



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**

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Portland, Oregon 97201  
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Fax 503-823-5630  
TTY 503-823-6868  
[www.portlandonline.com/bds](http://www.portlandonline.com/bds)

**Date:** April 29, 1010  
**To:** Interested Person  
**From:** Kara Fioravanti, Land Use Services  
503-823-5892 / [kfioravanti@ci.portland.or.us](mailto:kfioravanti@ci.portland.or.us)

## **NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD**

The Bureau of Development Services has approved a proposal in your neighborhood. The reasons for the decision are included in this notice. If you disagree with the decision, you can appeal it and request a public hearing. Information on how to appeal this decision is listed at the end of this notice.

### **CASE FILE NUMBER: LU 10-106201 DZ OUTSIDE IN ADDITION**

#### **GENERAL INFORMATION**

**Applicant:** First Unitarian Of Portland  
1034 SW 13<sup>th</sup> Avenue / Portland, OR 97205-2017  
  
Kathy Oliver, Outside In  
1132 SW 13th Avenue / Portland, OR 97205

**Representative:** Corey Morris and Matt Ottinger, Clark/Kjos Architects  
333 NW 5<sup>th</sup> Avenue / Portland, OR 97209

**Site Address:** 1132 SW 13<sup>TH</sup> AVENUE  
**Legal Description:** BLOCK E LOT 5 TL 4300, PORTLAND; BLOCK E LOT 5&6 TL 4200, PORTLAND; BLOCK E LOT 6 TL 4100, PORTLAND  
**Tax Account No.:** R667736130, R667736150, R667736170  
**State ID No.:** 1S1E04AA 04300, 1S1E04AA 04200, 1S1E04AA 04100  
**Quarter Section:** 3128  
**Neighborhood:** Portland Downtown, contact Jennifer Geske at 503-750-9843.  
**Business District:** Downtown Retail Council, contact Lisa Frisch at 503-552-6740.  
**District Coalition:** Neighbors West/Northwest, contact Mark Sieber at 503-823-4212.  
**Plan District:** Central City - Downtown  
**Zoning:** RXd, Central Residential with Design Overlay  
**Case Type:** DZ, Design Review  
**Procedure:** Type II, an administrative decision with appeal to the Design Commission.

**Proposal:** The applicant seeks design review approval for a new one-story 1,240 SF addition to the north and east elevations of the existing building. The addition will be clad in corrugated metal panels that match the metal panel system of the existing building. The windows will be aluminum windows to match the type and profile of the windows of the existing building. The new building area will be office space for medical treatment. Per 33.510.117 up to 20% of the net building area may be in Retail Sales And Service or Office uses.

**Relevant Approval Criteria:** In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant criteria are: Central City Fundamental Design Guidelines.

## ANALYSIS

**Site and Vicinity:** The site is located at the western boundary of the Downtown subdistrict in the Central City Plan District. This downtown site is located on a block bound by SW 12<sup>th</sup> and 13<sup>th</sup> Avenues and SW Main and Jefferson Streets. The block, at approximately 200' x 455', is atypical of Portland's 200' x 200' blocks. It is within the large RX [Central Residential] zoned area which extends from the east side of the Park Blocks to I-405. The site is one block east of the I-405 freeway, a multi-lane highway built below street level. Older development on neighboring blocks is typified by three to four story buildings housing residential and office uses. Churches are also abundant within this area.

This site fronts onto SW 13<sup>th</sup> Avenue. At this location, 13<sup>th</sup> Avenue is a city designated Traffic Street and Bikeway. The entire block is within the designated Central City Pedestrian District.

The site currently includes the Outside In facility that was built in 2001.

**Zoning:** The RX zone is a high density multi-dwelling zone which allows the highest density of dwelling units of the residential zones. Density is not regulated by a maximum number of units per acre. Rather, the maximum size of buildings and intensity of use are regulated by floor area ratio (FAR) limits and other site development standards. Generally the density will be 100 or more units per acre. Allowed housing developments are characterized by a very high percentage of building coverage. The major types of new housing development will be medium and high rise apartments and condominiums, often with allowed retail, institutional, or other service oriented uses. Generally, RX zones will be located near the center of the city where transit is readily available and where commercial and employment opportunities are nearby. RX zones will usually be applied in combination with the Central City plan district.

The Design [d] overlay zone designation also ensures that exterior alterations to existing development conserve and enhance the identified historic, scenic, architectural, and cultural values of each design district: in this case, the Central City Plan District.

**Land Use History:** City records indicate that prior land use reviews include the following:

1. **4684 ZC** was a legislative zone change for portions of quarter section maps 2827-29, 2928, 3028 and 3127-28.
2. **LUR 95-00232 CU** approved with conditions a conditional use for a daytime drop-in center for up to 80 homeless youth between the ages of 13 and 21 to be located at 1132 SW 13<sup>th</sup> Avenue. Hours of operation will be 9:00 am to 6:00 pm Monday through Friday, and either Saturday or Sunday. During the months of November through March, the drop-in center will be open on Saturdays and Sundays from 9:00 am to 6:00 pm. Approval was subject to the 2 following conditions: The drop-in center must provide bicycle parking for at least four bicycles on the site. Bicycle rack[s] and the area required for parking and maneuvering must meet the standards of the Office of Transportation. The drop-in center will provide staff patrol to prevent Outside-In youth from loitering within the block in which the facility is located, and to prevent any litter problems.
3. **LUR 00-00155 DZM, AD** approved with conditions a Design Review to construct a new Outside In facility. Approval was granted for the following Modification requests:
  1. Maximum building setback in a pedestrian district, 33.120.220 B.2.b. At least 50% of the length of the ground level street facing façade of the building must be within the maximum setback, which is 25' from the curb. The length of the ground level street

facing façade is 109 lineal feet and only 31 lineal feet, or 29%, is within 25' from the curb.

2. Ground Floor Windows, 33.120.232. The portion of the building that has non-residential development must meet the ground floor window standard stated in 33.130.230 B.2. The standard requires 41.25 lineal feet and 185.85 square feet of the ground level to meet qualifying window features. The proposal includes only 28 lineal feet and 154 square feet of the ground level in qualifying window features.
3. Location of Vehicle Areas, Table 266-3. Vehicle areas are not allowed between a building and a street. The site plan includes 1 loading space between the building and SW 13th Avenue.
4. Parking lot perimeter landscaping, Table 266-4. Five feet of L2 landscaping is required between vehicle areas and the property line. This standard is not met between the vehicle area and the south and west lot lines.
5. Loading Spaces, 33.266.310. Loading facilities must allow vehicles to enter and exit the site in a forward motion. The current layout requires that the vehicles back into the site.
6. Sign Standards, Table 286-1 and Figure 286-5. Maximum Area per sign is limited to 50 square feet in area. Based on Figure 286-5, the five rotating panels are considered one sign and the total sign area for this one sign is 150 square feet.

Approval was also granted for the following Adjustment requests:

1. Minimum density, Table 120-3. This site is required to provide a minimum of 1 unit per 500 square feet of site area, or 26 units. Only 16 units are proposed.
2. Minimum parking, 33.510.263 E.2. A minimum of one space for every 8 dwelling units larger than 250 sq. ft. in area is required. The project is required to provide 2 spaces and none are proposed.

Approvals per the following conditions:

- A. As part of the building permit application submittal, the following development-related conditions (B - C) must be noted on each of the 4 required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled "ZONING COMPLIANCE PAGE- Case File #LUR 00-00155 DZM, AD." All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED."
  - B. The large art panel proposed on the west building elevation is subject to a subsequent Type III Design Review. During that review, the art will be reviewed against all applicable design guidelines and all comments received from prior Design Commission hearings.
  - C. As part of the building permit application submittal, each of the 4 required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in stamped Exhibits. No field changes allowed.
4. **LUR 01-00157 DZ** approved a Design Review for revisions to the design of the LUR 00-00155 approved Outside In facility.
  5. **LUR 01-00385 DZ** was a withdrawn design review case.

**Agency Review:** A "Notice of Proposal in Your Neighborhood" was mailed **March 1, 2010**. The following Bureaus have responded with no issues or concerns: Bureau of Transportation Engineering and the Fire Bureau.

The Water Bureau responded with the following comment: Exhibit E-1.

*The Water Bureau has no objections to the building of a new addition onto the existing building for the property at 1132 SW 13th Ave. There is an existing 6" metered fire service (#Serial# 101126, Account #2978343000) and a 2" metered domestic service (Serial# 20002160, Account #2978343000) that provides service to this location from the existing 8" CI main in SW 13th Ave. The estimated static pressure range for this location is 57 psi to 73 psi at the service elevation of 131 ft. Building structure additions will require a Water*

*Bureau review for fixture count at the time of submittal of the building permit. If a meter or serviced size upgrade is required, all applicable cost will be the responsibility of the applicant. Conditions of Approval: None. Please call me if you have any questions or comments. My phone number is 503-823-7171.*

The Bureau of Environmental Services responded with the following comment: Exhibit E-2.

*BES has reviewed a Preliminary Drainage Memorandum dated April 12, 2010, and the Stormwater Management Plan (sheet C1.01) submitted in response to BES land use comments dated March 18, 2010. The memo is stamped by Timothy Gaschke, PE and includes Presumptive Approach sizing calculations for a flow-through stormwater planter to treat and detain runoff from the 1,230 square foot addition prior to discharge to the public combined sewer in SW 13th Avenue. Two planter sizes were proposed in the memo: 75 square feet with 13" of storage depth, and 79 square feet with 12" of storage depth. The planter shown on the plan scales out to 20.5' x 3.8', or approximately 78 sq ft. It is not clear to staff which planter size will be used (75 or 79 sq ft) but it appears either size can be made acceptable with slight changes to the storage depth (up to 18" allowed using the PAC). Therefore, BES has no further objections to the DZ, though the applicant should note the below comments as they move through the building permit review process.*

*The pre-developed curve number of 84 that was used to determine compliance with SWMM flow control requirements appears to be high. The category selected was "open space (lawns, parks, golf courses, cemeteries, etc.)", in fair condition, from the Runoff Curve Numbers for Urban Spaces section of Table C-2 (Appendix C.1 of the SWMM). The SWMM requires that for redevelopment projects the pre-developed condition is defined as undeveloped land, i.e., Lewis and Clark conditions (see bottom of page 1-16 and the definition of 'pre-developed condition' on page Def-10 of the SWMM). The selected CN of 84 is for developed open space, and therefore is not adequate. Staff worked through the PAC calculations with lower curve numbers and determined that a 75 sq ft planter with 13" of storage depth matches the 10-year flow with a pre-developed CN of 79, and adding one inch of storage depth appears to match the 10-year flow with a pre-developed CN of 77. Likewise, a 79 sq ft planter with 14" of storage depth appears to match the 10-year flow with a pre-developed CN of 73 (these CNs are used for example only). Therefore, it appears that a planter with slight adjustments can be made acceptable in the footprint provided, and it is not anticipated that major changes to the planter configuration will be necessary. Through the building plan review, the stormwater report and planter sizing should be revised using an appropriate pre-developed curve number in order to determine if flow control requirements are met. The BES plan reviewer for commercial building permit 10-111595-CO is Dan Berge (503-823-5741).*

The Parks Bureau – Forestry responded with the following comment: *Protect existing street trees.*

**Neighborhood Review:** A Notice of Proposal in Your Neighborhood was mailed on March 1, 2010. One written response has been received in response to the proposal (Exhibit F.1). The respondent requested clarification of the setbacks. Table 120-3 in the Zoning Code establishes the minimum setback for the side and rear property lines at 0'. The proposal is consistent with Zoning Code allowances for setbacks. Additionally, the respondent takes exception to the building location close to the north and east lot lines for the following reasons: not capitalizing on sidewalk opportunities, not designing the building to encourage the use of the sidewalk, not complementing the context of existing buildings, eliminating art objects, plants and small trees that delineated and defined the space between Outside In and the neighboring building adversely affecting the privacy and livability of the areas, and not providing adequate light and air circulation between structures. In addition to the findings below, the following comments are offered by City staff: this site is in the Central City Plan District where full building coverage is allowed and no minimum landscaping is required. Though there is another open area on the site for an addition to be placed (the courtyard) as suggested by the respondent, the proposed side and rear yard locations are also a possibility under the Code. Light and air may be

impacted somewhat more than today's scenario, but the proposal is for a modest one-story addition next to a much taller building that already affects light and air to a larger extent. The respondent also raises the issue of the project not supporting the sidewalk realm. However the original Design Review carefully contemplated a street edge that mitigated appropriately the lack of a building wall placed along the sidewalk.

## **ZONING CODE APPROVAL CRITERIA**

### **Chapter 33.825 Design Review**

#### **Section 33.825.010 Purpose of Design Review**

Design review ensures that development conserves and enhances the recognized special design values of a site or area. Design review is used to ensure the conservation, enhancement, and continued vitality of the identified scenic, architectural, and cultural values of each design district or area. Design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area. Design review is also used in certain cases to review public and private projects to ensure that they are of a high design quality.

#### **Section 33.825.055 Design Review Approval Criteria**

A design review application will be approved if the review body finds the applicant to have shown that the proposal complies with the design guidelines for the area.

**Findings:** The site is designated with design overlay zoning (d), therefore the proposal requires Design Review approval. Because of the site's location, the applicable design guidelines are the Central City Fundamental Design Guidelines.

#### **Central City Fundamental Design Guidelines**

These guidelines provide the constitutional framework for all design review areas in the Central City. The Central City Fundamental Design Guidelines and the River District Design Guidelines focus on four general categories. **(A) Portland Personality**, addresses design issues and elements that reinforce and enhance Portland's character. **(B) Pedestrian Emphasis**, addresses design issues and elements that contribute to a successful pedestrian environment. **(C) Project Design**, addresses specific building characteristics and their relationships to the public environment. **(D) Special Areas**, provides design guidelines for the four special areas of the Central City.

#### **Central City Plan Design Goals**

This set of goals are those developed to guide development throughout the Central City. They apply within the River District as well as to the other seven Central City policy areas. The nine goals for design review within the Central City are as follows:

1. Encourage urban design excellence in the Central City;
2. Integrate urban design and preservation of our heritage into the development process;
3. Enhance the character of the Central City's districts;
4. Promote the development of diversity and areas of special character within the Central City;
5. Establish an urban design relationship between the Central City's districts and the Central City as a whole;
6. Provide for a pleasant, rich and diverse pedestrian experience for pedestrians;
7. Provide for the humanization of the Central City through promotion of the arts;
8. Assist in creating a 24-hour Central City which is safe, humane and prosperous;
9. Ensure that new development is at a human scale and that it relates to the scale and desired character of its setting and the Central City as a whole.

*Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.*

#### **A7. Establish and Maintain a Sense of Urban Enclosure.**

**Findings:** The project was found to meet this requirement at the time of its construction

in 2001. The current proposal for a small addition does not diminish the urban enclosure qualities of the existing site situation. This guideline continues to be met.

**B7. Integrate Barrier-Free Design.**

**Findings:** This addition will provide access to all. This guideline is met.

**C2. Promote Quality and Permanence in Development.**

**C3. Respect Architectural Integrity.**

**C5. Design for Coherency.**

**Findings:** The proposed work will be a seamless addition to the existing building in terms of materials and details. The addition will be clad in corrugated metal panels that match the metal panel system of the existing building. The windows will be aluminum windows to match the type and profile of the windows of the existing building (Exhibit G.3). The massing of this addition continues the original stated intent to, “break down the building’s mass into smaller-scaled elements to make it less monumental and more visually interesting and approachable.” These guidelines are met.

**C4. Complement the Context of Existing Buildings.**

**Findings:** The exiting building design and massing were found to meet this guideline when initially approved in 2000. The current proposal is a small addition to the side and rear of the lot. It will follow the same architectural language and detailing as the original – maintaining compliance with this guideline. And, building to the property lines is allowed outright in the Central City Plan District; as a one-story addition with no windows facing neighbors it will not have negative physical impacts on the neighboring buildings. This guideline is met.

**C9. Develop Flexible Sidewalk-Level Spaces.**

**Findings:** The addition is setback from the sidewalk zone and therefore will not have much interaction with the public realm. However, the new addition is designed to allow flexible spaces at the sidewalk-level of the building to accommodate a variety of active uses. And, it at least includes a window facing the street. This guideline is met.

**C11. Integrate Roofs and Use Rooftops.**

**Findings:** The roof will be free of mechanical equipment. According to the applicant, no mechanical equipment will be located on the new roof – the addition will utilize the existing rooftop-mounted air handler (Exhibit G.3). This improves views down on the building from above, especially since this proposal is for a one-story addition. This guideline is met.

**C12. Integrate Exterior Lighting.**

**Findings:** Lighting is not proposed. This guideline does not apply.

## **DEVELOPMENT STANDARDS**

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

## CONCLUSIONS

The applicable approval criteria are met.

## ADMINISTRATIVE DECISION

Approval of design review for a new one-story 1,240 SF addition to the north and east elevations of the existing building. The addition will be clad in corrugated metal panels that match the metal panel system of the existing building. The windows will be aluminum windows to match the type and profile of the windows of the existing building. Approval, per the approved plans, Exhibits C-1 through C-5, signed and dated April 27, 2010, subject to the following condition:

- A. As part of the building permit application submittal, each of the 4 required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C.1-C.5. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 10-106201 DZ. No field changes allowed."

**Staff Planner: Kara Fioravanti**



**Decision rendered by:** \_\_\_\_\_ **on April 27, 2010**

By authority of the Director of the Bureau of Development Services

**Decision mailed: April 29, 2010**

**About this Decision.** This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

**Procedural Information.** The application for this land use review was submitted on January 26, 2010, and was determined to be complete on February 17, 2010.

*Zoning Code Section 33.700.080* states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on January 26, 2010.

*ORS 227.178* states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period.

**Some of the information contained in this report was provided by the applicant.**

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

**Conditions of Approval.** If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project

elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

**Appealing this decision.** This decision may be appealed to the Design Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on May 11, 2010** at 1900 SW Fourth Ave. Appeals can be filed Tuesday through Friday on the first floor of the Development Services Center until 3 p.m. After 3 p.m. and Mondays, appeals must be submitted to the receptionist at the front desk on the fifth floor. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization’s boundaries. The vote to appeal must be in accordance with the organization’s bylaws. Low-income individuals appealing a decision for their personal residence that they own in whole or in part may qualify for an appeal fee waiver. In addition, an appeal fee may be waived for a low income individual if the individual resides within the required notification area for the review, and the individual has resided at that address for at least 60 days. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Fee waivers for low-income individuals must be approved prior to filing the appeal; please allow 3 working days for fee waiver approval. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at [www.portlandonline.com](http://www.portlandonline.com).

**Attending the hearing.** If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Design Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 550 Capitol St. NE, Suite 235, Salem, Oregon 97301, or phone 1-503-373-1265 for further information. Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Design Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

**Recording the final decision.**

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed,* The final decision may be recorded on or after **May 12, 2010 – (the day following the last day to appeal).**
- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- By Mail: Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.

- In Person: Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034  
For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

**Expiration of this approval.** An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun. Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

**Applying for your permits.** A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

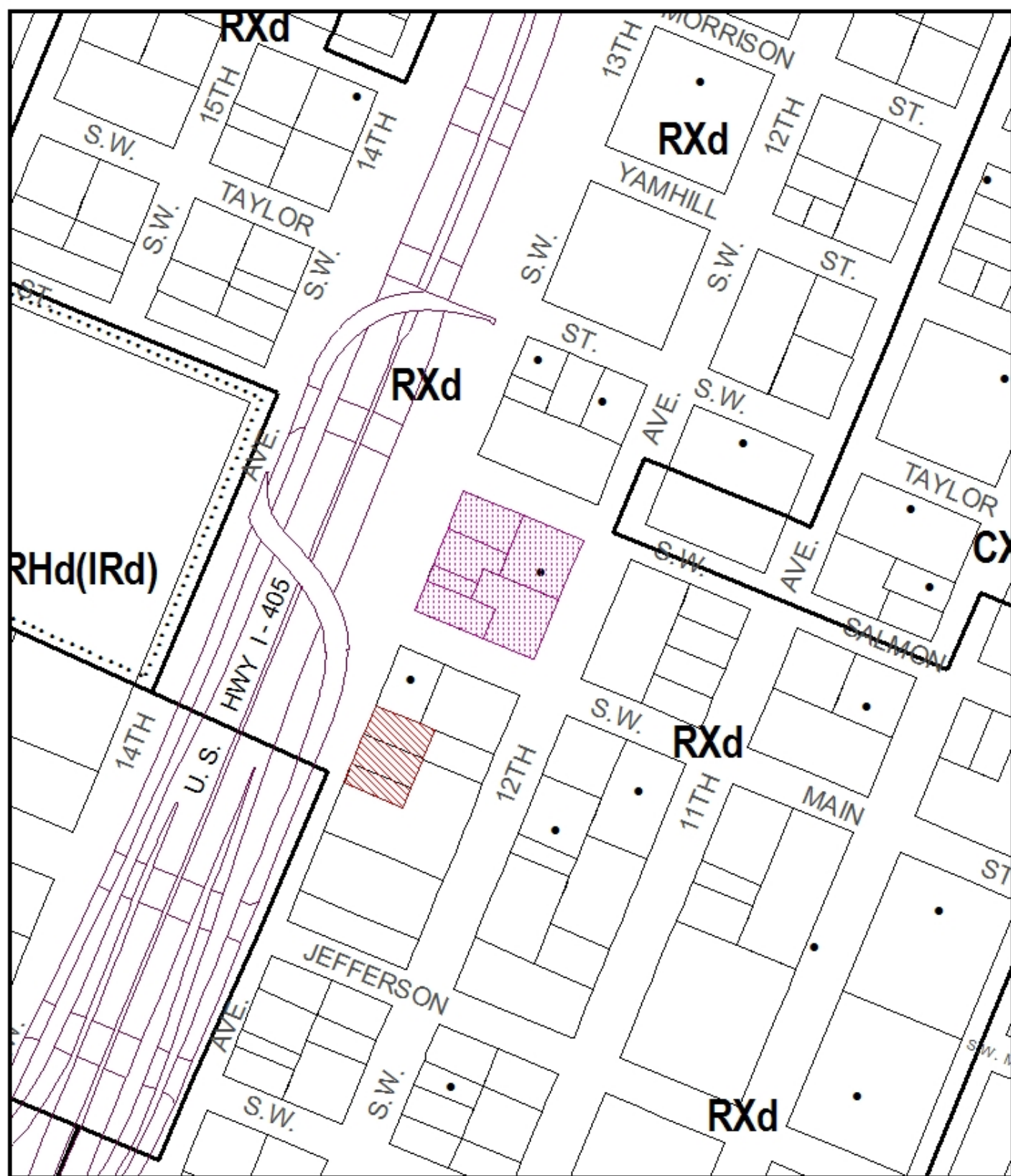
- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

#### **EXHIBITS**




NOT ATTACHED UNLESS INDICATED

- A. Applicant's Submittal
  - 1. Narrative
  - 2. Use Allocations for building
  - 3. Photos of site
- B. Zoning Map (attached)
- C. Plans/Drawings:
  - 1. Site/Roof Plan (attached)
  - 2. Level 1 Floor Plan
  - 3. Building Elevations (attached)
  - 4. Building Sections
  - 5. Enlarged West Elevation
- D. Notification information:
  - 1. Mailing list
  - 2. Mailed notice
- E. Agency Responses:
  - 1. Water Bureau
  - 2. Bureau of Environmental Services
- F. Correspondence:
  - 1. Blackman, 3-22-10, opposition to proposal
- G. Other:
  - 1. Original LU Application
  - 2. Site History Research
  - 3. Emails from applicant re: BES, rooftop mechanical, windows, materials

**The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).**



## ZONING

-  Site
-  Also Owned
-  Historic Landmark



This site lies within the:  
CENTRAL CITY PLAN DISTRICT

File No.	LU 10-106201 DZ
1/4 Section	3128
Scale	1 inch = 200 feet
State_Id	1S1E04AA 4200
Exhibit	B (Mar 30, 2010)



**OUTSIDE IN ADDITION**  
1132 SW 13TH AVE  
PORTLAND, OR

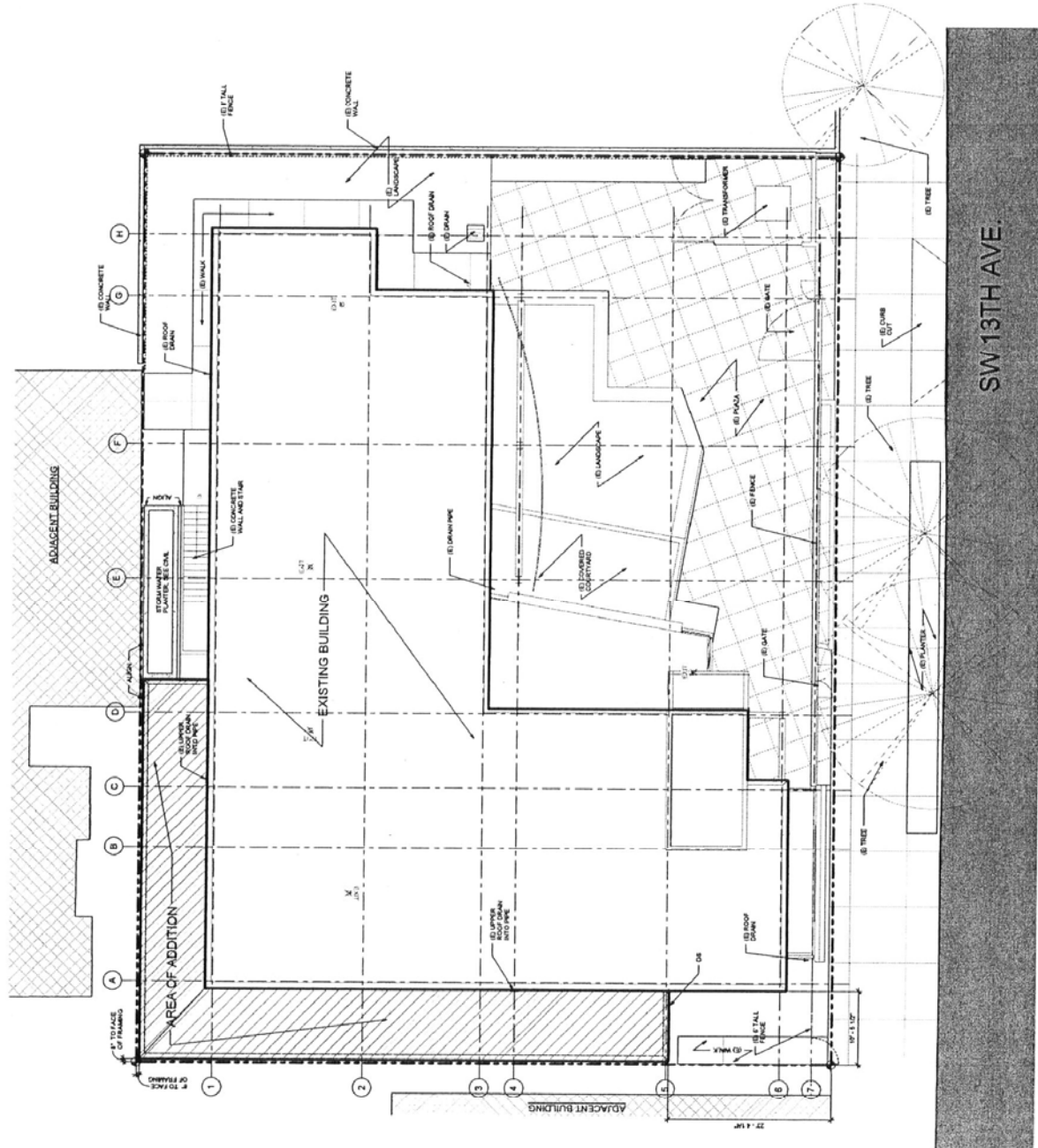
ISSUE DATE: 02.08.12  
REVISIONS:

CONSTRUCTION NAME  
DATE: 11.1.12

SCALE: 1/8" = 1'-0"

SITE PLAN

**A1.00**



1 ARCHITECTURAL SITE PLAN

\*Approved\*

City of Portland - Bureau of Development Services

Date 4-27-10

This approval applies only to the reviews requested and is subject to the City of Portland's zoning requirements. Additional zoning requirements may apply.

EMC.1  
10-106201

City of Portland - Bureau of Development Services  
Date: 4-27-10  
Approval applies only to the reviews requested and is subject to final approval. Additional zoning requirements may apply.

**Outside In Addition**

1132 SW 13TH AVE

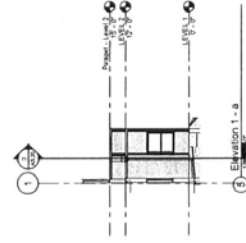
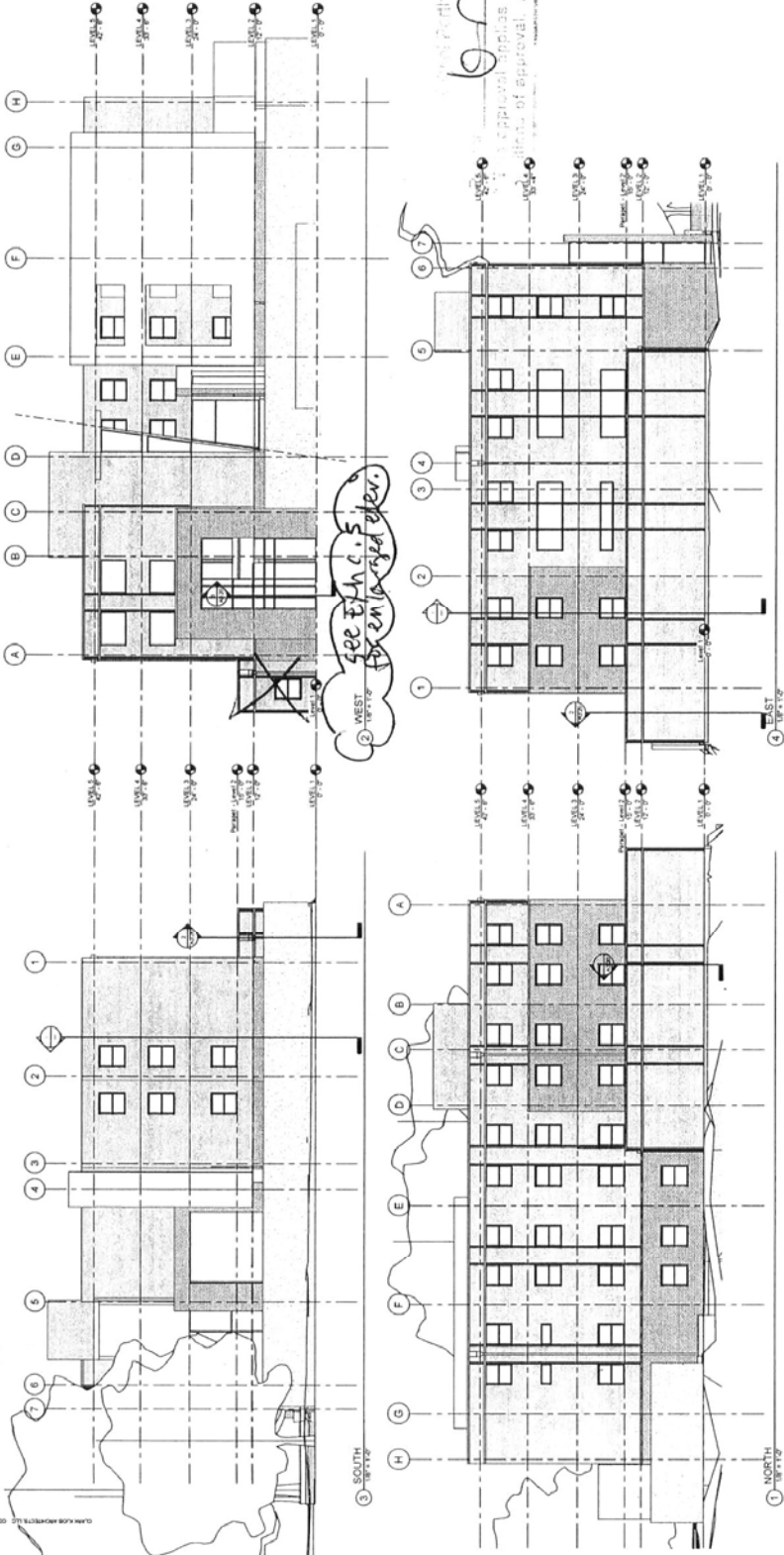
DRAWN BY: JAW  
CHECKED BY: JAW  
DATE: 01/22/2010  
REVISIONS:

ETH C.3  
10/06/201

Design Review

EXTERIOR  
ELEVATIONS

**A3.00**



see ETH C.3 for enlarged elev.