



City of Portland, Oregon
Bureau of Development Services
Land Use Services

1900 SW 4th Avenue, Suite 5000
Portland, Oregon 97201
503-823-7300
Fax 503-823-5630
TTY 503-823-6868
www.portlandonline.com/bds

Date: March 10, 2011
To: Interested Person
From: Kara Fioravanti, Land Use Services 503.823.5892

NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has approved a proposal in your neighborhood. The reasons for the decision are included in this notice. If you disagree with the decision, you can appeal it and request a public hearing. Information on how to appeal this decision is listed at the end of this notice.

CASE FILE NUMBER: LU 11-110115 HDZ MEIER AND FRANK DEPOT BUILDING, REVISIONS TO PREVIOUSLY APPROVED HISTORIC DESIGN REVIEWS

GENERAL INFORMATION

Applicant: 14th & Everett RPO LLC, Owner
1140 SW 11th Avenue #400 / Portland, OR 97205

Representative: Keith Skille, GBD Architects
1120 NW Couch, Suite 300 / Portland, OR 97209

Site Address: 1417 NW EVERETT STREET

Legal Description: BLOCK 97 LOT 1-8 HISTORIC PROPERTY 15 YR 2001 POTENTIAL
ADDITIONAL TAX, COUCHS ADD

Tax Account No.: R180208950

State ID No.: 1N1E33DA 01900

Quarter Section: 3028

Neighborhood: Pearl District, contact Patricia Gardner at 503-228-3273.

Business District: Pearl District Business Association, contact Adele Nofield at 503-223-0070.

District Coalition: Neighbors West/Northwest, contact Mark Sieber at 503-823-4212.

Plan District: Central City Plan District – River Sub-district

Other Designations: Historic Landmark

Zoning: EXd, Central Employment with Design overlay

Case Type: HDZ, Historic Design Review

Procedure: Type II, an administrative decision with appeal to the Landmarks Commission.

Proposal: The existing building is currently being renovated for new office space. The exterior alterations were first approved by the Portland Landmarks Commission in LU 08-108590 HDZM, AD. Design revisions to that 2008 case file were approved by City staff in LU 09-159668 HDZM. This current 2011 case file considers additional design revisions, which include:

- A larger rooftop mechanical enclosure.
- A slightly taller skylight.

- Revised louver locations and quantities on all elevations. The previously approved louver section and details will not be altered.
- Modifications to South, West and North Ground Level door locations and quantities. The previously approved door sections and details will not be altered.
- A change in window operability (hopper to casement) for smoke evacuation requirements at windows on Levels 3 & 4. The previously approved divided light sections of the windows will not be altered.
- The 3 basement windows on the South Elevation will be raised to meet the sills of the 3 windows above.
- The windows previously approved to be lowered at the North Elevation remain part of this project. However, the lowering may happen in two phases. If phased, the eastern-most windows will be lowered in Phase 2 (timing TBD).
- Deletion of pervious pavers in right-of-way.
- Alterations to right-of-way curb extension profiles, planter locations and sizes.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant criteria are: 33.846.060 G., Central City Fundamental Design Guidelines, and River District Design Guidelines.

ANALYSIS

Site and Vicinity: The 40,000 square-foot site is located in the River District of the Central City Plan District on the block bounded by NW Flanders Street, NW 14th Avenue, NW Everett Street, and NW 15th Avenue. The site is developed with a four-story, reinforced concrete and steel structure, the Meier & Frank Delivery Depot building. The building was constructed in 1927 as the central hub of an off-site delivery system for the Meier & Frank Company's downtown department store.

The building was listed on the National Register of Historic Places in 2001 under criterion "A" for its association with the retail firm Meier & Frank, and under criterion "C" as an outstanding example of modernist industrial design as interpreted by the noted Portland firm of Sutton and Whitney. The building is classically composed, and its rusticated one-story base and stylized three-story pilasters typify the Industrial Modern style. The building's concrete one-story base was formed to simulate stone, and a water table, decorated with dentils, separates the first floor from the upper floors. Unadorned pilasters separate each window bay and each pilaster is topped with an undecorated capital. An unadorned frieze band finishes the top of the building.

The building has remained largely unaltered, but is in a poor state of repair. The concrete is pocked and damaged, revealing the reinforcing steel bar in many locations. The original steel multi-light windows with pivot sash all appear to be intact, but have warped and rusted over time. Almost every window appears to have sustained damage from weather, vandalism and use, and many panes have been broken or are missing. A metal canopy extends across the west half of the first floor at the south elevation, but it has been altered and is in disrepair. Another canopy, which was originally located at the southeast corner, is missing. The original entry door is gone and has been replaced with a steel door and metal panel.

Portland's *Transportation System Plan* classifies NW Everett Street as a Traffic Access Street, Transit Access Street, City Bikeway, and City Walkway. NW 14th Avenue is designated as a Major City Traffic Street, City Bikeway, and Community Corridor. Both NW Flanders and 15th are Local Service Bikeways. The site is within the Northwest Triangle Pedestrian District.

Zoning: The Central Employment (EX) zone allows mixed-uses and is intended for areas in the center of the City that have predominantly industrial type development. The intent of the zone is to allow industrial and commercial uses which need a central location. Residential uses are allowed, but are not intended to predominate or set development standards for other uses in the area.

The Design Overlay [d] zone promotes the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. This is achieved through the creation of design districts and applying the Design Overlay Zone as part of community planning projects, development of design guidelines for each district, and by requiring design review. In addition, design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area.

The Historic Resource Protection overlay zone is comprised of Historic and Conservation Districts, as well as Historic and Conservation Landmarks. The regulations that pertain to these properties protect certain historic resources in the region and preserve significant parts of the region's heritage. Historic preservation beautifies the city, promotes the city's economic health, and helps to preserve and enhance the value of historic properties.

Land Use History: City records indicate that prior land use reviews include the following:

1. LUR 93-010491 CU AD (reference file #93-00492): Conditional Use approval of 36 structured parking spaces and 8 surface short-term surface parking spaces.
2. LUR 00-007322 DZM (reference file #00-00767): Design Review approval of building renovations with modifications to Ground Floor Window and Loading standards. The work proposed was approved, but never started. This review has expired.
3. LU 08-108590 HDZM AD: Type III Historic Design Review approval to redevelop the historic Meier & Frank Delivery Depot Building. The proposal included extensive building renovations: a penthouse addition, the replacement of all of the building's original windows, storefront infill at multiple locations at the ground level, new doorways, lowered sills at the north façade, a new garage opening at the west façade, new glass and steel canopies at the north and south building elevations, and non-standard improvements within the right-of-way. An Adjustment request to reduce the required number of on-site loading spaces from two to one was approved. Modifications to the Ground Floor Window standard and the size of the loading space were also approved.
4. LU 08-109173 PR: Approval of a Central City Parking Review to include parking in the existing warehouse building. The proposal is to convert a portion of the ground level and the entire 2nd level of the existing warehouse building to parking. The proposed parking layout includes approximately 240 parking spaces. Parking entry and exit will be from a new garage door at NW 15th Avenue.
5. LU 08-152355 HDZ/ LU 09-159668 HDZM: The 2008 Type II Historic Design Review was the original submission to review the revisions to the Type III decision (LU 08-108590 HDZM, AD). The 2009 Type II replaced the 2008 case because the 2008 case was about to expire. The 2009 review approved several design revisions (including a substantial redesign of the penthouse) to the previously approved Type III decision.

Note: this current Type II Historic Design Review considers revisions to previous design approvals under LU 08-108590 HDZM, AD and LU 08-152355 HDZ/ LU 09-159668 HDZM.

Agency Review: A "Notice of Proposal in Your Neighborhood" was mailed **February 7, 2011**. The following Bureaus have responded with no issues or concerns: Water Bureau (Exhibit E.2), Site Development, Life Safety, Fire, Transportation, Urban Forestry.

The Bureau of Environmental Services responded with the following comment: Exhibit E-1.

BES Response Summary: *This project is currently being reviewed under the Public Works permitting process under #10-190901-WT and #10-192758-WE. BES understands that the revisions proposed under this Design Review proposal are consistent with the revisions being reviewed under the Public Works permitting process. Based on the understanding that the revisions are consistent, BES has no objections to the alterations requested under this Design Review.*

Sanitary Services

1. *There is an existing 14-inch vitrified clay public combination sewer line located in NW Everett Street. City plumbing records indicate that this sewer line currently serves the sanitary disposal needs of this property (refer to BES As-built #2-1361).*
2. *There is an existing 9-inch vitrified clay public combination sewer line located in NW Flanders Street. City records do not clearly indicate whether sanitary disposal is also directed to this sewer line. However, As-built records indicate there are existing service branches from this combination sewer line available to this site (refer to BES As-built #2-0145).*

Stormwater Management & Water Resources

The stormwater runoff generated from the proposed development must meet the requirements of the City of Portland's Stormwater Management Manual current at the time of building plan review. For all projects, the Stormwater Hierarchy must be addressed. The applicant may contact BES with any questions or for additional information. The current 2008 Stormwater Management Manual (SWMM) can be found at: <http://www.portlandonline.com/bes/> under Publications and then go to Manuals.

1. *There is no public storm-only sewer available to this property.*
2. *There is an existing storm inlet located at the corner of NW Flanders Street and NW 15th Avenue. This storm inlet directs surface stormwater runoff to the 9" vitrified clay public combination sewer line located in NW Flanders Street.*
3. *This project involves renovation and conversion of an existing building. No new/redeveloped impervious area is proposed on this property and it appears the disposal locations are remaining the same.*
4. *This project is currently being reviewed under the Public Works permitting process under #10-190901-WT and #10-192758-WE. BES understands that the revisions proposed under this Design Review proposal are consistent with the revisions being reviewed under the Public Works permitting process. Based on the understanding that the revisions are consistent, BES has no objections to the alterations requested under this Design Review. NOTE: It is important to remember that any proposed improvements within the public right-of-way for this project must be approved through the Public Works permitting process, in addition to coordinating improvements with BDS Design Review.*

Conditions of Approval

BES has no recommended conditions of land use approval.

Additional Information

1. *Refer to LU 08-108590 HDZM and Pre-Application Conference #07-179645 for additional information regarding this project.*

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on February 7, 2011. No written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

ZONING CODE APPROVAL CRITERIA

HISTORIC DESIGN REVIEW (33.846)

33.846.060 Purpose

Historic Design Review ensures the conservation and enhancement of the special characteristics of historic resources.

33.846.060 Historic Design Review Approval Criteria

Requests for historic design review will be approved if the review body finds that the applicant has shown that all of the approval criteria have been met.

Findings: The site is a designated Historic Landmark; therefore, the proposal requires historic design review approval. The relevant approval criteria are listed in 33.846.060 G. 1-10. In addition, because the site is located within the River Sub-district of the Central City Plan District, the relevant approval criteria are the River District Design Guidelines and the Central City Fundamental Design Guidelines.

Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.

G. Approval criteria based on the Standards of the Secretary of the Interior:

- 1. Historic character.**
- 2. Record of its time.**
- 3. Historic changes.**
- 4. Historic features.**
- 5. Historic materials.**
- 7. Differentiate new from old.**
- 8. Architectural compatibility.**
- 9. Preserve the form and integrity of historic resources.**
- 10. Hierarchy of compatibility.**

Findings: The minimal nature of the alterations proposed at the ground level relate well to the building's simple form and detailing and fit within the building's existing framework, allowing the resource to maintain its historic composition. The proposed section of the south basement windows maintains a strong reading of the consistent first floor window sill line, in order to convey an understanding of the evolution of the original window patterning. The change in operability of some windows (hopper to casement) maintains hoppers as the majority of operable windows. With regard to the ground level being compatible with its surroundings, the floor plan still includes ground level active uses at all 4 corners, adequate entries for a full block building in Portland's Central City, and diminished ground level mechanical, parking and loading. Where the historic window sills are lowest, the ground floor program includes an adequate amount of active uses for this building to finally relate to and respect the pedestrian realm of the district it is within. The right-of-way revisions are supported by both Portland Transportation and the Bureau of Environmental Services; the proposed right-of-way work maintains River District street standards and is an improvement to the district with regard to plantings and curb extensions. Revisions to the rooftop mechanical enclosure are still proportionally appropriate for this building.

The proposed revisions will not destroy historic materials that characterize the property. The proposal works with the building's original fabric and patterning. Further, the proposed alterations will be easily differentiated from original building elements due to their contemporary materials and construction.

Additionally, the proposed revisions will not alter or negatively impact the historic warehouse character of the resource. The current revisions minimally impact the building's existing character and respect existing openings; they are sensitive to the building's original industrial character, allowing the resource to remain a physical record of its time, place, and use.

In the previous historic design review application plans to clean and repair the building's concrete skin, to replace the building's original windows, and to replace the metal awning at the south elevation were all approved, and thus considered to meet these guidelines. The current proposal is limited to design revisions at the rooftop mechanical enclosure and minor changes to the plans for building's windows and ground level elements.

Therefore, these criteria are met.

River District Design Guidelines and Central City Fundamental Design Guidelines

The River District is planned to become a place that is remarkable within the region. The area is intended to grow rich with special and diverse qualities that are, or will become characteristic of Portland. Further, the River District will accommodate a significant portion of the region's population growth. The plan calls for the creation of a new community of dense neighborhoods, housing a resident population of over 15,000 people, and providing jobs, services, and recreation to this population and others. This area is intended to emphasize the joy of the river, connections to it, and create a sense of community. The goals frame the urban design direction for Central City and River District development.

The Central City Fundamental Design Guidelines and the River District Design Guidelines focus on four general categories. **(A) Portland Personality**, addresses design issues and elements that reinforce and enhance Portland's character. **(B) Pedestrian Emphasis**, addresses design issues and elements that contribute to a successful pedestrian environment. **(C) Project Design**, addresses specific building characteristics and their relationships to the public environment. **(D) Special Areas**, provides design guidelines for the four special areas of the Central City.

River District Design Goals

1. Extend the river into the community to develop a functional and symbolic relationship with the Willamette River.
2. Create a community of distinct neighborhoods that accommodates a significant part of the region's residential growth.
3. Enhance the District's character and livability by fostering attractive design and activities that give comfort, convenience, safety and pleasure to all its residents and visitors.
4. Strengthen connections within River District, and to adjacent areas.

Central City Plan Design Goals

1. Encourage urban design excellence in the Central City;
2. Integrate urban design and preservation of our heritage into the development process;
3. Enhance the character of the Central City's districts;
4. Promote the development of diversity and areas of special character within the Central City;
5. Establish an urban design relationship between the Central City's districts and the Central City as a whole;
6. Provide for a pleasant, rich and diverse pedestrian experience for pedestrians;
7. Provide for the humanization of the Central City through promotion of the arts;
8. Assist in creating a 24-hour Central City which is safe, humane and prosperous;
9. Ensure that new development is at a human scale and that it relates to the scale and desired character of its setting and the Central City as a whole.

Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.

A6. Reuse/Rehabilitate/Restore Buildings.

Findings: The proposed alterations will allow for the adaptive reuse of this historic building. *Therefore, this guideline is met.*

A7. Establish and Maintain a Sense of Urban Enclosure.

A8. Contribute to a Vibrant Streetscape.

B1. Reinforce and Enhance the Pedestrian System.

B1-1. Provide Human Scale to Buildings along Walkways.

B1-2. Orient Building Entries to Facilitate Transit Connections.

Findings for A7, A8, B1, B1-1, and B1-2: The existing four-story building creates a

strong edge and provides enclosure at the pedestrian level. The glazed storefront systems will add a more human scale to the sidewalk environment and will allow for visual connections between the building's interior spaces and the pedestrian environment. Moreover, the new ground floor office and retail uses will further activate the streetscape along this block.

The previous application included extensive improvements to the right-of way surrounding the site – those improvements have been scaled down, but the current proposal for the right-of-way will still greatly enhance the pedestrian environment. The plans for the ground level will reinforce the pedestrian-orientation of the building. The primary building entry will be maintained along NW Everett Street, a Transit Access Street, but is now moved to one of the district's prominent corners (NW 14th and Everett).

Therefore, these guidelines are met.

C2. Promote Quality and Permanence in Development.

C3. Respect Architectural Integrity.

C5. Design for Coherency.

C11. Integrate Roofs and Use Rooftops.

Findings for C2, C3, C5 and C11: The proposal employs design and material choices that are supportive of the quality of this historic structure. Furthermore, the exterior alterations fit within the building's original framework and patterning. For example, the proposed section of the south basement windows maintains a strong reading of the consistent first floor window sill line, in order to convey an understanding of the evolution of the original window patterning. The change in operability of some windows (hopper to casement) maintains hoppers as the majority of operable windows. Revisions to the rooftop mechanical enclosure are still proportionally appropriate for this building.

Therefore, these guidelines are met.

C7. Design Corners that Build Active Intersections.

C8. Differentiate the Sidewalk-Level of Buildings.

C9. Develop Flexible Sidewalk-Level Spaces.

Findings for C7, C8, and C9: The current application supports active intersections at all four corners. The ground level spaces proposed at the corners can accommodate a variety of active uses. In addition, the large expanses of glazing along Everett will emphasize the connections between the building's interior spaces and sidewalk. The building's rusticated base and water table currently separate the first floor from the upper floors. However, the addition of new canopies (previously approved) and glass storefront systems at the ground floor will further define the sidewalk level of the building from its upper stories. *Therefore, these guidelines are met.*

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

The approval criteria are met.

ADMINISTRATIVE DECISION

Approval of Historic Design Review for design revisions to previously approved Historic Design Reviews (LU 08-108590 HDZM, AD and LU 09-159668 HDZM) that allowed exterior alterations to the existing Historic Landmark. The approved additional design revisions include:

- A larger rooftop mechanical enclosure.
- Revised louver locations and quantities on all elevations. The previously approved louver section and details will not be altered.
- Modifications to South, West and North Ground Level door locations and quantities. The previously approved door sections and details will not be altered.
- A change in window operability (hopper to casement) for smoke evacuation requirements at windows on Levels 3 & 4. The previously approved divided light sections of the windows will not be altered.
- The 3 basement windows on the South Elevation will be raised to meet the sills of the 3 windows above.
- The windows previously approved to be lowered at the North Elevation remain part of this project. However, the lowering may happen in two phases. If phased, the eastern-most windows will be lowered in Phase 2 (timing TBD).
- Deletion of pervious pavers in right-of-way.
- Alterations to right-of-way curb extension profiles, planter locations and sizes.

Approval per the approved plans, Exhibits C-1 through C-8, signed and dated March 8, 2011, subject to the following condition:

- A. As part of the building permit application submittal, each of the 4 required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C.1-C.8. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 11-110115 HDZ. No field changes allowed."

Staff Planner: Kara Fioravanti

Decision rendered by:  **on March 8, 2011**

By authority of the Director of the Bureau of Development Services

Decision mailed: March 10, 2011

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on February 2, 2011, and was determined to be complete on **February 7, 2011**.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on February 2, 2011.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period. Unless further extended by the applicant, **the 120 days will expire on: June 8, 2011.**

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed to the Landmarks Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on March 24, 2011** at 1900 SW Fourth Ave. Appeals can be filed Tuesday through Friday on the first floor of the Development Services Center until 3 p.m. After 3 p.m. and Mondays, appeals must be submitted to the receptionist at the front desk on the fifth floor. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization’s boundaries. The vote to appeal must be in accordance with the organization’s bylaws. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Landmarks Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 550 Capitol St. NE, Suite 235, Salem, Oregon 97301, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Landmarks Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed,* The final decision may be recorded on or after **March 25, 2011 – (the day following the last day to appeal).**

- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- By Mail: Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- In Person: Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034
For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun. Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

EXHIBITS

NOT ATTACHED UNLESS INDICATED

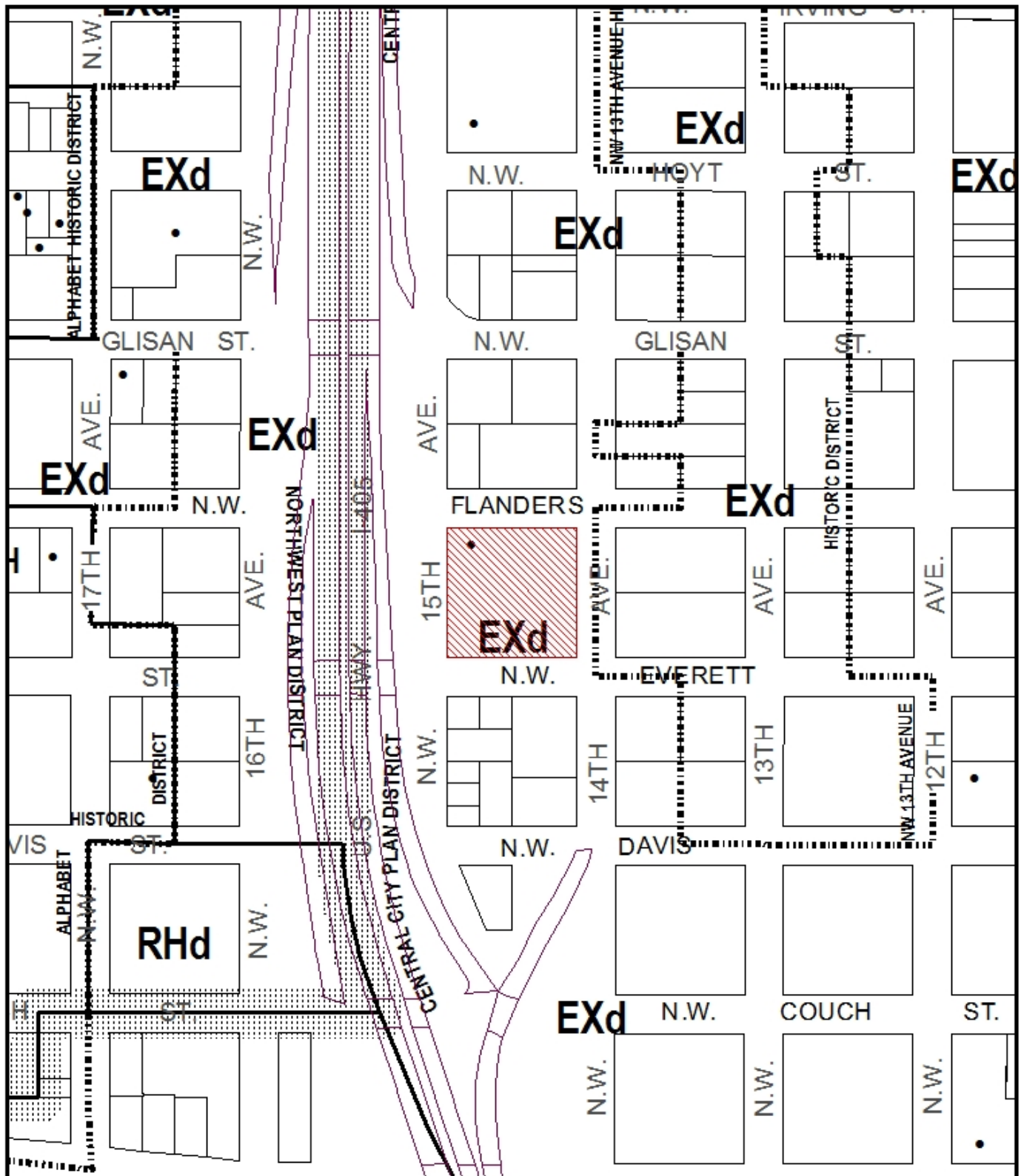
- A. Applicant's Submittals
 - 1. Original request for consideration of design revisions
 - 2. Drawings of previously approved elevations from 2008 and 2009 land use reviews
- B. Zoning Map (attached)
- C. Plans/Drawings:
 - 1. North Elevation
 - 2. Alternate North Elevation
 - 3. East Elevation
 - 4. West Elevation
 - 5. South Elevation (attached)
 - 6. South and partial south Elevation
 - 7. Sections and details at South elevation new basement window extensions (attached)
 - 8. Site Plan (attached)
- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Responses:
 - 1. Bureau of Environmental Services
 - 2. Water Bureau
- F. Correspondence:

None received

G. Other:

1. Original LU Application
2. Site History Research

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).



ZONING



Site



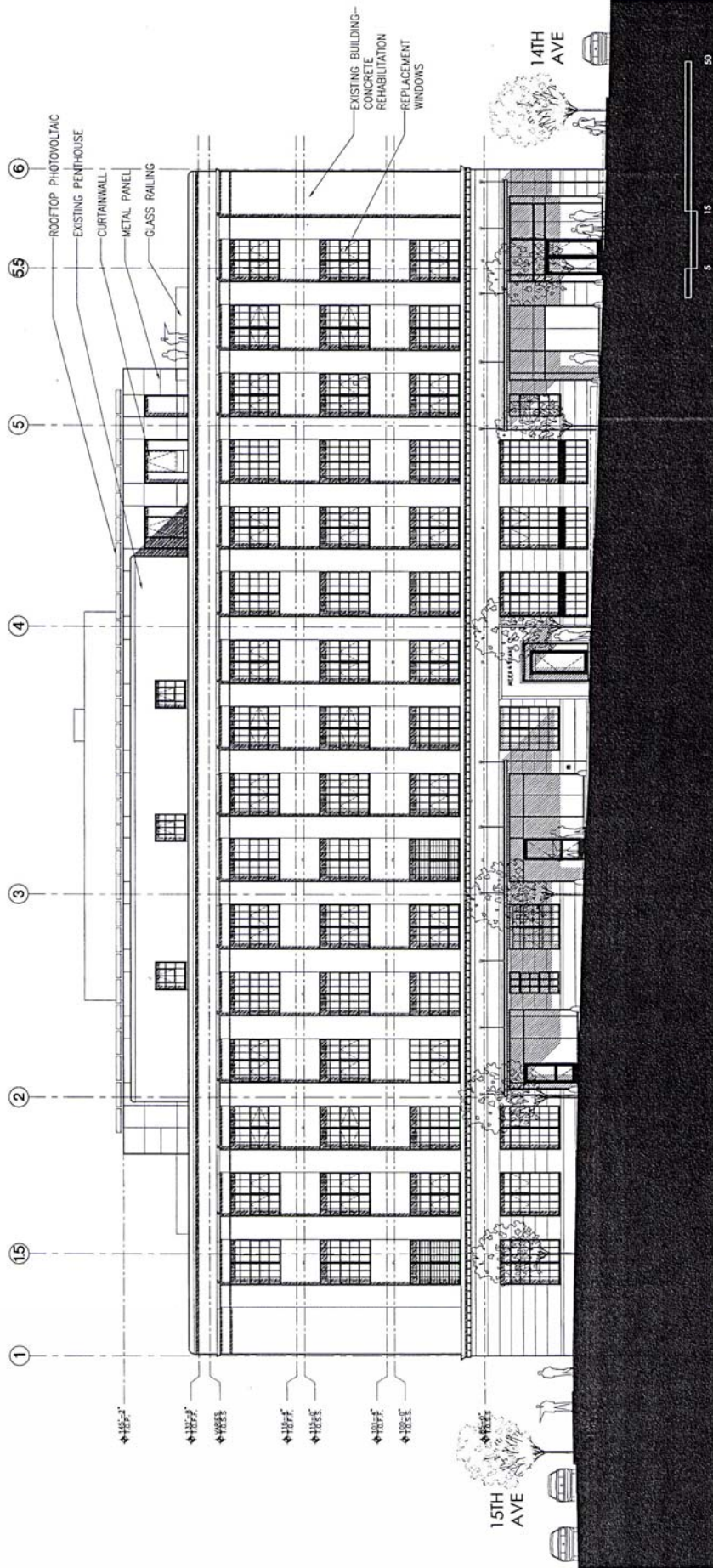
Historic Landmark



NORTH

This site lies within the:
CENTRAL CITY PLAN DISTRICT

File No.	LU 11-110115 HDZ
1/4 Section	3028
Scale	1 inch = 200 feet
State_Id	1N1E33DA 1900
Exhibit	B (Feb 03,2011)



Approved*
City of Portland
Development Services

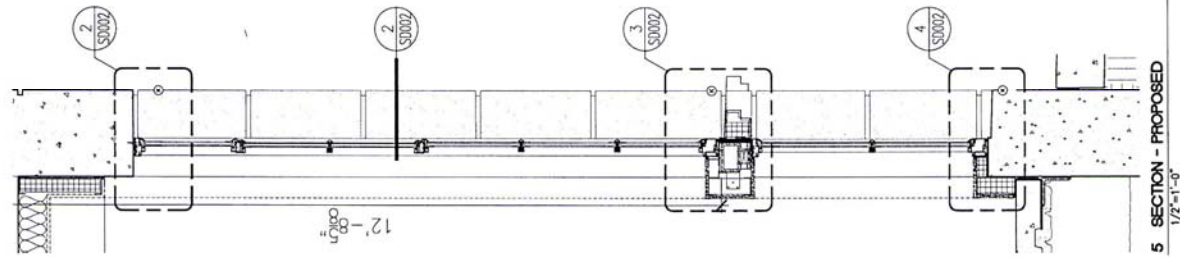
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project to all

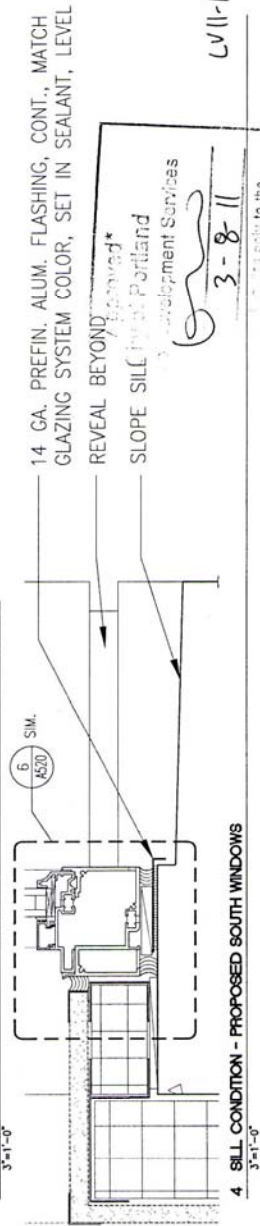
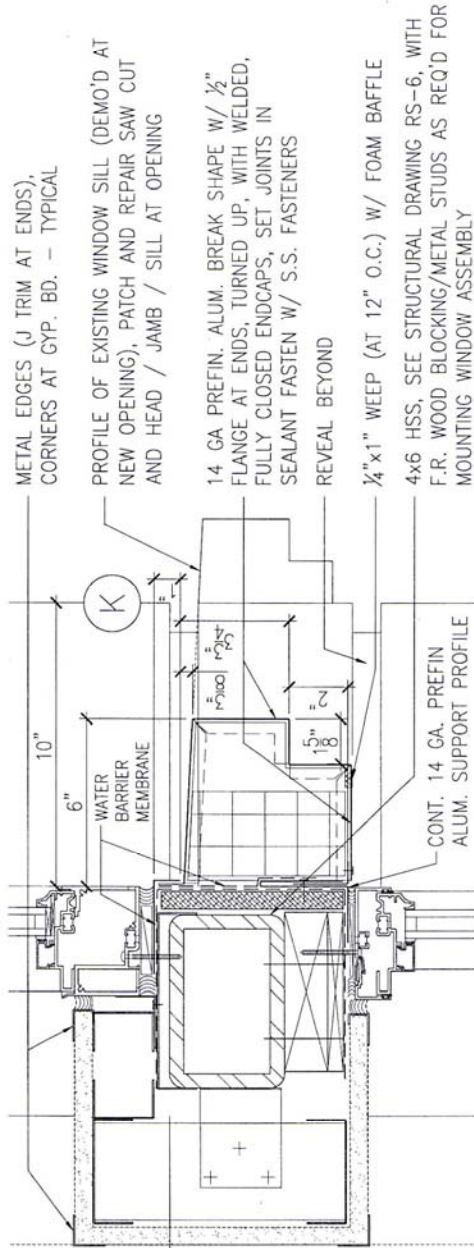
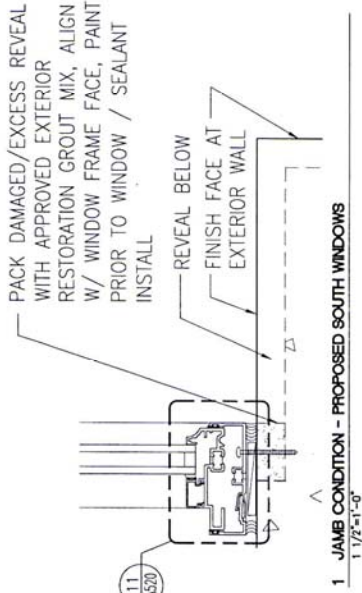
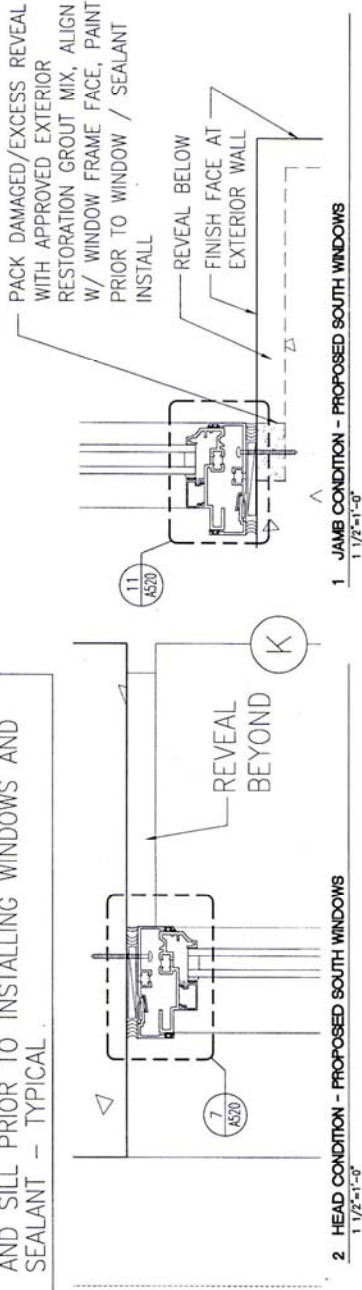
MEIER & FRANK DELIVERY DEPOT: An adaptive reuse project
CEDING EDLEN Development / GBD ARCHITECTS INC. / Skanska USA Building Inc.



PROPOSED SOUTH ELEVATION
LU 11-110115 HDZ - FEBRUARY 2, 2011
C-5



NOTE: PRIME AND PAINT WINDOW HEAD, JAMB, AND SILL PRIOR TO INSTALLING WINDOWS AND SEALANT - TYPICAL.



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REGISTERED ARCHITECT
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PORTLAND, OR 97209

GREEN BUILDING DEVELOPMENT
1140 NW 11TH AVENUE
Portland, OR 97205

SUPPLEMENTAL
DATE
2011.01.26
PROJECT NUMBER
20071800

SHEET TITLE
DETAILS AT SOUTH
WINDOW ELEVATION
SCALE
AS NOTED

SD002
C.7

CV11-110115

3-8-11
Portland Development Services

subject to the
city of
Portland
rules may apply

Approved
 City of Portland
 Bureau of Development Services
 Planner [Signature]
 Date 3-8-11

* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

