



City of Portland, Oregon
Bureau of Development Services
Land Use Services

1900 SW 4th Avenue, Suite 5000
Portland, Oregon 97201
503-823-7300
Fax 503-823-5630
TTY 503-823-6868
www.portlandonline.com/bds

Date: May 9, 2011
To: Interested Person
From: Chris Caruso, Land Use Services
503-823-5747 / Christine.Caruso@portlandoregon.gov

NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has approved a proposal in your neighborhood. The reasons for the decision are included in this notice. If you disagree with the decision, you can appeal it and request a public hearing. Information on how to appeal this decision is listed at the end of this notice.

CASE FILE NUMBER: LU 10-204048 DZ THE SHERM APARTMENTS

GENERAL INFORMATION

Applicant: Steve Fosler
Fosler Portland Architecture, LLC
720 SW Ankeny St
Portland, OR 97205

Owner: Mark Madden
Overton Pearl, LLC
1626 NW 15th Ave
Portland, OR 97209-2572

Site Address: 2250 SE 11TH AVE

Legal Description: BLOCK 128 LOT 4, STEPHENS ADD
Tax Account No.: R794015810
State ID No.: 1S1E02CD 14000
Quarter Section: 3231
Neighborhood: Hosford-Abernethy, contact Joanne Stainbrook at 503-231-9245.
Business District: Central Eastside Industrial Council, contact Juliana Lukasik at 503-287-5886.
District Coalition: Southeast Uplift, contact Leah Hyman at 503-232-0010.
Plan District: Central City - Central Eastside
Zoning: RXd, Central Residential with design overlay
Case Type: DZ, design review
Procedure: Type II, an administrative decision with appeal to the Design Commission.

Proposal:

The applicant seeks design review approval for a new one-story, ten unit apartment building in the Central Eastside subdistrict of the Central City Plan District. The new building has frontage on both SE 11th Avenue and SE Sherman Street and is directly west of the Ladd's Addition

Historic District. Exterior finishes include walls of Cera-Clad cement panels and cement siding; aluminum-clad wood windows; metal canopies over unit entries; pervious pavers for the walking paths; a ground-face cmu trash enclosure; asphalt roof shingles, an on-site stormwater filtration planter, and landscape plantings between the building and the sidewalk. This proposal is in place of the previously approved two-story building reviewed in LU 08-121413 DZ.

New construction in the Central Eastside design areas requires design review.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The relevant criteria are:

- 33.825 Design Review
- Central City Fundamental Design Guidelines
- Central Eastside Design Guidelines

ANALYSIS

Site and Vicinity: The area between SE 11th and SE 12th Avenues from approximately SE Hawthorne to SE Division is distinctly transitional in character, sharing qualities of both the concentrated industrial use to the west and the dense historic residential neighborhood to the east. Because this corridor is only one block wide and the adjoining uses are so dissimilar, the transition is abrupt and the area lacks a single cohesive identity. Existing development includes late nineteenth and early twentieth-century houses, one to two-and-a-half stories tall, many of which have been altered/expanded/subdivided into multiple units. There are two National Register properties facing the Ladd's Addition Historic District across SE 12th between SE Mill and SE Stephens Streets. Other structures in the area include one and two-story, concrete light-manufacturing or commercial properties, two story mixed-use, wood frame buildings with commercial establishments on the ground floor and residences above, surface parking and vacant lots.

SE 11th and 12th Avenues form a busy transportation couplet with northbound traffic on 12th and southbound traffic on 11th. Both streets include regularly scheduled bus service, and both have the following designations in the Transportation System Plan: Major City Traffic Street; Transit Access Street; City Bikeway; City Walkway; Freight Route; Major Emergency Response Street; Community Corridor. SE Sherman, on the longer (south) side of the site is a much quieter cross street with no special designations.

Zoning: The Central Residential (RX) zone is a high-density multi-dwelling zone which allows the highest density of dwelling units of the residential zones. Density is not regulated by a maximum number of units per acre. Rather, the maximum size of buildings and intensity of use are regulated by floor area ratio (FAR) limits and other site development standards. Generally the density will be 100 or more units per acre. Allowed housing developments are characterized by a very high percentage of building coverage. The major types of housing development will be medium and high rise apartments and condominiums, often with allowed retail, institutional, or other service oriented uses. Generally, RX zones will be located near the center of the city where transit is readily available and where commercial and employment opportunities are nearby. RX zones will usually be applied in combination with the Central City plan district.

Within this corridor a two-and-a-half block section along the east side of SE 11th Avenue, from Lincoln Street south to the mid-block between Sherman Street and Caruthers Street has a base zoning of RX, with the highest residential density allowed in the City. The subject property is within this area, and although the zoning has been in place for more than twenty years, this proposal appears to be the first to attempt to take advantage of the higher density allowed. In recognition of the additional complexity the RX designation imposes on the area, a "d" or Design Overlay was also applied.

The “d” overlay promotes the conservation and enhancement of areas of the City with special historic, architectural or cultural value. New development and exterior modifications to existing development are subject to design review.

The Central City Plan District implements the Central City Plan and other plans applicable to the Central City area. These other plans include the Downtown Plan, the River District Plan, the University District Plan, and the Central City Transportation management Plan. The Central City plan district implements portions of these plans by adding code provisions which address special circumstances existing in the Central City area. The site is within the Central Eastside Subdistrict of this plan district.

Land Use History: City records indicate that prior land use reviews include the following: LU 08-121413 DZ – Approval of a 2-story mixed-use building which was never built.

Agency Review: A “Notice of Proposal in Your Neighborhood” was mailed March 28, 2011. The following Bureaus have responded with no issues or concerns:

- Bureau of Parks-Forestry Division
- Water Bureau (Exhibit E-1)
- Bureau of Environmental Services (Exhibit E-2)
- Bureau of Transportation Engineering (Exhibit E-3)
- Fire Bureau
- Site Development Section of BDS
- Life Safety Review Section of BDS

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on March 28, 2011. One written response has been received from either the Neighborhood Association or notified property owners in response to the proposal.

1. Joanne Stainbrook HAND - Clarify the total number of units. Outdoor covered bike parking would be a nice amenity for the residents. Exterior lighting should be enough to provide safety but not intrude onto neighboring properties.

Staff Response: The total number of units is 10 as the plans show. Providing outdoor covered bike or moped parking is not feasible as this would remove some of the required stormwater management planters. Long-term bicycle parking is provided in dedicated spaces within each unit. Parking of other small vehicles will need to be accommodated by mutual arrangement of the residents. Exterior lighting is enough to provide safety and is prohibited from spilling over onto neighboring property. Any violation of the off-site impact code can be resolved through filing a nuisance report with the Bureau of Development Services.

ZONING CODE APPROVAL CRITERIA

Chapter 33.825 Design Review

Section 33.825.010 Purpose of Design Review

Design review ensures that development conserves and enhances the recognized special design values of a site or area. Design review is used to ensure the conservation, enhancement, and continued vitality of the identified scenic, architectural, and cultural values of each design district or area. Design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area. Design review is also used in certain cases to review public and private projects to ensure that they are of a high design quality.

Section 33.825.055, Design Review Approval Criteria

A design review application will be approved if the review body finds the applicant to have shown that the proposal complies with the design guidelines for the area.

Findings: The site is designated with design overlay zoning (d), therefore the proposal requires Design Review approval. Because the site is located generally within the Central

City Plan District, the applicable design guidelines are the Central City Plan Fundamental Design Guidelines. As the site is also specifically located within the Design Zone of the Central Eastside District, the Special Design Guidelines for the Design Zone of the Central Eastside District of the Central City Plan also apply.

Special Design Guidelines for the Design Zone of the Central Eastside District of the Central City Plan and Central City Fundamental Design Guidelines

The Central Eastside is a unique neighborhood. The property and business owners are proud of the district's heritage and service to the community and region. Light industry, distribution/warehousing, and transportation are important components of the district's personality. To the general public, retail stores and commercial businesses provide the central focus within the district.

The underlying urban design objective for the Central Eastside is to capitalize on and emphasize its unique assets in a manner that is respectful, supportive, creative and compatible with each area as a whole. Part of the charm and character of the Central Eastside District, which should be celebrated, is its eclectic mixture of building types and uses. An additional strength, which should be built on, is the pattern of pedestrian friendly retail uses on Grand Avenue, East Burnside and Morrison Streets, as well as portions of 11th and 12th Avenues.

The Central City Fundamental Design Guidelines and the River District Design Guidelines focus on four general categories. **(A) Portland Personality**, addresses design issues and elements that reinforce and enhance Portland's character. **(B) Pedestrian Emphasis**, addresses design issues and elements that contribute to a successful pedestrian environment. **(C) Project Design**, addresses specific building characteristics and their relationships to the public environment. **(D) Special Areas**, provides design guidelines for the four special areas of the Central City.

Central Eastside Design Goals

The following goals and objectives define the urban design vision for new development and other improvements in the Central Eastside

- Encourage the special distinction and identity of the design review areas of the Central Eastside District.
- Provide continuity between the Central Eastside and the Lloyd District.
- Provide continuity between the Central Eastside and the river, downtown, and adjacent residential neighborhoods.
- Enhance the safety, convenience, pleasure, and comfort of pedestrians.

Central City Plan Design Goals

This set of goals are those developed to guide development throughout the Central City. They apply within the River District as well as to the other seven Central City policy areas. The nine goals for design review within the Central City are as follows:

1. Encourage urban design excellence in the Central City;
2. Integrate urban design and preservation of our heritage into the development process;
3. Enhance the character of the Central City's districts;
4. Promote the development of diversity and areas of special character within the Central City;
5. Establish an urban design relationship between the Central City's districts and the Central City as a whole;
6. Provide for a pleasant, rich and diverse pedestrian experience for pedestrians;
7. Provide for the humanization of the Central City through promotion of the arts;
8. Assist in creating a 24-hour Central City which is safe, humane and prosperous;
9. Ensure that new development is at a human scale and that it relates to the scale and desired character of its setting and the Central City as a whole.

Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.

A4. Use Unifying Elements. Integrate unifying elements and/or develop new features that help unify and connect individual buildings and different areas.

C4. Complement the Context of Existing Buildings. Complement the context of existing buildings by using and adding to the local design vocabulary.

Findings for A4 & C4: The proposal is intentionally understated in character, relying on regular surface patterning, common residential proportions, a low and complimentary scale to surrounding buildings, and familiar surface textures. All of these design choices allow the proposal to successfully integrate with the local design vocabulary which is an eclectic blend of residential, multi-family, storefront commercial and warehouse structures of varying styles and material finishes. *These guidelines are therefore met.*

A7. Establish and Maintain a Sense of Urban Enclosure. Define public rights-of-way by creating and maintaining a sense of urban enclosure.

A7-1. Maintain a Sense of Urban Enclosure When Single-Story Buildings are Set Back. Maintain a sense of urban enclosure, through the use of landscaping and other means, when single-story buildings are set back from the property line. Do not set buildings back from the property line within the East Portland Grand Avenue Historic District.

A8. Contribute to a Vibrant Streetscape. Integrate building setbacks with adjacent sidewalks to increase the space for potential public use. Develop visual and physical connections into buildings' active interior spaces from adjacent sidewalks. Use architectural elements such as atriums, grand entries and large ground-level windows to reveal important interior spaces and activities.

C8. Differentiate the Sidewalk-Level of Buildings. Differentiate the sidewalk-level of the building from the middle and top by using elements including, but not limited to, different exterior materials, awnings, signs, and large windows.

C10. Integrate Encroachments. Size and place encroachments in the public right-of-way to visually and physically enhance the pedestrian environment. Locate permitted skybridges toward the middle of the block, and where they will be physically unobtrusive. Design skybridges to be visually level and transparent.

Findings for A7, A7-1, A8, C8 & C10: The proposal establishes a sense of urban enclosure and vibrancy by building a highly articulated, neighborhood-scale street wall featuring a mix of materials, window openings, and canopies along both frontages. The building front and side setbacks are enhanced with landscaping and the active residential areas front both streets allowing for visual connections into active interior spaces. Window size differences, exterior finish materials, and canopies all help differentiate the sidewalk level of the building from the upper half-story by creating a varied pattern of finish elements. Narrow sidewalk encroachments are enhanced with a variety of landscape plantings that soften the building edge along both street frontages. *These guidelines are therefore met.*

B1. Reinforce and Enhance the Pedestrian System. Maintain a convenient access route for pedestrian travel where a public right-of-way exists or has existed. Develop and define the different zones of a sidewalk: building frontage zone, street furniture zone, movement zone, and the curb. Develop pedestrian access routes to supplement the public right-of-way system through superblocks or other large blocks.

B2. Protect the Pedestrian. Protect the pedestrian environment from vehicular movement. Develop integrated identification, sign, and sidewalk-oriented night-lighting systems that offer safety, interest, and diversity to the pedestrian. Incorporate building equipment, mechanical exhaust routing systems, and/or service areas in a manner that does not detract from the pedestrian environment.

B3. Bridge Pedestrian Obstacles. Bridge across barriers and obstacles to pedestrian movement by connecting the pedestrian system with innovative, well-marked crossings and

consistent sidewalk designs.

B3-1. Reduce width of Pedestrian Crossings.

- a. Where possible, extend sidewalk curbs at street intersections to narrow pedestrian crossings for a safer pedestrian environment.
- b. Maintain large service vehicle turning radii where necessary.

B7. Integrate Barrier-Free Design. Integrate access systems for all people with the building's overall design concept.

Findings for B1, B2, B3, B3-1 & B7: SE 11th Avenue, adjoining the site to west, is a high traffic one-way street. The sidewalk there also receives heavier use than the one along the SE Sherman Street facade. The proposal maintains the existing pedestrian travel routes through the neighborhood by recessing residential entries to provide some semi-public space. Street trees, parallel parking, and a grassy parking strip on both frontages are also retained to differentiate the protected pedestrian zone. An existing curb cut on SE Sherman is eliminated, removing potential vehicle-pedestrian conflict while marked pedestrian crossings are maintained at the intersection. The exterior light fixtures illuminate the site and adjoining walkways in a regular but subtle pattern. Each ground-level entry will comply with the Americans With Disabilities Act, being fully accessible. *These guidelines are therefore met.*

B6. Develop Weather Protection. Develop integrated weather protection systems at the sidewalk-level of buildings to mitigate the effects of rain, wind, glare, shadow, reflection, and sunlight on the pedestrian environment.

B6-1. Provide Pedestrian Rain Protection. Rain protection is encouraged at the ground level of all new and rehabilitated commercial buildings located adjacent to primary pedestrian routes. In required retail opportunity areas, rain protection is strongly recommended.

Findings for B6 & B6-1: The proposed canopies provide rain shelter and shading at each recessed entry as well as over a portion of the sidewalk. The canopies are appropriately proportioned for the building height and scale. *These guidelines are therefore met.*

C2. Promote Quality and Permanence in Development. Use design principles and building materials that promote quality and permanence.

C5. Design for Coherency. Integrate the different building and design elements including, but not limited to, construction materials, roofs, entrances, as well as window, door, sign, and lighting systems, to achieve a coherent composition.

C11. Integrate Roofs and Use Rooftops. Integrate roof function, shape, surface materials, and colors with the building's overall design concept. Size and place rooftop mechanical equipment, penthouses, other components, and related screening elements to enhance views of the Central City's skyline, as well as views from other buildings or vantage points. Develop rooftop terraces, gardens, and associated landscaped areas to be effective storm water management tools.

C12. Integrate Exterior Lighting. Integrate exterior lighting and its staging or structural components with the building's overall design concept. Use exterior lighting to highlight the building's architecture, being sensitive to its impacts on the skyline at night.

Findings for C2, C5, C11 & C12: The underlying model for this proposal is the low-scale commercial and residential buildings common in this transitional area of the neighborhood. The proposal continues this eclectic pattern of building shapes and materials through the use of modern rainscreen siding systems, metal canopies, and commercial-grade windows. The overall patterning of window openings and siding systems creates a comprehensive surface articulation that is consistent on all four walls. The simple roof shape recedes and allows the exterior walls to become the expressive portion of the building. All materials are high quality urban systems that give a sense of permanence to the proposal. The exterior light fixtures illuminate the site and adjoining walkways in a regular but subtle pattern and again do not overwhelm or compete with the simple yet modern wall surfaces and canopy projections. *These guidelines are therefore*

met.

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

The design review process exists to promote the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. The proposal is a good fit with the existing eclectic mix of building types in the neighborhood. The proposal is restrained is simple and straightforward with a well composed design aesthetic. The proposal meets the applicable design guidelines and therefore warrants approval.

ADMINISTRATIVE DECISION

Approval of Design Review for a new one-story, ten-unit residential structure in the Central Eastside subdistrict of the Central City Plan District to include the following:

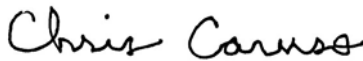
- Exterior finishes of Cera-Clad cement panels and cement siding;
- Aluminum-clad wood windows;
- Metal canopies over unit entries;
- Pervious paver walking paths;
- Ground-face cmu trash enclosure;
- Asphalt roof shingles;
- On-site stormwater filtration planter; and
- Landscape plantings between the building and the sidewalk.

Approved per the approved site plans, Exhibits C-1 through C-23 signed and dated May 5, 2011, subject to the following conditions:

- A. As part of the building permit application submittal, each of the 4 required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C.1-C.23. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 10-204048 DZ. No field changes allowed."

Staff Planner: Chris Caruso

Decision rendered by:



on May 5, 2011.

By authority of the Director of the Bureau of Development Services

Decision mailed: May 9, 2011

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on December 23, 2010, and was determined to be complete on **March 23, 2011.**

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on December 23, 2010.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period. Unless further extended by the applicant, **the 120 days will expire on: July 22, 2011.**

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed to the Design Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on May 23, 2011** at 1900 SW Fourth Ave. Appeals can be filed Tuesday through Friday on the first floor of the Development Services Center until 3 p.m. After 3 p.m. and Mondays, appeals must be submitted to the receptionist at the front desk on the fifth floor. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization’s boundaries. The vote to appeal must be in accordance with the organization’s bylaws. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Design Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 550 Capitol St. NE, Suite 235, Salem, Oregon 97301, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Design Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed*, The final decision may be recorded on or after **May 24, 2011 – (the day following the last day to appeal)**.
- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- By Mail: Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- In Person: Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034.

For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Zone Change and Comprehensive Plan Map Amendment approvals do not expire.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

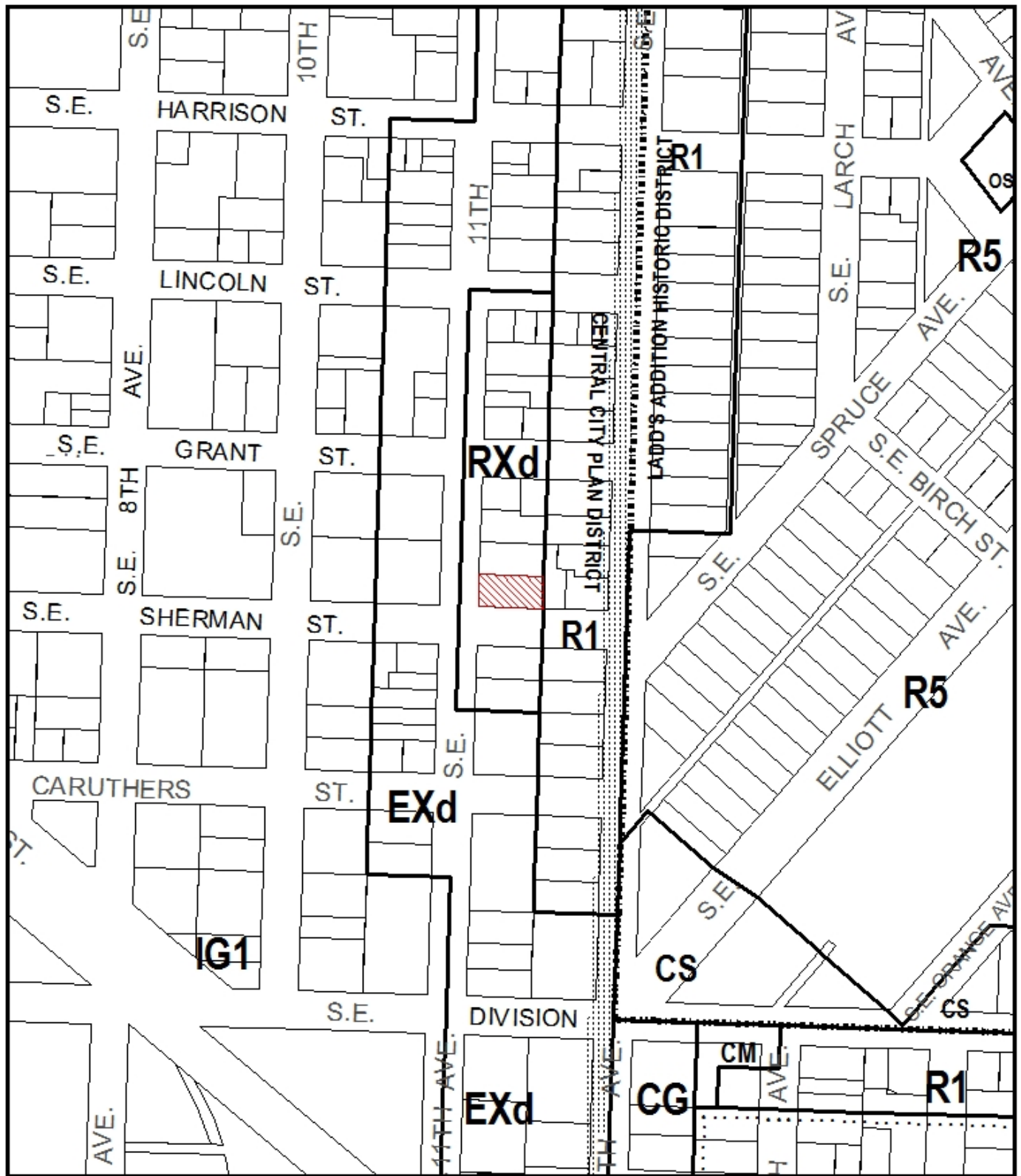
EXHIBITS

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
- B. Zoning Map (attached)
- C. Plans/Drawings:
 - 1. Site Plan/Landscape Plan (attached)
 - 2. Site Aerial
 - 3. Site Context
 - 4. Model Views

5. Model Views
- 6a. Materials
- 6b. Materials
- 6c. Materials
- 6d. Materials
- 6e. Materials
7. Existing Site Plan
8. Cover Sheet
9. Utilities Plan
10. 1st Floor Plan (attached)
11. 2nd Floor Plan
12. Roof Plan
13. Enlarged Plans
14. Enlarged Plans
15. Elevations (attached)
16. Elevations (attached)
17. Sections
18. Wall Sections
19. Wall Assemblies and Details
20. Wall Details
21. Stair Details
22. Schedules
23. Stormwater Calculations
- D. Notification information:
 1. Mailing list
 2. Mailed notice
- E. Agency Responses:
 1. Water Bureau
 2. Bureau of Environmental Services
 3. Bureau of Transportation Engineering and Development Review
- F. Correspondence:
 1. Joanne Stainbrook, April 18, 2011, comments about bike parking and number of units.
- G. Other:
 1. Original LU Application
 2. Site History Research
 3. Incomplete Letter

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).



ZONING



Site



NORTH

This site lies within the:
CENTRAL CITY PLAN DISTRICT

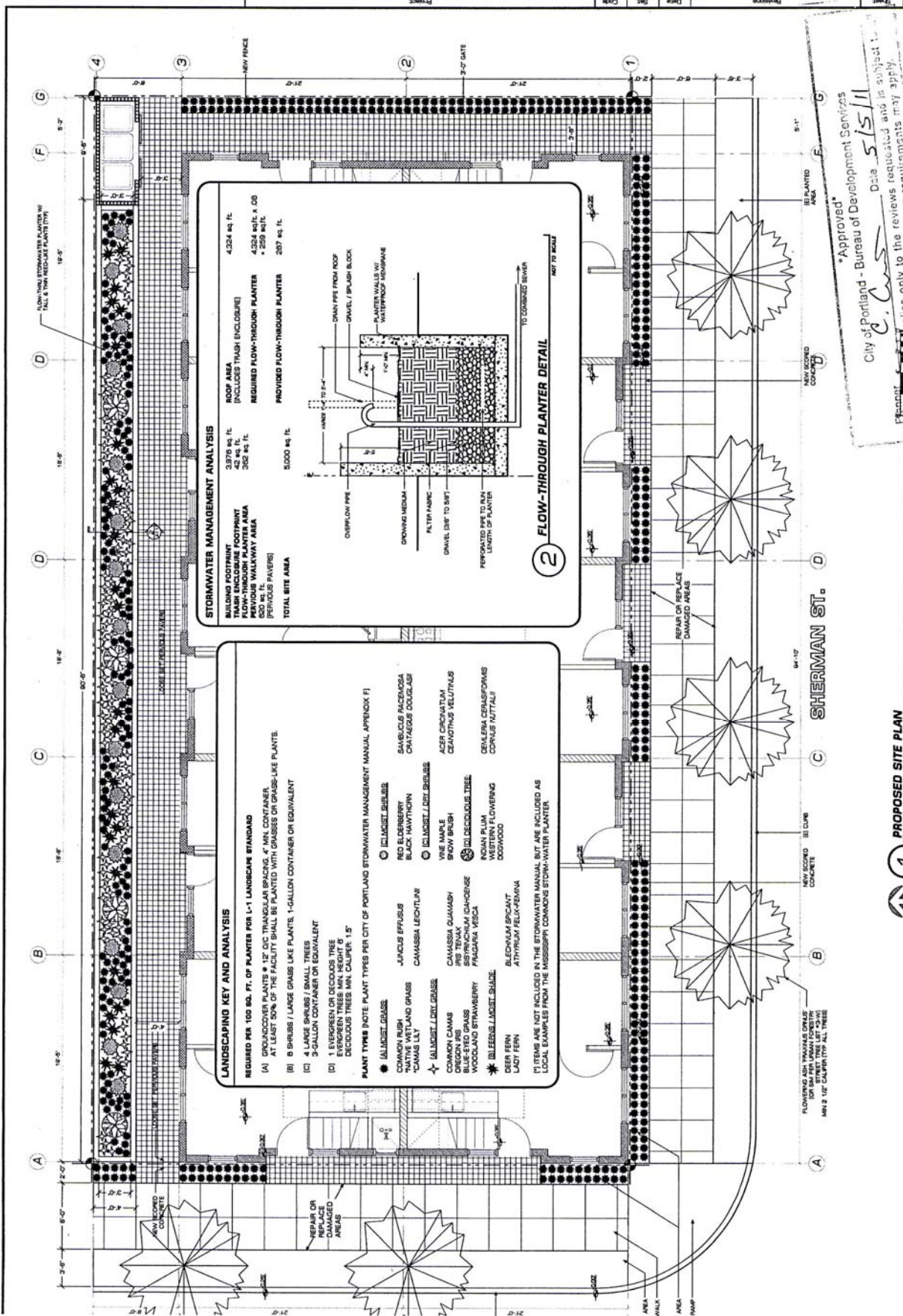
File No. LU 10-204048 DZ

1/4 Section 3231

Scale 1 inch = 200 feet

State_Id 1S1E02CD 14000

Exhibit B (Jan 03,2011)



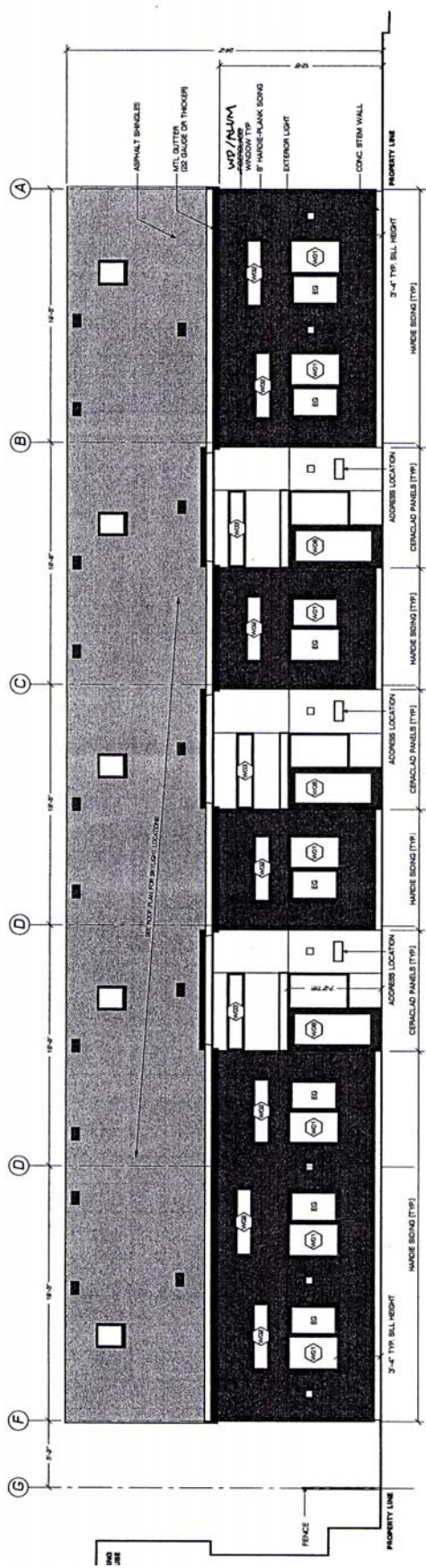


FOSLER
architecture
720 SW ANKENY ST.
PORTLAND, OREGON 97205
503.241.9309

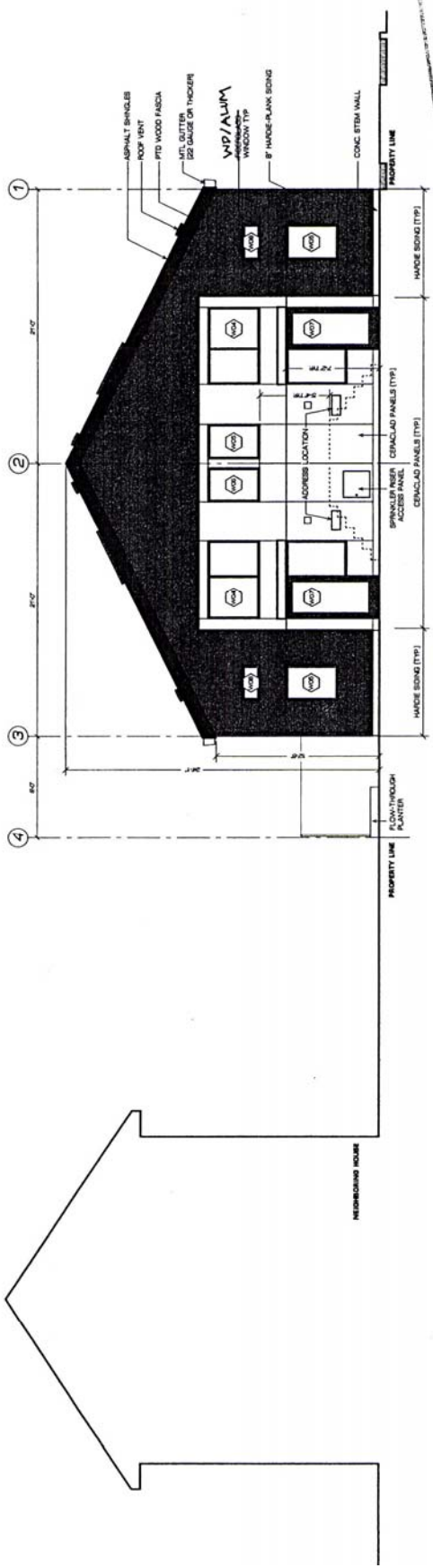
Sherman St. Apartments
2250 SE 11th Ave.
Portland, OR

SAH
DESIGN REVIEW SET
DATE 10 JAN 2011
R1: 07 MAR 2011
R2: 18 MAR 2011

C.16



1 NORTH ELEVATION
NOTE: IS - EXPOSED WINDOWS PER IRC



2 WEST ELEVATION
NOTE: IS - EXPOSED WINDOWS PER IRC

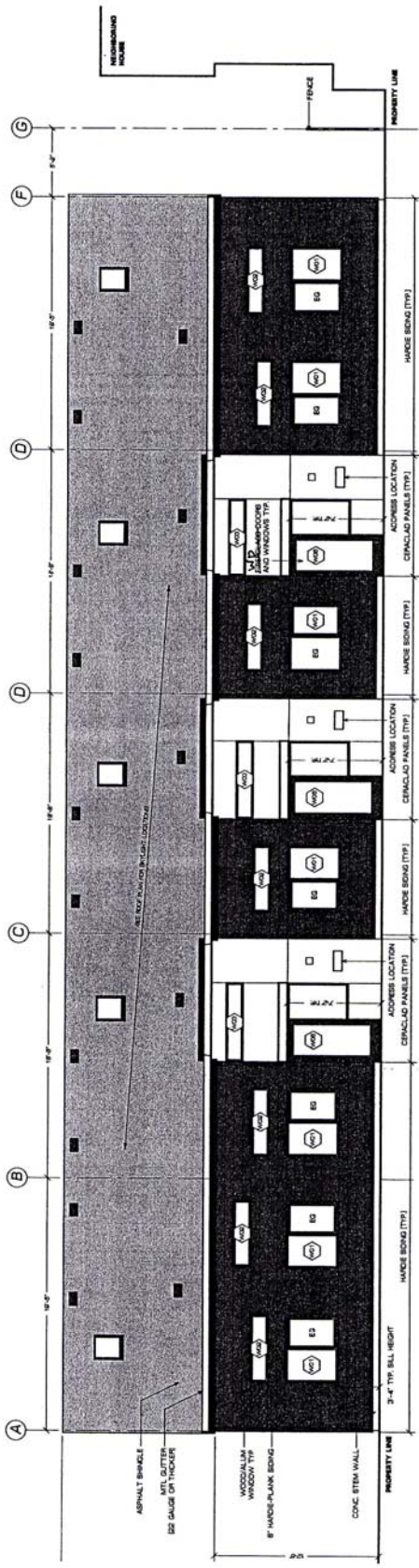
Approved
City of Portland - Bureau of Development Services
Date 5/5/11
Planner C. Davis
This applies only to the reviews requested and is subject to the City of Portland's zoning requirements.



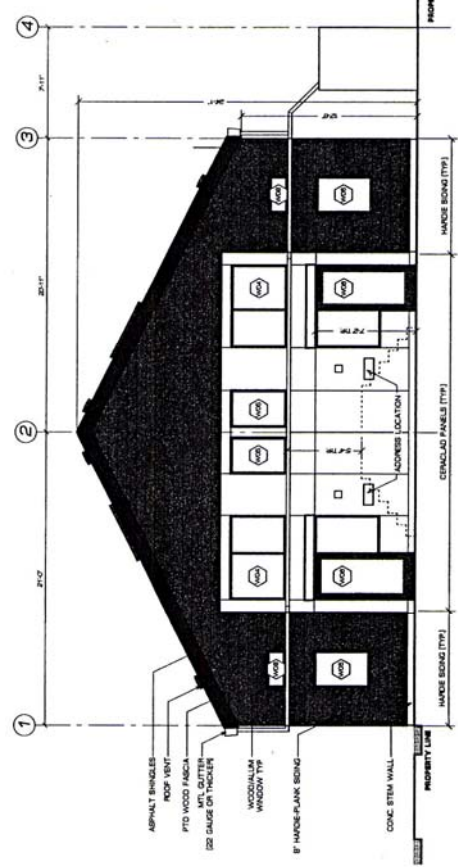
POSNER
architects
720 SW ANKENY ST.
PORTLAND, OREGON 97205
503.241.9539

Sherman St. Apartments
2250 SE 14th Ave.
Portland, OR

Project	SAH
Design Review Set	SET
Date	10 JAN 2011
Revised	R1: 07 MAR 2011 R2: 18 MAR 2011
Sheet	C.15



1 SOUTH ELEVATION



2 EAST ELEVATION

Approved
City of Portland - Bureau of Development Services
Date 5/15/11
This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

ATTN: VENTURE ANALYSIS	DATE: 05/15/11
NOTE: SOME OF THESE ARE UPPER PORTION OF NORTH	DATE: 05/15/11
AREA OF ATTENTION	DATE: 05/15/11
FOR REVIEW ONLY	DATE: 05/15/11