



City of Portland, Oregon
Bureau of Development Services
Land Use Services

1900 SW 4th Avenue, Suite 5000
Portland, Oregon 97201
503-823-7300
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www.portlandonline.com/bds

Date: April 5, 2011
To: Interested Person
From: Chris Caruso, Land Use Services
503-823-5747 / Christine.Caruso@portlandoregon.gov

NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has approved a proposal in your neighborhood. The reasons for the decision are included in this notice. If you disagree with the decision, you can appeal it and request a public hearing. Information on how to appeal this decision is listed at the end of this notice.

CASE FILE NUMBER: LU 11-103750 HDZ **GROVE HOTEL RENOVATION**

GENERAL INFORMATION

Applicant: Matthew Bray
GBD Architects
1120 NW Couch St, Suite 300
Portland, OR 97209

Owner: David Gold
Grove Hostel Properties, LLC
412 NW Couch St., Suite 103
Portland, OR 97209

Site Address: 401-439 W BURNSIDE ST

Legal Description: EXC SLY 20' IN BURNSIDE ST LOT 1&2 BLOCK 32 LOT 4 BLOCK 32, COUCHS ADD

Tax Account No.: R180202490

State ID No.: 1N1E34CA 11000

Quarter Section: 3029

Neighborhood: Old Town-Chinatown, contact Paul Verhoeven at 503-222-6027.

Business District: Old Town-Chinatown Business Association, contact Dorian Yee at 503-224-7066.

District Coalition: Neighbors West/Northwest, contact Mark Sieber at 503-823-4212.

Plan District: Central City - River District

Other Designations: New Chinatown/Japantown Historic District
Broadway Unique Sign District
New Chinatown/Japantown Unique Sign District

Zoning: CXd, Central Commercial with design overlay

Case Type: HDZ, Historic Design Review

Procedure: Type II, an administrative decision with appeal to the Landmarks Commission.

Proposal:

The applicant seeks design review approval for exterior alterations to the Grove Hotel building in the River District subdistrict and the New Chinatown/Japantown Historic District of the Central City Plan District. The Grove Hotel was designed by architect David C. Lewis, was built in 1907 in the Mediterranean style, and is a contributing resource in the New Chinatown/Japantown Historic District. The original building was altered in the 1930's by the removal of the front 20 feet to make room for widening West Burnside Street. The proposal is to convert the current single-room occupancy hotel use into a youth hostel. The proposed exterior renovations include the following:

- New 6 foot deep, 28 foot long, 8 inch thick steel channel and wood slat canopy across 2 structural bays held to the building with 4 metal rod tiebacks with underside recessed lighting;
- New recessed building entries with overhead soffits and recessed lighting;
- New and refurbished painted wood and glass storefronts and transoms along entire ground floor of NW 4th, W Burnside, and NW 5th;
- New metal grille coverings over vents in façade bases;
- New security gate at north end of east façade;
- Twelve new rooftop skylights;
- New rooftop vents and equipment;
- Repair and repainting of existing concrete and plaster wall surfaces; and
- Replacement of missing street trees.

Historic design review is required for exterior alterations to buildings in historic districts.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The relevant criteria are:

- 33.846 Historic Reviews
- Central City Fundamental Design Guidelines
- River District Design Guidelines

ANALYSIS

Site and Vicinity: The 11,000 square-foot site is located in the New Chinatown/Japantown Historic District and the River District Sub-District of the Central City Plan District. The site is developed with a 21,400 square-foot building, the Grove Hotel. The building was constructed in 1907 and is a contributing structure in the New Chinatown/Japantown Historic District. The building was extensively altered in 1930 when 20 feet were sheared off the front façade to accommodate the widening of Burnside Street. The architects Claussen & Claussen were hired to renovate the building at this time. The building is considered to be contributing to the district during the secondary period of significance because of its association with Portland's Asian community and the architectural firm of Claussen & Claussen.

The site has frontage on West Burnside Street, NW 4th Avenue, and NW 5th Avenue. Portland's Transportation System Plan classifies West Burnside Street as a Major City Traffic Street, Major Transit Priority Street, City Walkway, and Local Service Bikeway. NW 4th Avenue is classified as a Traffic Access Street, City Walkway, and Local Service Bikeway. NW 5th Avenue is classified as a Regional Transitway/ Major Transit Priority Street, Central City Transit/ Pedestrian Street, and a Local Service Bikeway. The site is within the North of Burnside Pedestrian District.

Zoning: The Central Commercial (CX) zone is intended to provide for commercial development within Portland's most urban and intense areas. A broad range of uses is allowed to reflect Portland's role as a commercial, cultural and governmental center. Development is intended to be very intense with high building coverage, large buildings, and buildings placed close together. Development is intended to be pedestrian-oriented with a strong emphasis on a safe and attractive streetscape.

The Historic Resource Protection overlay is comprised of Historic and Conservation Districts, as well as Historic and Conservation Landmarks and protects certain historic resources in the region and preserves significant parts of the region's heritage. The regulations implement Portland's Comprehensive Plan policies that address historic preservation. These policies recognize the role historic resources have in promoting the education and enjoyment of those living in and visiting the region. The regulations foster pride among the region's citizens in their city and its heritage. Historic preservation beautifies the city, promotes the city's economic health, and helps to preserve and enhance the value of historic properties.

The Central City Plan District implements the Central City Plan and other plans applicable to the Central City area. These other plans include the Downtown Plan, the River District Plan, the University District Plan, and the Central City Transportation management Plan. The Central City plan district implements portions of these plans by adding code provisions which address special circumstances existing in the Central City area. The site is within the River District Subdistrict of this plan district.

Land Use History: City records indicate that prior land use reviews include the following:

- LU 08-138794 HDZ, Approval of storefront remodel

Agency Review: A "Notice of Proposal in Your Neighborhood" was mailed **March 8, 2011**. The following Bureaus responded with no issues or concerns:

- Bureau of Transportation Engineering (Exhibit E-1)
- Water Bureau (Exhibit E-2)
- Life Safety Review Section of BDS (Exhibit E-3)
- Fire Bureau (Exhibit E-4)
- Bureau of Environmental Services (Exhibit E-5)
- Site Development Section of BDS
- Bureau of Parks-Forestry Division

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on March 8, 2011. No written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

ZONING CODE APPROVAL CRITERIA

Chapter 33.825 Design Review

Section 33.825.010 Purpose of Design Review

Design review ensures that development conserves and enhances the recognized special design values of a site or area. Design review is used to ensure the conservation, enhancement, and continued vitality of the identified scenic, architectural, and cultural values of each design district or area. Design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area. Design review is also used in certain cases to review public and private projects to ensure that they are of a high design quality.

Section 33.825.055 Design Review Approval Criteria

A design review application will be approved if the review body finds the applicant to have shown that the proposal complies with the design guidelines for the area.

Findings: The site is designated with design overlay zoning (d), therefore the proposal requires Design Review approval. Because of the site's location, the applicable design guidelines are the Central City Fundamental Design Guidelines and River District Guidelines.

River District Design Guidelines and Central City Fundamental Design Guidelines

The River District is a remarkable place within the region. The area is rich with special and diverse qualities that are characteristic of Portland. Further, the River District accommodates a

significant portion of the region's population growth. This area emphasizes the joy of the river, connections to it, and creates a strong sense of community. The goals frame the urban design direction for Central City and River District development.

The Central City Fundamental Design Guidelines and the River District Design Guidelines focus on four general categories. **(A) Portland Personality**, addresses design issues and elements that reinforce and enhance Portland's character. **(B) Pedestrian Emphasis**, addresses design issues and elements that contribute to a successful pedestrian environment. **(C) Project Design**, addresses specific building characteristics and their relationships to the public environment. **(D) Special Areas**, provides design guidelines for the four special areas of the Central City.

River District Design Goals

1. Extend the river into the community to develop a functional and symbolic relationship with the Willamette River.
2. Create a community of distinct neighborhoods that accommodates a significant part of the region's residential growth.
3. Enhance the District's character and livability by fostering attractive design and activities that give comfort, convenience, safety and pleasure to all its residents and visitors.
4. Strengthen connections within River District, and to adjacent areas.

Central City Plan Design Goals

1. Encourage urban design excellence in the Central City;
2. Integrate urban design and preservation of our heritage into the development process;
3. Enhance the character of the Central City's districts;
4. Promote the development of diversity and areas of special character within the Central City;
5. Establish an urban design relationship between the Central City's districts and the Central City as a whole;
6. Provide for a pleasant, rich and diverse pedestrian experience for pedestrians;
7. Provide for the humanization of the Central City through promotion of the arts;
8. Assist in creating a 24-hour Central City which is safe, humane and prosperous;
9. Ensure that new development is at a human scale and that it relates to the scale and desired character of its setting and the Central City as a whole.

Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.

A4. Use Unifying Elements. Integrate unifying elements and/or develop new features that help unify and connect individual buildings and different areas.

A5. Enhance, Embellish, and Identify Areas. Enhance an area by reflecting the local character within the right-of-way. Embellish an area by integrating elements in new development that build on the area's character. Identify an area's special features or qualities by integrating them into new development.

A5-1. Reinforce Distinct Areas. Enhance the qualities that make each area distinctive within the River District, using the following "Area Design Guidelines".

A5-1-6. Reinforce the Identity of Chinatown.

Findings for A4, A5, A5-1 & A5-1-6: The proposal will reinforce the pedestrian-oriented, open, storefront character of the Central City and will enhance the historic nature of the Chinatown district by creating a number of new retail outlets along W. Burnside and NW 4th Avenue. The storefront remodel will increase visual connections between the interior of the building and the public right-of-way by reestablishing the pattern of large glazed storefront and transom openings along the entire ground floor of the building. Moreover, the existing painted tile and brick at the base of these storefronts will be replaced with detailed wood and metal grille panels, introducing a more consistent treatment around the building. The multi-lite transoms, articulated wood base panels, and new wood and steel canopy are all elements seen on buildings

throughout the area. *Therefore, these guidelines are met.*

A6. Reuse/Rehabilitate/Restore Buildings. Where practical, reuse, rehabilitate, and restore buildings and/or building elements.

Findings: The existing building and projecting neon sign will remain and a portion of the ground level storefront system will be remodeled, allowing for new retail uses at street level and a youth hostel on the upper floors. *Therefore, this guideline is met.*

A7. Establish and Maintain a Sense of Urban Enclosure. Define public rights-of-way by creating and maintaining a sense of urban enclosure.

A8. Contribute to a Vibrant Streetscape. Integrate building setbacks with adjacent sidewalks to increase the space for potential public use. Develop visual and physical connections into buildings' active interior spaces from adjacent sidewalks. Use architectural elements such as atriums, grand entries and large ground-level windows to reveal important interior spaces and activities.

B1. Reinforce and Enhance the Pedestrian System. Maintain a convenient access route for pedestrian travel where a public right-of-way exists or has existed. Develop and define the different zones of a sidewalk: building frontage zone, street furniture zone, movement zone, and the curb. Develop pedestrian access routes to supplement the public right-of-way system through superblocks or other large blocks.

B1-1. Provide Human Scale to Buildings along Walkways. Provide human scale and interest to buildings along sidewalks and walkways.

B2. Protect the Pedestrian. Protect the pedestrian environment from vehicular movement. Develop integrated identification, sign, and sidewalk-oriented night-lighting systems that offer safety, interest, and diversity to the pedestrian. Incorporate building equipment, mechanical exhaust routing systems, and/or service areas in a manner that does not detract from the pedestrian environment.

B6. Develop Weather Protection. Develop integrated weather protection systems at the sidewalk-level of buildings to mitigate the effects of rain, wind, glare, shadow, reflection, and sunlight on the pedestrian environment.

Findings for A7, A8, B1, B1-1, B2 & B6: The existing three-story building wall, built to the lot line, as well as the street lights that line this block, create a sense of urban enclosure along the pedestrian system. The proposed storefront remodel will further define, and add to a vibrant streetscape along this block by creating a number of new retail spaces on the ground floor that open directly onto the street and by installing new street trees to create a green edge at the curb. The new glazed storefront windows will also increase the visual connections into the building's active interior spaces from the sidewalk which in turn will contribute to a safer, more human-scaled pedestrian environment.

Mechanical exhaust equipment will be located on the roof and will not have an impact on the pedestrian environment due to its minimum 25 foot setback from the eastern lot line (see Condition of Approval B). Intake grilles will be located in the building base and screened behind decorative grilles so they will not visually detract from the pedestrian experience along W. Burnside. Also, the building will have no vehicular access so there will be no conflicts between pedestrians and vehicles. All the doorways are recessed, providing weather protection for pedestrians entering and exiting the building, and a new wood and steel canopy will be installed above the main hostel lobby entry to provide a significant amount of weather protection for customers and passersby. *Therefore, these guidelines are met.*

C12. Integrate Exterior Lighting. Integrate exterior lighting and its staging or structural components with the building's overall design concept. Use exterior lighting to highlight the building's architecture, being sensitive to its impacts on the skyline at night.

Findings: The proposed light fixtures, which are recessed into entry soffits and into the canopy, are of modest size and simple design and do not detract from the building's architecture. In addition, the proposed lighting will be directed down to the sidewalk, creating a safer sidewalk environment during evening hours. *Therefore, these guidelines are met.*

B7. Integrate Barrier-Free Design. Integrate access systems for all people with the building's overall design concept.

Findings: The building's pedestrian entrances are at grade and accessible, and will meet the Americans With Disabilities Act (ADA). *Therefore, this guideline is met.*

C2. Promote Quality and Permanence in Development. Use design principles and building materials that promote quality and permanence.

C3. Respect Architectural Integrity. Respect the original character of an existing building when modifying its exterior. Develop vertical and horizontal additions that are compatible with the existing building, to enhance the overall proposal's architectural integrity.

C4. Complement the Context of Existing Buildings. Complement the context of existing buildings by using and adding to the local design vocabulary.

C5. Design for Coherency. Integrate the different building and design elements including, but not limited to, construction materials, roofs, entrances, as well as window, door, sign, and lighting systems, to achieve a coherent composition.

C8. Differentiate the Sidewalk-Level of Buildings. Differentiate the sidewalk-level of the building from the middle and top by using elements including, but not limited to, different exterior materials, awnings, signs, and large windows.

Findings: The proposal utilizes design principles and building materials that will re-establish a coherent design along the building's ground level façade, and will promote the quality and permanence of the existing building. The alterations work within the traditional storefront system, and the proposed materials consist of long lasting, high-quality products, including glass, wood and metal. In addition, the proposal will introduce a consistent base height to these storefronts and a new wood and steel canopy. This, along with the restoration of the storefront glazing and transom windows, will complement the historic storefront character of buildings within the area. Furthermore, the proposed alterations will help define the sidewalk level of the building from its upper stories. *Therefore, these guidelines are met.*

C10. Integrate Encroachments. Size and place encroachments in the public right-of-way to visually and physically enhance the pedestrian environment. Locate permitted skybridges toward the middle of the block, and where they will be physically unobtrusive. Design skybridges to be visually level and transparent.

Findings: The new canopy which projects over the public sidewalk is located just above the transom band, allowing for the free movement of people underneath while enhancing the pedestrian environment by providing weather protection. The canopy is slim in profile and the wood ceiling matches wood soffits on the building, creating a visually cohesive design element in the public right-of-way. *Therefore, this guideline is met.*

C11. Integrate Roofs and Use Rooftops. Integrate roof function, shape, surface materials, and colors with the building's overall design concept. Size and place rooftop mechanical equipment, penthouses, other components, and related screening elements to enhance views of the Central City's skyline, as well as views from other buildings or vantage points. Develop rooftop terraces, gardens, and associated landscaped areas to be effective stormwater management tools.

Findings: Per Condition of Approval B, rooftop equipment and associated ductwork will be set back from the eastern lot line facing NW 4th Avenue a minimum of 25 feet. The

equipment will not be visible from W. Burnside Street. The roof will also be used for internal lighting with the installation of twelve new skylights on top of this portion of the building. No existing views of the City skyline will be adversely affected by the skylights or equipment as this portion of the building is only one story tall and many other building around it are taller. *Therefore, this guideline is met.*

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

The design review process exists to promote the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. The Grove Hotel renovations will enhance both the existing building and the neighborhood by creating an active ground level of quality materials. The proposal meets the applicable design guidelines and therefore warrants approval.

ADMINISTRATIVE DECISION

Historic Design Review approval for exterior alterations to the Grove Hotel building in the River District subdistrict and the New Chinatown/Japantown Historic District of the Cental City Plan District. The proposed exterior renovations include the following:

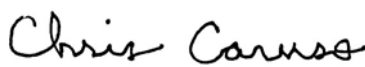
- A 6 foot deep, 28 foot long, 8 inch thick steel channel and wood slat canopy across 2 structural bays held to the building with 4 metal rod tiebacks with underside recessed lighting;
- Recessed building entries with overhead soffits and recessed lighting;
- New and repaired, painted wood and glass storefronts and transoms along entire ground floor of NW 4th, W Burnside, and NW 5th;
- Metal grille coverings over vents in façade bases;
- Security gate at north end of east façade;
- Twelve rooftop skylights;
- Rooftop vents and equipment;
- Repair and repainting of existing concrete and plaster wall surfaces; and
- Replacement of missing street trees.

Approved per the approved site plans, Exhibits C-1 through C-20 signed and dated April 1, 2011, subject to the following conditions (A-B):

- A. As part of the building permit application submittal, each of the 4 required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C.1-C.20. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 11-103750 HDZ. No field changes allowed."
- B. Rooftop equipment and ductwork will be set back from the NW 4th Avenue lot line a minimum of 25 feet.

Staff Planner: Chris Caruso

Decision rendered by:



on April 1, 2011.

By authority of the Director of the Bureau of Development Services

Decision mailed: April 5, 2011

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on January 14, 2011, and was determined to be complete on **February 28, 2011**.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on January 14, 2011.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period. Unless further extended by the applicant, **the 120 days will expire on: June 29, 2011**.

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed to the Landmarks Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on April 19, 2011** at 1900 SW Fourth Ave. Appeals can be filed Tuesday through Friday on the first floor of the Development Services Center until 3 p.m. After 3 p.m. and Mondays, appeals must be submitted to the receptionist at the front desk on the fifth floor. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization’s boundaries. The vote to appeal must be in accordance with the organization’s bylaws. Assistance in filing the appeal is available from BDS in the Development Services Center. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all

information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Landmarks Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 550 Capitol St. NE, Suite 235, Salem, Oregon 97301, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Landmarks Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed,* The final decision may be recorded on or after **April 20, 2011 – (the day following the last day to appeal).**
- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- By Mail: Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- In Person: Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034

For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Zone Change and Comprehensive Plan Map Amendment approvals do not expire.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and

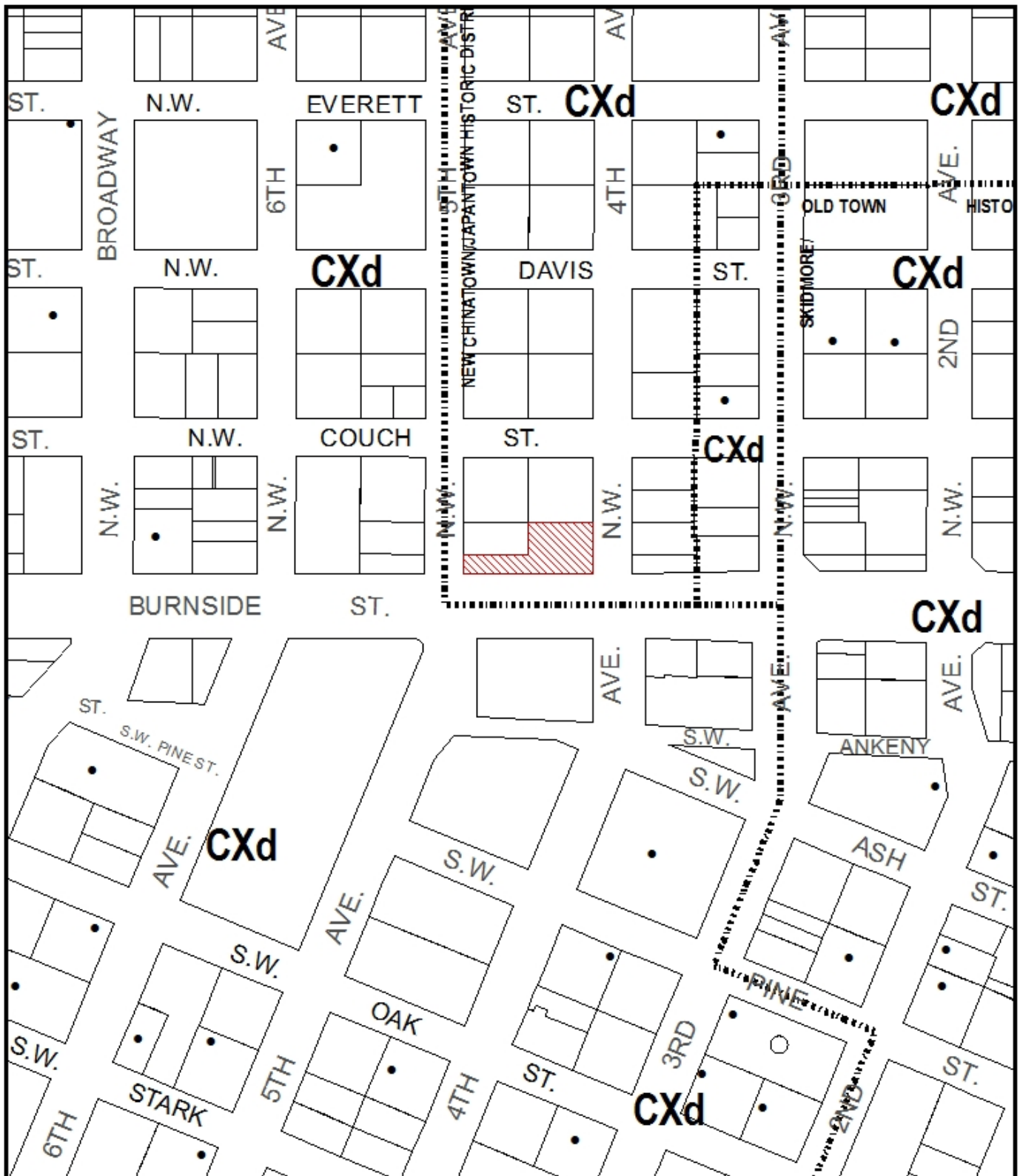
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

EXHIBITS

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Information
 - 1. Narrative
 - 2. Additional Information
- B. Zoning Map (attached)
- C. Plans/Drawings:
 - 1. Site Plan (attached)
 - 2. Vicinity Plan
 - 3. Level 2 Plan
 - 4. Roof Plan
 - 5. South Elevation (attached)
 - 6. East and West Elevations (attached)
 - 7. Sections
 - 8. Colored Elevations
 - 9. Enlarged Elevations and Sections
 - 10. Details
 - 11. Details
 - 12. Details
 - 13. Canopy Plans
 - 14. Canopy Details
 - 15. Canopy Details
 - 16. Renderings
 - 17. Existing Roof Photos
 - 18. Exterior Decorative Grille
 - 19. Canopy Precedents
 - 20. Exhaust and Rooftop Equipment Cutsheets
- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Responses:
 - 1. Bureau of Transportation Engineering and Development Review
 - 2. Water Bureau
 - 3. Life Safety Review Section of BDS
 - 4. Fire Bureau
 - 5. Bureau of Environmental Services
- F. Correspondence: none received
- G. Other:
 - 1. Original LU Application
 - 2. Site History Research
 - 3. Incomplete Letter

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).



ZONING



Site

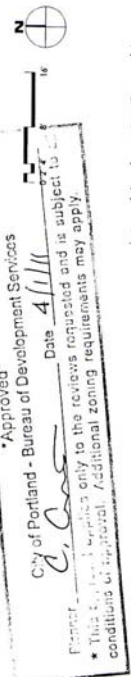


Historic Landmark

This site lies within the:
NEW CHINATOWN / JAPANTOWN HISTORIC DISTRICT
CENTRAL CITY PLAN DISTRICT



File No.	LU 11-103750 DZ
1/4 Section	3029
Scale	1 inch = 200 feet
State_Id	1N1E34CA 11000
Exhibit	B (Jan 18, 2011)



LU 11-103750 HD2
EXH. C-1

EXISTING BUILDING CONDITION
A: SOUTHWEST CORNER (NW 5TH/BURNSIDE)



**EAST ELEVATION
EXISTING**

EAST ELEVATION
PROPOSED

2 WEST ELEVATION
EXISTING



WEST ELEVATION
PROPOSED

0 2 4 6