



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Charlie Hales, Mayor
Paul L. Scarlett, Director
Phone: (503) 823-7300
Fax: (503) 823-5630
TTY: (503) 823-6868
www.portlandoregon.gov/bds

Date: April 22, 2013
To: Interested Person
From: Hillary Adam, Land Use Services
503-823-3581 / Hillary.Adam@portlandoregon.gov

NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has approved a proposal in your neighborhood. The reasons for the decision are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

CASE FILE NUMBER: LU 13-122063 HDZ – HONEYMAN HARDWARE LOFTS WINDOW REPLACEMENT

GENERAL INFORMATION

Applicant: James Hagerman, / Western Architectural
10220 SW Greenburg Rd / Portland, OR 97223

Owner: Jason Book Symons, / Honeyman Venture LLC
1201 Third Ave Suite 5400 / Seattle, WA 98101

Site Address: 502-514 NW 9TH AVE *

Legal Description: BLOCK 73 LOT 1-8 HISTORIC PROPERTY 15 YR 2006 POTENTIAL ADDITIONAL TAX; SEE R140622 (R18020-6681), COUCHS ADD; BLOCK 73 LOT 1-8 NONHISTORIC SEE MAIN ACCT R140621 (R18020-6680), COUCHS ADD

Tax Account No.: R180206680, R180206681, R180206681

State ID No.: 1N1E34BC 07600, 1N1E34BC 07600A1, 1N1E34BC 07600 A1

Quarter Section: 2929

Neighborhood: Pearl District, contact Patricia Gardner at 503-243-2628.

Business District: Pearl District Business Association, Adele Nofield at 503-223-0070.

District Coalition: Neighbors West/Northwest, contact Mark Sieber at 503-823-4212.

Plan District: Central City - River District

Other Designations: Portland Historic Landmark, listed in the National Register of Historic Places on December 15, 1989.

Zoning: CXd – Central Commercial with Design overlay

Case Type: HDZ – Historic Design Review

Procedure: Type II, an administrative decision with appeal to the Historic Landmarks Commission.

Proposal:

The applicant proposes the replacement of historic and non-historic windows on the eight-story Cotter Building at the northwest corner of the Honey Hardware Lofts property as follows:

- On the east façade, floors 2-7, replacement of existing non-historic aluminum 2-over-2 windows and original hollow metal frames and non-historic 1-over-1 windows with new aluminum-clad wood 2-over-2 and 1-over-1 double-hung windows;

- On the south façade, floors 2-7, replacement of existing non-historic aluminum 2-over-2 windows and original hollow metal frames with new aluminum-clad wood 2-over-2 double-hung windows;
- On the west (east-facing) façade of the south lightwell, floors 2-7, replacement of existing non-historic aluminum 2-over-2 windows and original hollow metal frames with new aluminum-clad wood 2-over-2 double-hung windows.

Also proposed, though not subject to review, is maintenance and repair of substantial water damage to the building envelope, particularly at the concrete window surrounds and at the brick architrave on the north façade.

The Notice of Proposal, dated March 21, 2013, included replacement of the north façade windows on floors 2-7 with aluminum-clad wood windows similar to those on the west façade which were installed in 2005-2006, however, during the comment period it was determined that the north façade windows were not deteriorated to the a sufficient degree to warrant full-scale replacement. The north façade windows are now proposed to be repaired as needed, which is not subject to review.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant criteria are:

- Central City Fundamental Design Guidelines
- River District Design Guidelines
- 33.846.060.G *Other Approval Criteria*

ANALYSIS

Site and Vicinity: The subject property is located between NW Park and NW 9th Avenues on the east and west, respectively, and NW Glisan and NW Hoyt Streets on the south and north, respectively. It consists of three interconnected buildings, including the 1903 one-story Metro Building at the northeast corner, originally constructed as a horse stable, the 1912 seven-story Cotter Building at the northwest corner, originally constructed as the Honeyman Hardware warehouse, and the 1920 Bindery Building on the south half of the block, originally constructed as the Honeyman Hardware retail store. The current proposal is limited to the Cotter Building. Constructed of reinforced concrete, the Cotter Building was designed by local architect David Chambers Lewis. According to Ronald Honeyman, Lewis's nephew, the building was designed for easy conversion to a hotel as well as for the possibility that an addition could be constructed to the east, as the structural concrete columns are expressed on the exterior east façade and capable of withstanding additional loads. The seven-story building is distinguished by its tripartite 8-over-8 windows on the north and west elevations, with the west windows having been replaced in 2005 or 2006. Windows on the south and east façades were replaced and a rooftop penthouse was added in 1989 when the building was converted to residential use, one of the first such conversions in what is now called the Pearl District, a special area of the River District. NW Hoyt, NW Park and NW Glisan are all designated City Walkways in the City's Transportation System Plan and the site is located in the Northwest Triangle Pedestrian District. NW Glisan is also designated a Transit Access Street and NW 9th is designated a City Bikeway.

The River District comprises those areas north of Burnside Street and east of the I-405 freeway, west of the Willamette River. Formerly it was known as the Northwest Triangle, an area of light industry and warehouse uses served by several railroad spurs. In the late 1980s and early 1990s, the area became the site of several warehouse-to-loft conversions, with its rebirth formalized in the creation of Designated an Urban Renewal Area in 1998. Following demolition of the NW Lovejoy viaduct and aided by the construction of the Portland Streetcar, the area has seen significant growth and is now one of the densest and most active parts of the city, with many new buildings filled with condominiums, apartments, restaurants, galleries and other commercial spaces as well as three new parks.

Zoning: The Central Commercial (CX) zone is intended to provide for commercial development within Portland's most urban and intense areas. A broad range of uses is allowed to reflect Portland's role as a commercial, cultural and governmental center. Development is intended to be very intense with high building coverage, large buildings, and buildings placed close together. Development is intended to be pedestrian-oriented with a strong emphasis on a safe and attractive streetscape.

The "d" overlay promotes the conservation and enhancement of areas of the City with special historic, architectural or cultural value. New development and exterior modifications to existing development are subject to design review. This is achieved through the creation of design districts and applying the Design Overlay Zone as part of community planning projects, development of design guidelines for each district, and by requiring design review. In addition, design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area.

The Historic Resource Protection overlay is comprised of Historic and Conservation Districts, as well as Historic and Conservation Landmarks and protects certain historic resources in the region and preserves significant parts of the region's heritage. The regulations implement Portland's Comprehensive Plan policies that address historic preservation. These policies recognize the role historic resources have in promoting the education and enjoyment of those living in and visiting the region. The regulations foster pride among the region's citizens in their city and its heritage. Historic preservation beautifies the city, promotes the city's economic health, and helps to preserve and enhance the value of historic properties.

Land Use History: City records indicate that prior land use reviews include the following:

- HLDZ 111-84 – Unknown
- DZ-57-89 – Exterior alterations related to the conversion of the block into a mixed-use building with residential units, including storefront alterations and the introduction of penthouse living units;
- EA 07-174763 – Pre-Application Conference for a new 9-story mixed-use building in the location of the existing Metro Building;
- LUR 91-00100 DZ – Approval of flush-mounted cellular telephone antenna at the roof line of the Cotter Building;
- LUR 93-00669 DZ – Approval of four two-sided banner signs measuring 30" x 42";
- PC 06-150135 – Pre-Application Conference for a new 10-story mixed-use building in the location of the existing Metro Building;
- LU 06-150288 DA – Design Advice for a new 10-story mixed-use building in the location of the existing Metro Building;
- LU 07-173368 HDZM – Approval of a new 9-story mixed-use building in the location of the existing Metro Building (never built);
- LU 08-172461 HDZ – Withdrawn application to relocate and replace 12 existing radio frequency antennas with 9 new antennas;
- LU 11-156854 CU HDZ – Approval of three new antennas added to the existing radio frequency transmission facility at the penthouse of the Cotter Building;
- LU 12-193209 DZ – Current application for new entry canopy, doors and entryway, removal of entry ramp and the replacement of the interior lightwell downspout with new art drain.
- EA 12-199286 PC – Pre-Application Conference for the current proposal.

Agency Review: A "Notice of Proposal in Your Neighborhood" was mailed **March 21, 2013**.

The **Life Safety Division of BDS** responded with the following comments:

Alterations to the building exterior envelope shall meet the prescriptive requirements Energy Code. Exception: When up to 25 percent of the glazing in any one wall is being replaced, it may be replaced with glazing with a U-factor and shading coefficient equal or better than the existing glazing. OEESC 101.4.2

It was also suggested that the applicant visit the Development Services Center for more information and noted that a separate Building Permit would be required for the work proposed. Please see Exhibit E-1 for additional details.

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on March 21, 2013. One written response has been received from either the Neighborhood Association or notified property owners in response to the proposal.

- Susan Haylock, Preservation Specialist at the State Historic Preservation Office, wrote on April 11, 2013, stated no objections to the maintenance and repair proposed for the building envelope and determined that the replacement of the non-historic windows on the east and south façades seemed that they would have no adverse effect as they are not original. She also stated that the original proposal to replace the original windows on the north façade should be avoided unless it can be demonstrated beyond a doubt by a reputable window expert that they are not repairable and encouraged repair and restoration. Please see Exhibit F-1 for additional details.

ZONING CODE APPROVAL CRITERIA

Chapter 33.846, Historic Reviews

Purpose of Historic Design Review

Historic Design Review ensures the conservation and enhancement of the special characteristics of historic resources.

Historic Design Review Approval Criteria

Requests for historic design review will be approved if the review body finds the applicant has shown that all of the approval criteria have been met.

Findings: The site is a designated Historic/Conservation Landmark. Therefore the proposal requires historic design review approval. The relevant approval criteria are listed in 33.846.060 G. 1.-10. In addition, because the site is located within the Central City and the River District, the relevant approval criteria are the Central City Fundamental Design Guidelines and the River District Design Guidelines.

G. Other Approval Criteria:

- 1. Historic character.** The historic character of the property will be retained and preserved. Removal of historic materials or alteration of features and spaces that contribute to the property's historic significance will be avoided.
- 4. Historic features.** Generally, deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement, the new feature will match the old in design, color, texture, and other visual qualities and, where practical, in materials. Replacement of missing features must be substantiated by documentary, physical, or pictorial evidence.

Findings for 1 and 4: A significant portion of the work proposed is not subject to review, including repair and maintenance of water damage to the exterior building envelope and repair and restoration of the north façade windows, however these aspects directly relate to the preservation of historic material, features, and character, and are worth noting with regard to the proposal meeting the approval criteria. In 1989, clear-glazed aluminum sashes replaced the original wire-ribbed glass window sashes and inserted into the original hollow metal frames on the east and south elevations, as well as the east-facing façade of the lightwell. These hollow metal frames have rusted through causing water infiltration and weakening their stability. Preservation of the metal frames is neither feasible nor essential to the historic character of the property. The new integrated window systems are designed to match the windows to be removed in their essential form and glazing pattern, but will be superior in quality in that they

are aluminum-clad wood windows, as opposed to the existing hollow metal frames. The proposal to replace the windows on the south and east façades, as well as the east-facing windows in the lightwell will allow for the prevention of future water infiltration through these openings, and therefore ensure the long-term preservation of the historic landmark. *These criteria are met.*

2. **Record of its time.** The historic resource will remain a physical record of its time, place, and use. Changes that create a false sense of historic development, such as adding conjectural features or architectural elements from other buildings will be avoided.
3. **Historic changes.** Most properties change over time. Those changes that have acquired historic significance will be preserved.

Findings for 2 and 3: The historic landmark has undergone many changes over time, most notably storefront alterations at the ground level, the construction of penthouse additions on the Metro, Bindery and Cotter buildings, and significant alterations to the Metro building. The currently proposed work includes window repair and replacement, repair and maintenance of the exterior building envelope, and is limited to the 7-story Cotter building at the northwest corner of the block. Replacement of the non-historic windows on the east and south façades and on the east-facing façade of the lightwell will include removal of the deteriorated original hollow metal frames; however, the replacement windows will be fully integrated systems of superior quality, designed to match the fenestration patterns of the existing condition. The original windows on the north façade will be repaired and restored as needed, and repair of water infiltration to the building envelope will ensure that the building will remain a record of its time. *These criteria are met.*

5. **Historic materials.** Historic materials will be protected. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials will not be used.

Findings: No chemical or physical treatments are proposed. Primer and paint will be applied to currently painted surfaces once they are repaired to provide an additional layer of protection. *This criterion is met.*

6. **Archaeological resources.** Significant archaeological resources affected by a proposal will be protected and preserved to the extent practical. When such resources are disturbed, mitigation measures will be undertaken.

Findings: No site work is proposed. *This criterion is not applicable.*

7. **Differentiate new from old.** New additions, exterior alterations, or related new construction will not destroy historic materials that characterize a property. New work will be differentiated from the old.

Findings: As mentioned above, the proposed replacement windows on the east-facing façade of the lightwell, and the east and south façades will be differentiated from the old in that they will feature clear-glass rather than wire-ribbed glass, which is currently located only in stair wells. The wood double-hung windows on the north façade, which are a primary architectural feature of the building, will be repaired and restored as needed, and will continue to be differentiated from the west façade windows which were replaced in 2005-2006. *This criterion is met.*

9. **Preserve the form and integrity of historic resources.** New additions and adjacent or related new construction will be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic resource and its environment would be unimpaired.

Findings: The proposal is for repair and replacement of windows in existing openings. No new additions are proposed, nor is the creation of new openings. The essential form and integrity of the historic resource will be preserved as a result of the proposed work, including the repair of water infiltration to the building envelope. *This criterion is met.*

8. Architectural compatibility. New additions, exterior alterations, or related new construction will be compatible with the resource's massing, size, scale, and architectural features. When retrofitting buildings or sites to improve accessibility for persons with disabilities, design solutions will not compromise the architectural integrity of the historic resource.

10. Hierarchy of compatibility. Exterior alterations and additions will be designed to be compatible primarily with the original resource, secondarily with adjacent properties, and finally, if located within a Historic or Conservation District, with the rest of the district. Where practical, compatibility will be pursued on all three levels.

Findings for 8 and 10: As noted above, the proposed replacement windows will match the existing in material, size, and fenestration pattern. Just as the original and existing windows, the proposed replacement windows are similar to and compatible with other warehouse buildings of similar age that have been converted to alternative uses. *These criteria are met.*

Chapter 33.825 Design Review

Section 33.825.010 Purpose of Design Review

Design review ensures that development conserves and enhances the recognized special design values of a site or area. Design review is used to ensure the conservation, enhancement, and continued vitality of the identified scenic, architectural, and cultural values of each design district or area. Design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area. Design review is also used in certain cases to review public and private projects to ensure that they are of a high design quality.

Section 33.825.055 Design Review Approval Criteria

A design review application will be approved if the review body finds the applicant to have shown that the proposal complies with the design guidelines for the area.

Findings: The site is designated with design overlay zoning (d), therefore the proposal requires Design Review approval. Because of the site's location, the applicable design guidelines are the Central City Fundamental Design Guidelines and River District Guidelines.

River District Design Guidelines and Central City Fundamental Design Guidelines

The River District is a remarkable place within the region. The area is rich with special and diverse qualities that are characteristic of Portland. Further, the River District accommodates a significant portion of the region's population growth. This area emphasizes the joy of the river, connections to it, and creates a strong sense of community. The goals frame the urban design direction for Central City and River District development.

The Central City Fundamental Design Guidelines and the River District Design Guidelines focus on four general categories. **(A) Portland Personality**, addresses design issues and elements that reinforce and enhance Portland's character. **(B) Pedestrian Emphasis**, addresses design issues and elements that contribute to a successful pedestrian environment. **(C) Project Design**, addresses specific building characteristics and their relationships to the public environment. **(D) Special Areas**, provides design guidelines for the four special areas of the Central City.

River District Design Goals

1. Extend the river into the community to develop a functional and symbolic relationship with the Willamette River.

2. Create a community of distinct neighborhoods that accommodates a significant part of the region’s residential growth.
3. Enhance the District’s character and livability by fostering attractive design and activities that give comfort, convenience, safety and pleasure to all its residents and visitors.
4. Strengthen connections within River District, and to adjacent areas.

Central City Plan Design Goals

1. Encourage urban design excellence in the Central City;
2. Integrate urban design and preservation of our heritage into the development process;
3. Enhance the character of the Central City’s districts;
4. Promote the development of diversity and areas of special character within the Central City;
5. Establish an urban design relationship between the Central City’s districts and the Central City as a whole;
6. Provide for a pleasant, rich and diverse pedestrian experience for pedestrians;
7. Provide for the humanization of the Central City through promotion of the arts;
8. Assist in creating a 24-hour Central City which is safe, humane and prosperous;
9. Ensure that new development is at a human scale and that it relates to the scale and desired character of its setting and the Central City as a whole.

Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.

A5. Enhance, Embellish and Identify Areas. Enhance an area by reflecting the local character within the right-of-way. Embellish an area by integrating elements in new development that build on the area’s character. Identify an area’s special features or qualities by integrating them into new development.

A5-1. Reinforce Special Areas. Enhance the qualities that make each area distinctive within the River District, using the following “Special Area Design Guidelines” (A5-1-1 – A5-1-5).

A5-1-1. Reinforce the Identity of the Pearl District Neighborhood. This guideline may be accomplished by:

- 1) Recognizing the urban warehouse character of the Pearl District when altering existing buildings and when designing new ones.
- 2) Recognizing the urban warehouse character of the Pearl District within the design of the site and open spaces.
- 3) Designing buildings which provide a unified, monolithic tripartite composition (base/middle/top), with distinct cornice lines to acknowledge the historic building fabric.
- 4) Adding buildings which diversify the architectural language and palette of materials.
- 5) Celebrating and encouraging the concentration of art and art galleries and studios with design features that contribute to the Pearl District’s “arts” ambiance. Consider features that provide connectivity and continuity such as awnings, street banners, special graphics, and streetscape color coordination, which link shops, galleries, entrances, display windows and buildings. Active ground level retail that opens onto and/or uses the sidewalk can contribute to the attraction of the “arts” concentration.

Findings for A5, A5-1, and A5-1-1: The proposal is for the preservation of the Honeyman Hardware Lofts Cotter Building through the replacement of the east and south windows, and through the repair and maintenance of the building envelope and the north façade windows. The original north façade windows will remain, while the east and south windows will be replaced with new aluminum-clad wood windows that will mimic the existing window patterns. The replacement and repair aspects of the proposal will continue the warehouse character of the building, ensuring its preservation into the future. *These guidelines are met.*

A6. Reuse/Rehabilitate/Restore Buildings. Where practical, reuse, rehabilitate, and restore buildings and/or building elements.

Findings: The proposal is for the preservation and continued use of the 1912 Cotter

Building. Many aspects of the proposal, including repair of water infiltration into the building envelope and repair of the north façade windows are exempt from review but contribute to the overall renovation proposal. In addition, the new windows on the east and south façades and the east-facing façade of the lightwell will help prevent future water infiltration into the building, ensuring its continued preservation. *This guideline is met.*

C2. Promote Quality and Permanence in Development. Use design principles and building materials that promote quality and permanence.

Findings: The windows proposed for the east and south façades will be integrated systems of aluminum-clad wood, replacing the existing systems of aluminum window inserts in deteriorated hollow metal frames. The new systems will act as single water-tight units, preventing future water infiltration, thereby promoting quality and permanence. *This guideline is met.*

C3. Respect Architectural Integrity. Respect the original character of an existing building when modifying its exterior. Develop vertical and horizontal additions that are compatible with the existing building, to enhance the overall proposal's architectural integrity.

C4. Complement the Context of Existing Buildings. Complement the context of existing buildings by using and adding to the local design vocabulary.

Findings for C3 and C4: The proposed windows are designed to mimic the existing fenestration patterns in the south and east façades. In addition, the north façade windows will be repaired in order to preserve the architectural integrity and original character of the historic landmark. These window patterns are common throughout the neighborhood and continue the warehouse character of this building and similar buildings in the area. These guidelines are met.

C5. Design for Coherency. Integrate the different building and design elements including, but not limited to, construction materials, roofs, entrances, as well as window, door, sign, and lighting systems, to achieve a coherent composition.

Findings: The new windows proposed for the east and south façades will be aluminum-clad wood double-hung 2-over-2 windows, which will match the new west façade windows in material, providing coherency to the altered windows in the building, though they will have occurred at separate times in the building's history. In addition, the new windows will be single systems, replacing the deteriorated pieced-together systems that currently exist. *This guideline is met.*

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

The renovation proposal includes many aspects not subject to review as they fall into the categories of maintenance or repair, including repair and restoration of the north façade windows, repair of the exterior brick architrave and concrete spalling and water infiltration. Those aspects subject to review include replacement of the window systems in the east and south façades and the east-facing lightwell façade. The replacement windows will be integrated systems of aluminum-clad wood double-hung windows, many in a 2-over-2 pattern, paired or in a tripartite system. The new windows are designed to match the window systems they are

replacing and, combined with the efforts to repair water infiltration, will serve to prevent future water infiltration, ensuring the continued preservation of this historic landmark. The purpose of the Historic Design Review process is to ensure that additions, new construction, and exterior alterations to historic resources do not compromise their ability to convey historic significance. This proposal meets the applicable Historic Design Review criteria and therefore warrants approval.

ADMINISTRATIVE DECISION

Approval of exterior alterations to the Honeyman Hardware Lofts Cotter Building in the River District, including:

- On the east façade, floors 2-7, replacement of existing non-historic aluminum 2-over-2 windows and original hollow metal frames and non-historic 1-over-1 windows with new aluminum-clad wood 2-over-2 and 1-over-1 double-hung windows;
- On the south façade, floors 2-7, replacement of existing non-historic aluminum 2-over-2 windows and original hollow metal frames with new aluminum-clad wood 2-over-2 double-hung windows;
- On the west (east-facing) façade of the south lightwell, floors 2-7, replacement of existing non-historic aluminum 2-over-2 windows and original hollow metal frames with new aluminum-clad wood 2-over-2 double-hung windows.

This approval is per the approved site plans, Exhibits C-1 through C-14, signed and dated April 17, 2013, subject to the following condition:

- A. As part of the building permit application submittal, each of the 4 required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C-1 through C-14. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 13-122063 HDZ. No field changes allowed."

Staff Planner: Hillary Adam

Decision rendered by:  on April 17, 2013

By authority of the Director of the Bureau of Development Services

Decision mailed: April 22, 2013

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on March 1, 2013, and was determined to be complete on March 15, 2013.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on March 1, 2013.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period.

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has

independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed to the Historic Landmarks Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on May 6, 2013** at 1900 SW Fourth Ave. Appeals can be filed Tuesday through Friday on the first floor of the Development Services Center until 3 p.m. After 3 p.m. and Mondays, appeals must be submitted to the receptionist at the front desk on the fifth floor. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization’s boundaries. The vote to appeal must be in accordance with the organization’s bylaws. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Historic Landmarks Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 550 Capitol St. NE, Suite 235, Salem, Oregon 97301, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Historic Landmarks Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed*, The final decision may be recorded on or after **May 7, 2013**.
- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- By Mail: Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- In Person: Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034
For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

EXHIBITS

NOT ATTACHED UNLESS INDICATED

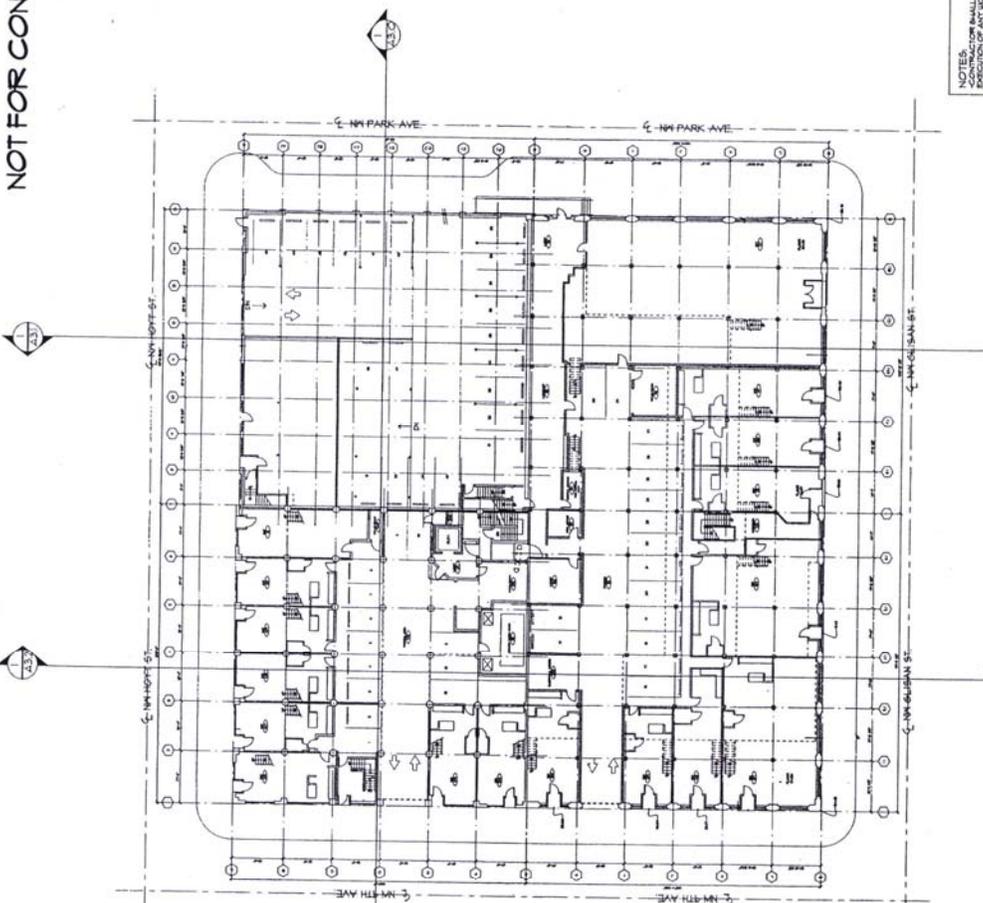
- A. Applicant's Statement
 1. Exterior Alteration Scope Narrative
 2. Honeyman Hardware Block History
 3. Photographs
 4. Written Condition Assessment of Cotter building Windows, dated March 15, 2013
 5. Email from Kristin Anderson, revising treatment method for exterior concrete, dated April 2, 2013
 6. Honeyman Hardware Lofts Preservation Plan, dated June 28, 2005, and letter from Susan Haylock, dated June 7, 2011
- B. Zoning Map (attached)
- C. Plans/Drawings:
 1. Site Plan (attached)
 2. South Elevation (attached)
 3. East Elevation (attached)
 4. North Elevation
 5. West Elevation
 6. Cotter South Court West Elevation (attached)
 7. Section A3.0
 8. Section A3.1
 9. Section A3.2
 10. Window Elevations
 11. Window Profile Comparison Type C

12. Window Profile Comparison Type D
 13. Window Jamb (Munitn) Comparison Type C
 14. Window Jamb (Muntin) Comparison Type D
- D. Notification information:
1. Mailing list
 2. Mailed notice
- E. Agency Responses:
1. Life Safety Division of BDS
- F. Correspondence:
1. Susan Haylock, Preservation Specialist at the State Historic Preservation Office, wrote on April 11, 2013, stated no objections to the maintenance and repair proposed for the building envelope and determined that the replacement of the non-historic windows on the east and south façades seemed that they would have no adverse effect as they are not original. She also stated that the original proposal to replace the original windows on the north façade should be avoided unless it can be demonstrated beyond a doubt by a reputable window expert that they are not repairable and encouraged repair and restoration.
- G. Other:
1. Original LU Application
 2. Incomplete Letter
 3. National Register Information

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).

NOT FOR CONSTRUCTION PURPOSES

REGISTERED ARCHITECT BCL-007 LAD 00000 STATE OF OREGON 1000 NE Oregon Street Portland, OR 97232	WESTERN ARCHITECTURAL 1000 NE Oregon Street Portland, OR 97232 www.westernarchitect.com	HONEYMAN HARDWARE LOFTS 514 NW 9th AVE PORTLAND OR 97209		LEVEL PLAN BINDERY COTTER CORP. 22751 HANCE BLDG	DATE FEBRUARY 25, 2013	REVISIONS ALL	JOB NO. 13010 DRAWING 13010-01 SHEET 11 OF 11
		WESTERN ARCHITECTURAL 1000 NE Oregon Street Portland, OR 97232 www.westernarchitect.com	LEVEL PLAN BINDERY COTTER CORP. 22751 HANCE BLDG	DATE FEBRUARY 25, 2013	REVISIONS ALL	JOB NO. 13010 DRAWING 13010-01 SHEET 11 OF 11	



NOTES:
 1. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF WORK.
 2. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS INCURRED AS A RESULT OF ANY FAILURE TO DO SO.
 3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF ALL MATERIALS SHALL BE TRUE AND CORRECT PRIOR TO INSTALLATION OF PLUMBING.
 4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF ALL MATERIALS SHALL BE TRUE AND CORRECT PRIOR TO INSTALLATION OF PLUMBING.

Approved
 City of Portland
 Bureau of Development Services
 Planner *J. Adam*
 Date 4/17/13
 • This approval applies only to the reviews requested and is subject to all conditions of approval.
 Additional zoning requirements may apply.

LEVEL PLAN: BINDERY, COTTER AND METRO

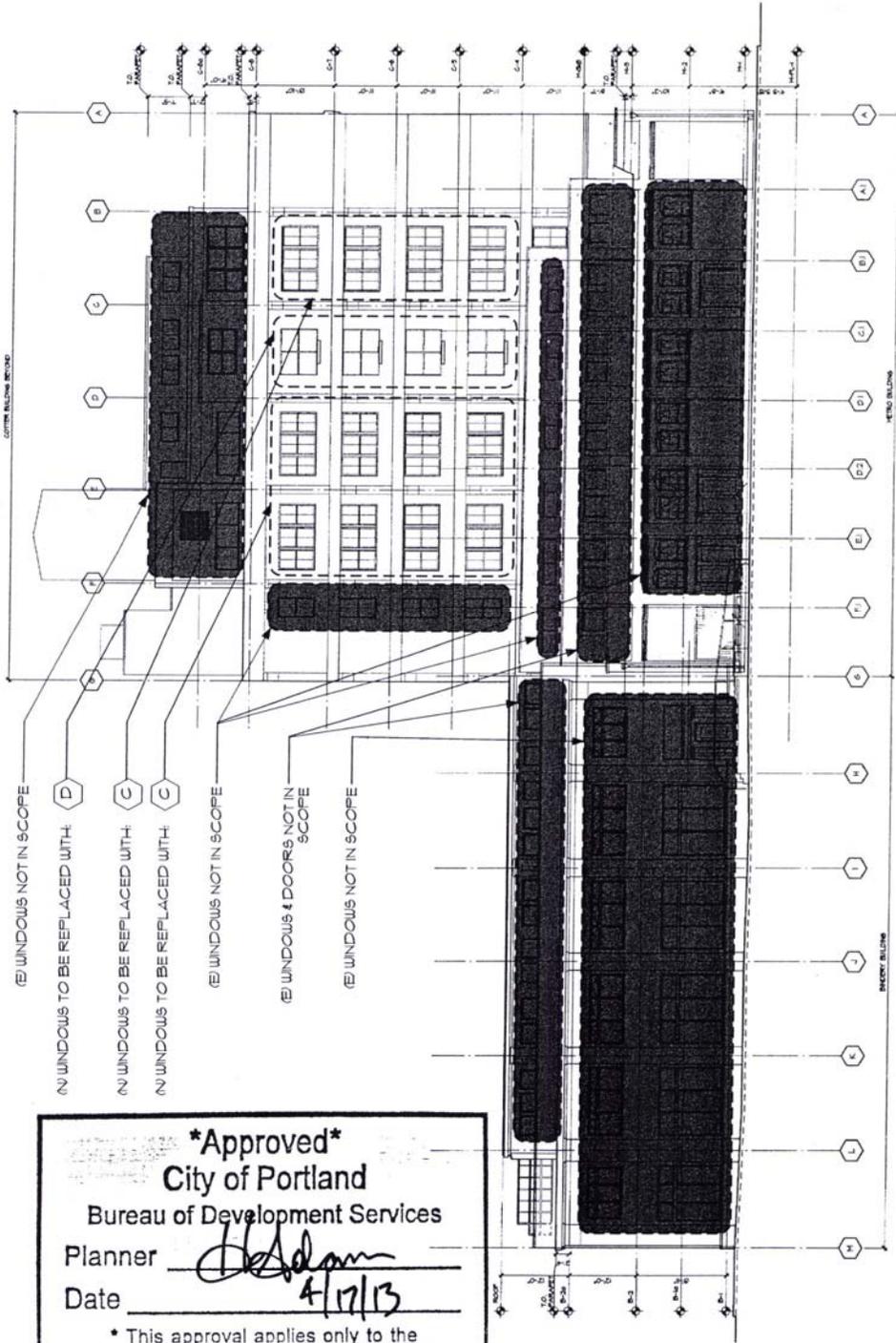
21

NOT FOR CONSTRUCTION PURPOSES

- (E) WINDOWS NOT IN SCOPE
- (D) WINDOWS TO BE REPLACED WITH:
- (C) WINDOWS TO BE REPLACED WITH:
- (C) WINDOWS TO BE REPLACED WITH:
- (E) WINDOWS NOT IN SCOPE
- (E) WINDOWS & DOORS NOT IN SCOPE
- (E) WINDOWS NOT IN SCOPE

Approved
City of Portland
 Bureau of Development Services
 Planner *[Signature]*
 Date 4/17/13

* This approval applies only to the reviews requested and is subject to all conditions of approval.
 Additional zoning requirements may apply



NOTES:
 FOR SMALL VENTILATING EXHAUST AND EXHAUSTION SYSTEMS IN THE
 INSTALLATION OF ANY WORK CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LOFTS INCLUDED AS
 ALL DETAILS ARE DRAWN FOR LODS AND ENLARGED FOR CLARITY PURPOSES. ACTUAL
 DETAILS ARE TO BE DETERMINED BY THE CONTRACTOR AND SHALL BE APPROVED BY THE
 ARCHITECT PRIOR TO INSTALLATION OF WORK.
 CLEAN ALL SURFACES PRIOR TO INSTALLATION OF FINISHES.

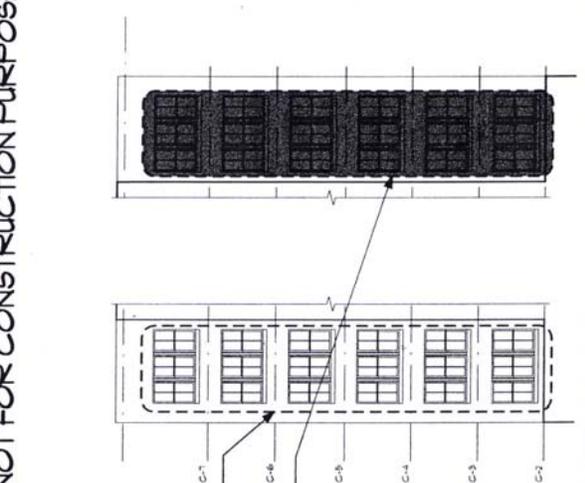
71 EAST ELEVATION

HISTORICAL DESIGN REVIEW DOCUMENTS NOT FOR CONSTRUCTION PURPOSES

C-3

NOT FOR CONSTRUCTION PURPOSES

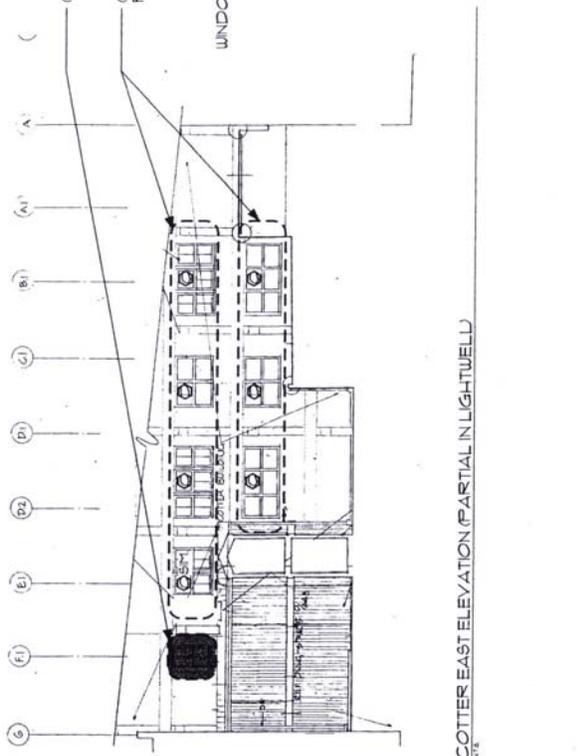
ARCHITECT-REGISTERED (DEC 100) LAF CONSTRUCTION 1415 N. W. 10TH AVE PORTLAND, OR 97209		HONEYMAN HARDWARE LOFTS 514 NW 9th Ave PORTLAND, OR 97209	
		DATE: FEBRUARY 28, 2013 REVISIONS:	SHEET: A2.4 TOTAL SHEETS: 4



3 EAST ELEVATION
A2.3

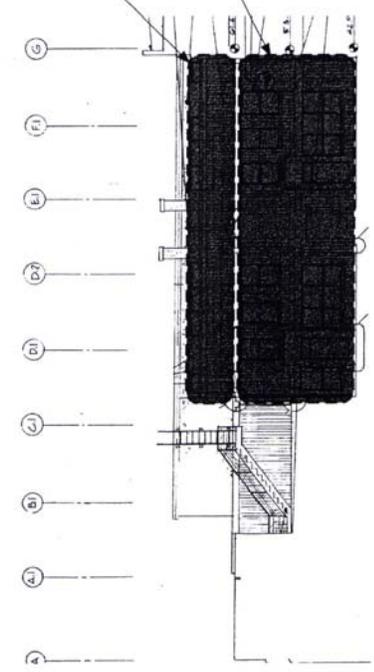
2 WEST ELEVATION
A2.2

(E) WINDOW NOT IN SCOPE
 (N) WINDOWS TO BE REPLACED WITH SIMILAR
 WINDOWS TO BE REPLACED WITH (C)
 (E) WINDOWS NOT IN SCOPE



1 COTTER EAST ELEVATION (PARTIAL IN LIGHTWELL)
A2.1

(E) WINDOWS & DOORS NOT IN SCOPE



4 METRO WEST ELEVATION (PARTIAL IN LIGHTWELL)
A2.4

Approved
 City of Portland
 Bureau of Development Services
 Planner [Signature]
 Date 4/17/13

* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

NOTES:
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF PORTLAND'S HISTORIC DISTRICTS REGULATIONS.
 2. THE CITY OF PORTLAND'S HISTORIC DISTRICTS REGULATIONS REQUIRE THAT ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF PORTLAND'S HISTORIC DISTRICTS REGULATIONS.
 3. ALL DETAILS ARE TO BE IN ACCORDANCE WITH THE CITY OF PORTLAND'S HISTORIC DISTRICTS REGULATIONS.
 4. ALL MATERIALS SHALL BE APPROVED BY THE CITY OF PORTLAND'S HISTORIC DISTRICTS REGULATIONS.
 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF PORTLAND'S HISTORIC DISTRICTS REGULATIONS.
 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF PORTLAND'S HISTORIC DISTRICTS REGULATIONS.
 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF PORTLAND'S HISTORIC DISTRICTS REGULATIONS.
 8. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF PORTLAND'S HISTORIC DISTRICTS REGULATIONS.
 9. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF PORTLAND'S HISTORIC DISTRICTS REGULATIONS.
 10. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF PORTLAND'S HISTORIC DISTRICTS REGULATIONS.

c-6