

Development Services

From Concept to Construction

Phone: 503-823-7300 Email: bds@portlandoregon.gov 1900 SW 4th Ave, Portland, OR 97201

More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



APPEAL SUMMARY

Status: Decision Rendered

Appeal ID: 27656

Project Address: 2027 SE 174th Ave

Hearing Date: 4/13/22

Appellant Name: Mildred White

Case No.: B-001

Appellant Phone: 503-253-4283

Appeal Type: Building

Plans Examiner/Inspector: Renay Radtke Butts

Project Type: commercial

Stories: 2 **Occupancy:** SR-1 **Construction Type:** V-A

Building/Business Name:

Fire Sprinklers: Yes - throughout entire building

Appeal Involves: Alteration of an existing structure

LUR or Permit Application No.: 20-106889-CO

Plan Submitted Option: pdf [File 1] [File 2] [File 3] [File 4] **Proposed use:** exterior deck at care facility

APPEAL INFORMATION SHEET

Appeal item 1

Code Section 1028.4.2

Requires

Where an egress court serving a building or portion thereof is less than 10 feet in width, the egress court walls shall have not less than 1-hour fire-resistance-rated construction for a distance of 10 feet above the floor of the egress court. Openings within such walls such be protected by openings having a fire protection rating of not less than 3/4 hour.

Code Modification or Alternate Requested

The request is to eliminate the 3/4 rating outright in areas where there is over 35' from building to property line, and request to eliminate the 3/4 rating in areas where there is smaller distance between building and property line. Please note, the elimination of the fire rating requirement for a number of openings were already approved under a previous appeal which is noted on the drawings.

Proposed Design

The elimination of the fire rating requirement for a number of openings was granted under an appeal submitted with the original building permit. This permit is only to legalize decks that were constructed and inspected with that permit, but never included under the permit scope. The decks were built because the original architect failed to note that the existing grade would not permit accessible use of the exterior doors in each resident's room. These raised decks were built within the building setback, decreasing the width of the egress courts. The existing openings which would require 3/4 rating are vinyl and operable. The windows could be replaced, but most are required to be operable for egress. The building is Type V-A construction, so all exterior walls are one-hour rated. Exterior fire sprinklers are installed along the perimeter of the building. We are requesting the non-rated windows to be permitted to remain with the installation of additional exterior fire sprinkler heads at locations where the distance between the building and property lines is 10'. At the rear, we are requesting no additional sprinkler heads be required since the distance between the building and property line is over 35'.

Reason for alternative The alternate is required in order to maintain the required egress windows. The purpose of the egress court is to provide safe passage. This will be provided with the combination of the Type V-A construction, fire sprinklers on the exterior along the path of egress (above the deck), and additional heads at locations where the distance is less than 35' to the property line. At these locations, the width of the deck is no less than 6', with an additional 4' to the property line. The window sizes are noted on the enlarged plans, varying from 1.5'x1.5' to 6.0'x5.0'. There are five exterior exit doors that do not utilize the egress court to reach the public way. There are three exit doors that utilize the egress court, along with two secondary exit stairs from the second floor.

APPEAL DECISION

Type 13 water curtain sprinkler protection at non-fire rated door and window openings in North, West and South exterior walls along egress court created by deck installation that is less than 10 feet in width: Granted provided doors are equipped with closers, sprinklers are spaced not more than 6 feet apart and placed a minimum of 6 inches and a maximum of 12 inches from the opening(s) and a maximum of 12 inches below the ceiling. Sprinklers are to be installed on the interior and exterior side of the openings. A separate permit from the Fire Marshal's Office is required.

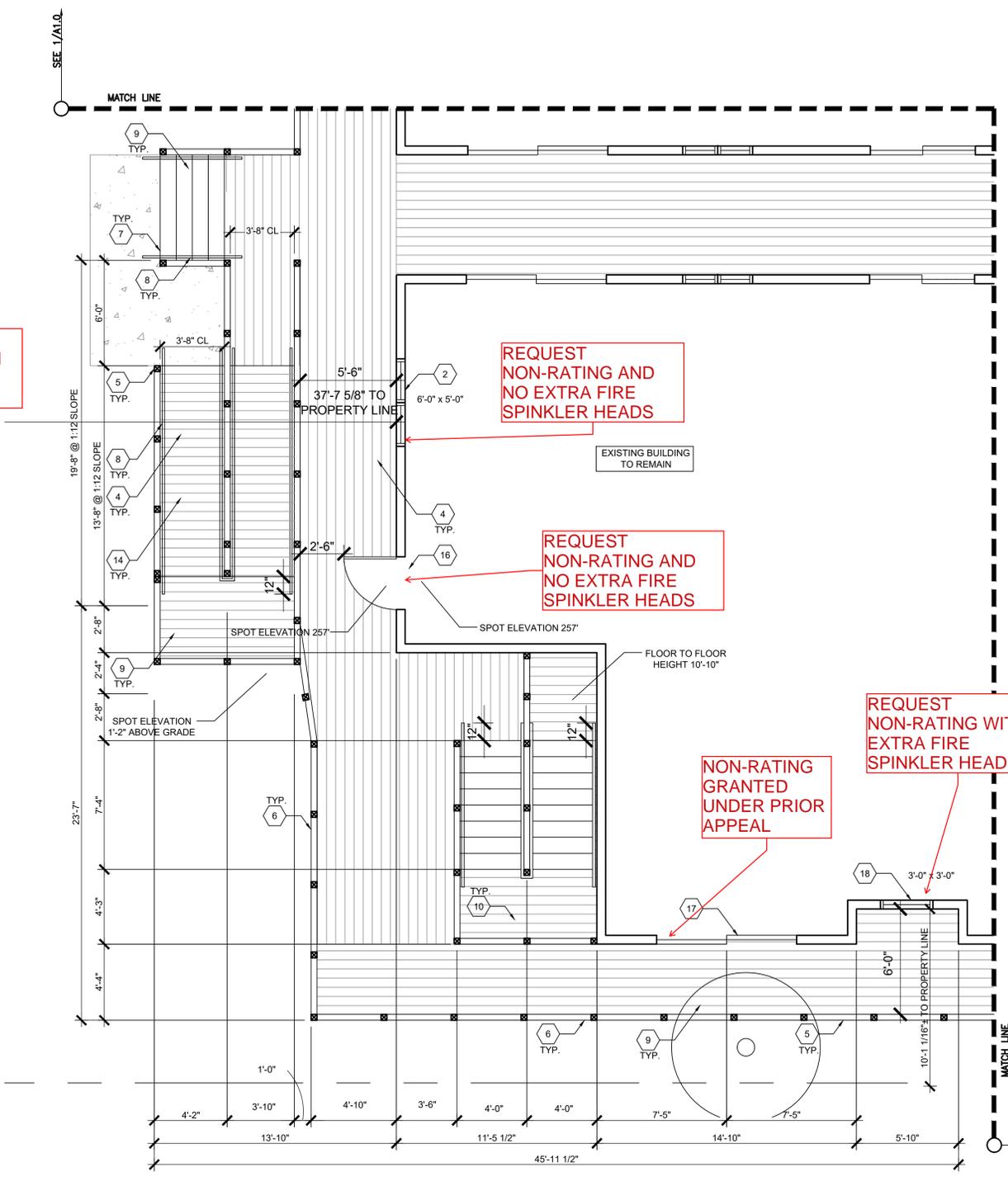
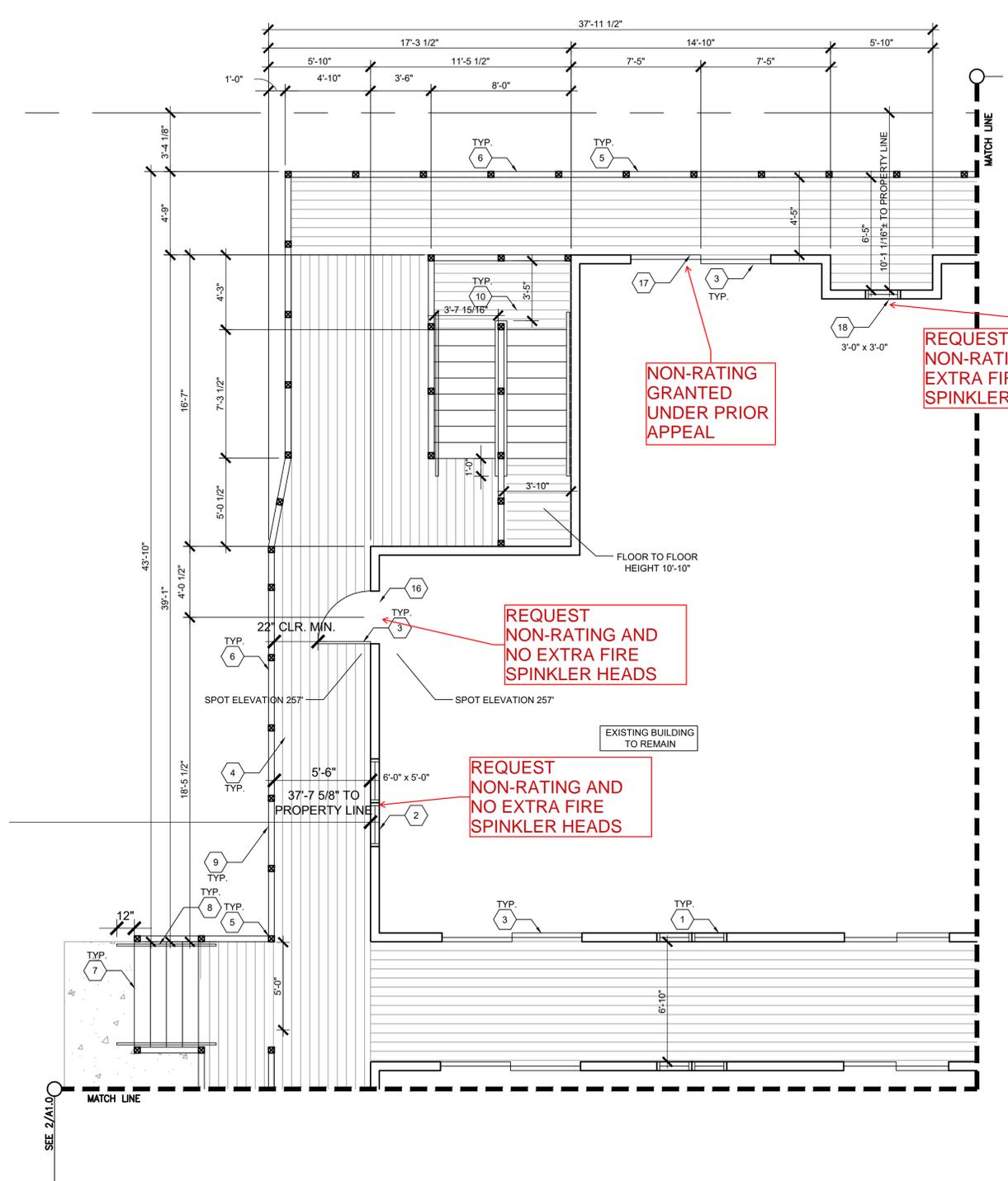
Note: Fire damper protection of mechanical vent openings may be prescriptively used but no dryer vents PTAC units or eave vents may be located within appeal area..

Also note: Decision is for this condition and use only and is based on appeal #8987.

Appellant may contact John Butler (503 865-6427) or e-mail at John.Butler@portlandoregon.gov with questions.

The Administrative Appeal Board finds with the conditions noted, that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 90 calendar days of the date this decision is published. For information on the appeals process, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.



1 ENLARGED PROPOSED DECK PLAN
SCALE: 1/4" = 1'-0"

KEYNOTES

- | | | | |
|---|--|----|--|
| 1 | EXISTING 90 MINUTE RATED EXTERIOR WALL TO REMAIN. | 10 | EXISTING EXTERIOR STAIRS TO REMAIN. |
| 2 | EXISTING NON-RATED WINDOW TO REMAIN. | 11 | NEW 6" CONCRETE SIDEWALK SLOPE 2% MAX. |
| 3 | EXISTING NON-RATED EXTERIOR DOOR TO REMAIN. | 12 | EXISTING STAIRWELL TO REMAIN. |
| 4 | NEW DECK. | 13 | EXISTING TREE TO REMAIN. |
| 5 | NEW GUARDRAIL POSTS AT 4'-0" OC MAX. | 14 | NEW ADA RAMP. SEE DETAIL 1/A3.1 FOR ENLARGED PLAN. |
| 6 | NEW 42" MIN. HIGH GUARDRAIL. | 15 | EXISTING CONCRETE TO REMAIN. |
| 7 | NEW WOOD STAIRS MAX. 7" RISE MIN. 11" RUN. SEE DETAILS 2/A3.1 & 3/A3.1. | 16 | ADA THRESHOLD. SEE DETAIL 1/A1.3 |
| 8 | NEW 1 1/2" DIA. WOOD HANDRAIL AT 3'-0" ON BOTH SIDES ABOVE FINISH FLOOR WITH 12" EXTENSION TOP AND BOTTOM. | 17 | NON-RATED OPENING WITH ADDED SPRINKLER HEAD ABOVE DOOR/WINDOW ON INTERIOR AND EXTERIOR - GRANTED UNDER APPEAL # 8987 |
| 9 | SEE DETAIL 4/A3.1 FOR CONNECTION TO GRADE. | 18 | NON-RATED OPENING WITH ADDED SPRINKLER HEAD ABOVE DOOR/WINDOW ON EXTERIOR |

2 ENLARGED PROPOSED DECK PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

EXISTING EXTERIOR WALL



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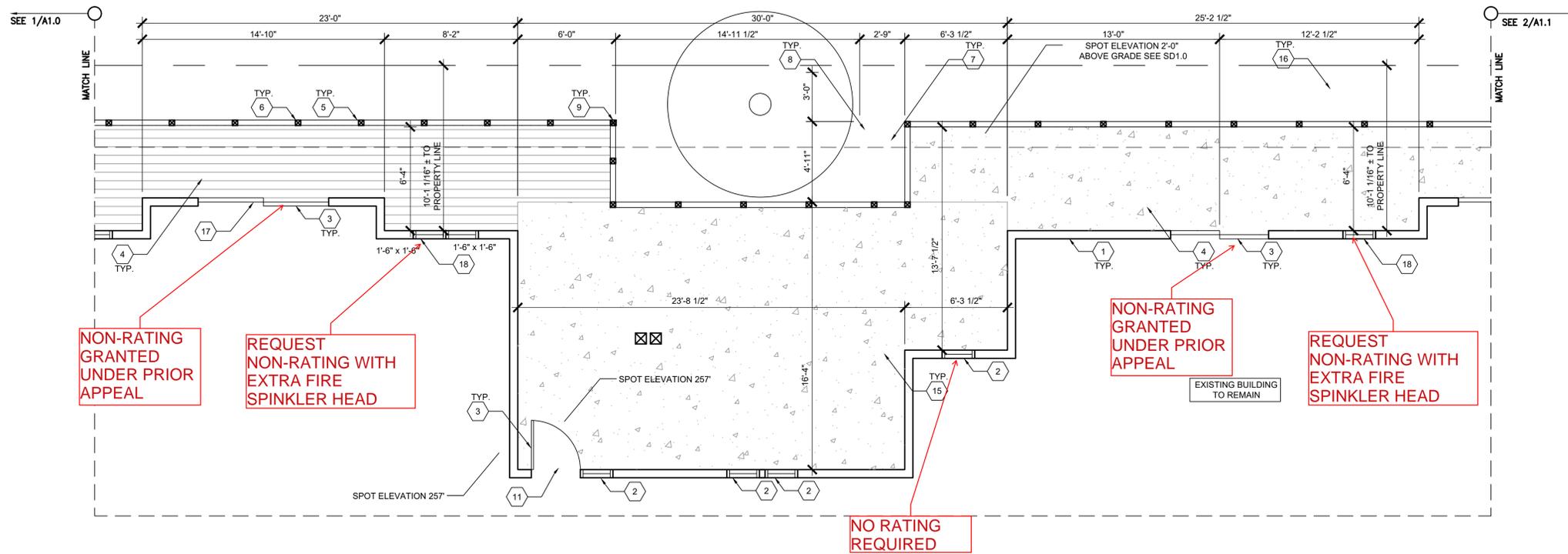
WHITEWOOD
174

2027 SE 174TH AVE.
PORTLAND, OREGON

Proj # 000000

- REVISIONS:**
- ▲ CITY COMMENTS: 7/7/21
 - ▲ CITY COMMENTS: 11/29/21
 - ▲ CITY COMMENTS: 03/28/22

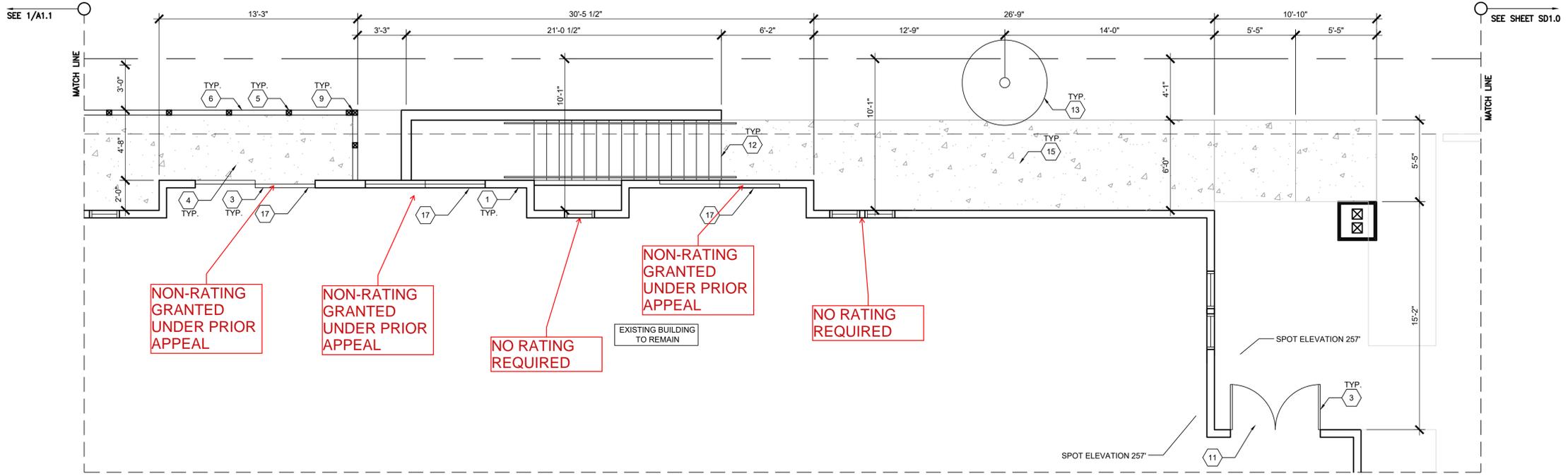
ZONING PERMIT:
December 24th, 2020
SHEET NO.
A1.0
PROPOSED DECK
DETAILS 1



- KEYNOTES**
- 1 EXISTING 90 MINUTE RATED EXTERIOR WALL TO REMAIN.
 - 2 EXISTING NON-RATED WINDOW TO REMAIN.
 - 3 EXISTING NON-RATED EXTERIOR DOOR TO REMAIN.
 - 4 NEW DECK.
 - 5 NEW GUARDRAIL POSTS AT 4'-0" OC MAX.
 - 6 NEW 42" MIN. HIGH GUARDRAIL.
 - 7 NEW WOOD STAIRS MAX. 7" RISE MIN. 11" RUN. SEE DETAILS 2/A3.1 & 3/A3.1.
 - 8 NEW 1 1/2" DIA. WOOD HANDRAIL AT 3'-0" ABOVE FINISH FLOOR WITH 12" EXTENSION TOP AND BOTTOM.
 - 9 SEE DETAIL 4/A3.1 FOR CONNECTION TO GRADE.
 - 10 EXISTING EXTERIOR STAIRS TO REMAIN.
 - 11 ADA THRESHOLD. SEE DETAIL 1/A1.3
 - 12 EXISTING STAIRWELL TO REMAIN.
 - 13 EXISTING TREE TO REMAIN.
 - 14 NEW ADA RAMP. SEE DETAIL 1/A3.1 FOR ENLARGED PLAN.
 - 15 EXISTING CONCRETE TO REMAIN.
 - 16 EXISTING L3 LANDSCAPING TO REMAIN.
 - 17 NON-RATED OPENING ALLOWED WITH ADDED SPRINKLER HEAD ABOVE DOOR/WINDOW ON INTERIOR AND EXTERIOR - GRANTED UNDER APPEAL # 8987
 - 18 NON-RATED OPENING WITH ADDED SPRINKLER HEAD ABOVE WINDOW ON EXTERIOR

1 ENLARGED PROPOSED DECK PLAN
SCALE: 1/4" = 1'-0"

NOTE: FIRE RATING OR NON-COMBUSTIBLE MATERIALS NOT REQUIRED AT NORTH DECK PER OSSC 2019 705.2.3.1 EXCEPTION 3. EXTERIOR AT DECKS PROVIDED WITH SPRINKLER PROTECTION



2 ENLARGED PROPOSED DECK PLAN
SCALE: 1/4" = 1'-0"

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ENLARGED
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PLANS

