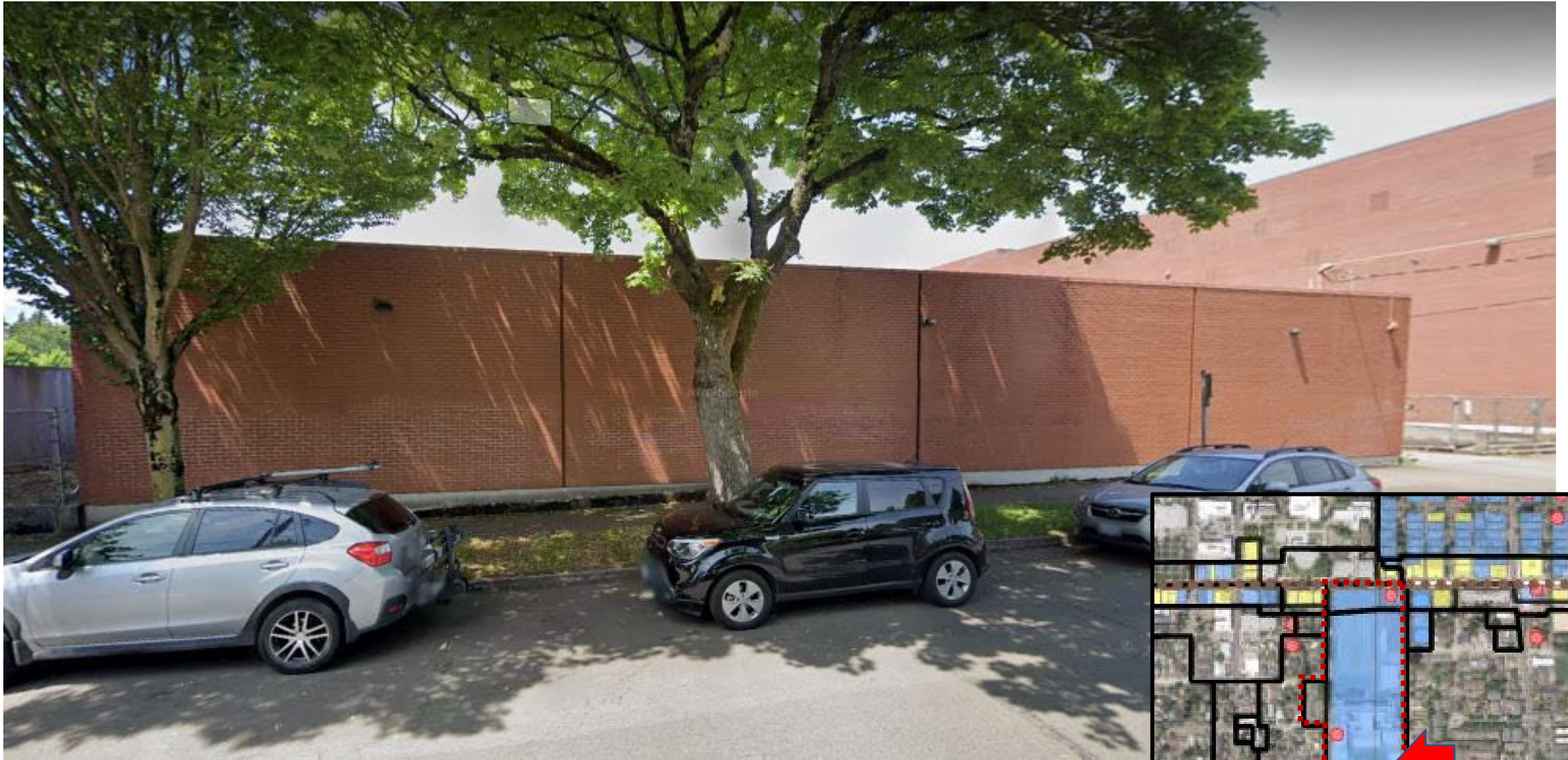


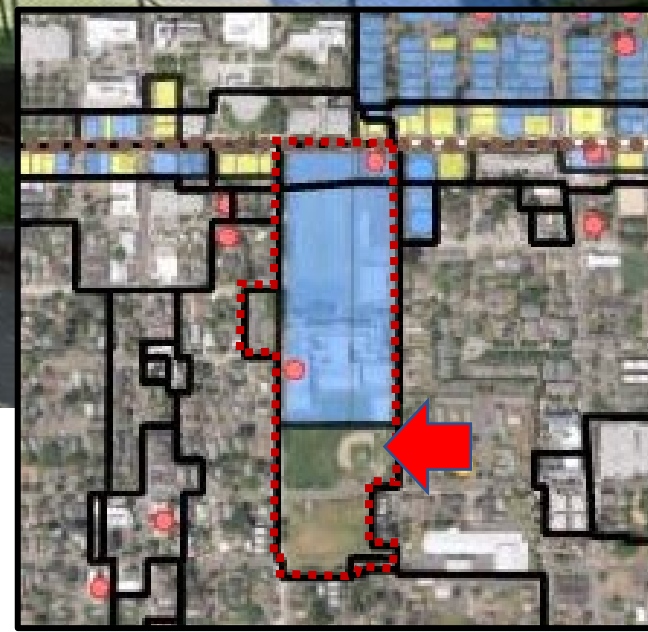






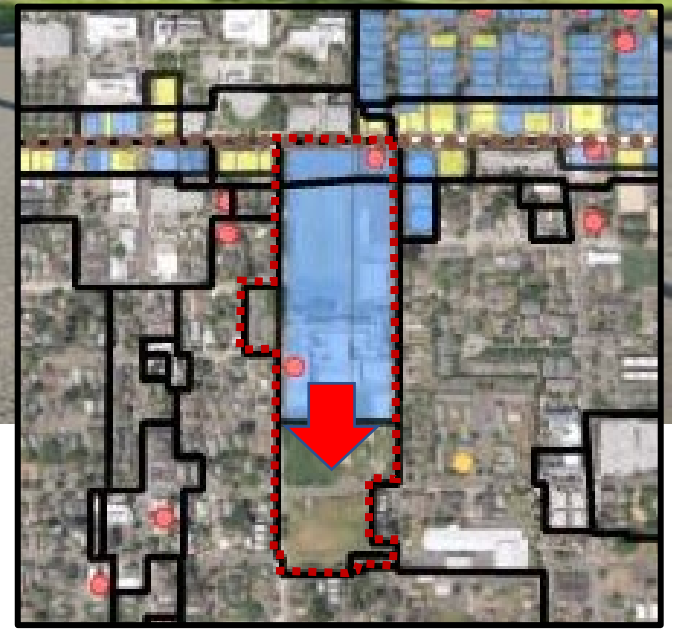


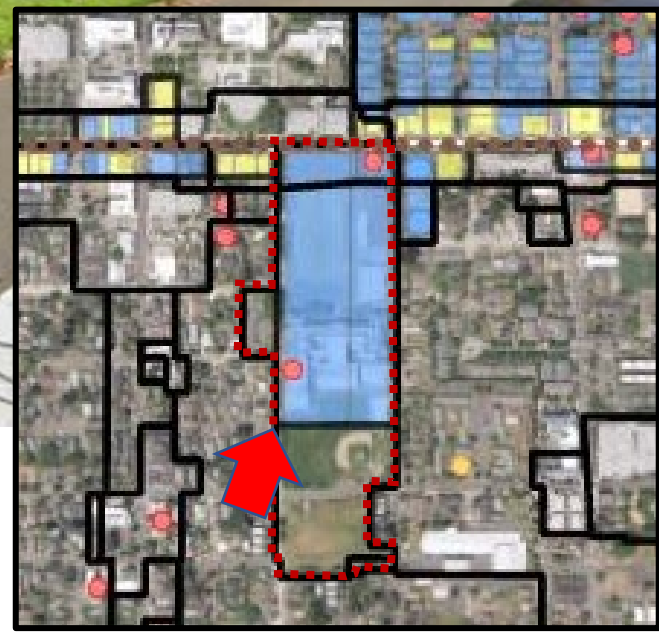


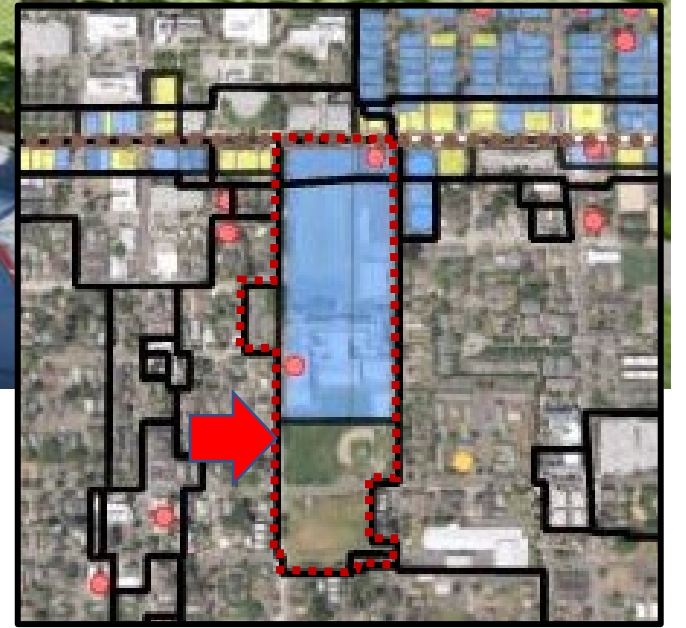


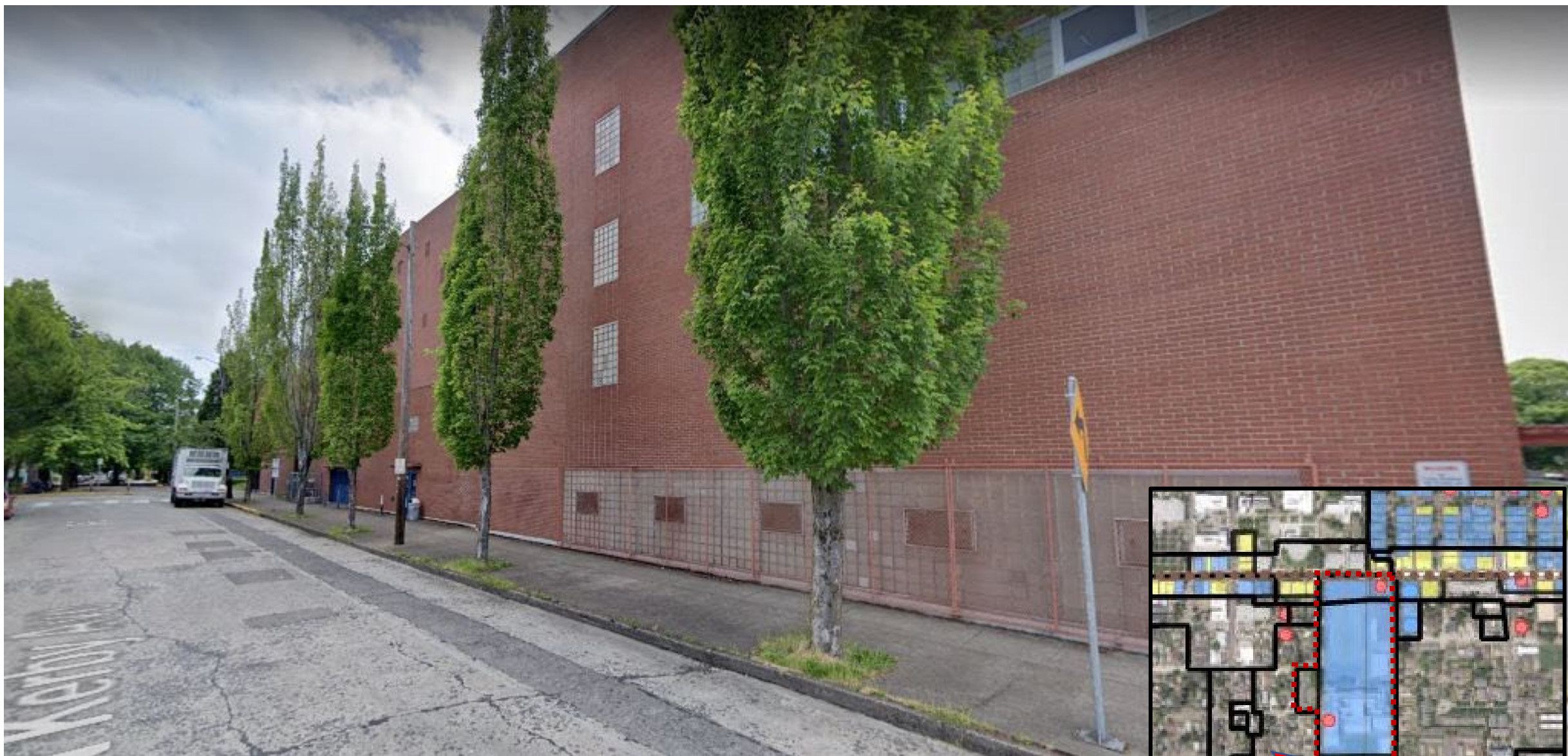






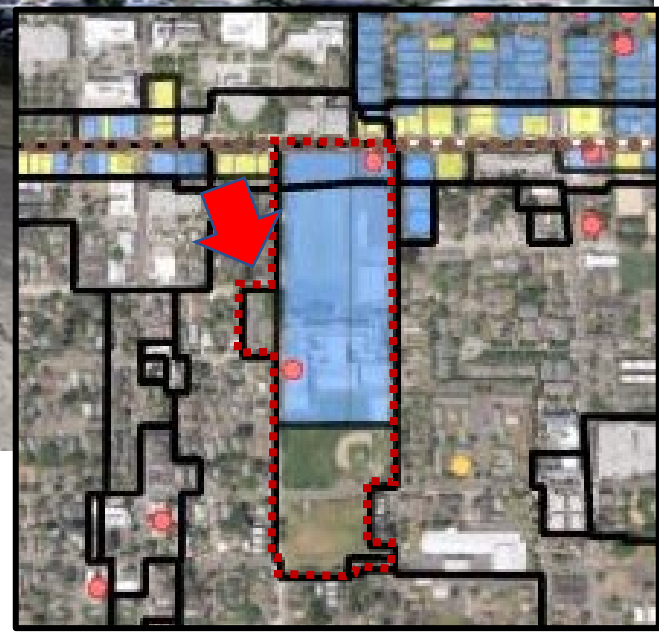


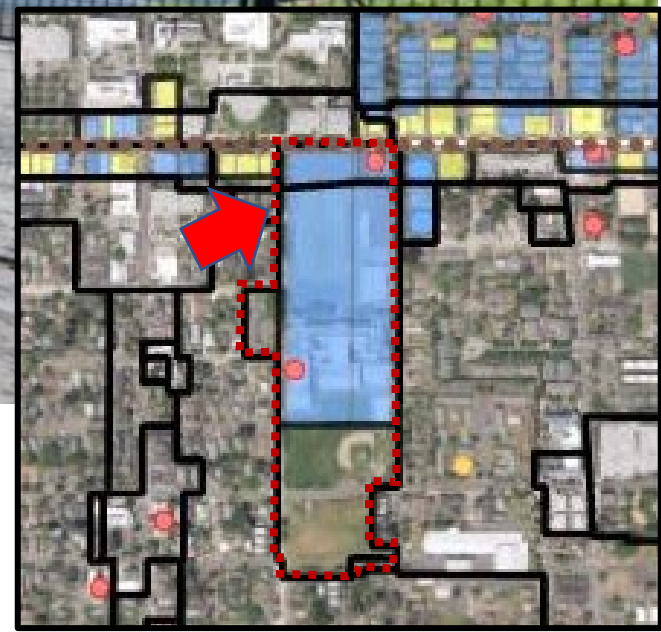
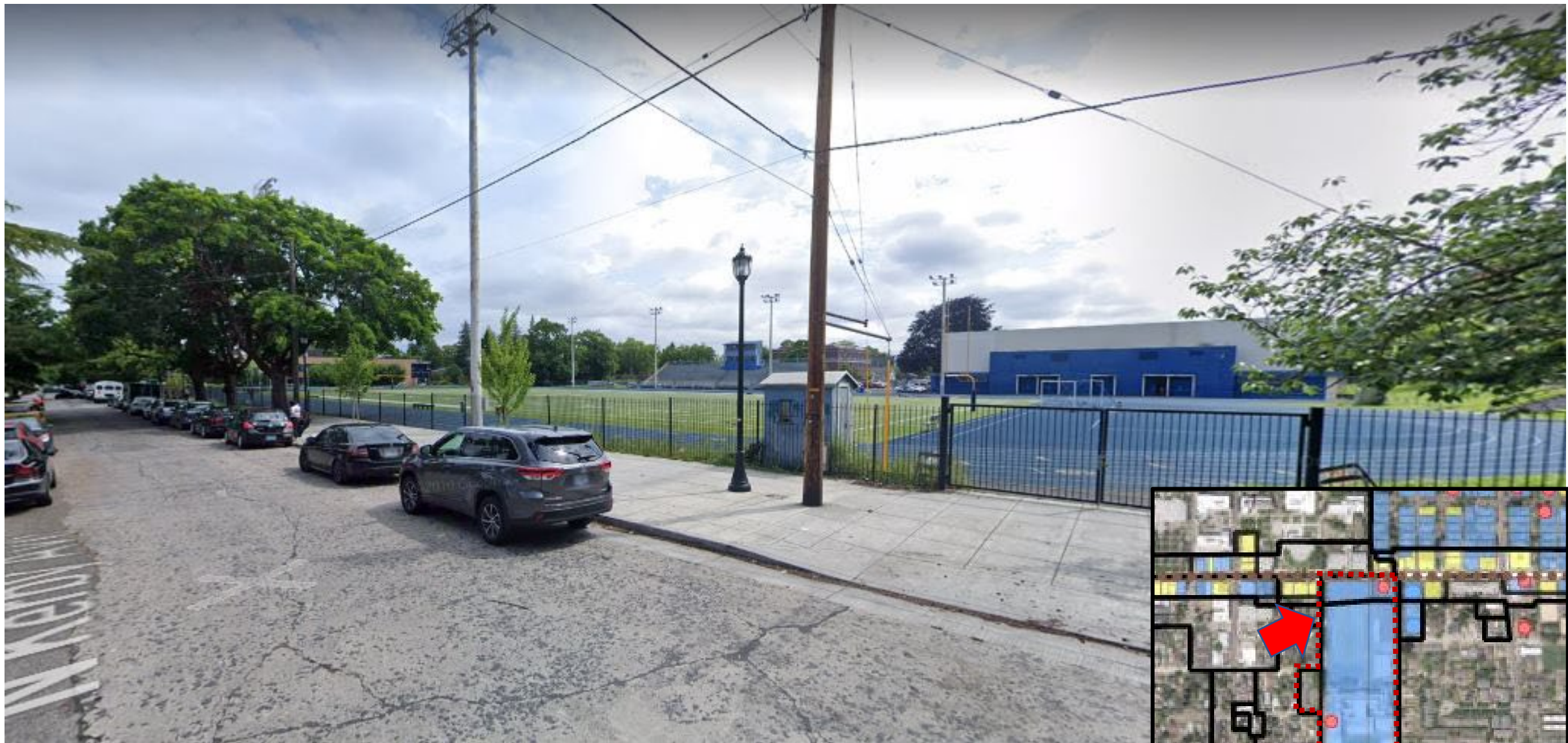


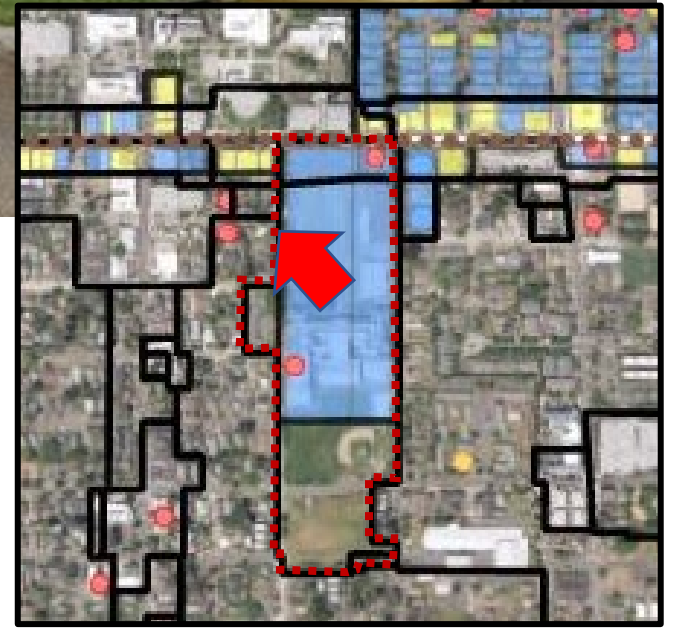




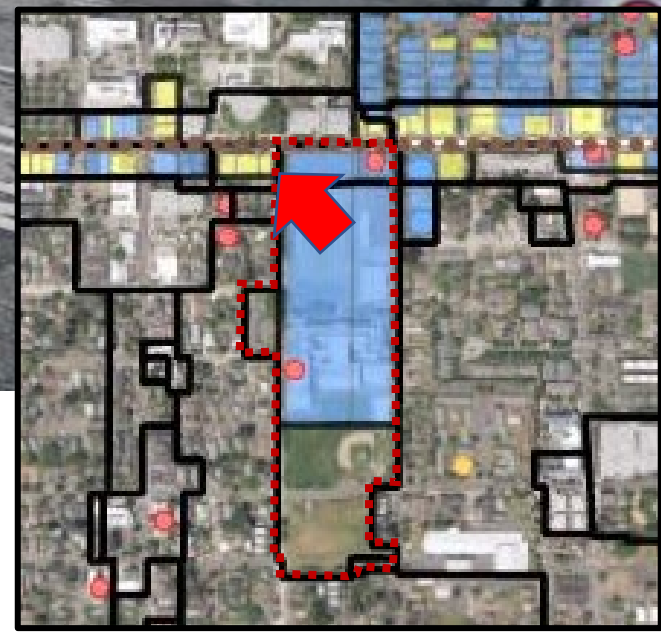












Staff Introduction

Applicant Presentation

Staff Discussion Topics

Public Comments

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CONTEXT | QUALITY & PERMANENCE

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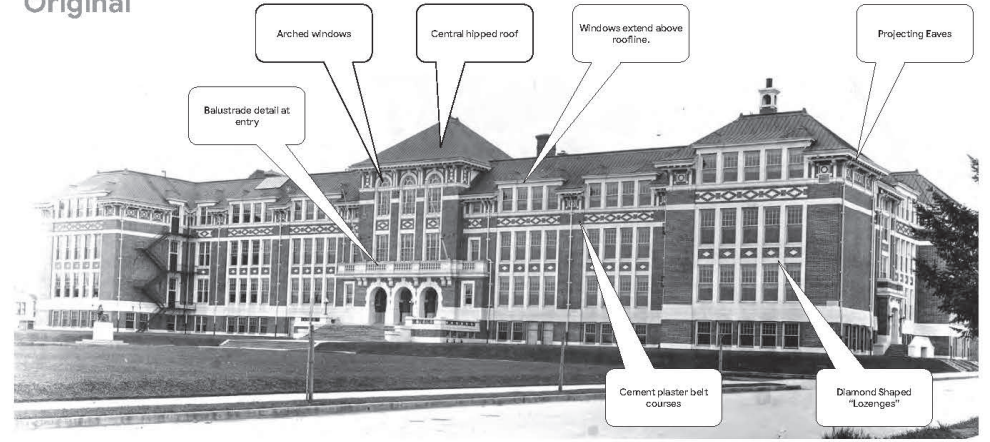
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North Elevation Original



North Elevation Current



North Elevation Proposed



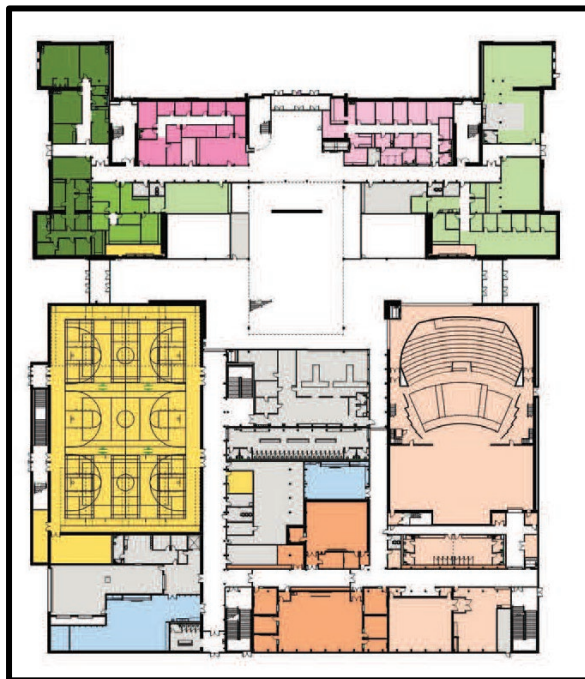
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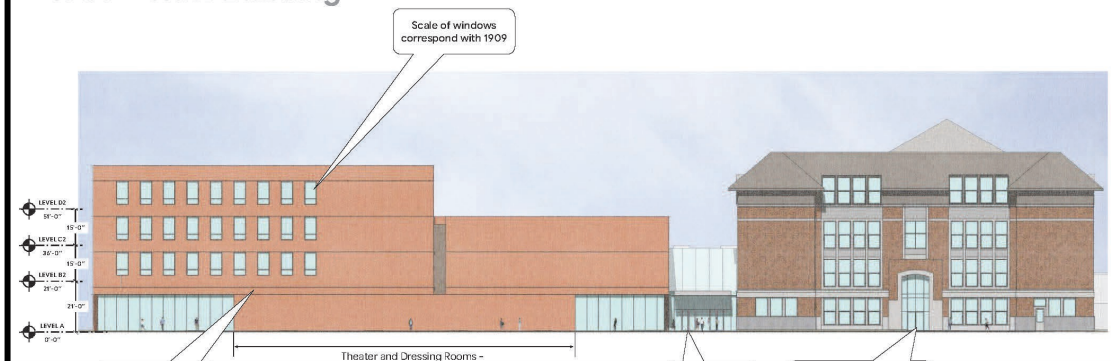
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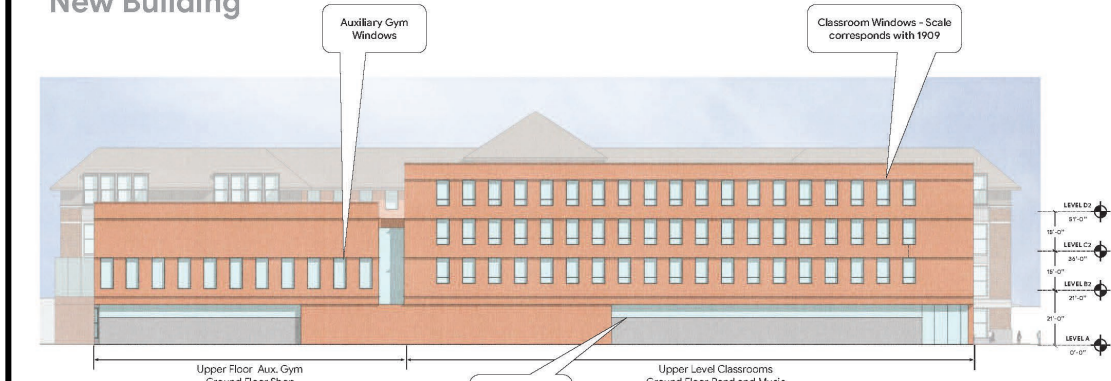
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East Elevation 1909 + New Building



South Elevation New Building



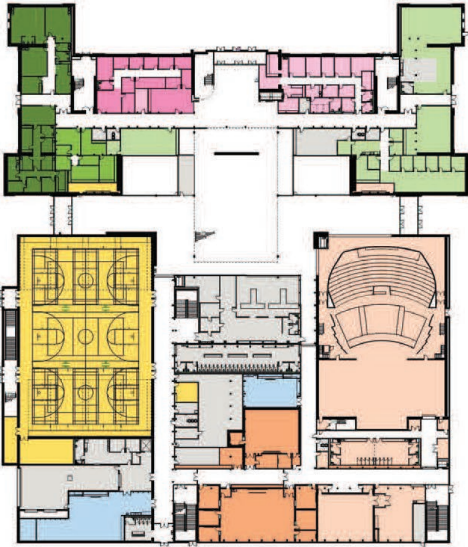
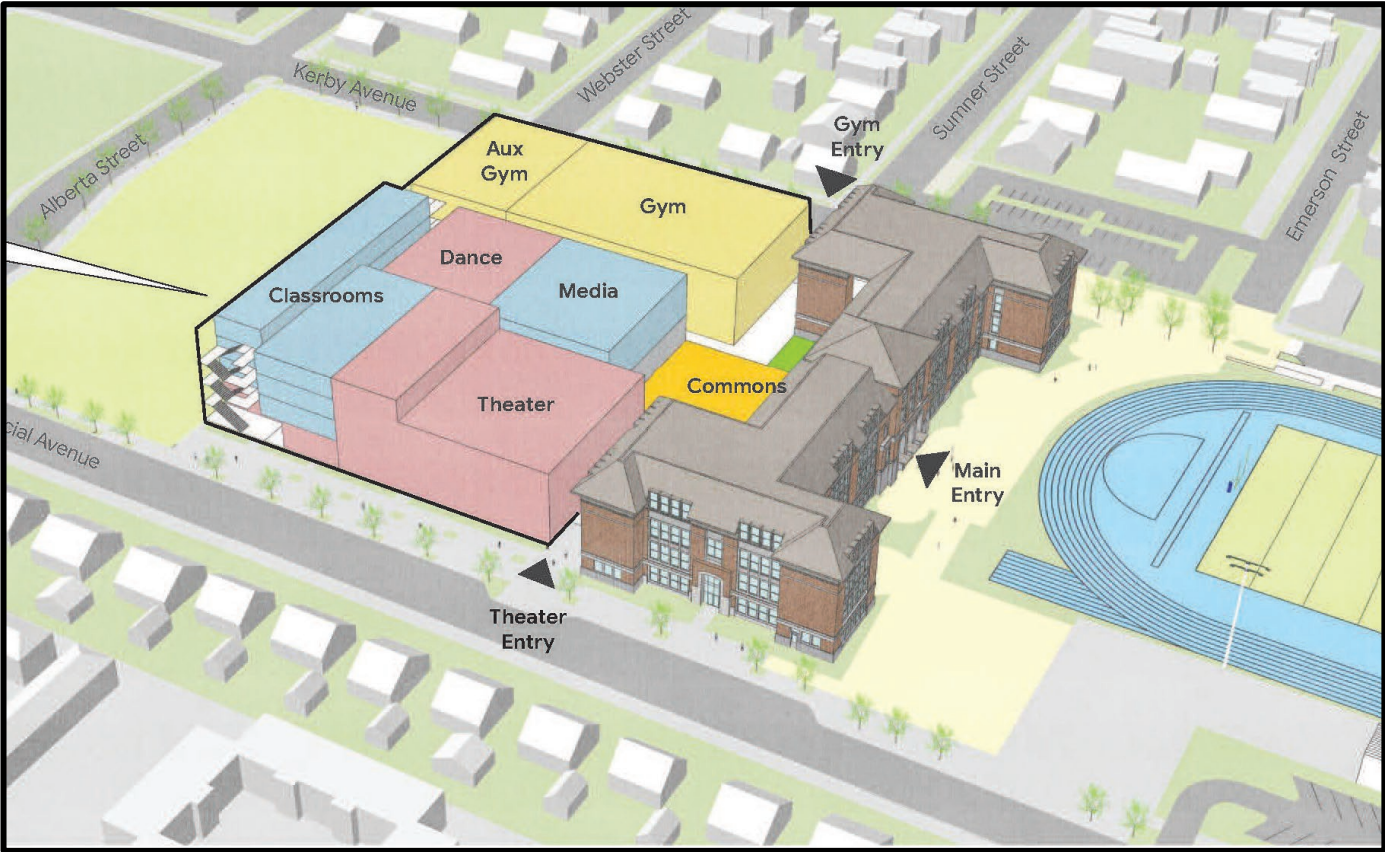
West Elevation 1909 + New Building



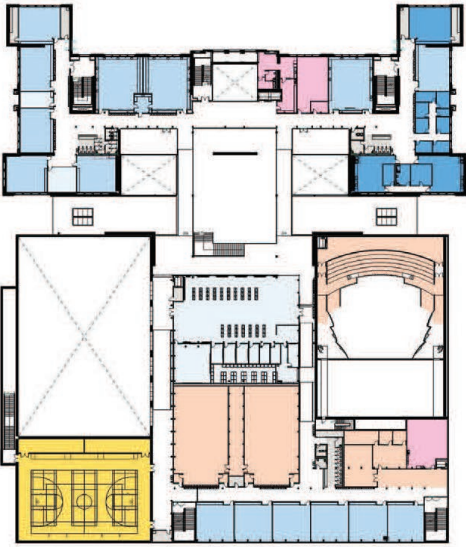
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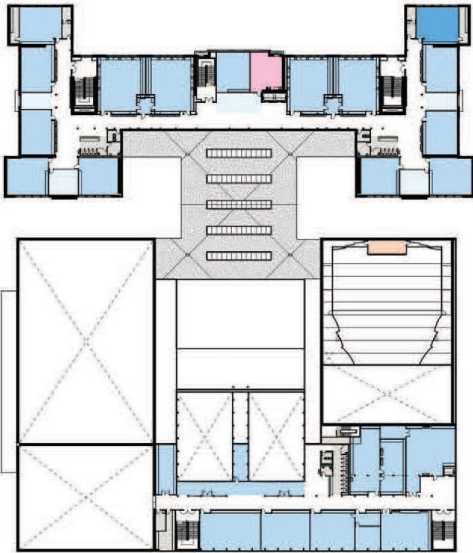
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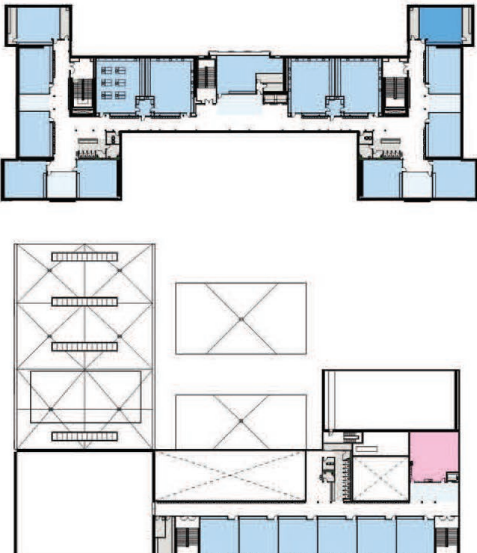
Level A



Level B



Level C



Level D

CONTEXT | QUALITY & PERMANENCE

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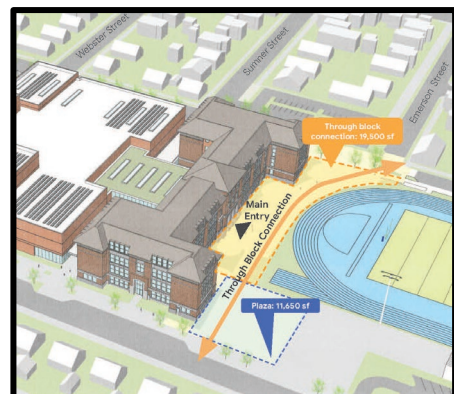
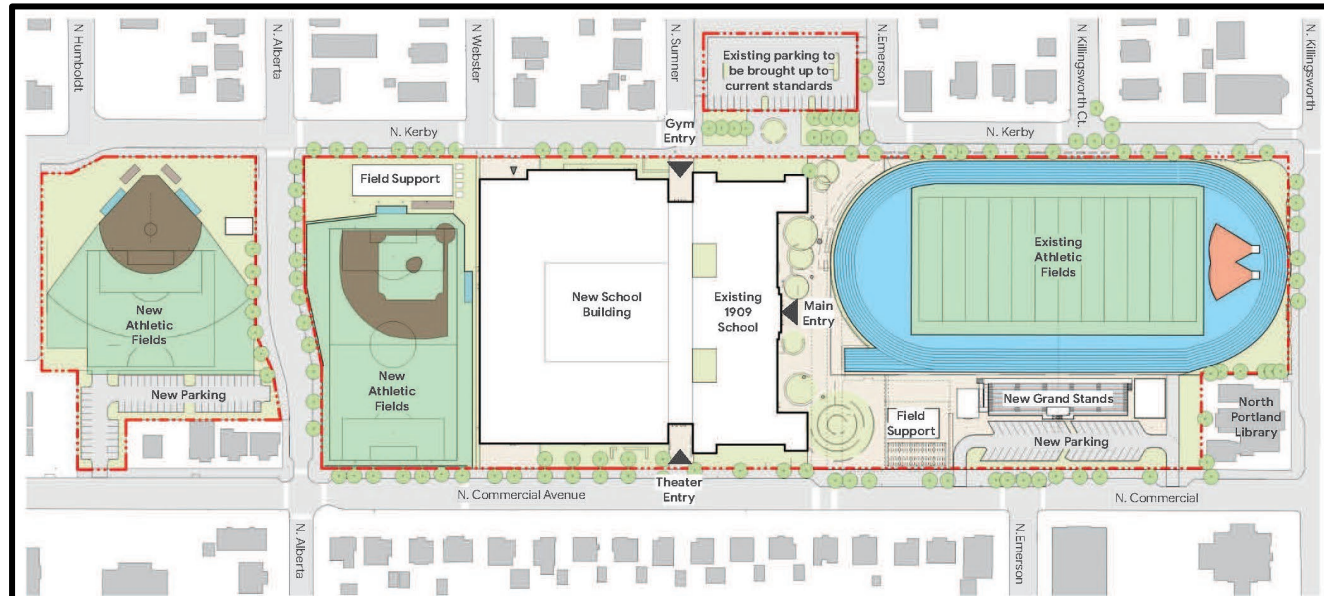
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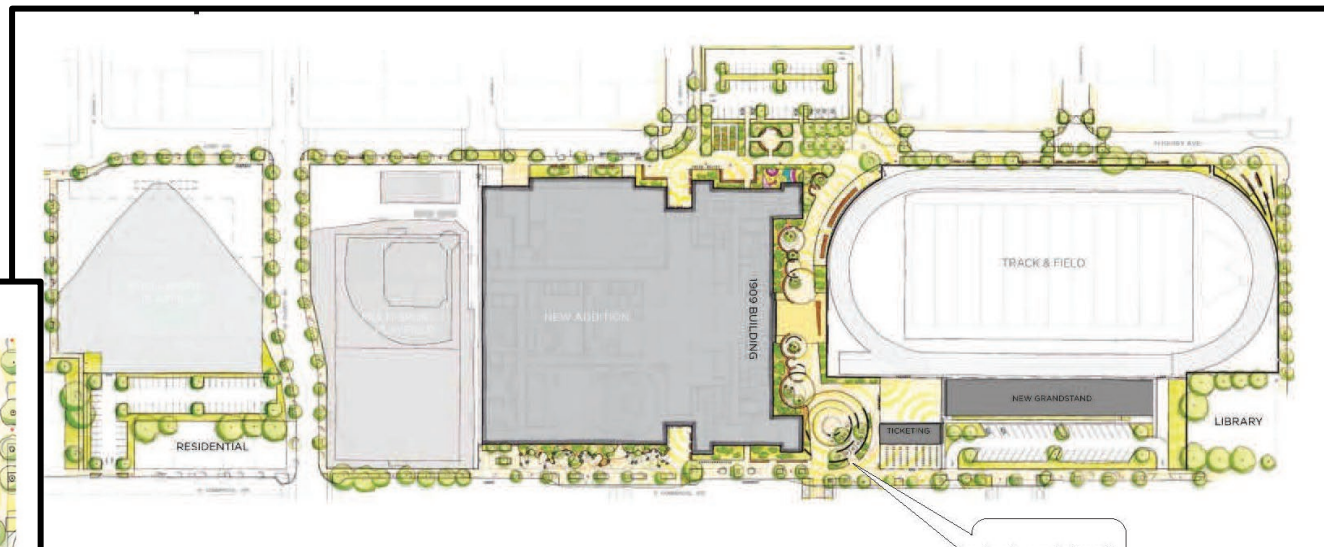
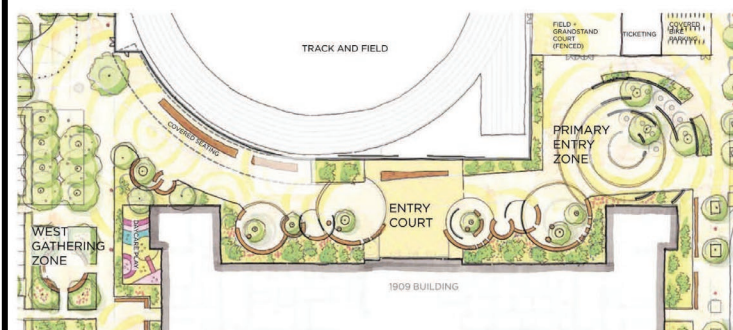
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- Staff requests comments on the proposed site and building access.



North Landscape



CONTEXT | QUALITY & PERMANENCE

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6. Site Parking:

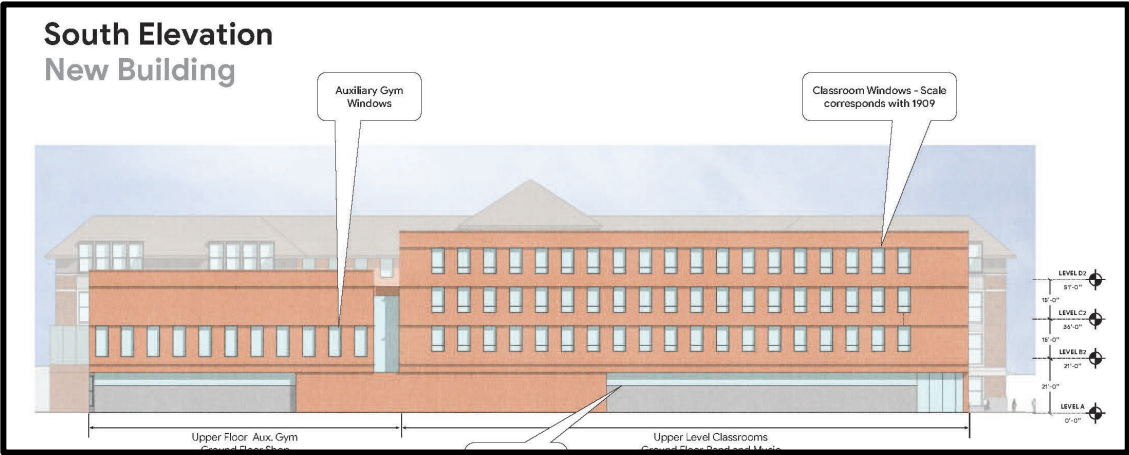
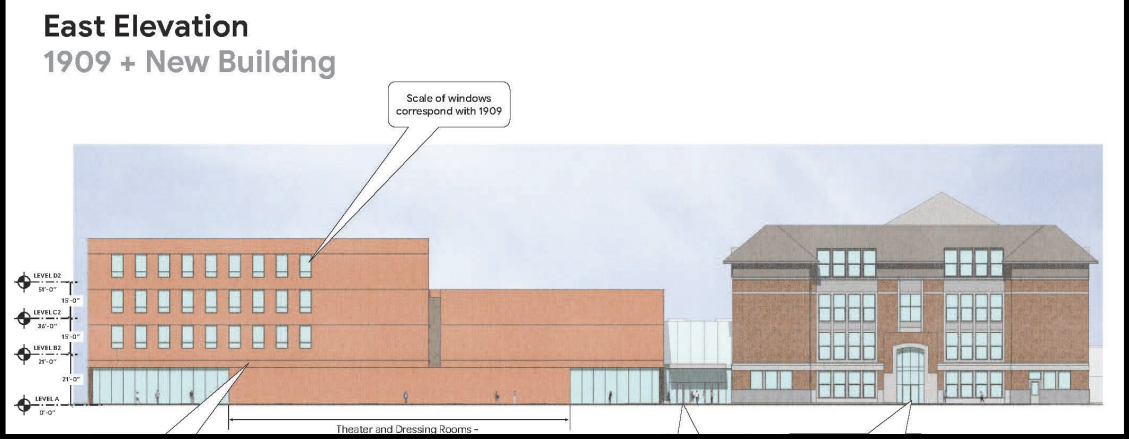
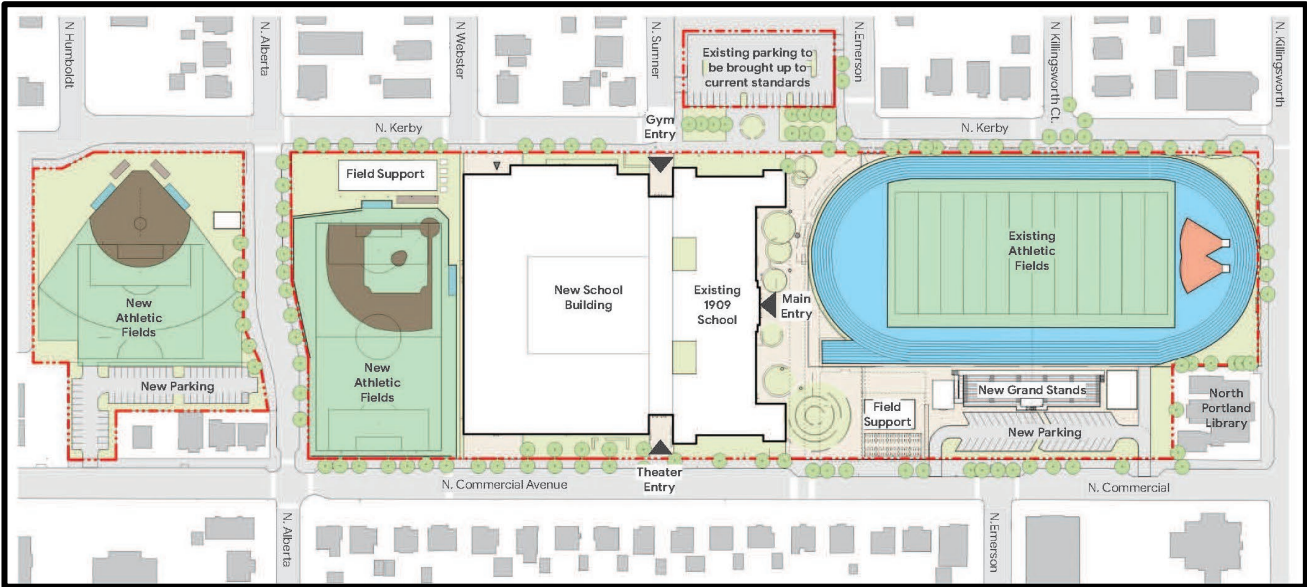
Existing tennis courts in the northeast corner of the site are proposed to be removed for additional onsite parking. All existing parking appears to remain. It is not yet clear how much new parking is proposed.

- *Staff requests comments on proposed location(s) of new surface parking.*

7. Materials:

Brick is the dominant material in the current JHS and is common throughout the PCD.

- *Staff requests comments on the proposed use of red brick for the new building addition.*



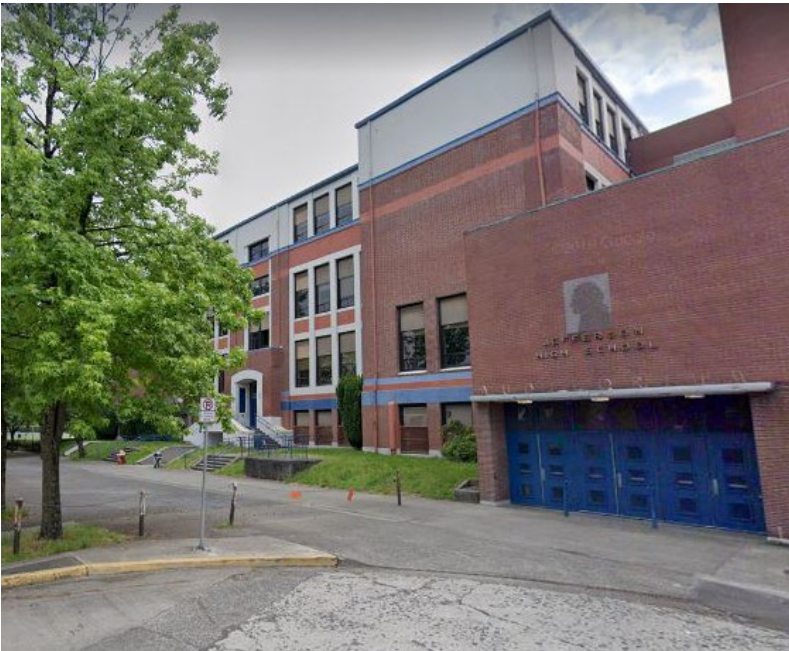
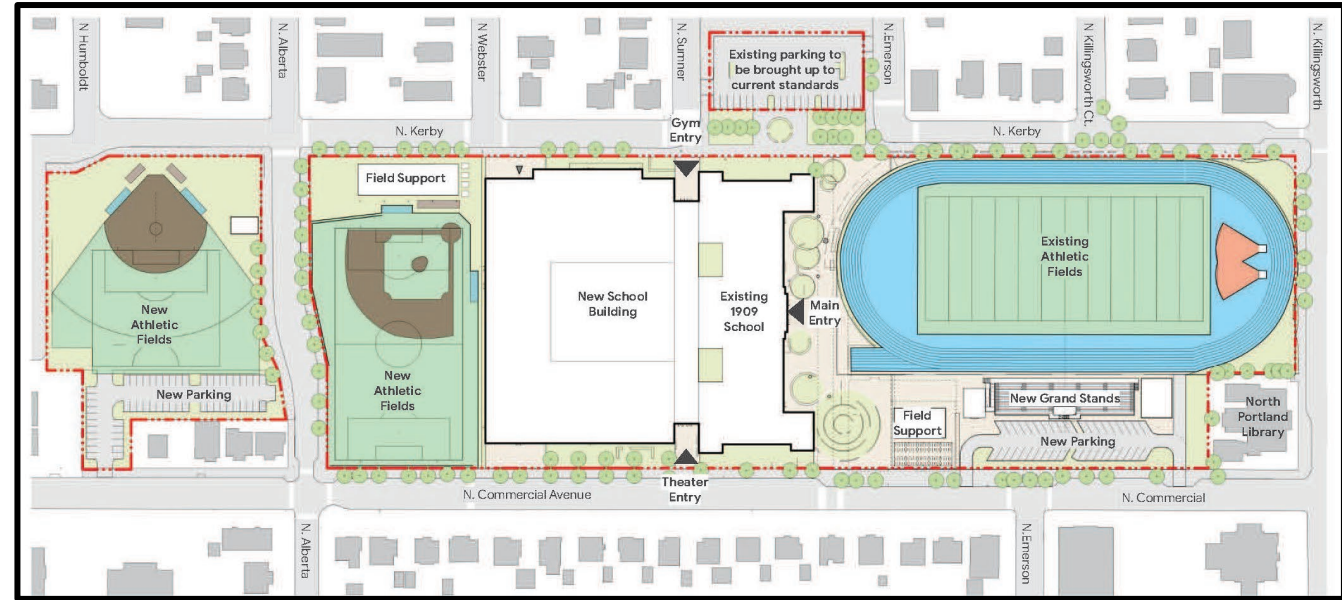
PUBLIC REALM

Relevant Guidelines: P1: Community Plan Area Character, P2: Historic and Conservation Districts, E1: Pedestrian Networks, E2: Stopping Places, E3: The Sidewalk Level of Buildings, E4: Corners that Build Active Intersections, E5: Light, Wind and Rain, D1: Outdoor Areas, D2: Main Entrances, D3: Landscape Features, D6: Architectural Integrity, D7: Blending into the Neighborhood, D8: Interest, Quality and Composition.

8. Access and Main Entrance:

Access though, across, and into the site and buildings is critical, as is clear wayfinding regarding the main entrance(s). The proposed design includes access to the gym from the west, access to the theater from the east, and the main entrance at the north.

- **Staff requests comments on the proposed building access points and main entry location and/or hierarchy.**
- **Staff requests comments on the proposed public cross-block connection.**



PUBLIC REALM

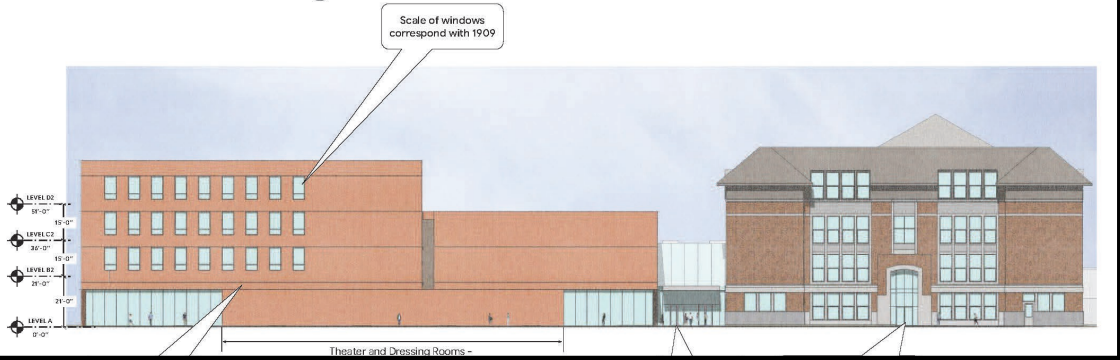
Relevant Guidelines: P1: Community Plan Area Character, P2: Historic and Conservation Districts, E1: Pedestrian Networks, E2: Stopping Places, E3: The Sidewalk Level of Buildings, E4: Corners that Build Active Intersections, E5: Light, Wind and Rain, D1: Outdoor Areas, D2: Main Entrances, D3: Landscape Features, D6: Architectural Integrity, D7: Blending into the Neighborhood, D8: Interest, Quality and Composition.

9. Ground Level Frontages:

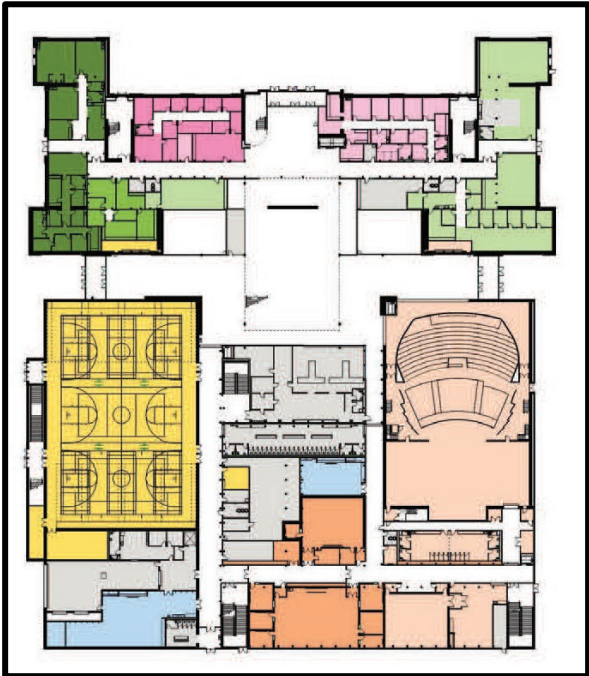
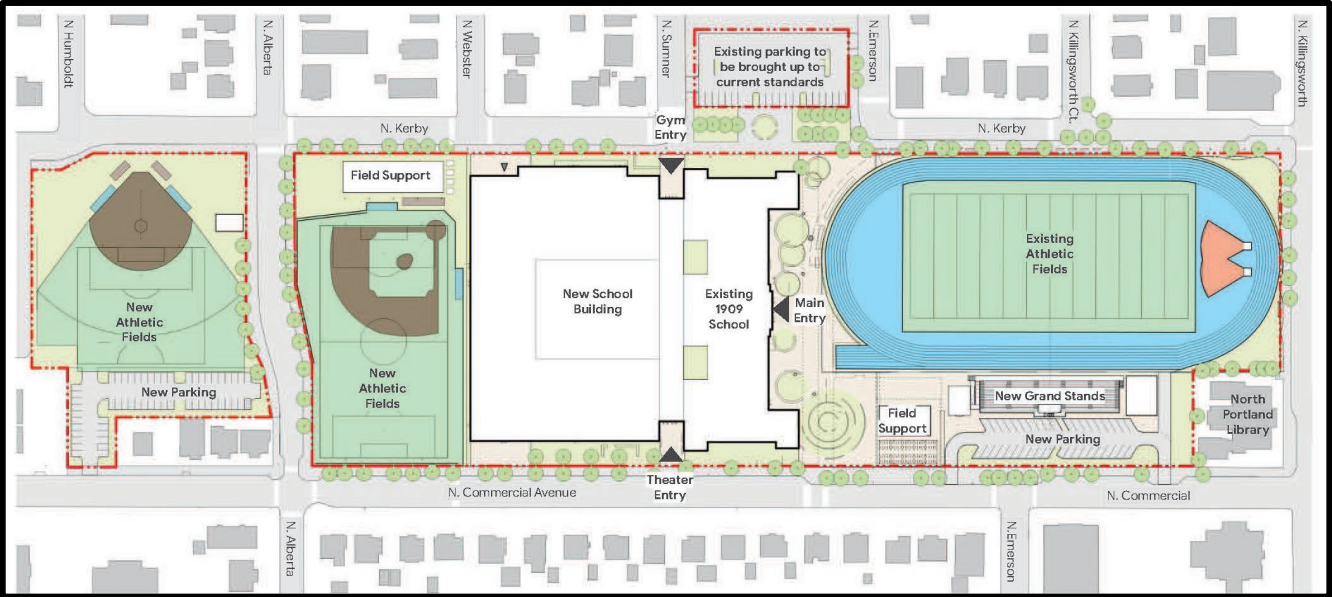
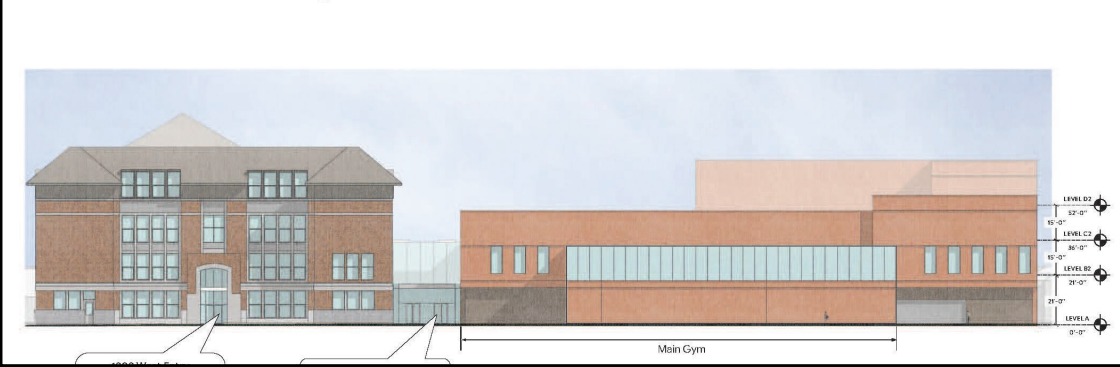
Proposed programming results in ground level frontages on the east and west elevations being largely blank walls.

- *Staff requests comments on the proposed blank walls on the east and west ground level frontages.*

East Elevation
1909 + New Building



West Elevation
1909 + New Building



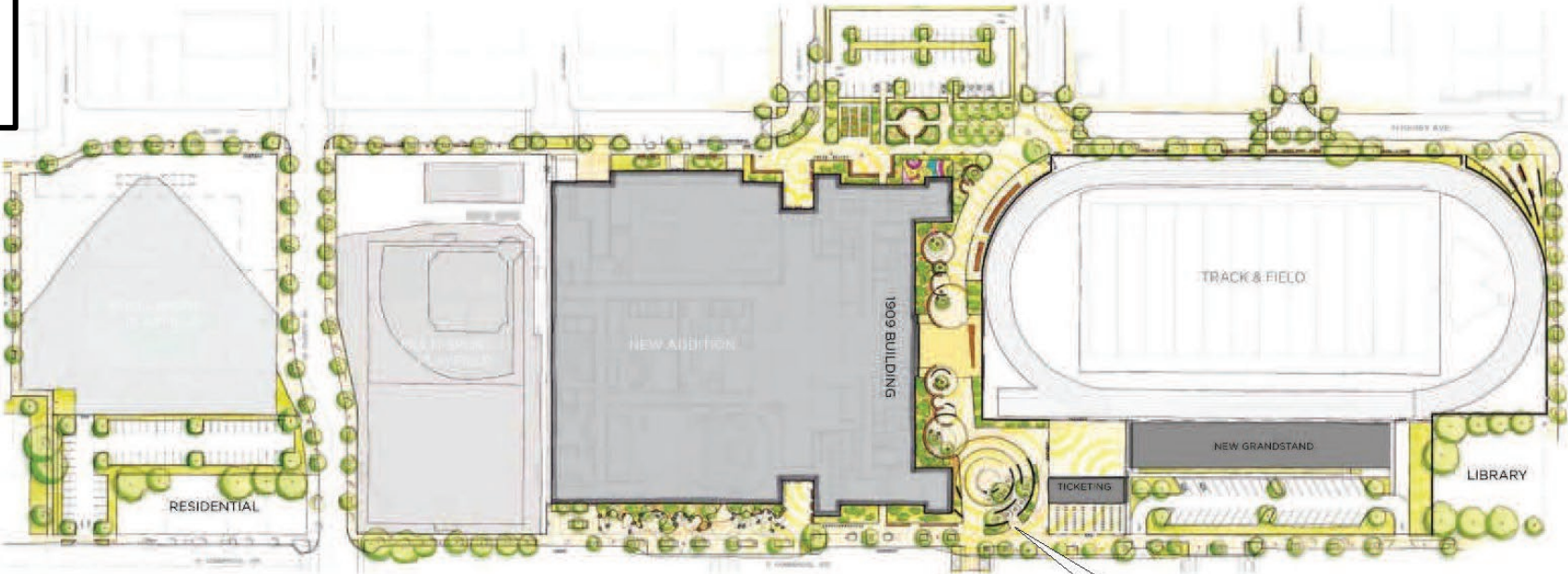
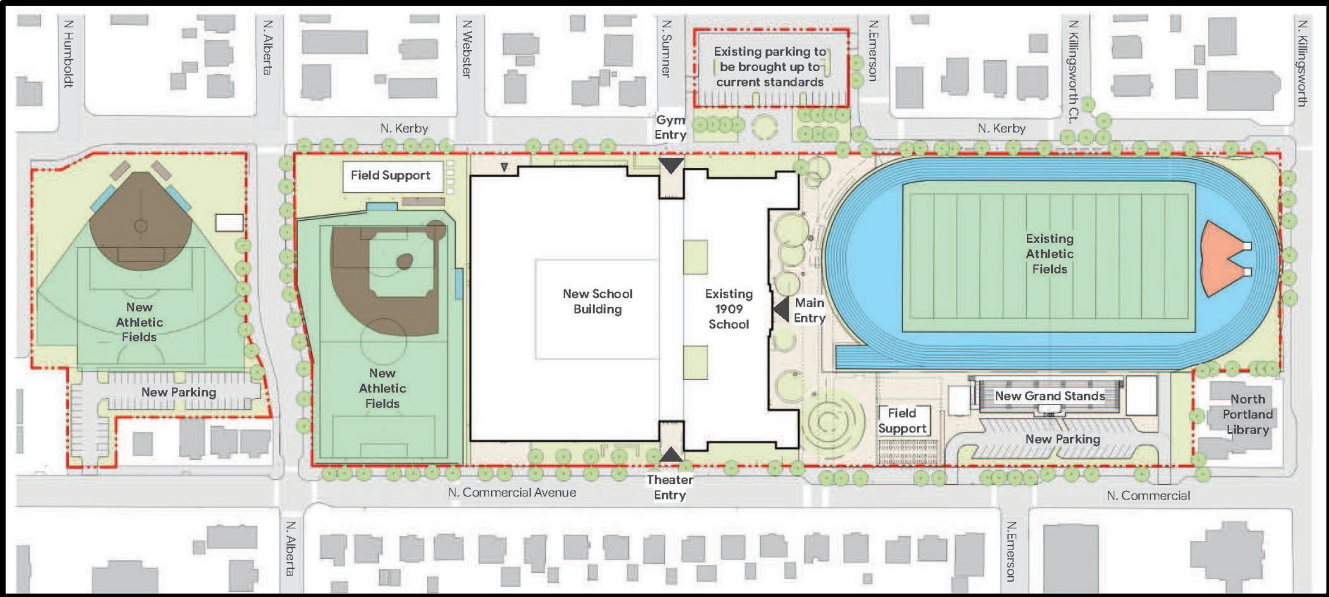
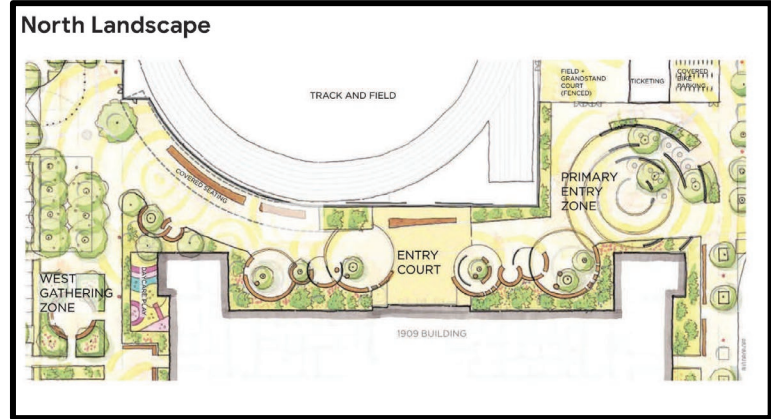
PUBLIC REALM

Relevant Guidelines: P1: Community Plan Area Character, P2: Historic and Conservation Districts, E1: Pedestrian Networks, E2: Stopping Places, E3: The Sidewalk Level of Buildings, E4: Corners that Build Active Intersections, E5: Light, Wind and Rain, D1: Outdoor Areas, D2: Main Entrances, D3: Landscape Features, D6: Architectural Integrity, D7: Blending into the Neighborhood, D8: Interest, Quality and Composition.

10. Outdoor Areas/Landscaping:

In relation to setbacks on the east and west frontages, Superblock requirements, and the proposed north main entrance, outdoor areas are proposed.

- *Staff requests comments on the proposed outdoor areas on the north, east, and west frontages.*



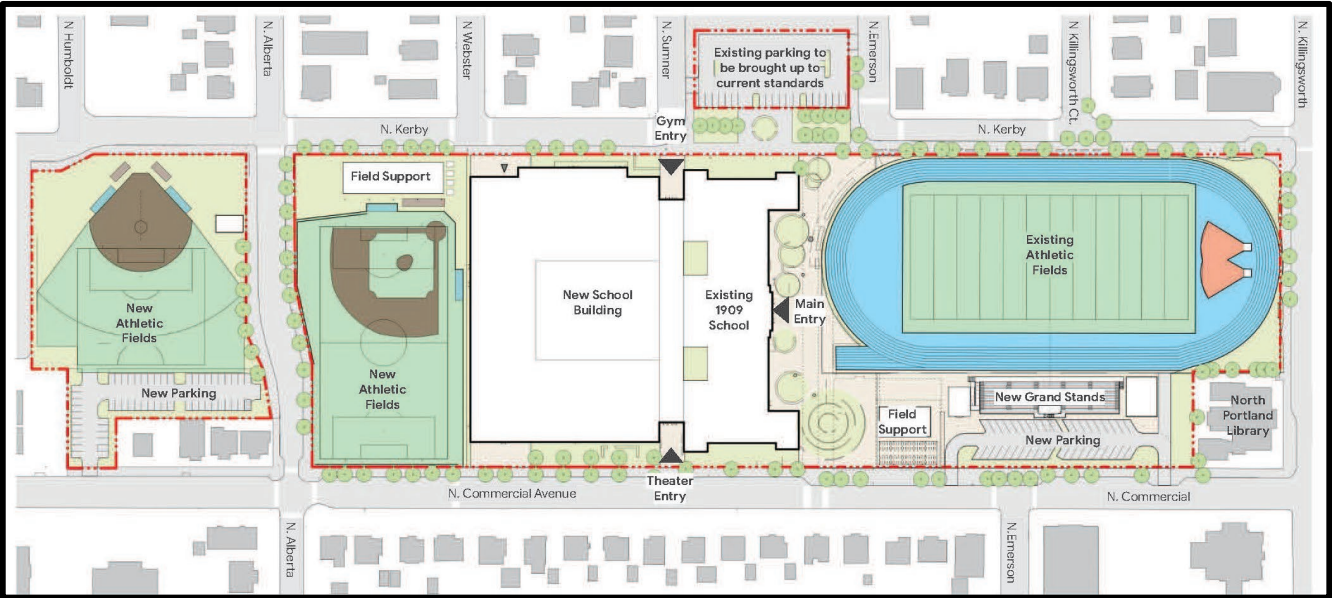
MODIFICATIONS

Relevant Guidelines: P1: Community Plan Area Character, P2: Historic and Conservation Districts, E1: Pedestrian Networks, E2: Stopping Places, E3: The Sidewalk Level of Buildings, E4: Corners that Build Active Intersections, E5: Light, Wind and Rain, D1: Outdoor Areas, D2: Main Entrances, D3: Landscape Features, D6: Architectural Integrity, D7: Blending into the Neighborhood, D8: Interest, Quality and Composition.

11. Modifications:

The following potential Modifications have been identified by staff from the limited drawing submittal. This is not a comprehensive list:

1. **Setback – Minimum (33.150.215):** 1 ft. for every 2 ft. of building height but not less than 10 ft. The east elevation does not meet this requirement.
 2. **Setback – Maximum (33.150.215):** 10 ft. The proposal is exceeding the setback maximum on the east, west, and south frontages.
 3. **Transit Street Main Entrance (33.150.265):** Due to distance from and orientation to N Killingsworth St (transit street) this standard requiring transit street entrances to be within 25 feet of a transit street does not appear to be met.
 4. **Parking area setbacks and landscaping (33.266.130.G.2.c and G.3.a):** Proposed parking does not appear to meet the landscaped setback standard requiring 5 ft of L3 or the interior landscaping standard requiring, "At least 45 square feet of interior landscaped area must be provided for each parking space".
- *Staff requests comments on the proposed approvability of the Modifications listed.*



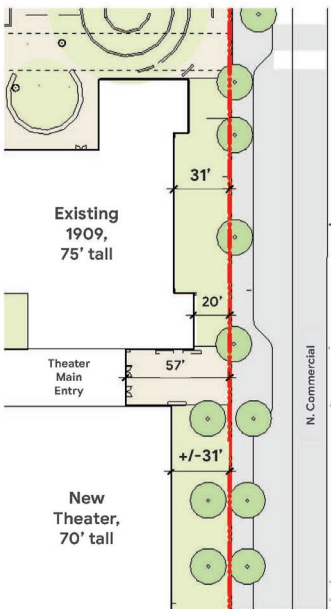
Building Setbacks Modification

Setback Proposal @ N Commercial Street.

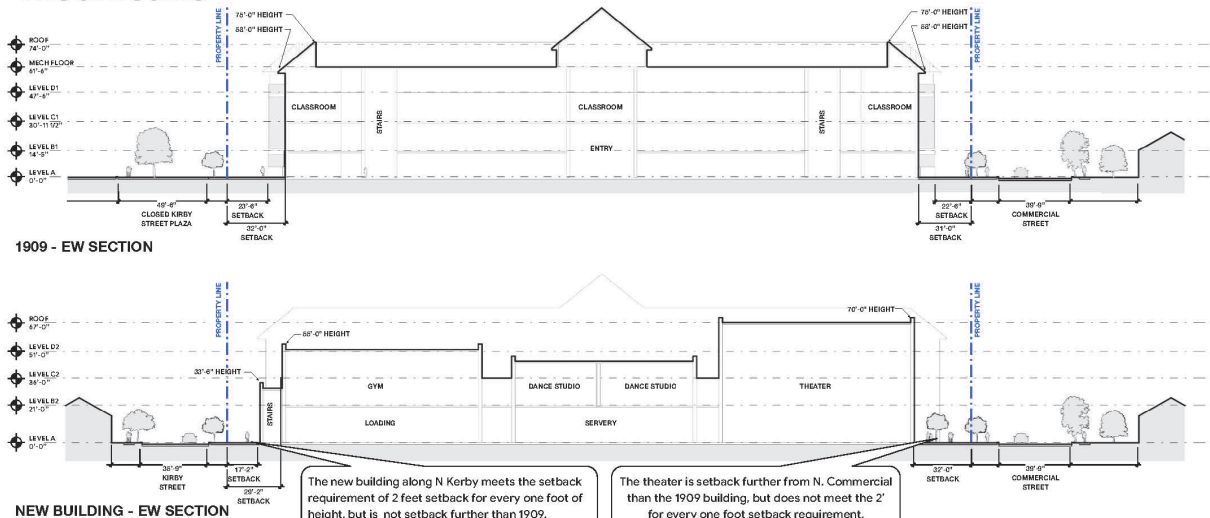
The theater is 70' tall, and setback 32' feet from the property line.

The east elevation of 1909 is 75' tall and setback 31' feet from the property line.

The theater is setback further from N. Commercial and is shorter than the 1909 building, but the theater does not meet the 2' for every one foot setback requirement.



Building Setbacks Modification



The new building along N Kerby meets the setback requirement of 2 feet setback for every one foot of height, but is not setback further than 1909.

The theater is setback further from N. Commercial than the 1909 building, but does not meet the 2' for every one foot setback requirement.

Staff Introduction

Applicant Presentation

Staff Discussion Topics

Public Comments

Commission Conversation

Staff Introduction

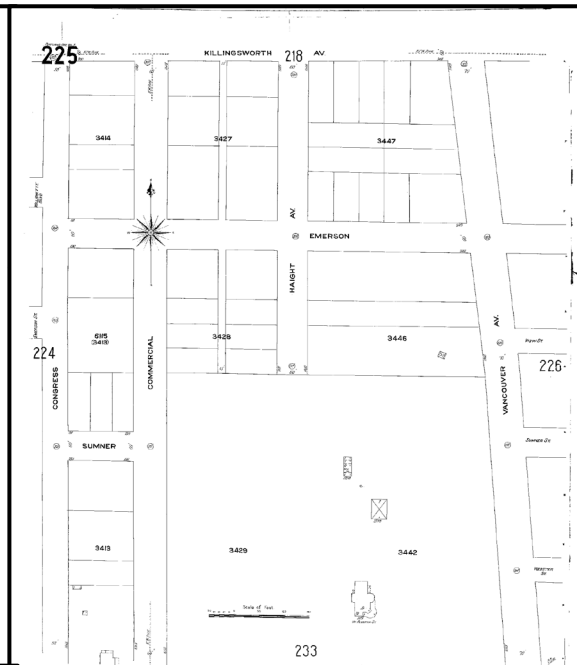
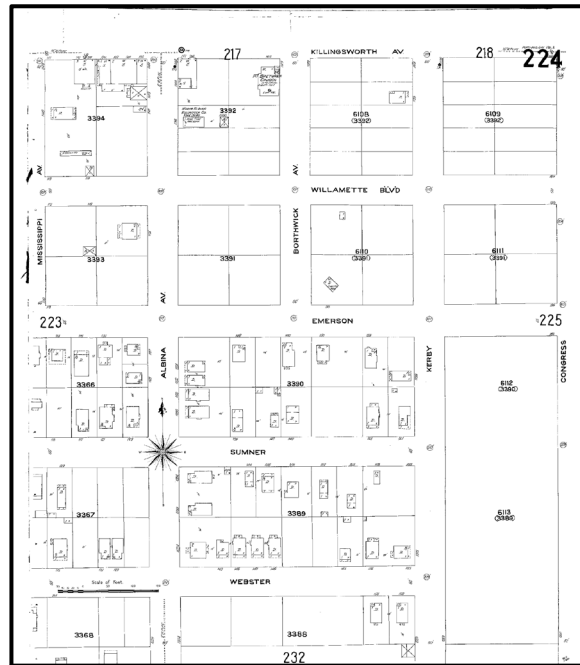
Applicant Presentation

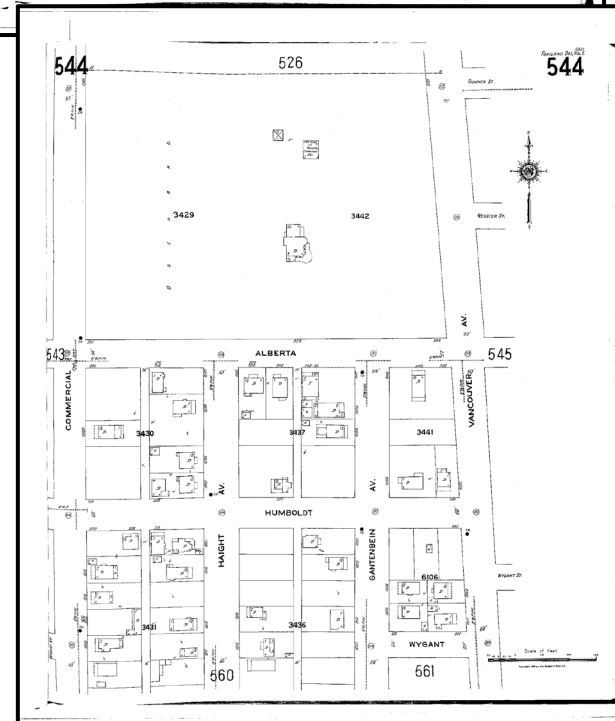
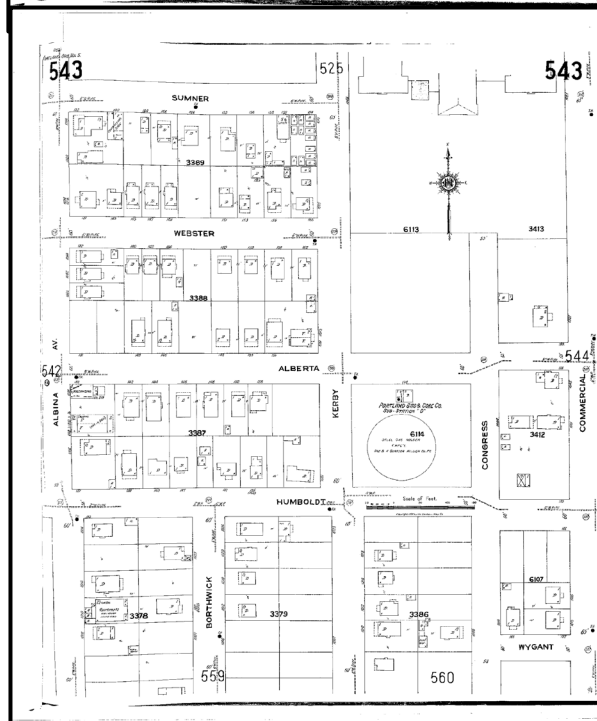
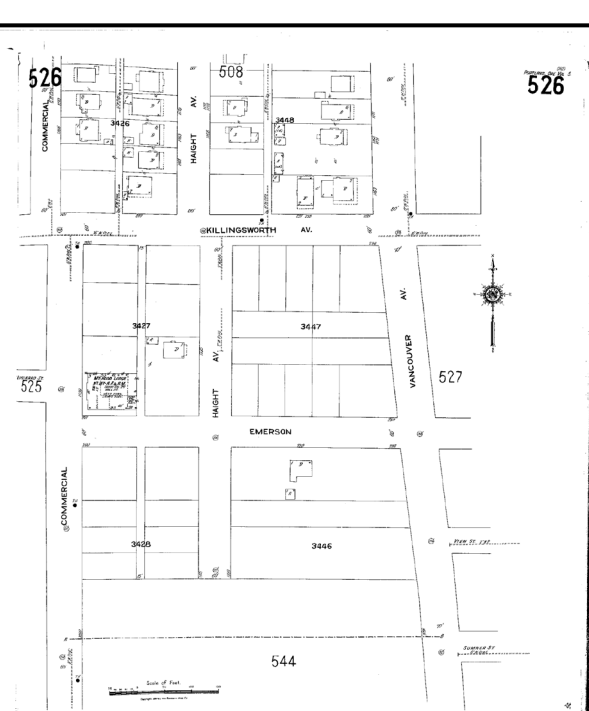
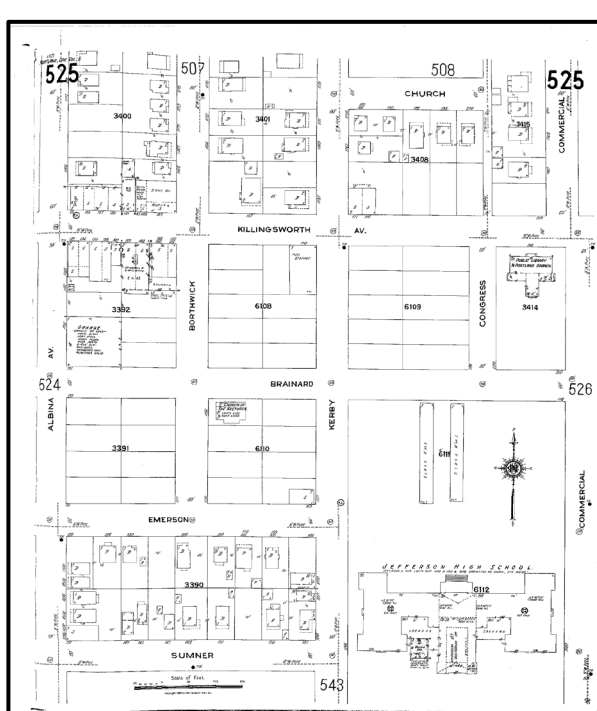
Staff Discussion Topics

Public Comments

Commission Conversation

1908-1909





1924-1928

The image displays six street maps from the City of Vancouver, arranged in a 3x2 grid. Each map shows a different section of the city, with street names and lot numbers clearly marked. The maps are labeled with numbers 525, 526, 543, 544, 545, and 546. A central map shows the location of the 'VICTORIA PARK SCHOOL'.

- Top Left (525):** Shows blocks bounded by N. Church, N. Killingsworth, N. Botolph, and N. Alameda. Lot numbers include 3400, 3401, 3402, 3403, 3404, 3405, 3406, 3407, 3408, 3409, 3410, 3411, 3412, 3413, 3414, 3415, 3416, 3417, 3418, 3419, 3420, 3421, 3422, 3423, 3424, 3425, 3426, 3427, 3428, 3429, 3430, 3431, 3432, 3433, 3434, 3435, 3436, 3437, 3438, 3439, 3440, 3441, 3442, 3443, 3444, 3445, 3446, 3447, 3448, 3449, 3450, 3451, 3452, 3453, 3454, 3455, 3456, 3457, 3458, 3459, 3460, 3461, 3462, 3463, 3464, 3465, 3466, 3467, 3468, 3469, 3470, 3471, 3472, 3473, 3474, 3475, 3476, 3477, 3478, 3479, 3480, 3481, 3482, 3483, 3484, 3485, 3486, 3487, 3488, 3489, 3490, 3491, 3492, 3493, 3494, 3495, 3496, 3497, 3498, 3499, 3500.
- Top Right (526):** Shows blocks bounded by N. Church, N. Killingsworth, N. Botolph, and N. Alameda. Lot numbers include 3400, 3401, 3402, 3403, 3404, 3405, 3406, 3407, 3408, 3409, 3410, 3411, 3412, 3413, 3414, 3415, 3416, 3417, 3418, 3419, 3420, 3421, 3422, 3423, 3424, 3425, 3426, 3427, 3428, 3429, 3430, 3431, 3432, 3433, 3434, 3435, 3436, 3437, 3438, 3439, 3440, 3441, 3442, 3443, 3444, 3445, 3446, 3447, 3448, 3449, 3450, 3451, 3452, 3453, 3454, 3455, 3456, 3457, 3458, 3459, 3460, 3461, 3462, 3463, 3464, 3465, 3466, 3467, 3468, 3469, 3470, 3471, 3472, 3473, 3474, 3475, 3476, 3477, 3478, 3479, 3480, 3481, 3482, 3483, 3484, 3485, 3486, 3487, 3488, 3489, 3490, 3491, 3492, 3493, 3494, 3495, 3496, 3497, 3498, 3499, 3500.
- Middle Left (543):** Shows blocks bounded by N. Church, N. Killingsworth, N. Botolph, and N. Alameda. Lot numbers include 3400, 3401, 3402, 3403, 3404, 3405, 3406, 3407, 3408, 3409, 3410, 3411, 3412, 3413, 3414, 3415, 3416, 3417, 3418, 3419, 3420, 3421, 3422, 3423, 3424, 3425, 3426, 3427, 3428, 3429, 3430, 3431, 3432, 3433, 3434, 3435, 3436, 3437, 3438, 3439, 3440, 3441, 3442, 3443, 3444, 3445, 3446, 3447, 3448, 3449, 3450, 3451, 3452, 3453, 3454, 3455, 3456, 3457, 3458, 3459, 3460, 3461, 3462, 3463, 3464, 3465, 3466, 3467, 3468, 3469, 3470, 3471, 3472, 3473, 3474, 3475, 3476, 3477, 3478, 3479, 3480, 3481, 3482, 3483, 3484, 3485, 3486, 3487, 3488, 3489, 3490, 3491, 3492, 3493, 3494, 3495, 3496, 3497, 3498, 3499, 3500.
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- Bottom Left (543):** Shows blocks bounded by N. Church, N. Killingsworth, N. Botolph, and N. Alameda. Lot numbers include 3400, 3401, 3402, 3403, 3404, 3405, 3406, 3407, 3408, 3409, 3410, 3411, 3412, 3413, 3414, 3415, 3416, 3417, 3418, 3419, 3420, 3421, 3422, 3423, 3424, 3425, 3426, 3427, 3428, 3429, 3430, 3431, 3432, 3433, 3434, 3435, 3436, 3437, 3438, 3439, 3440, 3441, 3442, 3443, 3444, 3445, 3446, 3447, 3448, 3449, 3450, 3451, 3452, 3453, 3454, 3455, 3456, 3457, 3458, 3459, 3460, 3461, 3462, 3463, 3464, 3465, 3466, 3467, 3468, 3469, 3470, 3471, 3472, 3473, 3474, 3475, 3476, 3477, 3478, 3479, 3480, 3481, 3482, 3483, 3484, 3485, 3486, 3487, 3488, 3489, 3490, 3491, 3492, 3493, 3494, 3495, 3496, 3497, 3498, 3499, 3500.
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