



City of Portland, Oregon
Bureau of Development Services
Land Use Services

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Portland, Oregon 97201
503-823-7300
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TTY 503-823-6868
www.portlandonline.com/bds

Date: April 1, 2010
To: Interested Person
From: Dave Skilton, Land Use Services 503-823-0660
dave.skilton@ci.portland.or.us

FINAL DECISION BY THE HISTORIC LANDMARKS
COMMISSION - RENDERED ON March 22, 2010

CASE FILE NUMBER: LU 10-105530 HDZ
PC # 09-177833

Re-Cladding and New Windows for the Washington Park
Condominiums

GENERAL INFORMATION

Applicant: Association of Unit Owners
Washington Park Condominium
2211 SW Park Place
Portland, OR 97205

Representative: John Duncan, Consultant 503-772-1114
Forensic Building Consultants LLC
105 SE Taylor, Suite 307
Portland, OR 97214

Site Address: 2211 SW Park Place

Legal Description: GENERAL COMMON ELEMENTS, WASHINGTON PARK CONDOMINIUM
Tax Account No.: R881500010
State ID No.: 1N1E33CD 60000
Quarter Section: 3027

Neighborhood: Goose Hollow, contact Jerry Powell at 503-222-7173.
Business District: Goose Hollow Business Association, contact Angela Crawford at 503-223-6376.
District Coalition: Neighbors West/Northwest, contact Mark Sieber at 503-823-4212.

Other Designations: Non-contributing resource in the King's Hill Historic District, which was listed in the National Register of Historic Places on February 19, 1991.

Zoning: RH, Residential High Density, with Historic Resource Protection Overlay
Case Type: HDZ, Historic Design Review
Procedure: Type III, with a public hearing before the Historic Landmarks Commission. The decision of the Historic Landmarks Commission can be appealed to City Council.

Proposal:

The applicant is seeking Historic Design Review approval for a proposal to alter the exterior of a non-contributing building in the King's Hill Historic District. The proposal is for re-cladding with a combination of metal and synthetic stucco panels and replacing existing windows with similarly configured but thermally superior units. Historic Design Review is required because the proposal is for exterior alterations to a building within the King's Hill Historic District, which was listed in the National Register of Historic Places on February 19, 1991. The Type III review is triggered by the value of the work proposed.

Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The applicable approval criteria are:

- 33.846.060 Historic Design Review
- King's Hill Historic District Design Guidelines

LANDMARKS COMMISSION DECISION

It is the decision of the Landmarks Commission to approve Historic Design Review for exterior alterations on a non-contributing resource in the King's Hill Historic District;

Approval per Exhibits C-1 through C-18 subject to the following condition:

- A. As part of the building permit application submittal, each of the 4 required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C-1 through C-18. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 10-105530 HDZ. No field changes allowed."

By: 

Art DeMuro, Chair of Historic Landmarks Commission

Application Filed: January 22, 2010

Decision Rendered: March 22, 2010

Decision Filed: March 23, 2010

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on January 22, 2010, and was determined to be complete on February 5, 2010.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on January 22, 2010.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period.

Some of the information contained in this report was provided by the applicant. As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the

applicant to show that the approval criteria are met. This report is the final decision of the Landmarks Commission with input from other City and public agencies.

Conditions of Approval. This approval may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appeal of this decision. This decision is final unless appealed to City Council, who will hold a public hearing. Appeals must be filed by 4:30 pm on April 15, 2010 at 1900 SW Fourth Ave. Appeals can be filed on the first floor in the Development Services Center Tuesday through Friday until 3 p.m. After 3 p.m. and on Mondays, appeals must be submitted to the receptionist at the front desk on the fifth floor. Information and assistance in filing an appeal is available from the Bureau of Development Services in the Development Services Center or the staff planner on this case. You may review the file on this case at our office, 1900 SW Fourth Avenue, Suite 5000, Portland Oregon, 97201.

If this decision is appealed, a hearing will be scheduled and you will be notified of the date and time of the hearing. The decision of City Council is final; any further appeal is to the Oregon Land Use Board of Appeals (LUBA).

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to City Council on that issue. Also, if you do not raise an issue with enough specificity to give City Council an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Who can appeal: You may appeal the decision only if you have written a letter which was received before the close of the record at the hearing or if you testified at the hearing, or if you are the property owner or applicant. Appeals must be filed within 14 days of the decision. **An appeal fee of $-\$01$ will be charged (one-half of the application fee for this case).**

Neighborhood associations and low-income individuals may qualify for a waiver of the appeal fee. Additional information on how to file and the deadline for filing an appeal will be included with the decision. Assistance in filing the appeal and information on fee waivers are available from the Bureau of Development Services in the Development Services Center, 1900 SW Fourth Ave., First Floor. Fee waivers for low income individuals must be approved prior to filing your appeal; please allow three working days for fee waiver approval. Fee waivers for neighborhood associations require a vote of the authorized body of your association. Please see appeal form for additional information.

Recording the final decision.

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed,* The final decision may be recorded on or after **April 16, 2010.**
- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- By Mail: Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- In Person: Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034
For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Zone Change and Comprehensive Plan Map Amendment approvals do not expire.

Applying for your permits. A building permit, occupancy permit, or development permit must be obtained before carrying out this project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed here.
- All applicable development standards, unless specifically exempted as part of this land use review.
- All requirements of the building code.
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the city.

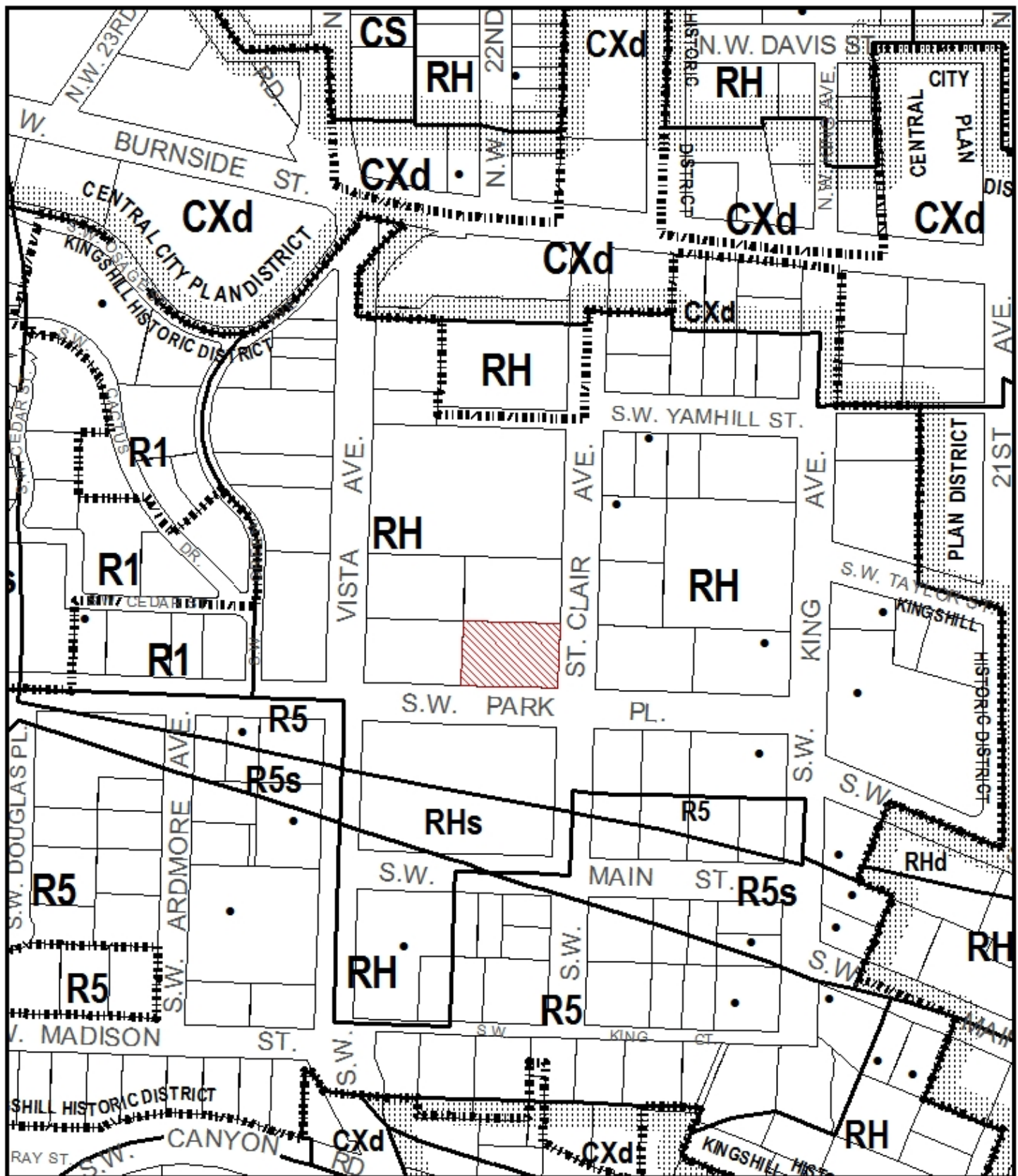
Dave Skilton
March 22, 2010

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).

EXHIBITS – NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement:
- B. Zoning Map (attached):
- C. Plans & Drawings:
 - 1. Table of Contents
 - 2. Narrative (2 pages)
 - 3. Rendered North and West Elevations (attached)
 - 4. Rendered South and East Elevations (attached)

5. Landscaping/Site Plan (attached)
 6. Parking Layout
 7. Typical Floor Plan
 8. North Elevation
 9. West Elevation
 10. South Elevation
 11. East Elevation
 12. Window Schedule
 13. Cladding Selections
 14. Bike Rack and Window Selections
 15. Window Sill and Head Section Details
 16. Soffit Section Details
 17. Parapet Section Detail
 18. Window Jamb Section Detail
 - D. Notification information:
 1. Request for response
 2. Posting letter sent to applicant
 3. Notice to be posted
 4. Applicant's statement certifying posting
 5. Mailing list
 6. Mailed notice
 - E. Agency Responses: none
 - F. Letters: none
 - G. Other Materials:
 1. Original LUR Application
 2. Site History Research
 - H. Information up to, and including, the March 22, 2010 Hearing:
 1. Staff Report
 2. PowerPoint for the March 22, 2010 Hearing
 - I.
 1. Final Findings & Decision
- cc: Applicants and Representatives
Neighborhood Associations
Those who testified, orally or in writing
Development Services Center



ZONING



Site



Historic Landmark



NORTH

This site lies within the:
KING'S HILL HISTORIC DISTRICT

File No. LU 10-105530 HDZ

1/4 Section 3027

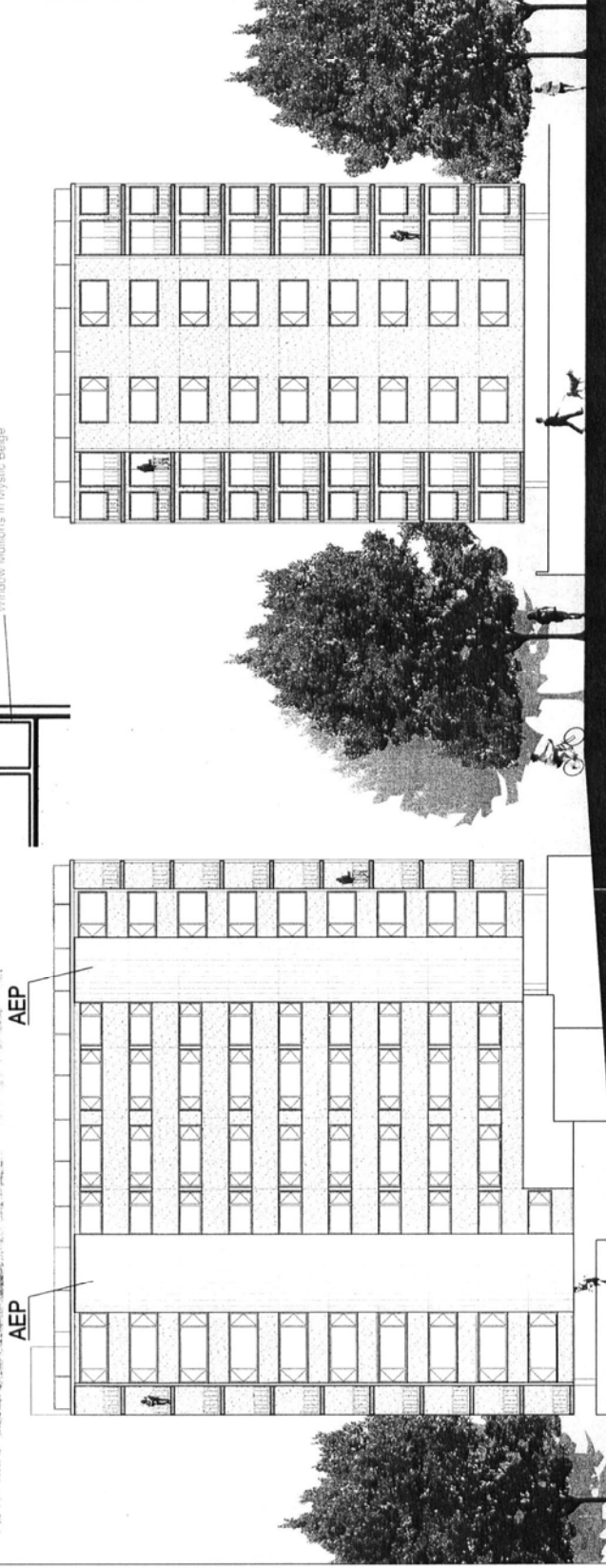
Scale 1 inch = 200 feet

State Id 1N1E33CD 60000

Exhibit B (Jan 25, 2010)

AEP Span: Heavy gage metal panel (flat profile)
Senergy 1000: Synthetic stucco board w/ drainage cavity
Windows: Traco NX 3100

LU 10-105530 HDZ EXHIBIT C-3
 Approved
 City of Portland - Bureau of Development Services
 Planner *Dan Sullivan* Date *3.22.10*
 * This approval applies only to the reviews requested and does not constitute approval. Additional zoning regulations may apply.



**Washington Park Condominiums - North and West Elevations
 Building Envelope Options**

WP1

DESIGN REVIEW
 WASHINGTON PARK CONDOMINIUMS
 2211 SW PARK PLACE, PORTLAND, OR 97205



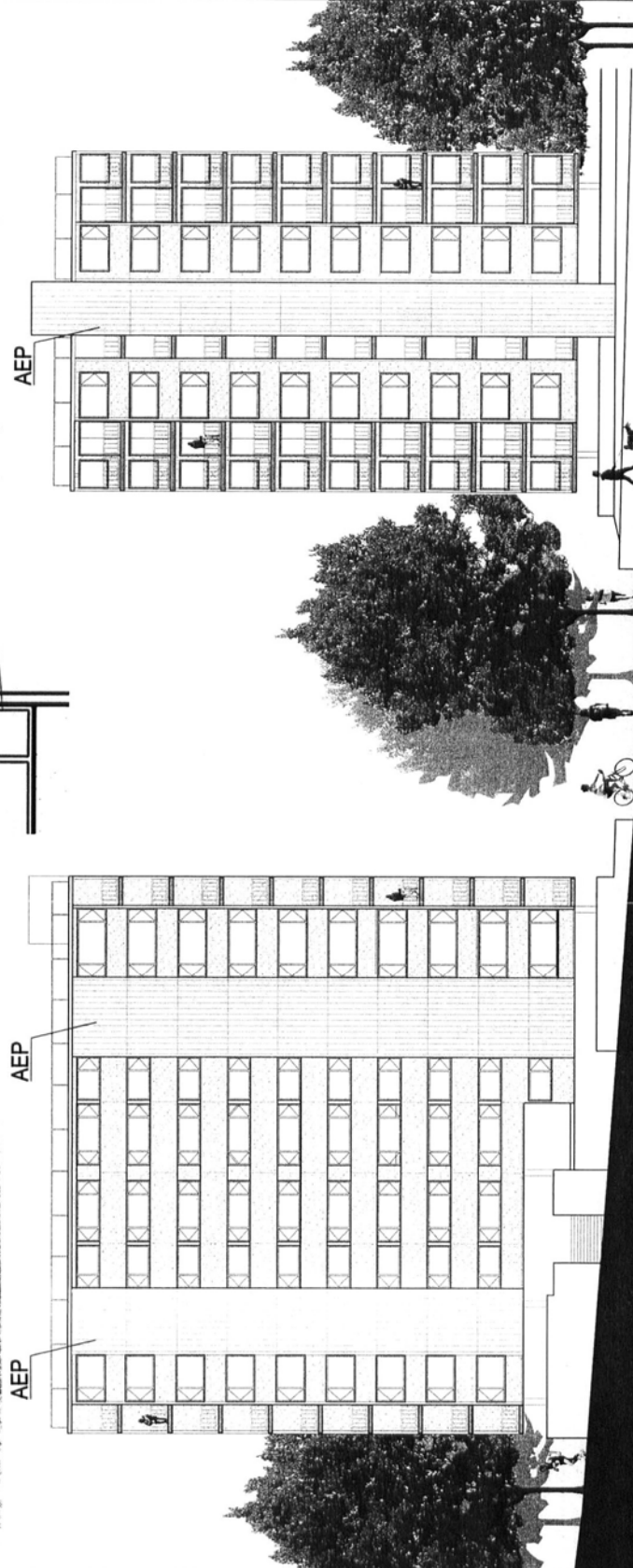
105 SE TAYLOR STREET
 SUITE 307
 PORTLAND, OR 97214
 OFFICE 503.772.1114
 FAX 503.772.4039
 www.forensicbuilding.com
 info@forensicbuilding.com

AEP Span: Heavy gage metal panel (flat profile)
Senergy 1000: Synthetic stucco board w/ drainage cavity
Windows: Traco NX 3100

LU 10-105530 HDZ EXHIBIT C-4
 Approved*
 City of Portland - Bureau of Development Services
 Permit *Dave Sullivan* Date *3-22-10*
 * This approval applies only to the reviews requested and is not a statement of approval. Additional zoning requirements may apply.

FORENSIC
 BUILDING CONSULTANTS

105 SE TAYLOR STREET
 PORTLAND, OR 97214
 OFFICE: 503.772.1114
 FAX: 503.772.4039
 www.forensiconline.com
 info@forensiconline.com



**Washington Park Condominiums - South and East Elevations
 Building Envelope Options**

WP2

DESIGN REVIEW
 WASHINGTON PARK CONDOMINIUMS
 2211 SW PARK PLACE PORTLAND, OR 97205

LANDSCAPING

EXISTING CONDITIONS:
 SITE AREA: 100' x 150' = 15,000 SF
 BUILDING COVERAGE: 5,624 SF (37%)
 LANDSCAPE COVERAGE: 2,808 SF (19%)
 NUMBER OF LIVING UNITS: 38

PARKING
 PARKING REQUIRED:
 MIN: 1 PER 2 UNITS = 19' (TABLE 266-2)
 MAX: NO MAX (TABLE 266-2)

PARKING PROVIDED
 STALL IN LOT: 16
 STALLS UNDER ROOF: 16
 TOTAL STALLS: 32

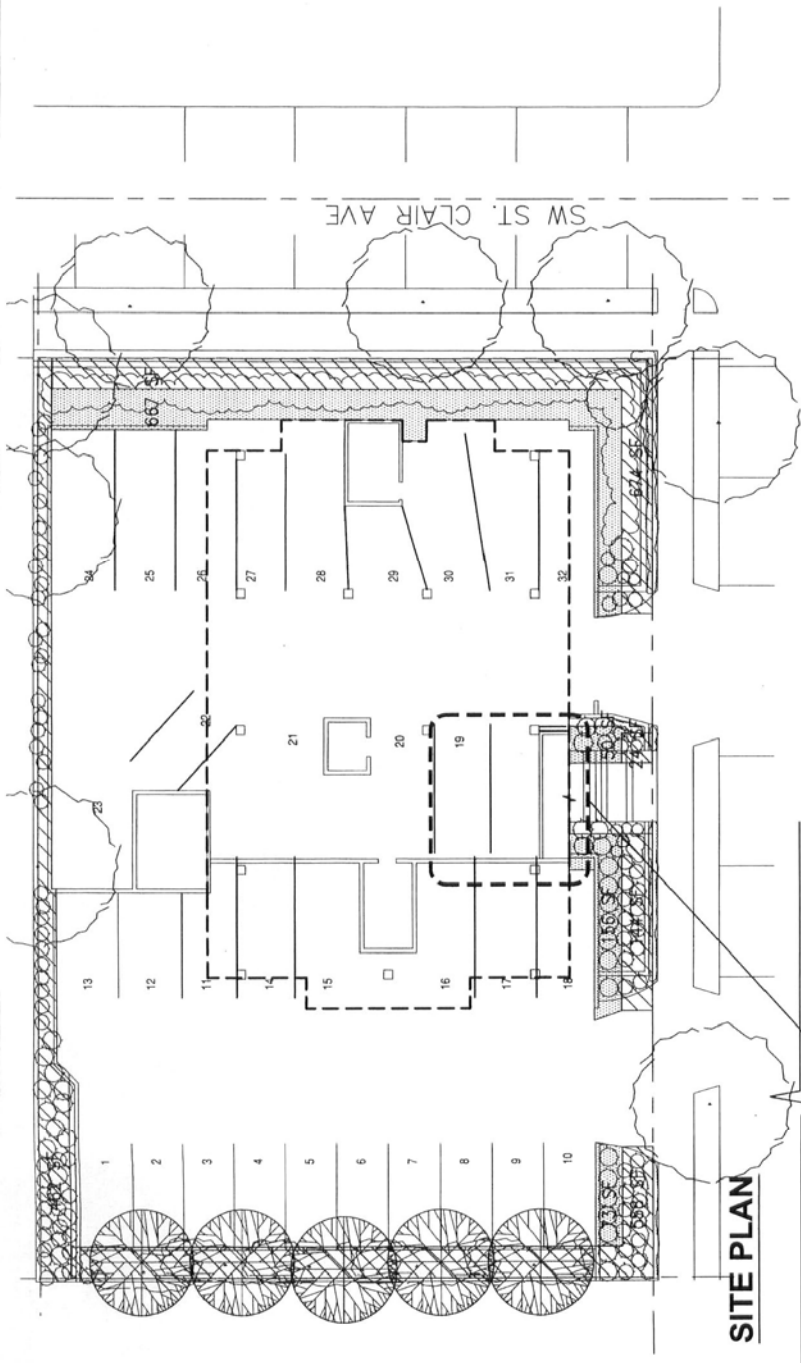
* SITE IS WITHIN 500' OF MASS TRANSIT

LANDSCAPING
 LANDSCAPE REQUIRED
 PERIMETER LANDSCAPE: 5 FT SETBACK
 INTERIOR LANDSCAPE: 45 SF PER PARKING STALL
 (45 x 16) = 720 SF

LANDSCAPE PROVIDED
 PERIMETER LANDSCAPE: 1,862 SF
 INTERIOR LANDSCAPE: 946 SF

BIKE PARKING:
 BIKE PARKING REQUIRED
 PERMANENT: 1 PER 4 UNITS = 10 (TABLE 266-6)
 TEMPORARY: 1 PER 20 UNITS = 2 (TABLE 266-6)

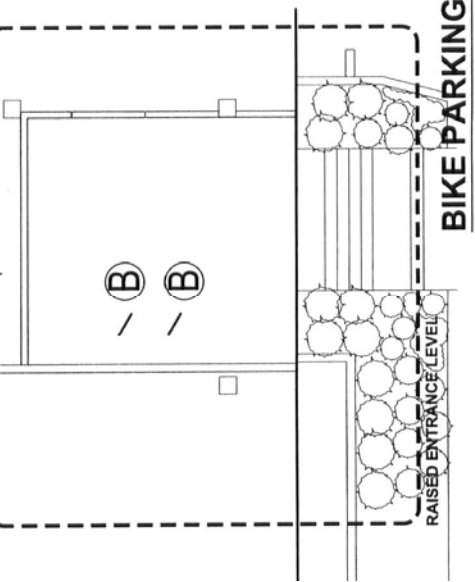
BIKE PARKING PROVIDED
 PERMANENT: 38 (1 IN EACH UNIT)
 TEMPORARY: 2



SITE PLAN

LEGEND

- EXISTING PERIMETER LANDSCAPE
- EXISTING INTERIOR LANDSCAPE
- NEW BIKE PARKING



LV 10-105530 HDZ EXHIBIT C-5
 Approved*
 City of Portland - Bureau of Development Services
 Planner *Dave Shultz* Date 3-22-10
 * This approval applies only to the reviews requested and is subject to conditions of approval. Additional zoning requirements may apply.