



City of Portland, Oregon
Bureau of Development Services
Land Use Services

FROM CONCEPT TO CONSTRUCTION

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www.portlandoregon.gov/bds

Date: August 10, 2012
To: Interested Person
From: Kathleen Stokes, Land Use Services
503-823-7843 / Kathleen.Stokes@portlandoregon.gov

NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has approved a proposal in your neighborhood. The reasons for the decision are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

CASE FILE NUMBER: LU 12-148822 NU AD

GENERAL INFORMATION

Applicant: German American Society
5626 NE Alameda St
Portland, OR 97213-3422

Representative: Nancy Merryman
1231 NW Hoyt #403
Portland, OR 97209

Site Address: 5626 NE ALAMEDA ST

Legal Description: BLOCK 76 LOT 1 EXC PT IN ST, ROSE CITY PK, BLOCK 92, LOT 9&10, ROSE CITY PK

Tax Account No.: R723104530, R723106890

State ID No.: 1N2E30AC 12300, 1N2E30AC 11000

Quarter Section: 2736

Neighborhood: Rose City Park, contact Tamara DeRidder at 503-249-6977.

Business District: None

District Coalition: Central Northeast Neighbors, contact Alison Stoll at 503-823-3156.

Zoning: R1 (R1,000, Medium Density Multi-dwelling Residential), R5 (R5,000, High Density Single-dwelling Residential)

Case Type: Nonconforming Situation Review, Adjustment Review

Procedure: Type II, an administrative decision with appeal to the Hearings Officer.

Proposal: The applicant is proposing the location of the German American Society on this site which housed the Friendship Masonic Lodge, from 1921 to November of 2011. Both of these uses are considered to be private clubs, which are categorized in the Portland Zoning Code as Retail Sales and Service Uses. These types of uses are not allowed in residential zones, but the Masonic Lodge was established when the use was allowed and continued on the site over time, since it became nonconforming when the zoning was changed from C2 to R1, in

1981. Therefore, there is an established legal nonconforming status for this use category on this site.

The German American Society is allowed to relocate onto this residentially zoned site, by right, because Code Section 33.258.050 allows another use that is not allowed, but is in the same use category as the previous nonconforming use, to locate on the site, as long as the off-site impact standards of Code Section 33.262 are met. (Off-site Impact Standards regulate allowed levels of noise, smoke, glare and vibrations).

The German American Society, which has about 250 members, will also offer space to sister organizations, in the same way that the Masons did. Sister organizations and clubs that are included under the umbrella of the German American Society include the Germania Choir, Skat Players (cards) and Ladies Aid. Activities are proposed to include administrative offices, board meetings, meetings of the sister organizations, concerts, movies, classes in cooking, crafts, dancing and language and the annual "Heritage Ball". The facility may also be rented to outside groups such as dance and theater groups, wedding parties, dancing groups and cultural groups. Generally, activities will not last until late at night, though the occasional event may run until about 1:00 AM. This also occurred when the Masonic Lodge occupied the site and weddings and other events that lasted this late occurred approximately once a month.

The number of vehicle trips to the site is expected to be about the same as those generated by the Masonic Lodge, with the parking for the facility being accommodated by the 32-space parking lot that is located on the north side of Alameda Street and is also a part of the site.

The applicant is proposing some remodeling of the facility. The initial projects will include:

- addition of an elevator and new stairs, to the outside of the building, to allow accessible access to all levels;
- modifications to provide new entry and plaza at existing brick archway;
- replacements of some existing windows and addition of skylights;
- addition of new door with roofed cover and stairs;
- addition or upgrade of bathrooms to meet current code requirements;
- restoration of original ceilings and installation of new lighting in main spaces;
- abatement of asbestos;
- installation of new hardwood floors throughout the building;
- painting, finishes, furnishings, etc;
- new cabinetry and equipment in the existing commercial kitchen;
- installation of air conditioning;
- addition of new windows on the south façade.

Alterations that would increase floor area in the facility are considered to be an expansion of the nonconforming use and trigger the requirement for approval of a Nonconforming Situation Review.

An additional alternate project may include rebuilding the second floor roof of the 1933 banquet hall wing to make more useable space for meeting rooms. Currently, the space provides attic circulation and storage space, and is included in the reported 17,000 gross square feet of the building. The proposal would not increase the exterior footprint, but would instead raise the roof to make this "habitable" space.

This alternate plan would raise the height of a portion of the building that currently extends into the required building setback from the north/northeast property line that abuts NE Alameda Street. The R1 zone requires a minimum setback of at least 3 feet from street lot lines. The existing building was constructed prior to the adoption of this requirement and, like the retail use, has nonconforming status. However, the Code does not allow building walls that have nonconforming setbacks to be made taller unless an exception is granted through an Adjustment Review. Therefore, the applicant is requesting approval of an Adjustment to Code

Section 33.120.220 B, to allow the northeast corner of the building to be raised by about 7 feet to allow the extension of the roof over the attic area.

Relevant Approval Criteria: Nonconforming Situation Review, 33.258.080 B, Adjustment Review, 33.805.040 A-F.

ANALYSIS

Site and Vicinity: The applicant's site consists of two properties, one of 27,500 square feet and the other of 13,600 square feet of land area. The larger parcel, which contains the building that is proposed to serve as the new location for the German American Society, is a roughly triangular property that is located on the west side of the angled axis intersection of NE Alameda Street and Sandy Boulevard. The smaller parcel, which serves as the parking lot for the facility is due north, but across the street, at the northeast corner of the intersection of NE 56th Avenue and NE Alameda Street. The property that has the building on it has three sides, with street frontage on the north and the south and the Vietnamese Vicariate abutting the west side. The parking lot would be rectangular in shape, but has the southwest corner cut away, so that the southeast corner forms a point. This property has street frontage on the west and south sides, with single-dwelling residences to the north and northeast. In the area adjacent to the southeast portion of the parking lot there is a duplex and commercial buildings, including a dental clinic in the area next to Sandy Boulevard.

Zoning: The main part of the site, where the building is located, is zoned R1 or R1,000, Medium Density Multi-Dwelling Residential. This zone allows up to one unit per 1,000 square feet of site area and requires a minimum of one unit per 1,450 square feet of site area, or 1 unit per 2,000 square feet of site area for sites that are smaller than 10,000 square feet. Allowed housing is characterized by one to four story buildings and a higher percentage of building coverage than in the lower density multi-dwelling zones. The major type of new housing will be condominiums and apartments, duplexes, townhouses, and rowhouses. Generally, R1 zoning will be applied near neighborhood collector and district collector streets, and local streets adjacent to commercial areas, or major streets.

The parking lot, which is located across the street from the building, on the north side of NE Alameda Street is zoned R5 or R5,000, High Density Single-Dwelling Residential. This zone is intended to accommodate single-dwelling development, with an average of one unit per 5,000 square feet of site area.

Land Use History: City records include the following prior land use review for this site:

PC 4714 - A 1965 Ordinance (No. 121212) changed the zoning designation, from R5 to C2 for Lot 1, Blk 76, and from R5 to Zone R5P for Lots 9 & 10, Blk 92, all in Rose City Park Addition and located at NE Alameda St & NE 56th Ave. The approval was granted upon the following conditions:

- “1. That the C2 Zone is used for a lodge only.
2. That the parking area is screened in accordance with Article 35 of the Planning and Zoning Code of The City of Portland.”

Agency Review: A “Notice of Proposal in Your Neighborhood” was mailed **July 12, 2012**. The following Bureaus have responded with no issues or concerns:

- Environmental Services provided information on sanitary sewers and storm water management requirements, noting that nonconforming landscaping upgrades to the parking lot will be subject to the requirement that the landscaped areas must be utilized as vegetated stormwater facilities where feasible (Exhibit E-1).
- Transportation Engineering provided an analysis of the proposal, as it is related to transportation-related approval criteria, concluding that there is not expected to be any change in the impacts on the transportation system or the parking in the area from the previous use at the site (Exhibit E-2).
- Water Bureau provided information on the existing water service to the site and noted that

any additions to the water service will trigger a Water Bureau review for fixture count at the time of the building permit review (Exhibit E-3).

- Fire Bureau noted that applicable Fire Code requirements will be reviewed at the time of the building permit application (Exhibit E-4).
- Site Development Section of BDS noted that seismic upgrade of the building would likely be required if the roof is rebuilt. Erosion control will be required as a standard measure with the building permit (Exhibit E-5).
- Life Safety Plan Review Section of BDS advised that a preliminary life-safety meeting is recommended to verify building code requirements (Exhibit E-6).
- Parks-Forestry Division provided an electronic response of “no concerns.”

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on July 12, 2012. One written response has been received in response to the proposal. The Chair of The Rose City Park Neighborhood Association wrote in support of the proposal and asked that this review be approved (Exhibit F-1).

ZONING CODE APPROVAL CRITERIA

NONCONFORMING SITUATION REVIEW

33.258.010 Purpose of Nonconforming Situation Regulations

Nonconforming situations are created when the application of a specific zone to a site changes, or a zoning regulation changes. As part of the change, existing uses, density, or development might no longer be allowed. The intent of the change is not to force all noncomplying situations to be immediately brought into conformance. Instead, the intent is to guide future uses and development in a new direction consistent with City policy, and, eventually, bring them into conformance.

Legal nonconforming status is based on whether the situation was allowed when established, and if it has been maintained over time. This chapter also provides a method to review and limit nonconforming situations when changes to those situations are proposed. The intent is to protect the character of the area by reducing the negative impacts from nonconforming situations. At the same time, the regulations assure that the uses and development may continue and that the zoning regulations will not cause unnecessary burdens.

Nonconforming situations that have a lesser impact on the immediate area have fewer restrictions than those with greater impacts. Nonconforming uses in residential zones are treated more strictly than those in commercial, employment or industrial zones to protect the livability and character of residential neighborhoods.

33.258.050 Nonconforming Uses

C. Expansions. Nonconforming uses may expand under certain circumstances. Exterior improvements may expand by increasing the amount of land used. Changing the exterior use, for example from parking to storage, is an expansion of exterior storage. Adding parking spaces to an existing lot is also an expansion.

Expansion of nonconforming uses and development is generally limited to the area bounded by the property lines of the use as they existed two years before the use became nonconforming. The property lines are the lines nearest to the land area occupied by the nonconforming use and development and its accessory uses and development, moving in an outward direction. Property lines bound individual lots, parcels, and tax lots; a site or ownership may have property lines within it. The applicant must provide evidence to show the location of property lines as they existed two years before the use became nonconforming. In OS and R zones, expansions of floor area or exterior improvements, when proposed within the property lines as they existed two years before the use became nonconforming, may be approved through a nonconforming situation review.

Findings: Nonconforming use status for this site and purposes for review requirements:

The applicant has provided copies of standard evidence that documented the facts that the Masonic Lodge was established on the site, as an allowed retail use in 1921, and continued on the site, from the time that it became nonconforming, with a change of the zoning designation in 1981, until the sale of the property in November, 2011.

This proposal is to locate another retail use on the site. The proposal includes alterations to the buildings, including construction of an elevator and possibly raising the roof to make more usable floor area in the attic storage area. Discussion of the proposed use and the proposed changes to the development on the site will be addressed in the findings for the approval criteria for the requested Nonconforming Situation Review, below.

33.258.080 Nonconforming Situation Review

A. Procedure. A nonconforming situation review is processed through a Type II procedure.

B. Approval criteria. The request will be approved if the review body finds that the applicant has shown that all of the following approval criteria are met:

1. With mitigation measures, there will be no net increase in overall detrimental impacts (over the impacts of the previous use or development) on the surrounding area taking into account factors such as:
 - a. The hours of operation;
 - b. Vehicle trips to the site and impact on surrounding on-street parking;
 - c. Noise, vibration, dust, odor, fumes, glare, and smoke;
 - d. Potential for increased litter; and
 - e. The amount, location, and nature of any outside displays, storage, or activities; and

Findings: The proposed use of the property by the German American Society will be essentially the same as the Masonic Temple. Building alterations will create a more up-to-date facility that can serve the general neighborhood, as well as the German American Society. The following are comparisons of the proposed operations and the most recent situation for the site:

- The hours of the operation will be very similar to those of the previous use, with a variety of activities for the parent organization, as well as numerous smaller events that are sponsored by the sister organizations that are affiliated with the Society. Although there will be activities scheduled at varying times, almost every day, late events will be infrequent. Like the Masons, through their history on the site, there are some special events during the year that do extend past 11 o'clock, though this is not a regular occurrence.
- The amount of traffic that is likely to be generated by the German American Society is expected to be essentially the same as the traffic that was generated by the Masonic Lodge. The 32-space parking lot will be available to provide parking for all the events at the site. Portland Transportation reviewed the information provided by the applicant and concurs that there is not expected to be any increase in impacts on the surrounding residential area, over the previous use.
- No noticeable impacts from noise, vibration, dust, odor, fumes, glare or smoke are expected from the proposed use, as almost all operations will be contained within the building. When occasional special events are staged in the outdoor area, there should be no impacts on the residential area because the closest residentially developed properties are nearly one block away.
- The proposed use is not likely to generate any significant amount of litter and the properties are expected to be regularly maintained by the members of the Society.

- No outside displays, storage or activities are proposed, with the exception of some annual outdoor celebrations that are short in duration. The Society stated in their application that any such outdoor displays or activities would meet the requirements of the Zoning Code for Temporary Activities, Chapter 33.262.
- The applicant states that the signs for the Society will meet the requirements of Title 32, the Portland Sign Code.

The previous comparisons addressed the use of the site and show that there is not expected to be an increase in impacts. However, the use of the site by the German American Society is allowed by right. The impacts on the surrounding residential area also are not expected to increase as a result of the expansion of the use through the proposed building alterations. Traffic is not expected to increase. The on-site parking will accommodate the clients and staff that are expected on a regular basis, so there should be no impacts on the availability of street parking in the surrounding area. Therefore, this criterion is met.

2. If the nonconforming use is in an OS or R zone, and if any changes are proposed to the site, the appearance of the new use or development will not lessen the residential character of the OS or R zoned area. This is based on taking into account factors such as:

- a. Building scale, placement, and facade;
- b. Parking area placement;
- c. Buffering and the potential loss of privacy to abutting residential uses; and
- d. Lighting and signs, and

Findings: The proposed alterations to the structure are in keeping with the scale and placement of the historic character of the development of this site. Changes to the façade will include additional glazing that will provide more interest and more opportunities for interaction between the activities with the building and the adjacent street frontages.

No changes are proposed to the onsite parking area, except as may be needed to meet accessible parking requirements and upgrades to meet landscaping requirements. The addition of landscaping, particularly along the perimeter of the parking area, will provide buffering which will increase privacy for the closest residential uses.

Any signs for the business will be required to meet the standards of Title 32 or 33.258 and so are not expected to detract from the residential character of the area. Any lighting that is on the site will meet the off-site impact standards of Code Section 33.262, which prevents excessive glare. Therefore, the appearance of the proposed alterations will not lessen the residential character of the R zone and this criterion can be met.

3. If the nonconforming use is in a C, E, or I zone, and if any changes are proposed to the site, the appearance of the new use or development will not detract from the desired function and character of the zone.

Findings: The proposal is in a residentially zoned area. This criterion does not apply.

33.805.040 Adjustment Approval Criteria

Adjustment requests will be approved if the review body finds that the applicant has shown that approval criteria A. through F. stated below have been met.

- A. Granting the adjustment will equally or better meet the purpose of the regulation to be modified; and

Findings: The alternate plan that has been proposed would raise the height of a portion of the building that currently extends into the required building setback from the north/northeast property line that abuts NE Alameda Street. The R1 zone requires a minimum setback of at least 3 feet from street lot lines. The existing building was

constructed prior to the adoption of this requirement and, like the retail use, has nonconforming status. However, the Code does not allow building walls that have nonconforming setbacks to be made taller unless an exception is granted through an Adjustment Review. Therefore, the applicant is requesting approval of an Adjustment to Code Section 33.120.220 B, to allow the northeast corner of the building to be raised by about 7 feet to allow the extension of the roof over the attic area.

The purpose of building setback requirements are to maintain light, air, separation for fire protection, and access for fire fighting. Setback standards also reflect the general building scale and placement of development in the City's neighborhoods and promote a reasonable physical relationship between residences. They promote options for privacy for neighboring properties and provide adequate flexibility to site a building so that it may be compatible with the neighborhood, fit the topography of the site, allow for required outdoor areas, and allow for architectural diversity. Front setbacks are required to be larger than side and rear setbacks to promote open, visually pleasing front yards.

The request to reduce the required building setback is to allow the height of a wall that currently exists within the setback area to be raised. The portion of the wall that is within the setback is a corner of the building and so it is very small. Although the wall comes to the property line, it is adjacent to the NE Alameda Street right-of-way, facing the parking lot and commercial development on the north side of the street and the front entry yard for the old Masonic building on the east side of the site. Allowing the building wall to be raised will not cause any impacts at all on any residentially developed properties due to any of the factors that are cited in the purpose statement. Therefore, this criterion is met.

- B.** If in a residential zone, the proposal will not significantly detract from the livability or appearance of the residential area, or if in an OS, C, E, or I zone, the proposal will be consistent with the classifications of the adjacent streets and the desired character of the area; and

Findings: The request to reduce the setback in order to raise the height of the northeast corner of the building will have no impact on the livability or appearance of the residential area. The proposed changes to the building will actually enhance the appearance of the structure, while carefully maintaining its historic character. As noted in the findings above, the reduced setback is not close to any residentially developed lots and therefore, for these reasons, this criterion is met.

- C.** If more than one adjustment is being requested, the cumulative effect of the adjustments results in a project which is still consistent with the overall purpose of the zone; and

Findings: Only one adjustment has been requested. Therefore, this criterion does not apply.

- D.** City-designated scenic resources and historic resources are preserved; and

Findings: There are no City-designated scenic or historic resources on the site. Therefore, this criterion does not apply.

- E.** Any impacts resulting from the adjustment are mitigated to the extent practical.

Findings: No impacts from the adjustment have been identified by staff. Therefore, this criterion does not apply.

- F.** If in an environmental zone, the proposal has as few significant detrimental environmental impacts on the resource and resource values as is practicable.

Findings: The site is not located in an environmental zone. Therefore, this criterion does not apply.

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

Location of the German American Society at this location, which was formerly occupied by the Friendship Masonic Lodge, is allowed by right by the regulations of Title 33, Code Section 33.258.050 B. The proposed alterations and additions to the structure on the site meet the approval criteria for an expansion of a Nonconforming Use because there will not be any increase in the impacts on the surrounding residential area, over those of the previous use on the site. The proposed alternative alteration to the building, which calls for raising the height of a nonconforming wall that is located within the required building setback at the northeast corner of the property meets all of the relevant approval criteria for the requested Adjustment. The building corner is adjacent to the right-of-way and is not located close enough to any residentially developed properties to cause any impacts. The Nonconforming Situation Review and Adjustment Review can be approved, in general conformance with proposed plans and drawings.

ADMINISTRATIVE DECISION

Approval of the expansion of the Nonconforming Use, through the proposed remodeling of the facility, including the plans for:

- addition of an elevator and new stairs, to the outside of the building, to allow accessible access to all levels;
- modifications to provide new entry and plaza at existing brick archway;
- replacements of some existing windows and addition of skylights;
- addition of new door with roofed cover and stairs;
- addition of new windows on the south façade.

Approval is also given for an additional alternate project that includes rebuilding the second floor roof of the 1933 banquet hall wing to make more useable space for meeting rooms and approval of an Adjustment to Code Section 33.120.220 B, to allow the northeast corner of the building to be raised by about 7 feet to allow this extension of the roof over the attic area.

Approvals are subject to general compliance with the approved site plans, Exhibits C-1 through C-7, signed and dated August 8, 2012, subject to the following condition:

- A. As part of the building permit application submittal, each of the 4 required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C.1-C.7. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 12-148822 NU AD."

Staff Planner: Kathleen Stokes

Decision rendered by:  **on August 8, 2012.**

By authority of the Director of the Bureau of Development Services

Decision mailed: August 10, 2012

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on June 8, 2012, and was determined to be complete on July 10, 2012.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on June 8, 2012.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period. Unless extended by the applicant, **the 120 days will expire on: November 7, 2012.**

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term "applicant" includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed to the Hearings Officer, which will hold a public hearing. Appeals must be filed **by 4:30 PM on August 24, 2012** at 1900 SW Fourth Ave. Appeals can be filed Tuesday through Friday on the first floor of the Development Services Center until 3 p.m. After 3 p.m. and Mondays, appeals must be submitted to the receptionist at the front desk on the fifth floor. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization's boundaries. The vote to appeal must be in accordance with the organization's bylaws. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Hearings Officer is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at

550 Capitol St. NE, Suite 235, Salem, Oregon 97301, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Hearings Officer an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed*, The final decision may be recorded on or after **August 27, 2012 – (the first business day following the last day to appeal)**. A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- **By Mail:** Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- **In Person:** Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034
For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Zone Change and Comprehensive Plan Map Amendment approvals do not expire.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

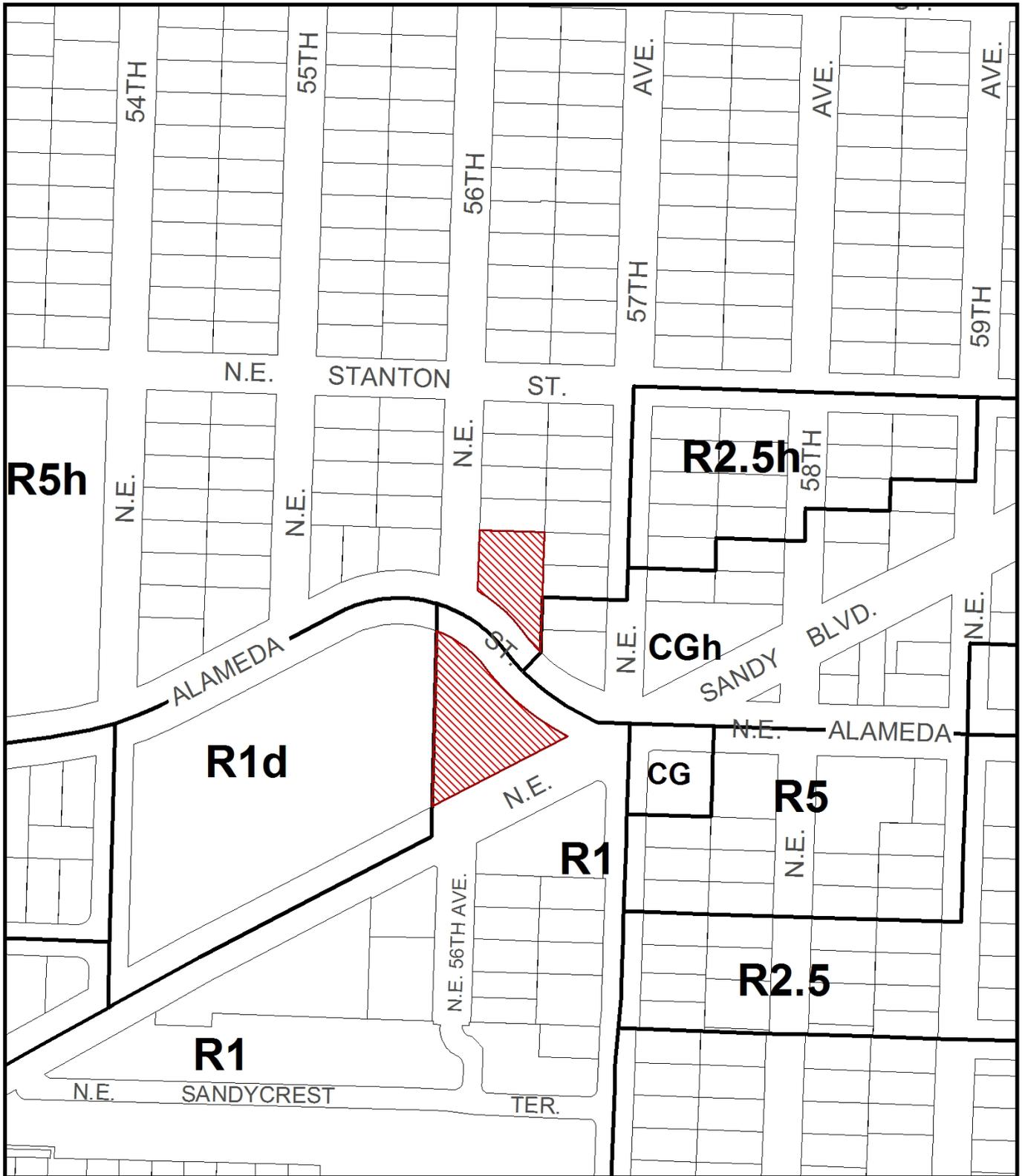
EXHIBITS

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
 - 1. Application, original narrative and plans
 - 2. Legal nonconforming status documentation
 - 3. Photographs and color drawings
 - 4. Supplemental information, June 25, 2012
- B. Zoning Map (attached)
- C. Plans/Drawings:
 - 1. Site Plan (attached)
 - 2. South Elevation (attached)
 - 3. Perspective from the Northeast (attached)
 - 4. East Elevation (attached)
 - 5. Alternate proposal, East Elevation (attached)
 - 6. North Elevation (attached)
 - 7. Alternate proposal, North Elevation (attached)
- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Responses:
 - 1. Bureau of Environmental Services
 - 2. Bureau of Transportation Engineering and Development Review
 - 3. Water Bureau
 - 4. Fire Bureau
 - 5. Site Development Review Section of BDS
 - 6. Life Safety Plan Review Section of BDS
 - 7. Summary of electronic responses from City service agencies
- F. Correspondence:
 - 1. Michael S. Roth, Chair, Rose City Park Neighborhood Association
- G. Other:
 - 1. Site History Research
 - 2. Letter from Kathleen Stokes to Nancy Merryman, June 22, 2012

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need

special accommodations. Call 503-823-7300 (TTY 503-823-6868).



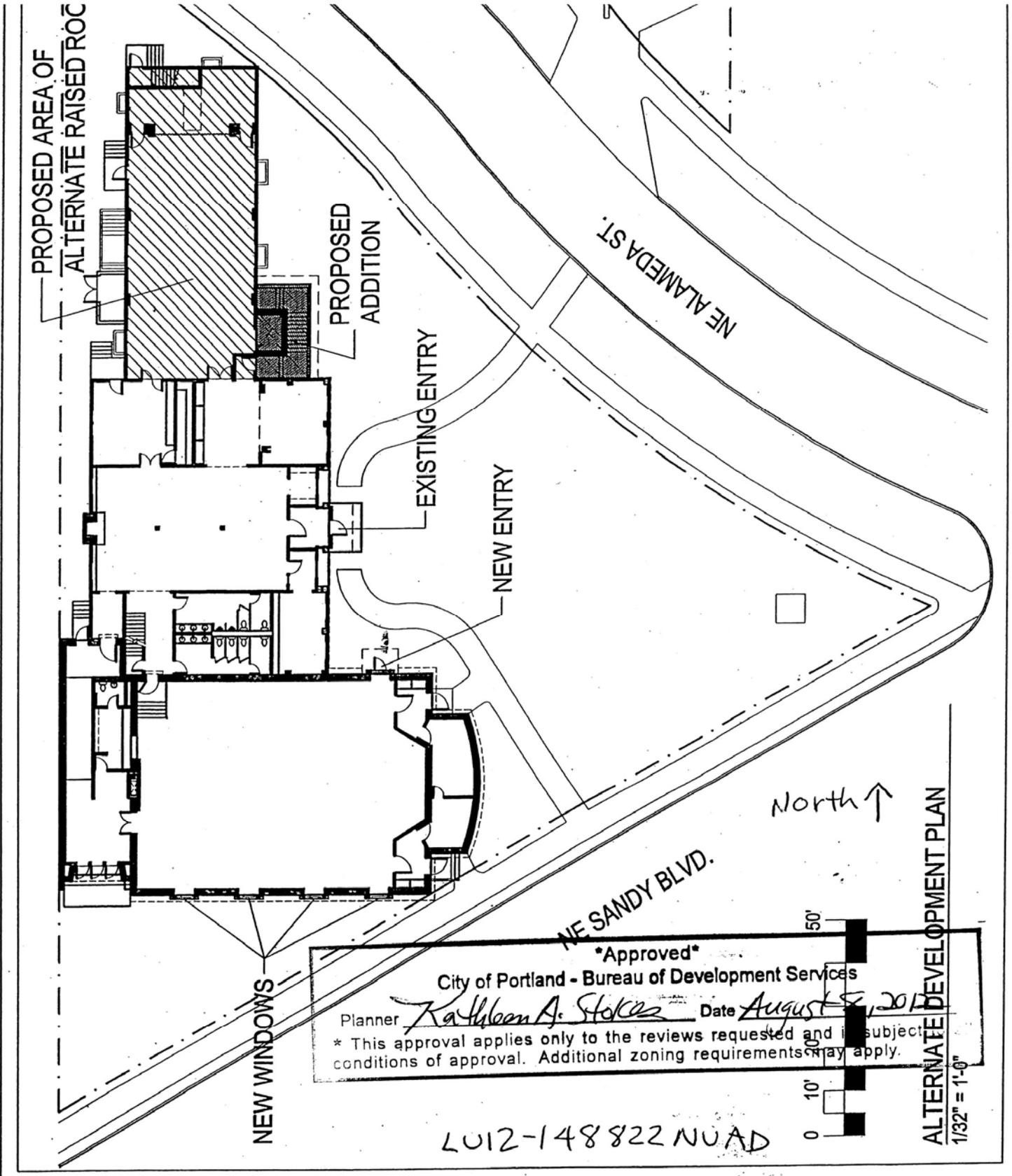
ZONING



Site



File No. LU 12-148822 NU
 1/4 Section 2736
 Scale 1 inch = 200 feet
 State_Id 1N2E30AC 11000 and 12300
 Exhibit B (Jul 10, 2012)



Approved

City of Portland - Bureau of Development Services

Planner Kathleen A. Stokes Date August 5, 2017

* This approval applies only to the reviews requested and subject to the conditions of approval. Additional zoning requirements may apply.

LUI2-148822 NUAD

ALTERNATE DEVELOPMENT PLAN

Exhibit C-1

Approved

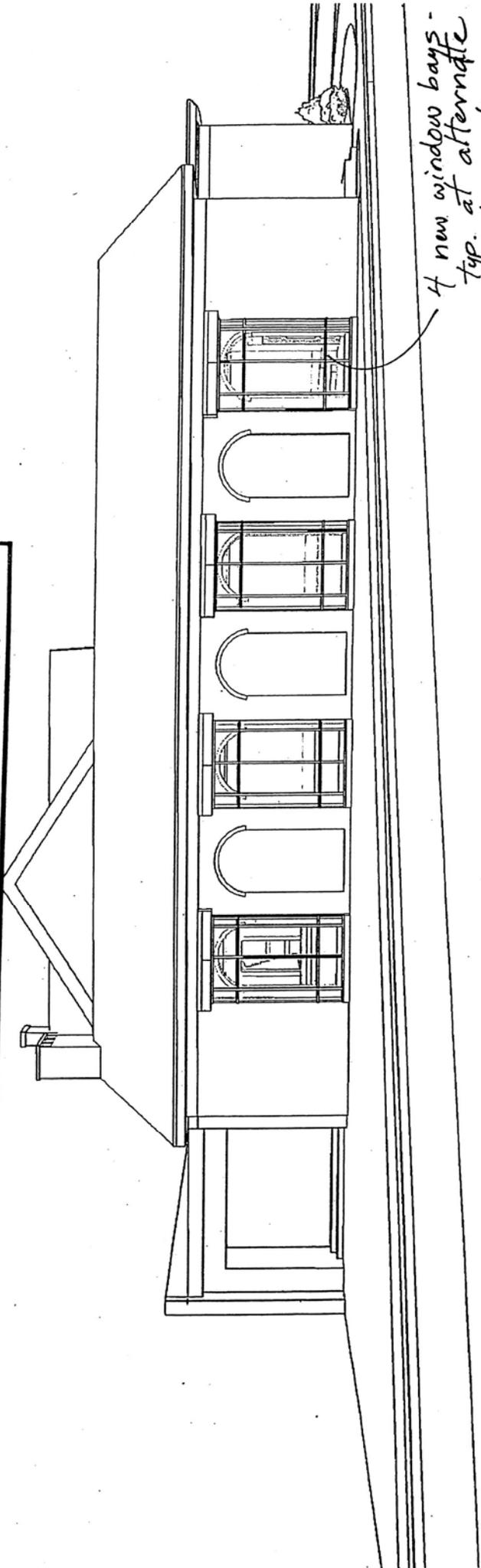
City of Portland - Bureau of Development Services

Planner

Kathleen A. Stone

Date *August 18, 2012*

* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



4 new window bays -
typ. at alternate
brick arches

PROPOSED SOUTH ELEVATION - BASE PROPOSAL
N.T.S.

PROJECT TITLE
German American Society

PROJECT NUMBER
12-0202

DRAWING TITLE
Exterior Views

ISSUE DATE
06.06.2012

SCALE
- as noted

REVISION DATE
7/.2012

Exhibit C-2
2012-148822 NUAD

MBA

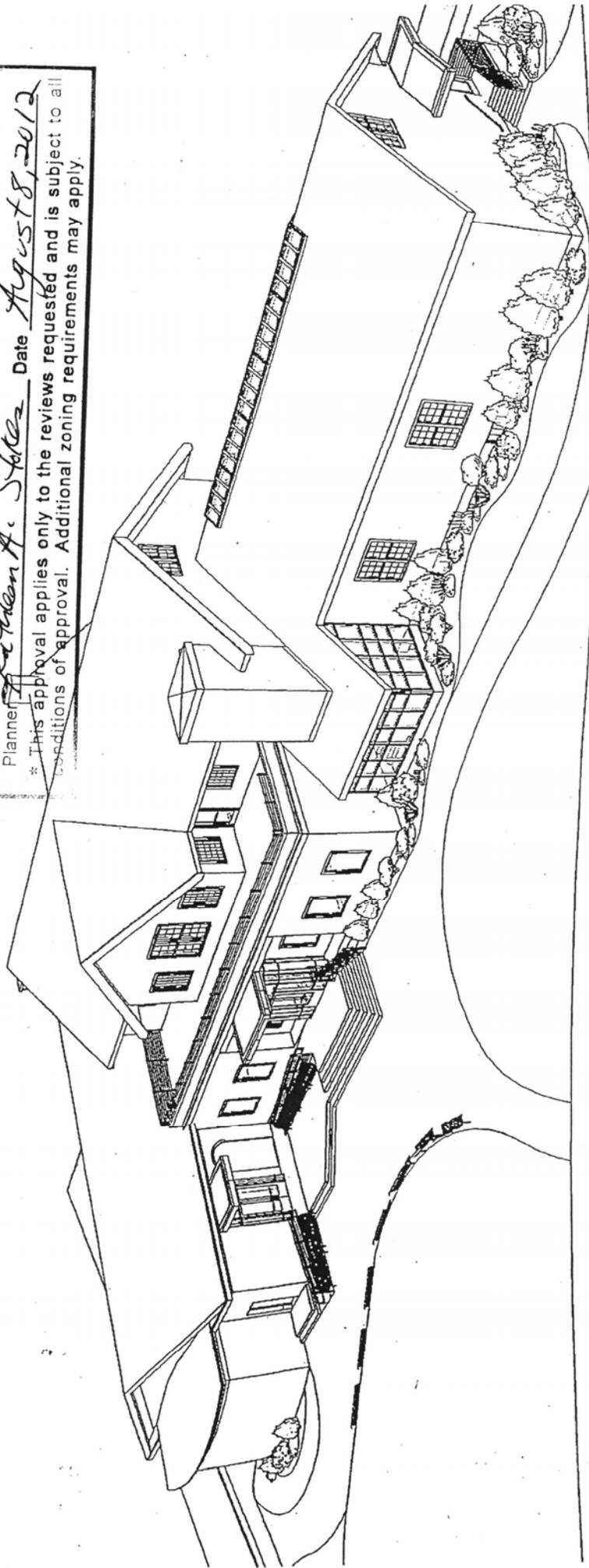
MERRYMAN BARNES ARCHITECTS 1231 NW HOYT ST. SUITE 403 | PORTLAND, OR 97209 | p: 503-222-3753 | f: 503-295-6718 | www.MerrymanBarnesArchitects.com

Approved

City of Portland - Bureau of Development Services

Planner Kathleen A. Spitzer Date August 8, 2012

* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



PERSPECTIVE VIEW FROM THE NORTHEAST - BASE PROPOSAL
N.T.S.

PROJECT TITLE
German American Society

PROJECT NUMBER
12-0202

DRAWING TITLE
Exterior Views

ISSUE DATE
06.06.2012

SCALE
as noted

REVISION DATE
..2012

Exhibit C-3

L 012-148822NUAD



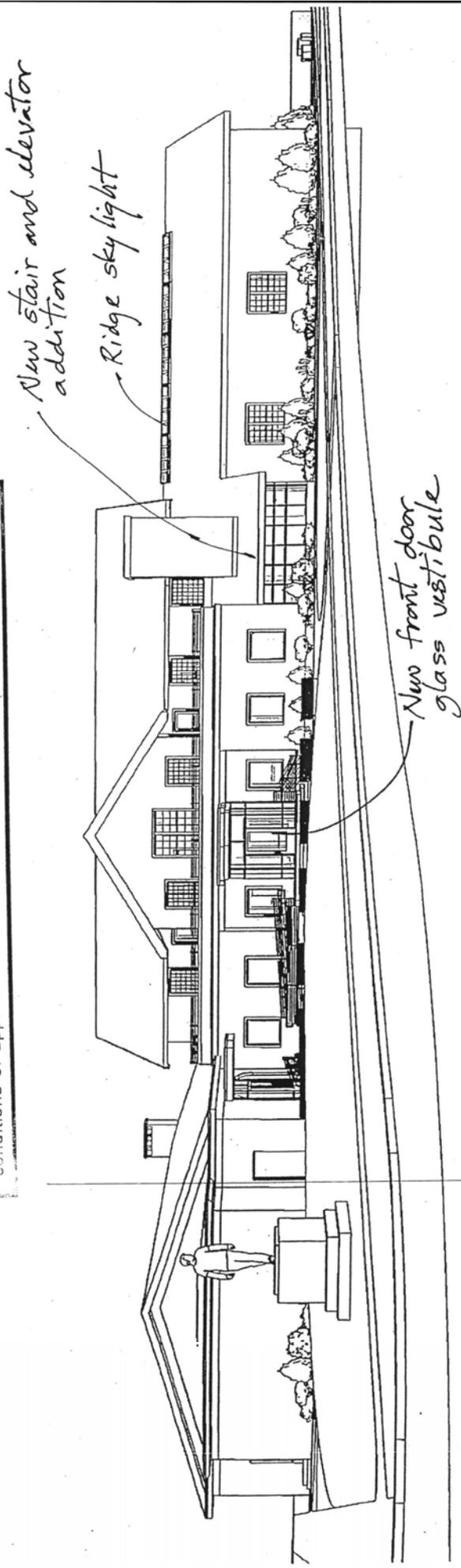
MERRYMAN BARNES ARCHITECTS 1231 NW HOYT ST. SUITE 403 | PORTLAND, OR 97209 | P: 503-222-3753 | F: 503-295-6718 | WWW.MERRYMANBARNESARCHITECTS.COM

Approved

City of Portland - Bureau of Development Services

Planner Kathleen A. Stokes Date August 8, 2012

* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



PROPOSED EAST ELEVATION - BASE PROPOSAL
N.T.S.

PROJECT TITLE	German American Society
DRAWING TITLE	Exterior Views
SCALE	as noted
PROJECT NUMBER	12-0202
ISSUE DATE	06.06.2012
REVISION DATE	7/2012

Exhibit C-4
LU12-148822 NU AD



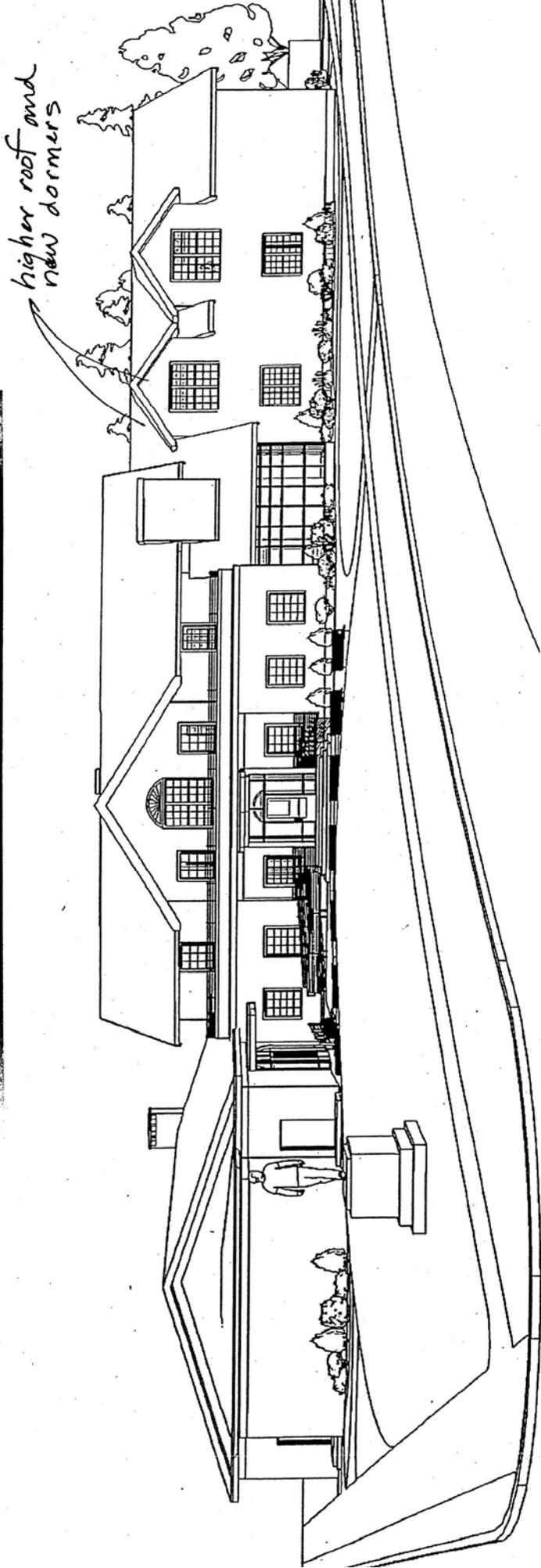
MERRYMAN BARNES ARCHITECTS 1231 NW HOYT ST. SUITE 403 | PORTLAND, OR 97209 | p. 503-222-3753 | f. 503-295-6718 | www.MerrymanBarnesArchitects.com

Approved

City of Portland - Bureau of Development Services

Planner Kathleen A Stokes Date August 18, 2012

* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



PROPOSED EAST ELEVATION - ALTERNATE PROPOSAL

N.T.S.

PROJECT NUMBER	12-0202
ISSUE DATE	06.06.2012
REVISION DATE	7/2012

PROJECT TITLE
German American Society

DRAWING TITLE
Exterior Views

SCALE
as noted

Exhibit C-5
LU 12-148 822 NU AD



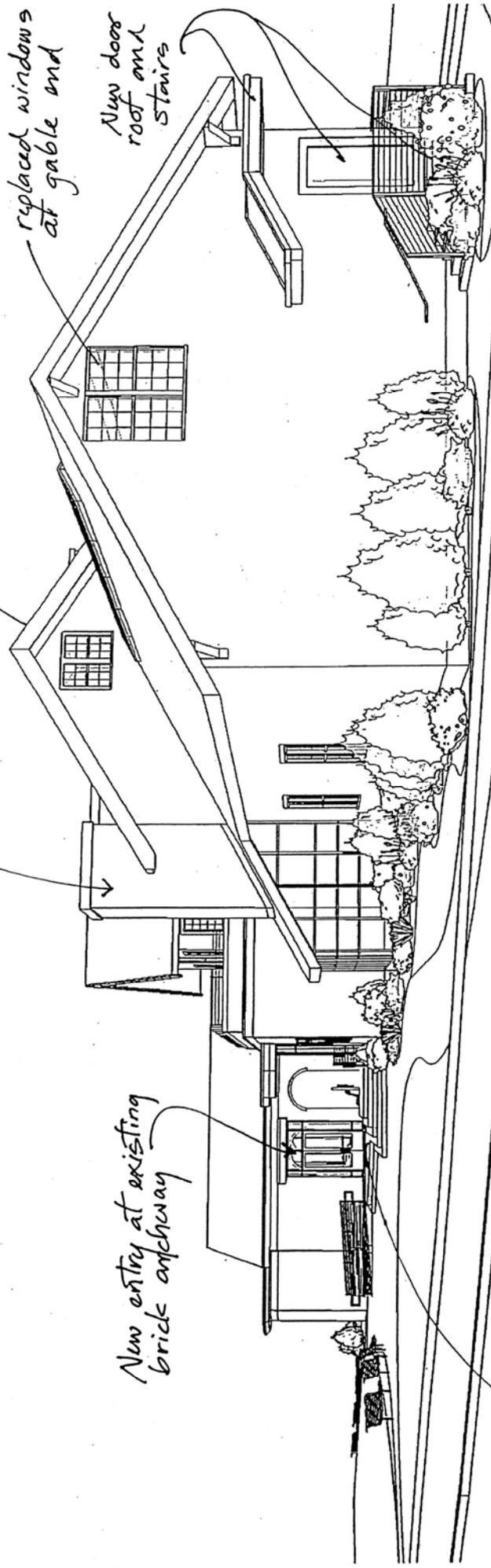
Approved

City of Portland - Bureau of Development Services

Planner *Zorithleen A. Stokes* Date *August 29, 2012*

* This approval applies only to the reviews requested and is subject to tear conditions of approval. Additional zoning requirements may apply. *addition*

Extended roof with new gable windows



New entry at existing brick archway

New entry plaza and entry stairs and ramp.

PROPOSED NORTH ELEVATION - BASE PROPOSAL
N.T.S.

PROJECT TITLE
German American Society

DRAWING TITLE
Exterior Views

SCALE
as noted

PROJECT NUMBER
12-0202

ISSUE DATE
06.06.2012

REVISION DATE
7/2012

*Exhibit C-6
2012-148822NUAD*



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Approved
City of Portland - Bureau of Development Services
Planner Kathleen A. Stokes Date August 8, 2012
* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

Higher roof and new dormers

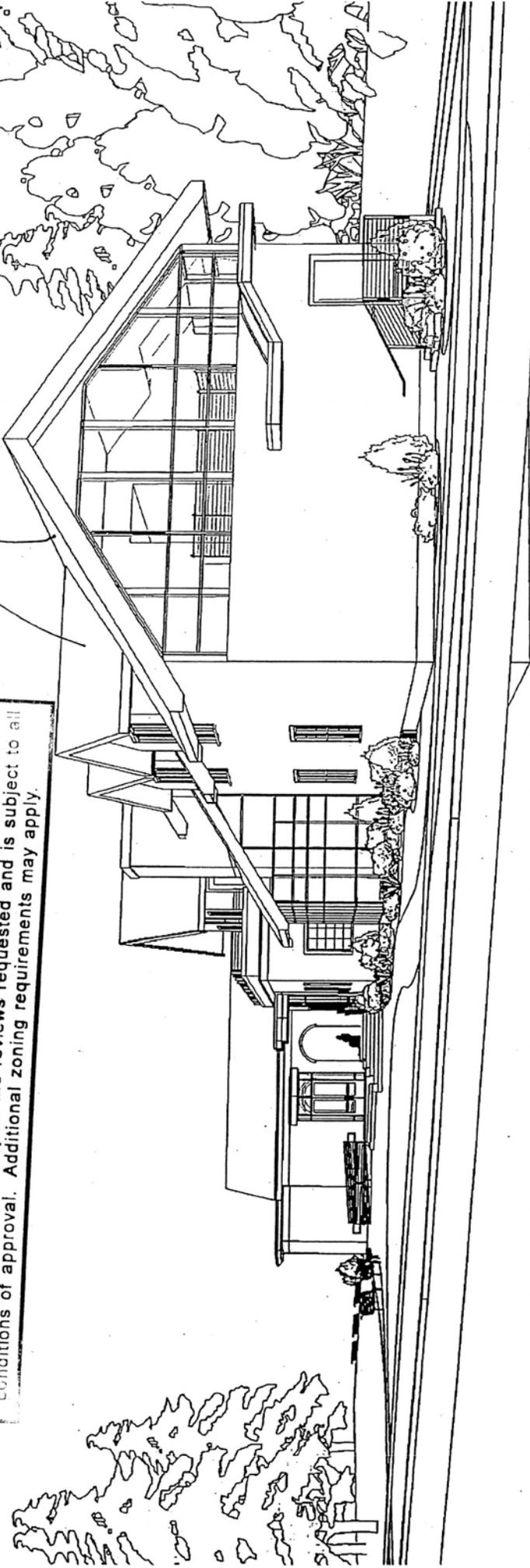


Exhibit C-7
LU 12-PA 8822 NUAD