



City of Portland, Oregon
Bureau of Development Services
Land Use Services

1900 SW 4th Avenue, Suite 5000
Portland, Oregon 97201
503-823-7300
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TTY 503-823-6868
www.portlandonline.com/bds

Date: August 3, 2010
To: Interested Person
From: Tim Heron, Land Use Services
503-823-7726/ tim.heron@portlandoregon.gov

NOTICE OF A TYPE I DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has **approved** a proposal in your neighborhood. The reasons for the decision are included in this notice. If you disagree with the decision, you can appeal it to the Oregon Land Use Board of Appeals (LUBA) at 550 Capitol St. NE, Suite 235, Salem, OR 97301. The phone number for LUBA is 1-503-373-1265. Information on how to appeal this decision is listed at the end of this notice.

CASE FILE NUMBER: LU 10-106434 HDZ – SIGNAGE AT 726-734 NW 14th Avenue

GENERAL INFORMATION

Applicant:	Downtown Self Storage LLC 818 NW 14th Ave Portland, OR 97209-2703	Representative:	David Swofford, Sunrise Signs 6742 SW 174th Place Aloha, OR 97007
Site Address:	726-734 NW 14 th Avenue		
Legal Description:	BLOCK 124 LOT 5-8, COUCHS ADD		
Tax Account No.:	R180211170, R180211170, R180211170		
State ID No.:	1N1E33AD 01900, 1N1E33AD 01900, 1N1E33AD 01900		
Quarter Section:	2928		
Neighborhood:	Pearl District, contact Patricia Gardner at 503-228-3273.		
Business District:	Pearl District Business Association, contact Adele Nofield at 503-223-0070.		
District Coalition:	Neighbors West/Northwest, contact Mark Sieber at 503-823-4212.		
Plan District:	Central City – Downtown; 13th Avenue Historic District		
Zoning:	EXd: Central Employment zone with a design overlay		
Case Type:	HDZ: Historic Design Review		
Procedure:	Type I, an administrative decision with appeal to the Oregon Land Use Board of Appeals (LUBA).		

Proposal:

The applicant is requesting historic design approval to add one new projecting illuminated cabinet sign to a four-story commercial building located at 726-734 NW 14th Avenue within the NW 13th Avenue Historic District. The sign will be located above the ground floor adjacent to the northwest corner of the building facing NW 14th Avenue, and mounted 14'-0" above the sidewalk. The new sign measures 23'-0" square feet, and projects approximately 3'-0" from the face of the building. It will replace an existing projecting cabinet sign at the same location. The sign will be constructed of welded aluminum with acrylic letters, and

measure 12'-7" tall, 1'-10" wide and 0'-5" deep. It will be attached to the brick façade with two 0'-7" square aluminum plates and bolted through existing mortar joints.

Because the proposal is in an historic district and exterior alterations are proposed, historic design review is required.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The relevant approval criteria are:

- Chapter 33.846 Historic Reviews
- Central City Fundamental Design Guidelines
- Northwest 13th Avenue Historic District Design Guidelines

ANALYSIS**Site and Vicinity:**

The site is a half-block building located on the northern half of a block bounded by NW Johnson Street to the north, NW 13th Avenue to the east, NW Irving Street to the south and NW 14th Avenue to the west. The building is sited in the NW 13th Avenue Historic District of the Pearl District Neighborhood, and sits within the southeastern portion of the River District and within the Central City Plan District. The structure, known historically as the Wool Growers Building, was built in 1905 and is a contributing building to the Historic District. It currently houses a storage facility and art school. The lot is 20,000 square feet in area and is built fully to the property line. To the south and southeast is the Brewery Blocks multi-block development. Additional nearby properties include older one and multi-story commercial structures and mixed use buildings, many with ground floor retail use.

The building is a four-story wood framed brick building of an unknown designer. It is oriented to the west, with its primary frontage on NW 14th Avenue. Secondary elevations face NW 13th Avenue and NW Johnson Street. Vertically the building is divided into five sections. Each floor and the parapet are delineated by a corbelled belt course. The building is void of any vertical defining features and has a strong horizontal orientation. The west façade includes two similar ground floor entrances incorporating wood-frame plate-glass doors with paneled sidelights and transoms. The windows on the west façade are organized in pairs of two, two-over-two double-hung wood sash windows with relieving arches evenly spaced between the entrances. A corbelled belt course, interrupted only by the two entrances, runs along the lower edges of the window openings, forming the first floor window sills. The upper three stories have five window openings, evenly spaced, with relieving arches. The same window openings and windows, corbelled belt courses and cornices, parapets and copings are repeated on the upper three stories and roofline of the north and east facades. In contrast, the building's south façade consists entirely of brick uninterrupted by windows or other openings, but does maintain the corbelled belt course at the top of the first floor.

The site is located within the NW Triangle Pedestrian District, and the building is border on its north, east and south sides by City designated Enhanced Pedestrian Streets. The City streetcar lines pass the site two blocks to the north. NW 14th Avenue is designated a Major City Traffic Street, a Community Corridor, and a City Bikeway. NW 13th Avenue is classified as a Local Service Bikeway and a City Walkway. NW Irving Street is classified as a Local Service Bikeway.

Zoning:

The Central Employment (EX) zone allows mixed uses and is intended for areas in the center of the City that have predominantly industrial-type development. The intent of the zone is to allow industrial and commercial uses which need a central location. Residential uses are allowed, but are not intended to predominate or set development standards for other uses in the area.

The Historic Resource Protection overlay is comprised of Historic and Conservation Districts, as well as Historic and Conservation Landmarks. The regulations that pertain to these

properties protect certain historic resources in the region and preserve significant parts of the region's heritage. Historic preservation beautifies the city, promotes the city's economic health, and helps to preserve and enhance the value of historic properties.

The “d” overlay promotes the conservation and enhancement of areas of the City with special historic, architectural or cultural value. New development and exterior modifications to existing development are subject to design review.

Land Use History: City records indicate that prior land use reviews include the following:

- 1) HLDZ 063-86 (Ref. file #: 86-006329): Designation of the NW 13th Avenue Historic District.
- 2) ZC 4684 (Ref. file #: 90-022913): Zoning map amendment for a large area in W. Portland
- 3) PC 7163C (Ref. file #: 90-025436): Approval with conditions for a revocable permit for a school.
- 4) LUR 91-00505 HL (Ref. file #: LU 91-008760): Historic Landmark approval to remove and existing door and install a new door in the same frame.
- 5) LUR 96-00509 DZ (Ref. file #: LU 96-013396 DZ): Type II Design Review approval to remove part of an existing loading dock.

Agency Review: A Notice of Proposal in your Neighborhood was mailed on March 19, 2010. The following Bureaus have responded with no concerns about the proposal:

- Bureau of Environmental Services
- Bureau of Transportation Engineering
- Fire Bureau
- Site Development Section of BDS
- Bureau of Parks-Forestry Division

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on March 19, 2010. One written response have been received from a notified property owner in support of the proposal. Exhibit F.1.

ZONING CODE APPROVAL CRITERIA

Chapter 33.846, Historic Reviews

Purpose of Historic Design Review

Historic Design Review ensures the conservation and enhancement of the special characteristics of historic resources.

Historic Design Review Approval Criteria

Requests for historic design review will be approved if the review body finds the applicant has shown that all of the approval criteria have been met.

Findings: The site is located within the NW 13th Avenue Historic District. Therefore the proposal requires historic design review approval. The relevant approval criteria are the Historic NW 13th Avenue District Design Guidelines and the Central City Fundamental Design Guidelines.

Historic NW 13th Avenue District Design Guidelines and Central City Fundamental Design Guidelines

The NW 13th Avenue Historic District has been designated as a Portland Historic District and has also been listed on the National Register of Historic Places, in recognition of its unique architectural and historical qualities. It contains an outstanding ensemble of late 19th and early 20th century loft warehouse structures. These structures display a remarkable uniformity of design, materials, and special features. The essential character of the District lies in this architectural coherence and uniformity, and in the street itself.

Northwest 13th Avenue is the spine of the District. The District remains as a primary expression of the City's historical development as a center of commerce and distribution.

Because of its Historic District status, properties within the NW 13th Avenue Historic District are subject to review by the Portland Historical Landmarks Commission of any new construction or exterior remodeling. Each Historic District has design guidelines which the Commission uses in its review of projects. The purpose of these guidelines is to encourage rehabilitation and new construction which respect and enhance the historical character of the district. The guidelines are not intended to be inflexible; rather, they seek to guide development and rehabilitation in a manner compatible with the District character.

The Central City Fundamental Design Guidelines and the River District Design Guidelines focus on four general categories. **(A) Portland Personality**, addresses design issues and elements that reinforce and enhance Portland's character. **(B) Pedestrian Emphasis**, addresses design issues and elements that contribute to a successful pedestrian environment. **(C) Project Design**, addresses specific building characteristics and their relationships to the public environment. **(D) Special Areas**, provides design guidelines for the four special areas of the Central City.

Central City Plan Design Goals

This set of goals are those developed to guide development throughout the Central City. They apply within the River District as well as to the other seven Central City policy areas. The nine goals for design review within the Central City are as follows:

1. Encourage urban design excellence in the Central City;
2. Integrate urban design and preservation of our heritage into the development process;
3. Enhance the character of the Central City's districts;
4. Promote the development of diversity and areas of special character within the Central City;
5. Establish an urban design relationship between the Central City's districts and the Central City as a whole;
6. Provide for a pleasant, rich and diverse pedestrian experience for pedestrians;
7. Provide for the humanization of the Central City through promotion of the arts;
8. Assist in creating a 24-hour Central City which is safe, humane and prosperous;
9. Ensure that new development is at a human scale and that it relates to the scale and desired character of its setting and the Central City as a whole.

Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.

GUIDELINES FOR EXTERIOR REMODELING HISTORIC NW 13TH AVENUE DISTRICT

1. **Visual Integrity of Structure.** The vertical lines of columns and piers, and the horizontal definition of spandrels and cornices, and other primary structural elements should be maintained. Such structural lines should be restored if previous alterations have substantially changed them.

Findings: The proposed signage does not significantly alter, nor dominate, the building façade. The new projecting sign is aligned with the bottom of an existing painted black band, presumably the historic location for a painted sign, and aligned with the springer of the second floor window arches. This placement acknowledges building details and decorative arched fenestration. The proposed sign replaces an existing sign in the same location and its placement complements the composition of the façade by pulling back from the corner approximately 1'-6".

With the condition of approval that the existing internally illuminated plastic face sign is removed before installation of the new sign, this guideline is met.

- 2. Scale and Proportion.** The scale and proportion of altered or added building elements, and the relationship of voids to solids (that is, the relationship of doors and windows to walls and column elements) should be visually compatible with the traditional architectural character of the historic district. Avoid blank walls on street elevations, especially on ground floors, unless there is a historic precedent for the blank wall.

Findings: The sign measures 1'-10" wide and projects approximately 3-feet from the building wall. By pulling back approximately 1'-6" back from the corner, the sign respects the primacy of the corner condition. The thickness of the sign (0'-5") is the narrowest the internal illumination technology allows. This slenderness respects the subtle historic details of the building by not overwhelming the building façade. *This guideline is therefore met.*

- 6. Signs.** There is a tradition in the NW 13th Avenue Historic District of painting large signs on the walls (usually on non-street elevations) of warehouse structures. These historic painted wall signs should be retained where practical.

New signs on the principal (i.e., street) elevations of new or existing buildings should be restrained and should not be a dominant facade feature. Lettering painted on windows, and signs located inside buildings are appropriate; moreover, these types of signs do not require review. Other appropriate design types include indirectly lit letters mounted on spandrels above the storefront, or signs on an entry awning. Contemporary plastic, backlit signs are discouraged. Signs should be mounted so as to minimally damage any historic surface to which they are attached.

Findings: The existing sign is a clumsily attached simple interior lit, plastic-faced sign. The proposal is to replace this with a better crafted sign, employing the most current technology (i.e.d.) to minimize sign thickness and its visual impacts.

The primary impetus of the district is to maintain what is identified in the Guidelines' introduction as "this architectural coherence and uniformity, and in the street itself. Northwest 13th Avenue is the spine of the District." The proposal is to add a sign at NW 14th Avenue. The sign is along the edge of the District and, more importantly, at its farthest northwestern corner. The slender sign will be 23 square feet and will be the only sign on the 100 foot façade along NW 14th Avenue.

The proposal places the sign on a wall in a manner that results in no harm to the historic fabric. The means of attachment to the building is carefully dimensioned and detailed to ensure penetration will only occur at grout lines. This is also true for the electrical feed. In the event that this sign is removed in the future, the holes in the mortar resulting from the sign mounting could be easily repaired, restoring the original appearance and material of the building wall.

With the Condition of Approval that all attachments to the building will be located so that all bolts and the electrical feed are embedded at the brick mortar joints, leaving the masonry intact, this guideline is met.

Central City Fundamental Design Guidelines

- A4. Use Unifying Elements.** Integrate unifying elements and/or develop new features that help unify and connect individual buildings and different areas.

- A5. Enhance, Embellish, and Identify Areas.** Enhance an area by reflecting the local character within the right-of-way. Embellish an area by integrating elements in new development that build on the area's character. Identify an area's special features or qualities by integrating them into new development.
- A6. Reuse/Rehabilitate/Restore Buildings.** Where practical, reuse, rehabilitate, and restore buildings and/or building elements.
- A8. Contribute to a Vibrant Streetscape.** Integrate building setbacks with adjacent sidewalks to increase the space for potential public use. Develop visual and physical connections into buildings' active interior spaces from adjacent sidewalks. Use architectural elements such as atriums, grand entries and large ground-level windows to reveal important interior spaces and activities.
- C2. Promote Quality and Permanence in Development.** Use design principles and building materials that promote quality and permanence.
- C3. Respect Architectural Integrity.** Respect the original character of an existing building when modifying its exterior. Develop vertical and horizontal additions that are compatible with the existing building, to enhance the overall proposal's architectural integrity.
- C4. Complement the Context of Existing Buildings.** Complement the context of existing buildings by using and adding to the local design vocabulary.
- C5. Design for Coherency.** Integrate the different building and design elements including, but not limited to, construction materials, roofs, entrances, as well as window, door, sign, and lighting systems, to achieve a coherent composition.
- C7. Design Corners that Build Active Intersections.** Use design elements including, but not limited to, varying building heights, changes in façade plane, large windows, awnings, canopies, marquees, signs and pedestrian entrances to highlight building corners. Locate flexible sidewalk-level retail opportunities at building corners. Locate stairs, elevators, and other upper floor building access points toward the middle of the block.
- C8. Differentiate the Sidewalk-Level of Buildings.** Differentiate the sidewalk-level of the building from the middle and top by using elements including, but not limited to, different exterior materials, awnings, signs, and large windows.

Findings for A4, A5, A6, A8, C2, C3, C4, C5, C7 and C8: The area's characteristics include high-quality architecture, well-preserved historic buildings, and an engaging pedestrian environment. The maintenance of these defining characteristics rests on many factors, one of which is the appropriate design and placement of signage. When signage is not designed, located, and installed in a sensitive manner, there is potential for visual clutter and obstruction of the District's historic character.

The proposal is a single projecting sign at the northwest corner of the building and the northwest corner of the district. The sign is within a metal cabinet that is only 0'-5" thick. The metal cabinet includes routed punch-through acrylic lettering for articulation at the cabinet faces. It is internally illuminated with LED lighting and has a pair of horizontal mounting arms and bracket attachments. The internal letters and sign graphics are colored to complement the brick, grout and window colors. The sign is shaped and proportioned to comfortably integrate with the window and door openings. The sign is aligned with the bottom of an existing painted black band, presumably the historic

location for a painted sign, and aligned with the springer of the second floor window arches.

The sign supports the continued successful adaptive re-use of the Downtown Storage Building. This enables the building, in continuous use as a warehouse, to play an active role in the contemporary retail environment of the area.

The corner location for the sign is somewhat unique in placement, and larger in scale, than others in the heart of this Historic District. This simple and crafted sign respectfully marks this corner of the district, transitioning appropriately between the historic building/district and its immediate neighbors. The sign contributes to the pedestrian-oriented urban design of the district.

The sign's primary materials – black and red painted metal cabinet facing, internally-illuminated punch through acrylic graphic elements, and efficient and long-life l.e.d. technology – are durable and promote permanence in development. Other design principles employed, use of restrained sign lighting methods and graphic elements, and thin/blade-like cabinet dimensions also impart a sense of quality and permanence to the sign.

For these reasons, the proposed sign is consistent with the architectural integrity, character, quality, and pedestrian-focused urban design goals at this corner of the District.

Therefore these guidelines are met.

B2. Protect the Pedestrian. Protect the pedestrian environment from vehicular movement. Develop integrated identification, sign, and sidewalk-oriented night-lighting systems that offer safety, interest, and diversity to the pedestrian. Incorporate building equipment, mechanical exhaust routing systems, and/or service areas in a manner that does not detract from the pedestrian environment.

C12. Integrate Exterior Lighting. Integrate exterior lighting and its staging or structural components with the building's overall design concept. Use exterior lighting to highlight the building's architecture, being sensitive to its impacts on the skyline at night.

C13. Integrate Signs. Integrate signs and their associated structural components with the building's overall design concept. Size, place, design, and light signs to not dominate the skyline. Signs should have only a minimal presence in the Portland skyline.

Findings for B2, C12, and C13: The proposed sign is integrated with the design concept of the building. The building is simple in design; the sign's restrained ornamentation is intended to integrate with, and defer to, the building.

The building's chief defining feature is the series of simple arch openings in the otherwise utilitarian brick façade. The proposed sign consists of a modest 0'-5" thick cabinet, curved at the edges to reflect the arched window forms with restrained push-through acrylic lettering. The materials, size, and placement of the sign allow the building's chief architectural features, the window openings, to remain prominent and unobstructed.

The push-through acrylic graphics will be illuminated by light-emitting diodes. The black and red coloring of the graphics correlates to the colors of the masonry. The power supply box and electrical conduit will be entirely within the building.

The placement and illumination of the sign is subtle enough so as not to impact views of the building, the broader River District, or the Portland skyline and in does not negatively impact the surrounding neighborhood or the NW 13th Avenue streetscape.

These guidelines are met.

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

The design review process exists to promote the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. The addition of one ground floor blade sign to the northwest corner of the historic Wool Growers Building is undertaken in a sensitive manner, complementing the building and its northwest corner location in the NW 13th Avenue Historic District at NW 14th Avenue. The historic Wool Growers Building is one of a few buildings in the 13th Avenue Historic District that fronts 14th Avenue; the sign will not face the spine of the district. The proposal meets the applicable design guidelines and therefore warrants approval.

ADMINISTRATIVE DECISION

Approval of a new internally illuminated aluminum projecting wall sign, 23 SF maximum, measuring 12'-7" tall by 1'-10" wide by 0'-5" thick located within the Central City Plan District and the Northwest 13th Avenue Historic District;

Approval per the approved Exhibits C-1 through C-4, signed and dated July 30, 2010, subject to the following conditions:

- A. As part of the building permit application submittal, the following development-related conditions (B) must be noted on each of the four required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled "ZONING COMPLIANCE PAGE- Case File LU 10-106434 HDZ." All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED."
- B. All attachments to the building will be located so that bolts and electrical feed are embedded at the brick mortar joints, leaving the masonry intact.
- C. Existing internally illuminated plastic faced sign at same location must be removed before installation of new sign.

Staff Planner: Tim Heron

Decision rendered by:  **on July 30, 2010**

By authority of the Director of the Bureau of Development Services

Decision mailed August 3, 2010

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on January 26, 2010, and was determined to be complete on **March 16, 2010**.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on January 26, 2010.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant waived the 120-day review period, as stated with Exhibit A.1. Unless further extended by the applicant, **the 120 days will expire on: September 30, 2010.**

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

This decision, and any conditions associated with it, is final. It may be appealed to the Oregon Land Use Board of Appeals (LUBA), within 21 days of the date the decision is mailed, as specified in the Oregon Revised Statute (ORS) 197.830. Among other things, ORS 197.830 requires that a petitioner at LUBA must have submitted written testimony during the comment period for this land use review. You may call LUBA at 1-503-373-1265 for further information on filing an appeal.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Recording the final decision.

If this Land Use Review is approved, the final decision must be recorded with the Multnomah County Recorder. A building or zoning permit will be issued only after the final decision is recorded. The final decision may be recorded on or after **August 4, 2010**.

The applicant, builder, or a representative may record the final decision as follows:

- By Mail: Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.

- In Person: Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034
For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-7967.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

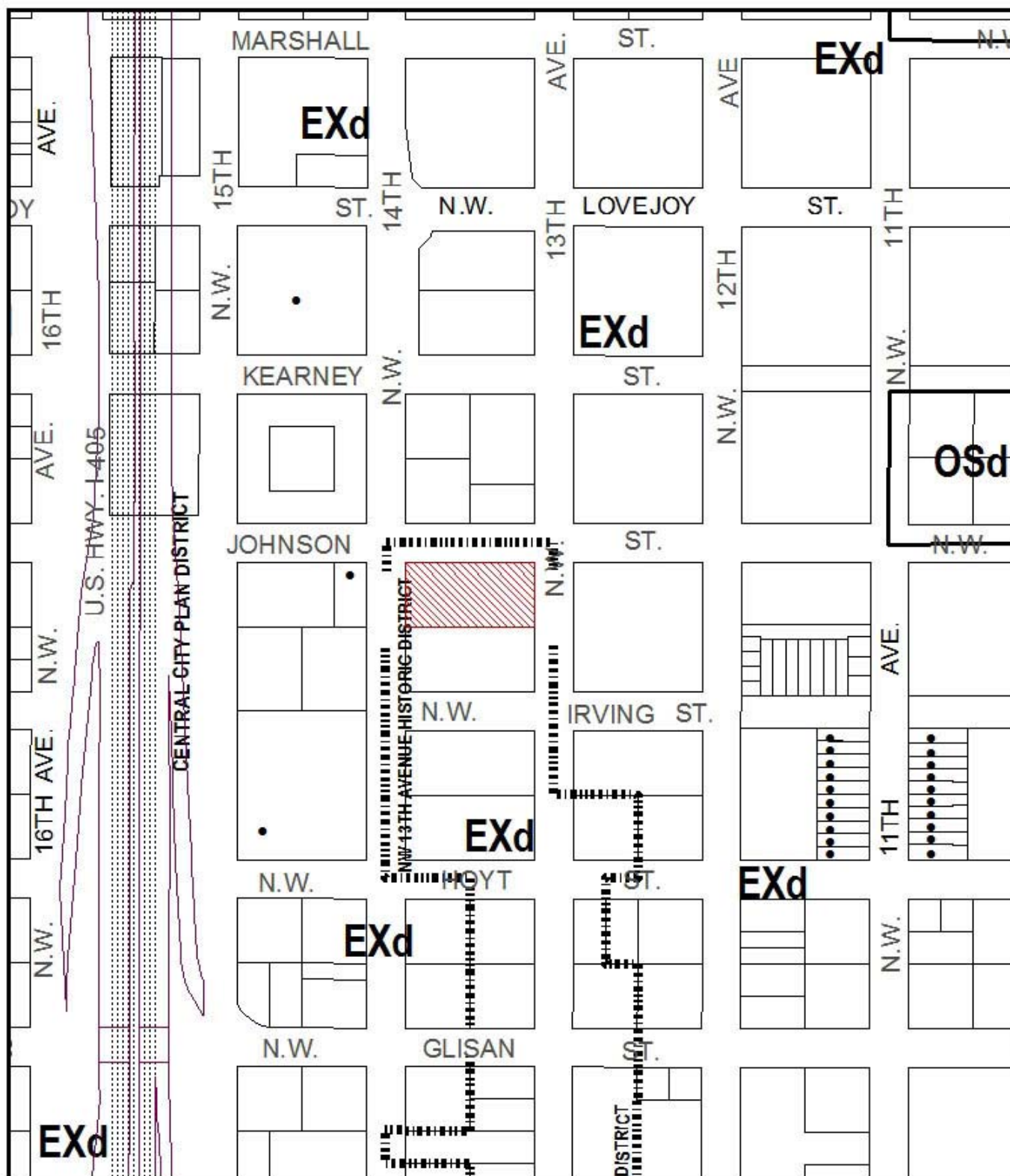
Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code for the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

EXHIBITS

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
 - 1. Extension request
- B. Zoning Map (attached)
- C. Plans/Drawings:
 - 1. Site Plan (attached)
 - 2. Sign Detail/Photo sim [attached]
 - 3. Sign Detail/Photo sim [attached]
 - 4. Sign Sections/Mounting Details [attached]
- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Responses:
 - 1. Bureau of Environmental Services
 - 2. Bureau of Transportation Engineering and Development Review
 - 3. Water Bureau
 - 4. Fire Bureau
 - 5. Site Development Review Section of BDS
 - 6. Bureau of Parks, Forestry Division
- F. Correspondence:
 - 1. Letter received March 22, 2010, Elame Paul, wrote in support of the proposal.
- G. Other:
 - 1. Original LU Application
 - 2. Site History Research



ZONING



Site



Historic Landmark

This site lies within the:
13TH AVENUE HISTORIC DISTRICT
CENTRAL CITY PLAN DISTRICT



File No.	<u>LU 10-106434 HDZ</u>
1/4 Section	<u>2928</u>
Scale	<u>1 inch = 200 feet</u>
State_Id	<u>1N1E33AD 1900</u>
Exhibit	<u>B (Feb 11, 2010)</u>

Approved
City of Portland - Bureau of Development Services
Planner T.D.H. Date 7.30.10
* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

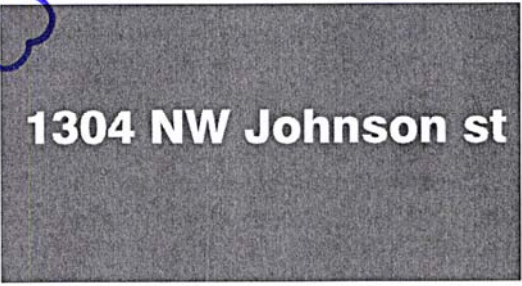
Sign placement

N

Entry areas

Johnson st

14th



1304 NW Johnson st

13th

LU 10-106434 HDZ

EXHIBIT C.1

* Approved *

City of Portland - Bureau of Development Services

Planner

154

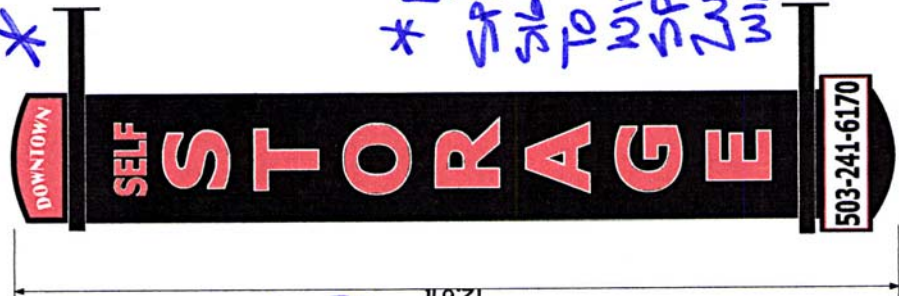
Date

7.30.10

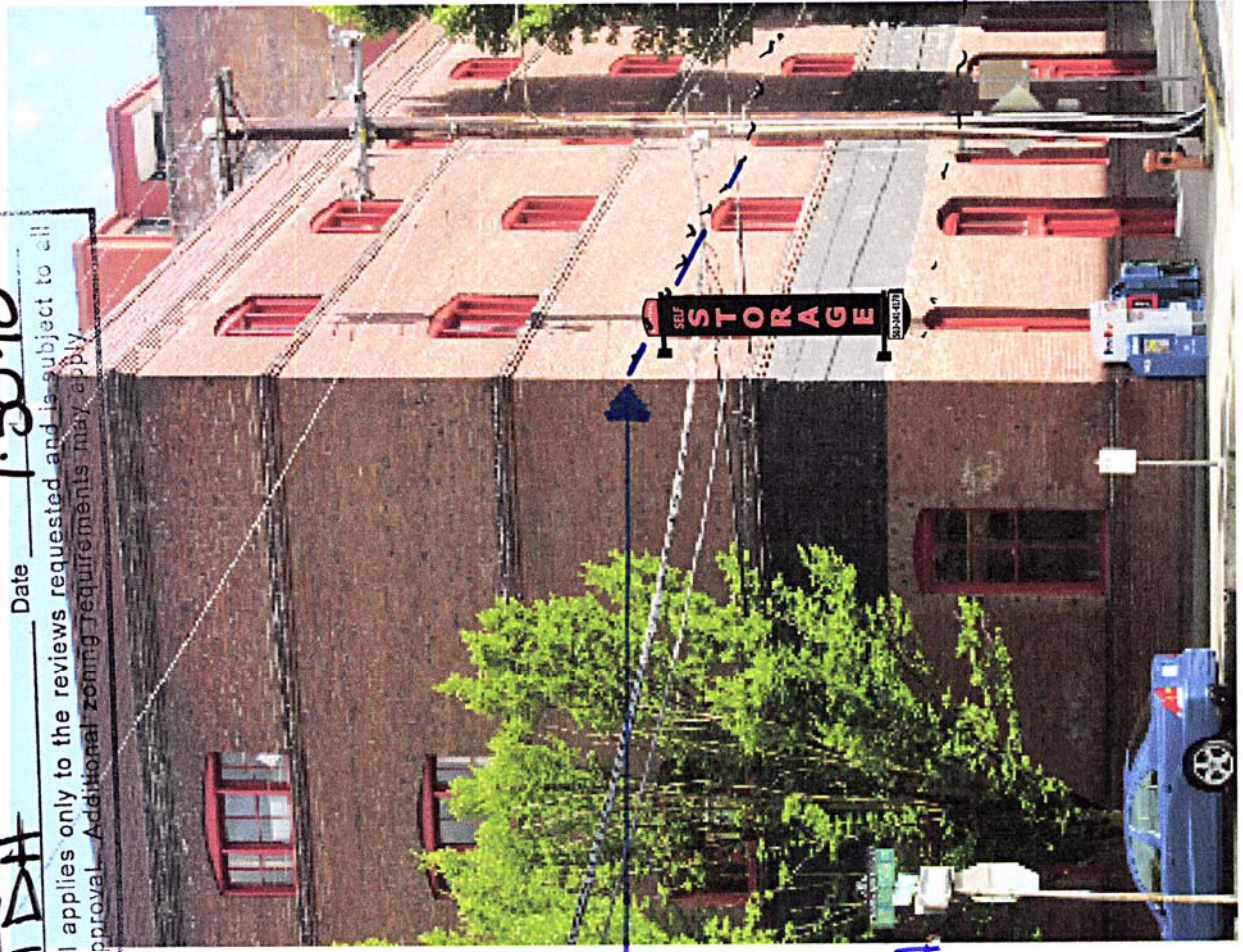
* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

1'-10"

1.8 ft



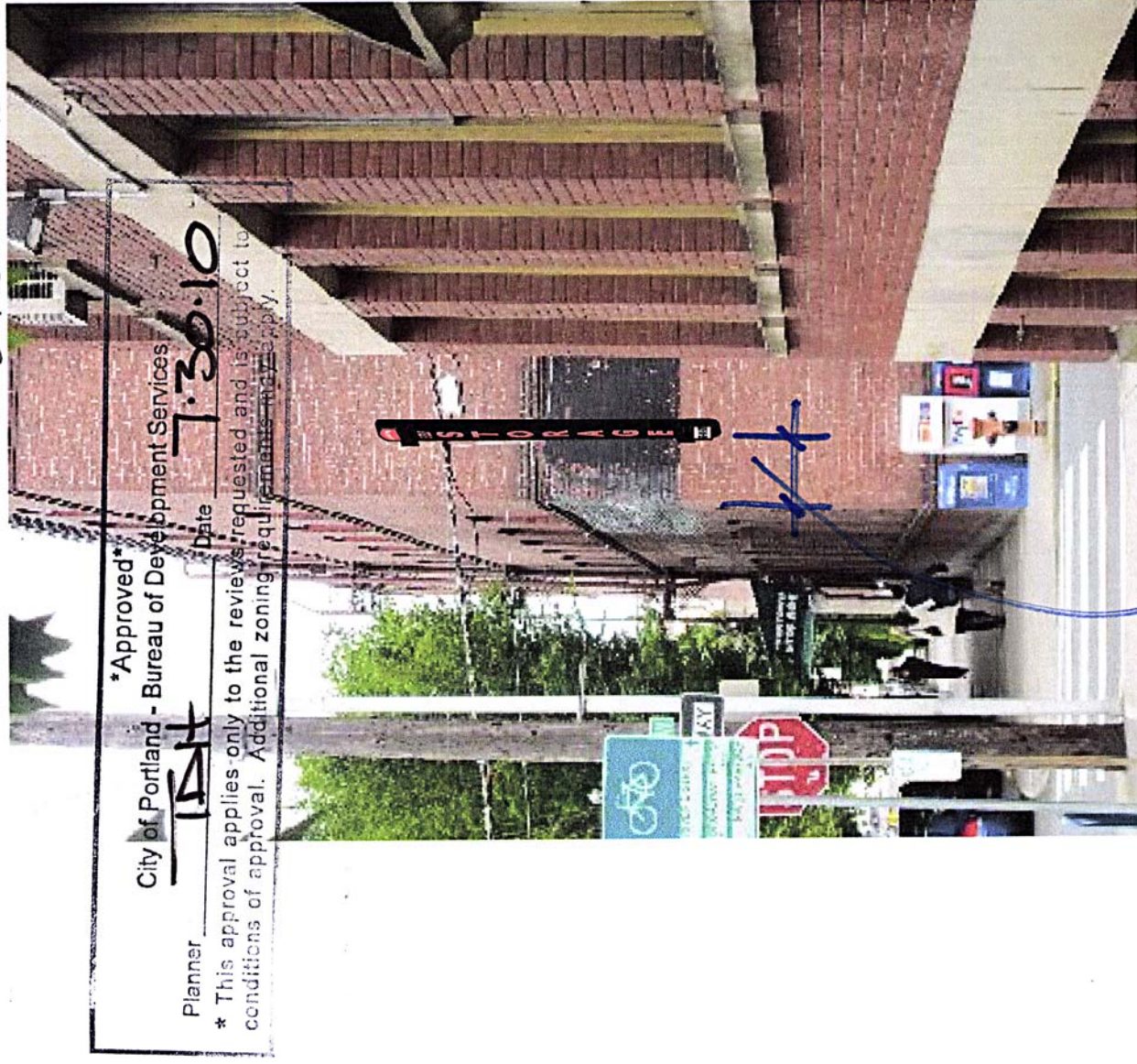
23 #



LU 10-106434 HDZ
EXHIBIT C.2



* 1'-6" FROM CORNER +/-



* Approved*
 City of Portland - Bureau of Development Services
 Planner 1544 Date 7.30.10
 * This approval applies only to the reviews requested and is subject to conditions of approval. Additional zoning requirements may apply.

1'-6" SETBACK LU 10.106434 HAZ
 EXHIBIT C.3

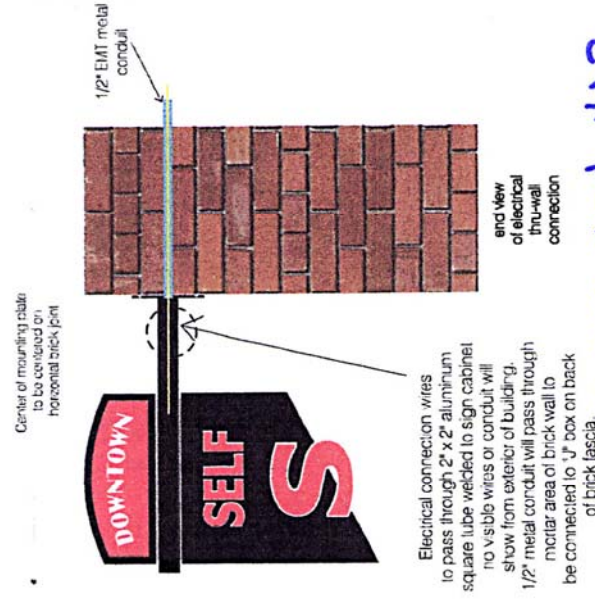
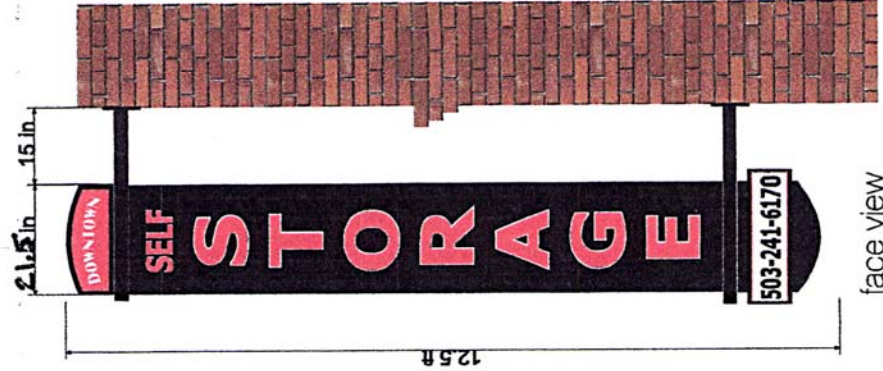
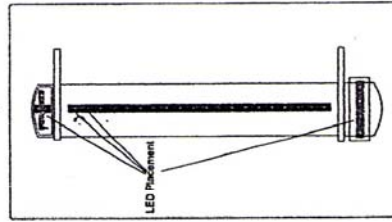
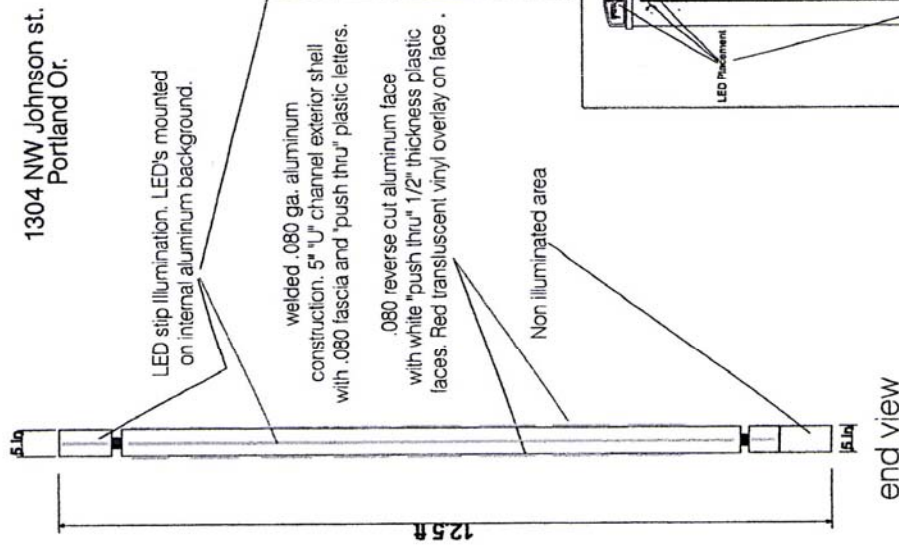
Approved

City of Portland - Bureau of Development Services

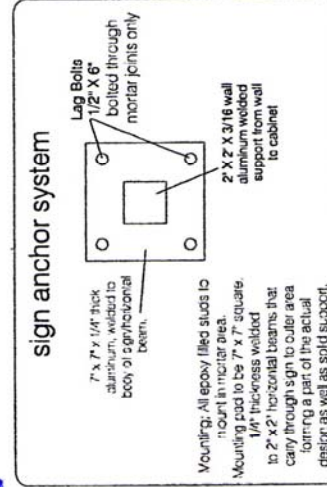
Planner IDA Date 7.30.10

* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

1304 NW Johnson st.
Portland Or.



LU 10.106434 HDZ
EXHIBIT C.4



Sunrise Signs Inc
503.642.1454

* CONDITION OF APPROVAL: ALL CONNECTIONS AT MORTAR JOINTS ONLY - STRUCTURAL AND ELECTRICAL FEED.