



City of Portland, Oregon
Bureau of Development Services
Land Use Services

1900 SW 4th Avenue, Suite 5000
Portland, Oregon 97201
503-823-7300
Fax 503-823-5630
TTY 503-823-6868
www.portlandonline.com/bds

Date: July 7, 2010
To: Interested Person
From: Chris Caruso, Land Use Services
503-823-5747 / Christine.Caruso@portlandoregon.gov

FINAL DECISION BY THE DESIGN COMMISSION
RENDERED ON July 1, 2010

CASE FILE NUMBER: LU 10-113888 DZM
PC # 09-139471

International School Modular Classroom Building

GENERAL INFORMATION

Applicant: Mark Garvey
Mark Garvey Architect
809 N Russell St
Portland, OR 97227

Representatives: Rob Timmons
The International School
025 SW Sherman St
Portland, OR 97201

Alphonso Orsini
The International School
025 SW Sherman St
Portland, OR 97201

Michael Hummel
PO Box 8099
025 SW Sherman St
Portland, OR 97207

Site Address: 031 SW CARUTHERS ST

Legal Description: BLOCK D E 1/2 OF LOT 3&4, CARUTHERS ADD; BLOCK D W 1/2 OF LOT 3&4, CARUTHERS ADD

Tax Account No.: R140908260, R140908270, R140908470

State ID No.: 1S1E03CD 01700, 1S1E03CD 01800

Quarter Section: 3229

Neighborhood: Portland Downtown, contact Jennifer Geske at 503-750-9843.

Business District: Downtown Retail Council, contact Lisa Frisch at 503-552-6740.

District Coalition: Neighbors West/Northwest, contact Mark Sieber at 503-823-4212.

Plan District: Central City - Downtown

Zoning: CXd, Central Commercial with design overlay

Case Type: DZM, design review with modifications
Procedure: Type III, with a public hearing before the Design Commission. The decision of the Design Commission can be appealed to City Council.

Proposal:

The applicant seeks design review approval for the construction of a new modular classroom building with separate trash enclosure, landscaping, on-grade mechanical units, and stormwater facilities as well as parking lot upgrades that include a new bicycle storage building and landscape buffers for the International School, located in the Central City Plan District. The classroom building and trash enclosure are located on a parcel north of the main school building and are separated from the main school building and outdoor areas by parcels in other ownership. The parking lot landscape upgrades and bicycle storage building will occur in the school parking lot directly north of the main school building.

The classroom building and trash enclosure materials include cementitious wall panels, standing seam metal roofs, concrete foundations and walkways, cedar slat sun screens with metal rod tiebacks, fiberglass windows, metal stair and walkway railings, wall-mounted cylinder lights, foundation vents, and 6" diameter pipe columns supporting entry overhangs. One 12 SF sign will be installed along the south foundation wall and will be made of individual 9" tall by ½" thick raised acrylic letters.

The parking lot upgrades include new landscaping along the west property line to meet current landscaping standards as well as the removal of nuisance plants. The new bicycle building will hold 24 bikes on wall-mounted racks. Its exterior finishes include pre-finished horizontal corrugated metal siding, pre-finished corrugated metal roofing, metal trim, welded wire fabric mesh in two wall openings, hollow metal door and frame, and one cylinder light above the door. Both of these items satisfy the requirements for nonconforming development upgrades. No additional on-site vehicle parking or loading is being proposed.

The site is within the Downtown Pedestrian District. Design Review is required for new construction within the Central City Plan District.

Modifications Being Requested Include:

1. 33.130.230 Ground Floor Windows – request is to reduce the amount of ground floor windows from the required 62 SF of area to 21 SF of area.

A Modification is required to allow deviations from code standards.

Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The applicable approval criteria are:

- 33.825 Design Review
- 33.825.040 Modifications
- Central City Fundamental Design Guidelines

DESIGN COMMISSION DECISION

It is the decision of the Design Commission to approve Design Review for a new modular classroom building, bicycle storage building, one 12 SF sign installed along the south foundation wall that is made of individual 9" tall by ½" thick raised non-illuminated acrylic letters, and parking lot landscape upgrades to the International School sites located in the Downtown Subdistrict of the Central City Plan District;

Approval is recommended for the following Modification request:

1. Ground Floor Windows (33.130.230) – to reduce the amount of ground floor windows from the required 62 SF of area to 21 SF of area; and

Approval subject to the following conditions:

- A. As part of the building permit application submittal, the following development-related conditions (A-B) must be noted on each of the 4 required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C.1-C.16. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 10-113888 DZM. All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED." No field changes allowed."
- B. Metal siding and metal roofing must be 22 gauge or thicker.

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By: 
Jeffrey Stuhr, Design Commission Chair

Application Filed: February 23, 2010
Decision Rendered: July 1, 2010

Decision Filed: July 2, 2010

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on February 23, 2010, and was determined to be complete on **April 28, 2010**.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on February 23, 2010.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case the applicant waived the 120-day review period, as stated with Exhibit (A-2).

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. This report is the final decision of the Design Commission with input from other City and public agencies.

Conditions of Approval. This approval may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term "applicant" includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the

use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appeal of this decision. This decision is final unless appealed to City Council, who will hold a public hearing. Appeals must be filed by 4:30 pm on July 15, 2010 at 1900 SW Fourth Ave. Appeals can be filed Tuesday through Friday on the first floor in the Development Services Center until 3 p.m. After 3 p.m. and on Monday, appeals must be submitted to the receptionist at the front desk on the fifth floor. Information and assistance in filing an appeal is available from the Bureau of Development Services in the Development Services Center or the staff planner on this case. You may review the file on this case by appointment at, 1900 SW Fourth Avenue, Suite 5000, Portland, Oregon 97201.

If this decision is appealed, a hearing will be scheduled and you will be notified of the date and time of the hearing. The decision of City Council is final; any further appeal is to the Oregon Land Use Board of Appeals (LUBA).

Upon submission of their application, the applicant for this land use review chose to waive the 120-day time frame in which the City must render a decision. This additional time allows for any appeal of this proposal to be held as an evidentiary hearing, one in which new evidence can be submitted to City Council.

Who can appeal: You may appeal the decision only if you have written a letter which was received before the close of the record at the hearing or if you testified at the hearing, or if you are the property owner or applicant. Appeals must be filed within 14 days of the decision. **An appeal fee of \$4,626.00 will be charged (one-half of the application fee for this case).**

Neighborhood associations and low-income individuals may qualify for a waiver of the appeal fee. Additional information on how to file and the deadline for filing an appeal will be included with the decision. Assistance in filing the appeal and information on fee waivers are available from the Bureau of Development Services in the Development Services Center, 1900 SW Fourth Ave., First Floor. Fee waivers for low income individuals must be approved prior to filing your appeal; please allow three working days for fee waiver approval. Fee waivers for neighborhood associations require a vote of the authorized body of your association. Please see appeal form for additional information.

Recording the final decision.

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- By Mail: Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- In Person: Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034

For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Zone Change and Comprehensive Plan Map Amendment approvals do not expire.

Applying for your permits. A building permit, occupancy permit, or development permit must be obtained before carrying out this project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed here.
- All applicable development standards, unless specifically exempted as part of this land use review.
- All requirements of the building code.
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

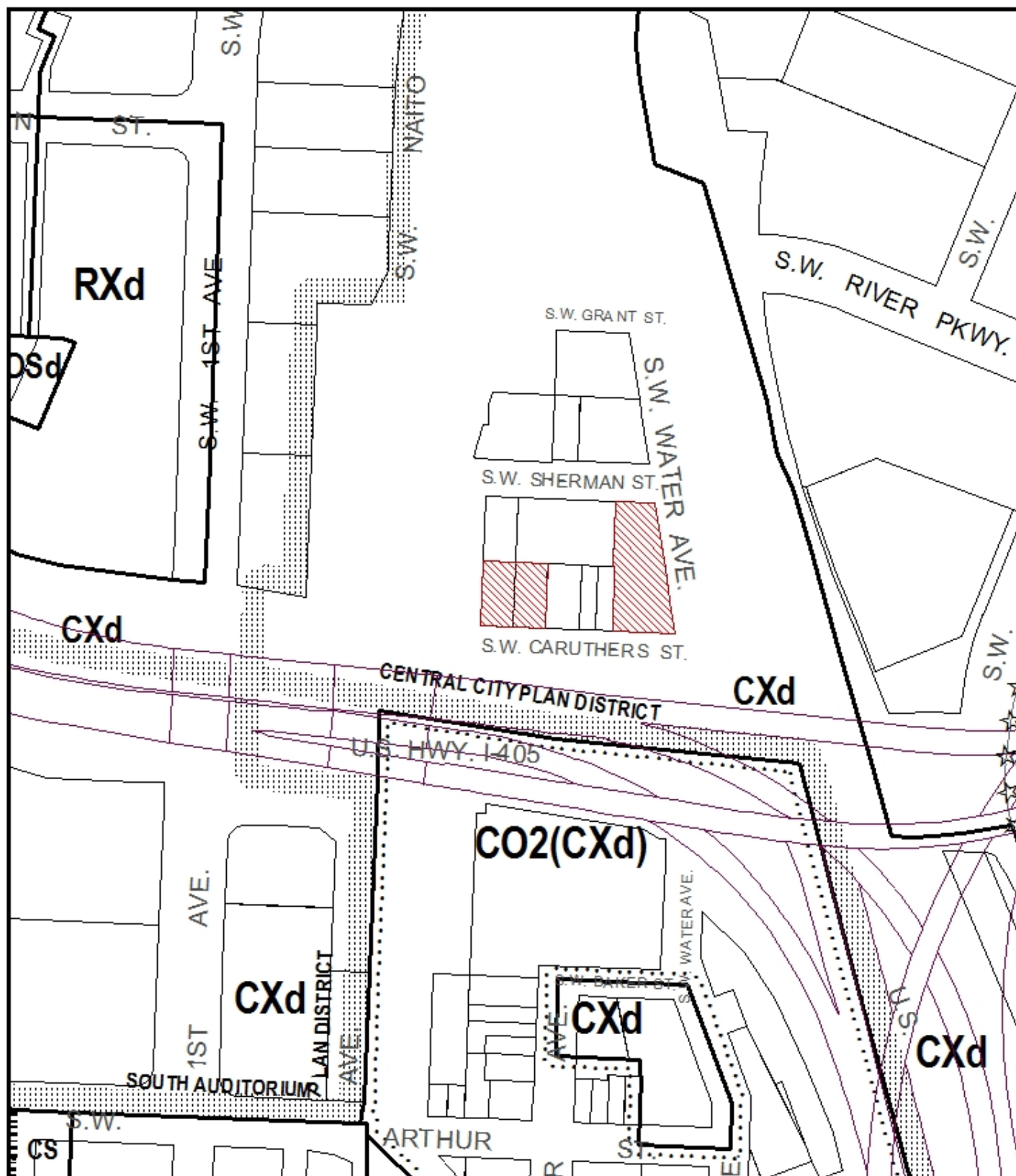
Chris Caruso
July 1, 2010

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).

EXHIBITS – NOT ATTACHED UNLESS INDICATED

- A. Applicant's Information
 - 1. Applicant's Statement
 - 2. 120-Day Waiver
- B. Zoning Map
- C. Plan & Drawings
 - 1. Campus Site Plan (attached)
 - 2. Vicinity Map
 - 3. Utility Plan
 - 4. Landscape Plan
 - 5. Classroom Building Site Plan
 - 6. Nonconformance Upgrades (attached)
 - 7. Floor Plan (attached)
 - 8. Bike Parking Bldg. (attached)
 - 9. Exterior Elevations (attached)
 - 10. Building Sections & Exterior Details
 - 11. Cover Sheet
 - 12. Wall mount Light Fixtures
 - 13. Industrial-Commercial Roofing & Siding
 - 14. Window Cross Section
 - 15. Utility Plan C1
 - 16. Color Board

- D. Notification information:
 - 1. Request for response
 - 2. Posting letter sent to applicant
 - 3. Notice to be posted
 - 4. Applicant's statement certifying posting
 - 5. Mailed notice
 - 6. Mailing list
- E. Agency Responses:
 - 1. Bureau of Environmental Services
 - 2. Water Bureau
 - 3. Site Development Section of BDS
 - 4. Life Safety Review Section of BDS
 - 5. Fire Bureau
- F. Letters: none received
- G. Other
 - 1. Original LUR Application
 - 2. Site History Research
 - 3. Incomplete Letter
 - 4. Site Photos
 - 5. Pre-Application Conference Summary Memo
 - 6. Design Advice Request Summary memo
 - 7. Request for Completeness Review
 - 8. Staff Memo dated June 23, 2010
 - 9. Staff PowerPoint dated July 1, 2010
- cc: Applicants and Representatives
Neighborhood Associations
Those who testified, orally or in writing (none)
City Auditor's Office
Development Services Center
BDS Staff for Bureau of Buildings
BDS Staff for Commission Book

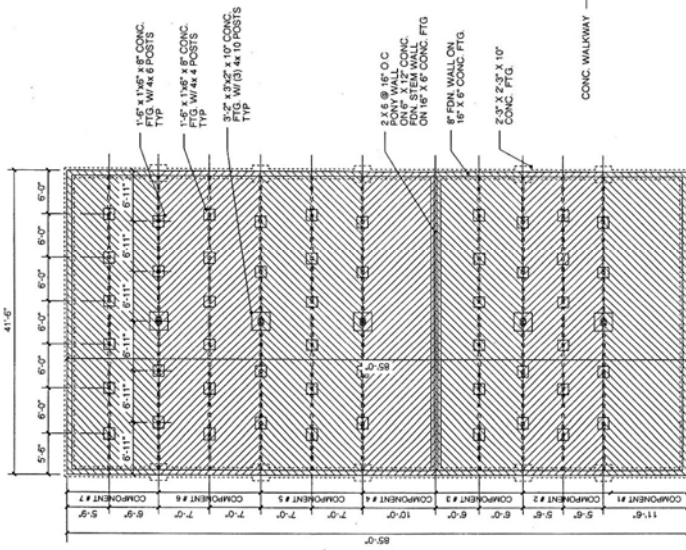


ZONING

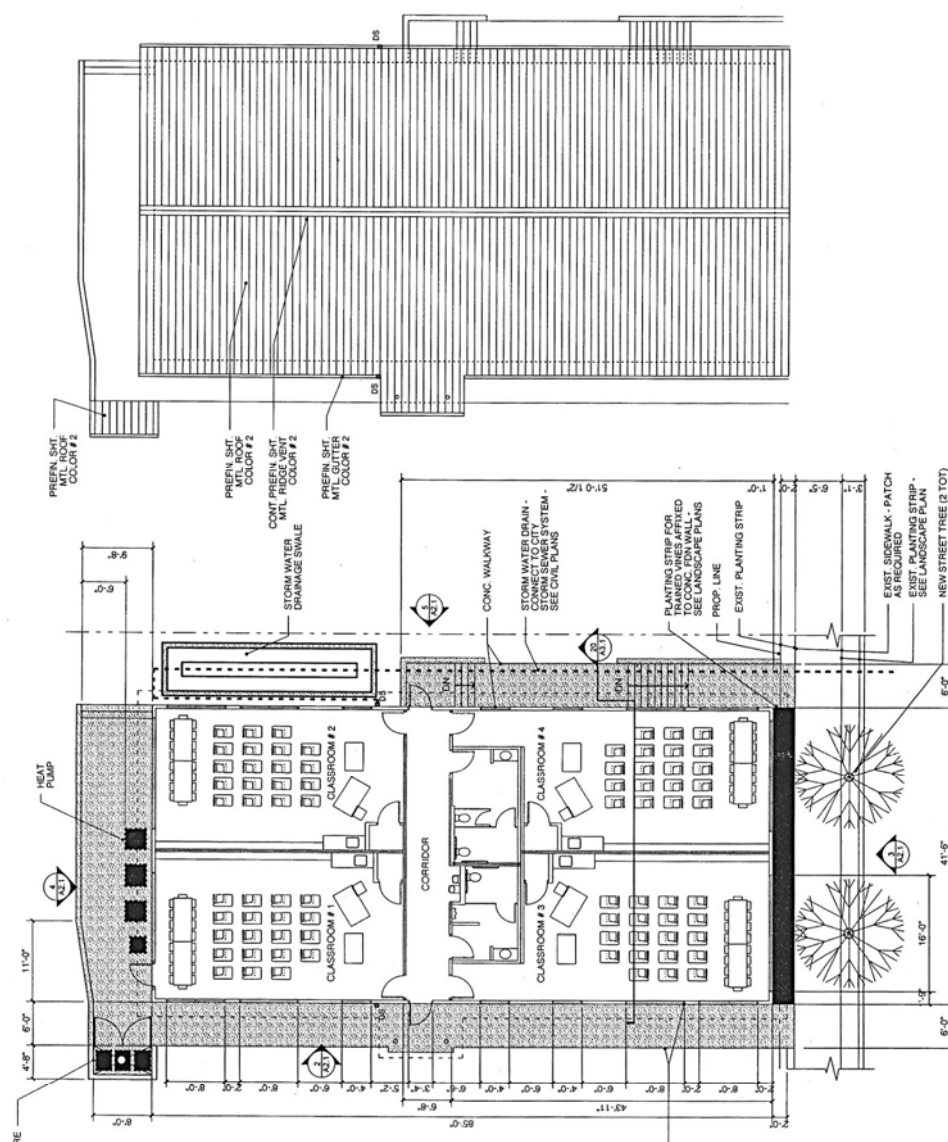


This site lies within the:
CENTRAL CITY PLAN DISTRICT

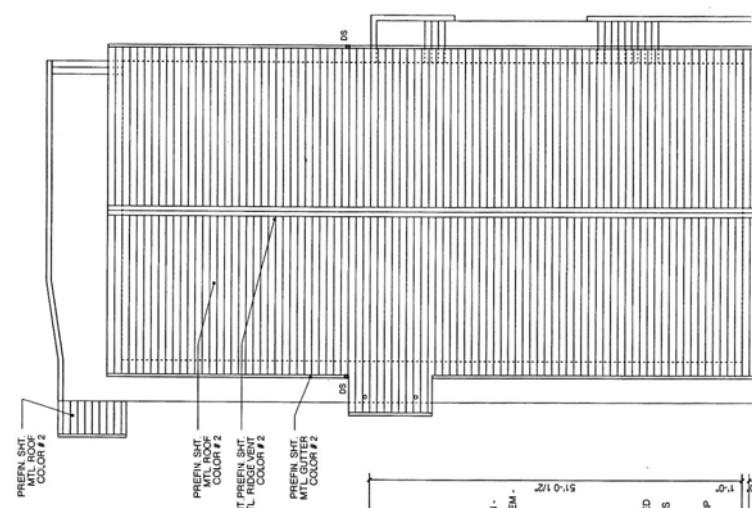
File No.	LU 10-113888 DZM
1/4 Section	3229
Scale	1 inch = 200 feet
State_Id	1S1E03CD 1300
Exhibit	B (Jun 03,2010)



20 FOUNDATION PLAN 1/8" = 1'-0"



18 FLOOR PLAN 1/8" = 1'-0"



16 ROOF PLAN 1/8" = 1'-0"

EXH. C-7

A1.1

INTERNATIONAL SCHOOL
CLASSROOM EXPANSION
025 S.W. SHERMAN STREET
PORTLAND, OR 97201

FOUNDATION PLAN
FLOOR PLAN
ROOF PLAN

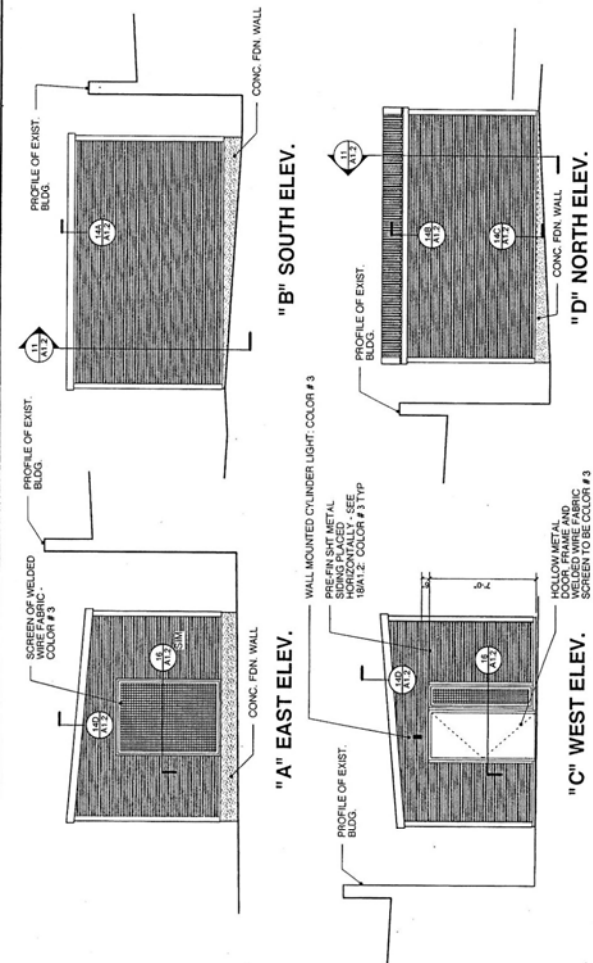
LAND USE REVIEW
LU 10-113888 DZM

MARK GARDNER ARCHITECT
809 N. RUSSELL ST. SUITE 205
PORTLAND, OR 97227
TEL. 503.284.8899
FAX 503.284.9908

NOV. 16, 2009

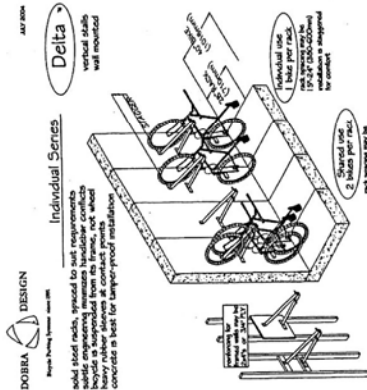
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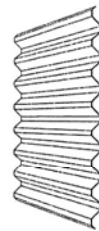


NOTE: 16 LONG TERM BIKE PARKING SPACES PROVIDED PER REQUIREMENTS OF LU 05-104196 OZM.
THE PROPOSED PROJECT REQUIRES 2 LONG TERM BIKE PARKING SPACES PER CLASSROOM = 8.
TOTAL LONG TERM BIKE PARKING = $16 + 8 = 24$

BIKE PARKING BUILDING PLAN

 $\frac{1}{4}^\circ = 15'$ 

FLASHING DETAILS

14
NOT TO SCALE

WALL MOUNTED BIKE RACK

NOT TO SCALE

SHEET METAL SIDING

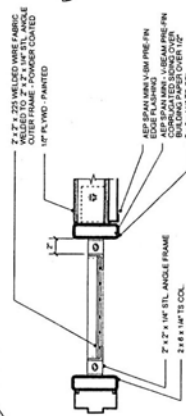
18 NOT TO SCALE

ENTRY

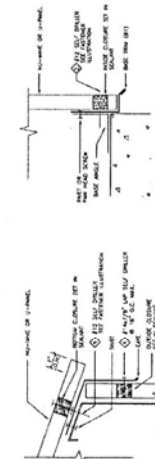
1998 - 1999

SECTION

111

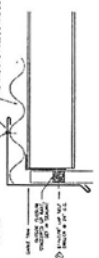


EXTERIOR ELEVATIONS

 $\frac{1}{1.4^2} = 0.51$ 

"A"

3

 \bar{C}

2

3

.....



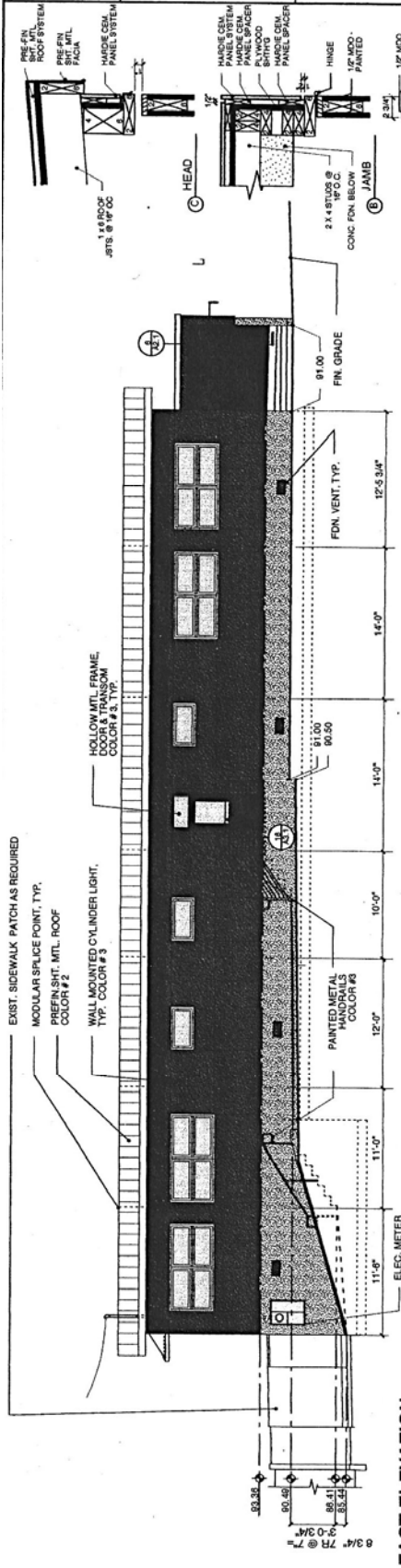
NOTES:

1. PREFIN SHT. MTL. ROOF OVER 304 BLDG FELT OVER 1/8" PLYWOOD OVER 2 X 10 WOOD JOISTS @ 24" O.C.
2. PREFIN SHT. MTL. SIDING OVER 304 BLDG FELT OVER 1/2" PLYWOOD OVER 2 X 4 WOOD STUDS @ 16" O.C. W/ 1/2" PLYWOOD AT INTERIOR FACE
3. CONCRETE FOOTING
4. CONCRETE SLAB - SLOPED TO DRAIN

OVER
A 1/2"

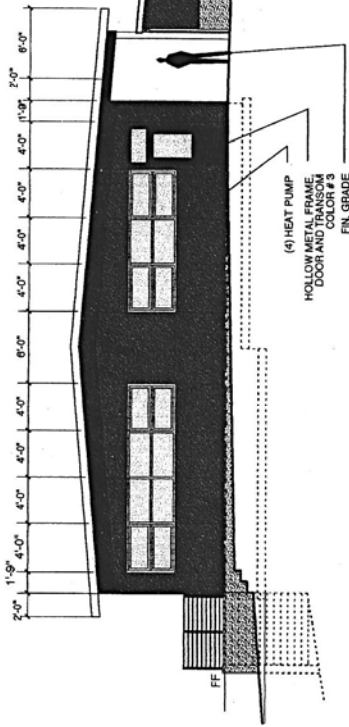
1

EXIST. SIDEWALK PATCH AS REQUIRED
MODULAR SPURCE POINT, TYP.
PREFIN. SHT. MTL. ROOF
COLOR #2
WALL MOUNTED CYLINDER LIGHT,
TYP. COLOR #3



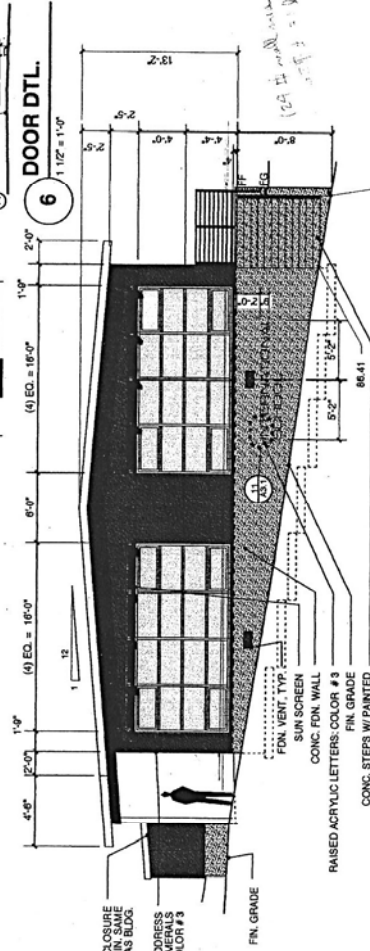
5 EAST ELEVATION

1/4" = 1'-0"



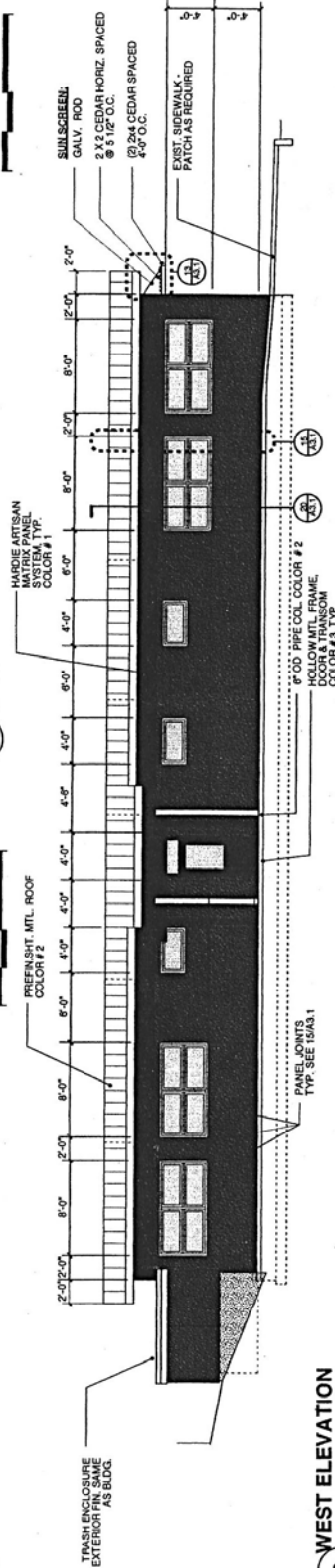
15 NORTH ELEVATION

1/4" = 1'-0"



12 SOUTH ELEVATION

1/4" = 1'-0"



20 WEST ELEVATION

1/4" = 1'-0"

INTERNATIONAL SCHOOL
CLASSROOM EXPANSION
025 S.W. SHERMAN STREET
PORTLAND, OR 97201

FLOOR PLAN
EXTERIOR ELEVATIONS
REVISION

LAND USE REVIEW
LU 10-13888 DZM

MARK GARREY ARCHITECT
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PORTLAND, OR 97227
TEL: 503.254.9008
FAX: 503.254.9008

REV. APRIL 21, 2010

NOV. 10, 2009

A2.1

EXH. C-9