



City of Portland, Oregon
Bureau of Development Services
Land Use Services

FROM CONCEPT TO CONSTRUCTION

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Date: July 1, 2016
To: Interested Person
From: Mike Gushard, Land Use Services
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NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has approved a proposal in your neighborhood. The mailed copy of this document is only a summary of the decision. The reasons for the decision are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

CASE FILE NUMBER: LU 16-129860 HR - NEW ROOF DECK, WINDOWS AND STOREFRONT ON THE HISTORIC LANDMARK BALLOU WRIGHT BUILDING

GENERAL INFORMATION

Applicant: Paul Kisling, Architect
Mackenzie
1515 SE Water Ave
Portland, OR 97214

Robert Mawson, Consultant
Heritage Consulting Group
1120 NW Northrup St
Portland, OR 97209

Peter Skei
Specht Development, Inc.
10260 SW Greenburg Rd. Ste 170
Portland OR 97223

Site Address: 1010 NW FLANDERS ST

Legal Description: BLOCK 71 LOT 4&5&8, COUCHS ADD
Tax Account No.: R180206520, R180206520
State ID No.: 1N1E34CB 03100, 1N1E34CB 03100
Quarter Section: 3029

Neighborhood: Pearl District, contact Kate Washington at planning@pearldistrict.org.
Business District: Pearl District Business Association, contact Tracy Morgan at 503-227-8519.
District Coalition: Neighbors West/Northwest, contact Mark Sieber at 503-823-4212.

Plan District: Central City - River District

Other Designations: Historic Landmark

Zoning: EXd – Employment Zone with Design overlay

Case Type: HR – Historic Resource Review

Procedure: Type II, an administrative decision with appeal to the Landmarks Commission.

Proposal:

Construction of a wood roof deck on the northwest corner of the building

The proposed roof deck includes clear railings at the edges of the building and a landscaped strip at the center of the deck.

Construction of new stair and elevator enclosures

These will appear as two volumes next to the roof deck on the north side of the existing building. These two features will be set back from the edge of the façade to minimize their scale and to give the building’s character-defining tower primacy when viewed from the ground.

Removal of fire escape ladders

The applicant proposes to remove the ladders between the fire escape landings to satisfy a request from Fire Bureau staff. The landings between the ladders remain in the proposal to preserve this character-defining feature of the warehouse.

New storefront northeast ground level

The proposal includes an additional door, designed to match the existing warehouse door on the north elevation. It will be surrounded by an extension of the building’s existing transom and new steel windows designed to closely match the historic windows on the building. This work also includes the removal of a portion of the loading dock on this elevation that was added after the building’s historic significance.

Replacement of non-historic windows

The applicant proposes replacing windows at the basement level and at the west and south elevation and on the tower with metal windows similar to those common the main sections of the street facing facades.

Removal of non-historic windows

Ten small windows on the west elevation are proposed for removal. If the proposal is approved they would be replaced with the stucco that covers the remainder of this elevation. This element of proposal replicates the original design of the building, as the windows are not historic.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant approval criteria are:

- 33.846 Historic Reviews
- Central City Fundamental Design Guidelines
- River District Design Guidelines
- 33.846.060.G Other Approval Criteria

ANALYSIS

Site and Vicinity:

The 15,000 site is located on the half-block bounded by NW Flanders Street and NW 10th Avenue with the front of the subject building facing NW 10th Avenue. The historic landmark Ballou Wright Company Building is a five-story concrete building with a prominent tower on its northwest corner. Unlike most of the warehouses nearby the Ballou Wright Building has high-quality exterior finish work on its east and north elevations including; sand gray face brick facing, articulated strip pilasters; cast stone ornamental string courses and parapet escutcheons bearing the Ballou Wright Company’s emblem of a winged tire. Other elevations have a plain treatment of stucco and punch windows. The building was constructed after in 1921 and listed on the National Register of Historic Places in 1987. While it was formerly surrounded exclusively by industrial uses at construction the surrounding area now consists of a mix of light industrial, commercial, office, and residential uses.

Zoning:

The Central Employment (EX) zone allows mixed uses and is intended for areas in the center of the City that have predominantly industrial-type development. The intent of the zone is to allow industrial and commercial uses which need a central location. Residential uses are allowed but are not intended to predominate or set development standards for other uses in the area.

The “d” overlay promotes the conservation and enhancement of areas of the City with special historic, architectural or cultural value. New development and exterior modifications to existing development are subject to design review. This is achieved through the creation of design districts and applying the Design Overlay Zone as part of community planning projects, development of design guidelines for each district, and by requiring design review. Also, design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area.

The Historic Resource Protection overlay is comprised of Historic and Conservation Districts, as well as Historic and Conservation Landmarks and protects certain historic resources in the region and preserves significant parts of the region’s heritage. The regulations implement Portland’s Comprehensive Plan policies that address historic preservation. These policies recognize the role historic resources have in promoting the education and enjoyment of those living in and visiting the region. The regulations foster pride among the region’s citizens in their city and its heritage. Historic preservation beautifies the city, promotes the city’s economic health, and helps to preserve and enhance the value of historic properties.

Land Use History: City records indicate that prior land use reviews include the following:

LU 15 123790 HR – Storefront remodel and rooftop equipment

Agency Review: A “Notice of Proposal in Your Neighborhood” was mailed **May 24, 2016**. The following Bureaus have responded with no issues or concerns:

- Bureau of Environmental Services
- Water Bureau
- Fire Bureau
- Site Development Section of BDS
- The Bureau of Transportation Engineering
- The Bureau of Parks-Forestry Division

Life Safety Section of BDS: A Building Permit has been applied for and is currently under review. Please refer to correspondence from the assigned Life Safety plans examiner for building code-related comments

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on May 24, 2016. No written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

ZONING CODE APPROVAL CRITERIA

Chapter 33.846, Historic Reviews

Purpose of Historic Resource Review

Historic Resource Review ensures the conservation and enhancement of the special characteristics of historic resources.

Historic Resource Review Approval Criteria

Requests for Historic Resource Review will be approved if the review body finds the applicant has shown that all of the approval criteria have been met.

Findings: The site is a designated Historic Landmark. Therefore the proposal requires Historic Resource Review approval. The relevant approval criteria are listed in 33.846.060 G. 1.-10. In addition, because the site is located within the Central City and the River District, the relevant approval criteria are the Central City Fundamental Design Guidelines and the River District Design Guidelines.

G. Other Approval Criteria:

1. Historic character. The historic character of the property will be retained and preserved. Removal of historic materials or alteration of features and spaces that contribute to the property's historic significance will be avoided.

2. Record of its time. The historic resource will remain a physical record of its time, place, and use. Changes that create a false sense of historic development, such as adding conjectural features or architectural elements from other buildings will be avoided.

7. Differentiate new from old. New additions, exterior alterations, or related new construction will not destroy historic materials that characterize a property. New work will be differentiated from the old

8. Architectural compatibility. New additions, exterior alterations, or related new construction will be compatible with the resource's massing, size, scale, and architectural features. When retrofitting buildings or sites to improve accessibility for persons with disabilities, design solutions will not compromise the architectural integrity of the historic resource.

9. Preserve the form and integrity of historic resources. New additions and adjacent or related new construction will be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic resource and its environment would be unimpaired.

10. Hierarchy of compatibility. Exterior alterations and additions will be designed to be compatible primarily with the original resource, secondarily with adjacent properties, and finally, if located within a Historic or Conservation District, with the rest of the district. Where practical, compatibility will be pursued on all three levels.

Finding for 1, 2, 7, 8, 9 and 10: The components of the project that involve removing material from the building are the replacement of non-historic window glass, the replacement of non-historic windows, slight alterations to the historic loading dock and the removal of the ladders connecting the historic fire escapes. Replacing non-historic materials with similar materials and features cannot affect the historic integrity of a resource. The alterations of the historic fire escape ladders were required by the Fire Bureau for life and safety reasons. This alteration, while required was mitigated by leaving the historic platforms. This compromise maintains most of this character defining feature while allowing necessary changes for the health and safety of building occupants and firefighters. The alterations to the loading dock involve reducing its length slightly in order to facilitate access for building users with mobility devices and to better meet other city goals pertaining to ground floor windows. As with the fire escapes this compromise allows other important city goals to be achieved while maintaining the majority of the historic fabric of important character defining features of the Ballou Wright Building. Even taken together the alterations do not impact the integrity of the landmark building to an extent that would call its eligibility to the National Register of Historic Places into question.

The addition of a new door, designed after existing hardware, the roof deck, stair and elevator lobbies, have been designed to be subordinate to the significant features of the building. The door is a minor addition and is compatible with the historic look and feel of the building. The main components of roof deck are designed to be invisible from the street level. The most visible part of the deck is its railing which is clear in order to disappear against the heavy, muscular end walls of the building. The deck itself is unmistakably contemporary and does not create a false sense of history or change Ballou Wright Building's ability to be a record of the time it was built. None of the alterations enough are at a scope as to alter the general form and integrity of the historic building *Therefore these criteria is met.*

3. Historic changes. Most properties change over time. Those changes that have acquired historic significance will be preserved.

Findings: The applicant does not propose to alter any features of the building that were not considered in the landmark or National Register Nominations and have gained significance in their own right. *Therefore, this criterion is met*

4. Historic features. Generally, deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement, the new feature will match the old in design, color, texture, and other visual qualities and, where practical, in materials. Replacement of missing features must be substantiated by documentary, physical, or pictorial evidence. *Therefore this criterion is met.*

5. Historic materials. Historic materials will be protected. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials will not be used.

Findings 4 & 5: The applicant does not propose to clean or repair any historic materials. The windows glass being replaced will be placed into historic lights maintaining their historic appearance. The windows being replaced will be changed to look more like the original windows to with steel muntins dividing their spans based on archival drawings. No chemical or physical treatments are proposed as part of the project. *Therefore, this criteria is met.*

6. Archaeological resources. Significant archaeological resources affected by a proposal will be protected and preserved to the extent practical. When such resources are disturbed, mitigation measures will be undertaken.

Findings: The applicant does not propose any subsurface excavation. The project is unlikely to impact any below ground archaeological resources. *Therefore, this criterion is met.*

River District Design Guidelines and Central City Fundamental Design Guidelines

The River District is planned to become a place that is remarkable within the region. The area is intended to grow rich with special and diverse qualities that are, or will become characteristic of Portland. Further, the River District will accommodate a significant portion of the region's population growth. The plan calls for the creation of a new community of dense neighborhoods, housing a resident population of over 15,000 people, and providing jobs, services, and recreation to this population and others. This area is intended to emphasize the joy of the river, connections to it, and create a sense of community. The goals frame the urban design direction for Central City and River District development.

The Central City Fundamental Design Guidelines and the River District Design Guidelines focus on four general categories. **(A) Portland Personality** addresses design issues and elements that reinforce and enhance Portland's character. **(B) Pedestrian Emphasis,** addresses design issues and elements that contribute to a successful pedestrian environment. **(C) Project Design,** addresses specific building characteristics and their relationships to the public environment. **(D) Special Areas,** provides design guidelines for the four special areas of

the Central City.

River District Design Goals

1. Extend the river into the community to develop a functional and symbolic relationship with the Willamette River.
2. Create a community of distinct neighborhoods that accommodates a significant part of the region's residential growth.
3. Enhance the District's character and livability by fostering attractive design and activities that give comfort, convenience, safety and pleasure to all its residents and visitors.
4. Strengthen connections within River District, and to adjacent areas.

Central City Plan Design Goals

1. Encourage urban design excellence in the Central City;
2. Integrate urban design and preservation of our heritage into the development process;
3. Enhance the character of the Central City's districts;
4. Promote the development of diversity and areas of special character within the Central City;
5. Establish an urban design relationship between the Central City's districts and the Central City as a whole;
6. Provide for a pleasant, rich and diverse pedestrian experience for pedestrians;
7. Provide for the humanization of the Central City through promotion of the arts;
8. Assist in creating a 24-hour Central City which is safe, humane and prosperous;
9. Ensure that new development is at a human scale and that it relates to the scale and desired character of its setting and the Central City as a whole.

Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.

A1. Integrate the River. Orient architectural and landscape elements including, but not limited to lobbies, entries, balconies, terraces, and outdoor areas to the Willamette River and greenway. Develop access ways for pedestrians that provide connections to the Willamette River and Greenway.

A1-1. Link the River to the Community. Link the Willamette River to the Community reinforcing the river's significance. This guideline may be accomplished by:

- a) Organizing land areas, and groupings of buildings to visually define the river's linkage to the community;
- b) Focusing and articulating roadways and pedestrian ways to emphasize the river.
- c) Developing projects that celebrate the river, and contribute to creating centers of interest and activity that focuses on the Willamette; or
- d) Connecting the internal areas of the District to the Willamette Greenway Trail.

Findings for A1 and A1-1: By creating a roof access and providing for occupancy in the building's iconic tower the project will create new views of the river and its associated valley. *Therefore these guidelines are met.*

A2. Emphasize Portland Themes. When provided, integrate Portland-related themes with the development's overall design concept.

A4. Use Unifying Elements. Integrate unifying elements and/or develop new features that help unify and connect individual buildings and different areas.

Findings for A2 and A4: The project is a rehabilitation of the headquarters of a Portland-based company and will revive an iconic building in the River District. The building is also a link between Portland's history and its contemporary identity through its connection to bikes and bike culture. The Ballou Wright Company was the largest bike manufacturer in the region and this history is celebrated by the Ballou Wrights winged wheel logo which appears on the building's exterior. The rehabilitation of the structure will share this history with a new generation of Portlanders and ensure it is passed on into the future. *Therefore these guidelines are met,*

A5-1. Reinforce Distinct Areas. Enhance the qualities that make each area distinctive within the River District, using the following “Area Design Guidelines” (A5-1-1 – A5-1-8).

A5-1-1.Reinforce the Identity of the Pearl District Neighborhood. This guideline may be accomplished by:

- a) Recognizing the urban warehouse character of the Pearl District when altering existing buildings, and when designing new ones. Designs should provide a unified, monolithic tripartite composition (base/middle/top), with distinct cornice lines. Suburban dwelling forms should be avoided; or
- b) Celebrating and encouraging the concentration of art galleries and studios with design features that contribute to the Pearl District’s “arts” ambiance. Consider features that provide connectivity and continuity such as awnings, street banners, special graphics and streetscape color coordination, which link shops, galleries, entrances, display windows and buildings. Active ground level retail that opens onto and/or uses the sidewalk can contribute to the attraction of the “arts” concentration.

Findings for A5 and A5-1-1: The project rehabilitates an urban warehouse in the Pearl district. The proposal includes restoring features, which as divided light steel windows that have been lost over time. Where new windows and doors are proposed at street-level, they are in keeping with this warehouse character. *Therefore this guideline is met.*

A5-5. Incorporate Water Features. Incorporate water features or water design themes that enhance the quality, character, and image of the River District.

Findings: While there is no specific water feature on site the new roof deck will create connection with the Portland’s most significant water feature the Willamette River through better view of the valley it created and the bridges that cross it. *Therefore this guideline is met.*

A5-6. Incorporate Works of Art. Incorporate works of art or other special design features that increase the public enjoyment of the District.

Findings: The historic landmark Ballou Wright building already includes art in its winged wheel escutcheons and architectural detailing. The proposed project does not adversely impact these features and will provide increased opportunities for their appreciation. *Therefore this guideline is met.*

A6. Reuse/Rehabilitate/Restore Buildings. Where practical, reuse, rehabilitate, and restore buildings and/or building elements.

Findings: This applicant proposes to rehabilitate a historic landmark building. The restoration of windows and preservation of warehouse features in the application achieve this goal. *Therefore this guideline is met.*

A7. Establish and Maintain a Sense of Urban Enclosure. Define public rights-of-way by creating and maintaining a sense of urban enclosure.

Findings: The project rehabilitates a historic building which is already build to the edge of right-of-way on 10th Avenue and has always contributed to a sense of urban enclosure. *Therefore this guideline is met.*

B1. Reinforce and Enhance the Pedestrian System. Maintain a convenient access route for pedestrian travel where a public right-of-way exists or has existed. Develop and define the different zones of a sidewalk: building frontage zone, street furniture zone, movement zone, and the curb. Develop pedestrian access routes to supplement the public right-of-way system through superblocs or other large blocks.

B1-1. Provide Human Scale to Buildings along Walkways. Provide human scale and interest

to buildings along sidewalks and walkways.

Findings for B1 and B1-1: The project will add life and activity to a mostly disused loading dock. It also creates an entry on the ground level along Flanders activating space which was once occupied by an unused dock. *Therefore, these guidelines are met.*

C1. Enhance View Opportunities. Orient windows, entrances, balconies and other building elements to surrounding points of interest and activity. Size and place new buildings to protect existing views and view corridors. Develop building façades that create visual connections to adjacent public spaces.

Findings: This project greatly enhances the view opportunities afforded by the Ballou Wright building by adding a rooftop amenity with wraparound views of the city. *Therefore this guideline is met.*

C2. Promote Quality and Permanence in Development. Use design principles and building materials that promote quality and permanence.

Findings: The original design of the Ballou Wright building utilized permanent long lasting materials, including brick, stucco, and concrete. The building was listed on the National Register of Historic Places for its quality of design, and this project maintains that design. *Therefore this guideline is met.*

C2-1. Increase River and Waterway View Opportunities. Increase river and waterway view opportunities to emphasize the River District ambiance. This guideline may be accomplished by:

- a) Designing and locating development projects to visually link their views to the river and /or waterways.
- b) Providing public stopping and viewing places which take advantage of views River District activities and features; or
- c) Designing and orienting River District open space and landscape areas to emphasize views of the river and waterways.

Findings: This project greatly enhances the view opportunities afforded by the Ballou Wright building by adding a rooftop amenity with wraparound views of the city. *Therefore this guideline is met.*

C3. Respect Architectural Integrity. Respect the original character of an existing building when modifying its exterior. Develop vertical and horizontal additions that are compatible with the existing building, to enhance the overall proposal's architectural integrity.

C4. Complement the Context of Existing Buildings. Complement the context of existing buildings by using and adding to the local design vocabulary.

C5. Design for Coherency. Integrate the different building and design elements including, but not limited to, construction materials, roofs, entrances, as well as window, door, sign, and lighting systems, to achieve a coherent composition.

Findings for C3-C5: The project respect the original character of the historic landmark Ballou Wright building by keeping its character-defining fire escape landings and loading dock; restoring the look and feel of original windows and eliminating non-historic alterations. Furthermore, the construction of the new door and roof deck feature are proposed in a manner that does impact the historic character of the building. The roof features, for the most part, pulled back from the outside wall plane making them subordinate to the mass of the building and its iconic tower. The new door and windows on the Flanders Street elevation are proposed in a heavy industrial style that is compatible

with existing openings on this elevation. *Therefore this guideline is met.*

C6. Develop Transitions between Buildings and Public Spaces. Develop transitions between private development and public open space. Use site design features such as movement zones, landscape elements, gathering places, and seating opportunities to develop transition areas where private development directly abuts a dedicated public open space.

Findings: The applicant proposes the preservation of a historic loading dock feature. This provides a small gathering place for users to observe and be observed by the street life below and provides a covered transition between the private building and public right of way. *Therefore this guideline is met.*

C8. Differentiate the Sidewalk-Level of Buildings. Differentiate the sidewalk-level of the building from the middle and top by using elements including, but not limited to, different exterior materials, awnings, signs, and large windows.

C9. Develop Flexible Sidewalk-Level Spaces. Develop flexible spaces at the sidewalk-level of buildings to accommodate a variety of active uses.

Findings for C8 & C9: Ballou Wright Building's historic design is a classic twentieth-century tripartite building. This differentiates the ground level with large display windows. Nothing about the proposed project changes this successful design. Furthermore, the project will rehabilitate a metal awning over the historic loading dock. *Therefore this guideline is met.*

C11. Integrate Roofs and Use Rooftops. Integrate roof function, shape, surface materials, and colors with the building's overall design concept. Size and place rooftop mechanical equipment, penthouses, other components, and related screening elements to enhance views of the Central City's skyline, as well as views from other buildings or vantage points. Develop rooftop terraces, gardens, and associated landscaped areas to be effective stormwater management tools.

Findings: The main component of the proposed project is a rooftop deck and new stair and elevator lobbies. The open and usable space on the roof with relates the building to the skyline around and creates views of the Pearl District and Tualatin Mountains. The construction of this amenities and the two lobby volumes are proposed in a manner that provides access but, because they defer to the mass and character of the historic landmark, integrate into the existing context of the Ballou Wright building. *Therefore this guideline is met.*

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

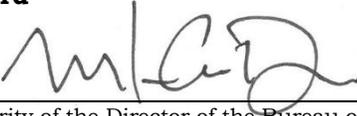
The purpose of the Historic Resource Review process is to ensure that additions, new construction, and exterior alterations to historic resources do not compromise their ability to convey historic significance. The proposal rehabilitates portions of the historic landmark Ballou Wright Building and the alterations that are proposed are either compatible with the original design or are pulled in and designed to be subordinate to the character of the building. Therefore this proposal warrants approval.

ADMINISTRATIVE DECISION

Approval of the construction of a new roof deck, removal of non-historic windows; construction of a new entry at Flanders street and alterations to the loading dock and fire escapes on a historic landmark per the approved site plans, Exhibits C-1 through C-18, signed and dated 6/23/2016, subject to the following conditions:

- A. As part of the building permit application submittal, each of the 4 required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C.1-C.18. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 16-129860 HR . No field changes allowed."

Staff Planner: Mike Gushard

Decision rendered by:  **on (June 23, 2016.)**
By authority of the Director of the Bureau of Development Services

Decision mailed: July 1, 2016

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on March 3, 2016, and was determined to be complete on May 13, 2016.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on March 3, 2016.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period. Unless further extended by the applicant, **the 120 days will expire on: September 10, 2016**

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term "applicant" includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the

use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed to the Landmarks Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on July 14, 2016** at 1900 SW Fourth Ave. Appeals can be filed at the Development Services Center Monday through Wednesday and Fridays between 8:00 am to 3:00 pm and on Thursdays between 8:00 am to 12:00 pm. After 3:00 pm Monday through Wednesday and Fridays, and after 12:00 pm on Thursdays, appeals must be submitted at the reception desk on the 5th floor. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization's boundaries. The vote to appeal must be in accordance with the organization's bylaws. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Landmarks Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Landmarks Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed*, The final decision may be recorded on or after **July 15, 2016 – (the day following the last day to appeal)**.

A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- **By Mail:** Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- **In Person:** Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034

For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An Impact Mitigation Plan and any concurrent reviews other than a Zone Change or Comprehensive Plan Map Amendment remains in effect until:

- All phases of development included in the plan have been completed, or
- The plan is amended or superceded; or
- As specified in the plan; or
- As otherwise specified in the final decision.

Zone Change and Comprehensive Plan Map Amendment approvals do not expire.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

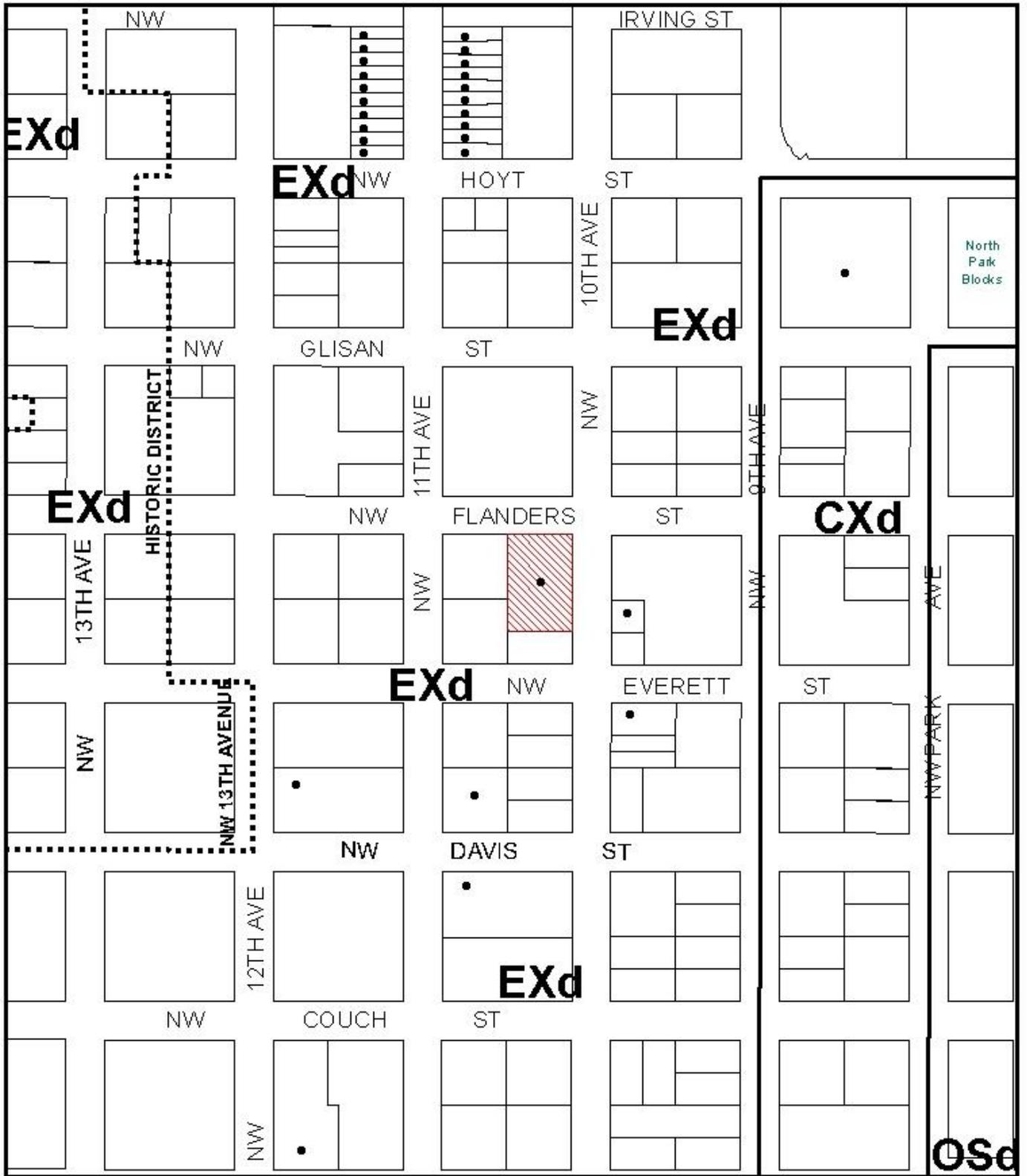
EXHIBITS

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
 1. Title Page and Renderings
 2. Roof Deck Constraints
 3. Narrative
- B. Zoning Map (attached)
- C. Plans/Drawings:
 1. Aerial Site Plan
 2. Site Photos
 3. Site plan drawing (attached)
 4. Basement Floorplan
 5. First Floor Plan
 6. Second Floor Plan
 7. Third Floor Plan
 8. Fourth Floor Plan
 9. Roof Plan (attached)
 10. Areas of exterior work
 11. North Elevation
 12. East Elevation
 13. South Elevation
 14. West Elevation
 15. North Elevation Detail Existing and Proposed (attached)
 16. Flanders Entrance area Existing and Proposed (attached)
 17. Glazing Details
 18. Building Section
- D. Notification information:
 1. Mailing list
 2. Mailed notice
- E. Agency Responses:
 1. Bureau of Environmental Services

2. Bureau of Transportation Engineering and Development Review
 3. Water Bureau
 4. Fire Bureau
 5. Site Development Review Section of BDS
 6. Bureau of Parks, Forestry Division
 7. Life Safety Division of BDS
- F. Correspondence: No other correspondence was received
- G. Other:
1. Original LU Application

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).



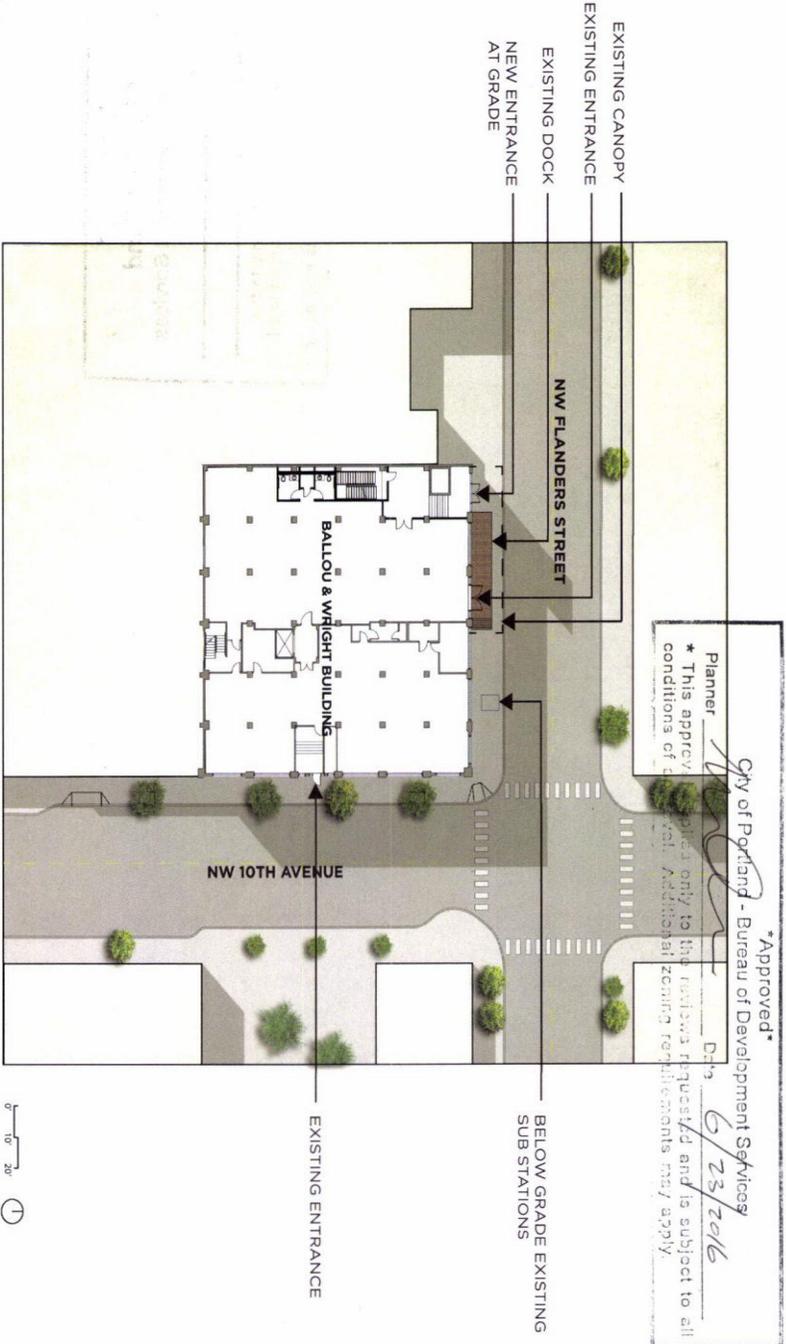
ZONING



This site lies within the:
CENTRAL CITY PLAN DISTRICT
RIVER Sub District

- Site
- Historic Landmark

File No. LU 16-129860 HR
 1/4 Section 3029
 Scale 1 inch = 200 feet
 State_Id 1N1E34CB 3100
 Exhibit B (Mar 04, 2016)



Approved
 City of Portland - Bureau of Development Services
 Planner: *[Signature]*
 Date: *6/23/2016*
 * This approval is based only on the information provided and is subject to all applicable codes and regulations. Additional zoning requirements may apply.

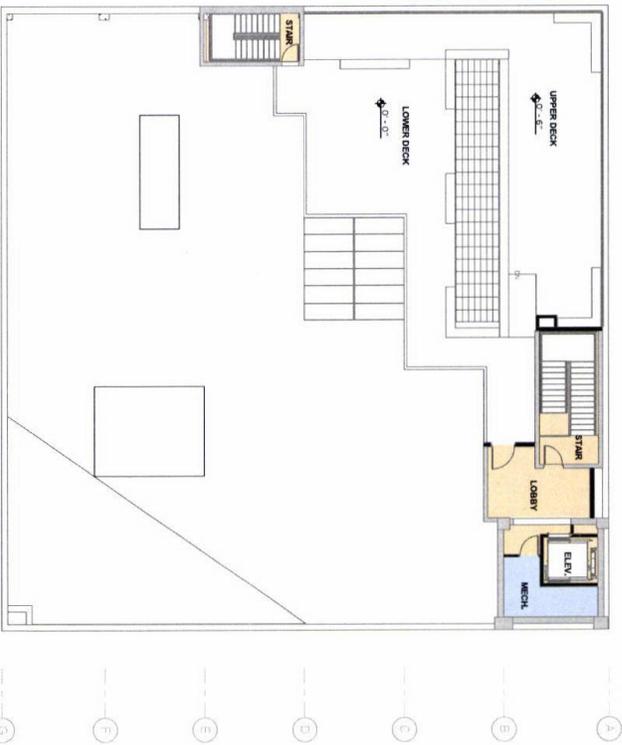
Site Plan
 Ballou & Wright
 LV16125860.HIK

C3

M.

Approved
City of Portland
 Bureau of Development Services
 Planner *[Signature]*
 Date 6/23/2016

* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



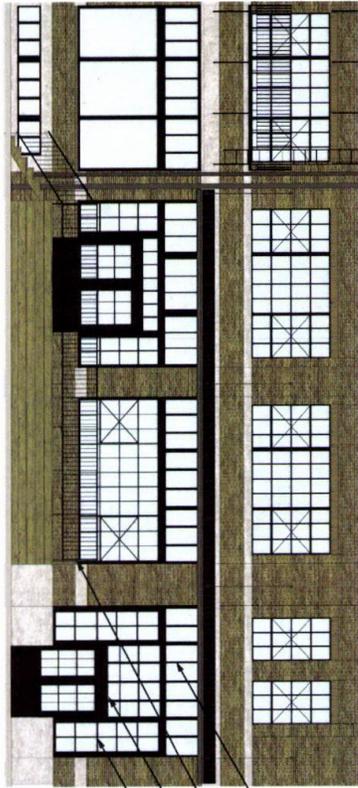
- LEGEND:**
- NEW WALLS
 - EXISTING WALLS
 - ELEV
 - TENANT
 - UTILITY
 - CIRCULATION
 - RESTROOMS

ROOF PLAN
 1/16" = 1'-0"
 0 10 20

Roof Plan
Ballou & Wright
 LU 16-123960 HR

C9

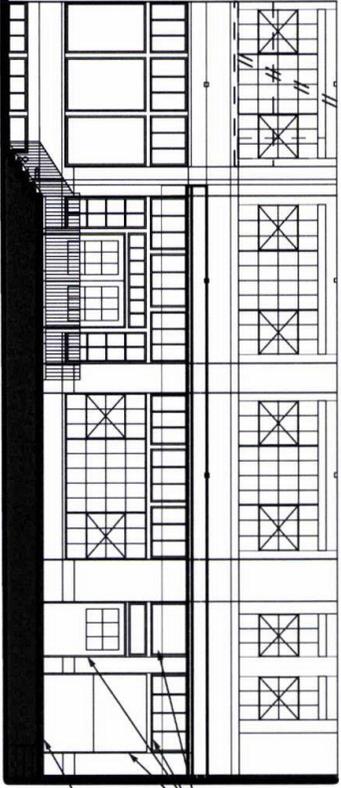
M.



- NEW STOREFRONT SYSTEM TO INFILL OPENING - MATCH EXISTING
- EXTEND GUARDRAIL AROUND REMAINING DOCK
- NEW DOOR AT GRADE TO MATCH EXISTING
- NEW STOREFRONT SYSTEM TO INFILL OPENING - MATCH EXISTING



NORTH ELEVATION:
PROPOSED ENTRY
 1/8" = 1'-0"



- REMOVE EXISTING DOORS AND WINDOW SYSTEM
- DEMO PORTION OF DOCK



NORTH ELEVATION:
EXISTING ENTRY
 1/8" = 1'-0"

*** Approved ***

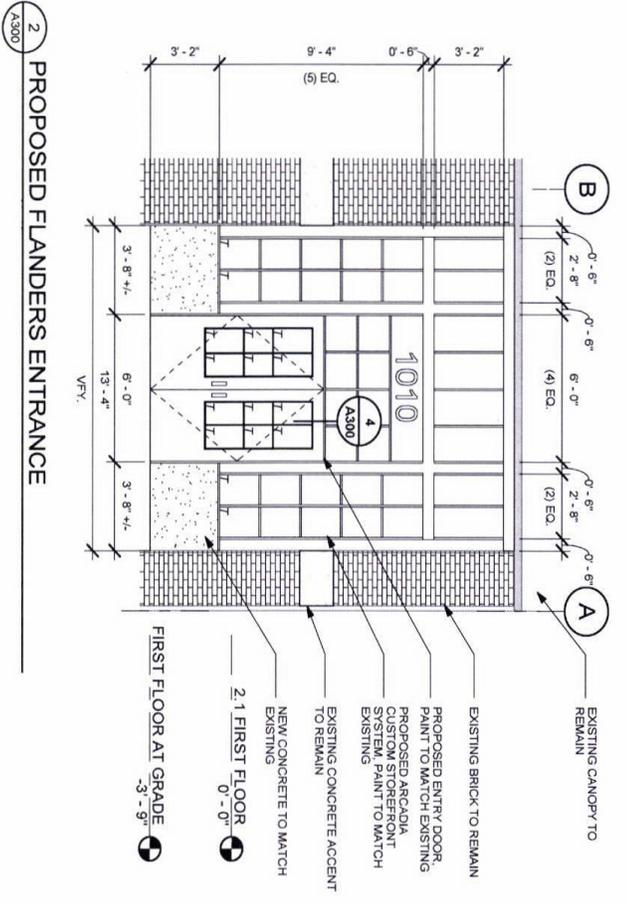
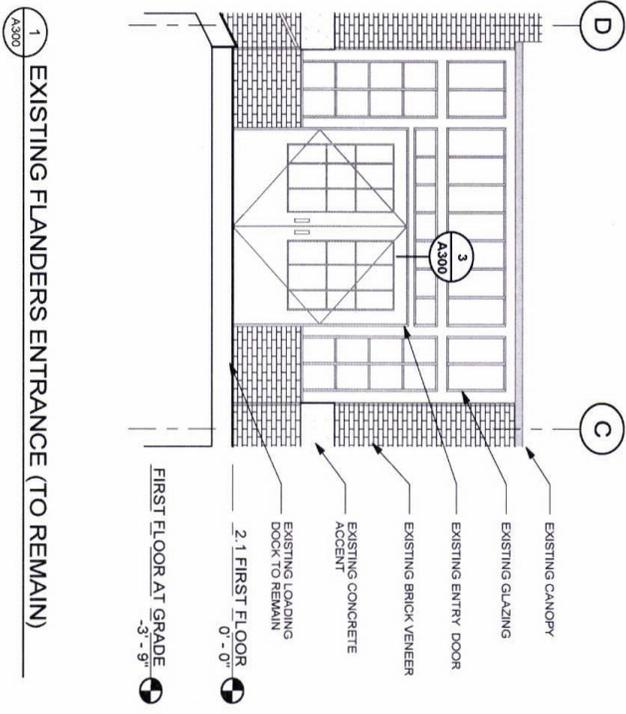
City of Portland - Bureau of Development Services

Planner: *[Signature]* Date: *6/23/2016*

* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

C15

Approved
 City of Portland - Bureau of Development Services
 Planner [Signature] Date 6/23/2016
 * This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



C16