



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Charlie Hales, Mayor
Paul L. Scarlett, Director
Phone: (503) 823-7300
Fax: (503) 823-5630
TTY: (503) 823-6868
www.portlandoregon.gov/bds

Date: March 19, 2013
To: Interested Person
From: Mark Bello, Land Use Services
503-823-7810 / Mark.Bello@portlandoregon.gov

NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has approved a proposal in your neighborhood. The reasons for the decision are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

CASE FILE NUMBER: LU 13-108489 HDZ –EXTERIOR ALTERATIONS

GENERAL INFORMATION

Applicant: Gabriel Maldonada / Kaya Construction
5802 N. Greeley Ave / Portland, OR 97217

Owner: Kimberly A Harding
1918 SE Elliott Ave / Portland, OR 97214-4816

Site Address: 1918 SE ELLIOTT AVE

Legal Description: BLOCK 24 SLY 2' OF LOT 19 LOT 22, LADDS ADD
Tax Account No.: R463305470
State ID No.: 1S1E02DB 07000
Quarter Section: 3232
Neighborhood: Hosford-Abernethy, contact Joanne Stainbrook at 503-231-9245.
Business District: Division-Clinton Business Assoc, Darice Robinson at 503-233-1888.
District Coalition: Southeast Uplift, contact Bob Kellett at 503-232-0010.
Other Designations: Noncontributing property, Ladd's Addition Historic District, listed in the National Register of Historic Places, August 31, 1988.

Zoning: R5, Residential 5,000
Case Type: HDZ, Historic Design Review
Procedure: Type II, an administrative decision with appeal to the Landmarks Commission.

Proposal: Applicant is seeking Historic Design Review to make exterior alterations associated with interior remodeling. Exterior alterations involve the northeast, southeast and southwest elevations. At the ground floor level brick pattern composition siding will be removed, revealing original cedar siding. At the second story: on the southwest façade, one window will be removed and one window shifted; on the northeast façade, one window will be removed and stored, one window will be removed, and one window will be added; on the southeast façade, one window will be removed. Attic windows are to be retained and refinished. On the roof, the chimney will be replaced with a new flue covered by a ½-inch thick "masonry facing unit". All new siding associated with window removal/relocation will match existing.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant approval criteria are:

- 33.846.060 Historic Design Review
- Ladd's Addition Guidelines – Exterior Rehabilitation

ANALYSIS

Site and Vicinity: Ladd's Addition Historic District is listed in the National Register of Historic Places for its unique contribution to the practice of community planning and landscape architecture. Its pattern of streets, alleys, and public gardens, skewed diagonally to the compass, was virtually without precedent when it was laid out by William Sergeant Ladd in 1891. Several circumstances, including Ladd's untimely death in 1893 and a general economic downturn beginning at about the same time, contributed to a significant delay in the building up of the platted subdivision. Hence, the mean construction date for contributing buildings in the district is 1924.

The 1913 Emma Worrell residence was designed and built by architect J. Bryson Moore. Ms. Worrell was a stenographer for the L, K and C Soap Company. Ms. Worrell lived here with her sisters Anna and Minnie and their mother Catherine, a widow. This two-an-one –half story rectangular building has a moderately-pitched gable roof with projective eaves, exposed rafters, a wide bargeboard, bracketed gable ends, and cedar shingles; there are gable-roofed dormers with projecting eaves and exposed rafters on the side elevations. The full-width porch has a gable roof with projecting eaves, exposed rafters, an enclosed pediment with a cornice board and modillion-like blocks, truncated boxed columns on sided piers, and an enclosed balustrade. Brick planters flanking the wood porch stairs and flagstone veneer on the first story front elevation are not original which negative affects its historic character. The house has been inventoried in the National Register as non-contributing.

Zoning: The site is zoned R5, a single dwelling zone. Single-dwelling zones are intended to preserve land for housing and to provide housing opportunities for individual households. The zones implement the comprehensive plan policies and designations for single-dwelling housing.

Land Use History: City records indicate there are no prior land use reviews for this site.

Agency and Neighborhood Review: A "Notice of Proposal in Your Neighborhood" was mailed on February 4, 2013. Fire and Life Safety, Bureau of Development Services, has responded with no issues or concerns. No written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

ZONING CODE APPROVAL CRITERIA

Chapter 33.846.060 - Historic Design Review

Purpose of Historic Design Review

Historic Design Review ensures the conservation and enhancement of the special characteristics of historic resources.

Historic Design Review Approval Criteria

Requests for historic design review will be approved if the review body finds the applicant has shown that all of the approval criteria have been met.

Findings: The site is located within the Ladd's Addition Historic District and the proposal is for a non-exempt treatment not requiring a new foundation. Therefore Historic Design Review approval is required. The approval criteria are the *Ladd's Addition Conservation District Design Guidelines – Exterior Rehabilitation*.

Staff has considered all guidelines and addressed only those applicable to this proposal.

Ladd's Addition Conservation District Guidelines – Exterior Rehabilitation

1. Façades Oriented to a Street. In rehabilitating existing buildings, the architectural integrity of street-oriented façades should be maintained. Additions and structural alterations should be limited to the rear and side yard façades and be minimally visible from the street.

Findings: No additions or structural alterations are proposed. Furthermore, the applicant intends to remove the flagstone siding on the front elevation. Thus, the elevation will be brought back to its historic character. *This Guideline is therefore met.*

2. Exterior Siding Material. Restoration and maintenance of original siding materials is encouraged. Materials used on additions should match or be compatible with the predominant materials used on the original structure. Most single family residences and duplexes in Ladd's Addition feature stucco, horizontal wood siding, wood shingles, brick or a combination of these materials. Most commercial and multi-family structures feature stucco or brick. The following materials are discouraged: plywood, used brick, shakes, exposed concrete block and metal.

Findings: The inventory references composition shingles; however, the house is actually sided with cedar shingles. As little siding will be removed as possible as windows are relocated. New cedar siding will be installed and finished to match the existing siding. Thus, the three elevations affected by this proposal, northeast, southwest and southeast, will be compatible with the original cladding. *This Guideline is therefore met.*

3. Roof Form. Repair and alteration of roofs should retain:

- a. The original roof shape and pitch;
- b. Original structural and decorative features such as gables, dormers, chimneys, cornices, parapets, pediments, frieze boards, exposed rafters and other ornamental details; and,
- c. Whenever possible the original type, size, color, and pattern of roofing materials. New roof features including roof additions and new dormers should be compatible in size, scale, materials, and color with the original building. Skylights, solar, mechanical and service equipment, and new roof features should be inconspicuous from the street.

Findings: The applicant is not altering the roof shape, pitch, or roofing materials. The existing chimney lacks corbelling or decorative elements as other chimneys commonly do in Ladd's, so this chimney may or may not be original. The very detailed inventory sheet does not list the chimney. The applicant will replace the chimney and has provided a drawing of the existing and new chimney that demonstrates that the new chimney is similar in dimensions, material (brick and mortar), and color. *This Guideline is therefore met.*

4. Windows and Doors. Original windows and doors, including trim, should be retained or restored. If repair is not feasible, new windows or doors on additions should match or be compatible with original windows in form, materials, type, pattern and placement of openings. On residences, the removal of original wood sash windows and replacement with aluminum sash is especially discouraged. Restoration of commercial storefront windows with large fixed glass panes below and smaller glass panes above is especially encouraged.

Findings: Exterior alterations reflect a reworking of the interior of this property. There will be one less window on the second floor after remodeling. Exhibit C.4 indicates that windows will be appropriately relocated and shadowed. New window locations and

sections are indicated by Exhibits C.4 A-D. Attic windows will also be retained and restored. *With a condition that the one original window to be removed is kept on-site, this Guideline is therefore met.*

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

The proposed alterations are compatible with the house. Exterior alterations on the sides of the house will be minimally visible from adjacent rights-of-ways. Removal of the brick composition shingles from the front elevation, revealing original siding, will greatly enhance the character of the house. The inventory may have classified this house as incompatible with the district on the basis on this non-historic siding. The proposal warrants approval.

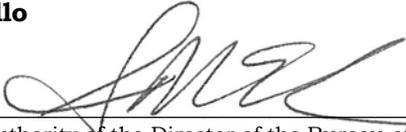
ADMINISTRATIVE DECISION

Approval of window relocation: At the second story: on the southwest façade, one window will be removed and one window shifted; on the northeast façade, one window will be removed and stored, one window will be removed, and one window will be added; on the southeast façade, one window will be removed. Attic windows are to be retained and refinished. On the roof, the chimney will be replaced with a new flue covered by a ½-inch thick "masonry facing unit". All new siding associated with window removal/relocation will match existing.

and other exterior alterations to a noncontributing property in Ladd's Addition, per the approved site plans, Exhibits C-1 through C-4, signed and dated March 15, 2013, subject to the following conditions:

- A. As part of the building permit application submittal, the following development-related conditions (B through 3) must be noted on each of the 4 required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled "ZONING COMPLIANCE PAGE - Case File LU 13-108489 HDZ." All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED."
- B. The one original wood window proposed to be removed must be stored on-site.

Staff Planner: Mark Bello

Decision rendered by:  on March 15, 2013
By authority of the Director of the Bureau of Development Services

Decision mailed: March 19, 2013

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on January 24, 2013, and was determined to be complete on **January 28, 2013.**

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on January 24, 2013.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period. Unless further extended by the applicant, **the 120 days will expire on: May 28, 2013.**

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term "applicant" includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed to the Landmarks Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on April 2, 2013** at 1900 SW Fourth Ave. Appeals can be filed Tuesday through Friday on the first floor of the Development Services Center until 3 p.m. After 3 p.m. and Mondays, appeals must be submitted to the receptionist at the front desk on the fifth floor. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization's boundaries. The vote to appeal must be in accordance with the organization's bylaws. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Landmarks Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 550 Capitol St. NE, Suite 235, Salem, Oregon 97301, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Landmarks Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed*, The final decision may be recorded on or after **April 3, 2013**.
- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- **By Mail:** Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- **In Person:** Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034
For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

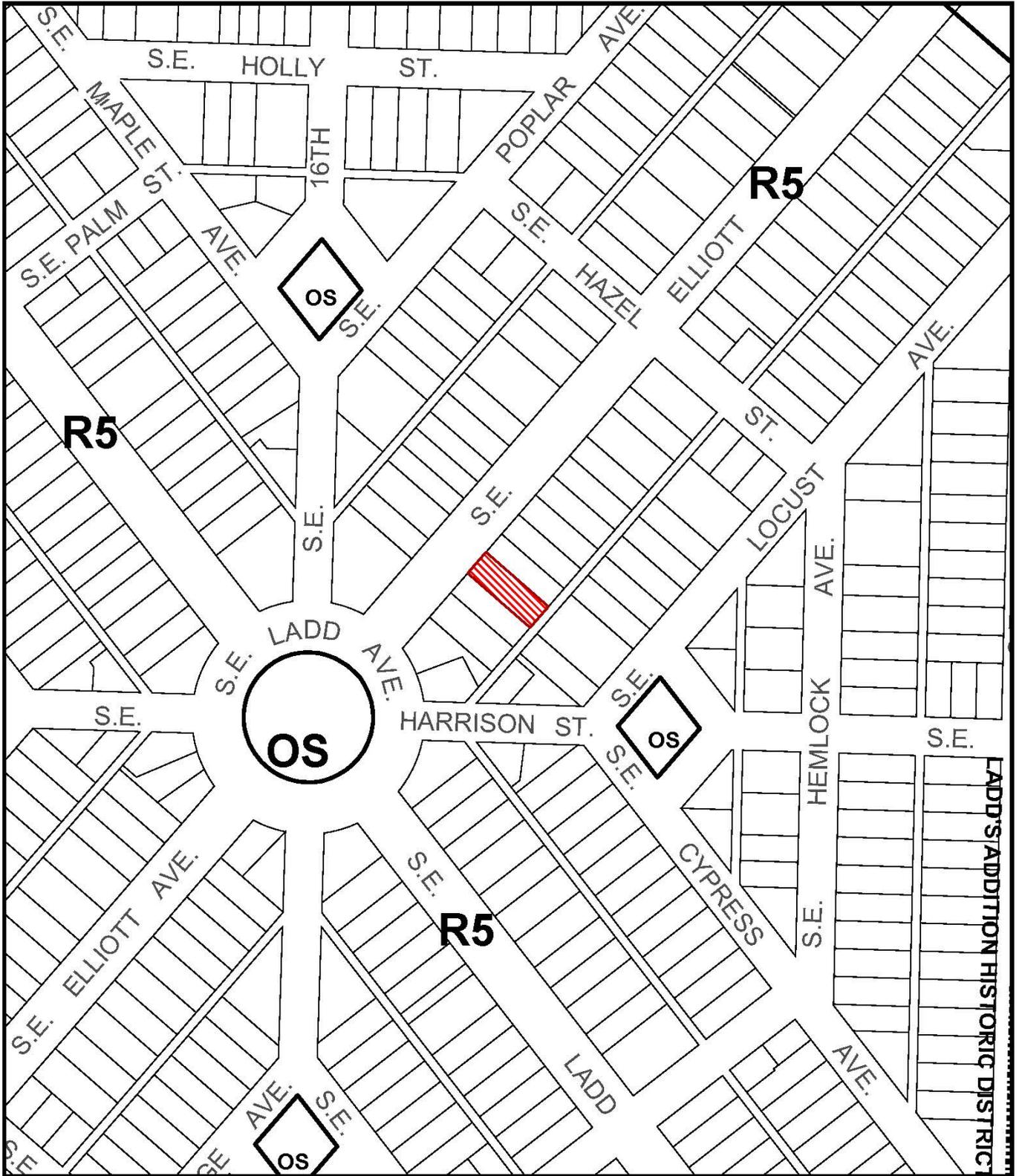
EXHIBITS

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
 - 1. Narrative
 - 2. Additional Info
- B. Zoning Map (attached)
- C. Plans/Drawings:
 - 1. Site Plan (attached)
 - 2. Elevations
 - 3. Chimney Replacement Details
 - 4. Window Profiles

- a. Existing Casement A
- b. Existing Casement B
- c. Double-Hung C
- d. Double-Hung D
- 5. Floor Plans and Sections
- 6. Floor Plans and Window Information
- 7. Stair Sections and Details
- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Responses:
 - 1. Site Life Safety Section of BDS
- F. Correspondence: (none)
- G. Other:
 - 1. Original LU Application
 - 2. National Register Information

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).

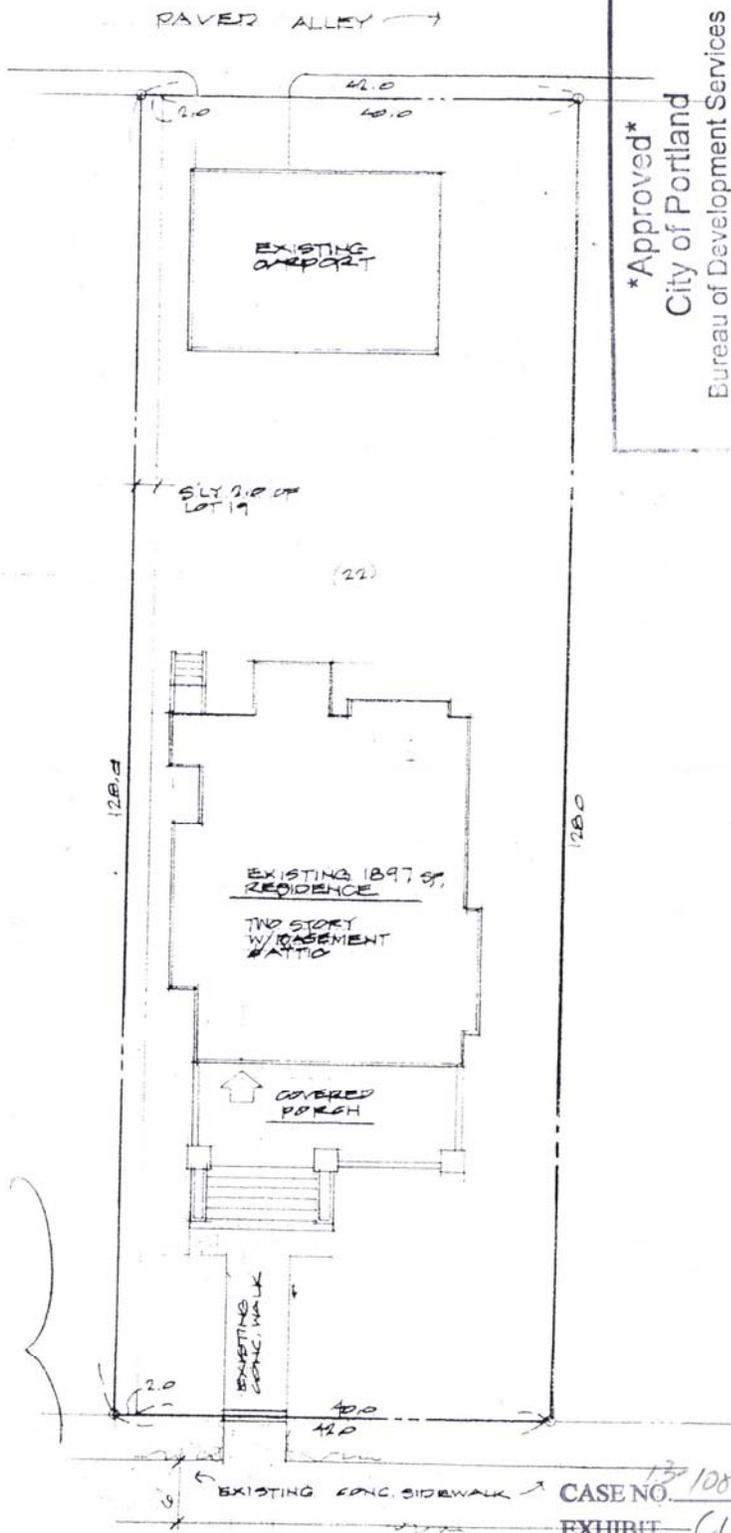


ZONING



This site lies within the:
LADD'S ADDITION HISTORIC DISTRICT

File No. LU 13-108489 HDZ
 1/4 Section 3232
 Scale 1 inch = 200 feet
 State_Id 1S1E02DB 7000
 Exhibit B (Jan 25, 2013)



Approved
 City of Portland
 Bureau of Development Services
 Planner MB 3/15/13

REVISIONS	BY
1.9.13	JL

JEFFREY L. MILLER
 ARCHITECT, P.C.
 834 SW ST. CLAIR AVENUE, SUITE 201, PORTLAND, OR 97205
 PH. 503.222.1234 FAX 503.222.6194

RESIDENCE
 NE, PORTLAND, OR 97214

CASE NO. 13-1084B
 EXHIBIT - C1

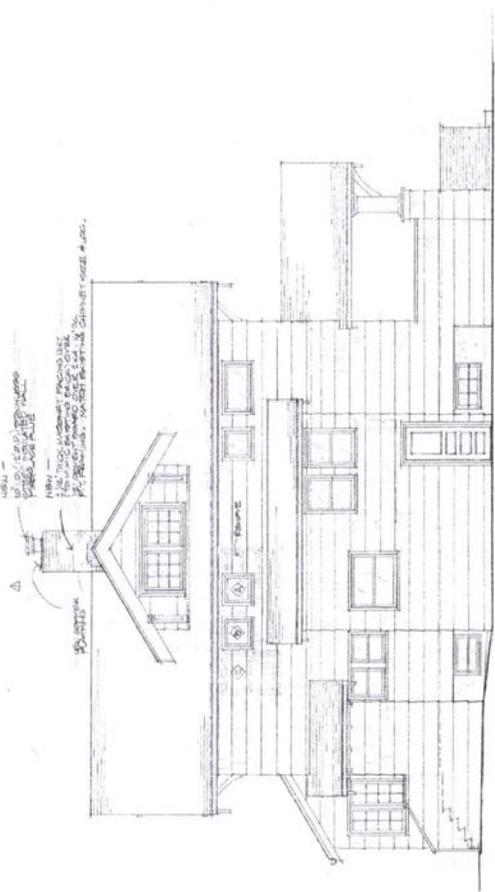
* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

REVISIONS BY	

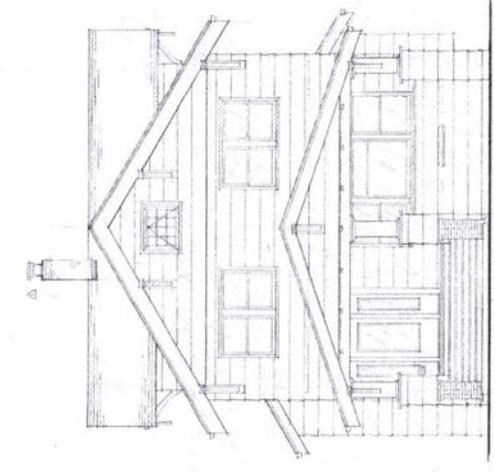
JEFFREY L. MILLER
 ARCHITECT, P.C.
 2045 SE SQUAKE AVENUE, SUITE 202, PORTLAND, OR 97202
 PH: 503.251.0114 FAX: 503.251.0114

HARDING RESIDENCE
 1100 E BLISS ST., PORTLAND, OR 97214

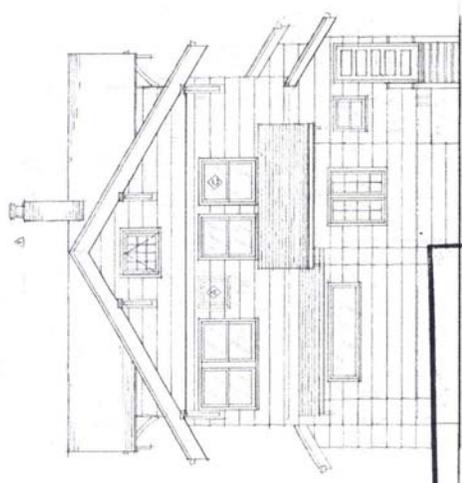
3/15/13
 DATE
 3/15/13
 DATE
 AS.1
 SHEET



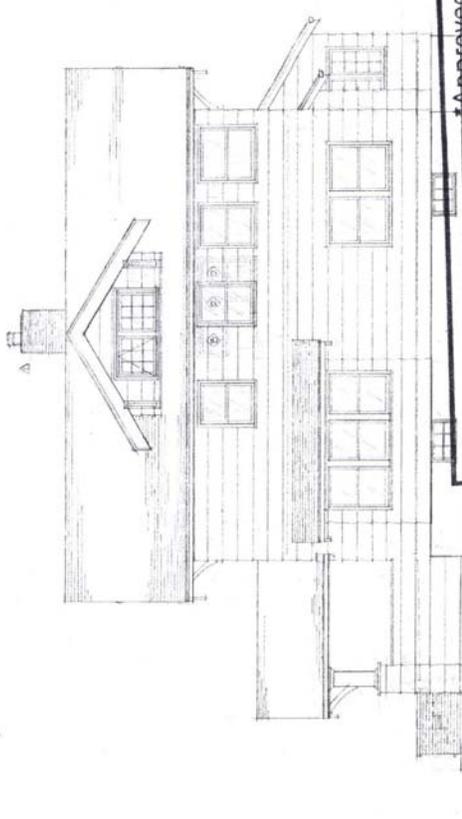
NORTHEAST ELEVATION



NORTHWEST ELEVATION



SOUTHEAST ELEVATION



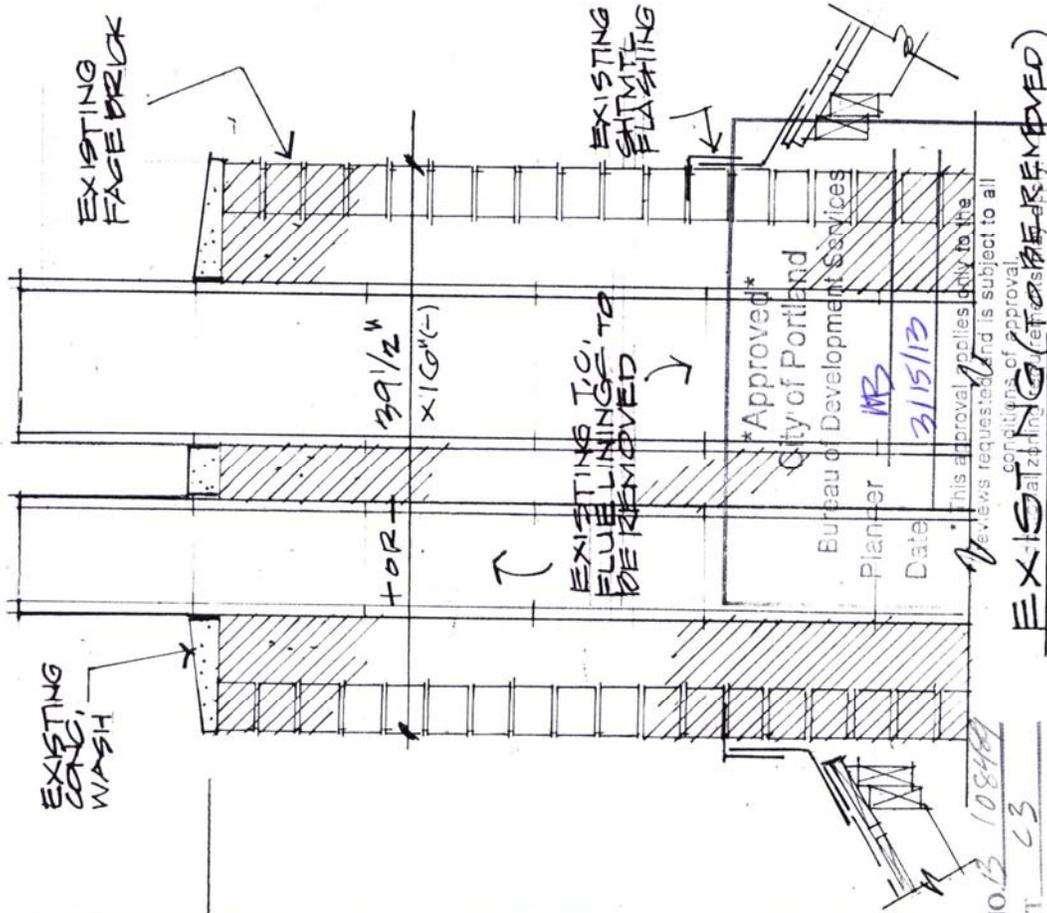
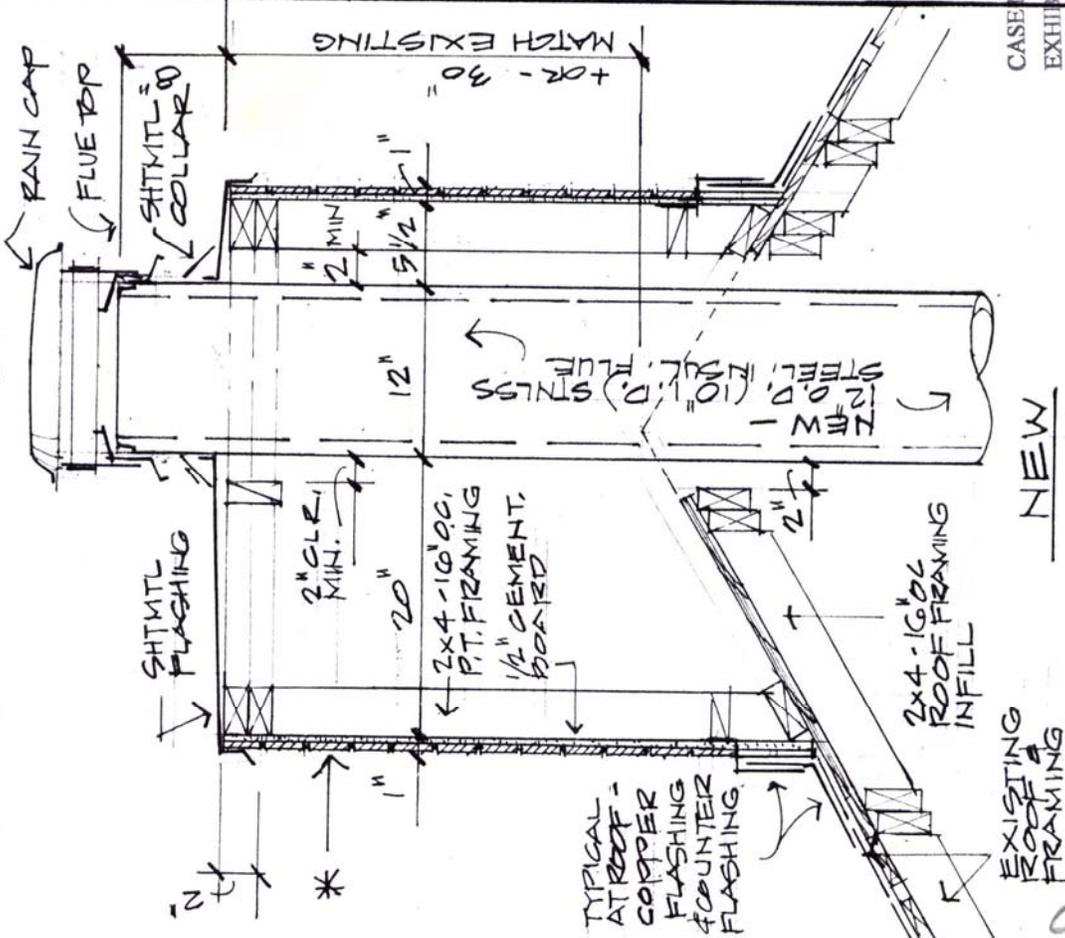
SOUTHWEST ELEVATION

Approved*
 City of Portland - Bureau of Development Services
 Planner MB Date 3/15/13
 * This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

CASE NO. 13-108469
 EXHIBIT C2

Jeffrey L. Miller, Architect
 834 S. W. St. Clair Ave.
 Portland, OR 97205

* FACE VENEER - MUTUAL MATERIALS RESIDENTIAL "SLIMBRICK". APPLY TO CEMENT BOARD PER MANUF. SPECS. GROUT BETWEEN UNITS (1/2" JOINTS) W/ GROUT AND POINTING TO MATCH EXISTING GROUT. VENEER COLOR = "FOREST BLEND"



* Approved*
 City of Portland
 Bureau of Development Services
 Planner MB
 Date 3/15/13
 This approval applies to the
 reviews requested and is subject to all
 conditions of approval.

CASE NO. 13 10848
 EXHIBIT C3

CHIMNEY REPLACEMENT DETAILS FOR: HARDING RESIDENCE
 1918 SE ELLIOT AVENUE, PORTLAND, OREGON 97214
 2/25/13

Jeffrey L. Miller, Architect
834 S. W. St. Clair Ave.
Portland, OR 97205

WALL FRAMING
SIDING
BLDG. PAPER
SHEATHING
GALV. HEAD FLASHING
CASING

HEAD

HARDING RESIDENCE
1918 SE ELLIOTT AVENUE
PORTLAND, OREGON 97214
3.13.13
3" = 1'-0"

EXISTING CASEMENT "A" IN
EXISTING SOUTHEAST
WALL LOCATION

WALL FRAMING
SIDING
BLDG. PAPER
SHEATHING
CASING

HEAD

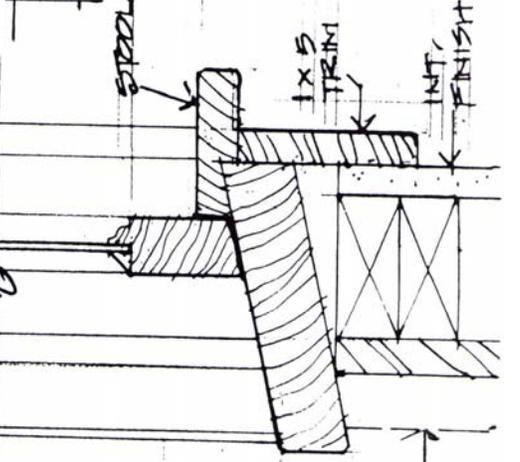
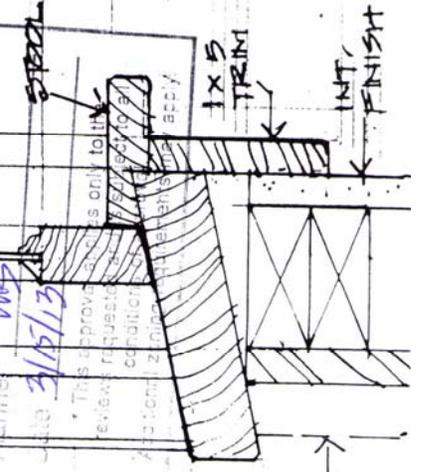
EXISTING CASEMENT "A" AT
NEW NORTHEAST
WALL LOCATION

WALL FRAMING
SIDING
BLDG. PAPER
SHEATHING
GALV. HEAD FLASHING
CASING

HEAD

SHEET 1 OF 4

SILL



SILL

CASE NO. 13-108489
EXHIBIT C4a

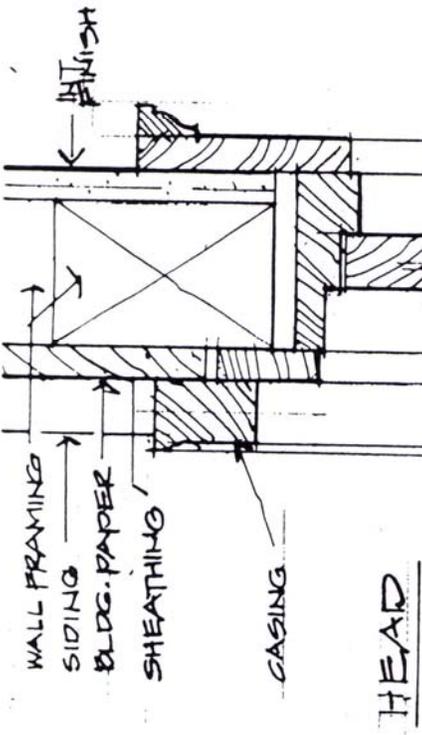
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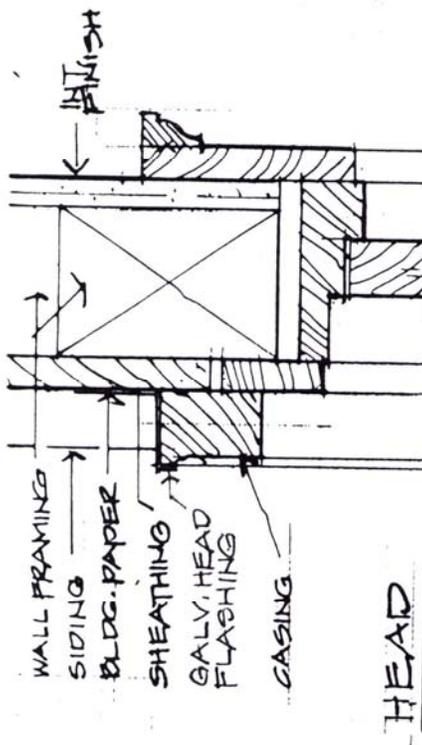
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C4a



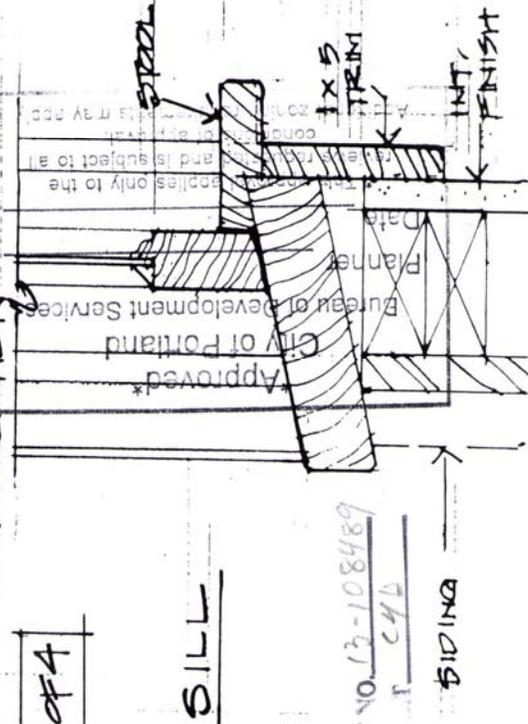
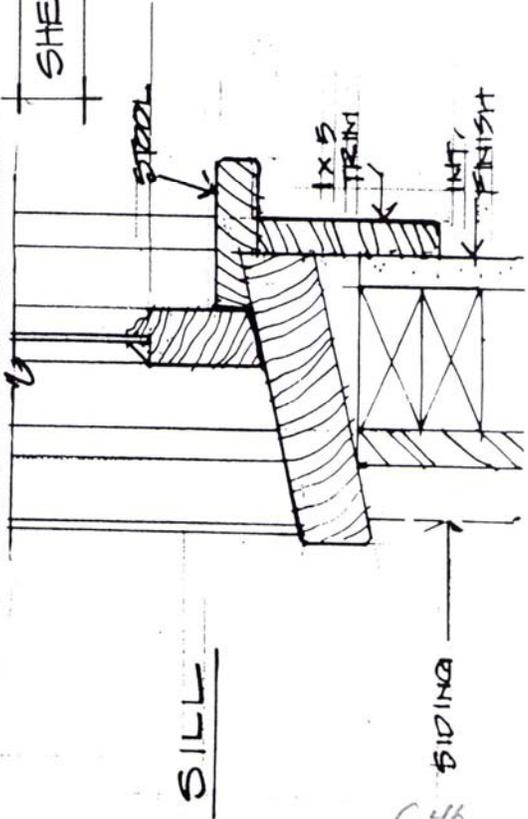
HARDING RESIDENCE
1910 SE ELLIOTT AVENUE
PORTLAND, OREGON 97214
3.13.13
3"=1'-0"



EXISTING CASEMENT "B" IN
EXISTING SOUTHWEST
WALL LOCATION

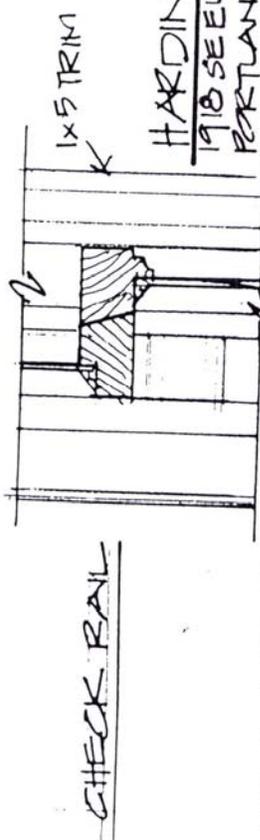
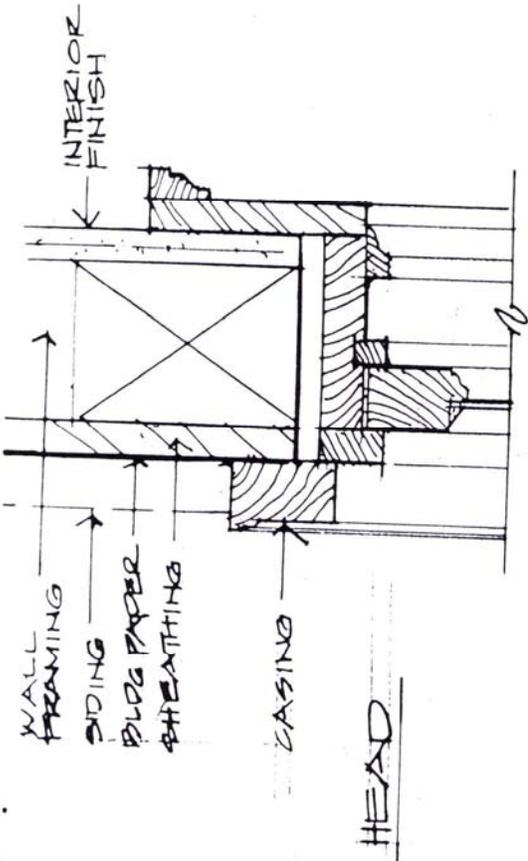
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NEW SOUTHWEST
WALL LOCATION

SHEET 2 of 4

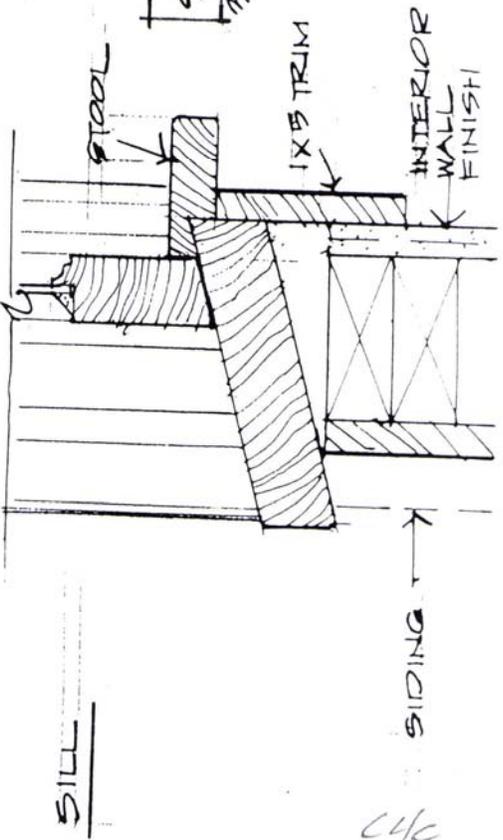


CAS# NO. 13-108489
PLAN. C46

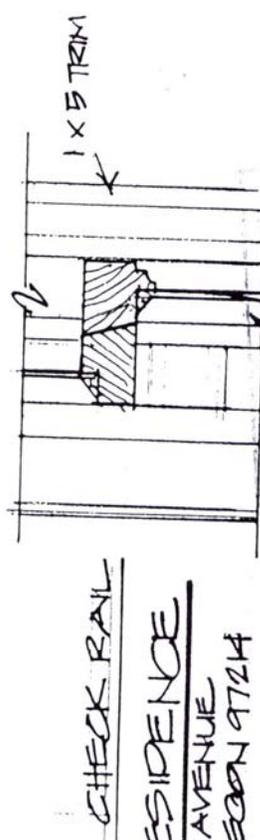
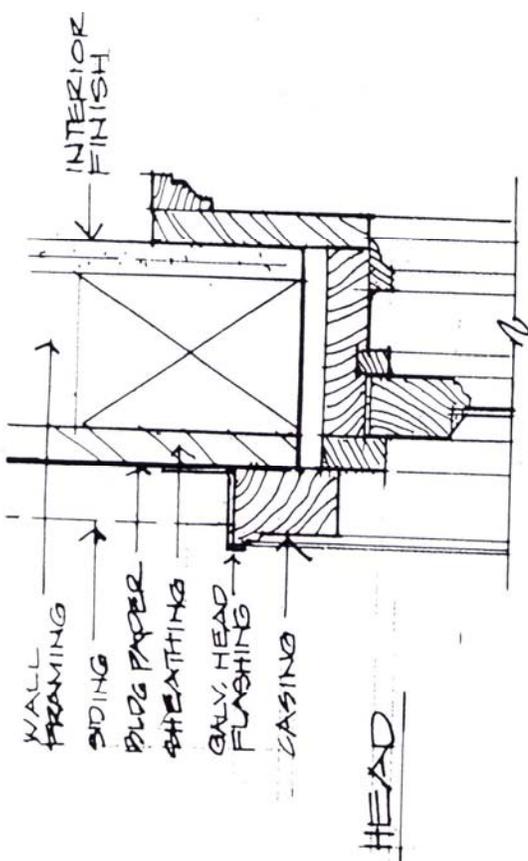
C46



EXISTING DOUBLE-HUNG "C" IN
EXISTING NORTHEAST
WALL LOCATION

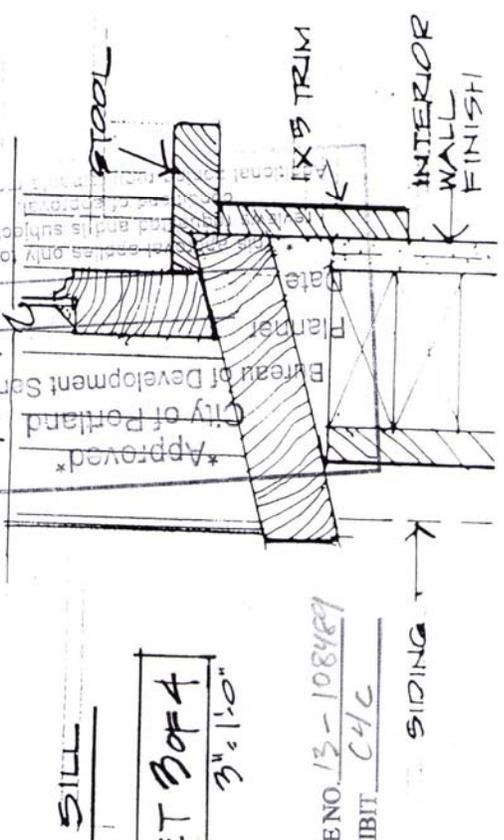


SILL



HARDING RESIDENCE
1918 SE ELLIOTT AVENUE
PORTLAND, OREGON 97214

EXISTING DOUBLE-HUNG "C" AT
NEW SOUTHEAST
WALL LOCATION



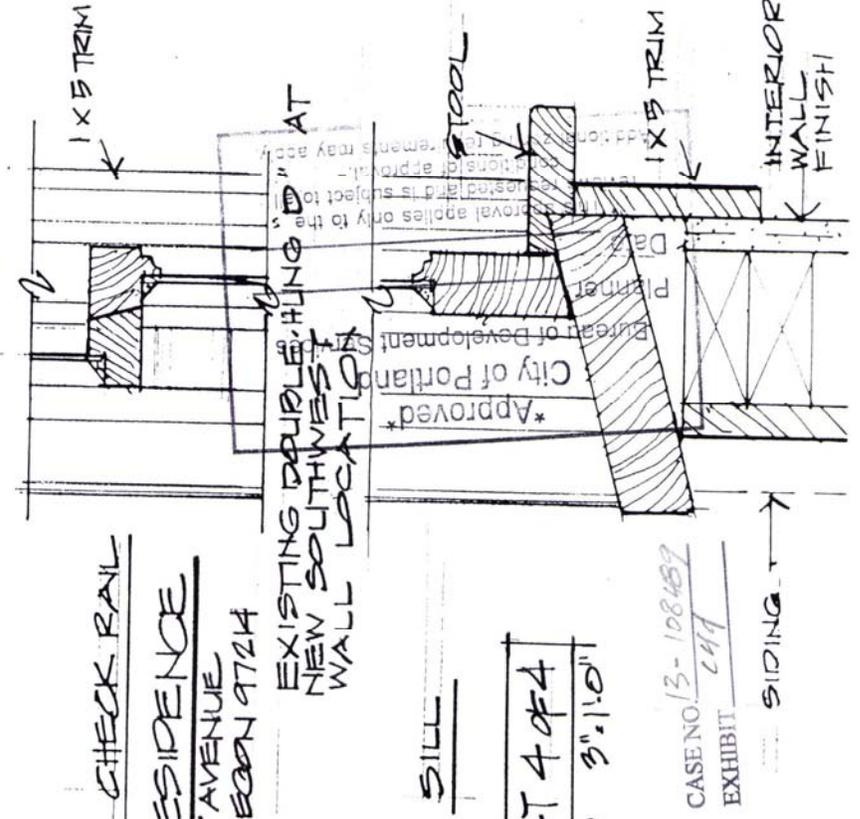
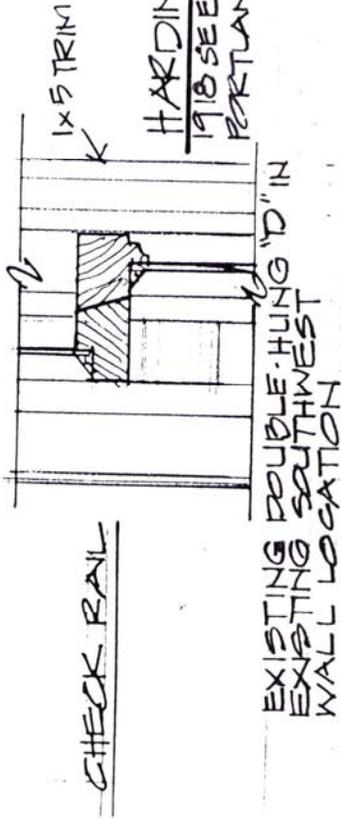
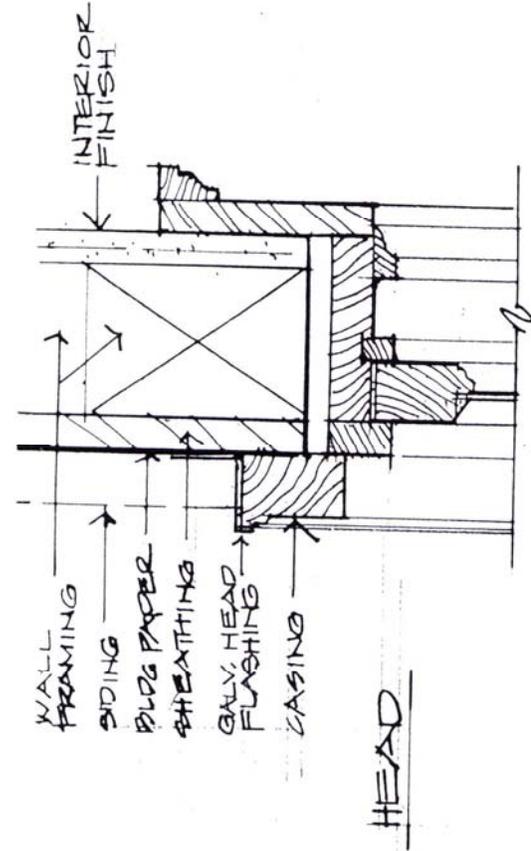
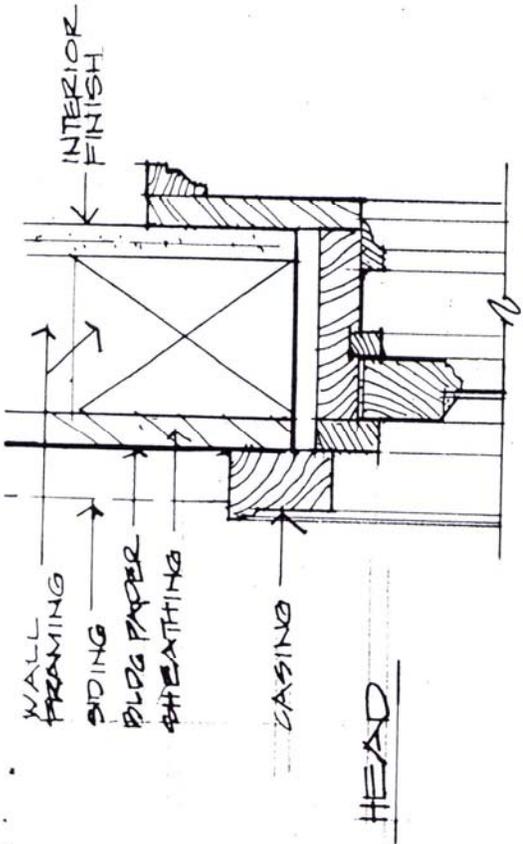
SILL

SHEET 3 of 4
3.13.13 3" x 11.0"

CASE NO. 13-108489
EXHIBIT C4/C

Approved*
City of Portland
Bureau of Development Services
Date: _____
Planter: _____

C4/C



HARDING RESIDENCE
1918 SE LLOYD AVENUE
PORTLAND, OREGON 97214

EXISTING DOUBLE HUNG "D" IN
NEW SOUTHWEST
WALL LOCATION

EXISTING DOUBLE HUNG "D" IN
EXISTING SOUTHWEST
WALL LOCATION

SHEET 4 of 4
3.13.13 3" x 10"

CASE NO. 13-108489
EXHIBIT CH1

CH1

Approved
City of Portland
Bureau of Development
Planner
Date
Approval applies only to the
project and is subject to the
terms and conditions of the
approval.