



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**

1900 SW 4th Avenue, Suite 5000  
Portland, Oregon 97201  
503-823-7300  
Fax 503-823-5630  
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[www.portlandonline.com/bds](http://www.portlandonline.com/bds)

**Date:** April 16, 2009  
**To:** Interested Person  
**From:** Chris Caruso, Land Use Services  
503-823-5747 / [Christine.Caruso@ci.portland.or.us](mailto:Christine.Caruso@ci.portland.or.us)

**NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD**

The Bureau of Development Services has approved a proposal in your neighborhood. The reasons for the decision are included in this notice. If you disagree with the decision, you can appeal it and request a public hearing. Information on how to appeal this decision is listed at the end of this notice.

**CASE FILE NUMBER: LU 09-100463 HDZ**  
**(8212 N. DENVER AVENUE – BRANDON BUILDING RENOVATION**  
**REVISIONS TO LU 06-172089 HDZ)**

**GENERAL INFORMATION**

**Applicant:** Susan Rudloff (architect/contact) (503) 206-3175  
Carleton Hart Architects  
322 NW 8th Avenue  
Portland, OR 97209

**Representative:** Tee Bee Enterprises, LLC (owner) (503) 460-9535  
1330 NE Alberta, Suite C  
Portland, OR 97211

**Site Address:** 8212-8216 N DENVER AVENUE

**Legal Description:** TL 5400 LOT 33 BLOCK 3, KENTON; NLY 45' OF LOT 34 BLOCK 3, KENTON; LOT 35&36 BLOCK 3, KENTON

**Tax Account No.:** R445901100, R445901116, R445901120

**State ID No.:** 1N1E09DA 05400, 1N1E09DA 05300, 1N1E09DA 05000

**Quarter Section:** 2228

**Neighborhood:** Kenton, contact Steve Rupert at 503-317-6573

**Business District:** Kenton Business Association, contact Echo Leighton at 503-285-7234

**District Coalition:** North Portland Neighborhood Services, contact Mary Jaron Kelley at 503-823-4099

**Plan District:** Kenton – Kenton Historic Commercial District

**Other Designations:** Contributing structure in the Kenton Commercial Historic District

**Zoning:** CSd – Commercial Storefront with Design Overlay

**Case Type:** HDZ – Historic Design Review

**Procedure:** Type II, an administrative decision with appeal to the Historic Landmarks Commission

**Proposal:**

The applicant seeks Historic Design Review for the following revisions to the previously approved historic design review case **LU 06-172089 HDZ**, dated May 23, 2007:

- Replacement of 8 lineal feet of existing storefront at the building's southwest corner with a new aluminum and wood system featuring 2 new wood doors with wood transoms and wood trim to replicate the existing double doors being removed;
- Extension of the new brick base to terminate at the new double doors and new stucco over the concrete on the south wall of the double door entry alcove;
- Exposing, repairing, and painting the decorative cast iron columns at each end of the building's front (west) façade and removal of 2 proposed light fixtures at these locations;
- Installation of a new painted sheet metal cornice on the front (west) façade, in the location of the original metal cornice;
- Removal of the oval logo sign attached to the face of the building above the northernmost entry door; replacing this with a 4'-0" W x 2'-0" H oval stainless steel, painted logo blade sign attached north of the northernmost entry door, above the new awnings;
- A new 3'-6" deep, 47' long fabric awning and frame along the rear (east) elevation, above the ground floor;
- Three new light fixtures mounted on the rear (east) elevation;
- Reconfiguration of the rebuilt rear stairs from a tight switchback with a 73.5 SF second level deck to an open 3-part stair and 13.0 SF second level landing;
- No on-site short term bicycle parking will be provided. Two long-term spaces will be provided at the rear of the site; additional bicycle parking will be provided inside the building in conformance with zoning code requirements;
- Relocating the roofed trash enclosure from the southeast rear corner of the building to the northeast rear corner of the building;
- Removal of all existing concrete in the rear stair area, replacing it with new concrete under the new stair and pervious pavers in the rest of the courtyard;
- New parking lot perimeter landscaping in the existing rear concrete planters;
- Street trees and work in the public right-of-way along N. Denver Avenue has been removed from the project and will be completed as part of the Portland Bureau of Transportation's Denver Streetscape Project; and
- Rooftop equipment for new tenants.

Proposals for exterior alterations to buildings in Historic Districts require Historic Design Review.

**Relevant Approval Criteria:**

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The relevant approval criteria are:

- 33.846 Historic Reviews
- Section 33.846.060 G – Other Approval Criteria

**ANALYSIS**

**Site and Vicinity:** The site is comprised of three lots totaling 8,313 square feet, with street frontage on both N. Denver Avenue and N. Kilpatrick Street. The property is developed with a two-story building fronting N. Denver Avenue and a small courtyard and gated parking area in the rear, which is accessed from N. Kilpatrick Street. Built in 1911, the Brandon Building (aka the Bingham Building) has been deemed a historic contributing structure in the Kenton Plan District as a good example of Streetcar-Era Commercial-style architecture. The upper residential story and parapet are comprised of brick with four paired wood double-hung windows. The ground level of the building has a stucco surface and aluminum storefront with two recessed entryways, one for the upper residential units and one for the lower retail tenant space.

The site is within a designated Pedestrian District, and N. Denver is classified in the City of Portland Transportation System Plan as a Community Main Street. Pedestrian Districts are intended to give priority to pedestrian access in areas where high levels of pedestrian activity exist or are planned, including the Central City, Gateway regional center, town centers, and station communities. Community Main Streets are designed to accommodate motor vehicle traffic, with special features to facilitate public transportation, bicycles, and pedestrians.

The Kenton Plan District fosters a vital retail corridor along N. Denver, ensures that the design of new buildings, and modifications to existing buildings, are compatible with the historic character of the area, and promotes a pleasant, safe, and convenient environment for pedestrians.

**Zoning:** The Storefront Commercial (CS) zone is intended to preserve and enhance older commercial areas that have a storefront character. The zone allows a full range of retail, service, and business uses with a local and regional market area. Development is intended to be pedestrian-oriented and buildings with a storefront character are encouraged.

The design (d) overlay zone promotes the conservation and enhancement of areas of the City with special historic, architectural, or cultural value. New development and exterior modifications to existing development must meet the Community Design Standards (Chapter 33.218) or are subject to design review.

**Land Use History:** City records indicate the following land use reviews for the site:

- **HL 45-89** - Approval of a 1989 Historic Landmark Designation.
- **LU 06-172089 HDZ** - Historic Design Review approval of storefront remodel and building signage.

**Agency Review:** A “Notice of Proposal in Your Neighborhood” was mailed **March 20, 2009**. The following Bureaus have responded with no issues or concerns:

- Life Safety Review Section of BDS
- Parks Bureau, Urban Forestry Division
- Water Bureau
- Site Development Review Section of BDS
- Bureau of Environmental Services
- Bureau of Transportation

**Neighborhood Review:** A Notice of Proposal in Your Neighborhood was mailed on March 20, 2009. No written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

## **ZONING CODE APPROVAL CRITERIA**

### **Historic Reviews - Chapter 33.846**

#### **Purpose of Historic Design Review**

Historic Design Review ensures the conservation and enhancement of the special characteristics of historic resources.

#### **Historic Design Review Approval Criteria**

Requests for historic design review will be approved if the review body finds the applicant has shown that all of the approval criteria have been met.

**Findings:** The site is a designated historic landmark; therefore, the proposal requires historic design review approval. The relevant approval criteria are listed in 33.846.060 G.1-10 and in the Community Design Guidelines.

**G. Approval criteria based on the Standards of the Secretary of the Interior:**

- 1. Historic character.** The historic character of the property will be retained and preserved. Removal of historic materials or alteration of features and spaces that contribute to the property's historic significance will be avoided.
- 2. Record of its time.** The historic resource will remain a physical record of its time, place, and use. Changes that create a false sense of historic development, such as adding conjectural features or architectural elements from other buildings will be avoided.
- 3. Historic changes.** Most properties change over time. Those changes that have acquired historic significance will be preserved.
- 4. Historic features.** Generally, deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement, the new feature will match the old in design, color, texture, and other visual qualities and, where practical, in materials. Replacement of missing features must be substantiated by documentary, physical, or pictorial evidence.

**Findings for 1, 2, 3 and 4:** The proposal will preserve and enhance the original style and historic character of the 1911 Bingham Building. The storefront renovations are consistent with the existing storefront and maintain the continuous line of windows and fabric canopies. New materials such as the brick base and, wood doors, transoms, and metal cornice update and enhance the commercial streetcar era façade. The building lights and blade sign complement the historic styles on adjacent buildings and on those within the district. Staff has concerns with the ability to match the new brick at the base with the old brick, therefore the applicant has proposed an alternative darker brick (Option B) that will complement the existing brick and façade.

The proposed re-surfacing of the existing stucco on the lower level is consistent with the stucco material indicated in the property profile in the Kenton District's National Register of Historic Places. Two original existing cast iron columns have been uncovered and will be exposed, cleaned and painted and will contribute to the overall character of the building. There are no alterations to the building that have acquired historic significance. *These criteria are therefore met.*

- 5. Historic materials.** Historic materials will be protected. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials will not be used.

**Findings:** The applicant proposes to preserve the brick on the upper story and to resurface the stucco on the ground level façade, which was poorly applied in a past alteration, as well as expose and restore two original decorative cast iron columns. No destructive chemical or physical treatments will be used that would damage existing historic materials. *This criterion is therefore met.*

- 6. Archaeological resources.** Significant archaeological resources affected by a proposal will be protected and preserved to the extent practical. When such resources are disturbed, mitigation measures will be undertaken.

**Findings:** There are no significant archeological resources associated with this proposal. *This criterion does not therefore apply.*

- 7. Differentiate new from old.** New additions, exterior alterations, or related new construction will not destroy historic materials that characterize a property. New work will be differentiated from the old.

- 9. Preserve the form and integrity of historic resources.** New additions and adjacent or related new construction will be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic resource and its environment would be unimpaired.

**Findings for 7 and 9:** The proposed alterations will maintain the historic materials on the buildings and will not impair the historic integrity of the resource. The re-surfacing of the stucco on the additional portions of the lower façade surface further improves the stucco surface that was poorly applied in a past alteration. The other alterations including the awnings, signs, lights, brick base, new rooftop units, stairs, courtyard paving, perimeter parking lot landscaping, bike parking, and trash enclosure on the rear façade will not be applied to the historic brick material and are features that if removed in the future would not compromise the essential form or character of the historic resource. *These criteria are therefore met.*

- 8. Architectural compatibility.** New additions, exterior alterations, or related new construction will be compatible with the resource's massing, size, scale, and architectural features. When retrofitting buildings or sites to improve accessibility for persons with disabilities, design solutions will not compromise the architectural integrity of the historic resource.

**Findings:** The proposed exterior alterations will be compatible with the massing, scale and architectural features of the Bingham Building. The new wood doors and transom windows at the southwest corner maintain the streetcar era character of the building and provide a visual connection into tenant spaces. The exposed existing cast-iron columns will anchor both ends of the N. Denver Avenue façade which is further strengthened by the new metal cornice that replicates traditional cornices present on buildings of this type. The new canopies are of the same size and type (unstructured valence) as the existing ones while the new signage and lighting are in keeping with the size and scale of the building as well as others in the district.

The additional rooftop units will be placed so as to reduce their visibility from the street and adjacent properties. Aligning the units in rows around the center of the roof and painting them to match the roof will also reduce their visibility and therefore not contribute to building's massing.

The modifications to the wood deck and stair on the rear façade minimizes the bulk on this elevation by reducing the size of the second story landing. Relocating the new wood trash enclosure to the northwest corner of the courtyard reduces its visual impact on the pedestrian environment. To better blend with the building, the stairs, basement railing and trash enclosure will be painted to match the new building color. *This criterion is therefore met.*

- 10. Hierarchy of compatibility.** Exterior alterations and additions will be designed to be compatible primarily with the original resource, secondarily with adjacent properties, and finally, if located within a Historic or Conservation District, with the rest of the district. Where practical, compatibility will be pursued on all three levels.

**Findings:** The Kenton Historic Commercial District consists of commercial building types with clear architectural hierarchies of articulated base, tall storefronts and parapet and cornice. The proposal demonstrates compatibility with the original resource, adjacent buildings and those within the district through:

- Blade sign type is consistent with signage on adjacent properties.

- Extends the brick base along the entire storefront visually anchoring the building to the ground and matches the existing streetcar era style commercial buildings located throughout the Kenton Historic Commercial District.
- Adds a new multi-part painted metal cornice in keeping with buildings of this period.

*This criterion is therefore met.*

## **DEVELOPMENT STANDARDS**

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

## **CONCLUSIONS**

The purpose of the historic design review process is to ensure that exterior alterations to existing buildings protect the integrity of the special characteristics of the historic resources. The proposed exterior alterations to the Brandon Building (aka the Bingham Building) rehabilitate and preserve existing historic material, maintain the form, character and integrity of the historic resource, and ensure architectural compatibility with the building and others within the Historic Kenton Commercial District.

## **ADMINISTRATIVE DECISION**

Approval of Historic Design Review in the Historic Kenton Commercial District of the following revisions to the previously approved historic design review case **LU 06-172089 HDZ**, dated May 23, 2007:

- Replacement of 8 lineal feet of existing storefront at the building's southwest corner with a new aluminum and wood system featuring 2 new wood doors with wood transoms and wood trim to replicate the existing double doors being removed;
- Extension of the new brick base to terminate at the new double doors and new stucco over the concrete on the south wall of the double door entry alcove;
- Exposing, repairing, and painting the decorative cast iron columns at each end of the building's front (west) façade and removal of 2 proposed light fixtures at these locations;
- Installation of a new painted sheet metal cornice on the front (west) façade, in the location of the original metal cornice;
- Removal of the oval logo sign attached to the face of the building above the northernmost entry door; replacing this with a 4'-0" W x 2'-0" H oval stainless steel, painted logo blade sign attached north of the northernmost entry door, above the new awnings;
- A new 3'-6" deep, 47' long fabric awning and frame along the rear (east) elevation, above the ground floor;
- Three new light fixtures mounted on the rear (east) elevation;
- Reconfiguration of the rebuilt rear stairs from a tight switchback with a 73.5 SF second level deck to an open 3-part stair and 13.0 SF second level landing;
- No on-site short term bicycle parking will be provided. Two long-term spaces will be provided at the rear of the site; additional bicycle parking will be provided inside the building in conformance with zoning code requirements;
- Relocating the roofed trash enclosure from the southeast rear corner of the building to the northeast rear corner of the building;
- Removal of all existing concrete in the rear stair area, replacing it with new concrete under the new stair and pervious pavers in the rest of the courtyard;
- New parking lot perimeter landscaping in the existing rear concrete planters;

- Street trees and work in the public right-of-way along N. Denver Avenue has been removed from the project and will be completed as part of the Portland Bureau of Transportation's Denver Streetscape Project; and
- Rooftop equipment for new tenants;

Approved per the site plans, Exhibits C-1 through C-17, signed and dated April 13, 2009, subject to the following conditions:

- A. As part of the building permit application submittal, each of the 4 required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C.1-C.17. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 09-100463 HDZ. No field changes allowed."

**Staff Planner: Chris Caruso**

**Decision rendered by:** Chris Caruso **on April 13, 2009**  
By authority of the Director of the Bureau of Development Services

**Decision mailed: April 16, 2009**

**About this Decision.** This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

**Procedural Information.** The application for this land use review was submitted on January 6, 2009, and was determined to be complete on **March 16, 2009**.

*Zoning Code Section 33.700.080* states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on January 6, 2009.

*ORS 227.178* states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case the applicant did not waive or extend the 120-day review period.

**Some of the information contained in this report was provided by the applicant.**

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

**Conditions of Approval.** If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term "applicant" includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the

use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

**Appealing this decision.** This decision may be appealed to the Historic Landmarks Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on April 30, 2009** at 1900 SW Fourth Ave. Appeals can be filed on the first floor in the Development Services Center until 3 p.m. After 3 p.m., appeals must be submitted to the receptionist at the front desk on the fifth floor. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization's boundaries. The vote to appeal must be in accordance with the organization's bylaws. Low-income individuals appealing a decision for their personal residence that they own in whole or in part may qualify for an appeal fee waiver. In addition, an appeal fee may be waived for a low income individual if the individual resides within the required notification area for the review, and the individual has resided at that address for at least 60 days. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Fee waivers for low-income individuals must be approved prior to filing the appeal; please allow 3 working days for fee waiver approval. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please contact the receptionist at 503-823-7967 to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at [www.portlandonline.com](http://www.portlandonline.com).

**Attending the hearing.** If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Historic Landmarks Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 550 Capitol St. NE, Suite 235, Salem, Oregon 97301, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Historic Landmarks Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

**Recording the final decision.**

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed*, The final decision may be recorded on or after **May 1, 2009**.
- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- **By Mail:** Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- **In Person:** Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034  
For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

**Expiration of this approval.** An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Zone Change and Comprehensive Plan Map Amendment approvals do not expire.

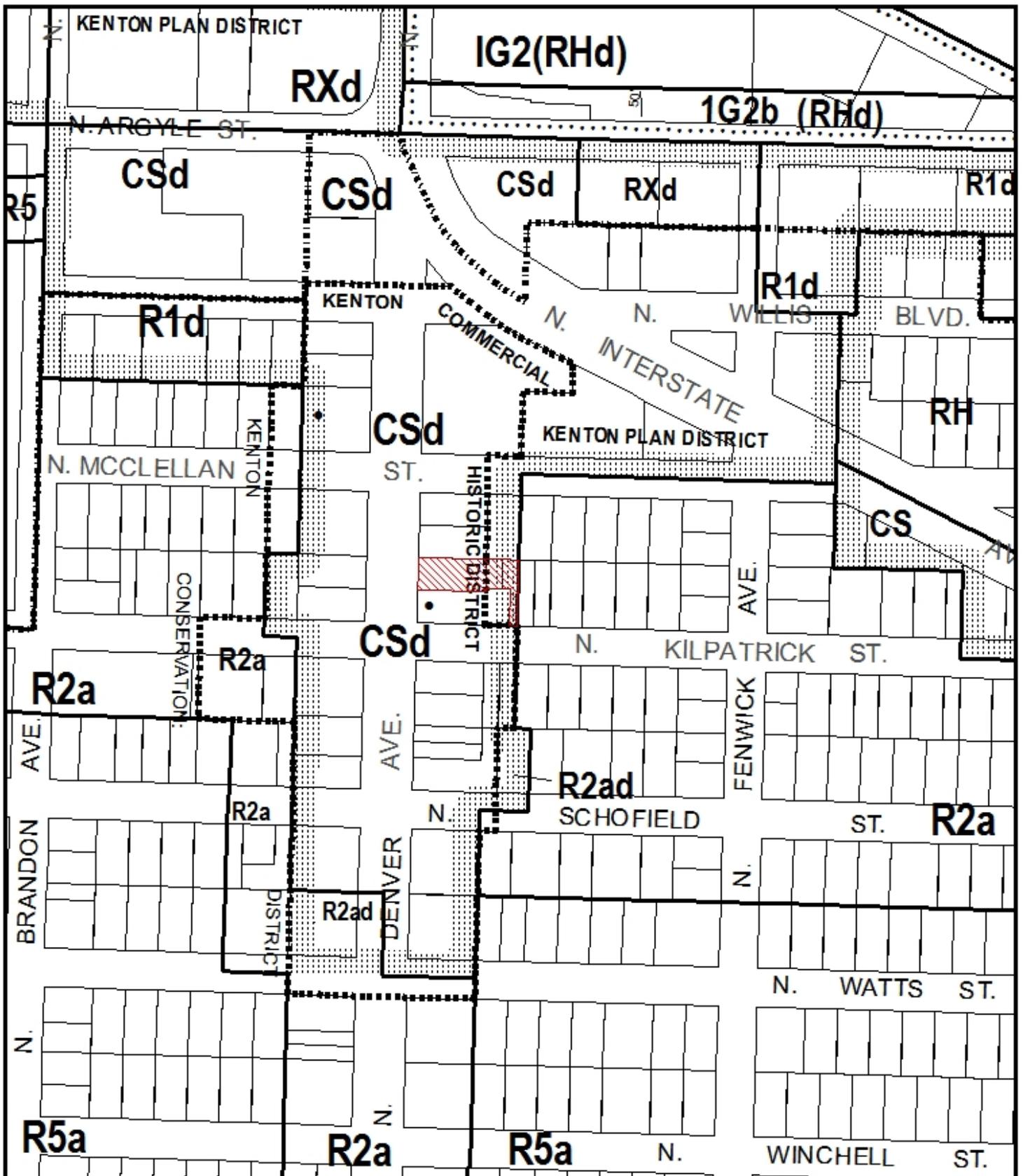
**Applying for your permits.** A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

#### **EXHIBITS**

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
- B. Zoning Map (attached)
- C. Plans/Drawings:
  - 1. A1.1 Site Plan (attached)
  - 2. A0.3 Existing/Demo Site Plan
  - 3. A1.2 Partial Site Plan
  - 4. A2.1 First Floor Plan
  - 5. A2.3 Roof Plan
  - 6. A2.7 Enlarged Entry Plan
  - 7. A3.1 West Elevation (attached)
  - 8. A3.2 East Elevation & Details (attached)
  - 9. A3.4 Details – Signage
  - 10. A4.1 East/West Building Section
  - 11. A7.4 Enlarged Stair 3 Plan, Framing Plan & Elevations
  - 12. Exterior Details
  - 13. Colored West Elevation
  - 14. Colored East Elevation
  - 15. Colored Option B West Elevation
  - 16. SF Rima Paver data sheet
  - 17. Light fixture data sheets
- D. Notification information:
  - 1. Mailing list
  - 2. Mailed notice
- E. Agency Responses: no concerns
- F. Correspondence: none at time of mailing
- G. Other:
  - 1. Original LU Application
  - 2. Site History Research
  - 3. Incomplete Letter



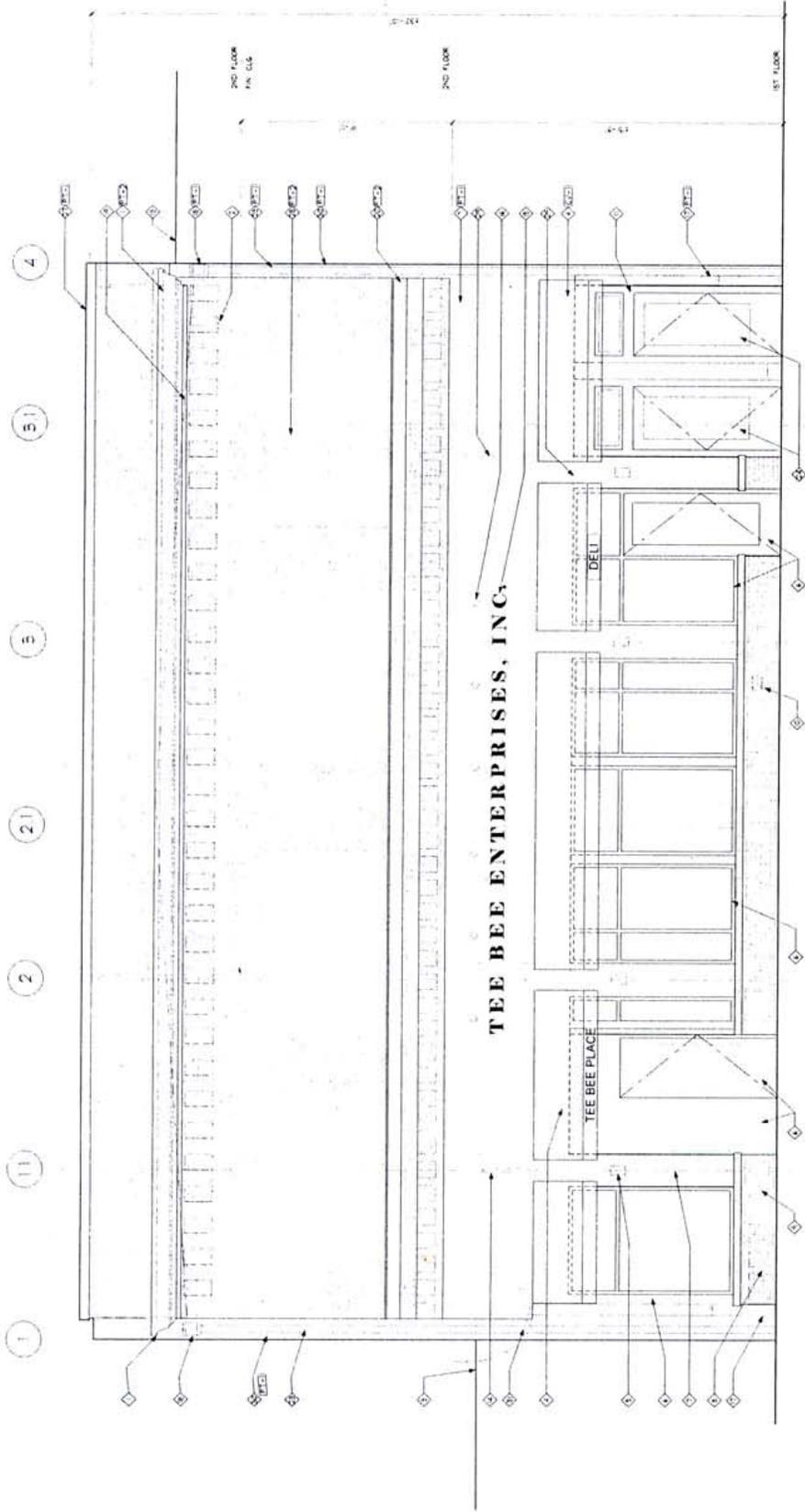
# ZONING

-  Site
-  Historic Landmark



File No.	<u>LU 09-100463 HDZ</u>
1/4 Section	<u>2228</u>
Scale	<u>1 inch = 200 feet</u>
State_Id	<u>1N1E09DA 5000</u>
Exhibit	<u>B</u> (Jan 08,2009)

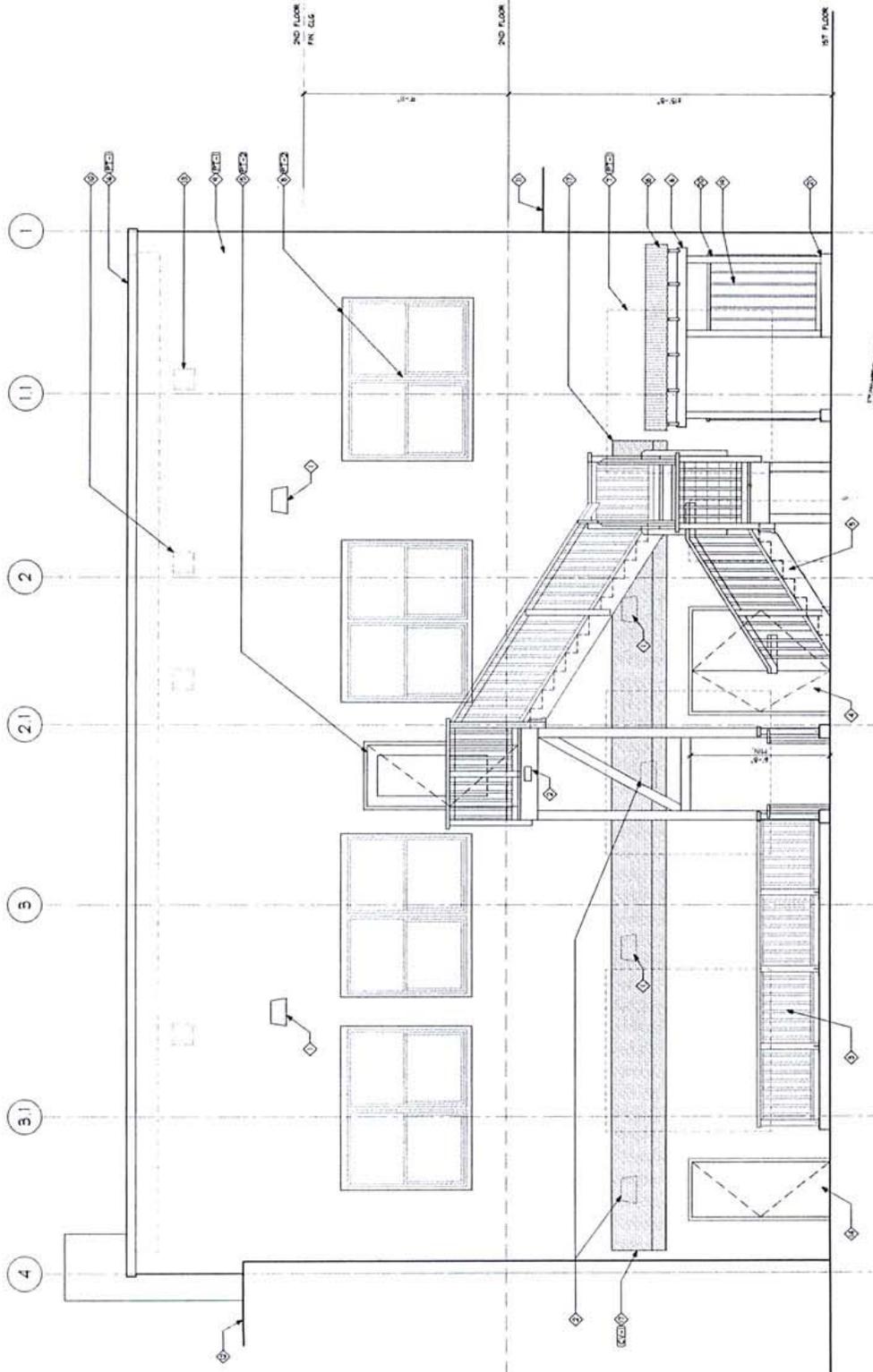




\*Approved\*  
 City of Portland - Bureau of Development Services  
 Planner: *Chris* Date: 4/13/09  
 \* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

1 PROPOSED WEST ELEVATION  
 SCALE: 3/8"=1'-0"

- GENERAL NOTES:**
- A. UNLESS OTHERWISE NOTED, FINISHES SHALL BE AS SHOWN. ALTERNATIVE FINISHES SHALL BE NOTED IN THE FINISH SCHEDULE.
  - B. BRICK WORK SHALL BE AS SHOWN. ALTERNATIVE BRICKWORK SHALL BE NOTED IN THE FINISH SCHEDULE.
  - C. BUILDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2006 INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL ORDINANCES.
  - D. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2006 INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL ORDINANCES.
  - E. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2006 INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL ORDINANCES.
  - F. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2006 INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL ORDINANCES.
- LEGEND:**
- (N) NEW CONSTRUCTION
  - (E) EXISTING
  - (R) REMOVE
  - (S) STRUCTURE TO REMAIN
  - (C) CONCRETE TO REMAIN
  - (M) MASONRY TO REMAIN
  - (W) WOOD TO REMAIN
  - (GL) GLASS TO REMAIN
  - (M) METAL TO REMAIN
  - (P) PAINT TO REMAIN
  - (F) FINISH TO REMAIN
  - (L) LIGHTING TO REMAIN
  - (M) MECHANICAL TO REMAIN
  - (E) ELECTRICAL TO REMAIN
  - (S) STRUCTURE TO REMAIN
  - (C) CONCRETE TO REMAIN
  - (M) MASONRY TO REMAIN
  - (W) WOOD TO REMAIN
  - (GL) GLASS TO REMAIN
  - (M) METAL TO REMAIN
  - (P) PAINT TO REMAIN
  - (F) FINISH TO REMAIN
  - (L) LIGHTING TO REMAIN
  - (M) MECHANICAL TO REMAIN
  - (E) ELECTRICAL TO REMAIN
- KEY NOTES:**
- (1) CONCRETE SEE DETAIL RA-1
  - (2) BRICK CORNICE
  - (3) ADJACENT HISTORY BUILDING
  - (4) PRODUCE NEW FABRIC CANOPY IN SPANAGE (SEE IAS 2)
  - (5) PRODUCE (2) NEW LIGHT FIXTURES (SEE IAS 2)
  - (6) NEW ALUMINUM SIGNMOUNT, USE ALUMINUM OR EC PRODUCE LIGHT GUAGING, TYP (SEE IAS 2)
  - (7) ALL NEW STUCCO TO REPLACE EXISTING - PAINT ALL COLOR (1) (2)
  - (8) GAS METERS
  - (9) PRODUCE NEW BRICK ANTE WALL - TYP (1)
  - (10) BRICK ABOVE (2)
  - (11) FIRE DEPARTMENT CONNECTION
  - (12) HOOD DOOR AND TRANSOM
  - (13) BUILDING SIGN, SEE IAS 2
  - (14) ADJACENT 2-STORY BUILDING
  - (15) BUILDING SIGN, SEE IAS 2 FOR SIGNAGE
  - (16) ALL NEW STUCCO TO REPLACE EXISTING - PAINT ALL COLOR (1) (2)
  - (17) EXISTING BRICK
  - (18) EXISTING BRICK
  - (19) EXISTING BRICK
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City of Portland - Bureau of Development Services  
 Planning  
 \* This approval applies only to the reviews requested and is subject to the applicable provisions of approval. Date 4/13/09  
 Additional zoning requirements may apply.

1 EAST ELEVATION  
 SCALE 3/8"=1'-0"

- GENERAL NOTES:**
1. REPAIR AND PATCH EXISTING WALLS WITH 1/2" TYPE I GYPSUM BOARD OVER 1/2" LUMBER AND CONCRETE TRIM TO BE REPAIRED TO MATCH EXISTING.
  2. REPAIR AND PATCH EXISTING WALLS TO MATCH EXISTING.
  3. SEE A13 FOR TRASH ENCLOSURE PLAN AND DETAILS.
  4. SEE A14 FOR FINISH DETAILS.
  5. SEE A15 FOR TRASH ENCLOSURE FINISH DETAILS.
  6. SEE A16 FOR TRASH ENCLOSURE FINISH DETAILS.
  7. SEE A17 FOR TRASH ENCLOSURE FINISH DETAILS.
  8. SEE A18 FOR TRASH ENCLOSURE FINISH DETAILS.
  9. SEE A19 FOR TRASH ENCLOSURE FINISH DETAILS.
  10. SEE A20 FOR TRASH ENCLOSURE FINISH DETAILS.
- LEGEND:**
- NEW CONSTRUCTION
  - EXISTING TO REMAIN
  - EXISTING
  - (E)

- KEY NOTES:**
- NEW LIGHT FIXTURES @ (E) LOCATION, SEE ELEC.
  - NEW P.T. HOOD GUARDRAIL AT BASEMENT STAIR 47' ABOVE ADJACENT GARAGE
  - NEW 3'-0" WIDE METAL DOORS, FINISH DOORS AND FRAME @ (E)
  - P.T. HOOD STAR TO SECOND FLOOR
  - NEW TRASH COLLECTION PER 2/A.3 - P.T. HOOD TYP UNLESS OTHERWISE NOTED
  - IN-FILL OPENINGS WITH CONCRETE, TYP. FLUSH TO EXISTING SURFACE OF WALL. TYPICAL ALL WALL OPENINGS @ (E)
  - PREP & PAINT (E) WINDOW FRAMES @ (E)
  - GLASS & PANE COLORED TO MATCH EXISTING APPLICATION OF COLOR BOLD BLASTERSK. COATING SYSTEM, COLOR @ (E)
  - IN-FILL EXISTING VENTILATION HOLES IN FAÇADE, PREP AND PAINT AS NOTED BELOW-TYP. AT 4 LOCATIONS
  - ADJACENT HISTORY BUILDING
  - ADJACENT 2-STORY BUILDING
  - PHONE LINE PENETRATION LOCATION
  - WALL OPENING WITH CONCRETE, TYP. FLUSH TO EXISTING SURFACE OF WALL. TYPICAL ALL WALL OPENINGS @ (E)
  - WOOD GLAZED WINDOW FRAMES @ (E)
  - PARAPET CAP
  - AWNING, SIMILAR TO WEST FAÇADE AWNING, SEE 2/A.1 @ (E)
  - GAULANVILLE CORRUGATED METAL ROOF
  - 18" CLEAR FENCE BARRIER - CLEAR SEAL
  - 44 P.T. FOOT
  - 4" HIGH CONCRETE CURB