



City of Portland, Oregon
Bureau of Development Services
Land Use Services

1900 SW 4th Avenue, Suite 5000
Portland, Oregon 97201
503-823-7300
Fax 503-823-5630
TTY 503-823-6868
www.portlandonline.com/bds

Date: July 15, 2010
To: Interested Person
From: Dave Skilton, Land Use Services 503-823-0660
dave.skilton@portlandoregon.gov

**NOTICE OF A TYPE II DECISION ON A PROPOSAL IN
YOUR NEIGHBORHOOD**

The Bureau of Development Services has approved a proposal in your neighborhood. The reasons for the decision are included in this notice. If you disagree with the decision, you can appeal it and request a public hearing. Information on how to appeal this decision is listed at the end of this notice.

**CASE FILE NUMBER: LU 10-139874 HDZ - GARAGE DOORS
AND ROOFTOP MECHANICAL EQUIPMENT**

GENERAL INFORMATION

Applicant: Venerable Properties Inc
70 NW Couch Street, Suite 207
Portland, OR 97209

Representative: Jessica Engeman
Venerable Development, LLC 503-943-6093
70 NW Couch Street, Suite 207
Portland, OR 97209

Site Address: 532-534 SE Belmont Street

Legal Description: BLOCK 126 E 1/2 OF LOT 7&8, PARK ADD TO E P
Tax Account No.: R644500070
State ID No.: 1S1E02BB 07700

Neighborhood: Buckman, contact Susan Lindsay at 503-725-8257.
District Coalition: Southeast Uplift, contact Leah Hyman at 503-232-0010.

Plan District: Central City - Central Eastside
Other Designations: Contributing resource in the East Portland Grand Avenue Historic District, which was listed in the National Register of Historic Places on March 4, 1991.

Zoning: IG1, General Industrial 1, with Historic Resource Protection Overlay

Case Type: HDZ, Historic Design Review
Procedure: Type II, an administrative decision with appeal to the Historic Landmarks Commission.

Proposal:

The applicant is seeking Historic Design Review approval for a proposal: to replace two existing roll-up garage doors with new roll-up garage doors designed to resemble historic wooden folding doors as shown in a photograph from the period of significance; to install new signage and lighting on the north facade; and to install five new rooftop mechanical units, painted to match the roofing. Historic Design Review is required because the proposal is for exterior alterations to a building within a historic district.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The relevant criteria are:

- East Portland Grand Avenue Historic District Guidelines

ANALYSIS

Site and Vicinity: The subject property, identified as the Paul Schuele Building in the nomination documentation for the East Portland Grand Avenue Historic District, was designed by longtime Portland architect Charles Ertz, and completed in 1924. At the time it was advertized as a “public garage”, and it has had many automobile-related businesses as tenants over the course of its history. Stylistically, the building is a very straightforward expression of early Twentieth Century Industrial design, with a hint of Spanish Colonial Revival elements at the upper-floor entry. The street-facing walls are dominated by large vehicular openings and regular, full bay width banks of steel sash windows on both floors. On the north facade at the ground floor and wrapping the corner by one bay the window pattern gives way to storefronts.

The East Portland Grand Avenue Historic District is significant for its association with broad patterns of historic development, especially as it relates to commerce and transportation. This area, stretching north-south along Grand Avenue parallel to the Willamette River was, until consolidation with Portland in 1893, the core of a separate community known as East Portland. The National Register nomination document notes that in the years from approximately 1915 to 1930 this locale developed a concentration of automotive businesses, with building adapted or designed to support it. The subject property fits well within this category.

Zoning: The employment and industrial zones are for areas of the City that are reserved for industrial uses and for areas that have a mix of uses with a strong industrial orientation. The zones reflect the diversity of industrial and business areas in the City. The zones differ in the mix of allowed uses, the allowed intensity of development, and the development standards. The regulations promote areas which consist of uses and developments which will support the economic viability of the specific zoning district and of the City. The regulations protect the health, safety and welfare of the public, address area character, and address environmental concerns. In addition, the regulations provide certainty to property owners, developers, and neighbors about the limits of what is allowed. IG1 areas generally have smaller lots and a grid block pattern. The area is mostly developed, with sites having high building coverage and buildings which are usually close to the street. IG1 areas tend to be in older industrial areas.

The Historic Resource Protection Overlay chapter protects certain historic resources in the region and preserves significant parts of the region’s heritage. The regulations implement Portland's Comprehensive Plan policies that address historic preservation. These policies recognize the role historic resources have in promoting the education and enjoyment of those living in and visiting the region. The regulations foster pride among the region’s citizens in their city and its heritage. Historic preservation beautifies the city, promotes the city’s economic health, and helps to preserve and enhance the value of historic properties.

Land Use History: City records indicate there are no prior land use reviews for this site.

Notice of Proposal: A “Notice of Proposal in Your Neighborhood” was mailed **June 21, 2010**.

Neighborhood Review: No written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

Agency Review: None of the notified Bureaus have responded with issues or concerns:

ZONING CODE APPROVAL CRITERIA

Chapter 33.846, Historic Reviews

Purpose of Historic Design Review

Historic Design Review ensures the conservation and enhancement of the special characteristics of historic resources.

Historic Design Review Approval Criteria

Requests for historic design review will be approved if the review body finds the applicant has shown that all of the approval criteria have been met.

Findings: The site is located within the East Portland/Grand Ave. Historic District. Therefore the proposal requires historic design review approval. The relevant approval criteria are the East Portland Grand Ave. Design Zone Design Guidelines.

East Portland/Grand Avenue Historic Design Zone Design Guidelines The opportunity exists to reestablish the visual and developmental patterns that supported this District as a bustling, urban environment through sensitively designed infill, new construction and restoration. The goal is to integrate the old with the new to enhance the District’s continuity. By building upon the basic design tenets historically established here, yet considering the functional needs of new but compatible uses, this goal can be reached and the future of a vibrant Historic District secured.

East Portland/Grand Avenue Historic Design Zone Goals

- Encourage urban design excellence in the Central City.
- Integrate urban design and preservation of our heritage into the process of Central City development.
- Enhance the character of Portland’s Central City districts.
- Promote the development of diversity and areas of special character within the Central City.
- Establish an urban design relationship between the Central City districts and the Central City as a whole.
- Provide for a pleasant, rich and diverse pedestrian experience in the Central City.
- Provide for the humanization of the Central City through promotion of the arts.
- Assist in creating a 24-hour Central City which is safe, humane and prosperous.
- Assure that new development is on a human scale and that it relates to the character and scale of the area and the central City.

Central City Plan Design Goals

1. Encourage urban design excellence in the Central City;
2. Integrate urban design and preservation of our heritage into the development process;
3. Enhance the character of the Central City’s districts;
4. Promote the development of diversity and areas of special character within the Central City;
5. Establish an urban design relationship between the Central City’s districts and the Central City as a whole;
6. Provide for a pleasant, rich and diverse pedestrian experience for pedestrians;
7. Provide for the humanization of the Central City through promotion of the arts;
8. Assist in creating a 24-hour Central City which is safe, humane and prosperous;
9. Ensure that new development is at a human scale and that it relates to the scale and desired character of its setting and the Central City as a whole.

Staff has considered all guidelines and addressed only those applicable to this proposal.

Guidelines for Alterations

A6-1b. Exterior Building Materials. Exterior surfaces need to be repaired and maintained in a manner that is compatible first with the original building and second with the District.

Findings for A6-1b: The proposal includes replacement of two existing roll-up garage doors with new roll-up garage doors designed to resemble historic wooden folding doors as shown in a photograph from the period of significance. This treatment is appropriate because it only effects non-historic materials and because it restores a semblance of the known historic configuration. *This guideline is therefore met.*

A6-1d. Exterior Mechanical Systems and Auxiliary Service Elements. Avoid unnecessary clutter and unsightliness of mechanical systems, auxiliary structures, and service elements such as trash containers, storage sheds, satellite dishes, etc.

Findings for A6-1d: The new mechanical equipment will occupy a minor amount of the roof area and it will be screened from general view by the parapets. The proposed installation is orderly and the equipment will be painted to match the roof color. *This guideline is therefore met.*

A6-1f. Signs

1. Exterior building signs should be visually compatible in size, scale, proportion, color and materials with the original architectural character of the building.
2. A variety of signs within the District are encouraged, incorporating excellence in graphic design and lettering, careful color coordination with the building, mounting, and readability.
3. Prominent signs that are creative yet compatible with the building and the District are encouraged, particularly on simple concrete buildings.
4. Sign lighting that is creative and compatible with the building and the District is acceptable. Plastic signs and backlit plastic signs are generally not acceptable.

A6-1g. Lighting

1. Repair or replace damaged period lighting with the same or similar lighting fixtures and design elements.
2. Lighting in entryways and doorways and other highly visible public areas should match the original fixtures where possible, or be designed in a manner that is compatible with the historic building and with the district.
3. Bathing a historic building with light or the use of exterior spotlights on the major facade is discouraged, unless historic precedence exists to support such display.

Findings for A6-1f and A6-1g: Three areas for signs and associated lights are proposed, all on the north facade. Two are in the traditional sign band, in the spandrels above the storefront and the vehicular entry. The third is centered in the middle bay at parapet level, between two decorative square elements that mark the column lines. These locations are appropriate because they are respectively traditional places for tenant and building identification signage. The proposed signage, pin-mounted bronze letters, no greater than 16" tall in the sign band and 24" in the parapet location, illuminated by small external light fixtures as shown, is also appropriate because of its durable and high quality materials, and its low visual impact. *These guidelines are therefore met.*

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of

Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

Restoration of a semblance of historic character through replacement of non-historic roll-up garage doors with new roll-up doors that mimic the folding doors shown in a historic photograph will improve the street character of the East Portland Grand Avenue Historic District. The installation of new mechanical equipment well back from street-facing parapets will minimize its visual impact. The purpose of the Historic Design Review process is to ensure that additions, new construction, and exterior alterations to historic resources do not compromise their ability to convey historic significance. This proposal meets the applicable Historic Design Review guidelines and therefore warrants approval.

ADMINISTRATIVE DECISION

Approval of exterior alterations to a contributing resource in the East Portland Grand Avenue Historic District;

Approval per Exhibits C-1 through C-6, signed and dated July 12, 2010, subject to the following condition:

- A. As part of the building permit application submittal, each of the 4 required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C-1 through C-6. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 10-139874 HDZ. No field changes allowed."

Staff Planner: Dave Skilton

Decision rendered by:  on July 12, 2010.

By authority of the Director of the Bureau of Development Services

Decision mailed: July 15, 2010

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on May 20, 2010, and was determined to be complete on **June 17, 2010**.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on May 20, 2010.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period.

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has

independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed to the Historic Landmarks Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on July 29, 2010** at 1900 SW Fourth Ave. Appeals can be filed Tuesday through Friday on the first floor of the Development Services Center until 3 p.m. After 3 p.m. and Mondays, appeals must be submitted to the receptionist at the front desk on the fifth floor. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization’s boundaries. The vote to appeal must be in accordance with the organization’s bylaws. Low-income individuals appealing a decision for their personal residence that they own in whole or in part may qualify for an appeal fee waiver. In addition, an appeal fee may be waived for a low income individual if the individual resides within the required notification area for the review,¹ and the individual has resided at that address for at least 60 days. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Fee waivers for low-income individuals must be approved prior to filing the appeal; please allow 3 working days for fee waiver approval. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Historic Landmarks Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 550 Capitol St. NE, Suite 235, Salem, Oregon 97301, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Historic Landmarks Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed*, The final decision may be recorded on or after **July 30, 2010**.
- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- By Mail: Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- In Person: Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034
For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Zone Change and Comprehensive Plan Map Amendment approvals do not expire.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

EXHIBITS

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
- B. Zoning Map (attached)
- C. Plans/Drawings:
 - 1. Cover Sheet
 - 2. Floor Plans
 - 3. Roof/Site Plan and Sightline Study (attached)
 - 4. Existing Elevations (attached)
 - 5. Proposed Elevations (attached)
 - 6. Light Fixture Information

D. Notification information:

1. Mailing list
2. Mailed notice

E. Agency Responses:

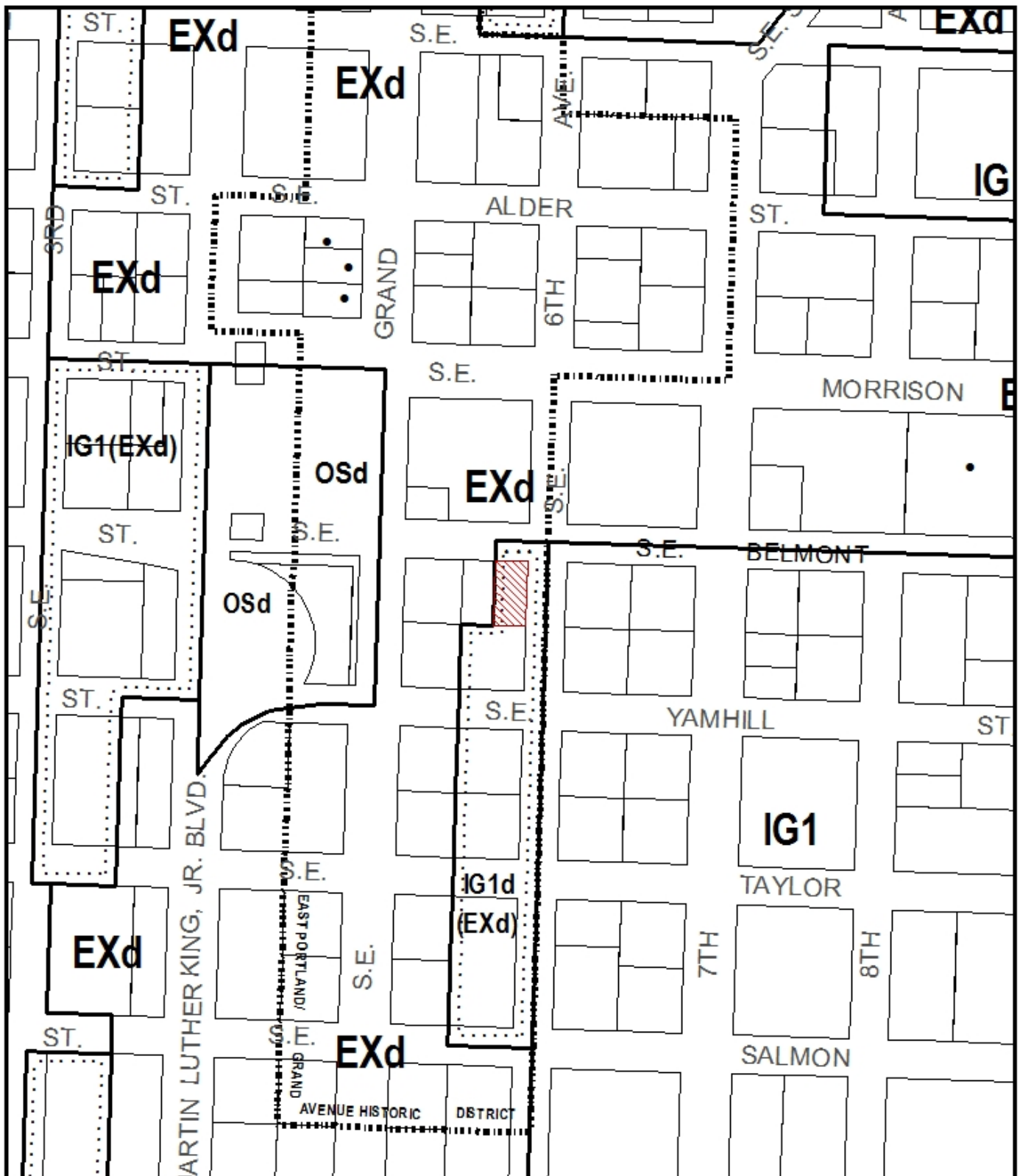
1. Water Bureau
2. Life Safety Review Section of BDS

F. Correspondence: none

G. Other:

1. Original LU Application

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).



ZONING



Site



NORTH

This site lies within the:
EAST PORTLAND / GRAND AVENUE HISTORIC DISTRICT
CENTRAL CITY PLAN DISTRICT

File No.	<u>LU 10-139874 HDZ</u>
1/4 Section	<u>3131</u>
Scale	<u>1 inch = 417 feet</u>
State_Id	<u>1S1E02BB 7700</u>
Exhibit	<u>B</u> (May 21,2010)

[illegible]6TH + BELMONT
Historic Design Review

532 SE Belmont Street
Portland, OR

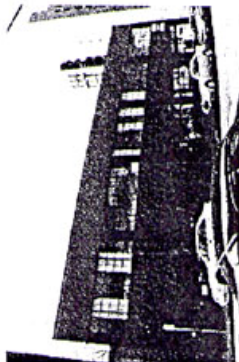
APPROVED	PR
DATE	06/16/10
SUBJECT NUMBER	01-04-10

ELEVATIONS
EXISTING

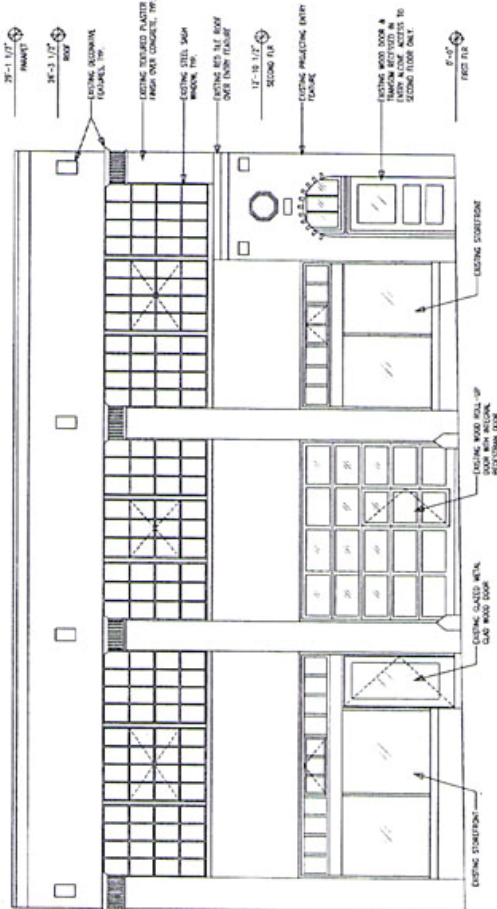
A-301



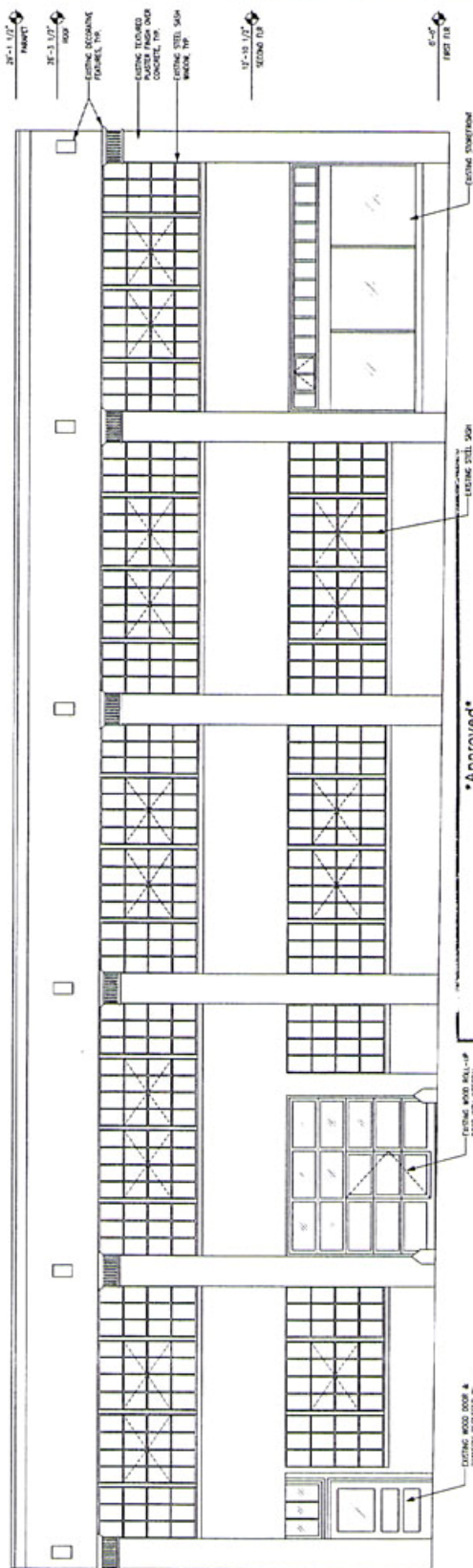
EXISTING NORTH ELEVATION (LEFT), EXISTING STOREFRONT * ENTRY TO FIRST FLOOR TENANT SPACE (RIGHT)



using fast fluidics



EXISTING NORTH ELEVATION - BELMONT STREET

 $\theta = 0^\circ$ 

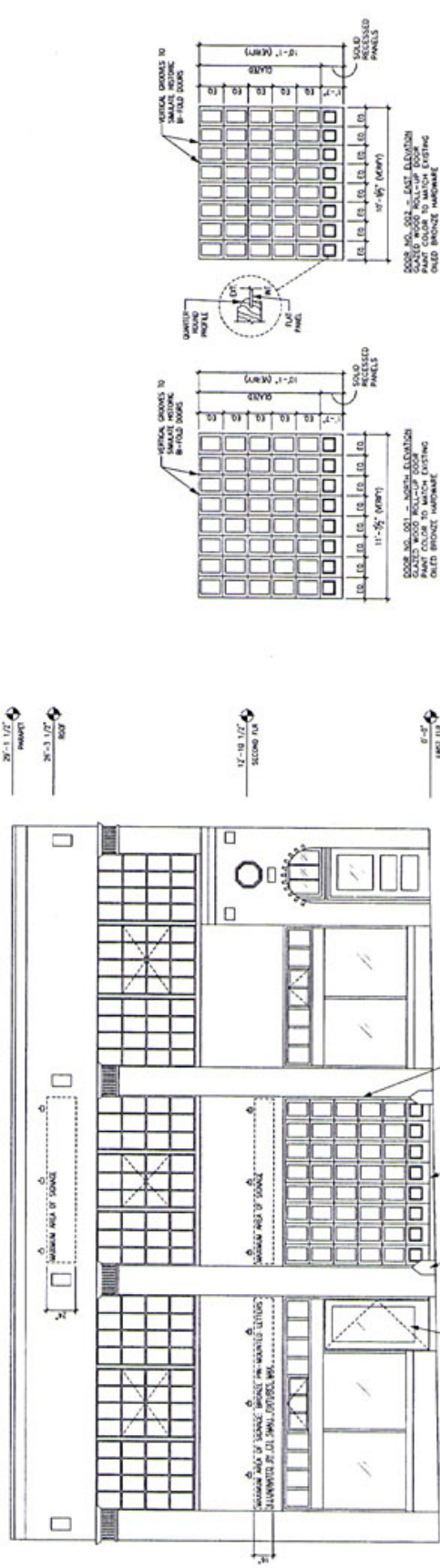
EXISTING EAST ELEVATION - 6TH STREET

$$/4^\circ = 1' = 0''$$

Approved
City of Portland - Bureau of Development Services
Planner *Dave Spiller* Date *7.13.00*
* This approval applies only to the reviews requested and is subject to the conditions of approval. Additional zoning requirements may apply.

EXHIBIT C-4

LV 10-159874 HDZ



PROPOSED NORTH ELEVATION - BELMONT STREET

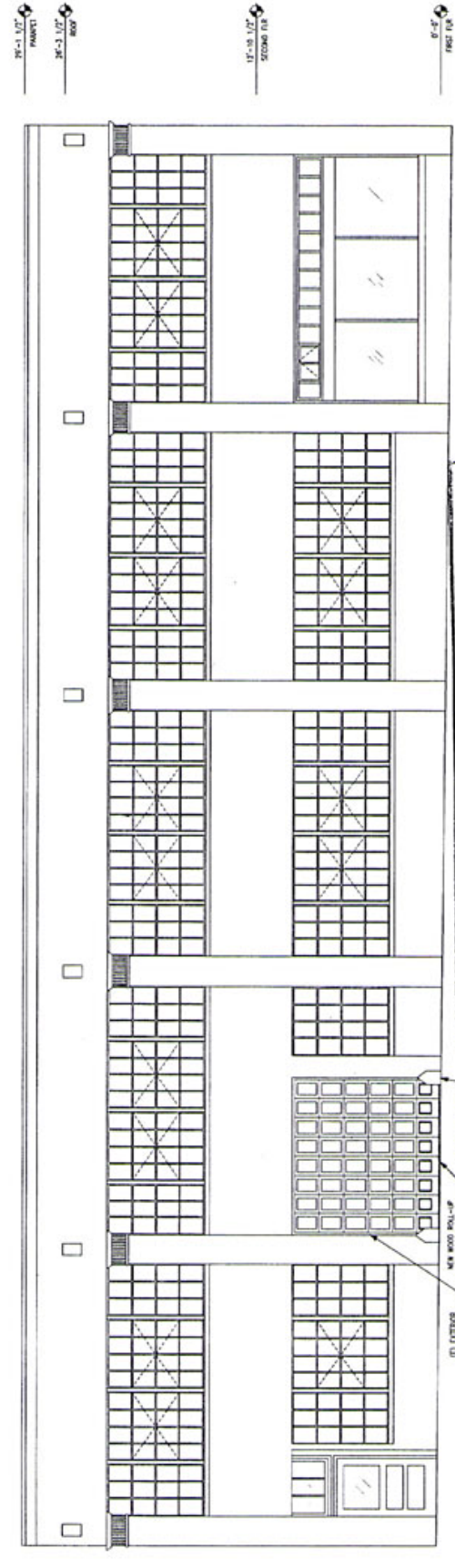
A2

1/4" = 1'-0"

A3

PROPOSED ROLL-UP DOOR DETAILS

1/4" = 1'-0"



PROPOSED EAST ELEVATION - 6TH STREET

A1

1/4" = 1'-0"

Approved*
City of Portland - Bureau of Development Services
Planner *Dave Smith* Date *7.13.10*
* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.
LU 10-139874 HDZ EXHIBIT C-5