



City of Portland, Oregon
Bureau of Development Services
Land Use Services

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Date: April 23, 2010
To: Interested Person
From: Kara Fioravanti, Land Use Services
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NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has approved a proposal in your neighborhood. The reasons for the decision are included in this notice. If you disagree with the decision, you can appeal it and request a public hearing. Information on how to appeal this decision is listed at the end of this notice.

CASE FILE NUMBER: LU 10-114505 DZM LINCOLN HALL ADDITION

GENERAL INFORMATION

Applicant: Oregon State Of Board Of Higher Education
PO Box 3175 / Eugene, OR 97403-0175

Ron Blaj, Portland State University Facilities
PO Box 751 / Portland OR 97207

Representative: Michael Tingley, BOORA Architects, 503.226.1575
720 SW Washington, Ste 800 / Portland, OR 97205

Site Address: 1620 SW Park Avenue
Legal Description: BLOCK 202, PORTLAND
Tax Account No.: R667721680
State ID No.: 1S1E04AD 07600
Quarter Section: 3128
Neighborhood: Portland Downtown, contact Jennifer Geske at 503-750-9843.
Business District: Downtown Retail Council, contact Lisa Frisch at 503-552-6740.
District Coalition: Neighbors West/Northwest, contact Mark Sieber at 503-823-4212.
Plan District: Central City Plan District - University Sub-District
Zoning: CXd: Central Commercial zone with a design overlay
Case Type: DZM: Design Review with Modification Review
Procedure: Type II, an administrative decision with appeal to the Design Commission.

Proposal:

The applicant seeks Design Review approval for an addition to Lincoln Hall on the Portland State University Campus, located in the Central City Plan District and the University Sub-District. The proposal was previously reviewed as a voluntary Design Advice Request (DAR) with the Design Commission in 2009, under EA 09-172668 DA. The addition is comprised of a new four-story clear glass bay of teaching studios to face SW Broadway Street, and will be inserted between existing portions of the building in the approximate center of the east façade.

In addition, a new clear glazed entry will be inserted at the ground floor to the immediate north of the new bay. The entry bay will include a new metal overhead canopy, projecting 4'-0" from the outer face of the building, which will carry to the south and help form the base of the classroom bay. The classroom bay exhibits an opaque stone veneer base and three floors of curtain wall above. The glazing wraps the corners and meets the edges of the existing building in a substantial metal panel frame, painted to match the building's historic terra cotta cladding.

The window bay projects 10" beyond the property line – it is therefore subject to the City's Code Guide on "Windows Projections in the Right-of-Way". The City's Code Guide limits projecting window bays to 12' in length, however through design review the window bay can exceed 12'. The proposal is for a bay that is approximately 38.5' in length.

New signage is proposed. Some signs are subject to design review and some are not. The list below indicates which signs are subject to design review.

- Illuminated Blade Sign, East Elevation – aluminum blade sign with cut out acrylic letters, internally illuminated. The copy on the projecting sign faces and the white ends will be illuminated. The metal fascia and returns will not be illuminated. The sign is 22' long and 4'-6" wide. There are 2 mounting options. There are 2 alternate locations. This sign is subject to design review. It is also subject to a Modification Review because it is larger than 30 SF in the right-of-way.
- Non-illuminated Blade Sign, NW corner of building – This sign does not extend into the right-of-way and is less than 32 SF, and therefore not subject to design review.
- Canopy Sign, East Elevation – 12" tall maximum pin-mounted dimensional metal letters applied to the top of the new entry canopy. This sign would be within the right-of-way, but is less than 30 SF; it is therefore not subject to design review.
- Non-illuminated Wall Sign, East Elevation – Option 1: 8" tall maximum pin-mounted dimensional metal letters applied to the new stone fascia, sign area will measure a maximum of 5'-tall and 16'-wide and is therefore subject to design review. Option 2: 12" maximum pin-mounted dimensional metal letters applied to the new stone fascia above a new poster case set into the wall, sign area would measure less than 32 SF and is therefore not subject to design review.

One small 4' tall mechanical unit may be located on the roof to the north of the new glass bay.

Because the proposal is for a site with a design overlay zone and exterior alterations are proposed, design review is required.

Modification Request:

Table 32.32-3 limits the area of a sign extending into the right-of-way to 30 SF. The proposed projecting blade sign at the East elevation, facing SW Broadway, is 99 SF and within the right-of-way.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The relevant criteria are:

- | | |
|---|--|
| ■ 33.825.040 Modifications That Will Better Meet Design Review Requirements | ■ Central City Fundamental Design Guidelines |
|---|--|

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. This application was submitted on February 25, 2010 and determined to be complete on March 18, 2010.

ANALYSIS

Site and Vicinity: Lincoln Hall occupies a 40,000 square foot site at the northern end of the Portland State University (PSU) campus. The 145,000 square foot structure was built in 1911 as Lincoln High School and was the first building occupied by PSU when the school moved to its South Park Blocks location in 1953. The historic building is an example of the Second Renaissance Revival style and has an exterior finish of brick, with a raised basement finished with glazed terra cotta. Glazed terra cotta decorative elements on the building include cornice with block modillions, belt course, balconets, and pediments over entrances. Corinthian columns rise from the second through third stories. Lincoln Hall is currently used for classrooms, offices, and is the home of the PSU School of Fine and Performing Arts.

The vicinity around the site is largely defined by other buildings that are part of the PSU physical plant within the University District. Cramer Hall is immediately south of the site and the South Park Blocks are to the west. Downtown commercial, retail, and multi-dwelling residential development outside of the University District is located across SW Market Street to the north and across SW Broadway to the south.

Zoning: The Central Commercial (CX) zone is intended to provide for commercial development within Portland's most urban and intense areas. A broad range of uses is allowed to reflect Portland's role as a commercial, cultural, and governmental center. Development is intended to be very intense with high building coverage, large buildings, and buildings placed close together.

The design (d) overlay zone promotes the conservation and enhancement of areas of the City with special historic, architectural or cultural value. New development and exterior modifications to existing development must meet the Community Design Standards (Chapter 33.218) or are subject to design review.

Land Use History: City records indicate that prior land use reviews include the following:

- CU 098-79: Approval of various facility improvements identified in PSU's Master Plan.
- CU 145-86: Approval of classroom, library, and physical plant additions on the PSU campus.
- LUR 96-00180 DZ: Approval of the installation of a permanent, unmanned broadcast facility.
- LUR 00-00513 DZ: Approval of rooftop cellular equipment near the northeast corner of Lincoln Hall on the PSU campus.
- LU 02-126857 DZ: Approval to install a GPS device and one LMU antenna on the rooftop of Lincoln Hall and to lower 6 existing panel antennas.
- LU 02-143292 DZ: Design Commission approval of PSU's Walk of the Heroines Project.
- LU 09-114495 DZ: Approval to replace existing single pane wood windows in Lincoln Hall with aluminum-clad wood windows.
- LU 09-141963 DZ: Design review approval for a new rooftop unit & entrance doors for Lincoln Hall
- 09-172668 DA: Design Advice Request with the Design Commission to alter the central bay and base of the east facade of Lincoln Hall, facing SW Broadway, in order to create classroom space and a new public entry (Similar to the current proposal).

Agency Review: A "Notice of Proposal in Your Neighborhood" was mailed on March 23, 2010. The following Bureaus have responded with no issues or concerns: BDS Fire Life Safety.

The Water Bureau responded with the following comment: Exhibit E-1

The Water Bureau has no objections to the building additions, exterior modifications and signage, for the building located at 1620 SW Park Ave. There is an existing 3" metered service (Serial #20023015, Account #2993701400) and a 6" metered fire service (Serial #OUTFL1620, Account #2993701300) that provides water to this location from the existing 12" CI main in SW Broadway St. The estimated static pressure range for this location is 57 psi to 72 psi at the service elevation of 134 ft. Additions to and or remodeling/renovation of a building will require a Water Bureau

review for fixture count at the time of submittal of the building permit. If a meter size upgrade is required, all applicable costs will be the responsibility of the applicant. Conditions of Approval: None. Please call me if you have any questions or comments. My phone number is 503-823-7171

The Fire Bureau responded with the following comment: Exhibit E-2

The following conditions of approval and informational comments are based on the land use review information provided to the Fire Bureau. Fire Bureau requirements are generated from the International Fire Code, the 2007 Oregon Fire Code and Title 31. All current Fire Code requirements apply and are required to be met. If these conditions cannot be met, an appeal providing an alternative method is an option for the applicant. If the applicant chooses to appeal a requirement, the appeal must be listed as a condition in the decision. Fire Code Appeals can be obtained at the Fire Bureau web page, www.portlandonline.com. The comment section of this document is intended for informational purposes only.

CONDITIONS OF APPROVAL AT TIME OF DEVELOPMENT:

The applicant is required to obtain a commercial building permit for the proposed work. The Fire Bureau will review the building permit and will apply any requirements through that review process. All Fire Code requirements will apply at time of permit review.

The Site Development Section of BDS responded with the following comment.

Site Development has no objection to approval of the proposed Design Review. On-site infiltration of stormwater is not recommended due to generally poor soil conditions and setback constraints. Please refer to the response from BES regarding sanitary sewer and stormwater requirements. Geotechnical engineering issues will be evaluated at the time of building permit review. An erosion control plan will be required at the time of building permit review. Questions may be directed to Jason Butler-Brown, (503) 823-4936.

The Bureau of Environmental Services responded with the following comment:

BES has no objections to the proposed project because it appears no new/redeveloped impervious area will be created that would trigger Stormwater Management Manual requirements. BES concurs with BDS Site Development's recommendation against onsite infiltration due to generally poor soil conditions and setback constraints. At the time of building permit review BES will assess the site utility plan submitted for review to ensure existing storm and sanitary connections will not be impacted by this project. Further development of the property would be subject to the Bureau of Environmental Services' standards and requirements during the building plan review process.

The Bureau of Transportation Engineering responded with the following comment:

Proposal for a new educational classroom bay (window) along the Broadway frontage of the PSU's Lincoln Hall building. Based on plans submitted, the proposed window will be 40-ft wide and project 10-inches into the public right-of-way. The proposed window's overall width (as compared to the width of the facade) as well as the proposed window area (as compared with the area of the entire facade), satisfy the standards identified in the City's Code Guide for Oriel Windows. The applicant will need to request approval of the width of the oriel window through Design Review since it exceeds the Code Guide's 12-ft width standard. The proposed oriel window can be supported by PBOT, as designed.

The Bureau of Parks-Forestry Division responded with the following comment:

Street trees may be required.

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on March 23, 2010. One written response was received. Exhibit F.1 was submitted on March 24, 2010. The response was primarily concerned with the proposed design and its relationship to the historic

quality of Lincoln Hall. The request was for a redesign that “respects the materials and proportions of the existing building, a design that does not include floor-to-ceiling glazing. A new design should include the ‘belly band’ and cornice of the existing building, and respect the fenestration pattern. Yes, the windows could be bigger than the adjacent existing ones, but there should be some relationship between the old and the new. There should probably be some matching brickwork in the addition.”

ZONING CODE APPROVAL CRITERIA

Design Review

Section 33.825.010 Purpose of Design Review

Design review ensures that development conserves and enhances the recognized special design values of a site or area. Design review is used to ensure the conservation, enhancement, and continued vitality of the identified scenic, architectural, and cultural values of each design district or area. Design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area. Design review is also used in certain cases to review public and private projects to ensure that they are of a high design quality.

Section 33.825.055 Design Review Approval Criteria

A design review application will be approved if the review body finds the applicant to have shown that the proposal complies with the design guidelines for the area.

Findings: The site is designated with design (d) overlay zoning; therefore, the proposal requires Design Review approval. Because of the site’s location, the applicable design guidelines are the Central City Fundamental Design Guidelines.

Central City Fundamental Design Guidelines

These guidelines provide the constitutional framework for all Design Review areas in the Central City. The Central City Fundamental Design Guidelines and the River District Design Guidelines focus on four general categories. **(A) Portland Personality** addresses design issues and elements that reinforce and enhance Portland’s character. **(B) Pedestrian Emphasis** addresses design issues and elements that contribute to a successful pedestrian environment. **(C) Project Design** addresses specific building characteristics and their relationships to the public environment. **(D) Special Areas** provides design guidelines for the four special areas of the Central City.

Central City Plan Design Goals

This set of goals are those developed to guide development throughout the Central City. They apply within the River District as well as to the other seven Central City policy areas. The nine goals for design review within the Central City are as follows:

1. Encourage urban design excellence in the Central City;
2. Integrate urban design and preservation of our heritage into the development process;
3. Enhance the character of the Central City’s districts;
4. Promote the development of diversity and areas of special character within the Central City;
5. Establish an urban design relationship between the Central City’s districts and the Central City as a whole;
6. Provide for a pleasant, rich and diverse pedestrian experience for pedestrians;
7. Provide for the humanization of the Central City through promotion of the arts;
8. Assist in creating a 24-hour Central City which is safe, humane and prosperous;
9. Ensure that new development is at a human scale and that it relates to the scale and desired character of its setting and the Central City as a whole.

Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.

A4. Use Unifying Elements.

A5. Enhance, Embellish, and Identify Areas.

- A8. Contribute to a Vibrant Streetscape.**
- A9. Strengthen Gateways.**
- A7. Establish and Maintain a Sense of Urban Enclosure.**
- C4. Complement the Context of Existing Buildings.**
- C7. Design Corners that Build Active Intersections.**
- C8. Differentiate the Sidewalk-Level of Buildings.**
- C9. Develop Flexible Sidewalk-Level Spaces.**

Findings: One goal of this project is to create a second front door for Lincoln Hall on SW Broadway, a main street through the downtown core of Portland. When Lincoln Hall was originally built, Broadway was a secondary street, with primary circulation focused on the Park Blocks. The Park frontage is where the front door of Lincoln Hall is today and, appropriately, will remain. Some time after the building was constructed the Park Blocks became a pedestrian core of the Portland State campus. The Broadway façade that was once the back side of the building has not become a primary civic face. However, the original design of the building does not address Broadway in an inviting way; there are large areas of blank wall and a lack of windows/doors and activity at street level, resulting in a poor pedestrian experience. The exterior of the building today gives no hint of the diverse activities and public uses that occur within Lincoln Hall.

It is appropriate for this cultural facility to have a dynamic presence at Broadway. The addition of a visible and public entrance and a glazed bay of teaching spaces will transform the building's urban presence, revealing the energy and artistry of the school and appropriately expressing the important role that Lincoln hall plays in the cultural life of the City. On an urban level this project will contribute to and reinforce the identity of Broadway as an entertainment and cultural corridor in the City and enhance the pedestrian experience at the street level. Though this site is not a dedicated gateway, its presence at the edge of campus gives it gateway qualities; and, appropriately this project will provide a visual symbol of the University, more clearly identifying the boundary where the campus and the city engage.

These guidelines are met.

A6. Reuse/Rehabilitate/Restore Buildings.

Findings: The scope of this design review proposal is one piece of a larger project that is intended to rehabilitate the entire building - providing seismic, ADA compliant, and energy saving upgrades. (LU 09-114495 DZ and LU 09-141963_DZ approved the associated upgrades that are under construction and also recently completed.) This specific scope of work includes renovating underutilized spaces into theaters and classrooms, making the building more viable as PSU's Department of Music, Theater and Dance and as a public theater. This guideline is met.

- B2. Protect the Pedestrian.**
- B6. Develop Weather Protection.**
- C12. Integrate Exterior Lighting.**

Findings: The proposed significant canopy element along SW Broadway will incorporate lighting and signage. The canopy and the transparent and illuminated lobby will, together, provide adequate illumination and weather protection for the sidewalk. The result will be a successful pedestrian experience that activates this important City street. These guidelines are met.

B7. Integrate Barrier-Free Design.

Findings: The existing main building entrance on SW Park is not accessible. There is an accessible entrance on SW Market, although it is clearly and architecturally a lesser entrance. The proposed project will create a significant entrance on SW Broadway that

will be accessible to all. This guideline is met.

C2. Promote Quality and Permanence in Development.

C3. Respect Architectural Integrity.

C5. Design for Coherency.

C10. Integrate Encroachments.

Findings: The design of the renovation involves two discreet additions to the existing façade, with limited impacts to the building’s historic fabric. The design approach integrates a major new building entry including a projecting canopy, with a glazed bay of teaching studios that occupy the previously blank wall at the center of the building’s façade. At the street level a new glazed entry is inserted in the northern recess along Broadway. Set between the masonry bay at the north corner and the projecting bay of the original boiler room in the middle of the façade, this entry replaces an existing solid terra cotta wall. The lobby occupies what was once mechanical space that was vacated as a part of the base renovation. The lobby will invite movement into the building, creating a truly accessible major public entrance that contributes vitality to the adjoining sidewalk. Former windows at the base of the northern bay of the building are renovated to provide display cases for posters and information about events. South of the entry the canopy provides a separation between the glazed bay of the teaching studio and the solid base of the boiler room below. The new glazed bay above occupies the center of this elevation, providing a centralized symmetrical element. The architects describe the role of this element as a, “contemporary interpretation of the center bay that existing on the building’s western elevation, which is the original main entry”. Like the original entry bay, this new glass bay extends above the typical parapet of the building, with solid projecting walls that receive the cornice line of the flanking walls. The upper floors of the new bay house teaching studios for music and dance, revealing in a dramatic fashion these uses within the building to the city.

The design deliberately contrasts with the historic character of the building, distinctly expressing the new in juxtaposition to the original building, while referencing specific elements of scale and proportion from the original building. The bay, in particular, has been increasingly simplified in its lines and detailing to maintain its presence as a simple element added to an ornate and symmetrical historic building. The project intentionally and most significantly impacts a solid brick wall built in 1974 to limit its effect on historic materials. Though, the new bay’s location does require the removal of some terra cotta trim ornamentation. The introduction of a metal surround at the glass bay helps end these historic pieces into a solid material; the metal will be of a color similar to the terra cotta.

These guidelines are met.

C13. Integrate Signs.

Findings: This site is not included in the “Broadway Unique Sign District” – it is a few blocks south. The Unique Sign District is encouraged to “provide opportunities for the development of large, vertically oriented, bright, and flamboyant signs that add to the unique character of this Broadway environment”. However, this site and the building’s use have a clear tie to the entertainment focus of the Broadway Unique Sign District. And, the building has a strong visual connection to the heart of Broadway’s cultural facilities. The proposed blade sign at the east elevation is well detailed to add to the quality signs of its kind further into the district. And, it is proportioned appropriately for the 2 alternate areas it is proposed, high on the building and in between bands of ornamentation (with enough room above and below the sign to avoid interference with historic decoration.) A building of this scale, type and gateway-quality location is fitting for a sign larger than typically approved in downtown. The only other sign subject to design review is one alternate of the sign area proposed immediately south of the entry. It

includes non-illuminated dimensional letters that will be no taller than 8". The modest scale of these sign elements, their alignments with the stone veneer, and their placement in the larger stone wall area all support its compliance with Guideline C13. These guidelines are met.

D1. Park Blocks.

Findings: The existing historic main entry to Lincoln Hall will remain intact and active on Park Avenue. This guideline is met.

Modification Review

Section 33.825.040 Modifications That Will Better Meet Design Review Requirements:

The review body may consider modification of site-related development standards, including the sign standards of Chapters 32.32 and 32.34 of the Sign Code, as part of the design review process. These modifications are done as part of design review and are not required to go through the adjustment process. Adjustments to use-related development standards (such as floor area ratios, intensity of use, size of the use, number of units, or concentration of uses) are required to go through the adjustment process. Modifications that are denied through design review may be requested as an adjustment through the adjustment process. The review body will approve requested modifications if it finds that the applicant has shown that the following approval criteria are met:

- A. **Better meets design guidelines.** The resulting development will better meet the applicable design guidelines; and
- B. **Purpose of the standard.** On balance, the proposal will be consistent with the purpose of the standard for which a modification is requested.

Modification: Table 32.32-3 limits the area of a sign extending into the right-of-way to 30 SF. The proposed projecting sign at the East elevation, facing SW Broadway, is 99 SF and fully within the right-of-way.

Purpose Statement:

These regulations balance the need to protect the public safety and welfare, the need for a well maintained and attractive community, and the need for adequate identification, communication and advertising. The regulations for signs and awnings have the following specific objectives:

- A. *To ensure that signs and awnings are designed, constructed, installed and maintained according to minimum standards to safeguard life, health, property and public welfare;*
- B. *To allow and promote positive conditions for sign communication while at the same time avoiding nuisances to nearby properties;*
- C. *To reflect and support the desired character and development patterns of the various zones, overlay zones, and plan districts and promote an attractive environment;*
- D. *To allow for adequate and effective signs in commercial and industrial zones while preventing signs from dominating the appearance of the area; and*
- E. *To ensure that the constitutionally guaranteed right of free speech is protected.*

The regulations allow for a variety of sign types and sizes for a site. The provisions do not ensure or provide for every property or business owner's desired level of visibility for the signs. The sign standards are intended to allow signs to have adequate visibility from streets and rights-of-way that abut a site, but not necessarily to streets and rights-of-way farther away.

Findings: This site is not included in the "Broadway Unique Sign District" – it is a few blocks south. The Unique Sign District is encouraged to "provide opportunities for the development of large, vertically oriented, bright, and flamboyant signs that add to the unique character of this Broadway environment". However, this site and the building's use have a clear tie to the entertainment focus of the Broadway Unique Sign District. And, the building has a strong visual connection to the heart of Broadway's cultural facilities. For these reasons, Guidelines A5, A8, A9 are better met and purpose statement C is met with this proposal. The proposed blade sign at the east elevation is well detailed

to add to the quality signs of its kind further into the district (consistent with purpose statement A). Its illumination is limited to only the ends and copy of the sign face (consistent with purposed statement B). And, it is proportioned appropriately for the 2 alternate areas it is proposed, high on the building and in between bands of ornamentation (with enough room above and below the sign to avoid interference with historic decoration) – consistent with purpose statement D. A building of this scale, type and gateway-quality location is fitting for a sign larger than typically approved in downtown. For these reasons, Guidelines C2, C3 and C13 are better met. The approval criteria are met.

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

The design review process exists to promote the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. The proposal meets the applicable design guidelines and therefore warrants approval.

ADMINISTRATIVE DECISION

Approval of a clear glass bay addition and a new clear glass entry at SW Broadway, per the approved plans, Exhibits C-1 through C-10, signed and dated April 21, 2010, subject to the following conditions:

- A. As part of the building permit application submittal, each of the 4 required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C.1-C.10. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 10-114505 DZM. No field changes allowed."

Staff Planner: Kara Fioravanti

Decision rendered by:  **on April 21, 2010**

By authority of the Director of the Bureau of Development Services

Decision mailed: April 23, 2010

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on February 25, 2010, and was determined to be complete on March 18, 2010.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on February 25, 2010.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be

waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period.

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed to the Design Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on May 7, 2010** at 1900 SW Fourth Ave. Appeals can be filed Tuesday through Friday on the first floor of the Development Services Center until 3 p.m. After 3 p.m. and Mondays, appeals must be submitted to the receptionist at the front desk on the fifth floor. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization’s boundaries. The vote to appeal must be in accordance with the organization’s bylaws. Low-income individuals appealing a decision for their personal residence that they own in whole or in part may qualify for an appeal fee waiver. In addition, an appeal fee may be waived for a low income individual if the individual resides within the required notification area for the review, and the individual has resided at that address for at least 60 days. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Fee waivers for low-income individuals must be approved prior to filing the appeal; please allow 3 working days for fee waiver approval. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Design Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 550 Capitol St. NE, Suite 235, Salem, Oregon 97301, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that

issue. Also, if you do not raise an issue with enough specificity to give the Design Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed*, The final decision may be recorded on or after **May 10, 2010 – (the day following the last day to appeal)**.
- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- By Mail: Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- In Person: Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034
For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun. Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

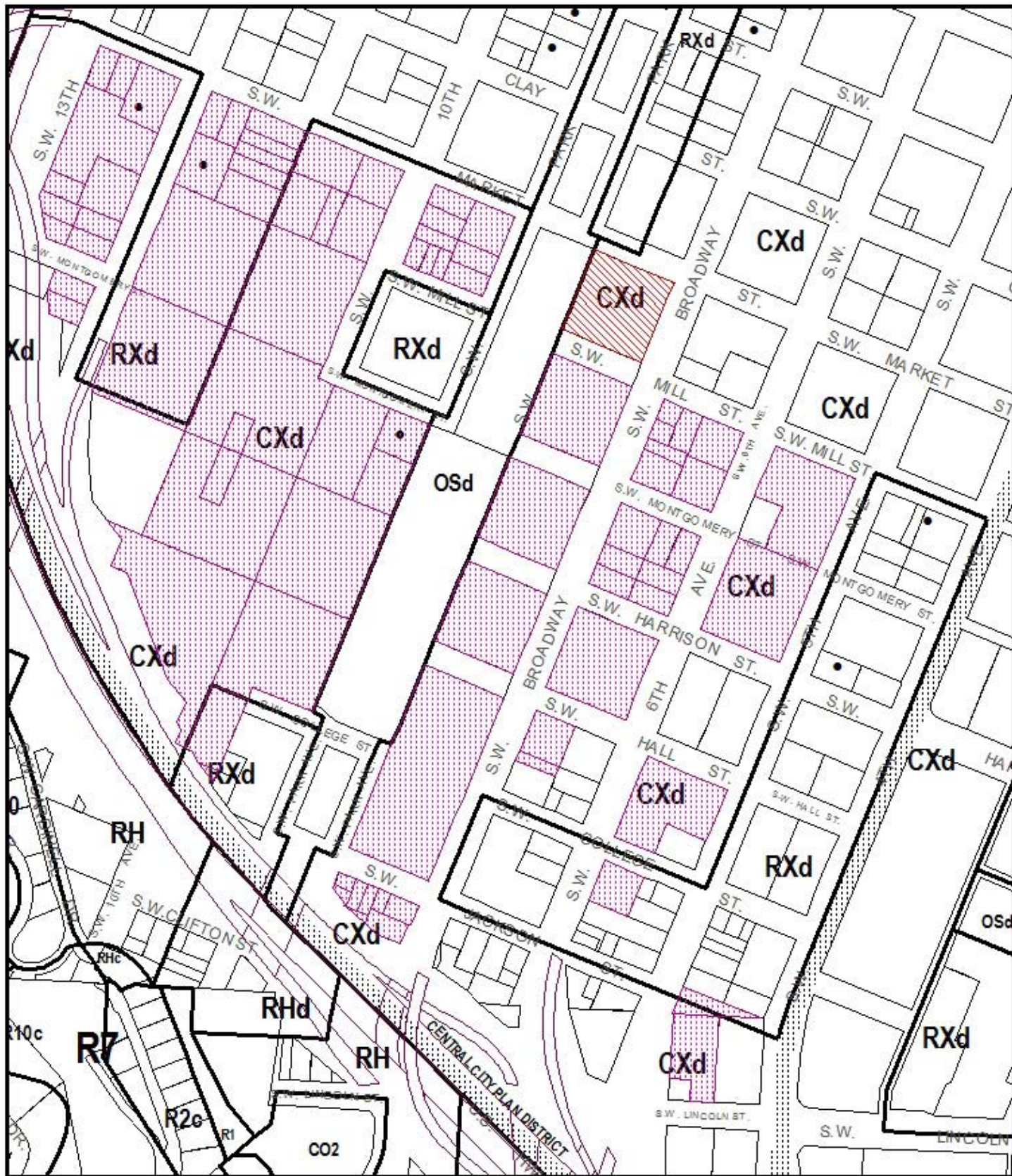
EXHIBITS

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Original Submittal, narrative and drawings
- B. Zoning Map (attached)
- C. Plans/Drawings:
 1. Existing and proposed Site Plan
 2. Perspectives
 3. East Elevation, enlarged plan (attached)
 4. Partial 2nd floor
 5. Roof plan
 6. Wall Section, Enlarged elevation, Section at cornice, Plan at cornice
 7. Enlarged Plan, Section, Elevation at entry
 8. Blade Sign details

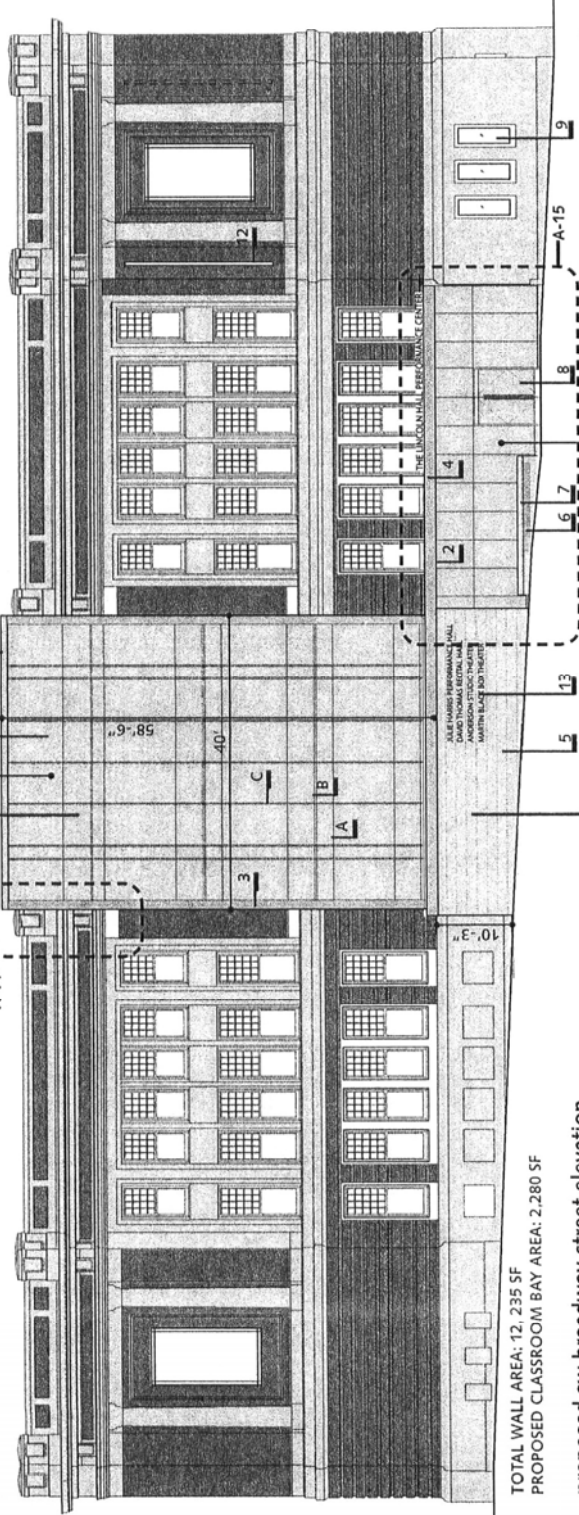
- 9. Wall sign details
- 10. Materials and details
- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Responses:
 - 1. Water Bureau
 - 2. Fire Bureau
- F. Correspondence:
 - 1. Klotz, 3-24-10, opposition to proposed design and its relationship to the existing building
- G. Other:
 - 1. Original LU Application
 - 2. Site History Research

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).



NEW GLAZED EDUCATIONAL CLASSROOM BAY

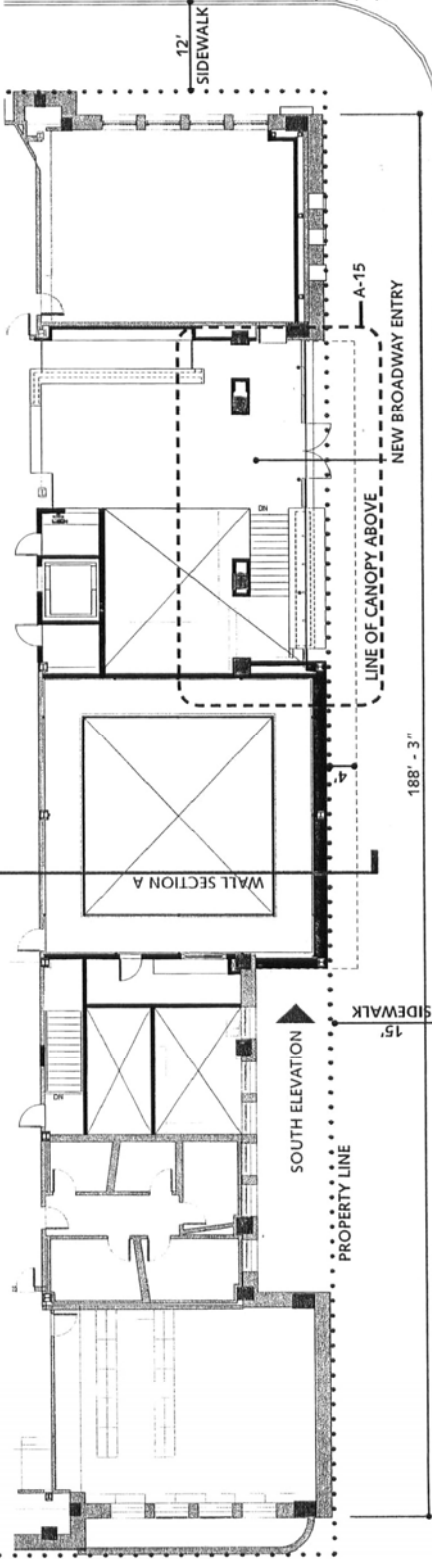
CORNICE DETAIL A-14



TOTAL WALL AREA: 12,235 SF
PROPOSED CLASSROOM BAY AREA: 2,280 SF

proposed sw Broadway street elevation

south elevation



proposed partial lobby plan along Broadway Street

proposed design

BROADWAY STREET

City of Portland - Bureau of Development Services

Approved: [Signature] Date 4-21-10

This approval applies only to the reviews requested and is subject to any conditions of approval. Additional zoning requirements may apply.

PSU Lincoln Hall Broadway Renovations

boora

case number: 09-472668-BA

exhibit A - 11

scale: 1/16" = 1'-0"



DRAWING NOTES:

- 1 ALUMINUM 4-SIDED SSG CURTAIN WALL - SEE A-17 FOR TYPE
- 2 STUCCO SOFFIT
- 3 METAL FASCIA PANEL
- 4 METAL FASCIA PANEL @ CANOPY
- 5 STONE VENEER WALL
- 6 FIXED ALUMINUM LOUVER
- 7 STONE BENCH
- 8 ALUMINUM STOREFRONT ENTRY DOOR
- 9 GLASS DISPLAY CASE
- 10 RECESSED DOWNLIGHT
- 11 EXISTING MASONRY
- 12 SIGN A - SEE A-16 C, 8
- 13 SIGN B - SEE A-16 C, 9

J. H. C. 3