



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**

1900 SW 4th Avenue, Suite 5000  
Portland, Oregon 97201  
503-823-7300  
Fax 503-823-5630  
TTY 503-823-6868  
[www.portlandonline.com/bds](http://www.portlandonline.com/bds)

**Date:** June 15, 2010  
**To:** Interested Person  
**From:** Chris Caruso, Land Use Services  
503-823-5747 / [Christine.Caruso@ci.portland.or.us](mailto:Christine.Caruso@ci.portland.or.us)

**NOTICE OF A TYPE II DECISION ON A PROPOSAL IN  
YOUR NEIGHBORHOOD**

The Bureau of Development Services has approved a proposal in your neighborhood. The reasons for the decision are included in this notice. If you disagree with the decision, you can appeal it and request a public hearing. Information on how to appeal this decision is listed at the end of this notice.

**CASE FILE NUMBER: LU 10-116236 DZ**  
**IWATA MEDEA ROOF DECK & COVER**

**Applicant:** Steve Kaiser  
Formwest Architecture Inc.  
PO Box 12174  
Portland, OR 97212

**Owner:** Will Naemura  
6555 SE 34th Ave  
Portland, OR 97202

**Other:** Sherry Lenard  
Portland Development Commission  
222 NW 5<sup>th</sup> Ave  
Portland, OR 97209

**Site Address:** 1336 N MASON ST

**Legal Description:** BLOCK 18 LOT 2&4, MULTNOMAH; BLOCK 18 LOT 6, MULTNOMAH  
**Tax Account No.:** R591902930, R591902950  
**State ID No.:** 1N1E22CB 10400, 1N1E22CB 10500  
**Quarter Section:** 2629

**Neighborhood:** Overlook, contact David Chott at 503-320-1234.  
**Business District:** Interstate Corridor Business Association, contact Molly Paris at 503-283-1900.  
**District Coalition:** North Portland Neighborhood Services, contact Mary Jaron-Kelley at 503-823-4099.  
**Plan District:** North Interstate  
**Zoning:** EXd, Central Employment with design overlay  
**Case Type:** DZ, Design Review  
**Procedure:** Type II, an administrative decision with appeal to the Design Commission.

**Proposal:**

The applicant seeks Design Review approval for a covered roof deck addition over the existing northern wing of the Iwata Medea Building which is located south of the Prescott Station MAX light rail stop of the North Interstate Corridor Plan. The proposal is for a 15 foot tall tube steel roof frame supported by 4" x 4" steel posts that are attached to the outside walls of the existing structure with exposed plates and bolts. The frame will support four horizontally projecting roof elements covered in corrugated metal deck, one on each side of the new structure. Above this is a 16 foot pyramid shaped canvas roof. Painted metal and cable railings surround the three open sides of the new roof cover. The covered roof is accessed from an existing second story door that will be replaced with a new metal door. A new corrugated metal canopy with tube steel support framing will be installed above another existing door at the first floor. The metal is finished in one of two ways, either galvanized or painted.

Additions to existing buildings that cannot meet the Community Design Standards in the North Interstate Plan District are required to go through design review.

**Relevant Approval Criteria:**

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The relevant criteria are:

- 33.825 Design Review
- Community Design Guidelines

**ANALYSIS**

**Site and Vicinity:** The 10,000 SF site has frontage along both N Interstate (and the light rail line) and N Mason with an alley to the east. The site is within the North Interstate Plan District and is designated a "mixed use area between stations" in the North Interstate Corridor Plan. The Plan indicates that new development along N Interstate will be mixed both in use and scale, with the largest building clustered around light rail stations, and may incorporate ground floor active use areas or offices, lobbies, or institutional uses. The site has one large two-story building on the southern two-thirds of the site, a one-story element to the north, and an existing paved parking lot with loading areas on the northern one-third of the lot, with access from N. Mason. The immediate vicinity is a mix of older one and two-story commercial buildings, 1950's motels, and surface parking lots reflective of N Interstate's role as the original transportation thoroughfare between Portland and Vancouver, WA. There are also a few new multi-story buildings that point toward the area's vision as a dense urban environment.

N Interstate is a Regional Main Street, a Major Transit Priority Street, a Truck Access Street, a City Bikeway, and a City Walkway. Both N Mason and the alley are Local Service Bikeways and Local Service Walkways.

**Zoning:** The Central Employment (EX) zone allows mixed uses and is intended for areas in the center of the City that have predominantly industrial-type development. The intent of the zone is to allow industrial and commercial uses which need a central location. Residential uses are allowed, but are not intended to predominate or set development standards for other uses in the area. The current commercial use is allowed by right.

The "d" overlay promotes the conservation and enhancement of areas of the City with special historic, architectural or cultural value. New development and exterior modifications to existing development must meet the Community Design Standards (Chapter 33.218) or are subject to design review.

**Land Use History:** City records indicate there are no prior land use reviews for this site.

**Agency Review:** A "Notice of Proposal in Your Neighborhood" was mailed **May 20, 2010**. The following Bureaus have responded with no issues or concerns:

- Bureau of Environmental Services
- Bureau of Transportation Engineering

- Water Bureau
- Site Development Section of BDS
- Life Safety Review Section of BDS
- Bureau of Parks – Forestry Division
- Fire Bureau

**Neighborhood Review:** A Notice of Proposal in Your Neighborhood was mailed on May 20, 2010. No written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

## ZONING CODE APPROVAL CRITERIA

### Chapter 33.825 Design Review

#### Section 33.825.010 Purpose of Design Review

Design review ensures that development conserves and enhances the recognized special design values of a site or area. Design review is used to ensure the conservation, enhancement, and continued vitality of the identified scenic, architectural, and cultural values of each design district or area. Design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area. Design review is also used in certain cases to review public and private projects to ensure that they are of a high design quality.

#### Section 33.825.055 Design Review Approval Criteria

A design review application will be approved if the review body finds the applicant to have shown that the proposal complies with the design guidelines for the area.

**Findings:** The site is designated with design overlay zoning (d), therefore the proposal requires Design Review approval. Because of the site's location, the applicable design guidelines are the Community Design Guidelines.

#### Community Design Guidelines

The Community Design Guidelines consist of a set of guidelines for design and historic design cases in community planning areas outside of the Central City. These guidelines address the unique and special characteristics of the community plan area and the historic and conservation districts. The Community Design Guidelines focus on three general categories: **(P) Portland Personality**, which establishes Portland's urban design framework; **(E) Pedestrian Emphasis**, which states that Portland is a city for people as well as cars and other movement systems; and **(D) Project Design**, which assures that each development is sensitive to both Portland's urban design framework and the users of the city.

*Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.*

**P1. Plan Area Character.** Enhance the sense of place and identity by incorporating site and building design features that respond to the area's desired characteristics and traditions.

**D7. Blending into the Neighborhood.** Reduce the impact of new development on established neighborhoods by incorporating elements of nearby, quality buildings such as building details, massing, proportions, and materials.

**Findings for P1 & D7:** The site is within the North Interstate Plan District and is designated a "mixed use area between stations" in the North Interstate Corridor Plan. The Corridor Plan indicates that new development along N Interstate will be mixed both in use and scale, with the largest buildings clustered around light rail stations. New and renovated buildings between the station areas may incorporate ground floor active use areas, offices or institutional uses. The Iwata Medea Building is an existing warehouse and office occupying the southern two-thirds of the site. The addition of the covered roof deck on a portion of the building enhances the employee experience of this typical N Interstate commercial facility while responding to

the area's desired characteristics of mixed uses and varying building scales. The metal roof supports, metal roof decking, and large fabric cover are standard materials and forms used on commercial buildings. These materials and forms are also present on other buildings in the immediate vicinity which are a mix of older one and two-story commercial buildings, 1950's motels, and recently constructed multi-family apartment buildings designed in a more contemporary aesthetic. The new roof deck cover faces onto N Interstate and will not negatively impact views from the adjacent established neighborhood. *These guidelines are therefore met.*

**D1. Outdoor Areas.** When sites are not fully built on, place buildings to create sizable, usable outdoor areas. Design these areas to be accessible, pleasant, and safe. Connect outdoor areas to the circulation system used by pedestrians.

**Findings:** Existing pedestrian circulation systems will be maintained on the site. Since the building and parking lot take up the entire site, the amount of ground level outdoor area is negligible. The new roof deck and weather-protecting cover provides useable outdoor space in an otherwise unutilized area. The roof deck is accessible from inside the building, provides weather protection, and protects users from vehicle traffic. *This guideline is therefore met.*

**D5. Crime Prevention.** Use site design and building orientation to reduce the likelihood of crime through the design and placement of windows, entries, active ground level uses, and outdoor areas.

**Findings:** The placement of the main outdoor area on the roof of an existing building allows employees and their guests to overlook both N Interstate and the adjacent surface parking lot anytime the building is occupied. This provides additional visual security opportunities of the site and adjacent street. No existing windows or doors will be blocked by the covered deck, maintaining any existing crime prevention opportunities. *This guideline is therefore met.*

**D6. Architectural Integrity.** Respect the original character of buildings when making modifications that affect the exterior. Make additions compatible in scale, color, details, material proportion, and character with the existing building.

**D8. Interest, Quality, and Composition.** All parts of a building should be interesting to view, of long lasting quality, and designed to form a cohesive composition.

**Findings for D6 & D8:** The proposed roof deck frame and cover are made from steel posts and beams, outdoor awning fabric, corrugated metal roof deck, and cable railing systems, all of which are long-lasting, quality materials used throughout the urban environment. The addition respects the original character of the building by attaching around the outside edge of the parapet in an unobtrusive manner with simple bolt connections and aligning with the existing rectilinear geometry of this northern wing so as to not overwhelm or dwarf the existing Iwata Medea Building. The simple geometric lines of the addition, the cleanly detailed connections, the utilitarian materials, and the roof cover's visibility from N Interstate create a simple yet dynamic focal point along N Interstate that works in conjunction with the utilitarian forms of the existing Iwata Medea Building. *These guidelines are therefore met.*

## DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of

Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

## CONCLUSIONS

The design review process exists to promote the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. The new roof deck cover on top of the lower portion of the Iwata Medea Building creates a cohesive composition out of standard industrial and commercial building elements. The cover adds interest to the building along N Interstate and adds to the variety of building forms desired along this portion of the N Interstate Corridor Plan. The proposal meets the applicable design guidelines and therefore warrants approval.

## ADMINISTRATIVE DECISION

Design review approval of a covered roof deck addition to the north wing of the Iwata Medea Building in the North Interstate Plan District that includes the following elements:

- One 15 foot tall, tube steel roof frame supported by 4" x 4" steel posts;
- Exposed plate and bolt connections to the outside walls;
- Four horizontally projecting corrugated metal roof elements;
- A 16 foot tall pyramid-shaped canvas roof;
- Painted metal and cable railings on three sides of the new roof cover;
- A new second floor metal access door in an existing opening; and
- A new corrugated metal canopy with tube steel support framing above an existing first floor door;

Approved, per the approved site plans, Exhibits C-1 through C-8 signed and dated June 11, 2010, subject to the following conditions:

- A. As part of the building permit application submittal, each of the 4 required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C.1-C.8. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 10-116236 DZ. No field changes allowed."

**Staff Planner: Chris Caruso**

**Decision rendered by:**  **on June 10, 2010**  
By authority of the Director of the Bureau of Development Services

**Decision mailed: June 15, 2010**

**About this Decision.** This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

**Procedural Information.** The application for this land use review was submitted on March 5, 2010, and was determined to be complete on May 20, 2010.

*Zoning Code Section 33.700.080* states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on March 5, 2010.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period. Unless further extended by the applicant, **the 120 days will expire on: September 18, 2010.**

**Some of the information contained in this report was provided by the applicant.**

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

**Conditions of Approval.** If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

**Appealing this decision.** This decision may be appealed to the Design Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on June 29, 2010** at 1900 SW Fourth Ave. Appeals can be filed Tuesday through Friday on the first floor of the Development Services Center until 3 p.m. After 3 p.m. and Mondays, appeals must be submitted to the receptionist at the front desk on the fifth floor. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization’s boundaries. The vote to appeal must be in accordance with the organization’s bylaws. Low-income individuals appealing a decision for their personal residence that they own in whole or in part may qualify for an appeal fee waiver. In addition, an appeal fee may be waived for a low income individual if the individual resides within the required notification area for the review, and the individual has resided at that address for at least 60 days. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Fee waivers for low-income individuals must be approved prior to filing the appeal; please allow 3 working days for fee waiver approval. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at [www.portlandonline.com](http://www.portlandonline.com).

**Attending the hearing.** If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Design Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 550 Capitol St. NE, Suite 235, Salem, Oregon 97301, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Design Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

**Recording the final decision.**

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed*, The final decision may be recorded on or after **June 30, 2010 – (the day following the last day to appeal)**.
- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- By Mail: Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- In Person: Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034

For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

**Expiration of this approval.** An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Zone Change and Comprehensive Plan Map Amendment approvals do not expire.

**Applying for your permits.** A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

**EXHIBITS**

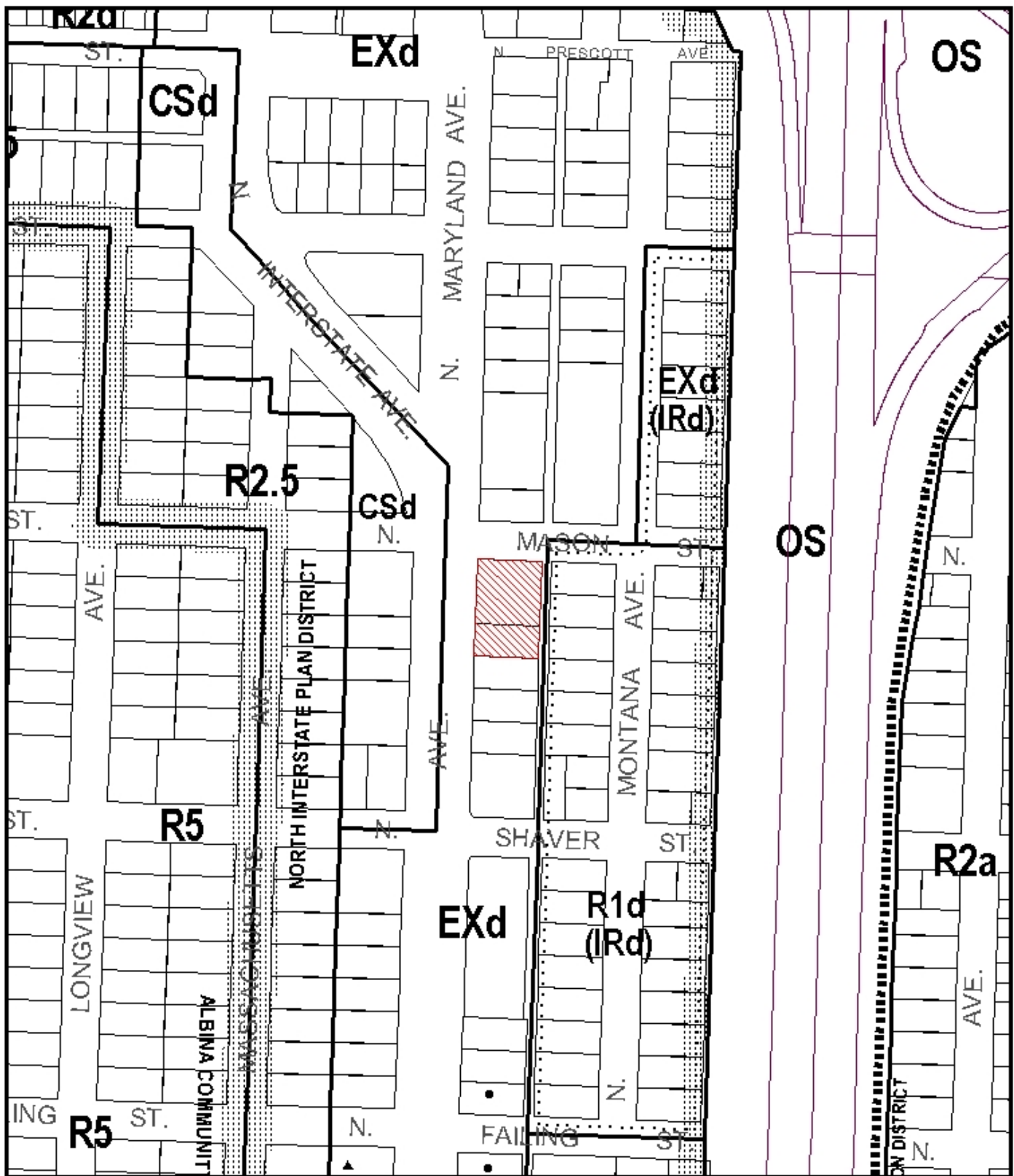
NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
- B. Zoning Map (attached)
- C. Plans/Drawings:
  - 1. Site Plan (attached)

2. Elevations (attached)
  3. Roof & Deck Plan (attached)
  4. Section & Elevation
  5. Elevations
  6. Details
  7. Ceiling Plan & Details
  8. Gutter location
- D. Notification information:
1. Mailing list
  2. Mailed notice
- E. Agency Responses: no concerns
- F. Correspondence: none received
- G. Other:
1. Original LU Application
  2. Site History Research

**The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).**





# ZONING



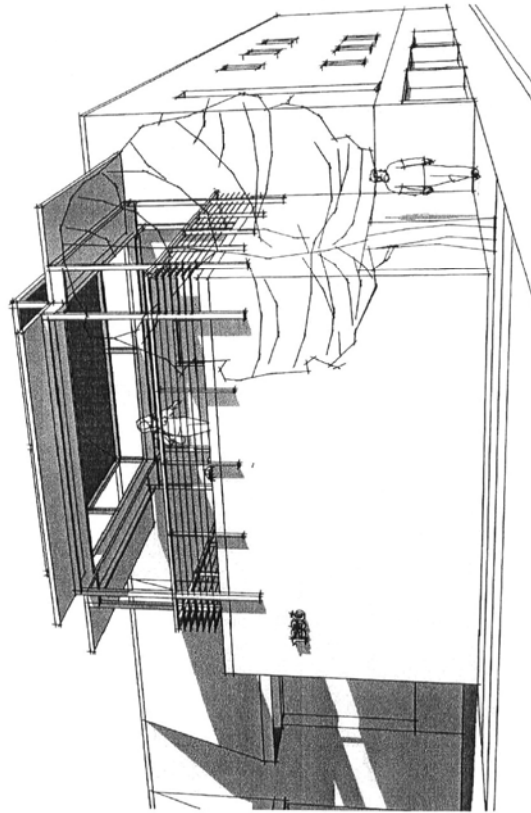
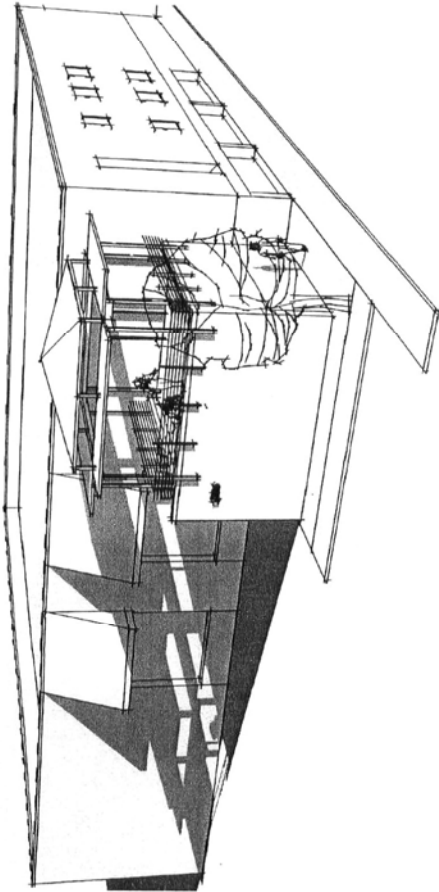
Site



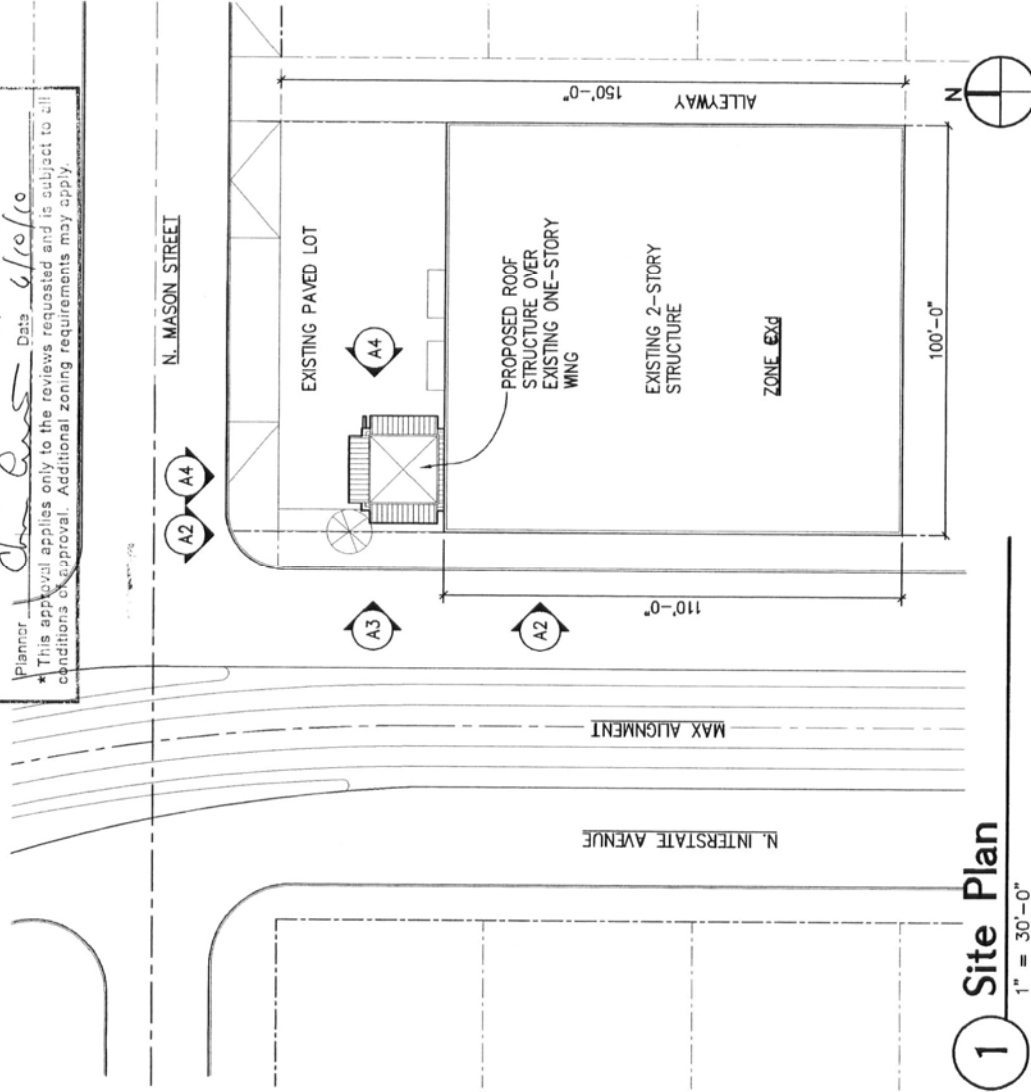
NORTH

This site lies within the:  
NORTH INTERSTATE PLAN DISTRICT

File No.	LU 10-116236 DZ
1/4 Section	2629
Scale	1 inch = 200 feet
State_Id	1N1E22CB 10400
Exhibit	B (Mar 08, 2010)



\*Approved\*  
 City of Portland - Bureau of Development Services  
 Planner: *[Signature]* Date: *6/6/10*  
 \* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

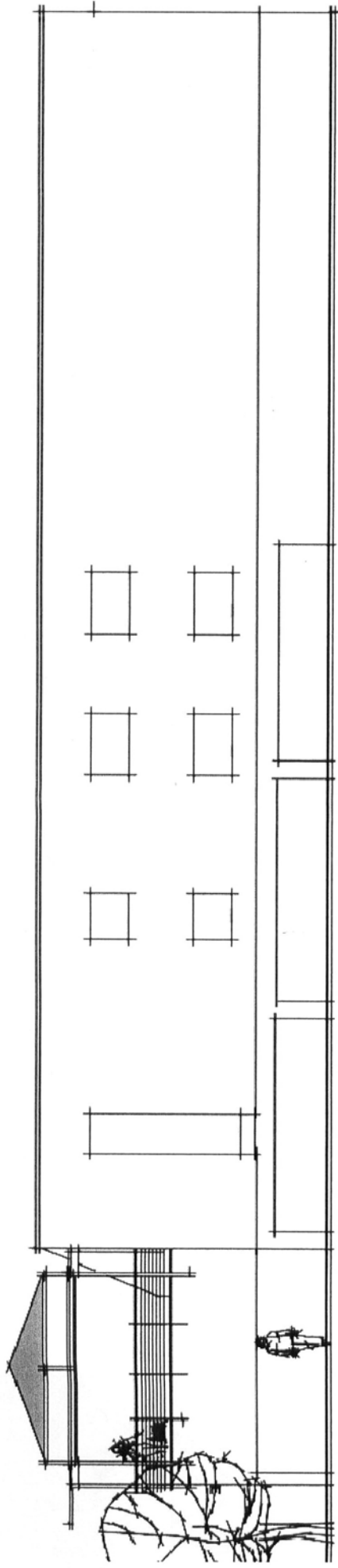


I W A T A M E D E A 1336 N. MASON STREET, PORTLAND, OREGON  
 DESIGN REVIEW SUBMITTAL

A1

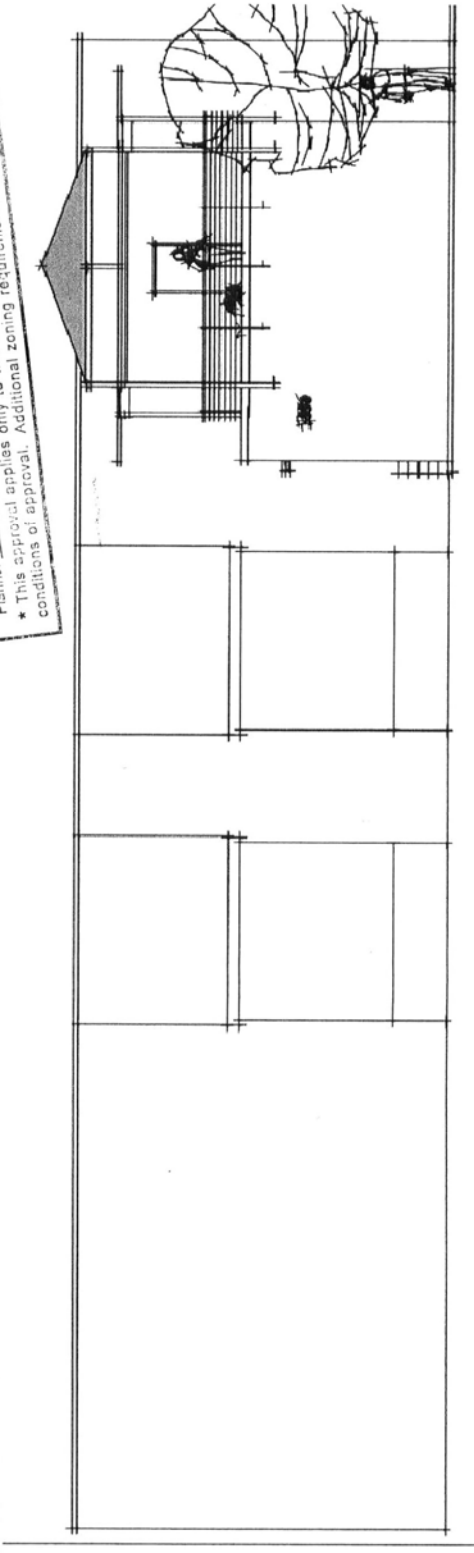
**FORMWEST**  
 architecture, inc.  
 P.O. Box 12124, Portland, Oregon 97212  
 12/10/09, U I 0 - 1 1 6 2 3 6 0 2

EXH. C-1



1 West Elevation  
1/8" = 1' - 0"

\*Approved\*  
City of Portland - Bureau of Development Services  
Planner [Signature] Date 4/10/10  
\* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



2 North Elevation  
1/8" = 1' - 0"

I W A T A M E D E A  
DESIGN REVIEW SUBMITTAL

A2



P.O. Box 12174 Portland, Oregon 97212

12/10/09

LU10-116236DZ CH.C-2

