



City of Portland, Oregon
Bureau of Development Services
Land Use Services

FROM CONCEPT TO CONSTRUCTION

Dan Saltzman, Commissioner
Paul L. Scarlett, Director
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www.portlandoregon.gov/bds

Date: December 27, 2016
To: Interested Person
From: Meriam Rahali, Land Use Services
503-823-5363 / Meriam.Rahali@portlandoregon.gov

NOTICE OF A TYPE I DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has approved proposal in your neighborhood. The mailed copy of this document is only a summary of the decision. The reasons for the decision are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

CASE FILE NUMBER: LU 16-257644 HR - GARAGE DORMERS ALTERATIONS

GENERAL INFORMATION

Applicant: Jack D Barnes | Jack Barnes Architect, PC
615 SE Alder Street #304 | Portland, OR 97214

Owner: Terence D Barr and Marilyn V Beach |
1559 SE Maple Avenue | Portland, OR 97214

Site Address: **1559 SE Maple Avenue**

Legal Description: BLOCK 13 LOT 21, LADDS ADD
Tax Account No.: R463303050
State ID No.: 1S1E02CA 00200
Quarter Section: 3232
Neighborhood: SEU, Hosford-Abernethy, contact Michael Wietecki at mjwietecki@gmail.com
Business District: Hawthorne Blvd. Bus. Assoc., contact Greg Moon at gmoon@westernseminary.edu
District Coalition: Southeast Uplift, contact Leah Fisher at 503-232-0010.
Plan District: None
Other Designations: Non-Contributing Resource in Ladd's Addition Historic District
Zoning: R5 – Single Family Residential 5,000
Case Type: HR - Historic Resource Review
Procedure: Type I, an administrative decision with appeal to the Oregon Land Use Board of Appeals (LUBA).

Proposal:

The applicant is seeking Historic Resource Review approval for alterations to the north façade of a garage, a Non-Contributing Resource, in the Ladd's Addition Historic District. The garage was built in 2008 with two dormers on the north façade facing the back of the house and partially visible from Maple Street. The exterior alterations proposed for the area between the two dormers include the addition of a third window. The proposal includes:

- Removing existing two upper double-hung windows.
- Joining the two existing dormers and thus creating a new "Boston Style" dormer. All materials are to match the existing materials of the garage.
- Adding three new wood casement windows.

Because the proposal is for non-exempt exterior alterations to an existing non-contributing building in a designated Historic District, Historic Resource Review is required prior to the issuance of building permit.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant approval criteria are:

- 33.846 Historic Resource Reviews
- Ladd's Addition Conservation District Guidelines

ANALYSIS

Site and Vicinity: The site is located within the Ladd's Addition Historic District. Ladd's Addition is Portland's oldest planned community (1891) and one of the oldest in the western United States. Ladd's radial street plan marked a dramatic break in Portland's typical grid street pattern. With a formal symmetry echoing Renaissance cities and gardens, the radial streets converge at five formal gardens, which are showpieces of the Ladd's Addition community. The street plan is arranged in a hierarchy of street types that range from two broad central boulevards (SE Ladd Ave. and SE Elliott) to narrower minor streets and service alleys, all with a central focus on SE Ladd Circle. Historic development in the District occurred between approximately 1891 and 1930. This district is on the National Register of Historic Places.

The 5,120 square foot site is located on a fully developed block that is on SE Maple Street, about half block south of SE Hawthorne Boulevard. Houses on that block face SE Maple and a central alley providing access to the rear of the lots. SE Maple is categorized in the Portland Transportation System Plan as Local Street Service, Local Service Bikeway, and Minor Emergency Response Street. The main house, the John & Anna Bellew Residence, is identified in the Ladd's Addition Historic District as a 'Primary Contributing' structure, built around 1900 but moved into Ladd's only in 1949. The style is identified as 'craftsman' with narrow beveled siding and massing, form, and details that are compatible with the district. This house had extensive restoration work done in 2008. The garage in question was built in 2008. It is placed at the rear/south corner of the site with a concrete apron for vehicular access from the back alley and a door directly opposite to the back of the house. Materials and details of the garage match those of the house with carriage doors for vehicular access, and a single door flanked by windows facing toward the house. The roof has a ridge with two hipped dormers facing the back of the house.

Zoning: The Residential 5,000 (R5) single-dwelling zone is intended to preserve land for housing and to provide housing opportunities for individual households. The zone implements the comprehensive plan policies and designations for single-dwelling housing. Minimum lot size is 3,000 square feet, with minimum width and depth dimensions of 36 and 50 feet, respectively. Minimum densities are based on lot size and street configuration. Maximum densities are 1 lot per 5,000 square feet of site area.

The Historic Resource Protection overlay is comprised of Historic and Conservation Districts, as well as Historic and Conservation Landmarks and protects certain historic resources in

the region and preserves significant parts of the region's heritage. The regulations implement Portland's Comprehensive Plan policies that address historic preservation. These policies recognize the role historic resources have in promoting the education and enjoyment of those living in and visiting the region. The regulations foster pride among the region's citizens in their city and its heritage. Historic preservation beautifies the city, promotes the city's economic health, and helps to preserve and enhance the value of historic properties.

Ladd's Addition is Portland's oldest planned residential community (1891) and one of the oldest in the western United States. Ladd's radial street plan marked a dramatic break in Portland's typical grid street pattern. With a formal symmetry echoing Renaissance cities and gardens, the radial streets converge at five formal gardens, which are the showpieces of the community. Parking strips are lines with mature street trees, green archways of elms and maples. The architectural character of Ladd's Addition was established in the three decades following the turn of the century. Although the individual structures represent a variety of styles, including Bungalow, Mission, Tudor and Colonial Revival, they have a continuity of materials, scale, detailing, orientation and setback which creates a sense of architectural uniformity.

Land Use History: City records indicate that prior land use reviews include the following:

- LU 15-165780 HR - Historic Design Review Approval for five aluminum-clad wood egress basement windows on the northwest and northeast façades.
- LU 04-011142 HDZ – Historic Design Review Approval for alterations and additions to the existing house and a new garage with access from the alley.

Agency Review: A Notice of Proposal in your Neighborhood was mailed on **November 21, 2016**.

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on **November 21, 2016**. No response has been received from either the Neighborhood Association or notified property owners in response to the proposal.

ZONING CODE APPROVAL CRITERIA

Chapter 33.846.060 - Historic Resource Review

Purpose of Historic Resource Review

Historic Resource Review ensures the conservation and enhancement of the special characteristics of historic resources.

Historic Resource Review Approval Criteria

Requests for Historic Resource Review will be approved if the review body finds the applicant has shown that all of the approval criteria have been met.

Findings: The site is located within the Ladd's Addition Historic District and the proposal is for non-exempt exterior alterations. Therefore, Historic Resource Review approval is required. The approval criteria are the *Ladd's Addition Conservation District Design Guidelines – Exterior Rehabilitation*.

Ladd's Addition Conservation District Guidelines

The revised Ladd's Addition guidelines were adopted in 1988, with both the Ladd's Addition Conservation District Advisory Council and the Landmarks Commission and staff participating in their formulation. The basic intent of the guidelines is to ensure that new development in the district is compatible with the character and the architecture, which distinguish Ladd's Addition. The guidelines document is organized around three general topic areas: community design, new construction, and exterior rehabilitation.

Staff has considered all guidelines and addressed only those applicable to this proposal.

Exterior Rehabilitation Guidelines

1. Façades Oriented to a Street. In rehabilitating existing buildings, the architectural integrity of street-oriented façades should be maintained. Additions and structural alterations should be limited to the rear and side yard façades and be minimally visible from the street.

Findings: The exterior alterations proposed for the garage are on the north façade facing the back of the house and only partially visible from Maple Street. The area in question is less than sixty square feet and a very small part of it will be seen from the front of the house. The two existing dormers are to remain and a new 'Boston' dormer is proposed between them to maintain the architectural integrity of the façade of this existing non-contributing garage. *This guideline is met.*

2. Foundations. Changes to the foundation should match or be compatible with the original foundation in height and materials.

Findings: No changes to the foundation are proposed and this guideline therefore does not apply.

3. Exterior Siding Material. Restoration and maintenance of original siding materials is encouraged. Materials used on additions should match or be compatible with the predominant materials used on the original structure. Most single family residences and duplexes in Ladd's Addition feature stucco, horizontal wood siding, wood shingles, brick or a combination of these materials. Most commercial and multi-family structures feature stucco or brick. The following materials are discouraged: plywood, used brick, shakes, exposed concrete block and metal.

Findings: The siding used for the area, where alterations are proposed, will be wood horizontal siding with exposure to match the existing garage's siding as well as the house's original siding. It will also be compatible with the rest of the neighborhood. *This guideline is met.*

4. Roof Form. Repair and alteration of roofs should retain:

- a. The original roof shape and pitch;
- b. Original structural and decorative features such as gables, dormers, chimneys, cornices, parapets, pediments, frieze boards, exposed rafters and other ornamental details; and,
- c. Whenever possible the original type, size, color, and pattern of roofing materials. New roof features including roof additions and new dormers should be compatible in size, scale, materials, and color with the original building. Skylights, solar, mechanical and service equipment, and new roof features should be inconspicuous from the street.

Findings: The existing roof will be mostly retained. The two existing dormers will be retained and a connecting part will be added to create a new "Boston style" dormer. All materials and color are to match existing materials and color of the garage roof.

Applicant has made changes to the original proposal in order to maintain the roof form of the garage, thus maintaining the original intent of the dormers. When the garage was designed in 2008, dormers were proposed to be similar to dormers of the existing main house and the surrounding neighborhood.

This guideline is met.

5. Front Façade Detailing. Original entrances to buildings, front porches and projecting features, such as balconies, bays, and dormer windows should be retained or restored.

Findings: No changes are proposed to the main house front façade and this guideline therefore does not apply.

6. Windows and Doors. Original windows and doors, including trim, should be retained or restored. If repair is not feasible, new windows or windows on additions should match or be compatible with original windows in form, materials, type, pattern and placement of openings. On residences, the removal of original wood sash windows and replacement with aluminum sash is especially discouraged. Restoration of commercial storefront windows with large fixed glass panes below and smaller glass panes above is especially encouraged.

Findings: Proposed windows will all be made of wood that will be compatible with the historic wood sash windows of the house. They will function as casement windows to allow egress from the upper level of the garage. Proposed trim material and color will match existing window trim of the garage.

7. Awnings. On commercial structures, retractable fabric awnings, which are architecturally compatible with the historic integrity of the structure are encouraged. Awnings should fit within window bays. Existing traditional awnings should be rehabilitated.

Findings: No awnings are proposed and this guideline therefore does not apply.

8. Color. Restoration of original colors, or colors appropriate to the style and era of the building, is encouraged.

Findings: The applicant's intention is to keep the current color of the garage which is taupe, a muted earth tone color that is not bright. *This guideline is met.*

9. Signs. Whenever possible retention or restoration of original pre-1940 signs is encouraged. For commercial buildings, wall signs, window signs, canopy, and projecting signs attached to the building are encouraged; freestanding signs are discouraged. Sign materials and design and letters appropriate to pre-1940 buildings, such as painted wood and neon are encouraged. Plastic sign faces are discouraged. Signs should not be the dominant feature of a building or site.

Findings: No signs are proposed and this guideline therefore does not apply.

10. Front Lawn. On sites of non-commercial structures, retention of front lawns, mature trees, and older shrubs and perennials are encouraged. Plants popular in the 1910's and 1920's are encouraged. The predominant use of ground covers, such as bark mulch and broadleaf evergreens, is discouraged. Original grades should be retained; berms and excavations are discouraged

Findings: No changes are proposed to the front lawn and this guideline therefore does not apply.

11. Fences and Retaining Walls. Front and side yards, which abut a street should be visually open to the street. Hedges, retaining walls and fences, which visually obscure front yards, are discouraged. Fences should be kept behind building lines, as viewed from the street.

Findings: No fences are proposed and this guideline therefore does not apply.

12. Parking. Required on-site parking should be located in the rear yard and within original garages, if possible. Original garages should be maintained for vehicle storage and parking and not converted to other uses. Parking areas, providing space for three or more

cars, should be screened from adjacent properties; hedges and canopy trees are recommended for screening. Parking areas and driveways should not be placed in the front yard.

Findings: The proposed changes will allow the current owners to improve the use of their garage's upper level without compromising the real function of the garage on the main level. The required parking will still be in the rear yard, with alley access. *This guideline is met.*

13. Crime Prevention. Crime prevention elements should be included in the design with specific attention to landscaping, parking areas, walkways, lighting, entries, and visibility. Windows and entries should not be obscured. Parking areas, walkways, and entries should be adequately illuminated for visibility.

Findings: No changes are proposed outside the back fence and alley and this guideline therefore does not apply.

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

The proposed exterior alterations to this non-contributing garage in Ladd's Addition historic District are compatible in detailing, dimensions, proportion, color, and materials with the existing garage and the original house. They also fit well within the context of the district itself. All of the work will occur at the front of the garage facing the back of the house and will only be partially visible from Maple Avenue. The proposed changes will allow the current owners improve the use of their garage's upper level without compromising the real function of the garage.

The purpose of the Historic Resource Review process is to ensure that additions, new construction, and exterior alterations to resources do not compromise their ability to convey historic significance. This proposal meets the applicable Ladd's Addition Conservation District Guidelines and therefore warrants approval.

ADMINISTRATIVE DECISION

Approval of exterior alterations of the north façade of a garage built in 2008 and located at 1559 SE Maple Avenue, in the Ladd's Addition Historic District, includes:

- Removing existing two upper double-hung windows.
- Joining the two existing dormers and creating a new "Boston Style" dormer. All materials and color are to match existing materials and color of siding and roof of the garage.
- Adding three new wood casement windows. All trims are wood and matching existing wood trims.

Per the approved site plans, Exhibits C-1 through C-10, signed and dated December 19, 2016, subject to the following conditions:

- A. As part of the building permit application submittal, each of the 4 required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C.1-C.10. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 16-257644 HR."

Staff Planner: Meriam Rahali

Decision rendered by: Meriam Rahali **on December 19, 2016.**
By authority of the Director of the Bureau of Development Services

Decision mailed December 27, 2016

Procedural Information. The application for this land use review was submitted on October 12, 2016, and was determined to be complete on November 10, 2016.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore, this application was reviewed against the Zoning Code in effect on October 12, 2016.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period. Unless further extended by the applicant, **the 120 days will expire on: March 10, 2017.**

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term "applicant" includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

This decision, and any conditions associated with it, is final. It may be appealed to the Oregon Land Use Board of Appeals (LUBA), within 21 days of the date the decision is mailed, as specified in the Oregon Revised Statute (ORS) 197.830. Among other things, ORS 197.830 requires that a petitioner at LUBA must have submitted written testimony during the comment period for this land use review. Contact LUBA at 775 Summer St NE Suite 330, Salem, OR 97301-1283 or phone 1-503-373-1265 for further information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Recording the final decision.

If this Land Use Review is approved, the final decision must be recorded with the Multnomah County Recorder. A building or zoning permit will be issued only after the final decision is recorded. The final decision may be recorded on or after **December 28, 2016**. The applicant, builder, or a representative may record the final decision as follows:

- By Mail: Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- In Person: Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034. For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-7617.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code for the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

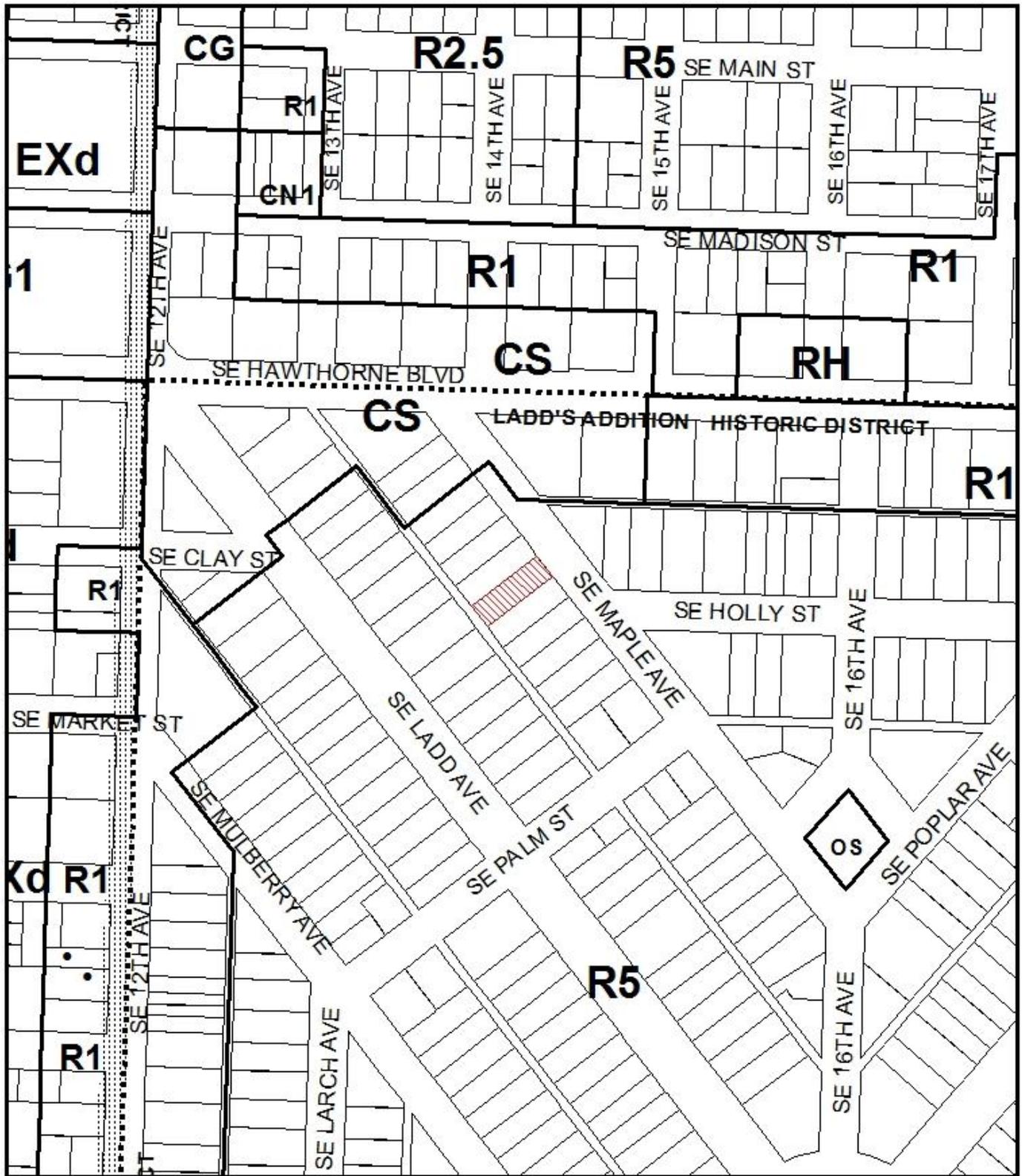
EXHIBITS

NOT ATTACHED UNLESS INDICATED

- A. Applicant's:
 1. Statement
 2. Other Correspondence
 3. Photos
- B. Zoning Map (attached)
- C. Plans/Drawings:
 1. Site Plan (attached)
 2. Proposed First and Second Floor Plans
 3. Proposed Roof Plan (attached)
 4. Existing and Proposed North Elevations (attached)
 5. Existing and Proposed East Elevations
 6. Existing and Proposed South Elevations
 7. Existing and Proposed West Elevations (attached)
 8. Building Section and Window Details (attached)
 9. Main House Elevations
 10. Wood Window Type and Details

- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Responses: None
- F. Correspondence: None
- G. Other:
 - 1. Original LU Application
 - 2. Letter of Incompleteness
 - 3. Photos

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).



ZONING

-  Site
-  Historic Landmark



This site lies within the:
LADD'S ADDITION HISTORIC DISTRICT

File No.	<u>LU 16-257644 HRM</u>
1/4 Section	<u>3232</u>
Scale	<u>1 inch = 200 feet</u>
State Id	<u>1S1E02CA 200</u>
Exhibit	<u>B</u> (Oct 17, 2016)

JACK BARNES ARCHITECT
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 jack@jackbarnesarchitect.com
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Barr / Beach Garage Remodel
 1559 SE Maple Avenue
 Portland, OR 97214

client:
 Terrence Barr & Marilyn Beach

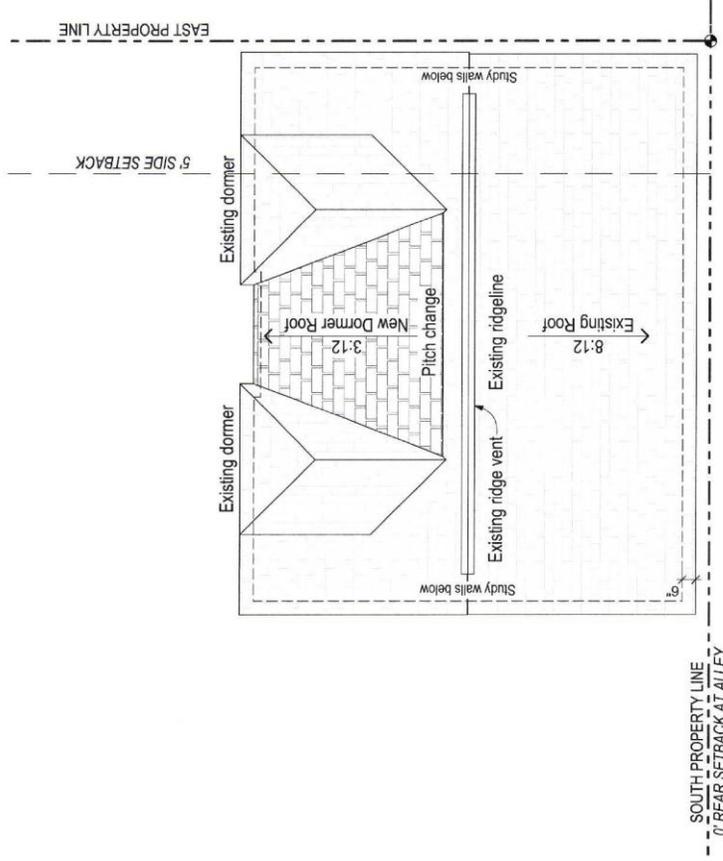
ISSUE DATE: 11/3/2016
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Roof Plan

HR-3

Plotted On: 11/3/2016
 LU16-357644HR



1 ROOF PLAN
 SCALE: 1/4" = 1'-0"

Approved
 City of Portland - Bureau of Development Services
 Planner Meriam Kahl Date 12/19/2016
 * This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

EXH.C.3

**JACK BARNES
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**Barr / Beach
Garage Remodel**

1559 SE Maple Avenue
Portland, OR 97214

client:
Terrence Barr & Marilyn Beach

ISSUE DATE: 12/21/2016

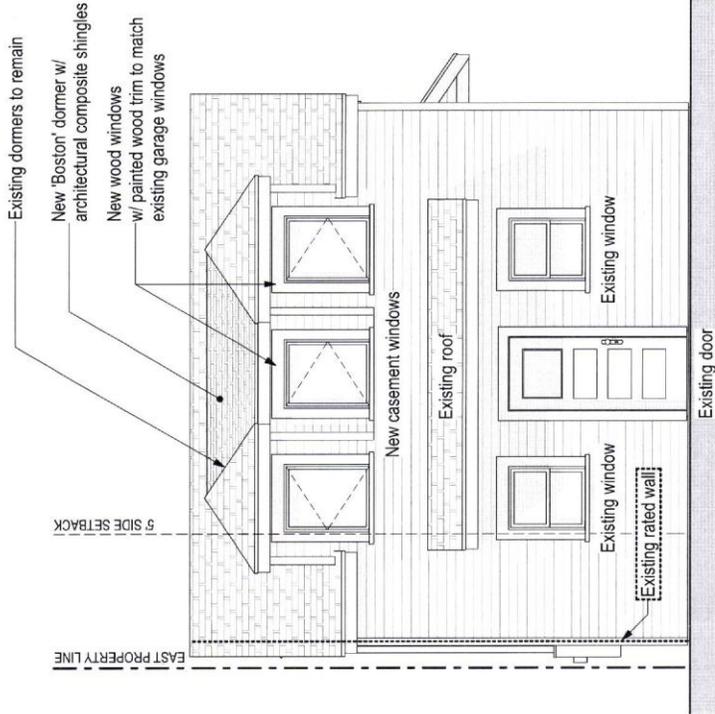
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North Elevations

HR-4

Plotted On: 12/21/16

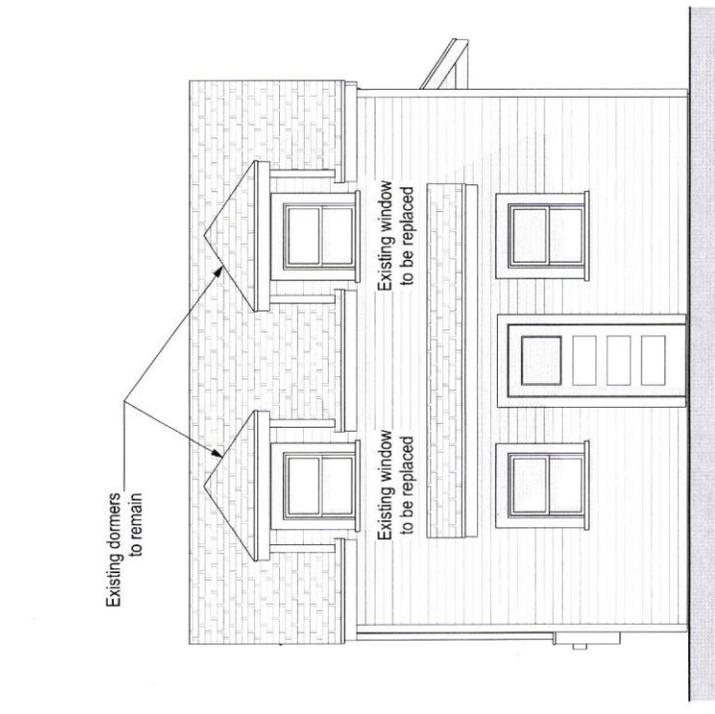


2 NORTH ELEVATION - PROPOSED

SCALE: 1/4" = 1'-0"

2

0 2 4 8



1 NORTH ELEVATION - EXISTING

SCALE: 1/4" = 1'-0"

1

0 2 4 8

~57 s.f. of exterior changes on this facade.

Approved
City of Portland - Bureau of Development Services
Planner: Meriam Rahali Date: 12/19/2016
★ This Bureau applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

EXH.C.4

**JACK BARNES
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**Barr / Beach
Garage Remodel**

1555 SE Maple Avenue
Portland, OR 97214

client:

Terence Barr & Marilyn Beach

ISSUE DATE: 11/3/2016

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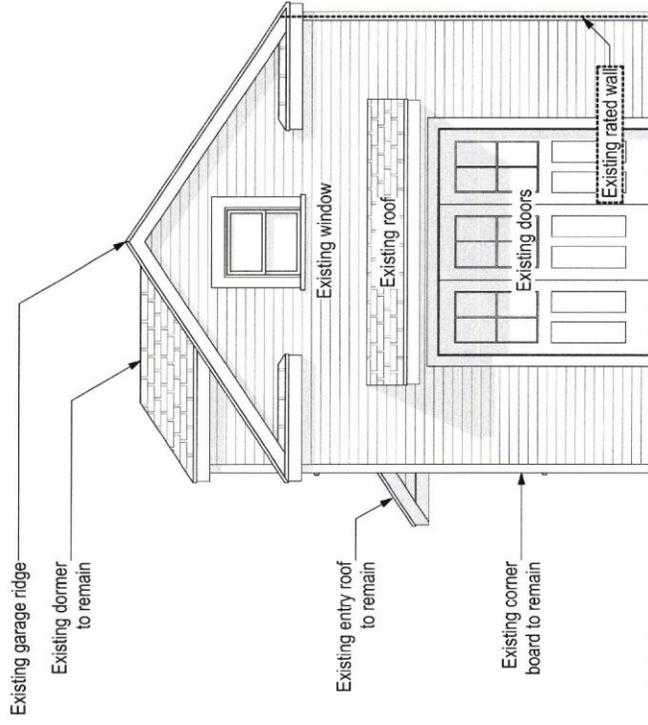
West Elevations

HR-7

Plotted On: 11/3/2016

LUG-257644 HF

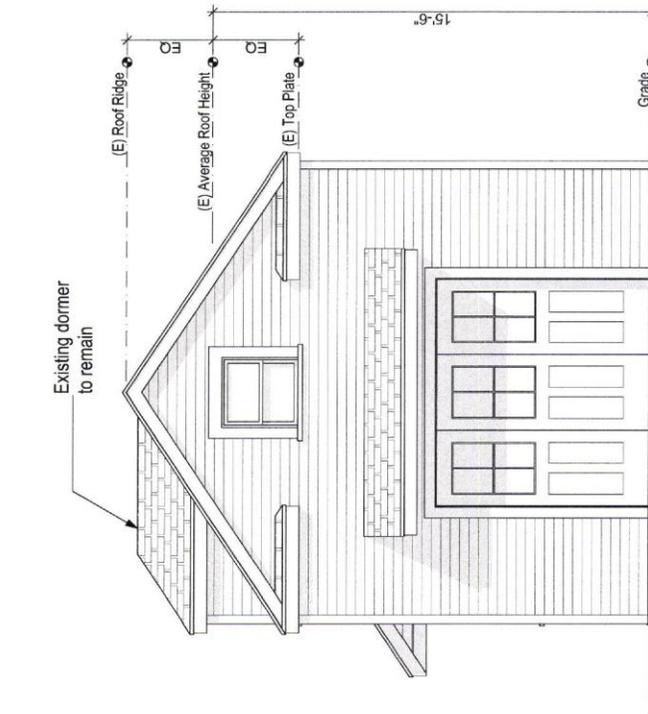
SOUTH PROPERTY LINE
(0' SETBACK AT ALLEY)



2 WEST ELEVATION - PROPOSED

SCALE: 1/4" = 1'-0"

0 2 4 8



1 WEST ELEVATION - EXISTING

SCALE: 1/4" = 1'-0"

0 2 4 8

No exterior changes on this facade

Approved
City of Portland - Bureau of Development Services
Planner Meriam Kachali Date 12/14/2016
* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

EXH.C.7

**JACK BARNES
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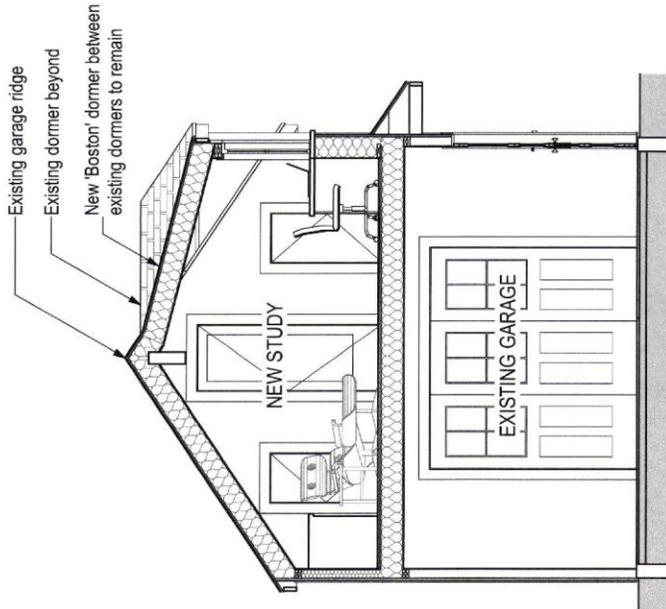
ISSUE DATE: 11/3/2016
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Section / Details

HR-8

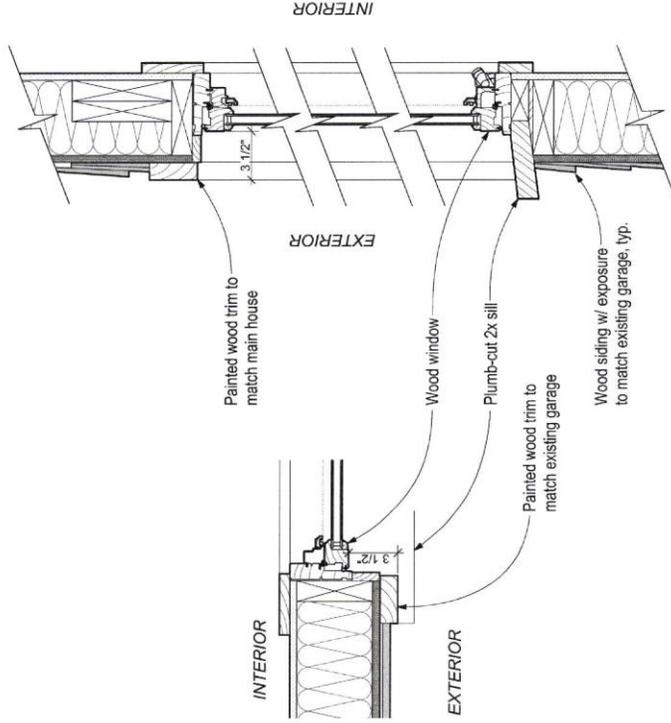
Plotted On: 11/3/2016
LJ16-257444HR



1 SECTION LOOKING WEST

SCALE: 1/4" = 1'-0" 0 2 4 8

Approved
City of Portland - Bureau of Development Services
Planner *Herrman Kakek* Date *12/19/2016*
* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



WINDOW JAMB DETAIL

WINDOW SECTION DETAIL

2 WINDOW DETAILS

SCALE: 1 1/2" = 1'-0"

0 6" 12" 18"

EXH.C.8