



City of Portland, Oregon
Bureau of Development Services
Land Use Services

1900 SW 4th Avenue, Suite 5000
Portland, Oregon 97201
503-823-7300
Fax 503-823-5630
TTY 503-823-6868
www.portlandonline.com/bds

Date: March 3, 2010
To: Interested Person
From: Chris Caruso, Land Use Services
503-823-5747 / Christine.Caruso@ci.portland.or.us

NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has approved a proposal in your neighborhood. The reasons for the decision are included in this notice. If you disagree with the decision, you can appeal it and request a public hearing. Information on how to appeal this decision is listed at the end of this notice.

CASE FILE NUMBER: LU 10-104538 DZ **10305 E BURNSIDE EXTERIOR RENOVATIONS**

GENERAL INFORMATION

Applicant: Susan Rudloff
Carleton Hart Architects
322 NW 8th Avenue
Portland, OR 97209

Representative: Brett Taute
Multnomah County - Facilities & Property Management
401 N Dixon St
Portland, OR 97227-1865

Site Address: 10305 E BURNSIDE

Legal Description: LOT 1-6 TL 13100, KILWORTH AC; CANCEL ACCOUNT INTO R197977 (R45100-0010), KILWORTH AC

Tax Account No.: R451000010, R451000180, R451000180, R451000010, R451000010

State ID No.: 1N2E34CB 13100, 1N2E34CB 13000, 1N2E34CB 13000, 1N2E34CB 13100, 1N2E34CB 13100

Quarter Section: 3041

Neighborhood: Hazelwood, contact Arlene Kimura at 503-252-9429.

Business District: Gateway Area Business Association, contact Fred Sanchez at 503-256-3910.

District Coalition: East Portland Neighborhood Office, contact Richard Bixby at 503-823-4550.

Plan District: Gateway

Zoning: CXd – Central Commercial with design overlay

Case Type: DZ – Design Review

Procedure: Type II - an administrative decision with appeal to the Design Commission.

Proposal:

Applicant seeks Design Review approval for exterior alterations to an existing building in the Gateway Plan District that include the following:

- 70 SF of new concrete paving outside the southeast entrance to the Play Yard;
- Removing two existing vinyl windows and installing two new metal doors with vinyl-framed sidelites in their place on the eastern south façade;
- Installing a new glass and metal door with frame in the center of the eastern south façade;
- Installing a new metal door and frame in the lower east façade; and
- Replacing a solid overhead garage door with a fully glazed overhead garage door in the western south façade.

All exterior trim and siding will match the existing façade in material and profile.

Design review is required for exterior alterations in the Gateway Plan District.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The relevant criteria are:

- 33.825 Design Review
- Gateway Regional Center Design Guidelines

ANALYSIS

Site and Vicinity: The site is located at the northeastern corner of NE 102nd Avenue and E Burnside Street in the Hazelwood neighborhood. The existing development is a Multnomah County social services facility consisting of four residential-styled structures that are all internally connected to each other, a separate covered parking structure and surface parking lot. The main vehicular entry is off of NE 102nd Avenue and the main client entry is off of NE Davis Street. There is a vacant lot to the west and a single-family residence to the east. The Russellville senior living development is directly across E. Burnside to the south.

The surrounding area contains a mixture of commercial zoning and high-density residential zoning. The Metropolitan Area Express (MAX) light-rail train operates along E Burnside Street, south of the site. There is a westbound stop located at E Burnside Street and 102nd Avenue. The #15 busline provides north- and southbound service on 102nd Avenue. The #20 busline provides southbound service on 102nd Avenue. Interstate 205 is located about 1,500 feet west of the site. According to Portland's Transportation System Plan, E Burnside Street is a designated Neighborhood Collector Street, Regional Transitway/Major Transit Priority Street, City Bikeway, and Community Main Street. NE/SE 102nd Avenue is classified as a District Collector Street, Major Transit Priority Street, City Bikeway, and Community Main Street. The site is located in the Gateway Pedestrian District.

Zoning: The Central Commercial (CX) zone is intended to provide for commercial development within Portland's most urban and intense areas. A broad range of uses is allowed to reflect Portland's role as a commercial, cultural and governmental center. Development is intended to be very intense with high building coverage, large buildings, and buildings placed close together. Community Services and Group Living is allowed by-right in the CX zone.

The Design (d) overlay zone promotes the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. This is achieved through the creation of design districts and applying the Design overlay zone as part of community planning projects, development of design guidelines for each district, and by requiring design review. In addition, Design Review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area.

Land Use History: City records indicate prior land use cases that include the following:

- LUR 00-00544 DZM – approval of the Multnomah County Children's Receiving Center

Agency Review: A “Notice of Proposal in Your Neighborhood” was mailed **February 3, 2010**. The following Bureaus have responded with no issues or concerns:

- Bureau of Environmental Services
- Bureau of Transportation Engineering
- Water Bureau
- Fire Bureau
- Site Development Section of BDS
- Life Safety Review Section of BDS
- Bureau of Parks-Forestry Division

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on February 3, 2010. One written response has been received from either the Neighborhood Association or notified property owners in response to the proposal.

1. Hazelwood Neighborhood Association, February 24, 2010 – would like planters at the Play Yard fenceline and additional lighting around the Head Start area.

Staff Response: These areas of concern have been forwarded to the applicant for consideration but they are not required for approval of this land use review.

ZONING CODE APPROVAL CRITERIA

Chapter 33.825 Design Review

Section 33.825.010 Purpose of Design Review

Design review ensures that development conserves and enhances the recognized special design values of a site or area. Design review is used to ensure the conservation, enhancement, and continued vitality of the identified scenic, architectural, and cultural values of each design district or area. Design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area. Design review is also used in certain cases to review public and private projects to ensure that they are of a high design quality.

Section 33.825.055 Design Review Approval Criteria

A design review application will be approved if the review body finds the applicant to have shown that the proposal complies with the design guidelines for the area.

Findings: The site is designated with design overlay zoning (d), therefore the proposal requires Design Review approval. Because of the site’s location, the applicable design guidelines are the Gateway Regional Center Design Guidelines.

Gateway Regional Center Design Guidelines

The Gateway Regional Center is the City of Portland’s only designated regional center. The area is envisioned to redevelop into a highly urbanized, pedestrian-oriented center, with an overall built size and scale second only to Portland’s Central City.

The purpose of design review is to carry out the urban design vision for the District by emphasizing unique district assets in a manner that is respectful, creative, supportive, and compatible with all its areas. Although the District is a complex urban environment, it can become a cohesive whole with the use of these design principles.

Gateway Regional Center Design Goals

Ten goals for design review in the Gateway Regional Center have been established to enhance the area’s design quality, support its livability, and guide its transition to a pedestrian-oriented, active, urban regional center. They are:

1. Encourage urban design excellence.
2. Ensure that new development is at a human scale and that it relates to the scale and desired character of its setting and the Gateway Regional Center as a whole.
3. Provide for a pleasant, rich, and diverse experience for pedestrians.

4. Assist in creating a regional center that emphasizes a mix of active uses and experiences and is safe, lively, and prosperous.
5. Provide for the humanization of the Gateway Regional Center through the promotion of parks, plazas, open spaces, public art, and trees.
6. Integrate and honor the diversity and history of Gateway.
7. Integrate sustainable principles into the development process.
8. Encourage the development of a distinctive character for subdistricts within the regional center, and link them.
9. Encourage and incorporate transit orientation and usage.
10. Enhance the physical and visual linkages between the Gateway Regional Center and adjacent neighborhoods.

Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.

B Development Design

B1. Convey Design Quality and Building Permanence. Use design principles and building materials that convey quality and permanence.

B2. Integrate Ground-Level Building Elements. Integrate the different ground-level building elements with the building's architecture.

B3. Design for Coherency. Integrate the different parts of a building to achieve a coherent design.

Findings: The new doors and windows are of high quality, durable materials commonly found on residential-scaled projects in this area. The new concrete stoop, glazed overhead garage door, new person doors and windows match the existing architectural door and window elements on the existing buildings, integrating them into the ground level of the buildings and creating a cohesive architectural design by their residential scale and materials. *Therefore, these guidelines are met.*

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

The design review process exists to promote the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. The proposed new windows and doors and additional concrete paving maintains the overall architectural composition of the multiple on-site buildings, further integrates the ground level design elements on the site, and are made from quality durable materials that convey a sense of permanence. The proposal meets the applicable design guidelines and therefore warrants approval.

ADMINISTRATIVE DECISION

Design Review Approval of exterior alterations to an existing building in the Gateway Plan District that include the following:

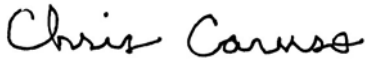
- 70 SF of new concrete paving outside the southeast entrance to the Play Yard;
- Removing two existing vinyl windows and installing two new metal doors with vinyl-framed sidelites in their place on the eastern south façade;

- Installing a new glass and metal door with frame in the center of the eastern south façade;
- Installing a new metal door and frame in the lower east façade;
- Replacing a solid overhead garage door with a fully glazed overhead garage door in the western south façade; and
- All exterior trim and siding will match the existing façade in material and profile.

Approved per the approved site plans, Exhibits C-1 through C-8 signed and dated March 1, 2010, subject to the following conditions:

- A. As part of the building permit application submittal, each of the 4 required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C.1-C.8. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 10-104538 DZ. No field changes allowed."

Staff Planner: Chris Caruso

Decision rendered by:  **on March 1, 2010.**

By authority of the Director of the Bureau of Development Services

Decision mailed: March 3, 2010

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on January 20, 2010, and was determined to be complete on **January 29, 2010.**

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on January 20, 2010.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period. Unless further extended by the applicant, **the 120 days will expire on: May 30, 2010.**

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed to the Design Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on March 17, 2010** at 1900 SW Fourth Ave. Appeals can be filed Tuesday through Friday on the first floor of the Development Services Center until 3 p.m. After 3 p.m. and Mondays, appeals must be submitted to the receptionist at the front desk on the fifth floor. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization’s boundaries. The vote to appeal must be in accordance with the organization’s bylaws. Low-income individuals appealing a decision for their personal residence that they own in whole or in part may qualify for an appeal fee waiver. In addition, an appeal fee may be waived for a low income individual if the individual resides within the required notification area for the review, and the individual has resided at that address for at least 60 days. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Fee waivers for low-income individuals must be approved prior to filing the appeal; please allow 3 working days for fee waiver approval. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Design Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 550 Capitol St. NE, Suite 235, Salem, Oregon 97301, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Design Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed,* The final decision may be recorded on or after **March 18, 2010 – (the day following the last day to appeal).**
- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- By Mail: Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- In Person: Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the

County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034. For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Zone Change and Comprehensive Plan Map Amendment approvals do not expire.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

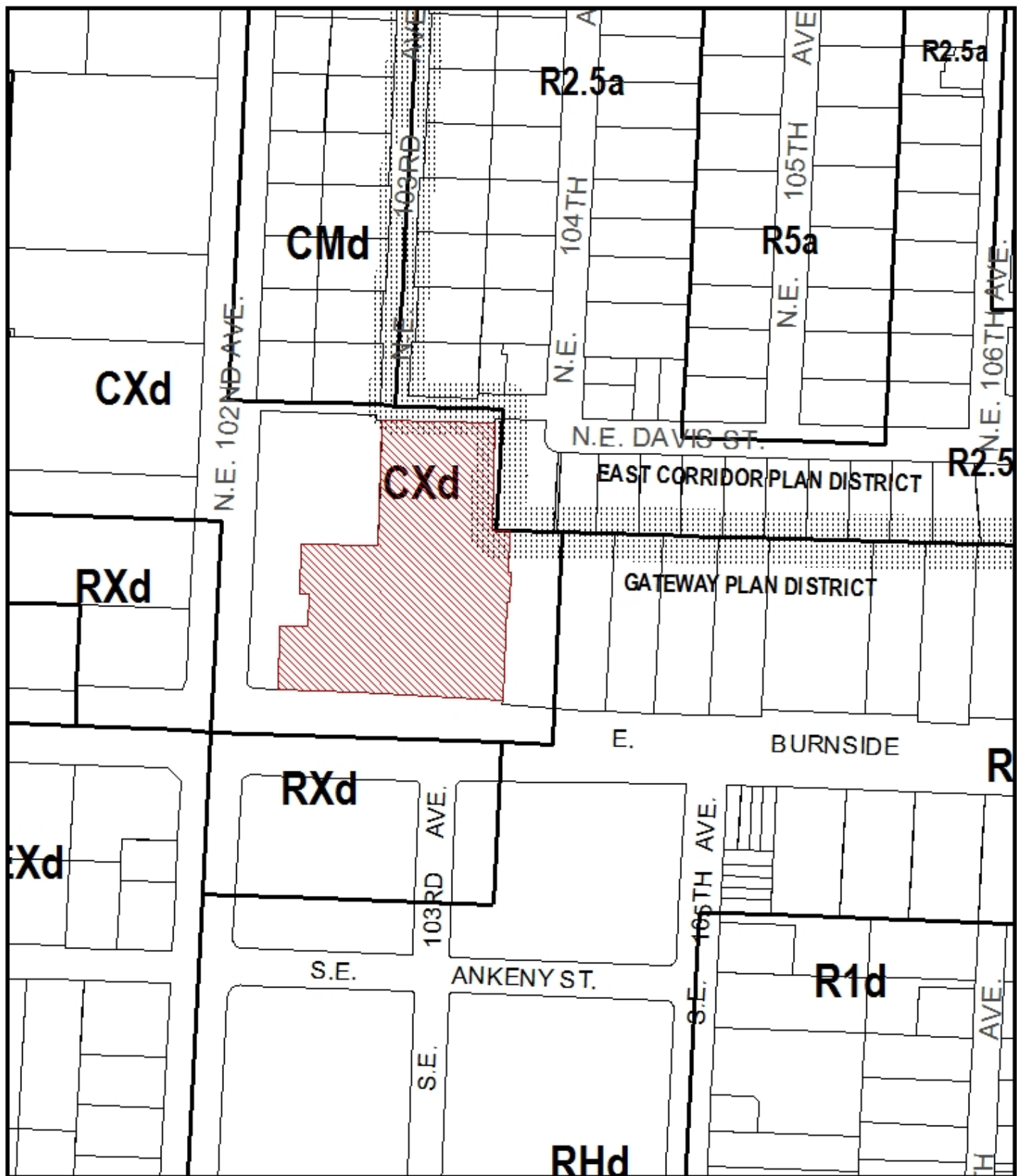
- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

EXHIBITS

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
- B. Zoning Map (attached)
- C. Plans/Drawings:
 - 1. Site Plan (attached)
 - 2. Floor Plan (attached)
 - 3. Elevations (attached)
 - 4. Details
 - 5. Partial Elevations
 - 6. Vicinity Plan
 - 7. Window Specifications
 - 8. Door Specifications
- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Responses: no concerns
- F. Correspondence
 - 1. Hazelwood Neighborhood Association, February 24, 2010 – would like planters at the Play Yard fenceline and additional lighting around the Head Start area.
- G. Other:
 - 1. Original LU Application
 - 2. Site History Research

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).



ZONING

 Site

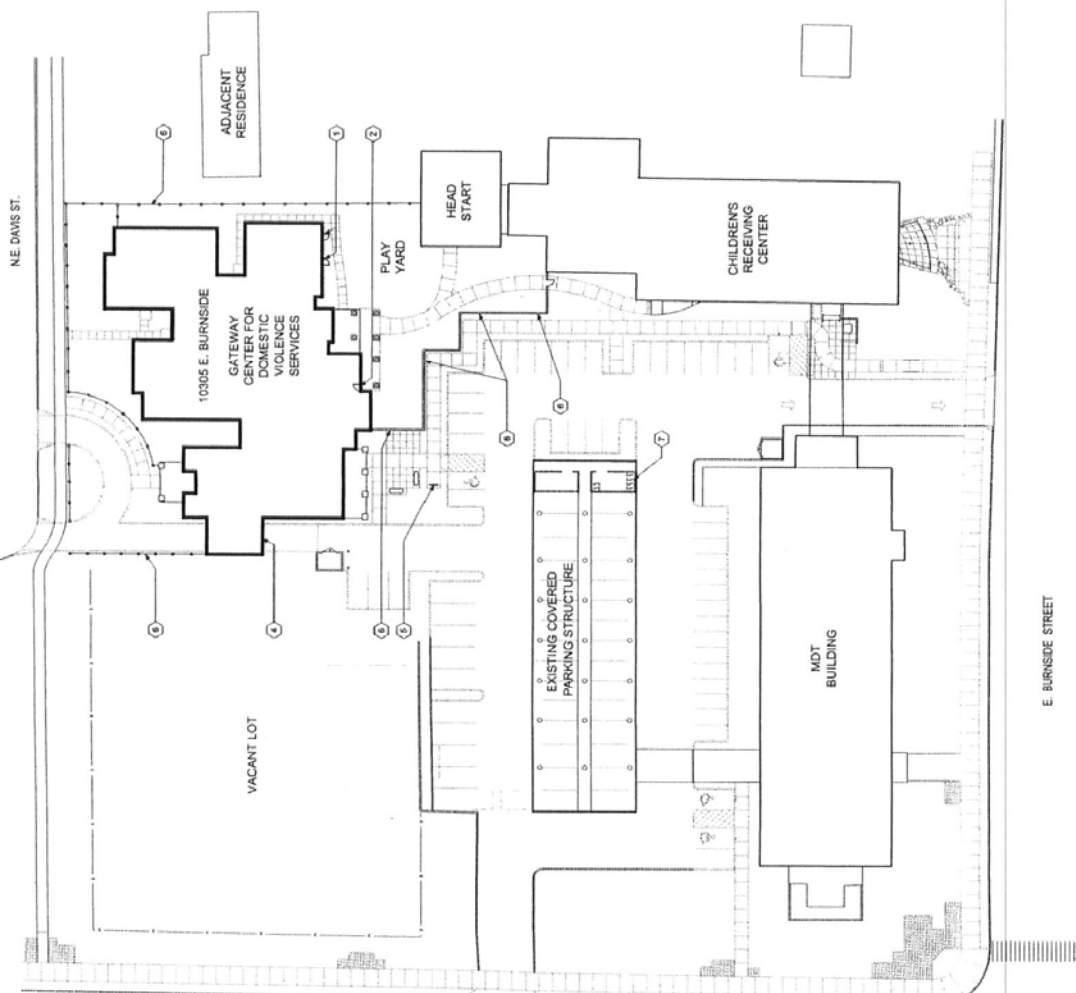


NORTH

This site lies within the:
GATEWAY PLAN DISTRICT

File No.	<u>LU 10-104538 DZ</u>
1/4 Section	<u>3041</u>
Scale	<u>1 inch = 187 feet</u>
State_Id	<u>1N2E34CB 13100</u>
Exhibit	<u>B</u> (Jan 22,2010)

7.



1 SITE PLAN
SCALE: 1/2" = 1'-0"

/60° = 1'-0" WHEN PRINTED AT 11" X 17"



GATEWAY CHILDREN'S CENTER

3. BURNSIDE STREET

N.E. 102ND AVE.

NE. DAVIS ST.

ADJACENT
RESIDENCE

0305 E. BURNSIDE

VACANT LOT

6

2

HEAD
START

EXISTING COVERED
WORKING STRUCTURE

MDT

CHILDREN'S
RECEIVING
CENTER

* Approved*
City of Portland - Bureau of Development Services
Planner John C. [Signature] Date 3/1/70
* This approval applies only to the reviews requested and is subject to the conditions of approval. Additional zoning requirements may apply.

KEY NOTES

- 1 (2) NEW DOORS & WINDOWS TO REPLACE (E) WINDOWS.
- 2 NEW DOOR IN NEW OPENING.
- 3 NEW WINDOW IN (E) DOOR OPENING.
- 4 NEW GLAZED OVERHEAD DOOR TO REPLACE SOLID PANEL OVERHEAD DOOR.
- 5 (E) BIKE PARKING (2)
- 6 (E) 6'-0" HIGH WD. FENCE
- 7 (E) LONG TERM BICYCLE STORAGE

CARLETON HART ARCHITECTURE
122 NW 6th Avenue Portland, Oregon 97209

603 243 3253 | 603 243 3261 | 601 614 0500

MULTNOMAH COUNTY
GATEWAY CENTER FOR DOMESTIC VIOLENCE SERVICES
GCC RESIDENTIAL BUILDING
10305 E. BURNSIDE

PORTLAND, OREGON 97216

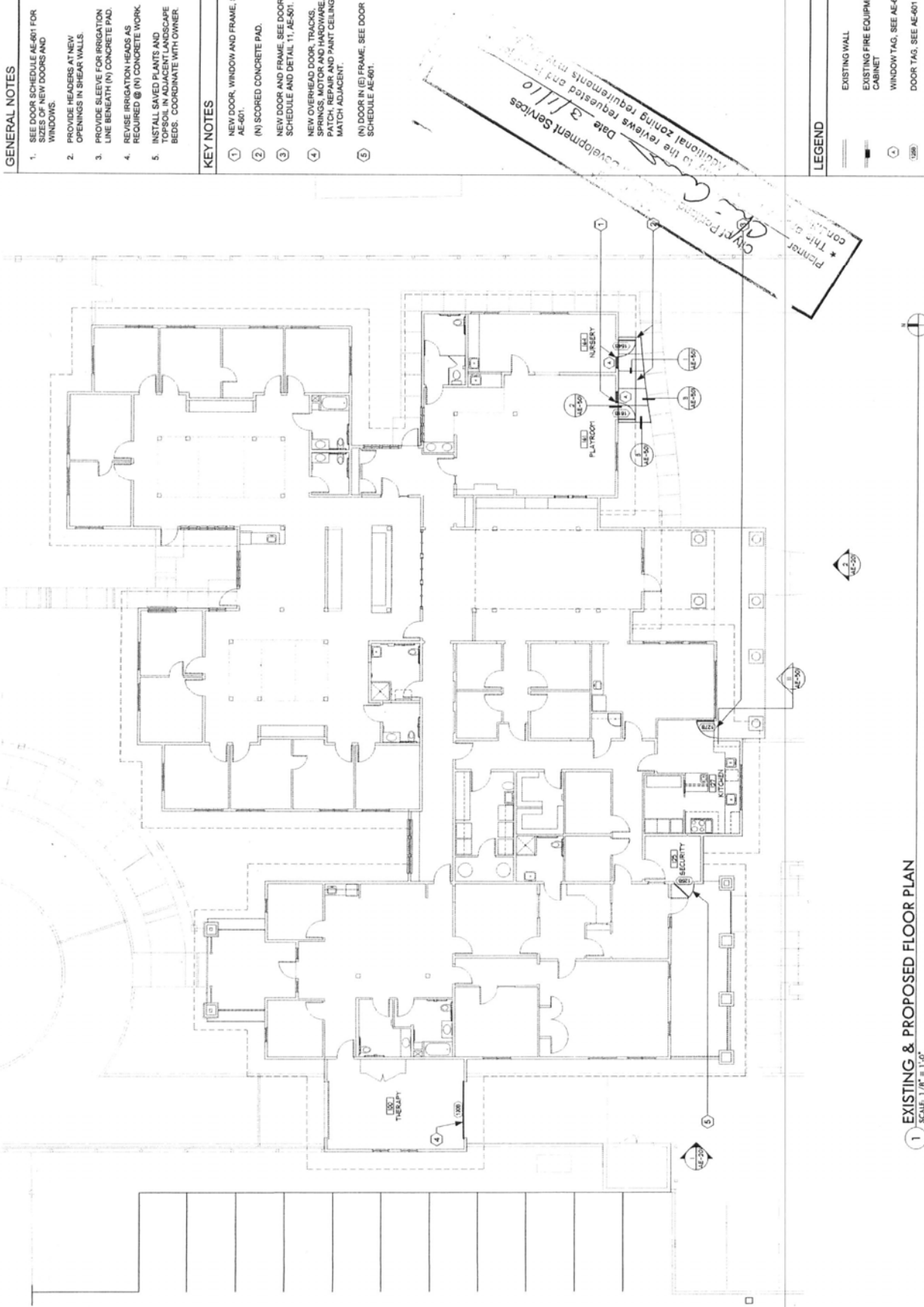
EXTENSIONAL THERMAL ANALYSIS (ETA)

[illegible]

STATE PHARM

1.19.10
A-101

UK 10-104538 DZ EXH. C-1



- GENERAL NOTES**
1. SEE DOOR SCHEDULE AE-601 FOR SIZES OF NEW DOORS AND WINDOWS.
 2. PROVIDE HEADERS AT NEW OPENINGS IN SHEAR WALLS.
 3. PROVIDE SLEEVE FOR IRRIGATION LINE BENEATH (N) CONCRETE PAD.
 4. REVISE IRRIGATION HEADS AS REQUIRED @ (N) CONCRETE WORK.
 5. INSTALL SAVED PLANTS AND TOPSOIL IN ADJACENT LANDSCAPE BEDS. COORDINATE WITH OWNER.
- KEY NOTES**
1. NEW DOOR, WINDOW AND FRAME, SEE AE-601.
 2. (N) SCORED CONCRETE PAD.
 3. NEW DOOR AND FRAME, SEE DOOR SCHEDULE AND DETAIL 11, AE-501.
 4. NEW OVERHEAD DOOR TRACKS, SPRINGS, MOTOR AND HARDWARE. PATCH, REPAIR AND PAINT CEILING TO MATCH ADJACENT.
 5. (N) DOOR IN (E) FRAME, SEE DOOR SCHEDULE AE-601.

MULTNOMAH COUNTY
GATEWAY CENTER FOR DOMESTIC VIOLENCE SERVICES
10305 E BURNSIDE
PORTLAND, OREGON 97216

EXTERIOR ALTERATIONS PHASE 4 PERMIT SET
1-15-10

CARLETON HART ARCHITECTURE
1000 SW 10TH AVENUE, SUITE 200
PORTLAND, OREGON 97204
503.281.1111 | carletonhart.com

AE-101
1:15,10
Sheet 1 of 1

LEGEND

- EXISTING WALL
- EXISTING FIRE EQUIPMENT CABINET
- WINDOW TAG, SEE AE-601
- DOOR TAG, SEE AE-601

DATE 3/1/10
TO the reviews requested and in accordance with the requirements of the Multnomah County Development Services

1 EXISTING & PROPOSED FLOOR PLAN
SCALE: 1/8" = 1'-0"

14 in 14 5 9 0 0 - 6 0 4 7 2 3

GENERAL NOTES

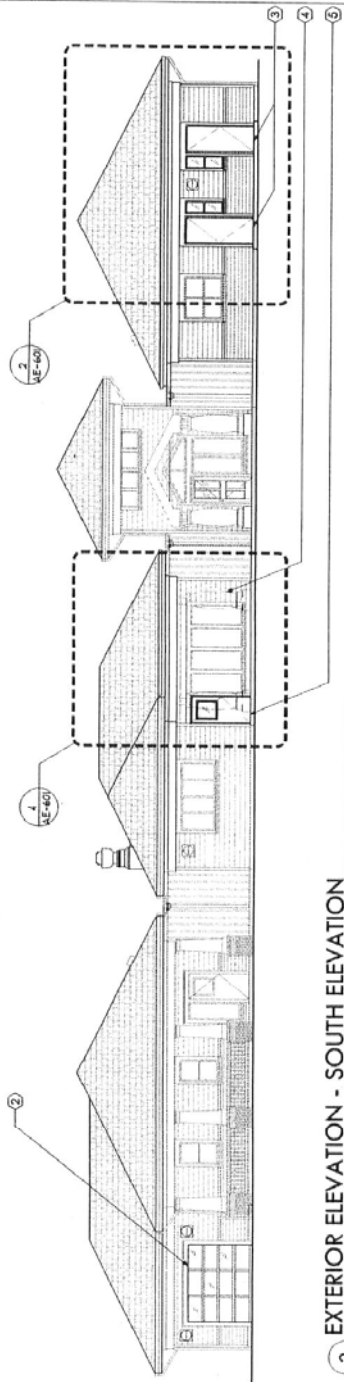
- SEE DOOR SCHEDULE AE-601 FOR SIZES OF NEW DOORS AND WINDOWS.
- PROVIDE HEADERS AT NEW OPENINGS IN SHEAR WALLS.

KEY NOTES

- DOOR 1258 TO BE REPLACED TO MATCH EXISTING. SEE DOOR SCHEDULE AE-601.
- (N) GARAGE DOOR IN (E) FRAME. SEE DOOR SCHEDULE AE-601.
- NEW DOOR AND WINDOW. SEE DOOR SCHEDULE AE-601.
- (E) COLUMNS TO REMAIN SHOWN DASHED
- NEW DOOR AND FRAME

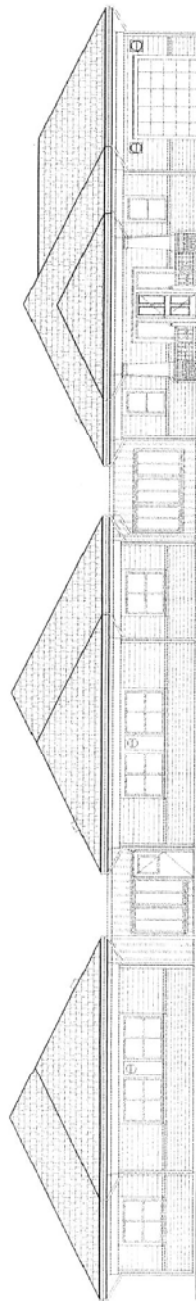
1 EXTERIOR ELEVATION - WEST ELEVATION

SCALE: 1/8" = 1'-0"



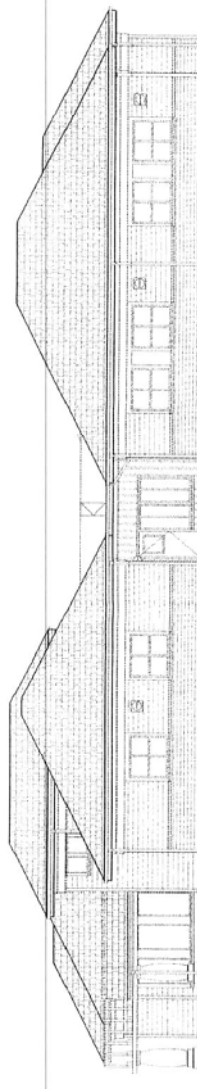
2 EXTERIOR ELEVATION - SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



3 EXTERIOR ELEVATION - NORTH ELEVATION

SCALE: 1/8" = 1'-0"



4 EXTERIOR ELEVATION - EAST ELEVATION

SCALE: 1/8" = 1'-0"

Approved*
City of Portland - Bureau of Development Services
Planner: [Signature]
Date: 3/1/10
* This approval applies only to the reviews requested and is subject to conditions of approval. Additional zoning requirements may apply.

MULTNOMAH COUNTY
GATEWAY CENTER FOR DOMESTIC VIOLENCE SERVICES
GCC RESIDENTIAL BUILDING
10305 E. BURNSIDE
PORTLAND, OREGON 97216



CARLETON HART ARCHITECTURE
800 NW 8TH AVENUE, SUITE 1000, PORTLAND, OREGON 97227
503.243.2028 | F. 503.243.2041 | carletonhart.com



EXTERIOR ALTERATIONS PHASE 4 PERMIT SET 1-15-10

Project Name	2007A 13.01
Project No.	AE-201-190
City	Portland
County	Multnomah
Project Type	Residential
Project Address	10305 E. BURNSIDE
Project Description	ARCHITECTURAL ELEMENTS EXTERIOR ELEVATIONS
Scale	1.19.10
Sheet	AE-201

10-104538 D2 EXH.C-3