

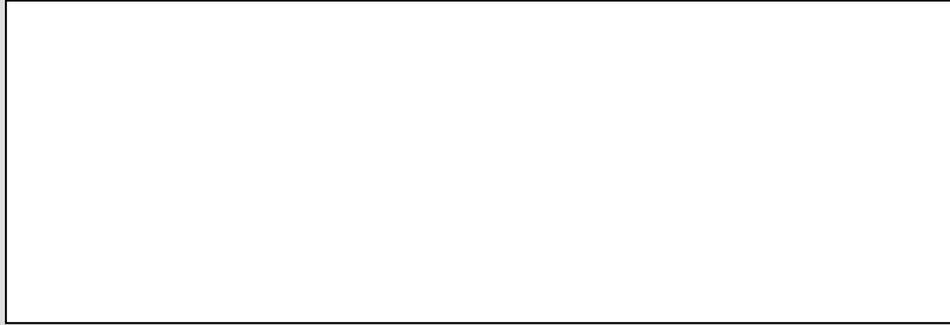


City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Carmen Rubio, Commissioner
Rebecca Esau, Director
Phone: (503) 823-7310
TTY: (503) 823-6868
www.portland.gov/bds

RECORDER

Please stamp the County Recorder's copy of the recording sheet and return with the attached decision to City of Portland, BDS 299/5000/BDS LUR



**FINAL FINDINGS AND DECISION BY THE HISTORIC
LANDMARKS COMMISSION RENDERED ON February
27, 2023**

**CASE FILE NUMBER: LU 22-213205 HR
PC # 21-108718**

Duniway School

BUREAU OF DEVELOPMENT SERVICES STAFF: Hillary Adam 503-823-8953 /
Hillary.Adam@portlandoregon.gov

The Historic Landmarks Commission has **approved** a proposal in your neighborhood. This document is only a summary of the decision. The reasons for the decision, including the written response to the approval criteria and to public comments received on this application, are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

GENERAL INFORMATION

Applicant: Steve Simonson, ssimonson@pps.net, 503-916-3199
Portland Public Schools
501 N Dixon St
Portland, OR 97227

Owner: School District No 1
PO Box 3107
Portland, OR 97208-3107

Design Consultant: Todd Kimball, todd.kimball@ibigroup.com, 503-827-4422*105
IBI Group
907 SE Harvey Milk
Portland, OR 97205

Historic Resource Consultant: Matthew Davis, mdavis@argcreate.com, 971-256-5320
Architectural Resources Group
720 SW Washington St., Ste 605
Portland, OR 97205

Site Address: 7700 SE REED COLLEGE PL

Legal Description: INC ALL VAC E 34TH ST W OF & ADJ BLOCK 61 BLOCK 62,
EASTMORELAND

Tax Account No.: R231513710
State ID No.: 1S1E24DB 02900
Quarter Section: 3734 & 3834

Neighborhood: Eastmoreland, contact Karissa Dean at karissa@abcoached.com
Business District: NONE
District Coalition: Southeast Uplift, contact Matchu Williams at matchu@seuplift.org

Plan District: Eastmoreland
Other Designations: Historic Landmark, locally listed

Zoning: R5 – Residential 5,000 with Historic Resource overlay

Case Type: HR – Historic Resource Review
Procedure: Type III, with a public hearing before the Historic Landmarks Commission. The decision of the Historic Landmarks Commission can be appealed to City Council.

Proposal:

The applicant proposes exterior alterations to the historic landmark to include the following:

- Replacement of original clay tile roof shingles with new clay tile roof shingles;
- Replacement of original cast stone balustrade with new matching balustrade constructed of glass fiber-reinforced concrete (GFRC);
- Replacement of metal caps, copper ridge hips with same;
- Relocation of existing copper conductor heads to higher location, with new copper downspout extensions and removal of sections of cast stone cornice to allow for conductor head relocation with cornice endcaps constructed of GFRC to match;
- Installation of new copper ladder chutes and new steel ladders at the roof;
- Construction of a metal enclosure for trash receptacles at the northeast paved area;
- Reconfiguration of a ramp at the northeast corner; and
- Replacement of existing security fence with a new no-climb fence at interior courtyard.

Also proposed but not subject to review is reconstruction of portions of the brick and cast stone parapet using existing materials.

Note: The property is also a contributing resource in the Eastmoreland National Register District; however, the property is subject to Historic Resource Review because of its listing as a Historic Landmark.

Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The applicable approval criteria are:

- 33.846.060.G Other historic approval criteria

The Portland Zoning Code is available online at <https://www.portland.gov/code/33>.

CONCLUSIONS

The purpose of the Historic Resource Review process is to ensure that additions, new construction, and exterior alterations to historic resources do not compromise their ability to convey historic significance. The proposed alterations are intended to rehabilitate deteriorated elements of the building with an aim to preserve the historic building as a whole. This proposal meets the applicable Historic Resource Review criteria and therefore warrants approval.

HISTORIC LANDMARKS COMMISSION DECISION

It is the decision of the Historic Landmarks Commission to approve Historic Resource Review for exterior alterations to the historic landmark to include the following:

- Replacement of original clay tile roof shingles with new clay tile roof shingles;
- Replacement of original cast stone balustrade with new matching balustrade constructed of glass fiber-reinforced concrete (GFRC);
- Replacement of metal caps, copper ridge hips with same;
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- Installation of new copper ladder chutes and new steel ladders at the roof;
- Construction of a metal enclosure for trash receptacles at the northeast paved area;
- Reconfiguration of a ramp at the northeast corner; and
- Replacement of existing security fence with a new no-climb fence at interior courtyard.

Approvals per Exhibits C-1 through C-35, signed, stamped, and dated February 27, 2023, subject to the following conditions:

- A.** As part of the building permit application submittal, the following development-related conditions (B – D) must be noted on each of the 4 required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled “ZONING COMPLIANCE PAGE- Case File LU 22-213205 HR. All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled “REQUIRED.”
- B.** At the time of building permit submittal, a signed Certificate of Compliance form (<https://www.portlandoregon.gov/bds/article/623658>) must be submitted to ensure the permit plans comply with the Design/Historic Resource Review decision and approved exhibits.
- C.** No field changes allowed.

- D. The design team has the discretion to determine the appropriate color of the replacement ladders.

=====

By:  _____
Andrew Smith, Historic Landmarks Commission Chair

Application Filed: December 20, 2023 Decision Rendered: February 27, 2023
Decision Filed: February 28, 2023 Decision Mailed: March 3, 2023
Last date to Appeal: March 17, 2023 by 4:30 pm
Effective Date (if no appeal): March 20, 2023 Decision may be recorded on this date

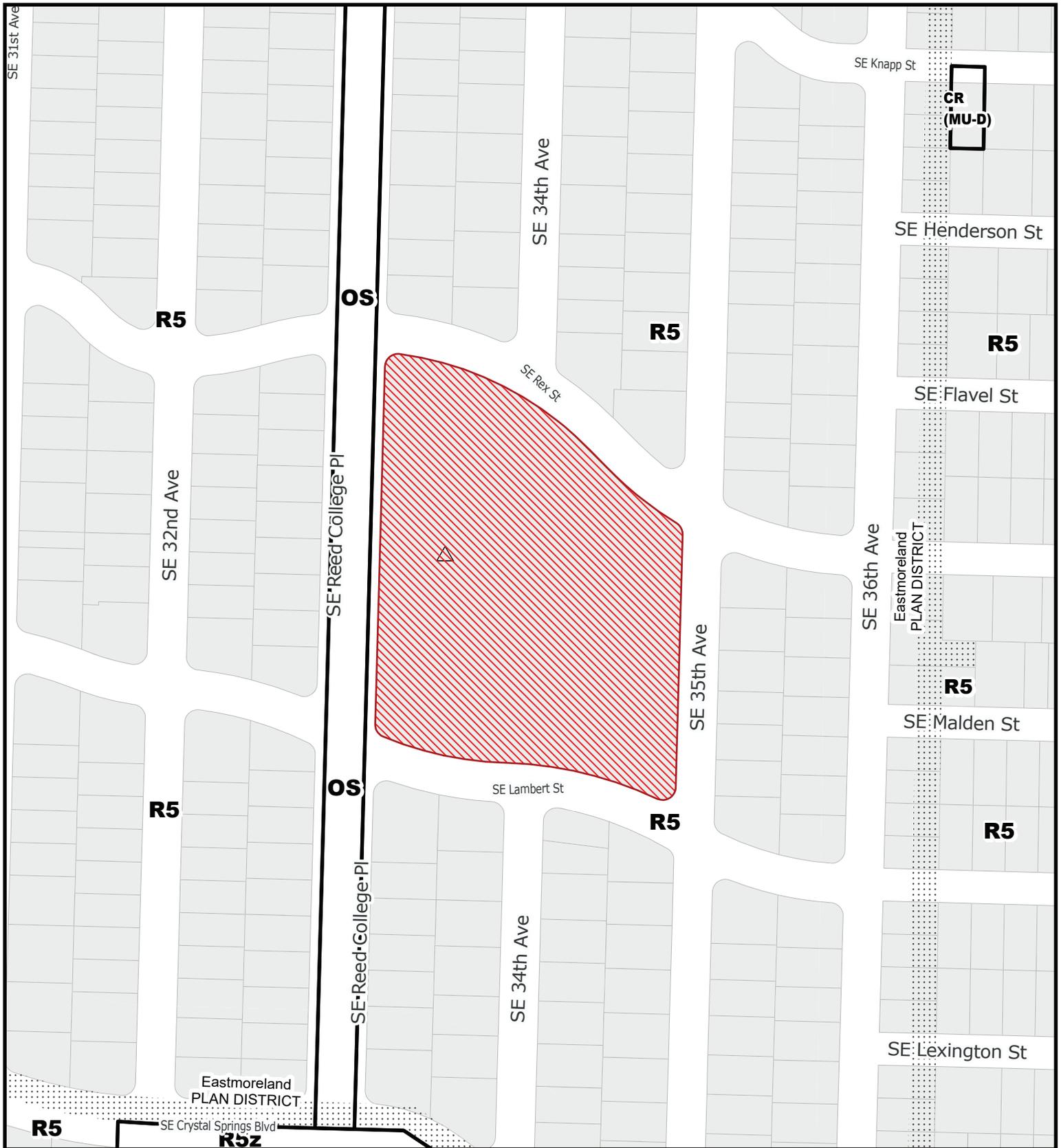
Kimberly Tallant, Principal Planner

City of Portland
Bureau of Development Services
1900 SW Fourth Ave, #5000
Portland, OR 97201

Date: March 20, 2023



Representative



For Zoning Code in Effect Post October 1, 2022

ZONING

THIS SITE LIES WITHIN THE:
EASTMORELAND PLAN DISTRICT

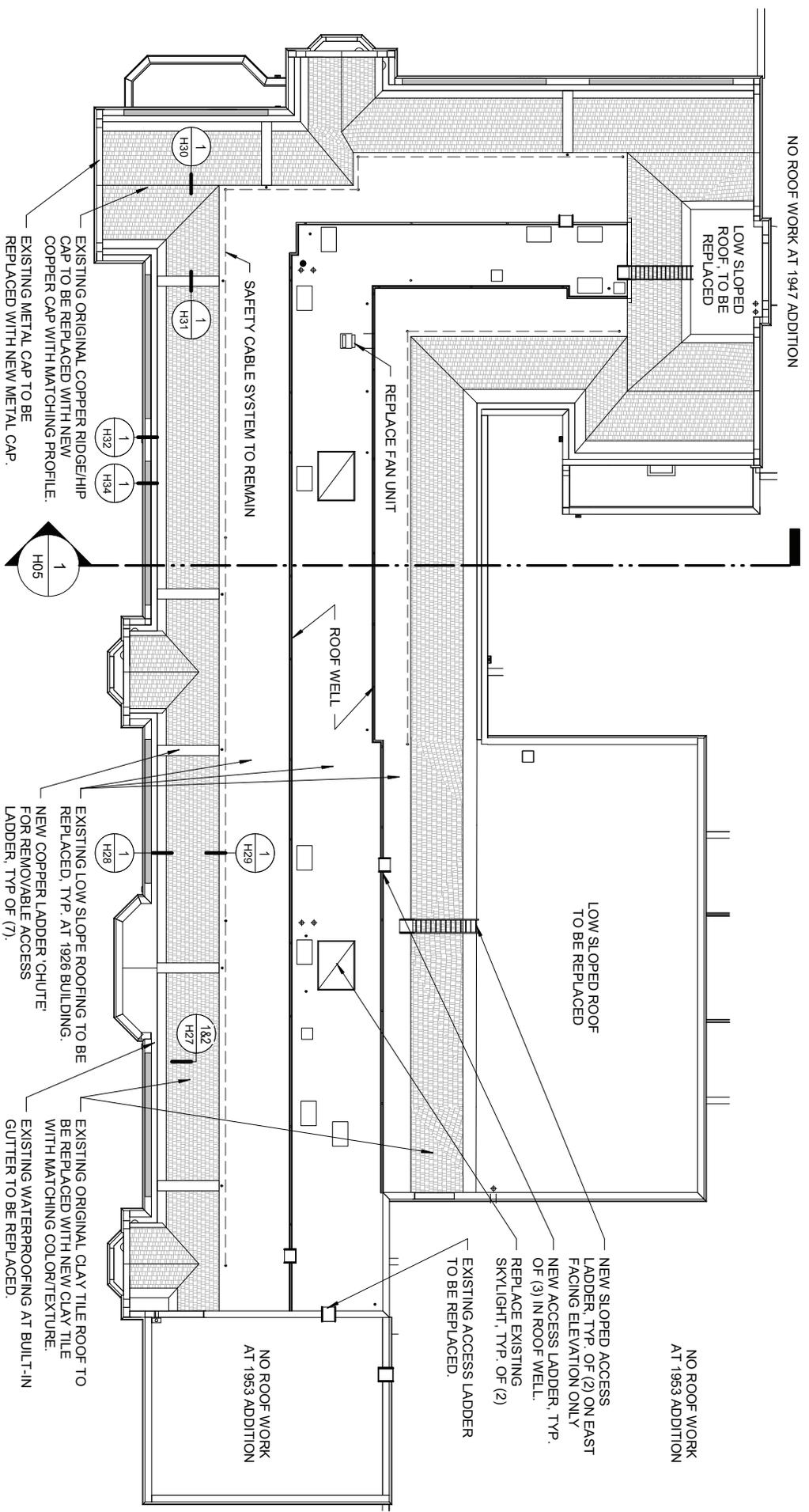
-  Site
-  Plan District
-  Historic Landmark

File No.	<u>LU 22 - 213205 HR</u>
1/4 Section	<u>3734,3834</u>
Scale	<u>1 inch = 200 feet</u>
State ID	<u>1S1E24DB 2900</u>
Exhibit	<u>B</u> <u>Dec 21, 2022</u>

1

ROOF PLAN - 1926 BUILDING

Scale: 1/16" = 1'-0"



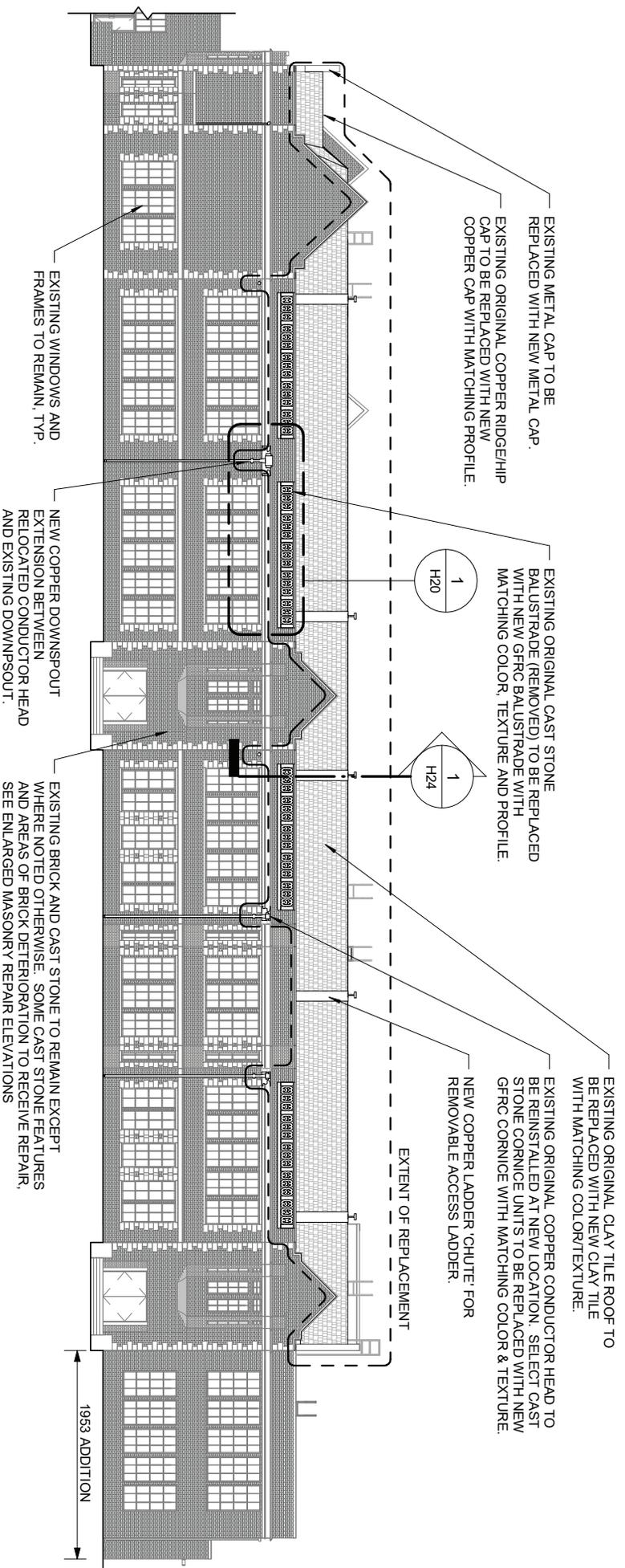
Dunway Elementary School Improvements Phase 2
LAND USE REVIEW SUBMITTAL
DECEMBER 2022

ROOF PLAN



H04

LU 22-213205 HR C-004



1 WEST ELEVATION - 1926 BUILDING
 Scale: 1/16" = 1'-0"



Dunway Elementary School Improvements Phase 2
 LAND USE REVIEW SUBMITTAL
 JANUARY 2023

1926 BUILDING ELEVATION

H07

LU 22-213205 HR C-007



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Carmen Rubio, Commissioner
Rebecca Esau, Director
Phone: (503) 823-7310
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**CASE FILE NUMBER: LU 22-213205 HR
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BUREAU OF DEVELOPMENT SERVICES STAFF: Hillary Adam 503-823-8953 /
Hillary.Adam@portlandoregon.gov

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GENERAL INFORMATION

Applicant: Steve Simonson, ssimonson@pps.net, 503-916-3199
Portland Public Schools
501 N Dixon St
Portland, OR 97227

Owner: School District No 1
PO Box 3107
Portland, OR 97208-3107

Design Consultant: Todd Kimball, todd.kimball@ibigroup.com, 503-827-4422*105
IBI Group
907 SE Harvey Milk
Portland, OR 97205

Historic Resource Consultant: Matthew Davis, mdavis@argcreate.com, 971-256-5320
Architectural Resources Group
720 SW Washington St., Ste 605
Portland, OR 97205

Site Address: 7700 SE REED COLLEGE PL

Legal Description: INC ALL VAC E 34TH ST W OF & ADJ BLOCK 61 BLOCK 62,
EASTMORELAND

Tax Account No.: R231513710
State ID No.: 1S1E24DB 02900

Quarter Section: 3734 & 3834

Neighborhood: Eastmoreland, contact Karissa Dean at karissa@abcoached.com

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District Coalition: Southeast Uplift, contact Matchu Williams at matchu@seuplift.org

Plan District: Eastmoreland

Other Designations: Historic Landmark, locally listed

Zoning: R5 – Residential 5,000 with Historic Resource overlay

Case Type: HR – Historic Resource Review

Procedure: Type III, with a public hearing before the Historic Landmarks Commission. The decision of the Historic Landmarks Commission can be appealed to City Council.

Proposal:

The applicant proposes exterior alterations to the historic landmark to include the following:

- Replacement of original clay tile roof shingles with new clay tile roof shingles;
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Also proposed but not subject to review is reconstruction of portions of the brick and cast stone parapet using existing materials.

Note: The property is also a contributing resource in the Eastmoreland National Register District; however, the property is subject to Historic Resource Review because of its listing as a Historic Landmark.

Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The applicable approval criteria are:

- 33.846.060.G Other historic approval criteria

The Portland Zoning Code is available online at <https://www.portland.gov/code/33>.

ANALYSIS

Site and Vicinity: The Duniway Elementary School in the Eastmoreland neighborhood occupies a full 5.63 acre block bound by SE Reed College Place to the west, SE Lambert Street to the south, SE 35th Avenue to the east, and SE Rex Street to the north. The school is oriented west and features a treed lawn to the west, recreation fields to the south, paved recreation areas to the east and other paved areas to the north. The original building was constructed in 1926 in the Collegiate Gothic style, using brick and cast stone with later additions constructed in 1948 and 1953. The school was designed by Portland-born George Jones when he was the Superintendent of Portland Public Schools (PPS). During his tenure at PPS, Jones designed

about 25 new schools for the district. The building is noted as eligible for listing in the National Register of Historic Places under Criteria A and C.

The surrounding neighborhood is residential with most homes around the same vintage as the school. The Eastmoreland neighborhood was recently added to the National Register of Historic Places, having been determined to meet Criteria A and C.

Zoning: The Residential 5,000 (R5) single-dwelling zone is intended to preserve land for housing and to provide housing opportunities for individual households. The zone implements the comprehensive plan policies and designations for single-dwelling housing. Minimum lot size is 3,000 square feet, with minimum width and depth dimensions of 36 and 50 feet, respectively. Minimum densities are based on lot size and street configuration. Maximum densities are 1 lot per 5,000 square feet of site area.

The regulations of the Laurelhurst/Eastmoreland plan district enforce the special setback requirements of Ordinances 70343 and 70341. This plan district maintains the established character of the Laurelhurst and Eastmoreland areas, characterized by homes with larger than normal building setbacks from the street.

The historic resource overlay zone protects historic resources that have been identified as significant to the history of the city and region. The regulations implement Portland's Comprehensive Plan policies that address historic preservation. These policies recognize the role historic resources have in promoting education and enjoyment for those living in and visiting the region. The regulations foster awareness, memory, and pride among the region's current and future residents in their city and its diverse architecture, culture, and history. Historic preservation recognizes social and cultural history, retains significant architecture, promotes economic and environmental health, and stewards important resources for the use, education, and enjoyment of future generations.

Land Use History: City records indicate there are no prior land use reviews for this site.

Agency Review: A "Notice of proposal in Your Neighborhood" was mailed February 6, 2023. The following bureaus have responded with no concerns:

- Fire Bureau (Exhibit E-1)
- Life Safety Division of BDS (Exhibit E-2)
- Bureau of Transportation Engineering (Exhibit E-3)
- Bureau of Parks-Forestry Division (Exhibit E-4)
- Site Development Section of BDS (Exhibit E-5)
- Bureau of Environmental Services (Exhibit E-6)
- Water Bureau (Exhibit E-6)

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on February 6, 2023.

One written response has been received from either the Neighborhood Association or notified property owners in response to the proposal.

- Rod Merrick, representing the Eastmoreland Neighborhood Association Livability and Land Use Co-Chair, on February 27, 2023, wrote in support of the proposal commending Portland Public Schools for their efforts to maintain the character and historic integrity of the building.

ZONING CODE APPROVAL CRITERIA

Chapter 33.846.060 - Historic Resource Review

Purpose of Historic Resource Review

Historic Resource Review ensures the conservation and enhancement of the special characteristics of historic resources.

Historic Resource Review Approval Criteria

Requests for Historic Resource Review will be approved if the review body finds the applicant has shown that all of the approval criteria have been met.

Findings: The site is a designated Historic Landmark outside the Central City Plan District and not within in a Historic or Conservation District, and the proposal is for non-exempt treatments. Therefore, the proposal requires Historic Resource Review approval. The approval criteria are those listed in *33.846.060 G – Other Historic Approval Criteria*.

Staff has considered all of the approval criteria and addressed only those applicable to this proposal.

33.846.060 G - Other Historic Approval Criteria

1. Historic character. The historic character of the landmark or contributing resource will be retained and preserved. Removal of historic materials or alteration of features and spaces that contribute to the historic significance of the landmark or contributing resource will be avoided.

Findings: The proposed work includes replacement of some elements that have begun to fail after serving their purpose for nearly 100 years, including the red roof tiles, metal ridge and hip caps, and the stone balustrade along the parapet. Notably, the parapets were already removed pre-emptively as a precautionary measure due to their deterioration. The cast stone balustrade is intended to be recreated out of glass fiber-reinforced concrete to match the historic balustrade. The replacement ridge and hip caps are to be fashioned of 20 gauge copper, also to match the existing. Likewise, the clay tile roof is deteriorating with many tiles missing and/or broken, and the new roof tiles are designed to match the historic as they appear to the viewer, though their actual size and manner of installation will differ from the original.

Other changes include the relocation of scuppers and extension of downspouts which will result in the removal of some cornice details; these cut cornice ends will be finished with GFRC units shaped to be in keeping with the historic character while the proposed changes will ensure better maintenance of the historic building. Likewise, other alterations like the addition of ladders and ladder chutes are modest in their visual impact and intended to help better maintain the building. The changes will help preserve the historic character of the building. *Therefore, this criterion is met.*

2. Record of its time. The landmark or contributing resource will remain a physical record of its time, place, and use. Changes that create a false sense of historic development, such as adding conjectural features or architectural elements from other buildings will be avoided.

3. Historic changes. Most resources change over time. Those changes that have acquired historic significance will be preserved.

Findings: The existing building has changed over time with additions added to the original 1926 building in 1948 and 1953. With consideration of the later additions, the school was found to maintain a high level of integrity on the Site Information form on the Oregon Historic Sites Database. Alterations proposed to the additions include reconfiguration of a concrete ramp at the northeast corner of the building and

replacement of a security gate at the easternmost end of the central courtyard. No conjectural features are proposed as the majority of the work is related to maintenance and addressing failing building elements. The resource will remain a record of its time. *Therefore, these criteria are met.*

4. Historic features. Generally, deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement, the new feature will match the historic feature in design, color, texture, and other visual qualities and, where practical, in materials. Replacement of missing features must be substantiated by documentary, physical, or pictorial evidence.

Findings: As is noted above, replacement of building elements including the balustraded parapet sections, roof tiles, and ridge and hip caps is proposed due to failing conditions in these materials. The proposed replacement materials, to a large degree, match the historic materials with regard to their design, material makeup, and visual characteristics. The cast stone balustrade, which was cracking and spalling thus compromising its structural integrity, will be replaced with a glass fiber-reinforced concrete balustrade, and the clay roof tiles roof will be replaced with new clay roofing tiles that will visually match the existing. The existing copper ridge and hip caps will be replaced with new copper ridge and hip caps, shaped to match the existing. *Therefore, this criterion is met.*

5. Historic materials. Historic materials will be protected. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials will not be used.

Findings: No chemical treatments or sandblasting is proposed. *This criterion is not applicable.*

6. Archaeological resources. Significant archaeological resources affected by a proposal will be protected and preserved to the extent practical. When such resources are disturbed, mitigation measures will be undertaken.

Findings: No excavation is proposed on this previously disturbed site. *This criterion is not applicable.*

7. Differentiate new from old. New additions, exterior alterations, or related new construction will not destroy historic materials that characterize a landmark or contributing resource. New work may be differentiated from the old if the differentiation does not diminish the character, features, materials, form, or integrity of the landmark or contributing resource and, if in a Historic District, the district as a whole.

Findings: The proposed changes are intended to address failing elements of this historic building; thus, they will not destroy materials that characterize the landmark, but seek to preserve the landmark's structural and visual integrity. The new replacement materials – GFRC balustrades, clay tiles, and copper ridge and hip caps, are constructed of the essentially the same materials as the original, though the masonry elements may be compositionally different at the microscopic level. The clay tiles will also differ from the original in their size, but the visual integrity will remain the same. The new security fence will be distinctly contemporary, however, it is located a couple hundred feet into the site and tucked between two portions of the rear of the building as is therefore relatively hidden from view. Likewise, the trash enclosure is distinctly modern, but designed to be relatively nondescript and utilitarian in its purpose to screen dumpsters.

While this landmark building is located within a National Register District, Eastmoreland is not considered a Historic District as defined in Title 33 and referenced in this criterion. Therefore, alterations to the building, relevant to their impact on the National Register District, are not relevant to this review. However, as they relate to the Landmark itself, the proposed changes are differentiated as well as in keeping with the historic character of the landmark. *Therefore, this criterion is met.*

8. Architectural compatibility. New additions, exterior alterations, or new construction will be compatible with the massing, size, scale, and architectural features of the landmark or contributing resource and, if in a district, the district as a whole. When retrofitting to improve accessibility for persons with disabilities or accommodate seismic improvements, design solutions will not compromise the architectural integrity of the landmark or contributing resource.

Findings: The proposed alterations to the 1926 portion of the building are compatible with the architectural features of the historic building. The proposed security fence at the rear of the building is comparable to the existing and appropriately scaled for its location. The proposed reconfiguration of the ramp at the northeast corner will not compromise the architectural integrity of the landmark as this is a modest change at the rear of the building, and the existing ramp is not inherently significant. During the hearing on February 27, 2023, the Commission added a condition of approval granting the design team greater flexibility with the color of the ladders so that they might blend into the environment a bit more than the proposed terra cotta color. The Commission expressed no preference for any color but wanted to allow such flexibility based on field testing to determine the appropriate color.

Therefore, with the condition that the design team has the discretion to determine the appropriate color of the replacement ladders, this criterion is met.

9. Preserve the form and integrity of historic resources. New additions, exterior alterations, or new construction will be undertaken in such a manner that if removed in the future, the essential form and integrity of the landmark or contributing resource and, if in a district, the district as a whole would be unimpaired.

Findings: The primary aspects of the proposed alterations replace failing elements on the historic building and, thus, are integral to preserving the form and integrity of the landmark. The relocated scuppers and alterations to the cornice in these locations could be reverted to the original location and the essential form and integrity of the building would be preserved, though this change is intended to address a failure in the original design which has compromised the integrity of the building. The proposed ramp reconfiguration at the northeast corner is external to the main form of the building and could be removed without compromising the integrity of the building. *Therefore, this criterion is met.*

10. Hierarchy of compatibility. New additions, exterior alterations, or new construction will be designed to be compatible primarily with the landmark or contributing resource and, if located within a district, secondarily with contributing resources within 200 feet and, finally, with the rest of the district. Where practical, compatibility in districts will be pursued on all three levels.

Findings: As is noted above, the landmark is located within the Eastmoreland National Register District. The proposed alterations aim to maintain the visual integrity and historic character of the landmark, thus ensuring its compatibility within the greater neighboring context of the surrounding district. The proposed trash enclosure will help organize this area, thus presenting a cleaner and more orderly appearance for the

school's neighbors. While the metal material used for the enclosure is not a primary material used on the site or in the surrounding district, this material will be longer lasting than a wood enclosure, and the dark color will help it to visually recede in the landscape. Overall, the proposed alterations are minimal, visually pleasing, and architecturally compatible with the landmark and surrounding resources. *Therefore, this criterion is met.*

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

The purpose of the Historic Resource Review process is to ensure that additions, new construction, and exterior alterations to historic resources do not compromise their ability to convey historic significance. The proposed alterations are intended to rehabilitate deteriorated elements of the building with an aim to preserve the historic building as a whole. This proposal meets the applicable Historic Resource Review criteria and therefore warrants approval.

HISTORIC LANDMARKS COMMISSION DECISION

It is the decision of the Historic Landmarks Commission to approve Historic Resource Review for exterior alterations to the historic landmark to include the following:

- Replacement of original clay tile roof shingles with new clay tile roof shingles;
- Replacement of original cast stone balustrade with new matching balustrade constructed of glass fiber-reinforced concrete (GFRC);
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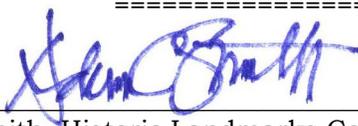
Approvals per Exhibits C-1 through C-35, signed, stamped, and dated February 27, 2023, subject to the following conditions:

- A.** As part of the building permit application submittal, the following development-related conditions (B – D) must be noted on each of the 4 required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled “ZONING COMPLIANCE PAGE- Case File LU 22-213205 HR. All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled “REQUIRED.”
- B.** At the time of building permit submittal, a signed Certificate of Compliance form (<https://www.portlandoregon.gov/bds/article/623658>) must be submitted to ensure the

permit plans comply with the Design/Historic Resource Review decision and approved exhibits.

C. No field changes allowed.

D. The design team has the discretion to determine the appropriate color of the replacement ladders.

=====
By: 
Andrew Smith, Historic Landmarks Commission Chair

Application Filed: December 20, 2023
Decision Filed: February 28, 2023

Decision Rendered: February 27, 2023
Decision Mailed: March 3, 2023

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on December 20, 2022, and was determined to be complete on January 13, 2023.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore, this application was reviewed against the Zoning Code in effect on December 20, 2022.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period. The **120 days expire on: May 13, 2023.**

Some of the information contained in this report was provided by the applicant. As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. This report is the final decision of the Historic Landmarks Commission with input from other City and public agencies.

Conditions of Approval. This approval may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appeal of this decision. This decision is final unless appealed to City Council, who will hold a public hearing. Appeals must be filed by 4:30 pm on March 17, 2023. The appeal application

form can be accessed at <https://www.portlandoregon.gov/bds/45477>. The completed appeal application form must be e-mailed to BDSLUSTeamTech@portlandoregon.gov and to the planner listed on the first page of this decision. If you do not have access to e-mail, please telephone the planner listed on the front page of this notice about submitting the appeal application.

If you are interested in viewing information in the file, please contact the planner listed on the front of this decision. The planner can provide some information over the phone. Please note only digital copies of material in the file are available for viewing. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at <https://www.portlandoregon.gov/citycode/28197>.

If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of City Council is final; any further appeal is to the Oregon Land Use Board of Appeals (LUBA).

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to City Council on that issue. Also, if you do not raise an issue with enough specificity to give City Council an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Who can appeal: You may appeal the decision only if you have written a letter which was received before the close of the record at the hearing or if you testified at the hearing, or if you are the property owner or applicant. Appeals must be filed within 14 days of the decision. **An appeal fee will be charged up to a maximum of \$5,789.00.**

Neighborhood associations may qualify for a waiver of the appeal fee. Additional information on how to file and the deadline for filing an appeal will be included with the decision. Assistance in filing the appeal and information on fee waivers are available from the Bureau of Development Services website: <https://www.portlandoregon.gov/bds/article/411635>. Fee waivers for neighborhood associations require a vote of the authorized body of your association. Please see appeal form for additional information.

Recording the final decision.

If this Land Use Review is approved the final decision will be recorded with the Multnomah County Recorder.

- *Unless appealed*, the final decision will be recorded by the Bureau of Development Services.

The applicant, builder, or a representative does not need to record the final decision with the Multnomah County Recorder.

For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Zone Change and Comprehensive Plan Map Amendment approvals do not expire.

Applying for your permits. A building permit, occupancy permit, or development permit must be obtained before carrying out this project. At the time they apply for a permit, permittees must demonstrate compliance with:

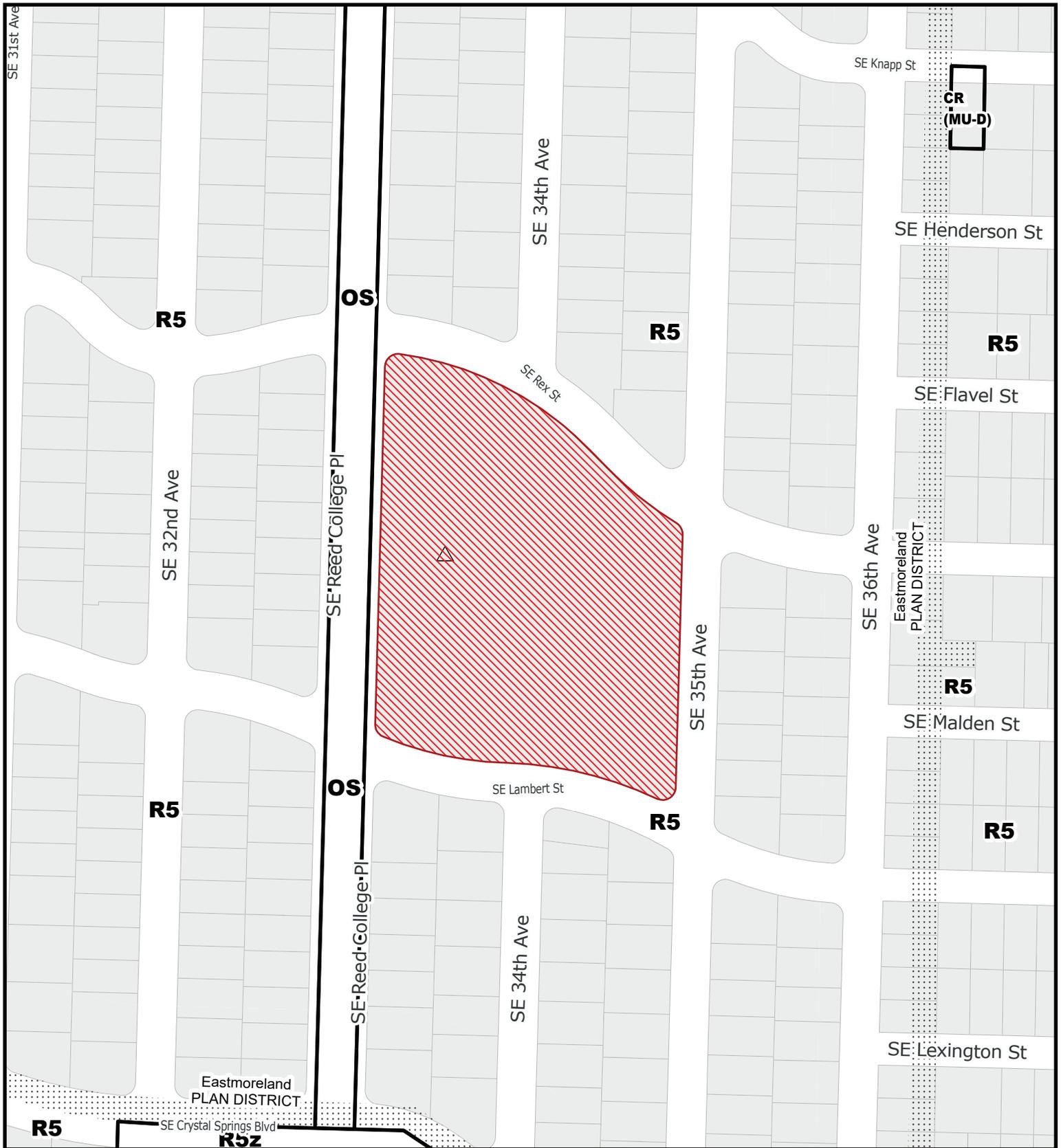
- All conditions imposed here.
- All applicable development standards, unless specifically exempted as part of this land use review.
- All requirements of the building code.
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).

EXHIBITS – NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
 - 1. Narrative
 - 2. Site Plan
 - 3. Original Drawing Packet
 - 4. Completeness Response, date January 13, 2023
 - 5. Revised Drawing Set
- B. Zoning Map (attached)
- C. Plan & Drawings
 - 1. Site Plan (attached)
 - 2. Enlarged Site Plan – Loading and Trash Enclosure
 - 3. Overall Plan with Building Construction Dates
 - 4. Roof Plan (attached)
 - 5. Building Section
 - 6. Full Building Elevations
 - 7. 1926 Building Elevation (attached)
 - 8. 1926 Building Elevation
 - 9. 1926 Building Elevation
 - 10. 1926 Building Elevation
 - 11. Masonry Repair Elevation and Legend
 - 12. Masonry Repair Elevation
 - 13. Masonry Repair Elevation
 - 14. Masonry Repair Elevations
 - 15. Masonry Repair Elevations
 - 16. Masonry Repair Elevation
 - 17. Masonry Repair Elevation
 - 18. Masonry Repair Elevation
 - 19. Masonry Repair Elevation
 - 20. Details
 - 21. Details
 - 22. Details
 - 23. Details
 - 24. Details
 - 25. Details
 - 26. Details
 - 27. Roof Details
 - 28. Roof Detail
 - 29. Roof Detail

30. Roof Detail
31. Roof Detail
32. Roof Details
33. Roof Detail
34. Roof Detail
35. Trash Enclosure
- D. Notification information:
 1. Posting letter sent to applicant
 2. Notice to be posted
 3. Applicant's statement certifying posting
 4. Mailed notice
 5. Mailing list
- E. Agency Responses:
 1. Fire Bureau
 2. Life Safety Division of BDS
 3. Portland Bureau of Transportation Engineering
 4. Urban Forestry Division of Portland Parks and Recreation
 5. Site Development Section of BDS
 6. Bureau of Environmental Services and Portland Water Bureau
- F. Letters:
 1. Rodd Merrick, Eastmoreland Neighborhood Association Livability and Land Use Co-Chair, wrote on February 27, 2023, in support.
- G. Other
 1. Original LUR Application
 2. Incomplete Letter, dated January 10, 2023
 3. Staff Report, dated February 17, 2023
 4. Staff Memo, dated February 17, 2023
 5. Approval Criteria Matrix, dated February 27, 2023
 6. Revised Staff Report, dated February 27, 2023
- H.
 1. Staff Presentation, dated February 27, 2023
 2. Applicant Presentation, presented February 27, 2023



For Zoning Code in Effect Post October 1, 2022

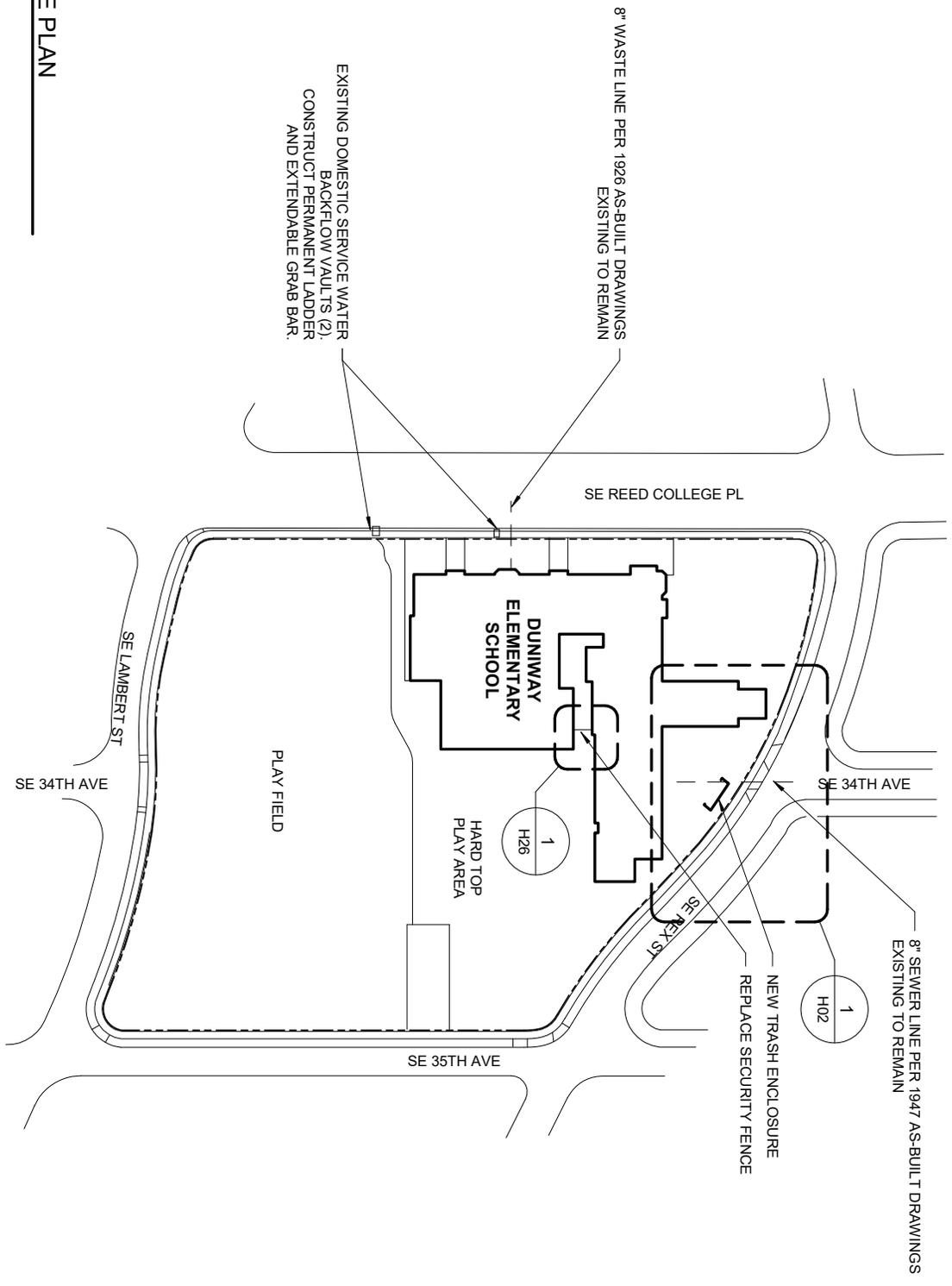
ZONING

THIS SITE LIES WITHIN THE:
EASTMORELAND PLAN DISTRICT

-  Site
-  Plan District
-  Historic Landmark

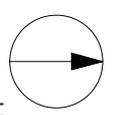
File No.	<u>LU 22 - 213205 HR</u>
1/4 Section	<u>3734,3834</u>
Scale	<u>1 inch = 200 feet</u>
State ID	<u>1S1E24DB 2900</u>
Exhibit	<u>B</u> <u>Dec 21, 2022</u>

1 OVERALL SITE PLAN
 Scale: 1" = 100'-0"



IBI
 Dunway Elementary School Improvements Phase 2
 LAND USE REVIEW SUBMITTAL
 JANUARY 2023

SITE PLAN

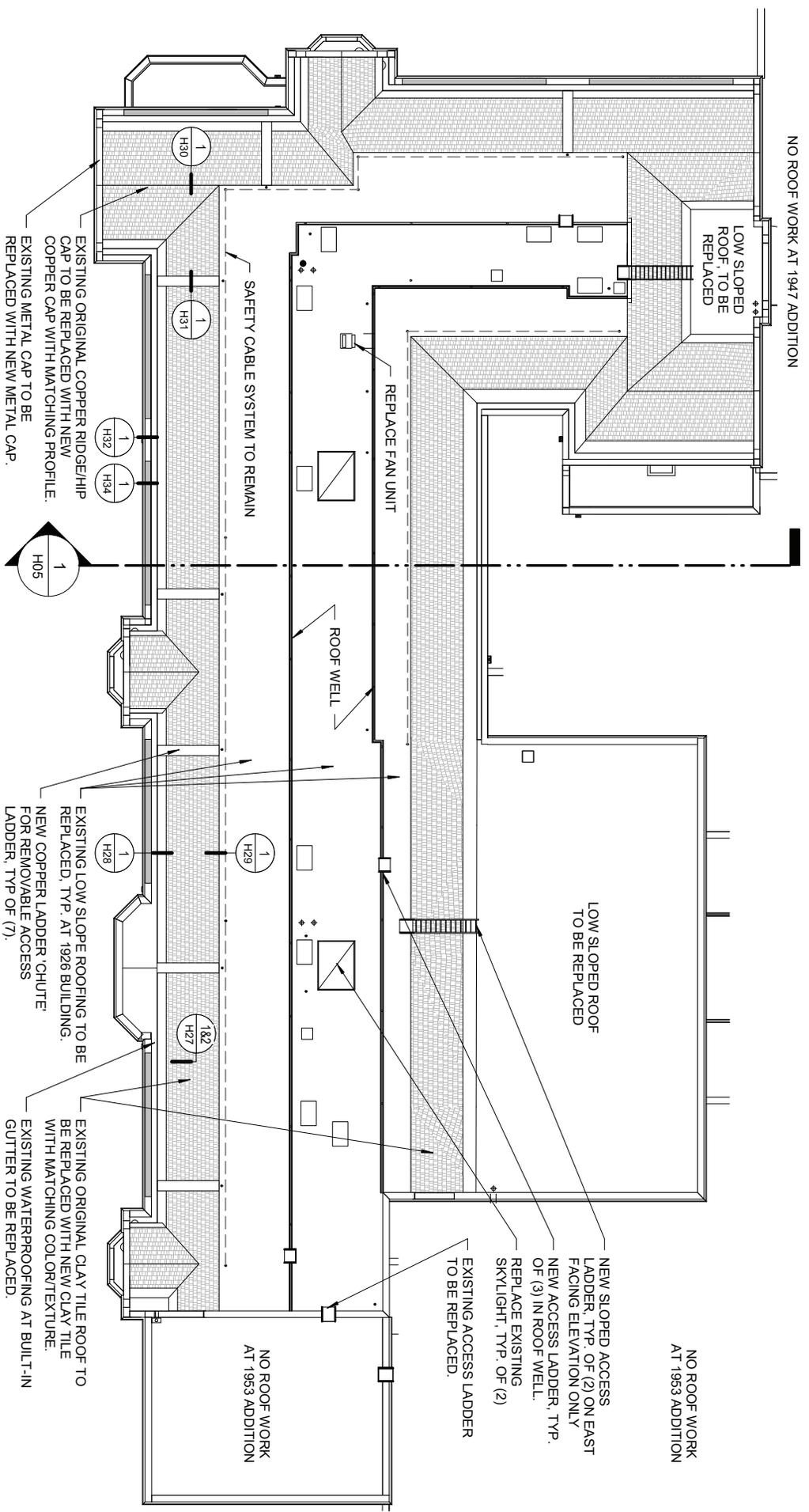


H01

1

ROOF PLAN - 1926 BUILDING

Scale: 1/16" = 1'-0"



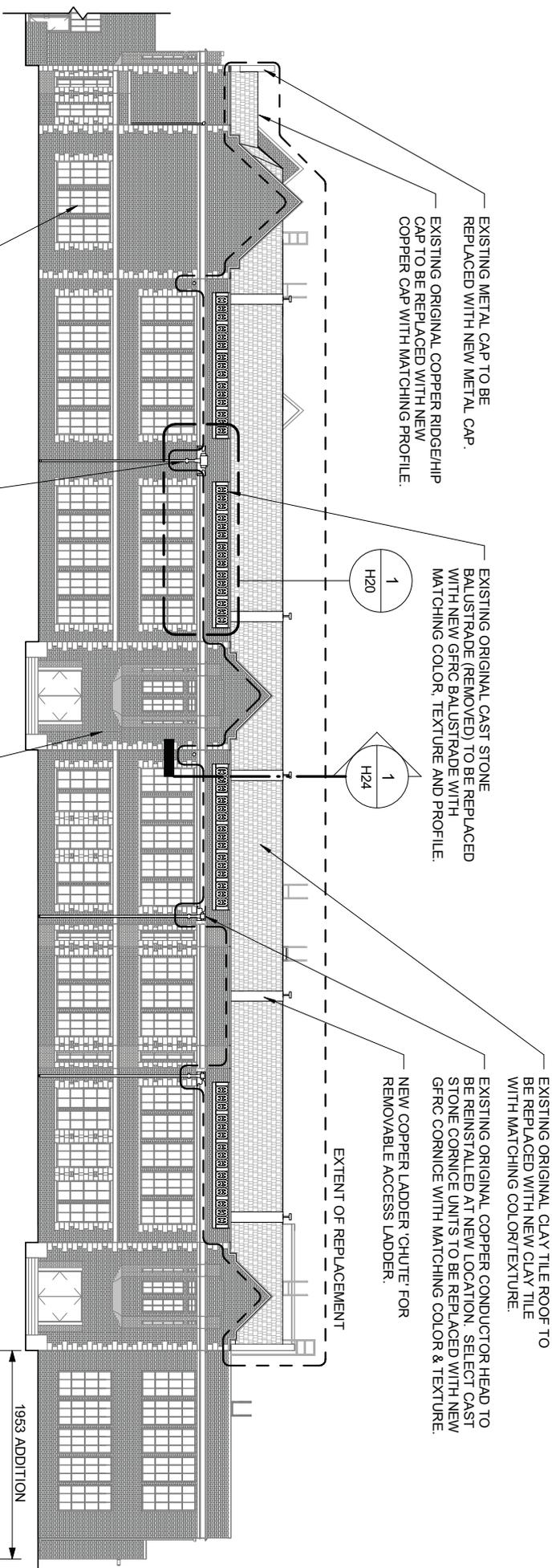
Dunway Elementary School Improvements Phase 2
LAND USE REVIEW SUBMITTAL
DECEMBER 2022

ROOF PLAN



H04

LU 22-213205 HR C-004



1 WEST ELEVATION - 1926 BUILDING
 Scale: 1/16" = 1'-0"



Dunway Elementary School Improvements Phase 2
 LAND USE REVIEW SUBMITTAL
 JANUARY 2023

1926 BUILDING ELEVATION

H07

	A	B	C	D	E	F
1	ENDORSEMENT	INFO1	INFO2	NAME	ADDRESS/IO ADDRESS	CITYSTATEZIP/ADDRESSEE
2	RETURN SERVICE REQUESTED		TESTIFIER	LEESON FRED	2226 NE HANCOCK ST	PORTLAND OR 97212
3	RETURN SERVICE REQUESTED	OWNER	1S1E24DB 2900	SCHOOL DISTRICT NO 1	PO BOX 3107	PORTLAND OR 97208-3107
4	RETURN SERVICE REQUESTED	APPLICANT/OWNERS AGENT	PORTLAND PUBLIC SCHOOLS	SIMONSON STEVE	501 N DIXON ST	PORTLAND OR 97227
5	RETURN SERVICE REQUESTED	CONSULTANT	ARCHITECTURAL RESOURCES GROUP	DAVIS MATTHEW	720 SW WASHINGTON ST #605	PORTLAND OR 97205
6	RETURN SERVICE REQUESTED	CONSULTANT	IBI GROUP	KIMBALL TODD	907 SE HARVEY MILK	PORTLAND OR 97205
7	RETURN SERVICE REQUESTED		SE UPLIFT NEIGHBORHOOD PROGRAM	WILLIAMS MATCHU	3534 SE MAIN ST	PORTLAND OR 97214
8	RETURN SERVICE REQUESTED		ARDENWALD-JOHNSON CREEK NA	GUNION-RINKER LISA	3534 SE MAIN ST	PORTLAND OR 97214
9	RETURN SERVICE REQUESTED	RESPONDENT	EASTMORELAND NEIGHBORHOOD ASSOC	DEAN KARISSA AND MERRICK ROD	3627 SE COOPER ST	PORTLAND OR 97202
10	RETURN SERVICE REQUESTED			JUDY PETERS	6916 NE 40TH ST	VANCOUVER WA 98661
11	RETURN SERVICE REQUESTED		LAND USE CONTACT	STATE HISTORIC PRESERVATION OFFICE	725 SUMMER NE #C	SALEM OR 97301
12	RETURN SERVICE REQUESTED		PORTLAND METRO REGIONAL SOLUTIONS	C/O DLCD REGIONAL REPRESENTATIVE	1600 SW FOURTH AVE #109	PORTLAND OR 97201
13	RETURN SERVICE REQUESTED		LAND USE CONTACT	PORT OF PORTLAND PLANNING	PO BOX 3529	PORTLAND OR 97208
14	RETURN SERVICE REQUESTED		LAND USE CONTACT	TRANSIT DEVELOPMENT	1800 SW FIRST AVE #300	PORTLAND OR 97201
15	RETURN SERVICE REQUESTED			KARLA MOORE-LOVE (CITY HALL)	1221 SW 4TH AVE #130	PORTLAND OR 97204
16	RETURN SERVICE REQUESTED		RISK & LAND DEPARTMENT	NW NATURAL	250 SW TAYLOR ST	PORTLAND OR 97204-3038
17	RETURN SERVICE REQUESTED		LAND USE CONTACT	PACIFIC POWER & LIGHT	7544 NE 33RD DR	PORTLAND OR 97211
18	RETURN SERVICE REQUESTED		PORTLAND SCHOOL DISTRICT	LAND USE NOTICE CONTACT	501 N DIXON	PORTLAND OR 97227
19				LAND USE CONTACT	PROSPER PORTLAND	129/PROSPER
20					HEARINGS CLERK	299/3100
21					DAWN KRANTZ	B299/R5000

DUNIWAY SCHOOL ROOF
PORTLAND PUBLIC SCHOOLS
Application for Historic Resource Review



Prepared by:

Winterbrook Planning



In Collaboration with:

IBI Group

Architectural Resources Group

December 2022

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General Information

Owner: Portland Public Schools
Office of School Modernization
501 N. Dixon Street
Portland, Oregon 97227
(Contact: Steve Simonson, 503-916-3199)

Representative: Winterbrook Planning
610 SW Alder Street, Suite 810
Portland, Oregon 97205
(Contact: Ben Schonberger, 503-827-4422)

Location: Duniway Elementary School
7700 SE Reed College Pl
Portland, OR 97202

State ID No.: 1S1E24DB -02900

Alternate Acct. ID: R231513710

Neighborhood: Eastmoreland

Plan District: Eastmoreland Plan District

Zoning: Residential 5,000 (R5)

Overlays: Historic Resource Protection Overlay

Case Type: Historic Resource Review

Procedure: Type III Review (per 33.730.030)

Early Assistance Mtg: EA 21-108718 (January 3, 2022)

Proposal: Roof replacement and select repairs to the exterior of the original 1926 building.

PROJECT NARRATIVE

Project Summary

Portland Public Schools is proposing repair and replacement of exterior features at the historic Duniway Elementary School in Southeast Portland, beginning with its roof and select masonry elements. Specifically, the scope of the project is to:

- install new roofing at all roof sectors including the existing tile roof areas,
- replace existing exterior roof ladders,
- repair or replace damaged exterior masonry,
- repair roof drainage system, including existing collector boxes and downspouts,
- replace cast stone balustrade parapet elements.

Minor site changes are also proposed on the north side of the property. A paved area at the northeast corner of the site will continue to be used for maintenance access and loading, but will no longer be used for parking. An enclosure will be constructed at this location to conceal the trash and recycling dumpsters. Adjacent to this paved area, the applicant will make modifications – ADA compliant curb ramps, landscape strip, curb, bollards, and signage.

No changes are proposed to the existing building footprint, school uses or activities, enrollment, programs, or other areas of the site.

Existing Site Conditions

Duniway Elementary School, a historic landmark, is a two-story building located at the northwest corner of a 5.6 acre parcel in the Eastmoreland neighborhood of Southeast Portland. The original building, facing SE Reed College Place, was constructed in 1926. Additions were added in 1948 and another in 1953. The gross building area of the school is 65,100 square feet.



Figure 1. Duniway School, 1927

Paved areas are adjacent to the elementary school to the northwest, northeast, and southeast. The southeast paved area is used as a playground and is adjacent to grassy play fields at the south of the lot. The northwest paved area, at the corner of SE Reed College Place and SE Rex Street, is where school bus loading and off-loading occurs. A triangle of paved area at the northeast corner of the site has historically and informally been used as a parking area for maintenance staff and holds the school's trash receptacles. The roof replacement and select repairs will have no impact on the school uses.

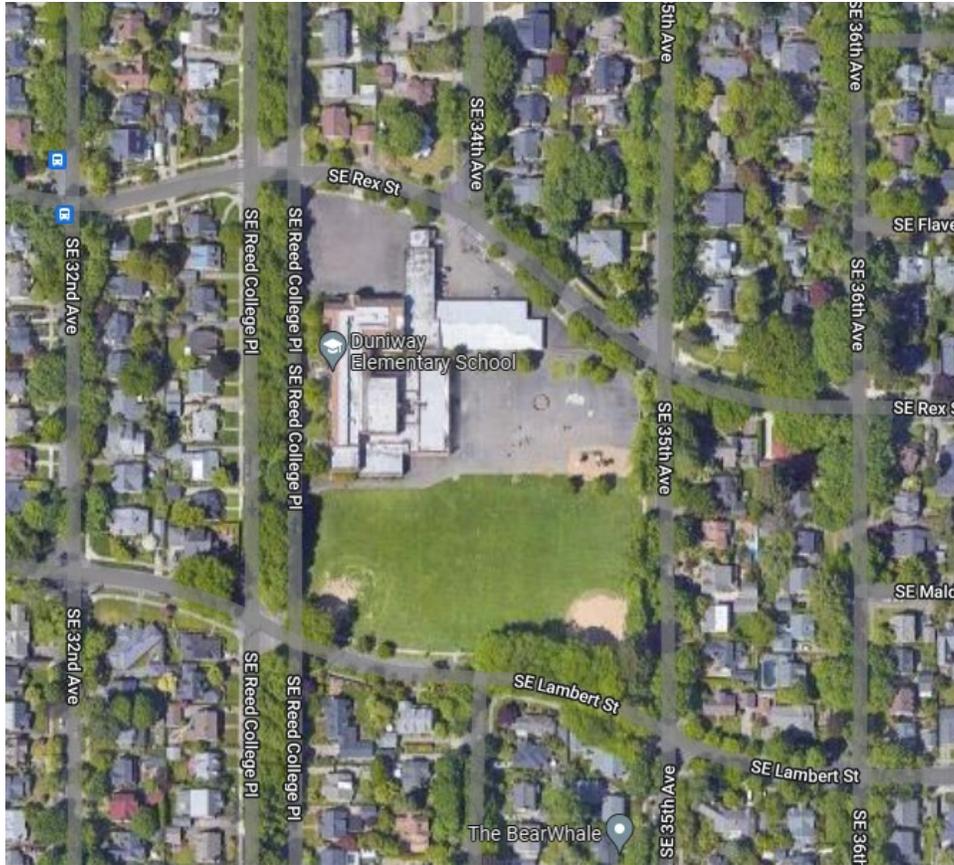


Figure 2. Aerial View, Duniway Elementary School

The school lot occupies a full city block, bounded by SE Rex Street to the north, SE 35th Avenue to the east, SE Lambert Street to the south, and SE Reed College Place to the west. All these streets are classified as Local Service Traffic Streets for motor vehicle purposes. SE Lambert and SE Rex are Neighborhood Walkways; SE Reed College Place and SE 35th are Local Pedestrian Streets. Vehicular access to the site is limited, with two curb cuts. One of these is a fire lane around the south side of the building from SE Reed College Place, and the other is to the maintenance entrance and dumpster collection area at the northeast, from SE Rex Street. The nearest transit stop to the school is for the #19 bus, one block west on SE Rex Street and SE 32nd Avenue.

Duniway Elementary is in a R5 (Residential 5,000) zone. All the land surrounding the school shares this zoning designation, save for the small strip of OS (Open Space) zoning that runs down the center boulevard of SE Reed College Place. The school property is also within the Eastmoreland Plan District. There are no overlay zones that affect the property.

Land Use History

In 1914, at the present site, four portable buildings served as the campus of a new school initially called Eastmoreland School. The site was renamed in 1919 to honor Abigail Scott Duniway, a suffragette and early settler. The current building was constructed in 1926, in a “Collegiate Gothic” style that reflected the architecture of nearby Reed College. In 1948, an L-shaped wing was added to the north end of the building for a kitchen, cafeteria, and classrooms. In 1953, another wing was added for additional classroom space.

Following the pre-application conference, the city did a search of previous land use cases. Only one was found, a two-page denial of a conditional use for a school expansion in 1964. That proposal was presumably never built. The city reported no other land use information in their digital archive. There have been no land use actions on the site since then. The city has building permit records for the construction of the original building and the two additions.

Requested Land Use Review

Duniway School is a city-designated historic landmark, as indicated on zoning maps and in the city’s Historic Resource Inventory. Because the proposed changes are exterior alterations of a landmark, the actions require a historic resource review. The cost of the project exceeds a dollar threshold that triggers a Type III review.

In the pre-application notes, BDS indicated that a conditional use review may be needed to “formalize” the paved area at the northeast corner of the site as a parking lot. There is no evidence that this area of the site was ever approved by the city as a parking lot, though it has been informally used that way for years. Formalizing the lot would include installation of landscaping, striping, and stormwater upgrades to meet current parking lot standards. Rather than embark on difficult and expensive changes to convert this paved area to a parking lot, the applicant will decommission it, forbidding parking going forward. (The large, paved area to the northwest of the school has a similar status, paved but not a parking lot.) Since this area never had formal status as a parking lot, returning it to its original condition as a paved area does not eliminate or add parking and therefore does not trigger a conditional use review. The area will continue to be used for maintenance vehicle unloading, cafeteria delivery, and for the waste collection bins.

HISTORIC RESOURCE FINDINGS

This section provides the findings to support approval of the Historic Resource Review. The applicable code and approval criteria are reviewed below. Language from the Portland Zoning Code is presented in **boldface** type.

Historic Resource Protection Overlay (33.445)

33.445.030 Where These Regulations Apply

A. Sections 33.445.010 through .060 and .400 through .500 apply to all historic resources.

B. Sections 33.445.100 through .340 apply as shown in Table 445-1.

Response: Portland’s Historic Resource Inventory classifies Duniway Elementary School as a Historic Landmark. The status of the site as having a historic landmark is also indicated on city zoning maps. The site is not in a Historic, Conservation or National Register District. Historic Landmarks that are not in a district are subject to Section 33.445.100, according to the referenced Table 445-1.

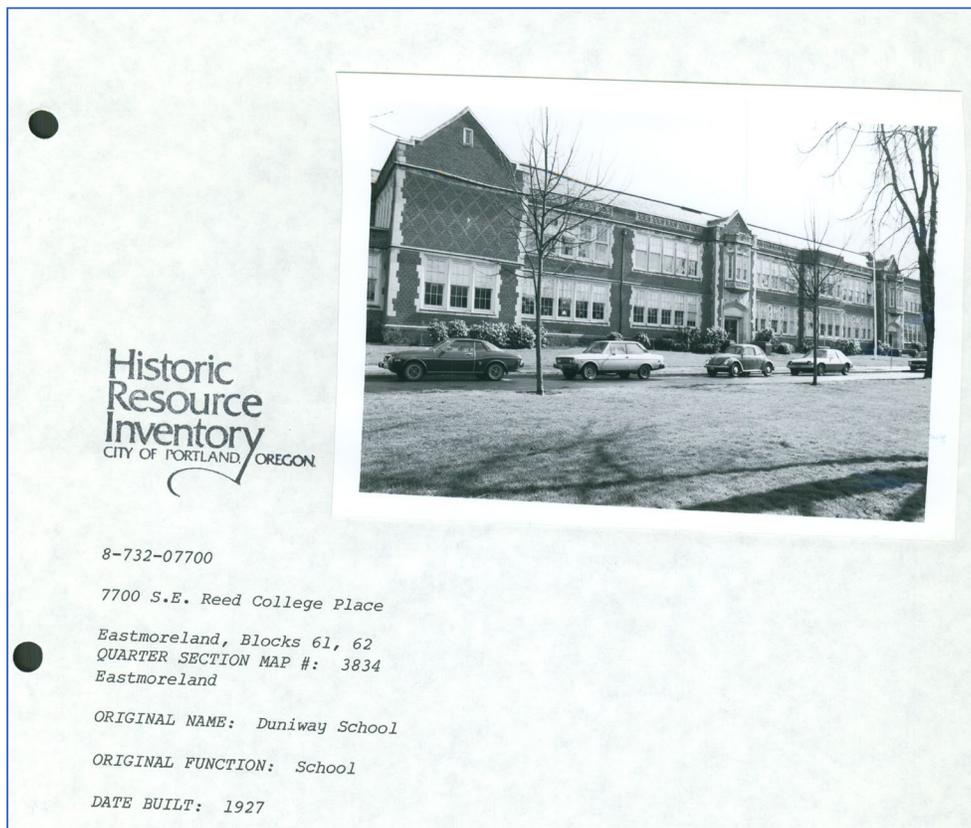


Figure 3. Excerpt from HRI entry for Duniway School

33.445.100 Historic Landmark

A. Designation of a Historic Landmark [...]

B. Removal of a Historic Landmark [...]

C. Relocation of a Historic Landmark [...]

Response: The City's Historic Resource Inventory designates Duniway School as a Historic Landmark. This proposal is an exterior alteration and does not propose any change to the designation itself, nor does it propose removal or relocation.

D. Development within a Historic Landmark boundary. Certain development within the boundary of a Historic Landmark requires historic resource review to ensure the resource's historic value is considered prior to or during the development process.

1. When historic resource review is required. Unless exempted by Paragraph D.2., the following proposals within the boundaries of a Historic Landmark are subject to historic resource review:

a. Exterior alterations; [...]

Response: Exterior alteration is defined in the zoning code and includes "changes to the façade of a building" and "changes to exterior improvements." (PZC 33.910.030) This project includes repair and replacement of elements that fall into both those categories. The list of items to be repaired and/or replaced are not all exempt under Paragraph D.2. Chief among these is the replacement of the tile roof. Because the project includes an exterior alteration that is not fully exempt, it triggers a Historic Resource Review. The specific criteria for that review are addressed in the next section.

Historic Resource Review (33.846)

33.846.060 Historic Resource Review [...]

B. Review procedure. For National Register Landmarks that are not located in a Historic or Conservation District, and for contributing resources in National Register Districts that are not a Historic or Conservation Landmark, the review procedure is Type III. Procedures for all other historic resource reviews are shown in Tables 846-1 through 846-4. When determining procedure type for exterior alterations based on project valuation, the dollar amount refers to the value of the exterior changes and any new floor area only. It does not include interior or subgrade alterations.

1. For Historic Landmarks, including those in Historic Districts or Conservation Districts, when proposals are not exempt from review as

specified in Subsection 33.445.100.D.2, the review procedure is determined by Table 846-1 [...]

Response: The procedure type for this project is determined by Table 846-1. That table does not have a category that explicitly matches the proposal, an exterior alteration in an R zone that exceeds 500 square feet. It therefore falls into the “any other non-exempt proposal” category. For those projects, if the project value exceeds \$521,850, it is a Type III review. PPS estimates project cost will be approximately \$2.3 million. Consequently, the proposal triggers a Type III procedure.

C. Phased proposals[...]

D. Models of proposals in the Central City plan district[...]

Response: The proposed changes do not require a phased proposal, and the site is not within the Central City plan district. These sections do not apply.

E. Approval Criteria for outside the Central City plan district

Outside the Central City plan district, requests for historic resource review will be approved if the review body finds that the applicant has shown that all of the approval criteria have been met. Conflicts among guidelines and criteria are resolved as specified in Paragraph E.5. The approval criteria for historic resource review outside the Central City plan district are as follows [...]

Response: Duniway Elementary School is in the Eastmoreland neighborhood, which is not within Central City Plan District. As noted earlier, the school building is a designated historic landmark. As a historic landmark outside the Central City plan district, the relevant approval criteria are listed under subsection (3) as follows.

3. Historic Landmarks and Conservation Landmarks located outside of Historic Districts or Conservation Districts. When historic resource review is required for a Historic Landmark or Conservation Landmark located outside of a Historic District or Conservation District, the approval criteria are:

a. If the resource is a Historic Landmark, the criteria in Subsection G; [...]

Response: Portland’s Historic Resource Inventory classifies Duniway Elementary School as a Historic Landmark. The site is not in a Historic or Conservation District. Therefore, the criteria for a Historic Resource Review when making changes to a building in 33.846.060(G).

G. Other historic approval criteria. When required by Paragraphs E. or F., the following approval criteria must be met:

Response: As required by subsection E.3.a, the 10 historic approval criteria of this section are applicable and must be met by the proposal. They are addressed individually below.

1. Historic character. The historic character of the landmark or contributing resource will be retained and preserved. Removal of historic materials or alteration of features and spaces that contribute to the historic significance of the landmark or contributing resource will be avoided;

Response: Duniway Elementary School was constructed in 1926 in the Eastmoreland neighborhood and is a Portland Historic Landmark. The building was designed in the Collegiate Gothic style by architect George H. Jones, who was the district's Superintendent of Building. In that role, Jones designed approximately 25 schools, along with many school additions. The Oregon Historic Site Form completed for the property in 2009 includes a summary of the building's distinctive architectural features:

"The reinforced concrete structure, faced in red brick, rests on a poured concrete foundation. The gable roof that covers the central wing is clad in red clad pantiles. Several portions of the building feature flat roofs covered in asphalt roofing materials. Designed in the Collegiate Gothic style, the building features prominent cross gable roofs that distinguish the entries to the building. Cast stone embellishments include irregular shaped quoins at the corners and window surrounds, belt courses, and coping at the parapet. The building also features projecting bay windows, typically situated above entries or at ends of an elevation. Fenestration consists primarily of 6-over-6, wood-frame windows."

The school is significant as part of the last wave of extensive school construction undertaken by the district in the early years of the 20th century. The building is also significant as a representative example of the Collegiate Gothic style, linking it to the historically significant buildings at Reed College nearby.

The original school building was designed in 1926 with additions in 1947, and 1953. The 1926 building is a two-story concrete building. The floors consist of a concrete slab that spans to concrete beams and girders supported by concrete columns. The roof is constructed like the floor with concrete slab and beams except that the gym roof is steel trusses. The perimeter walls are reinforced concrete. The 1947 addition, which added a cafeteria and classrooms to the facility, was a one-story concrete building with long span joists spanning from exterior walls to interior corridor walls. This addition was rebuilt in 1975 as part of a fire restoration. The roof and walls are now wood framed, while the roof is composed of wood trusses overlaid with plywood sheathing. The 1953 classroom addition includes one- and two-story portions. The addition is also a concrete

structure with concrete wall. The roof and floor structure are long span open web joists with a concrete slab spanning over the top.

As detailed in the 2009 Oregon Historic Site Form, Duniway Elementary School retains a high level of integrity:

“The utilization of similar brick, cast stone, and fenestration on the additions maintain the continuity of the building. The original circulation was retained through the placement of the new wings on the ends of the building. The majority of classrooms retain their original configuration and many built-ins. The auditorium and gymnasiums are highly intact. The fenestration, cast stone, pantiles, and brickwork have been extremely well cared for, maintaining the sense of design, workmanship, and materials.”

Proposed Project

The primary purpose of the proposed project is to repair or replace specific features of the Duniway Elementary School building, thereby extending the longevity of the historic building. The project will be broken into two construction phases. Phase one will include the 1947 and 1953 portions of the building and Phase 2 will include the 1926 portion of the building. The scope of work for the project includes:

- install new roofing at all roof sectors including the existing tile roof areas,
- replace existing exterior roof ladders,
- repair or replace damaged exterior masonry,
- repair roof drainage system, including existing collector boxes and downspouts,
- replace decorative cast stone balustrade parapet elements.

As described below in greater detail under criterion 4, all existing items that are being replaced will be replaced with elements and materials that, to the extent possible, match that which was removed. As a result, the property will continue to convey its significance as an early-twentieth-century school built in the Collegiate Gothic style and the character of the historic building will be preserved.

2. Record of its time. The landmark or contributing resource will remain a physical record of its time, place, and use. Changes that create a false sense of historic development, such as adding conjectural features or architectural elements from other buildings will be avoided;

Response: The property will continue to convey its significance as an early-twentieth-century school built in the Collegiate Gothic style and no false sense of historic development will be created. All existing items that are being replaced will be replaced with elements and materials that, to the extent possible, match that which was removed.

No conjectural features or architectural elements from other buildings will be added to the building as part of the proposed project.

3. Historic changes. Most resources change over time. Those changes that have acquired historic significance will be preserved;

Response: Duniway Elementary School was originally constructed in 1926, with additions in 1947 and 1953. As noted in the Oregon Historic Site Form, the additions, while not directly tied to the original building's significance, are compatible with the 1926 building through the use of similar scale and materials. All three portions of the building will be retained as part of the project.

4. Historic features. Generally, deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement, the new feature will match the historic feature in design, color, texture, and other visual qualities and, where practical, in materials. Replacement of missing features must be substantiated by documentary, physical, or pictorial evidence;

Response: A variety of changes are proposed to the building as part of this project. Some of the changes are to historic features, others are to nonhistoric features. Divided into historic and nonhistoric features, the changes are as follows:

Alterations to Historic Features

- Replace tile roof (including addition of ladder "chutes")
- Replace cast stone balustrade
- Replace wall scuppers
- Salvage and reinstall downspouts and ornamental collector boxes
- Replace ladders
- New sheet metal caps at parapet

Alterations to Nonhistoric features

- New louver vents
- New duct and fan units
- New skylights
- New fence (potentially) at entrance to hidden courtyard

Following direction in the BDS response from the December 2021 Pre-Application Conference, detailed information is provided below regarding each of the specific building features that will be replaced or repaired. Additional photos and supporting information regarding some of these alterations are included in a "Supplemental Photos" exhibit that is included in the drawing set that accompanies this application.

Replacement of tile roof

The existing clay roof tiles are in poor condition and are not a suitable material for possible salvage. These tiles are exhibiting surface crazing and through fracturing within the body of the individual piece, indicating that the material has reached the end of its useful life. A new clay tile produced using modern manufacturing techniques would be specified that meets current quantitative quality control standards.



Figure 4. Tile roof

Replacement of cast stone balustrade with panelized GFRC balustrade parapet

The original cast stone balustrade did not include any type of water management strategy. Water that entered the assembly caused severe deterioration of the embedded steel elements, including stone-to-stone anchors and steel angles. During the early assessment of the project, it was discovered that the balustrades were no longer structurally sound and posed a safety risk to the building's patrons. The balustrade

elements were removed and are being housed by the owner to be used as reference guides for their replacement.

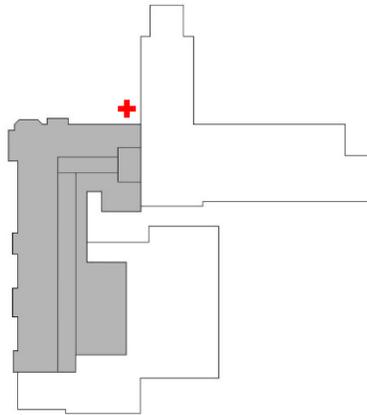


Figure 5. Failed parapet

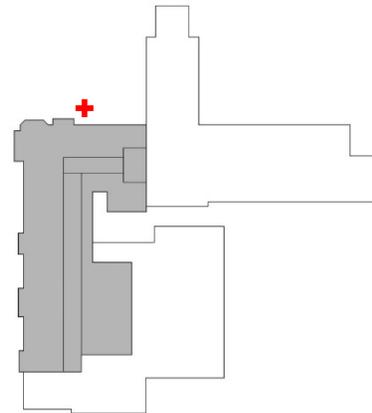


Figure 6. Balustrade

The removal of the failed cast stone balustrade and installation of a wood-framed parapet wrapped with fully adhered EPDM membrane was undertaken as a means of providing temporary weather protection for the structure while a permanent solution could be implemented. Note the photos below were taken before the EPDM membrane was painted a similar color to match the adjacent brick masonry.

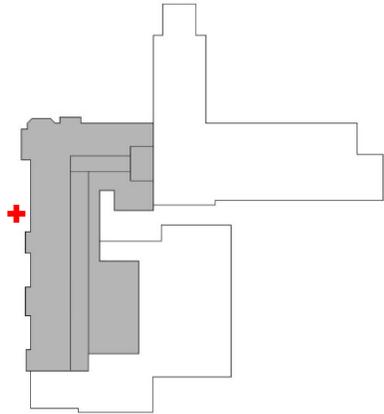


Figure 7. Temporary parapet

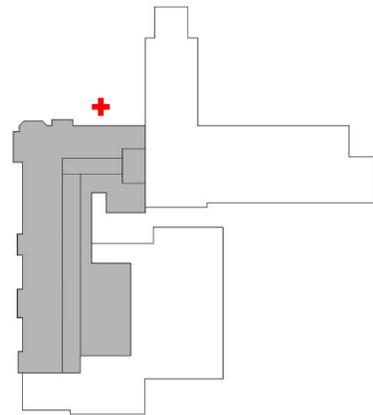


Figure 8. Temporary parapet

Replacement of the temporary, wood-framed parapet with a panelized GFRC parapet with ornamentation matching the existing balustrade will allow for proper water management techniques that will better protect the structure and building interior from water intrusion.

New through-wall scuppers, restoration and relocation of downspouts and ornamental collector boxes

The existing storm drainage at the tile roof areas on the west and north elevations of the building consists of internal roof drains with lead pipe leaders cast into the concrete structure. These lead pipes discharge storm water into exterior decorative copper collector boxes and downspouts that are routed down to grade. The existing design does not include overflow scuppers and rainwater collects over a foot deep when the drain is clogged. The lead pipes are original to the building and beyond their useful life. Replacement of these lead pipes would require extensive demolition of the exterior façade and concrete structure at each drain location. Rather than replacing the pipe, the current design program abandons the lead pipe and introduces a new through-wall scupper that delivers storm water to the existing collector box and downspout. This design also provides overflow when the drain is clogged. The collector boxes would be removed, restored, and reinstalled at a slightly higher elevation. Supplemental copper downspouts to match existing would be provided to connect the restored collector boxes to the existing downspouts. This change in storm drainage will make the system more maintainable in the future.



Figure 9. Scupper, collection box, and downspout

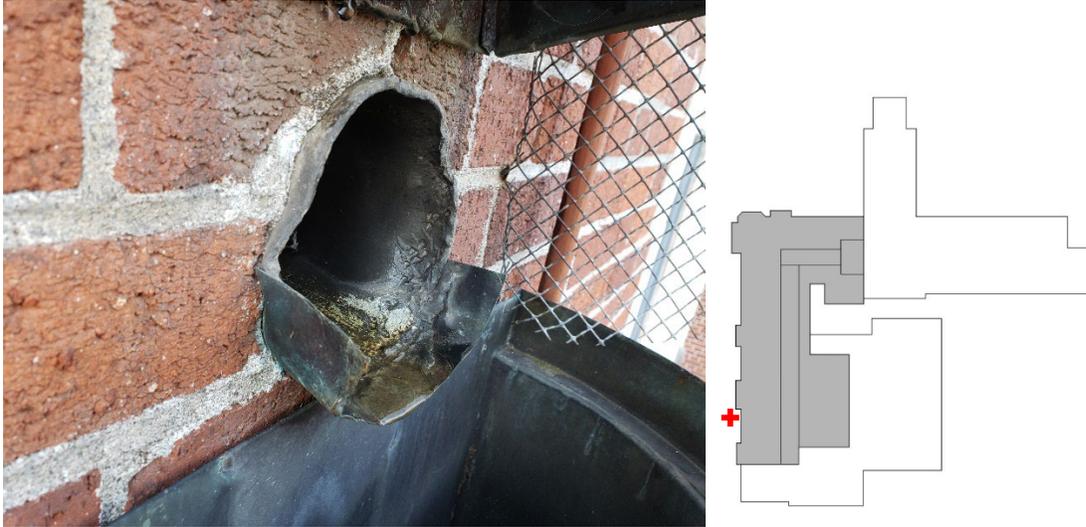


Figure 10. Through-wall scupper and collection box

New ladders

The existing rooftop access ladders are being replaced because they are in poor condition and not configured to current standards. The ladder pictured for example is condemned per the sign attached to it. Other ladders do not meet current OSHA requirements for rung spacing and rung distance from adjacent wall. At ladders that transfer over a parapet, the side rails do not extend high enough to meet current OSHA code. These existing ladders will need to be replaced not only for safe roof access and roof maintenance but also for the proper installation of the new roof system.

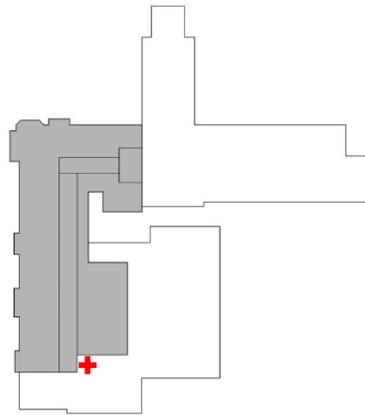


Figure 11. Condemned access ladder

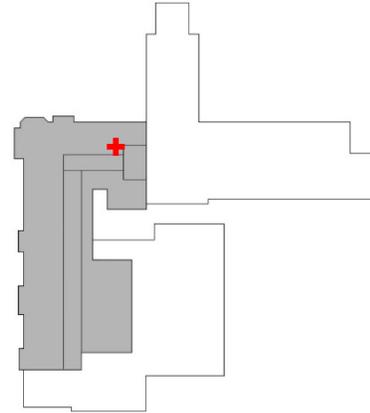


Figure 12. Access ladder

New copper “ladder chutes”

The roof storm drainage at the tile roof areas consists of sloped clay tile that drains down into an inlaid gutter. There is currently no access to the inlaid gutter for maintenance and cleaning. Clay roof tiles are extremely fragile and cannot be subjected to foot traffic. The program includes inserting formed copper “ladder chutes” at each location so that workers can slide an extension ladder down to the inlaid gutter for access and avoid damaging the clay tiles.

Ladder chutes are proposed at the west and north facing tile roof areas due to the prominence of these elevations. Permanent ladders are proposed at the less visible east facing tile roof areas.

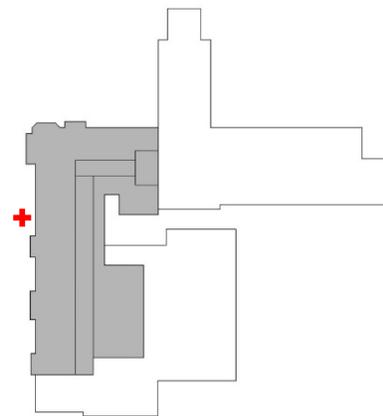


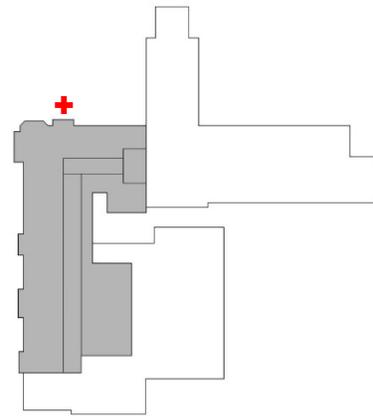
Figure 13. West side tile roof area

New sheet metal parapet caps

The skyward mortar joints in the parapet cast stone copings can separate over time, allowing water intrusion into the wall construction. The sheet metal cap flashing with membrane underlayment would provide weather protection for these skyward facing joints, ensuring long-term predictable performance. The cap flashing would be zinc-tin coated copper to minimize the contrast between the sheet metal and adjacent cast stone surfaces.



Figure 14. Parapet top surface



New louver vents

The attic vent wall louvers in the roof well are being replaced due to the work being done to the roof well walls. Existing metal wall cladding is in poor condition and no longer performing as a weatherproof skin and will be replaced with new metal cladding.

The wall louver at the second-floor unit ventilator would have to be shifted vertically due to the added thickness of the new roof at that location. A new louver will be installed as the existing louver is showing signs of deterioration and wear. This new louver will match the existing one as closely as possible.

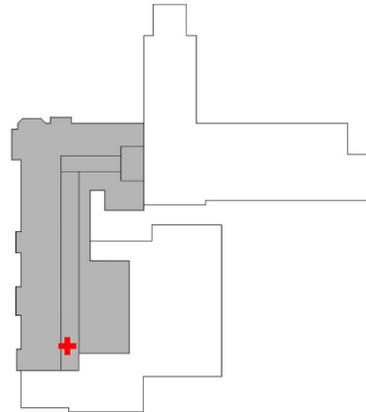


Figure 15. Ventilator unit

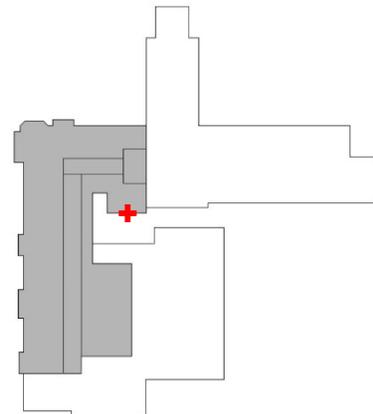


Figure 16. Wall louvers

New duct and fan units

The existing fan unit and associated duct is being removed due to the installation of new roofing. These elements are being replaced in-kind as they are showing signs of significant deterioration, wear and vandalism.



Figure 17. Duct and fan unit

New skylights

The existing skylights are not original to the building. They are acrylic lens unit skylights typically designed to be placed directly on the roof deck. As installed, they have been awkwardly adapted to the top of the existing concrete curb with irregular detailing at the roof to skylight transition. The new skylight would be sized to the existing curb and properly interfaced with the new roof system base flashing.



Figure 18. Skylights

New fence (potentially)

The existing chain-link fence is not original to the building and was installed by the school district for safety reasons to protect the hidden courtyard. The location of the fence was poorly planned and allows access to the adjacent roof if a person were to

climb the chain-link. A new fence will be installed in the same location; however, it will be a decorative, no-climb design type to prevent access to the roof while still providing a high level of safety to the courtyard.



Figure 19. Security fence

As demonstrated by the narrative and pictorial evidence above, the deteriorated historic features will be either repaired or replaced with new features that match them, in design, color, texture, and other visual qualities.

5. Historic materials. Historic materials will be protected. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials will not be used;

Response: The project will entail selective cleaning of areas of significant biological (moss, mold) growth. Products will be tested during mockups to determine the most effective and least aggressive means of cleaning. No sandblasting is proposed.

6. Archaeological resources. Significant archaeological resources affected by a proposal will be protected and preserved to the extent practical. When such resources are disturbed, mitigation measures will be undertaken;

Response: No significant archaeological resources are identified at this site. No ground disturbance related to the project is anticipated, other than associated with ADA ramp improvements to an existing sidewalk in the public right of way. As a result, no effect on archeological resources is anticipated.

7. Differentiate new from old. New additions, exterior alterations, or new construction will not destroy historic materials that characterize a landmark or contributing resource. New work may be differentiated from the old if the differentiation does not diminish the character, features, materials, form, or integrity

of the landmark or contributing resource and, if in a Historic District, the district as a whole;

Response: The proposed changes are exterior alterations; no additions are proposed. The project entails repairing or replacing specific, deteriorated, character-defining features of the school building, including:

- tile roof
- cast stone balustrade
- wall scuppers, downspouts, and ornamental collector boxes
- ladders

As described in detail under criterion 4, each replacement feature will mimic the appearance of existing features to the extent possible. This approach was taken because starkly differentiating the new features from existing would diminish the historic building's character by introducing distracting visual elements on the building roof and/or façades. Wholly new features are limited to the copper ladder "chutes" on the north- and west-facing tile roof areas, which allow access to the currently inaccessible inlaid gutters at these locations. This approach avoids installation of permanent ladders on these portions of the roof, thereby reducing the visual impact of this key maintenance improvement.

In addition, the project entails replacing select nonhistoric features, including duct and fan units, louver vents, skylights, and a chain-link fence. As detailed under criterion 4, none of these replacements will destroy historic features associated with the historic school or diminish the character of the landmark building.

8. Architectural compatibility. New additions, exterior alterations, or new construction will be compatible with the massing, size, scale, and architectural features of the landmark or contributing resource and, if in a district, the district as a whole. When retrofitting to improve accessibility for persons with disabilities or accommodate seismic improvements, design solutions will not compromise the architectural integrity of the landmark or contributing resource;

Response: The proposal is for certain exterior alterations to the landmark building. No changes to the massing, size or scale of the school are proposed. As described under criterion 4, proposed replacement features have been designed to be compatible with the existing building. The GFRC balustrade, for example, will match the appearance of the original cast stone balustrade, which was too deteriorated to repair.

9. Preserve the form and integrity of historic resources. New additions, exterior alterations, or new construction will be undertaken in such a manner that if removed in the future, the essential form and integrity of the landmark or contributing resource and, if in a district, the district as a whole would be unimpaired; and

Response: The proposed changes are exterior alterations; no additions or other changes to the essential form of the building are proposed. Proposed changes include:

Alterations to Historic Features

- Replace tile roof (including addition of ladder “chutes”)
- Replace cast stone balustrade
- Replace wall scuppers,
- Salvage and reinstall downspouts and ornamental collector boxes
- Replace ladders
- New sheet metal caps at parapet

Alterations to Nonhistoric features

- New louver vents
- New duct and fan units
- New skylights
- New fence (potentially) at entrance to hidden courtyard

These features do not modify the overall form of the historic building. Future removal of these features is highly unlikely since they are integral to the function of the building (e.g., replacement tile roof, downspouts) or its appearance. If any of the in-kind replacement features (tile roof, balustrade, scuppers, downspouts, collector boxes, and ladders) were to be removed in the future, they would be replaced with new features that similarly mimic the building’s original features.

10. Hierarchy of compatibility. New additions, exterior alterations, or new construction will be designed to be compatible primarily with the landmark or contributing resource and, if located within a district, secondarily with contributing resources located within 200 feet and, finally, with the rest of the district. Where practical, compatibility in districts will be pursued on all three levels.

Response: Responses to criteria 4 and 7 above explain how proposed exterior alterations employ materials that have been selected for their compatibility with the existing building. Duniway Elementary School is not located within a historic district and no additions are proposed.

Based on the responses to the historic criteria listed above, this proposal to replace and repair deteriorated elements of the building retains the historic character of the landmark structure. It does so largely by mimicking existing features with new materials that function better and are nearly indistinguishable from the original.

DEVELOPMENT STANDARDS

Nonconforming Situations (33.258)

33.258 Nonconforming Situations

33.258.035 Where These Regulations Apply The nonconforming situation regulations apply only to those nonconforming situations which were allowed when established or which were approved through a land use review. Additionally, they must have been maintained over time. These situations have legal nonconforming status. Nonconforming situations which were not allowed when established or have not been maintained over time have no legal right to continue (often referred to as "grandfather rights") and must be removed.

Response: The existing school building was established in 1926 (City of Portland building permit #178577). Additions were added in 1948 and 1953. No land use review was required to establish a school use in 1926, or to expand it in 1948 or 1953. Therefore, the school use was allowed when it was established. The school has been continuously operated since its opening and has been maintained over time. The use itself has "automatic conditional use status" (PZC 33.815.030) because although school uses are currently allowed as a conditional use in the R5 zone, the school use was allowed by right in 1926 when it was first established. Thus it "is considered an approved conditional use."

33.258.070 Nonconforming Development

A. Purpose. This section is primarily aimed at upgrading nonconforming development elements that affect the appearance and impacts of a site. It is not intended to require extensive changes that would be extremely impractical such as moving or lowering buildings.

B. Continued operation. Nonconforming developments may continue unless specifically limited by Subsection D. below or other regulations in this Title.

C. Changes. Changes may be made to the site that are in conformance with the development standards of the base zone, overlay zone, plan district or other development standards that apply to the site. Changes that bring the site closer to conformance are allowed. Proposed changes that are not in conformance or do not move closer to conformance, are subject to the adjustment process unless prohibited.

D. Development that must be brought into conformance. The regulations of this subsection are divided into two types of situations, depending upon whether the use is also nonconforming or not. These regulations apply except where superseded by more specific regulations in the code. [...]

2. Nonconforming development with an existing nonconforming use, allowed use, limited use, or conditional use. Nonconforming development associated with an existing nonconforming use, an allowed use, a limited use, or a conditional use, must meet the requirements stated below. When alterations are made that are over the threshold of Subparagraph D.2.a., the site must be brought into conformance with the development standards listed in Subparagraph D.2.b. The value of the alterations is based on the entire project, not individual building permits.

Response: The existing school is an approved conditional use with nonconforming development. As noted above, the school has been continuously operated since its opening in 1926 and has “automatic conditional use status” (PZC 33.815.030). Although school uses are now allowed conditionally in the R5 zone, the school use was allowed by right in 1926 when it was first established. Thus it “is considered an approved conditional use.”

- a. Thresholds triggering compliance. The standards of Subparagraph D.2.b., below, must be met when the value of the proposed alterations on the site, as determined by BDS, is more than \$330,800.**

Response: The value of the proposed alterations is approximately \$2.3 million. This number is higher than \$330,800. Therefore, the threshold is triggered and the standards of the following section must be met.

- b. Standards which must be met. Development not complying with the development standards listed below must be brought into conformance or receive an adjustment.**

(1) Landscaping and trees required for the following areas:

- Exterior display, storage, and work activity areas;**

Response: Although the site has outdoor paved areas to the northwest and northeast of the building, these areas do not meet zoning code definitions of “exterior display”, “exterior storage”, or “exterior work activity area” in PZC 33.910. Consequently, new landscaping and trees in these areas are not required.

- Setbacks for surface parking and exterior development areas;**

Response: There are no areas on the site dedicated to “surface parking” since the only location where that currently occurs, an informal parking area for maintenance staff, will be no longer used for that purpose as part of this land use review. Similarly, the paved areas on the north side of the building and the playground area on the south side of the building meet the definition “exterior development” (“paved and graveled areas”), but these areas have no specific landscaping requirements.

- **Interior parking lot landscaping;**

Response: As noted, there are no areas on the site that meet the definition of “parking lot” since the only location where on-site parking currently occurs, an informal parking area for maintenance staff, will be no longer used for that purpose as part of this land use review. Because it is not a parking lot, landscaping requirements for parking lots do not apply.

- **Existing building setbacks;**

Response: No specific landscaping is required within building setbacks, as listed in PZC 33.110.270.

- **Minimum landscaped areas (where land is not used for structures, parking, or exterior improvements); and**

Response: According to Table 110-9, the minimum landscaped area required on the site is 25 percent of site area to the L1 standard. The entire south half of the site is grassy playing fields and the property has numerous mature trees. Because of this, the site far exceeds the minimum area for landscaping.

- **On-site tree density standards of Subsection 11.50.050.C.**

Response: The requirement for tree density standards is based on “development impact area,” which is “the area on a site affected by proposed site improvements, including buildings, structures, parking and loading areas, landscaping, and paved or graveled areas.” (Portland Municipal Code, 11.80.020) The development impact area in this situation is zero, because the proposed changes are limited to the replacement and repair elements on the existing structure. No additional area will be “affected” by proposed changes. Consequently, this standard is met.

- (2) **Pedestrian circulation systems, as set out in the pedestrian standards that apply to the site;**

Response: Pedestrian standards in PZC 33.120.255 (via PZC 33.110.270[C][10]) are met by existing development. Main entrances to the building face SE Reed College Place and have pedestrian connections to adjacent public sidewalks. Other entrances are connected to other areas of the site: recreational areas, the playground, and surrounding sidewalks on other frontages.

- (3) **Bicycle parking by upgrading existing racks and providing additional spaces in order to comply with 33.266.200, Bicycle Parking as follows:**

- **Major remodeling projects must meet the standards for all bicycle parking;**

- Sites with accessory surface parking must meet the standards for all bicycle parking;
- In all other situations, the amounts and standards for short-term bicycle parking must be met.

Response: The proposed project is not a “major remodeling” project, which is defined in the zoning code as one where the floor area is increased by more than 50 percent or the cost of the project is greater than the assessed value of existing improvements (PZC 33.910.030). There is no accessory surface parking on the site since the paved area to the northeast of the site will no longer be used as a parking area.

Therefore, this project is “all other situations” and amounts and standards for short term bike parking must be met. The bike parking requirement for schools is 1 space per 25,000 square feet of net building area (Table 266-6). On site, there are three “wave” racks on the paved area northwest of the existing building that hold at least 7 bikes each. This bike parking area is within 50 feet of the main entrance on the north side of the original school structure. Fifteen additional staple-type bike racks are located immediately adjacent to the school, on paved area between the curb and the sidewalk, along SE Rex Street. Therefore, the existing short term bike parking meets current standards.



Figure 20. Bike parking at north side of school.

(4) Screening; and

Response: The only applicable screening standard is for garbage and recycling collection areas, PZC 33.110.270(C)(9). This standard requires L3 or F2 screening around the collection areas where it is visible from the sidewalk or street. The current garbage and recycling collection area is within the paved area at the northeast corner of the site, which also has the maintenance entrance. As part of this project, the applicant proposes a new enclosure to meet the screening standard. The enclosure is a sight-obscuring fence to the city’s F2 screening standard. Details are shown in the drawing packet on Sheet H35.

(5) Required paving of surface parking and exterior storage and display areas.

Response: There are no “surface parking areas” on the site since part of this proposal is to decommission the informal parking that occurs on the paved area at the northeast corner of the site. Likewise, the site has no “exterior storage” or “exterior display” areas, which are both code-defined terms (PZC 33.910.030).

(6) Exception: Where landscaping in the following areas was conforming after March 16, 2001, and before July 8, 2005, it is exempt from the requirements of D.2.b.1, above, for the following:

Response: None of the landscaping on the site was known to be conforming during this four-year timeframe. This exception is not applicable.

In summary, after review of the applicable nonconforming upgrade requirements, one is required: screening for the existing garbage and recycling collection area. The existing waste collection area at the northeast corner of the site is proposed to be enclosed with a new structure. This enclosure is shown in the drawings included with this application.

Schools and School Sites (33.281)

33.281.030 Review Thresholds for School Uses

- A. New school use.**
- B. Change of grade levels.**
- C. Modifying an existing school use at the same school level.**
- D. Changes in enrollment and staffing**

Response: The proposal of a re-roof and select masonry repairs does not change the use of the property, initiate a change in grade level, modify the type of educational

programming, or change enrollment or staffing at the school. Changes are purely physical, to repair and replace deteriorating elements of the existing school building. Therefore, this section is not applicable.

33.281.050 Review Thresholds for Development

This section states when development related to schools and on school sites in the OS, R, and IR zones is allowed, when a conditional use review is required, and the type of procedure used. Recreational fields used for organized sports are subject to Chapter 33.279, Recreational Fields for Organized Sports.

A. Allowed. Alterations to the site that meet all of the following are allowed without a conditional use review. [...]

- 1. The addition of new outdoor recreation areas, or changes to existing outdoor recreation areas;**
- 2. The demolition and replacement of up to 25 percent of the existing net building area on the site;**
- 3. The addition of up to 2,000 square feet of new net building area to the site;**
- 4. Increases of exterior improvement areas up to 2,000 square feet. Fences, handicap access ramps, on-site pedestrian circulation systems, Community Gardens, Market Gardens, bicycle parking and increases allowed by Paragraphs A.6 and A.9 are exempt from this limitation;**
- 5. Changes that do not result in a net gain or loss of site area;**

Response: The proposal does not add new outdoor recreation areas, replace existing net building area, add any new building area to the site, increase exterior improvement areas, or add/subtract site area. None of the alterations described in these sections are applicable.

- 6. The alteration will not result in an individual or cumulative loss or gain in the number of parking spaces, except as follows:**
 - a. On sites with 5 or more parking spaces, up to 1 space or 4 percent of the total number of existing parking spaces, whichever is greater, may be removed; however, the removal of more than 5 spaces requires a conditional use review. Parking spaces removed to create accessible spaces as specified in the Oregon Structural Specialty Code are exempt from this limitation;**
 - b. Up to 1 space or 4 percent of the total number of existing parking spaces, whichever is greater, may be added; however, the addition of more than 5 spaces requires a conditional use review; and**

c. Any cumulative loss or gain of parking allowed in A.6.a or A.6.b is measured from the time the use became a conditional use, or the last conditional use review of the use, whichever is most recent, to the present.

Response: The paved area northeast of the school has been historically and informally used for parking for maintenance staff. Based on a land use permit search by BDS, there is no evidence that this lot ever received formal approval from the city to be used for parking. In the Early Assistance Meeting notes, BDS indicated that retroactively approving this parking lot would require a conditional use review. In addition, it would need expensive upgrades for landscaping, stormwater, and other typical parking lot development standards. Instead, PPS has elected to stop using this paved outdoor area for parking. This area returns to its status as a paved outdoor space that could be used for children’s play, access to the exit doors on that side of the building, maintenance loading and unloading, and the trash/recycling area. The open area on the northwest side of the building at the corner of SE Rex and SE Reed College Place has similar status as a paved area that is not a parking lot. Since there is no evidence this area was a city-sanctioned parking lot, the change in status of this area does not result in a loss of parking. Consequently, 33.281.050(A)(6)(c) does not apply.

7. The alteration meets one of the following:

a. Complies with the development standards of this Title; or

b. Does not comply with the development standards of this Title, but an adjustment or modification to the development standards has been approved through a land use review;

Response: The proposed alteration to the historic building will comply with all the development standards of Title 33. No adjustments or modifications are required or requested.

8. The alteration complies with all previous conditions of approval;

Response: As noted, a records search by BDS staff found no previous land use cases on the site. Therefore, there are no conditions of approval with which to comply.

In summary, all the review thresholds above for allowing development without a conditional use review are met, and therefore no conditional use review is required for the proposed project.

33.281.100 General Standards

In the OS, R, and IR zones, the development standards for institutional uses apply except where superseded by the standards in this chapter. The institutional development standards are stated in 33.110.270 and 33.120.275. In C and E zones, the

development standards of the base zone apply except where superseded by the standards in this chapter. Recreational fields used for organized sports are subject to Chapter 33.279, Recreational Fields for Organized Sports.

Response: The development standards for institutional uses apply. However, the proposed changes to the site are for exterior alterations to the existing school building, and do not directly affect any of these standards. The one exception is the construction of a trash area enclosure, which is triggered by nonconforming upgrades, and will comply with current standards for those structures.

33.281.110 Building Coverage and Floor Area Ratio

Response: The proposed changes have no affect on building coverage or floor area ratio. These standards do not apply.

33.281.120 Special Event Parking

Paved play areas may be used for special event parking. The area does not have to comply with landscaping requirements for parking areas. These areas may not be used for required parking for the uses on the site.

Response: The paved area at the northeast corner of the site will be returned to being a play area, not a parking lot, but may still be used for special event parking, as permitted by this section.

33.281.130 Bus Loading

Response: No change to bus loading or unloading is proposed.

33.281.140 Landscaping

Response: No changes to existing landscaping are proposed. Virtually all the physical changes to the site that are proposed are in-kind replacements or repairs to the existing building (*e.g.*, roof, masonry elements). Therefore, no development is proposed that triggers landscaping requirements.

33.281.150 Temporary Structures

Response: No temporary structures are proposed.

Eastmoreland Plan District (33.540)

33.540 Laurelhurst/Eastmoreland Plan District

33.540.010 Purpose

The regulations of the Laurelhurst/Eastmoreland plan district enforce the special setback requirements of Ordinances 70343 and 70341. This plan district maintains the established character of the Laurelhurst and Eastmoreland areas, characterized by homes with larger than normal building setbacks from the street.

33.540.020 Where the Regulations Apply

The building setback requirements apply to the Laurelhurst/Eastmoreland Plan District as shown on the Maps 540-1 and 540-2 at the end of this chapter, and on the Official Zoning Maps.

33.540.030 Required Building Setbacks

Required building setbacks are shown on the Special Building Setbacks maps available for review in the Development Services Center.

Response: The site is clearly within the Eastmoreland plan district as shown on Maps 540-1 and 540-2. The only standards associated in the Eastmoreland plan district, as noted in the purpose statement, are related to building setbacks. Replacing the roof and masonry repairs on an existing building does not affect building setbacks. Therefore, these standards do not apply to this project.

8" WASTE LINE PER 1926 AS-BUILT DRAWINGS
EXISTING TO REMAIN

EXISTING DOMESTIC SERVICE WATER
BACKFLOW VAULTS (2).
CONSTRUCT PERMANENT LADDER
AND EXTENDABLE GRAB BAR.

SE REED COLLEGE PL

DUNIWAY
ELEMENTARY
SCHOOL

HARD TOP
PLAY AREA

PLAY FIELD

8" SEWER LINE PER 1947 AS-BUILT DRAWINGS
EXISTING TO REMAIN

1
H02

NEW TRASH ENCLOSURE

SE 34TH AVE

SE REX ST

SE 35TH AVE

SE LAMBERT ST

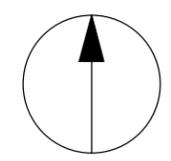
SE 34TH AVE

1 OVERALL SITE PLAN
Scale: 1" = 100'-0"



Duniway Elementary School Improvements Phase 2
LAND USE REVIEW SUBMITTAL
DECEMBER 2022

SITE PLAN



H01

LU 22-213205 HR A2

LAND USE REVIEW SUBMITTAL

Duniway Elementary School
7700 SE Reed College Place

File No. 21-108718



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DRAWING INDEX

H00	DRAWING INDEX & PROJECT DIRECTORY
H01	SITE PLAN
H02	ENLARGED SITE PLAN - LOADING & TRASH ENCLOSURE
H03	OVERALL PLAN WITH BUILDING CONSTRUCTION DATES
H04	ROOF PLAN
H05	BUILDING SECTION
H06	FULL BUILDING ELEVATIONS
H07	1926 BUILDING ELEVATION
H08	1926 BUILDING ELEVATION
H09	1926 BUILDING ELEVATION
H10	1926 BUILDING ELEVATION
H11	MASONRY REPAIR ELEVATION AND LEGEND
H12	MASONRY REPAIR ELEVATION
H13	MASONRY REPAIR ELEVATION
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H16	MASONRY REPAIR ELEVATION
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H20	DETAILS
H21	DETAILS
H22	DETAILS
H23	DETAILS
H24	DETAILS
H25	DETAILS
H26	DETAILS
H27	ROOF DETAILS
H28	ROOF DETAIL
H29	ROOF DETAIL
H30	ROOF DETAIL
H31	ROOF DETAIL
H32	ROOF DETAILS
H33	ROOF DETAIL
H34	ROOF DETAIL
H35	TRASH ENCLOSURE



8" WASTE LINE PER 1926 AS-BUILT DRAWINGS
EXISTING TO REMAIN

EXISTING DOMESTIC SERVICE WATER
BACKFLOW VAULTS (2).
CONSTRUCT PERMANENT LADDER
AND EXTENDABLE GRAB BAR.

SE REED COLLEGE PL

DUNIWAY
ELEMENTARY
SCHOOL

HARD TOP
PLAY AREA

PLAY FIELD

8" SEWER LINE PER 1947 AS-BUILT DRAWINGS
EXISTING TO REMAIN

1
H02

NEW TRASH ENCLOSURE

SE 34TH AVE

SE REX ST

SE 35TH AVE

SE LAMBERT ST

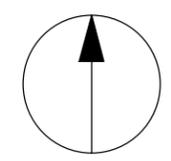
SE 34TH AVE

1 OVERALL SITE PLAN
Scale: 1" = 100'-0"



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SITE PLAN



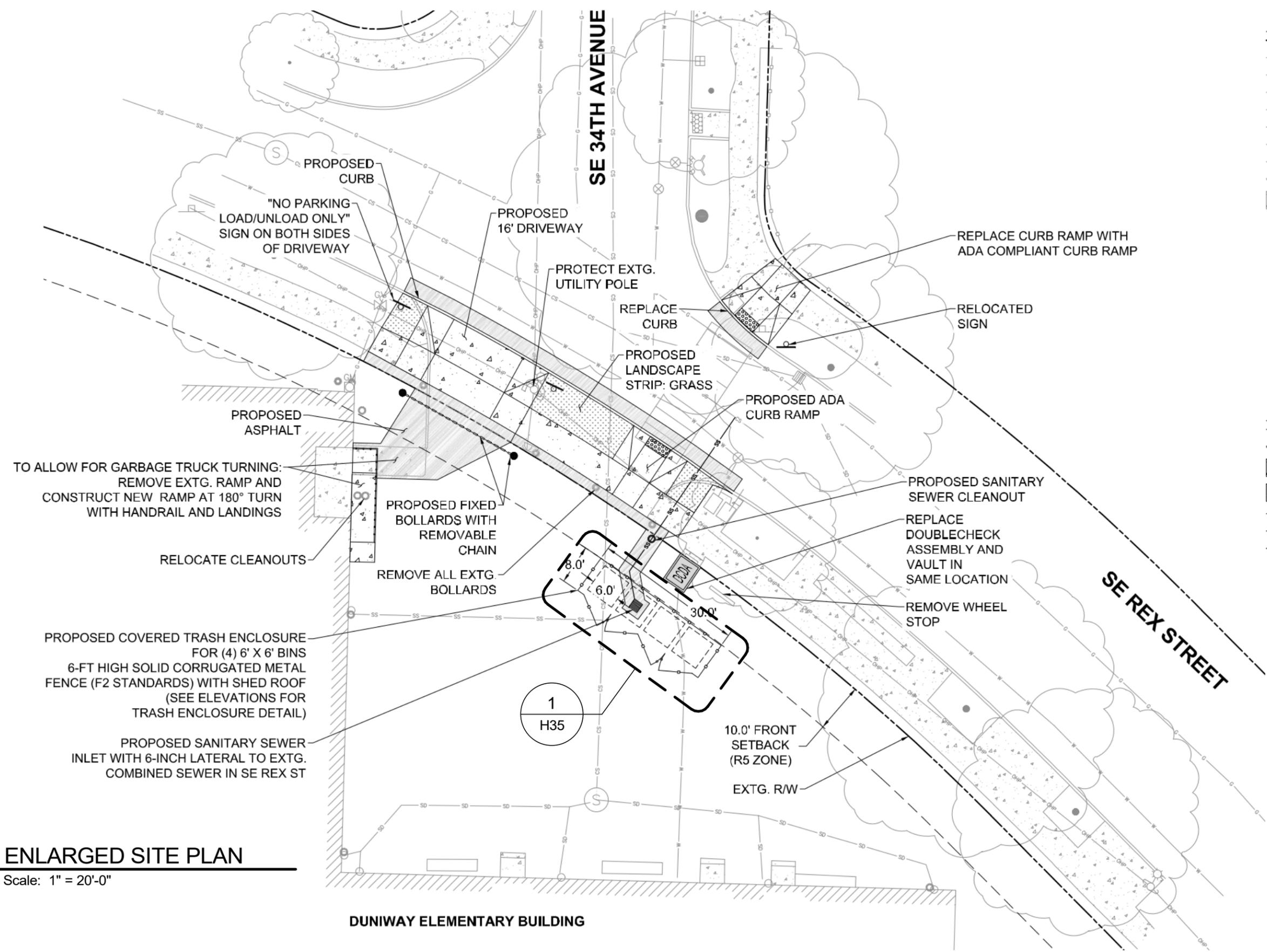
H01

EXISTING LEGEND

- RIGHT-OF-WAY LINE
- SD STORM DRAIN
- SS SANITARY SEWER
- CS COMBINED SEWER
- W WATER
- G GAS
- OHP OVERHEAD POWER
- o-o- FENCE
- CURB
- [CONCRETE] CONCRETE
- [S] STORM INLET
- [S] COMBINED SEWER MANHOLE
- [U] UTILITY POLE WITH LUMINAIRE
- [V] WATER VALVE, HYDRANT
- [GV] GAS VALVE, METER
- [B] BOLLARD
- [S] SIGN
- [T] TREE

PROPOSED LEGEND

- SETBACK
- CURB
- [CONCRETE] CONCRETE
- [ASPHALT] ASPHALT
- [FENCE] TRASH ENCLOSURE
- HANDRAIL
- SS SANITARY SEWER PIPE
- [S] SANITARY SEWER INLET, CLEANOUT
- [S] SIGN
- [B-CHAIN] FIXED BOLLARDS WITH CHAIN

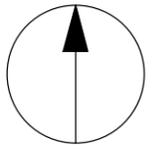


1 ENLARGED SITE PLAN
Scale: 1" = 20'-0"

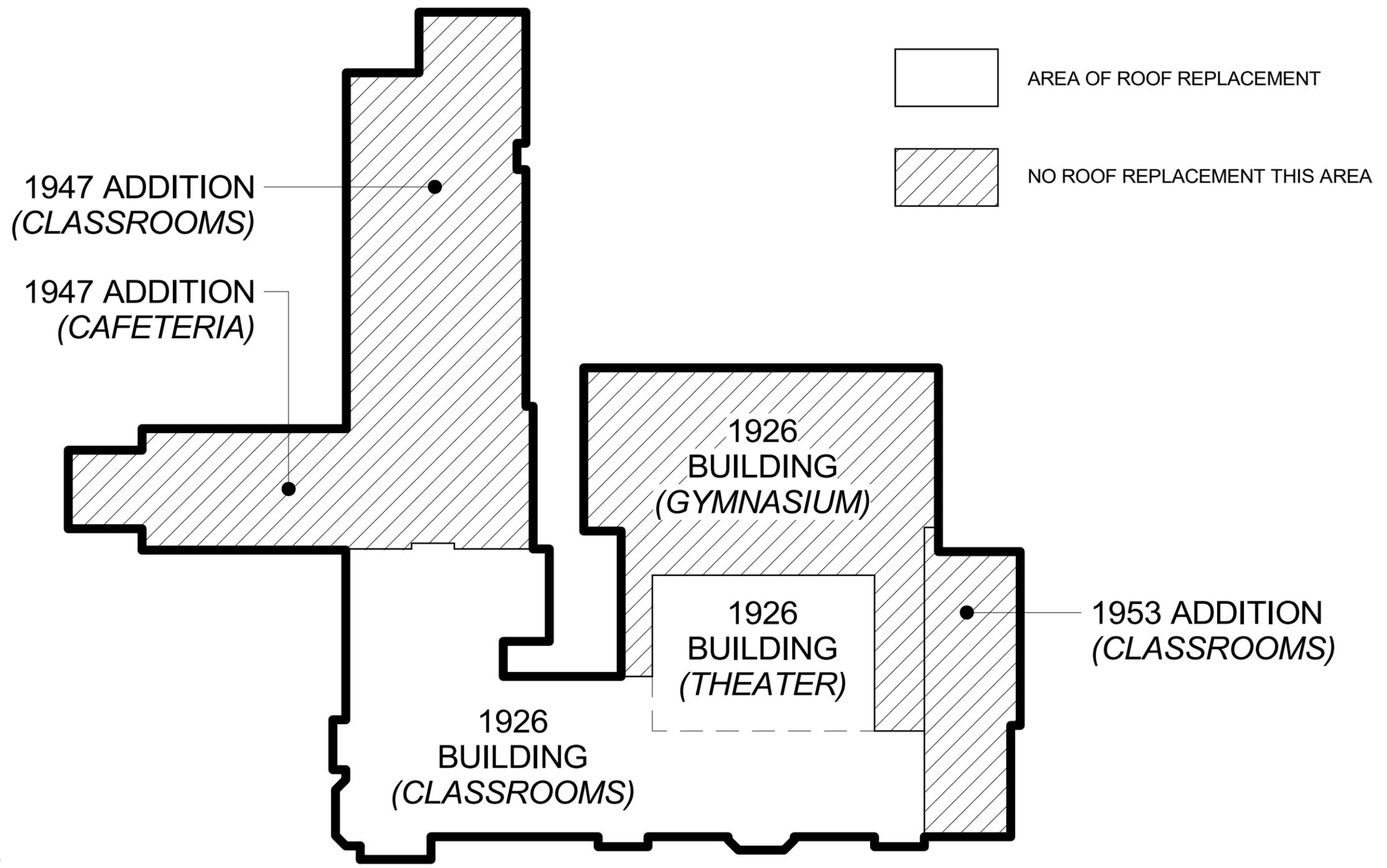


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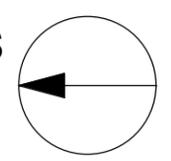
ENLARGED SITE PLAN - LOADING & TRASH ENCLOSURE

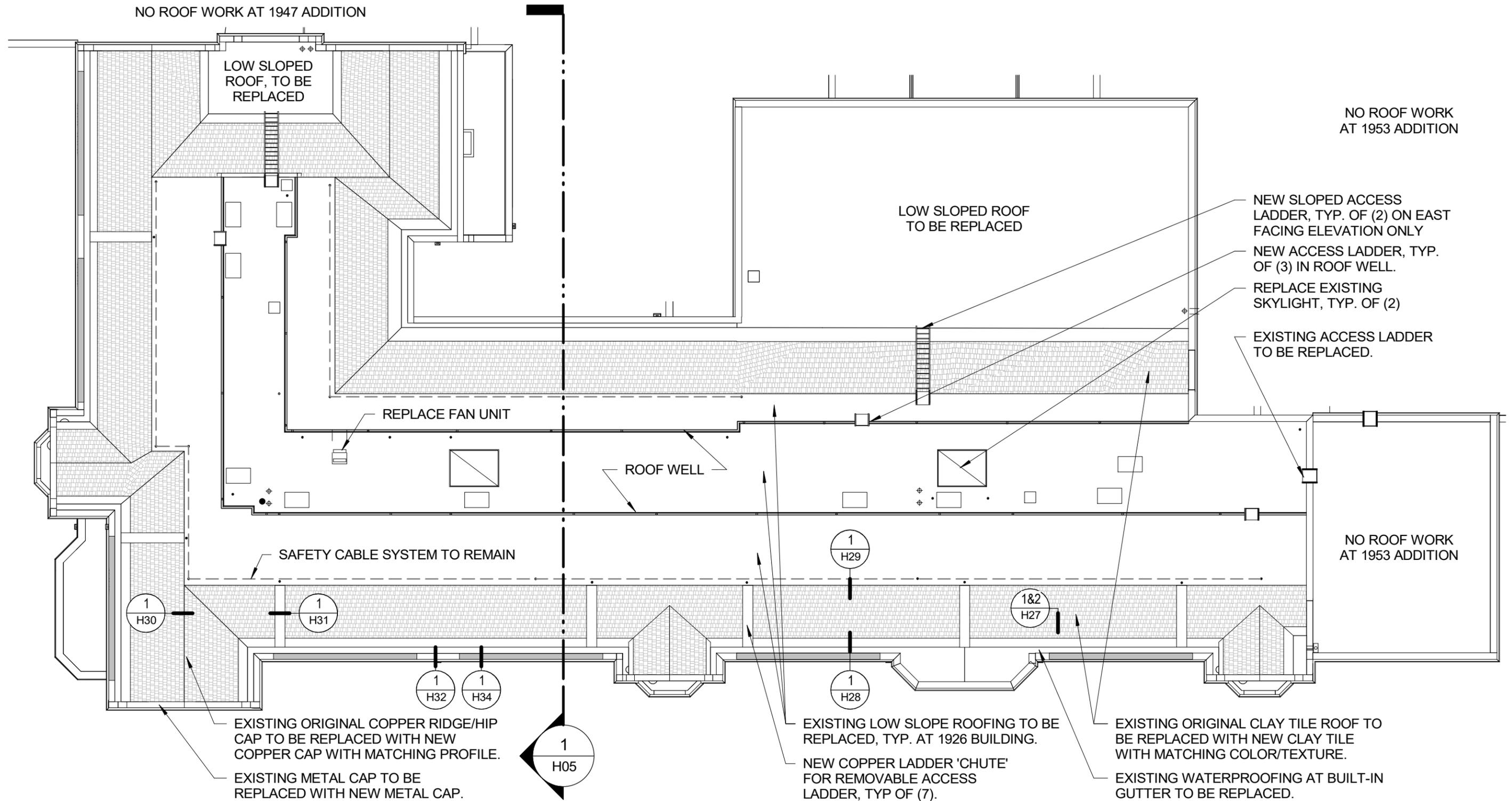


H02

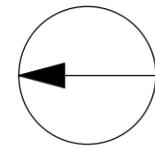


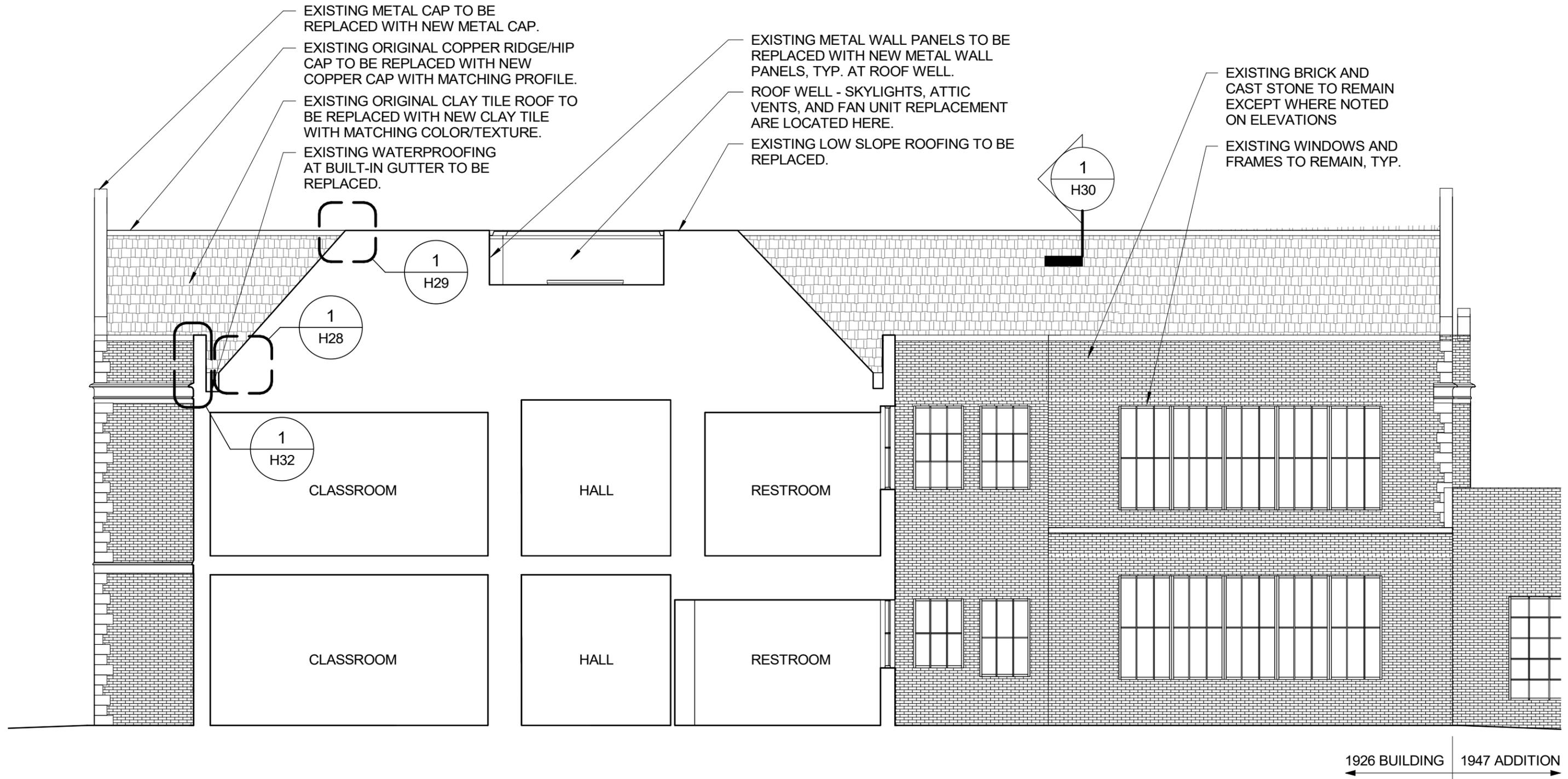
1 LU BUILDING w/ AGES
Scale: 1" = 40'-0"





1 ROOF PLAN - 1926 BUILDING
 Scale: 1/16" = 1'-0"

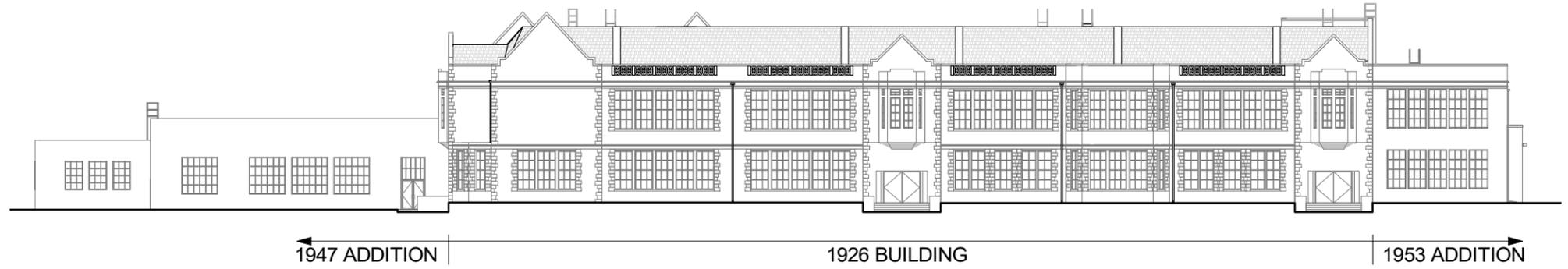




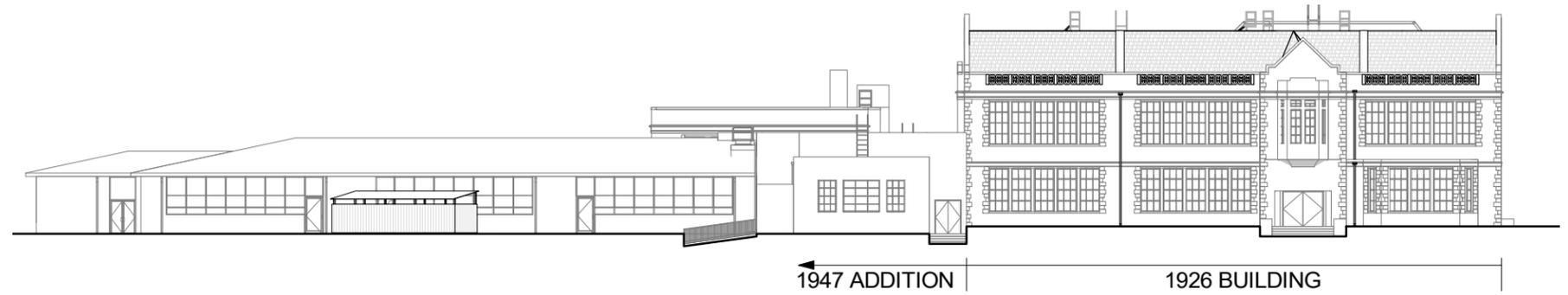
1 OVERALL 1926 BUILDING SECTION
 Scale: 1/8" = 1'-0"



1 WEST
Scale: 1/32" = 1'-0"



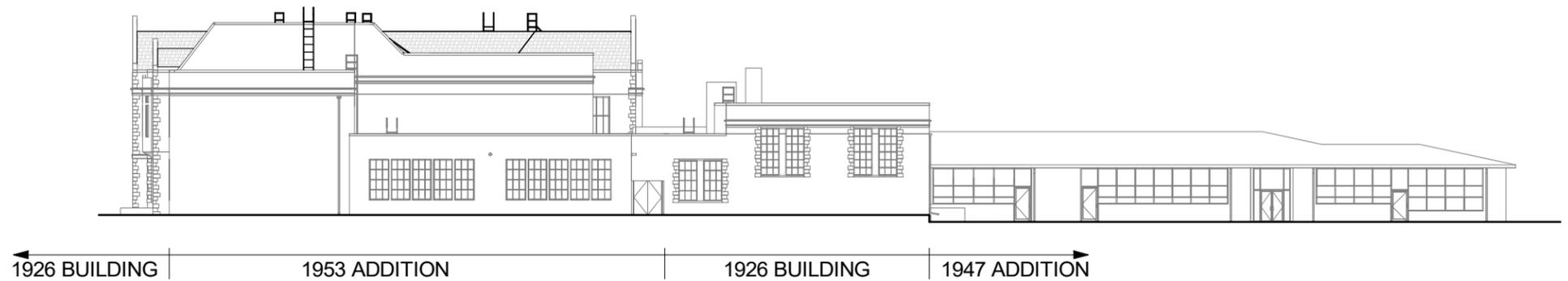
2 NORTH
Scale: 1/32" = 1'-0"

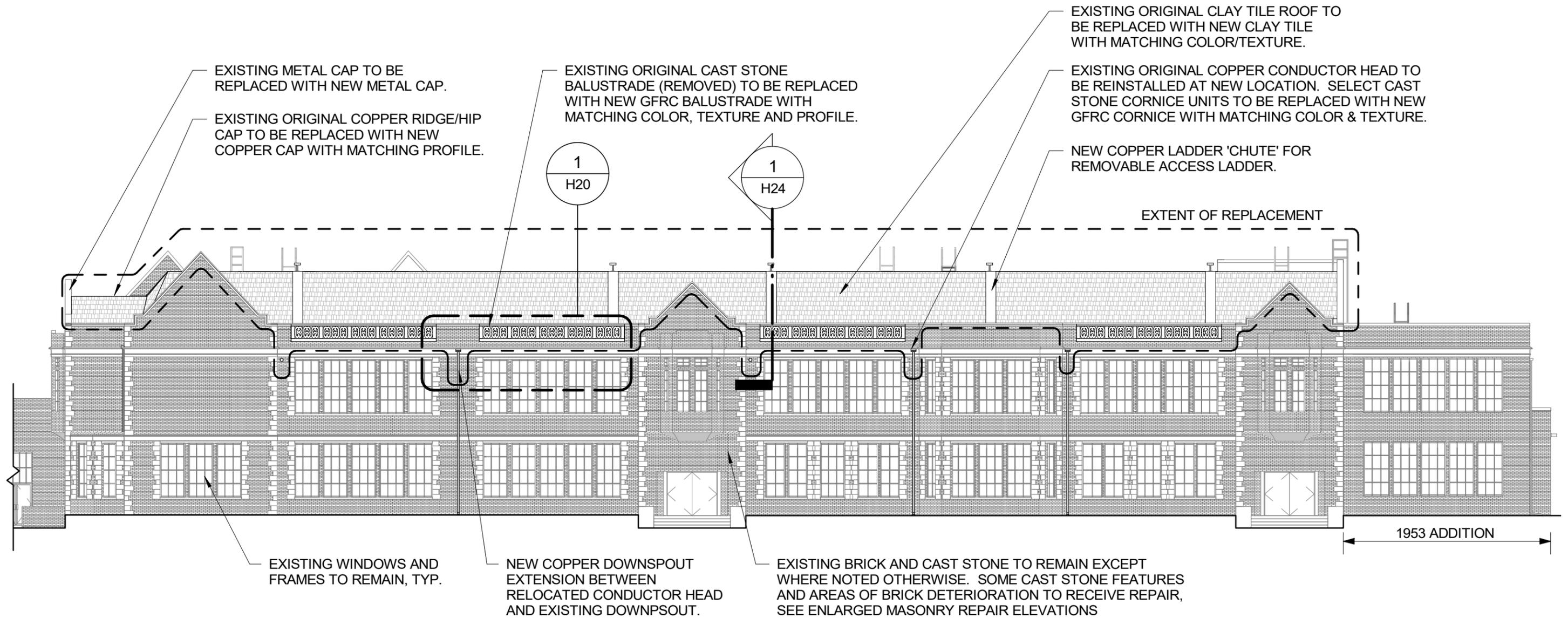


3 EAST
Scale: 1/32" = 1'-0"



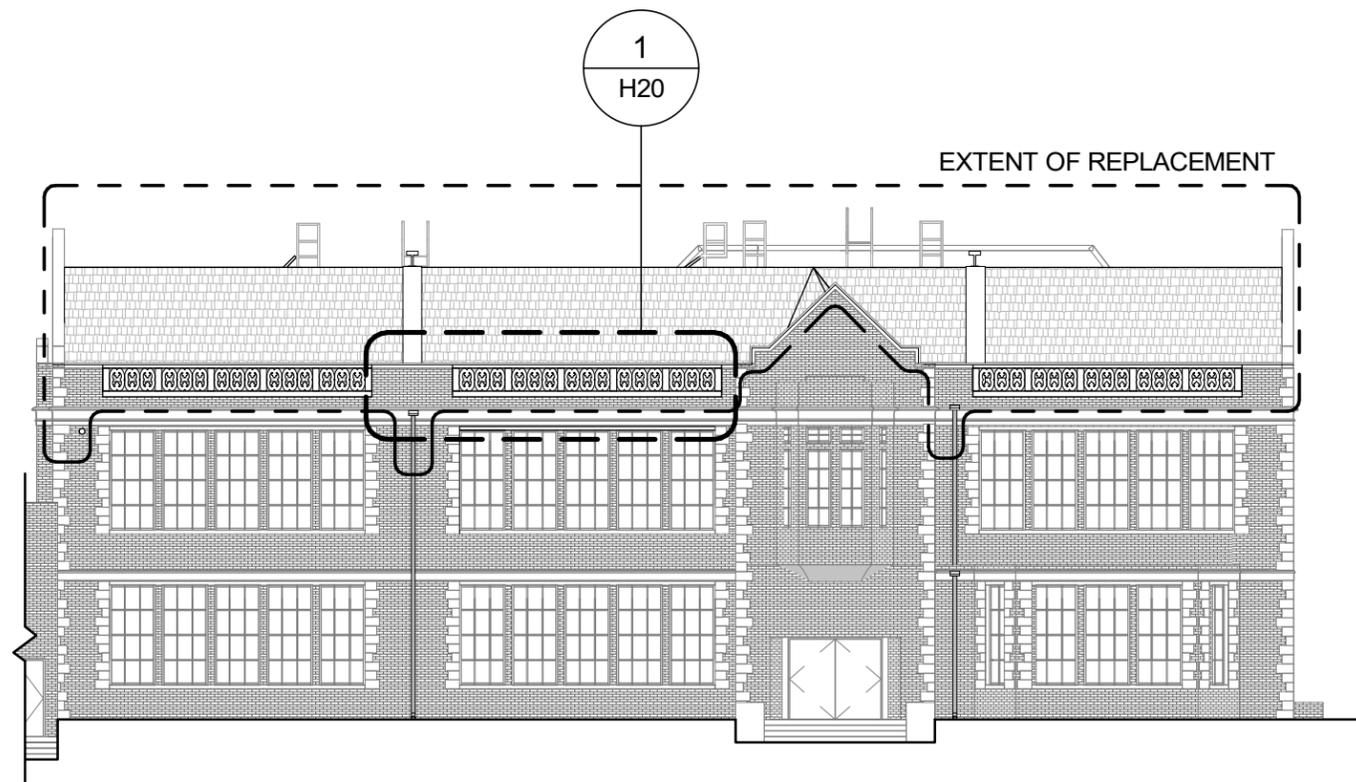
4 SOUTH
Scale: 1/32" = 1'-0"





1 WEST ELEVATION - 1926 BUILDING
 Scale: 1/16" = 1'-0"



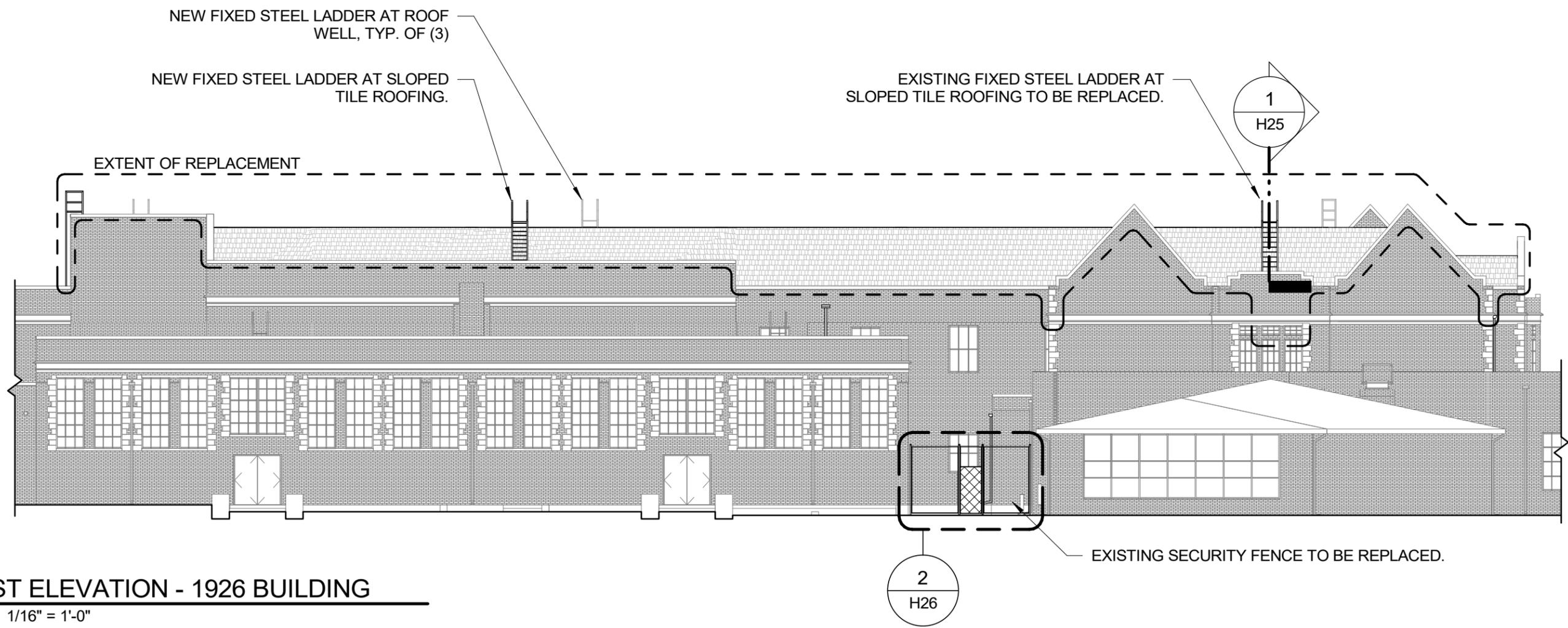


1 NORTH ELEVATION - 1926 BUILDING
 Scale: 1/16" = 1'-0"



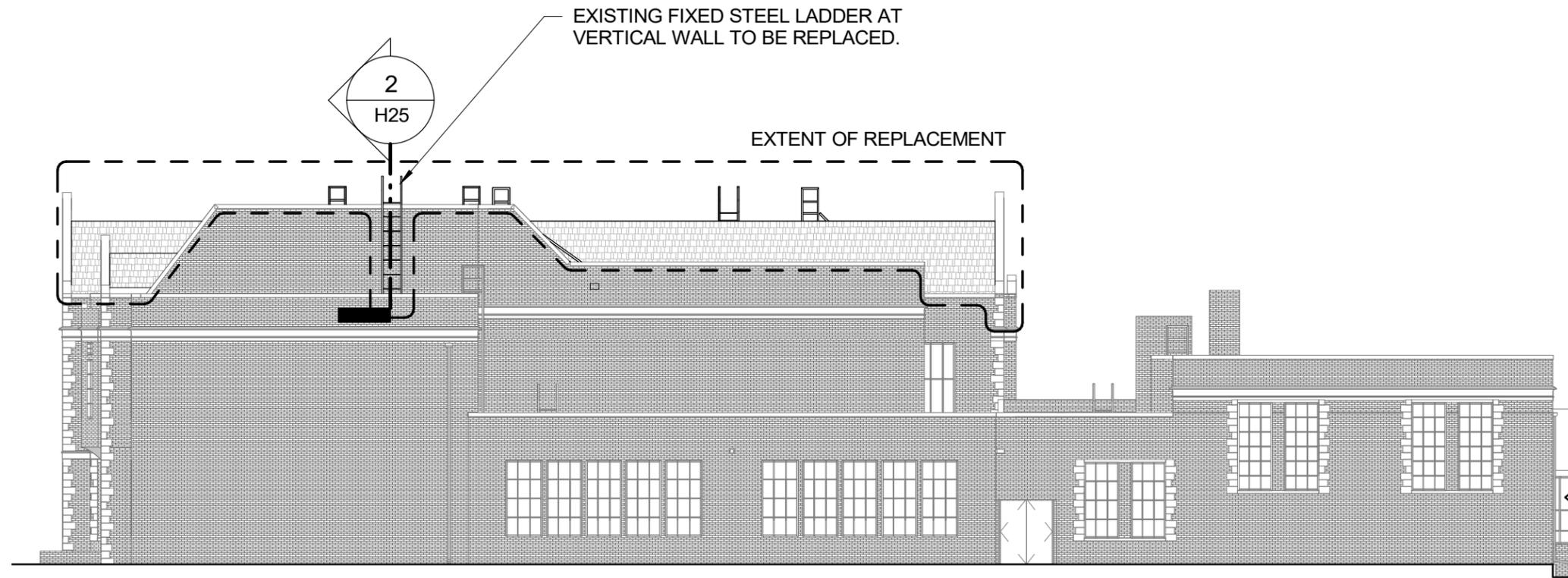
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1926 BUILDING ELEVATION



1 EAST ELEVATION - 1926 BUILDING
Scale: 1/16" = 1'-0"





1 SOUTH ELEVATION - 1926 BUILDING
 Scale: 1/16" = 1'-0"



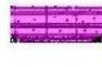
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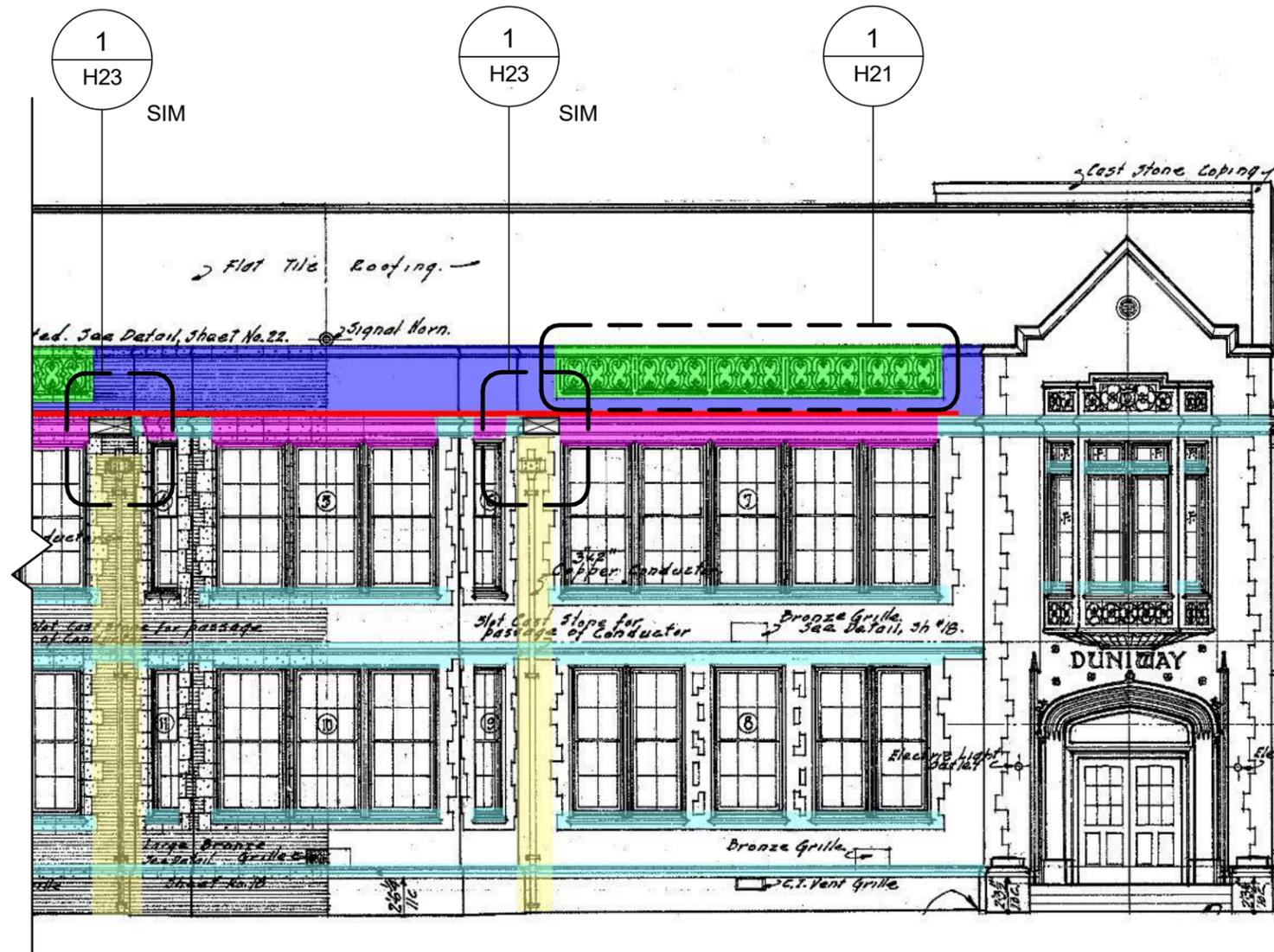
1926 BUILDING ELEVATION

NOTE:

1. ALL MASONRY REPAIR ELEVATIONS ARE DERIVED FROM SCANS OF THE ORIGINAL CONSTRUCTION DRAWINGS. SCALE IS APPROXIMATELY 1/8" = 1'-0".

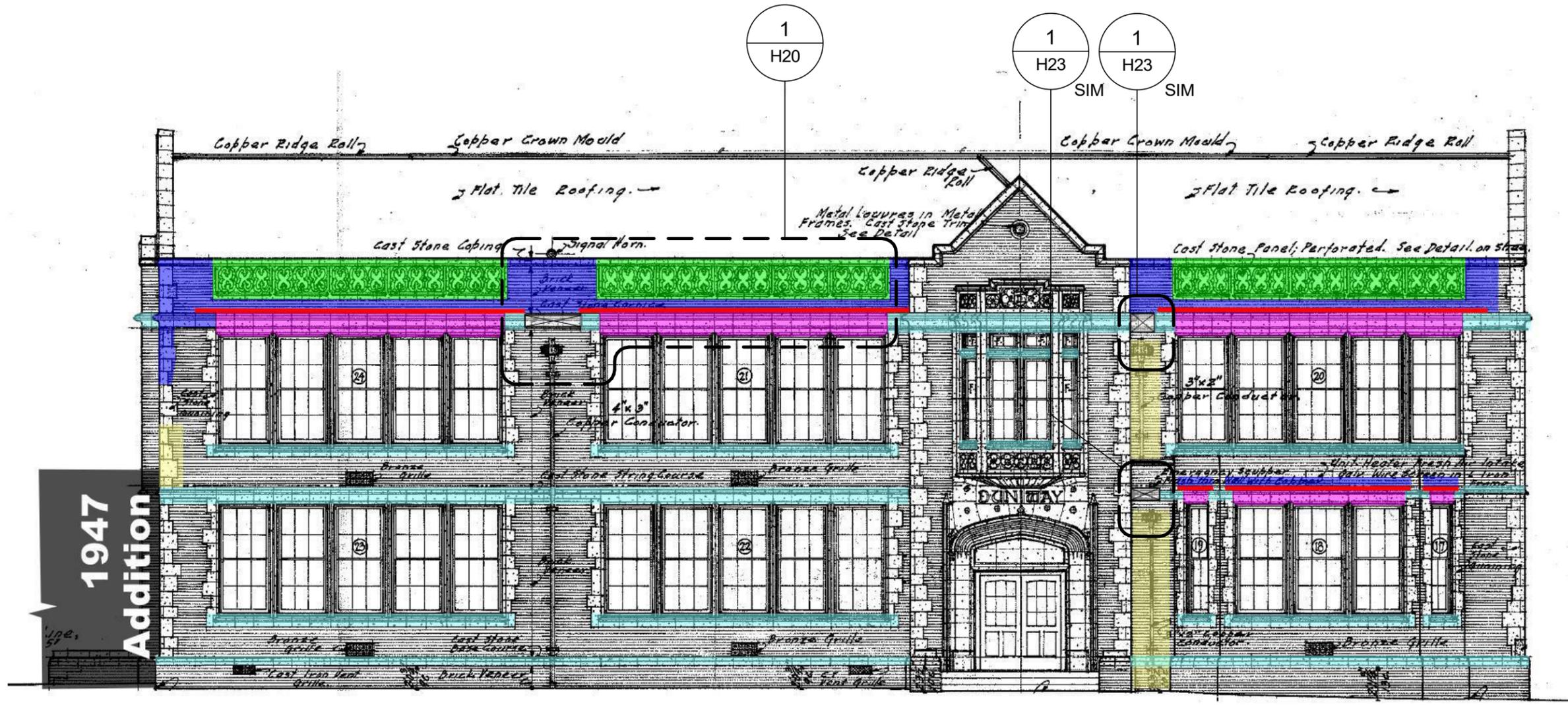
LEGEND:

- 
BALUSTRADE REPLACEMENT
 NEW GFRG BALUSTRADE WITH COLOR, TEXTURE AND PROFILE MATCHING ORIGINAL CAST STONE BALUSTRADE. TEMPORARY WOOD PARAPET INFILL REMOVAL. ORIGINAL CAST STONE BALUSTRADE REMOVED PREVIOUSLY.
- 
MASONRY FACADE DEMOLITION AND RECONSTRUCTION
 MASONRY FACADE REMOVAL, SALVAGE, AND RECONSTRUCTION TO ALLOW FOR REPAIRS. REINSTALL SALVAGED UNITS WHEN POSSIBLE. ANY NEW MASONRY TO MATCH EXISTING COLOR, TEXTURE AND PATTERNING.
- 
STEEL ANGLE REPLACEMENT
 NEW SHELF ANGLES TO REPLACE EXISTING CORRODED STEEL SHELF.
- 
CAST STONE WINDOW HEAD HELICAL ANCHORS
 CAST STONE WINDOW HEAD ELEMENTS TO BE SECURED WITH HELICAL ANCHORS AND FILLED WITH MORTAR TO MATCH CAST STONE. GROUND AND POINT MORTAR JOINTS, WEATHER CAP SET IN SEALANT AT SKYWARD JOINTS.
- 
WEATHER CAPS AT CAST STONE SKYWARD MORTAR JOINTS
 GROUND AND POINT MORTAR JOINTS, NEW WEATHER CAP SET IN SEALANT AT SKYWARD JOINTS.
- 
TUCK POINTING
 DETERIORATED MORTAR JOINTS TO BE FULLY RAKED/GROUND AND POINTED TO MATCH EXISTING. REPLACE BRICK UNITS TO MATCH ORIGINAL WHERE SUBSTANTIALLY DETERIORATED.
- 
CAST STONE SPALL REPAIR
 NEW IN-PLACE PATCHING OF SPALLED DECORATIVE CAST STONE ELEMENTS WITH REPAIR MORTAR.
- 
CAST STONE REPLACEMENT AND RECONFIGURATION
 REMOVE EXISTING CAST STONE CORNICE AT NEW SCUPPER LOCATIONS. NEW GFRG CORNICE OF MODIFIED CONFIGURATION AT REMOVED LOCATION.



1 WEST ELEVATION (PARTIAL)
Scale: NTS



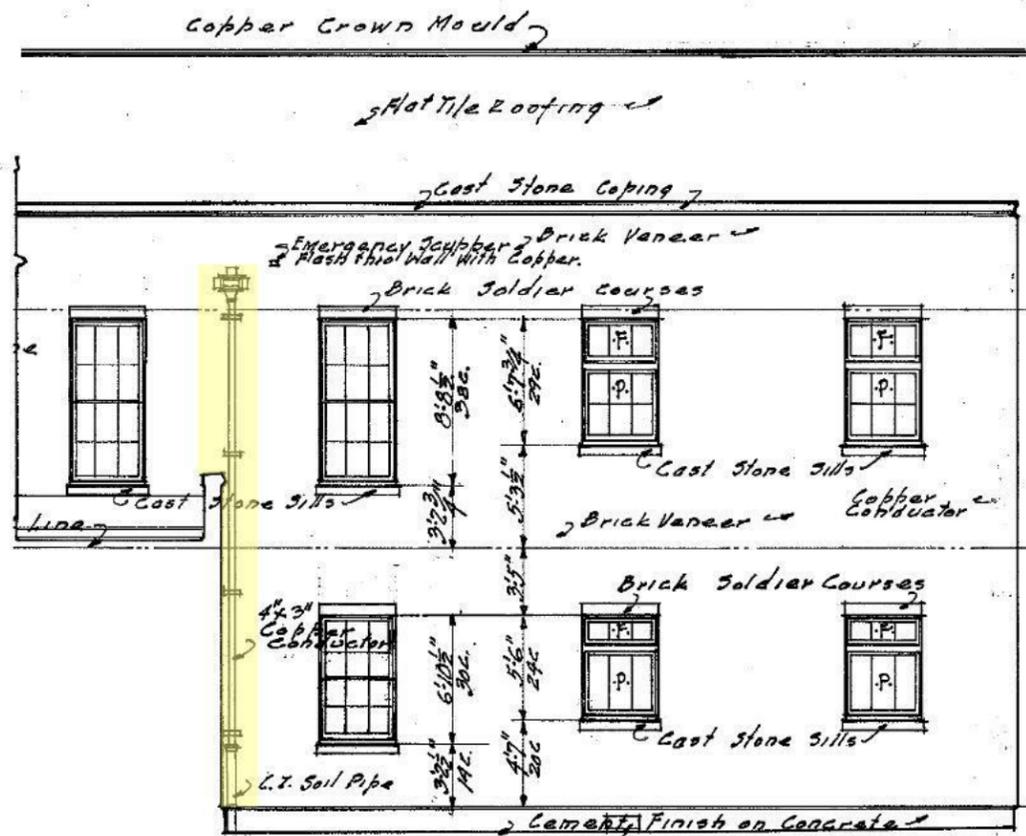


1 NORTH ELEVATION
Scale: NTS

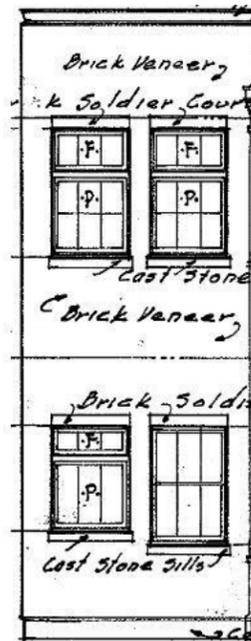


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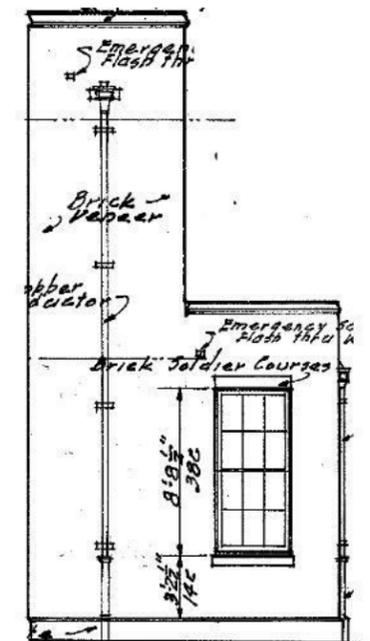
MASONRY REPAIR ELEVATION



1 EAST ELEVATION - COURTYARD
Scale: NTS

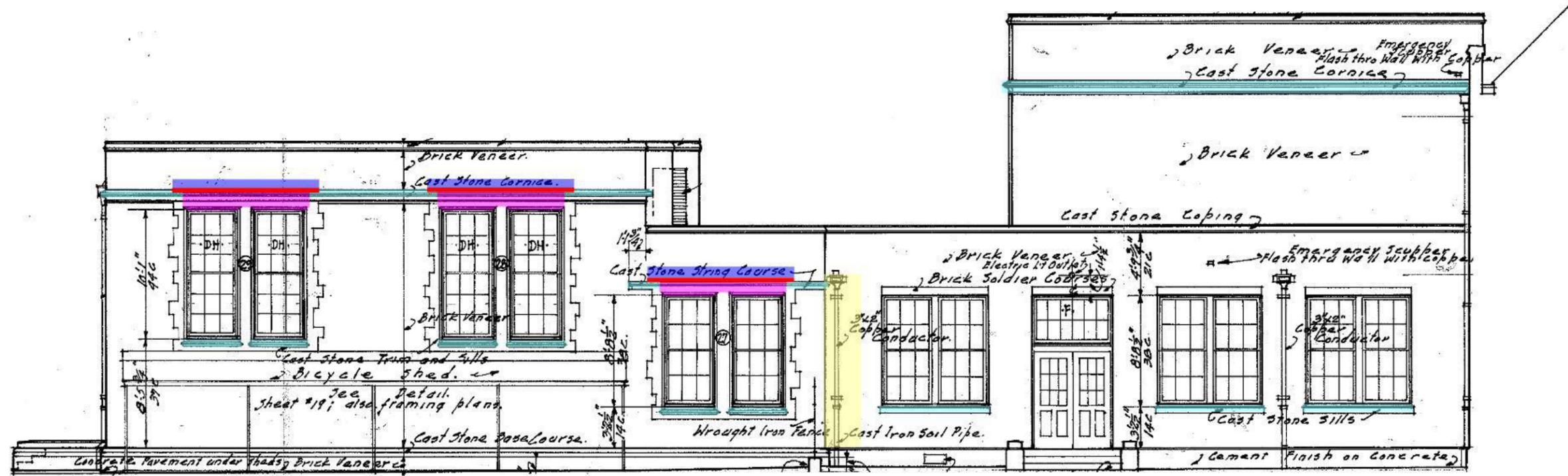


2 S ELEVATION - COURTYARD
Scale: NTS



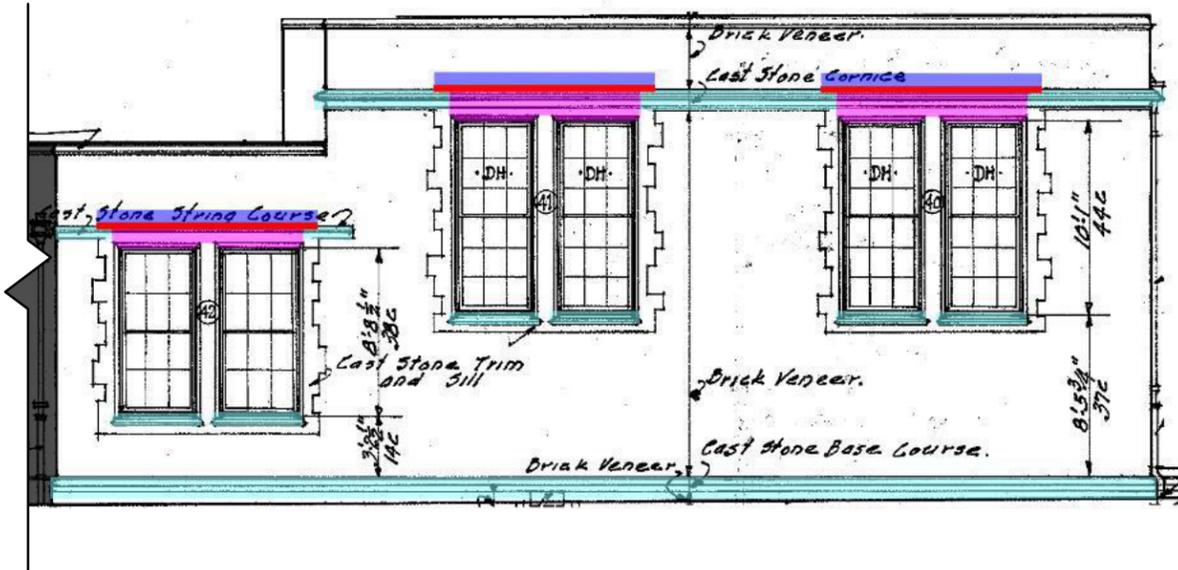
3 W ELEVATION - COURTYARD
Scale: NTS





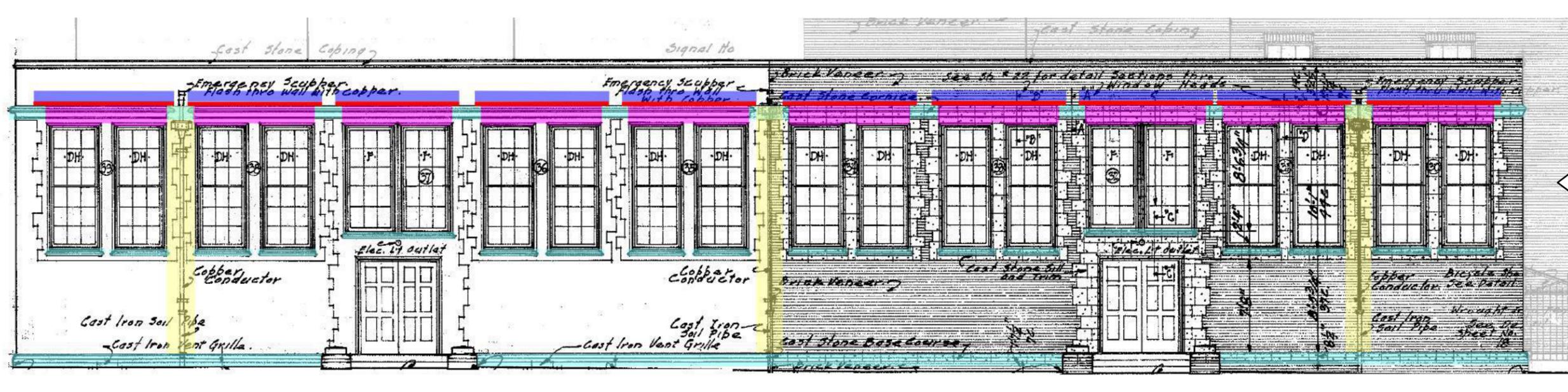
1 NORTH ELEVATION - COURTYARD
 Scale: NTS





2 SOUTH ELEVATION AT GYMNASIUMS (PARTIAL)

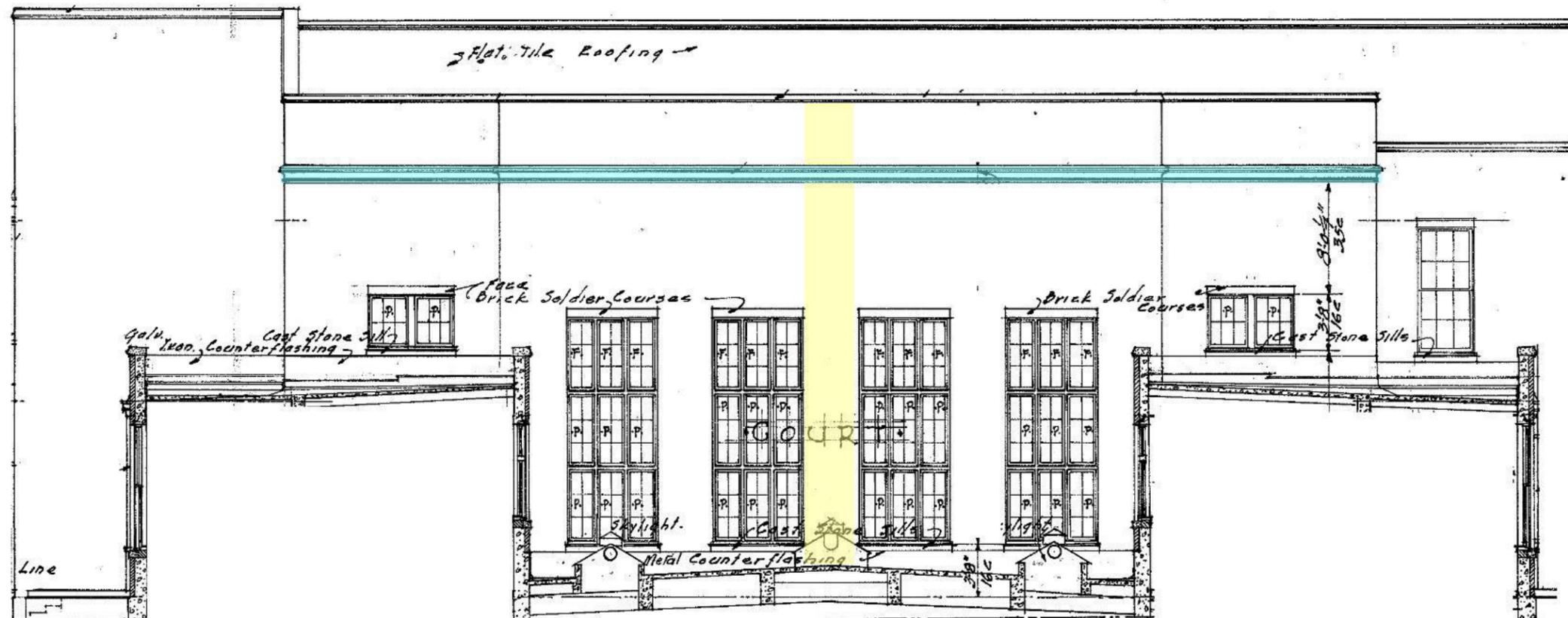
Scale: NTS



1 EAST ELEVATION AT GYMNASIUMS (PARTIAL)

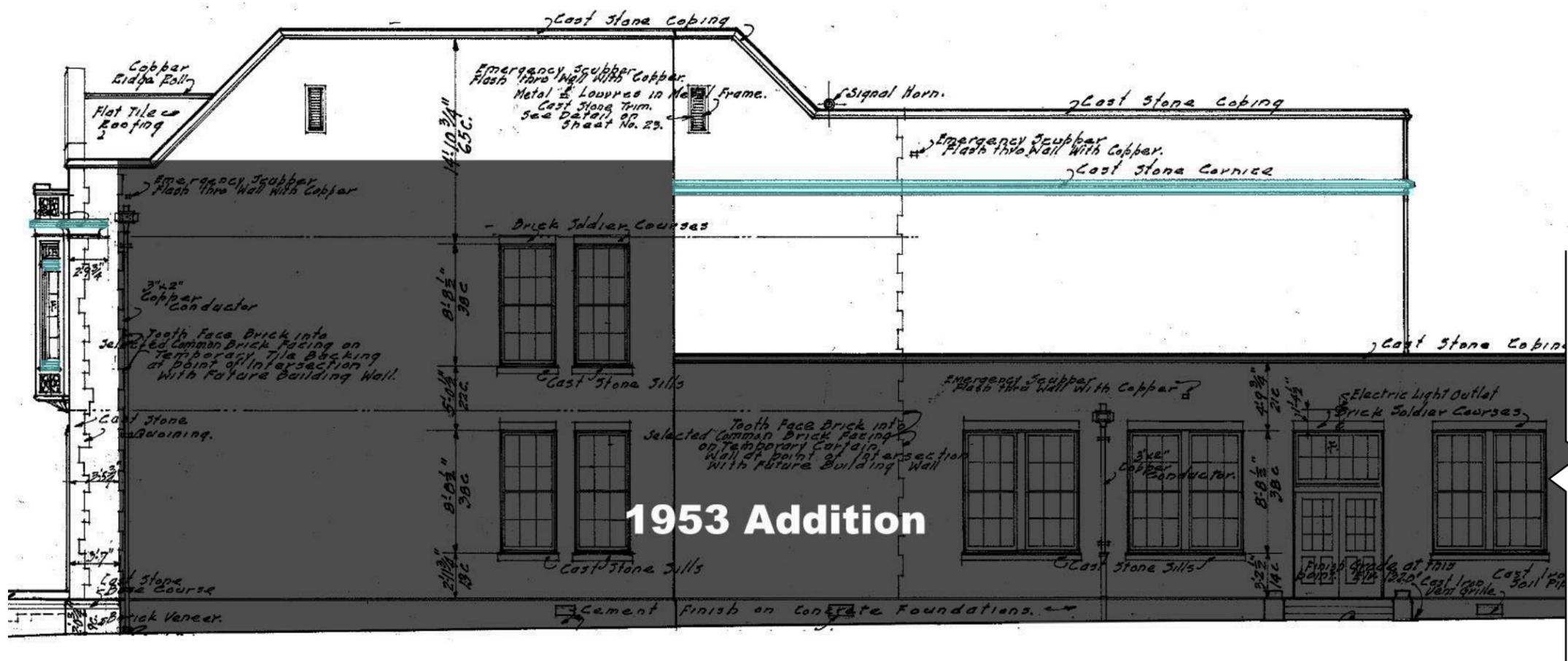
Scale: NTS





1 EAST ELEVATION AT THEATER (PARTIAL)
Scale: NTS





1953 Addition

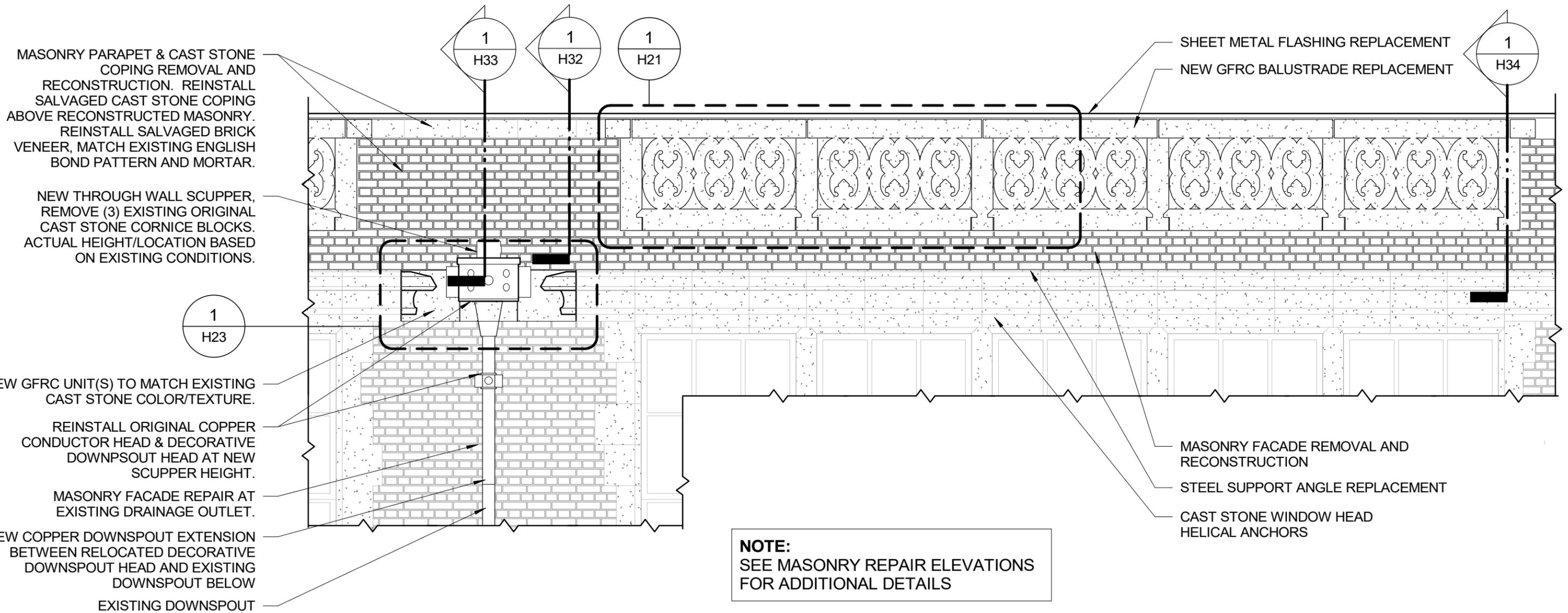
1 SOUTH ELEVATION (PARTIAL)
Scale: NTS



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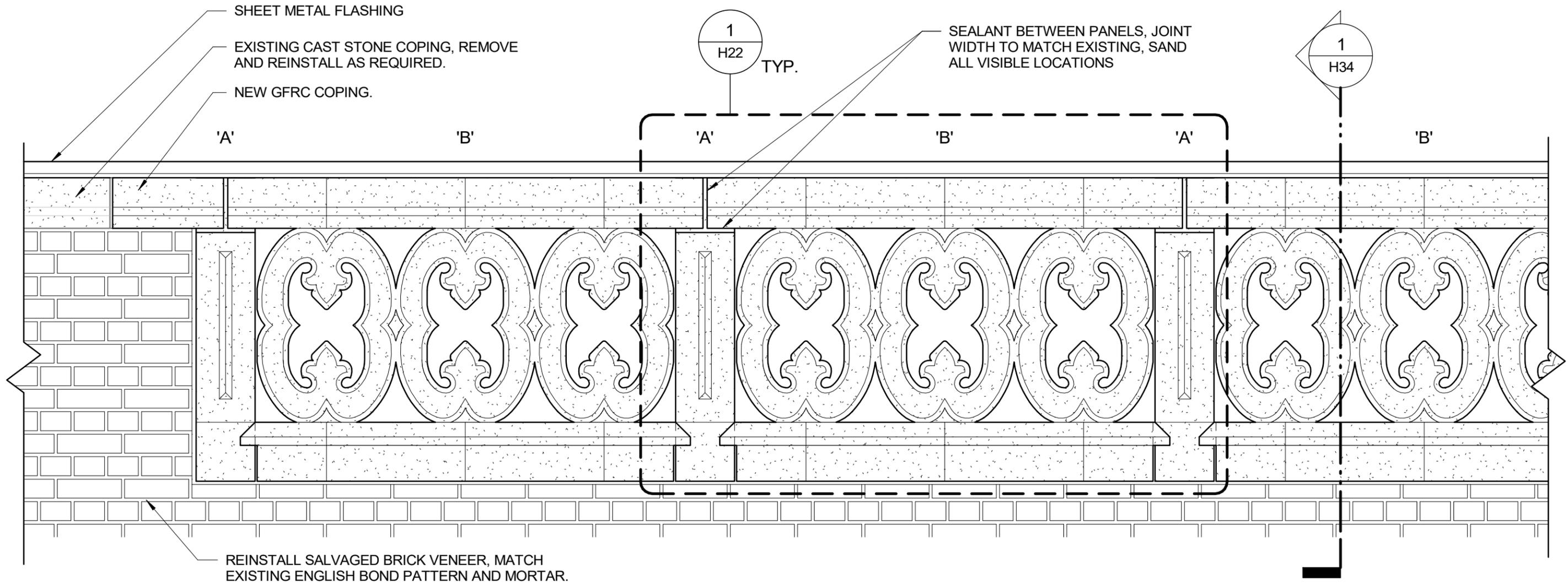
MASONRY REPAIR ELEVATION

H19



1 BALUSTRADE, PARAPET AND DOWNSPOUT RECONSTRUCTION ELEVATION, TYPICAL
Scale: 3/8" = 1'-0"

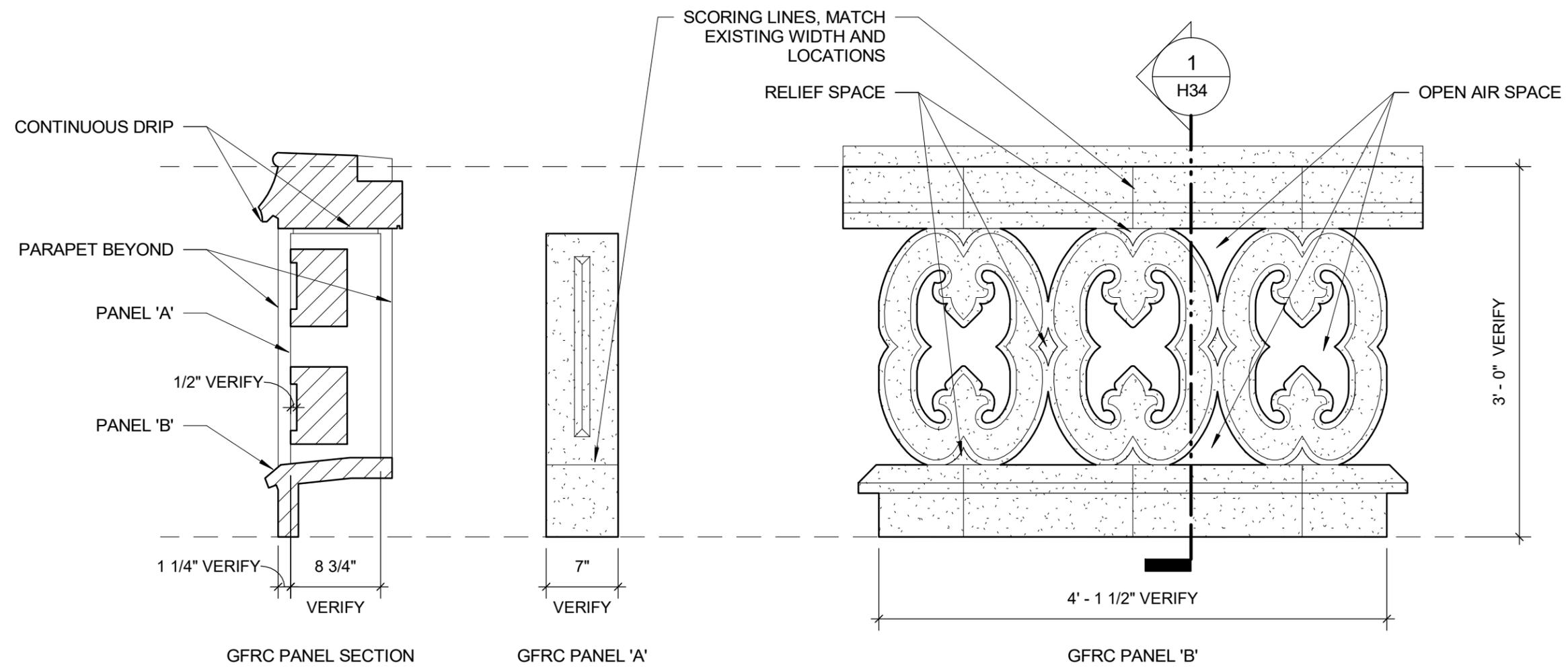




1 **GFRC BALUSTRADE ENLARGED ELEVATION**
 Scale: 1" = 1'-0"



- GFRC NOTES:**
1. DIMENSIONS SHOWN ARE DERIVED FROM ORIGINAL 1926 DRAWINGS. GFRC MANUFACTURER TO MATCH DIMENSIONS AND PROFILES OF ORIGINAL SALVAGED COMPONENTS, AVAILABLE BY REQUEST FROM THE OWNER.
 2. GFRC FINISH TO MATCH ORIGINAL IN APPEARANCE, COLOR, TEXTURE AND SCALE OF ORIGINAL SALVAGED COMPONENTS, PER APPROVAL BY OWNER AND ARCHITECT.
 3. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION AND SUBMITTAL REQUIREMENTS.

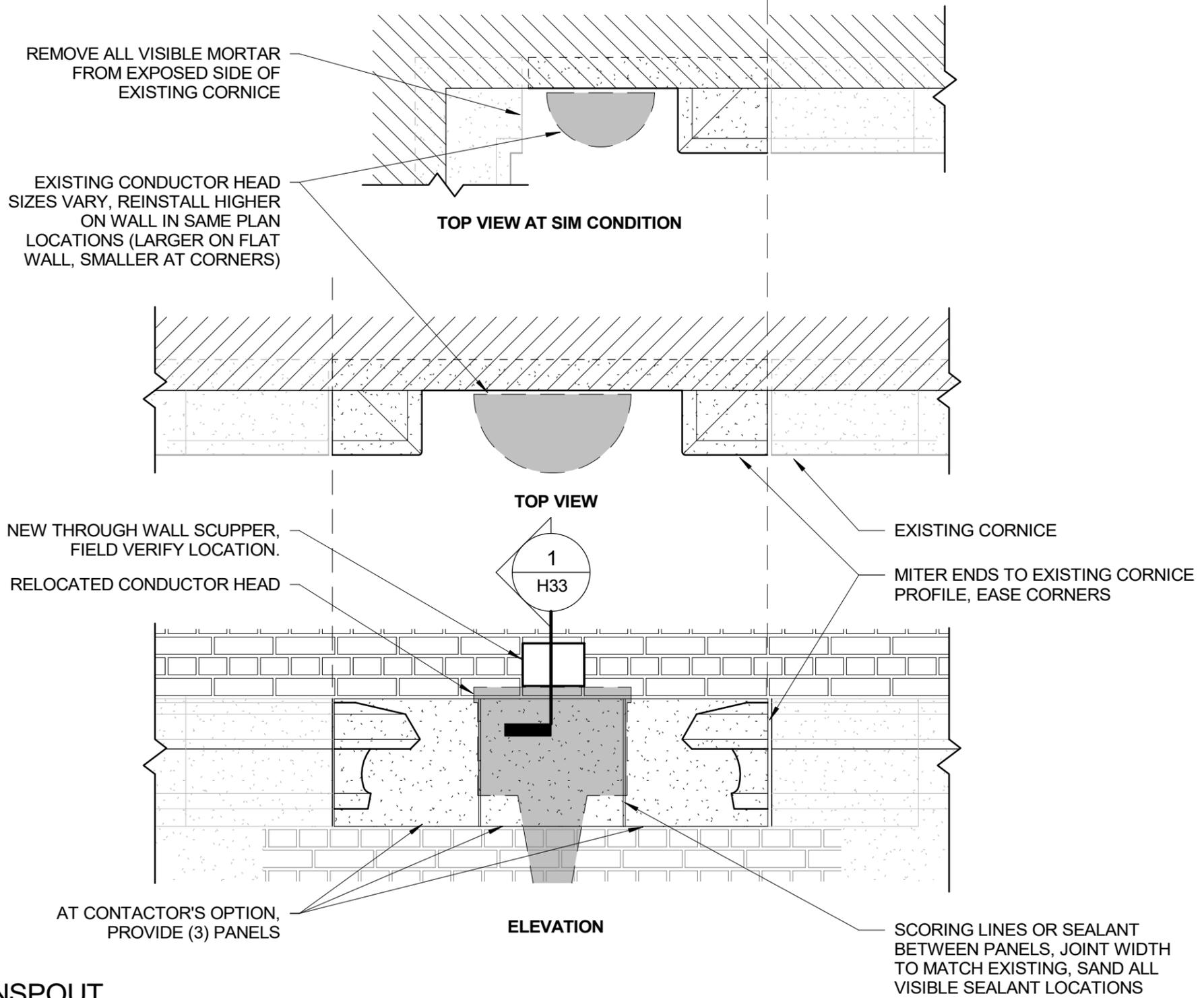


1 GFRC BALUSTRADE UNIT DETAILS
 Scale: 1" = 1'-0"



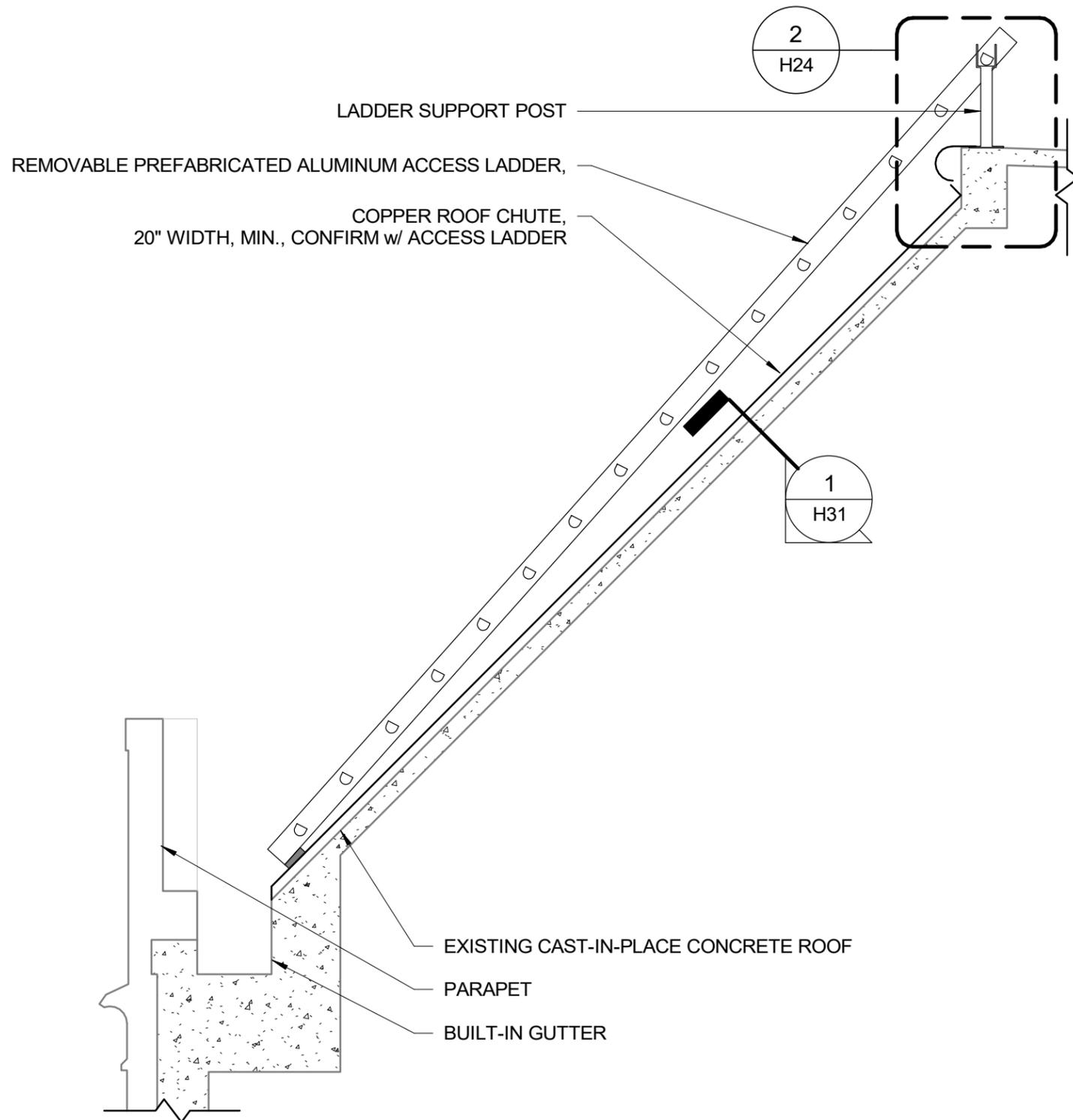
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DETAILS

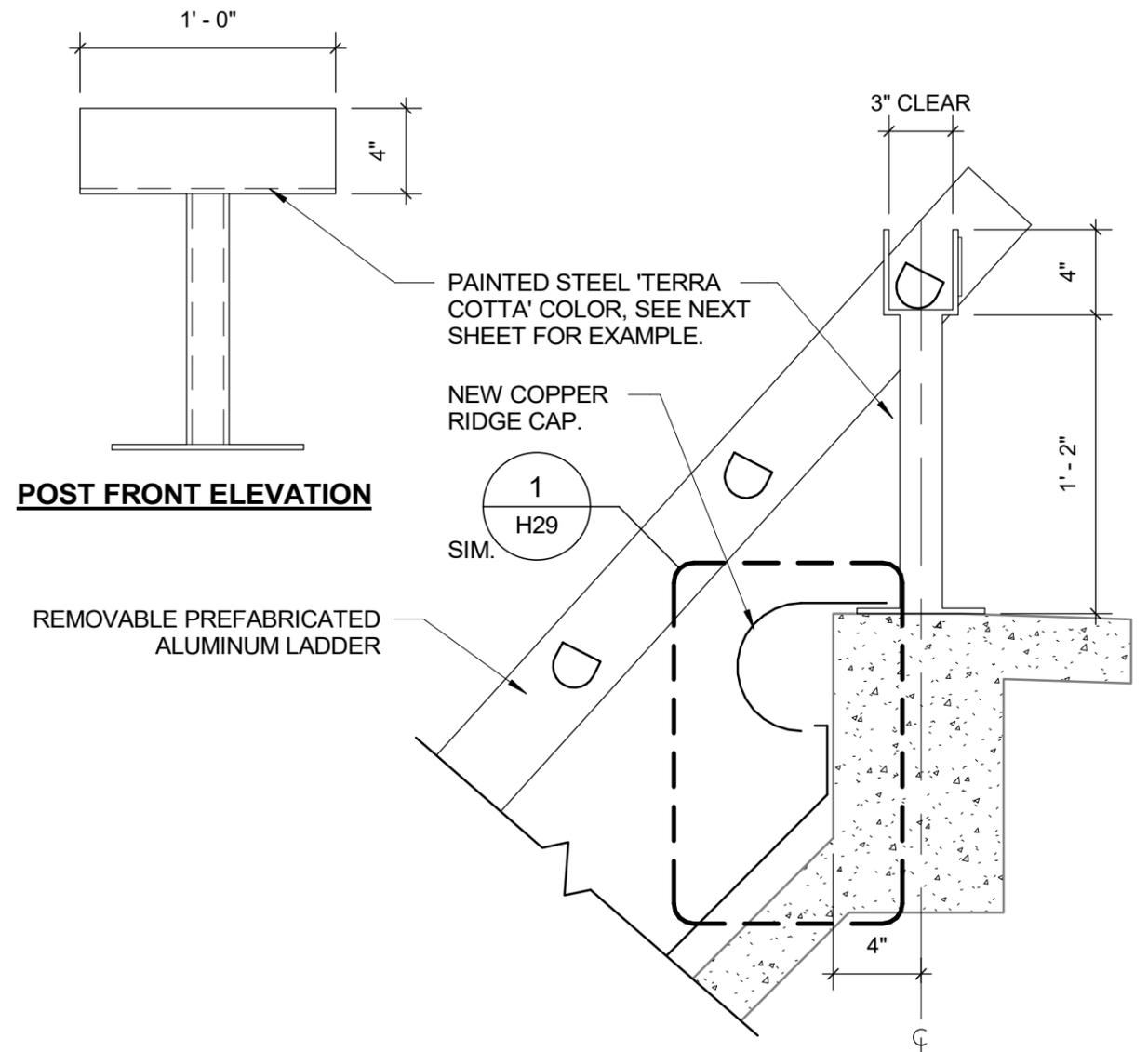


1 **GFRC CORNICE AT DOWNSPOUT**
 Scale: 3/4" = 1'-0"





1 LADDER CHUTE SECTION
 Scale: 1/2" = 1'-0"



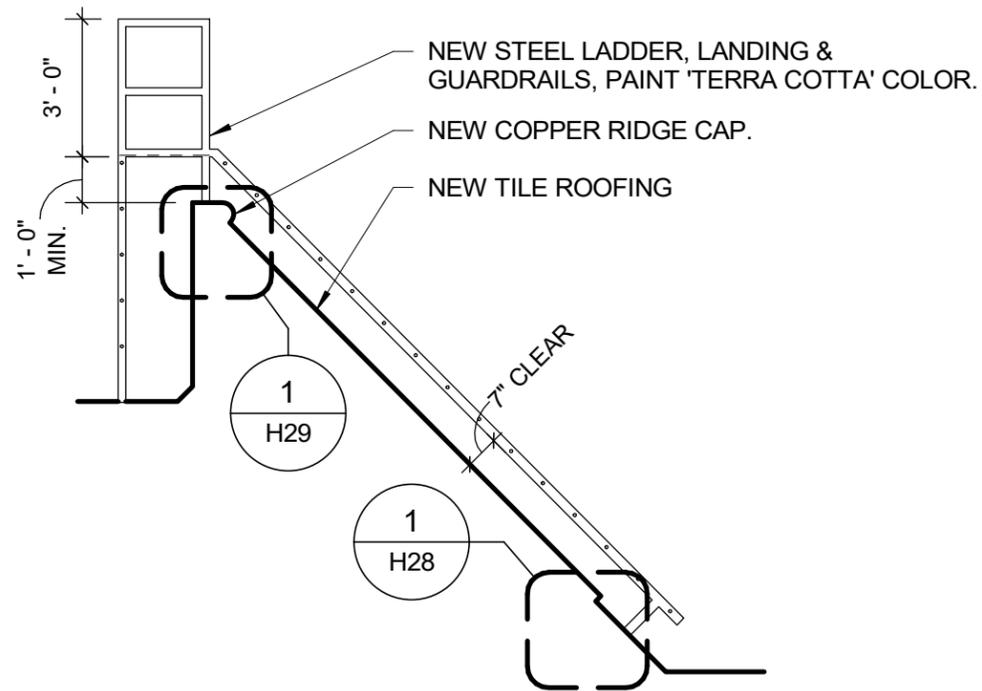
2 LADDER POST DETAIL
 Scale: 1 1/2" = 1'-0"



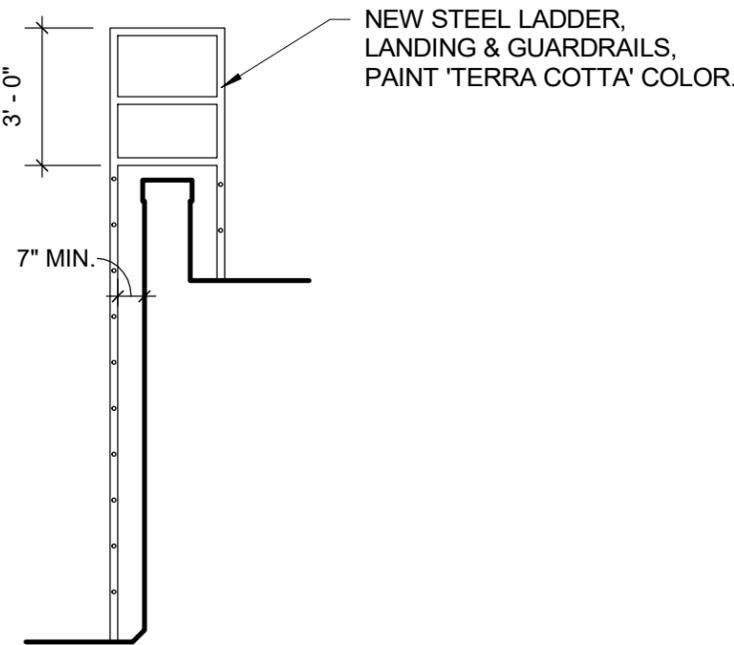


TERRA COTTA | SRI: 42

COLOR SAMPLE OF STEEL PAINT

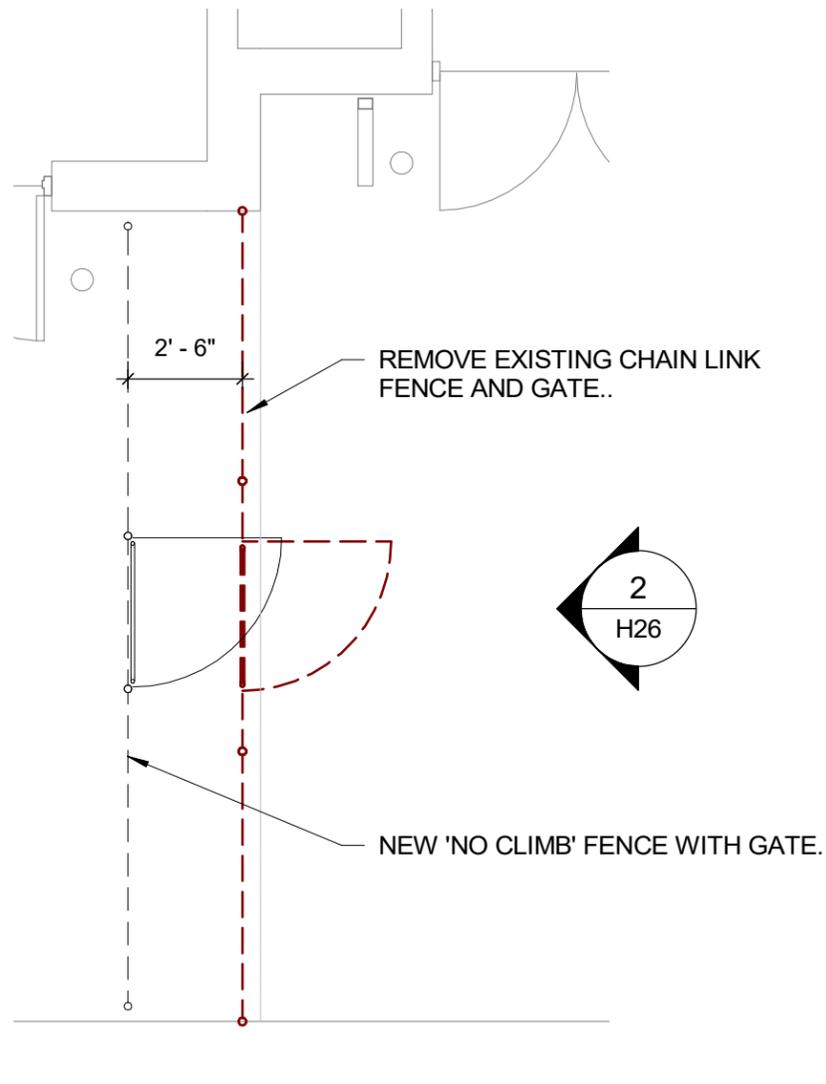


1 ROOF LADDER SECTION AT SLOPED ROOF
Scale: 1/4" = 1'-0"



2 ROOF LADDER SECTION AT PARAPET
Scale: 1/4" = 1'-0"

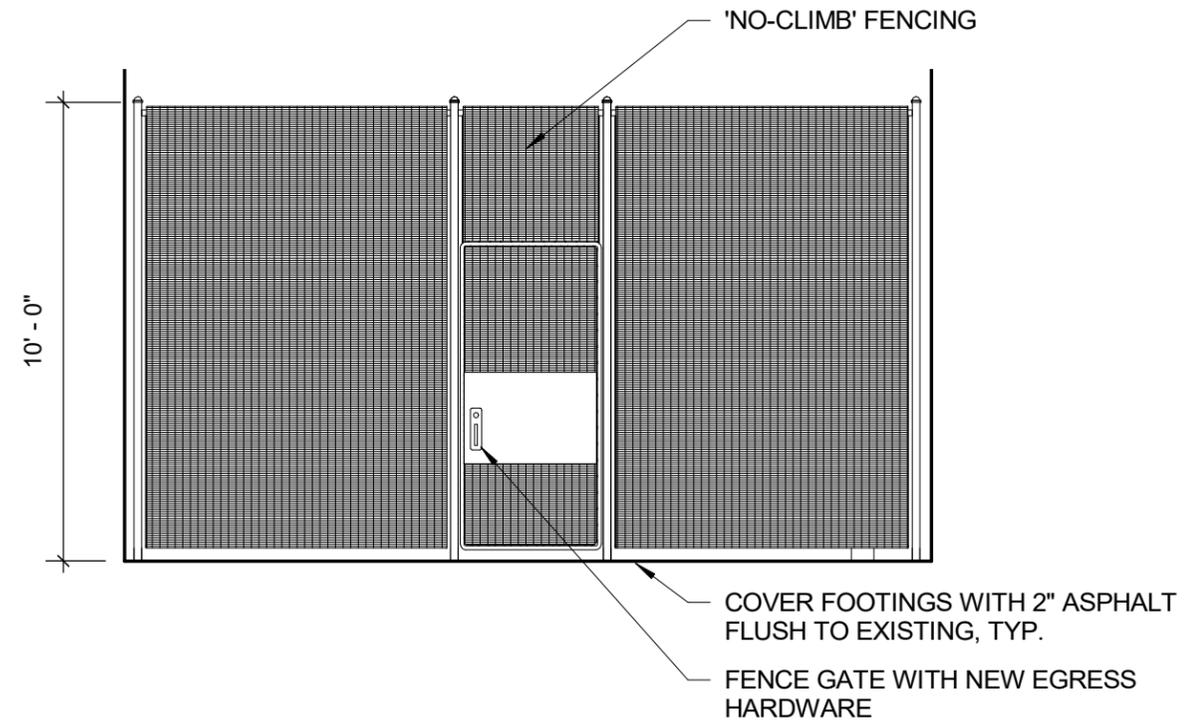




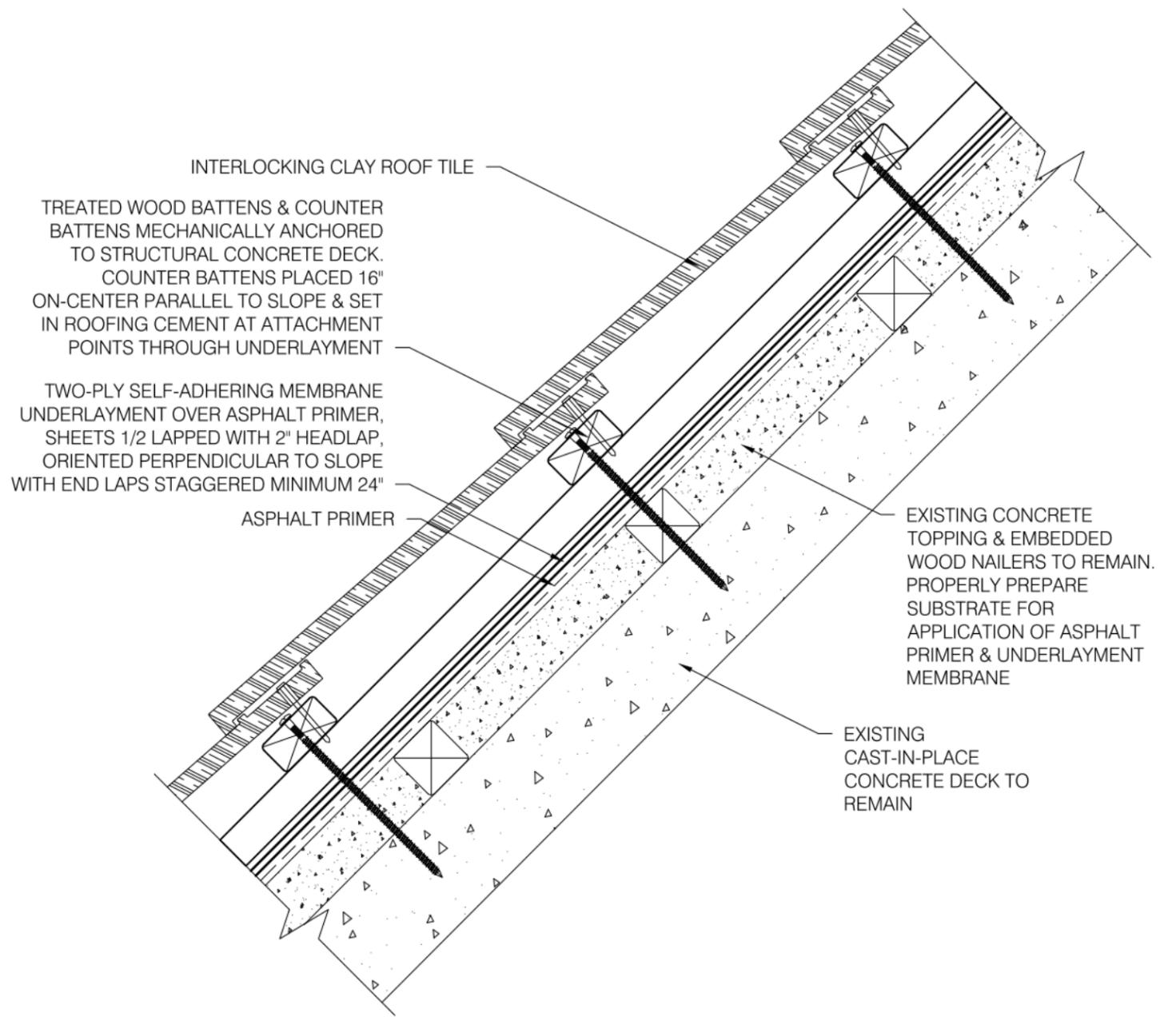
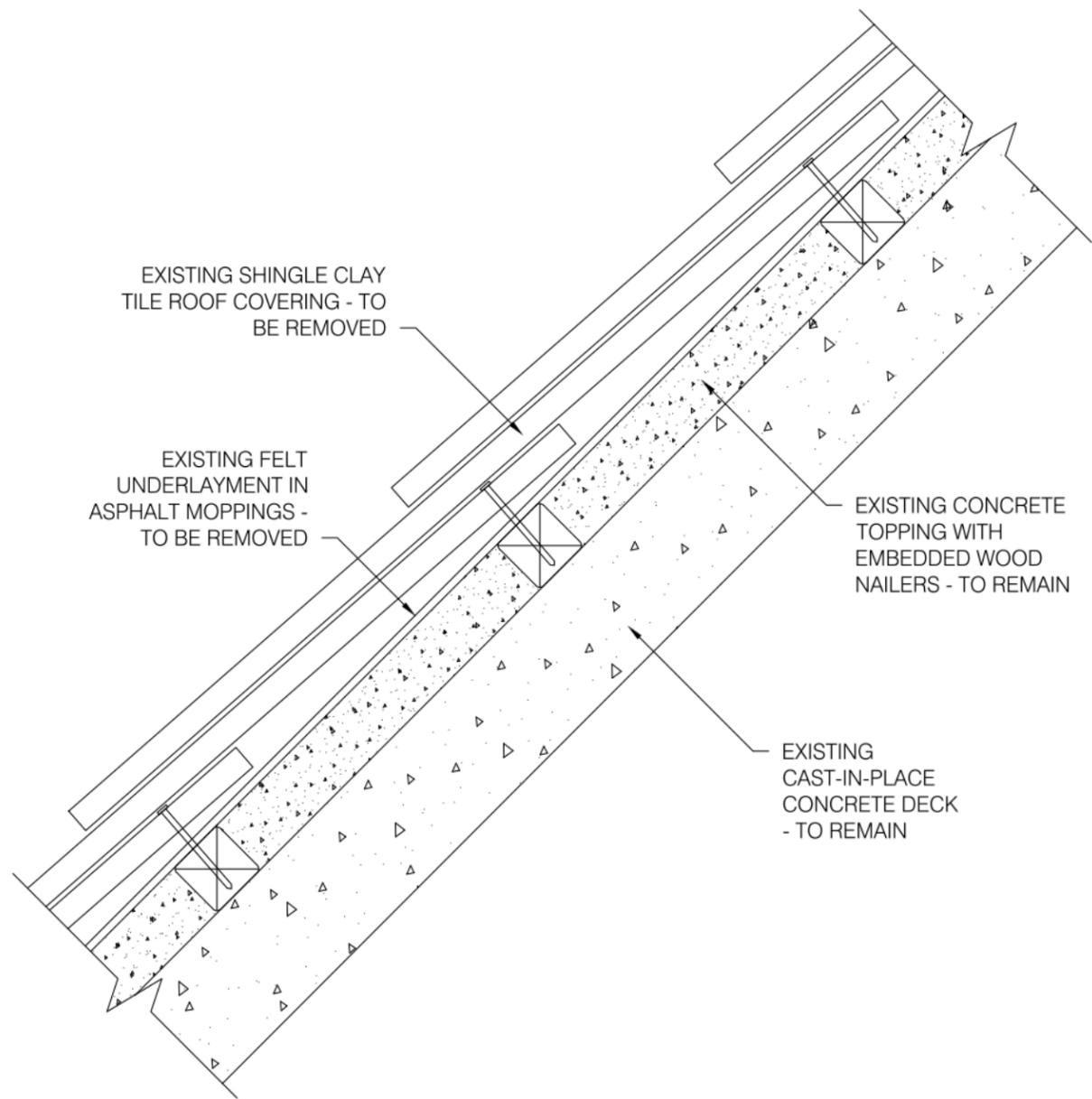
1 ENLARGED PLAN AT NEW FENCE
Scale: 1/4" = 1'-0"



NO-CLIMB FENCING
AMERISTAR WIREWORKS ANTI-CLIMB FENCE PANELS
WELDED GALVANIZED WIRE, PAINTED



2 FENCE ELEVATION
Scale: 1/4" = 1'-0"



1 **EXISTING TILE ROOF**
Scale: 3" = 1'-0"

2 **PROPOSED TILE ROOF**
Scale: 3" = 1'-0"



TREATED WOOD BATTENS & COUNTER BATTENS
MECHANICALLY ANCHORED TO STRUCTURAL CONCRETE
DECK. COUNTER BATTENS PLACED 16" ON-CENTER
PARALLEL TO SLOPE & SET IN ROOFING CEMENT AT
ATTACHMENT POINTS THROUGH UNDERLAYMENT

TWO-PLY SELF-ADHERING MEMBRANE
UNDERLAYMENT OVER ASPHALT PRIMER,
SHEETS 1/2 LAPPED WITH 2" HEADLAP,
ORIENTED PERPENDICULAR TO SLOPE WITH
END LAPS STAGGERED MINIMUM 24"

ASPHALT PRIMER

INTERLOCKING CLAY ROOF TILE

TREATED WOOD EDGE BATTEN
MECHANICALLY ANCHORED TO STRUCTURAL
CONCRETE DECK. COUNTER BATTENS
PLACED 16" ON CENTER PARALLEL TO SLOPE
& SET IN ROOFING CEMENT AT ATTACHMENT
POINTS THROUGH UNDERLAYMENT

20 OZ COPPER TWO-PIECE
COUNTER FLASHING WITH BATTEN
RECEIVER MECHANICALLY
ANCHORED 16" ON CENTER WITH
BRASS HELICAL ANCHORS THROUGH
BRASS WASHERS BOTH SIDES

EXISTING CONCRETE TOPPING &
EMBEDDED WOOD NAILERS TO REMAIN.
PROPERLY PREPARE SUBSTRATE FOR
APPLICATION OF ASPHALT PRIMER &
UNDERLAYMENT MEMBRANE

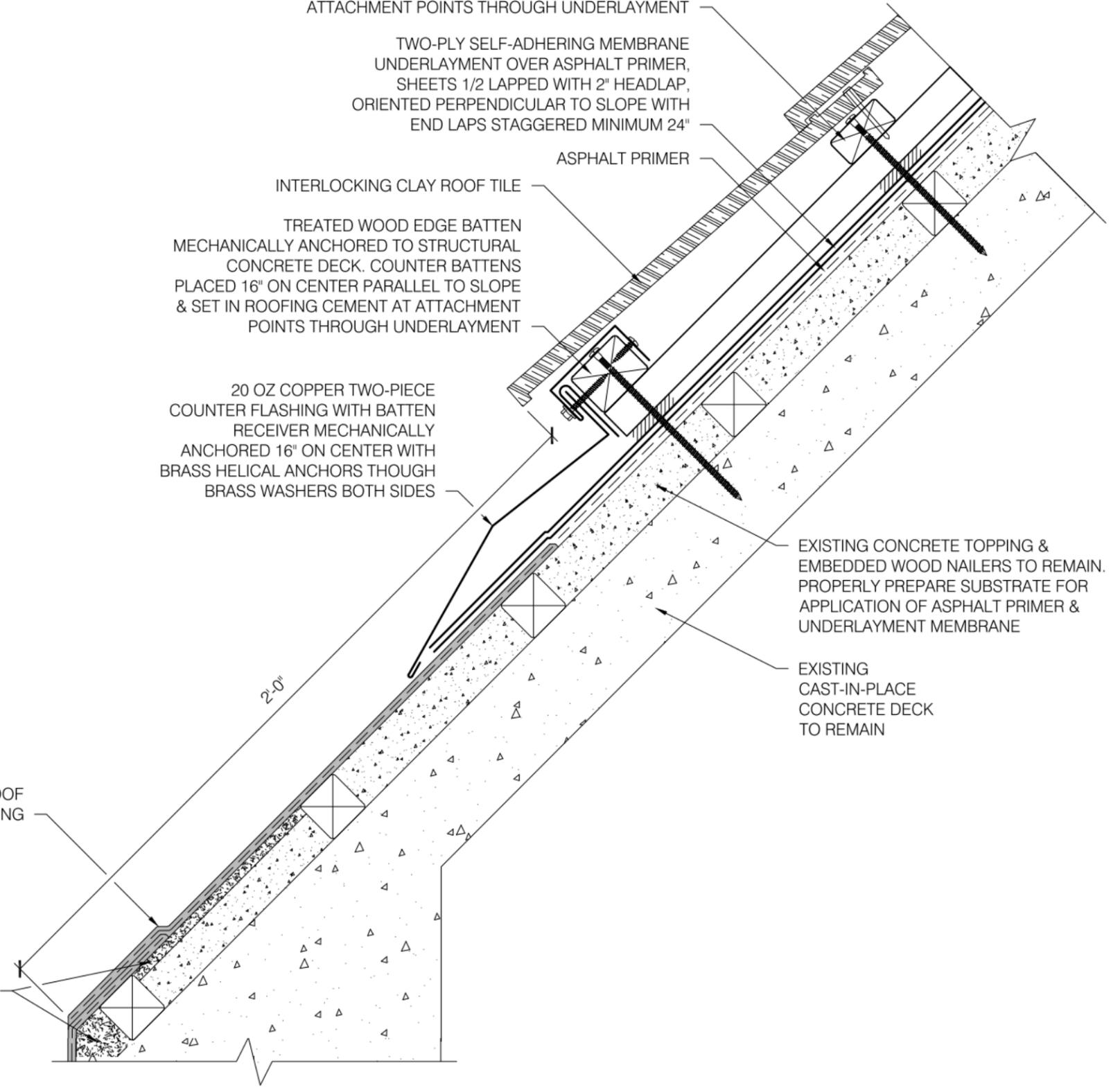
EXISTING
CAST-IN-PLACE
CONCRETE DECK
TO REMAIN

REINFORCED LIQUID ROOF
MEMBRANE BASE FLASHING

REMOVE LOOSE MATERIAL &
PROVIDE PATCHING MORTAR
APPLICATION AS NECESSARY TO
PROVIDE A UNIFORM & IN-PLANE
SURFACE THAT IS AN APPROPRIATE
RECEIVING SUBSTRATE FOR THE
REINFORCED LIQUID ROOF
MEMBRANE BASE FLASHING

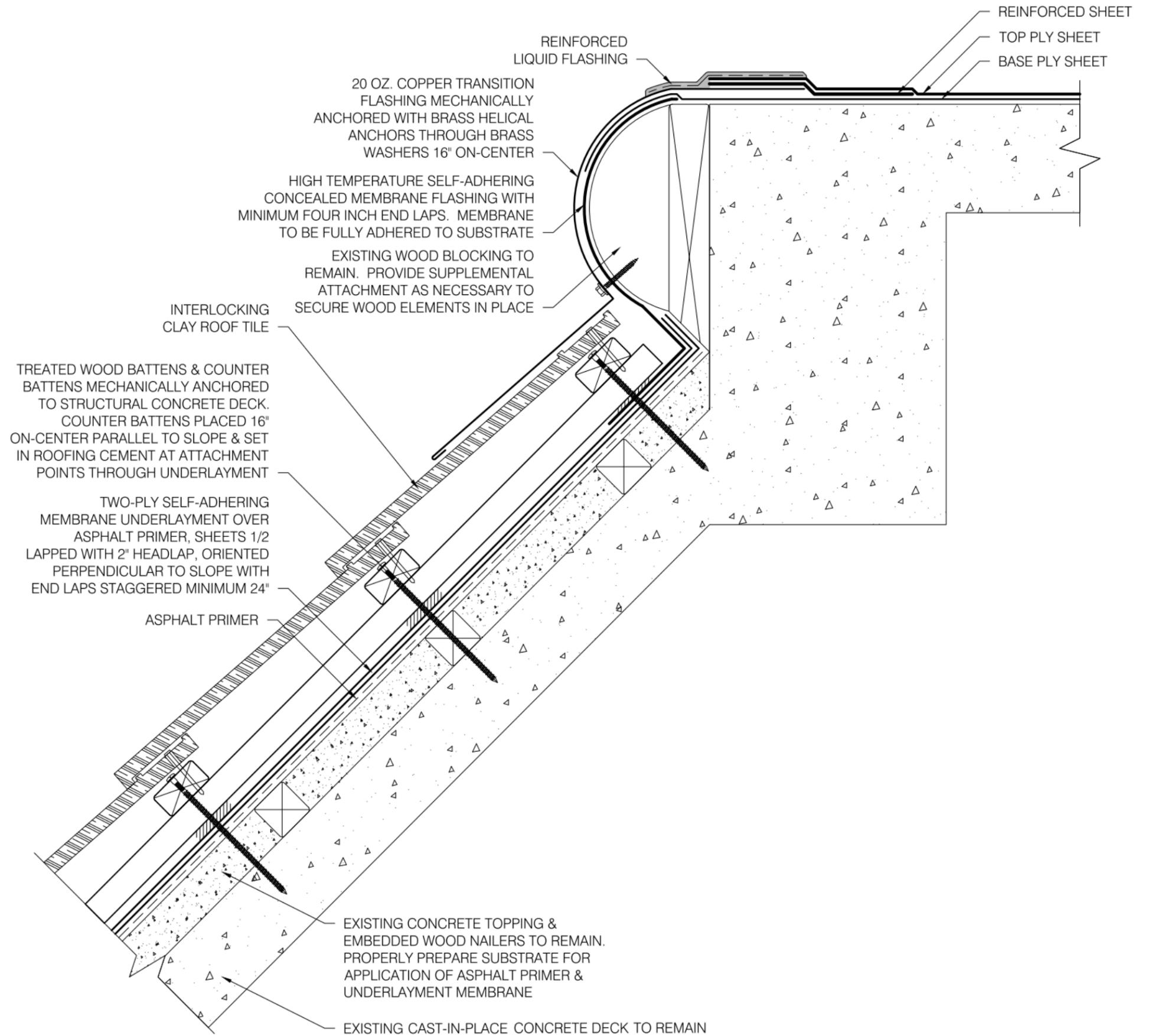
2'-0"

1 **TILE ROOF LOW TRANSITION**
Scale: 3" = 1'-0"



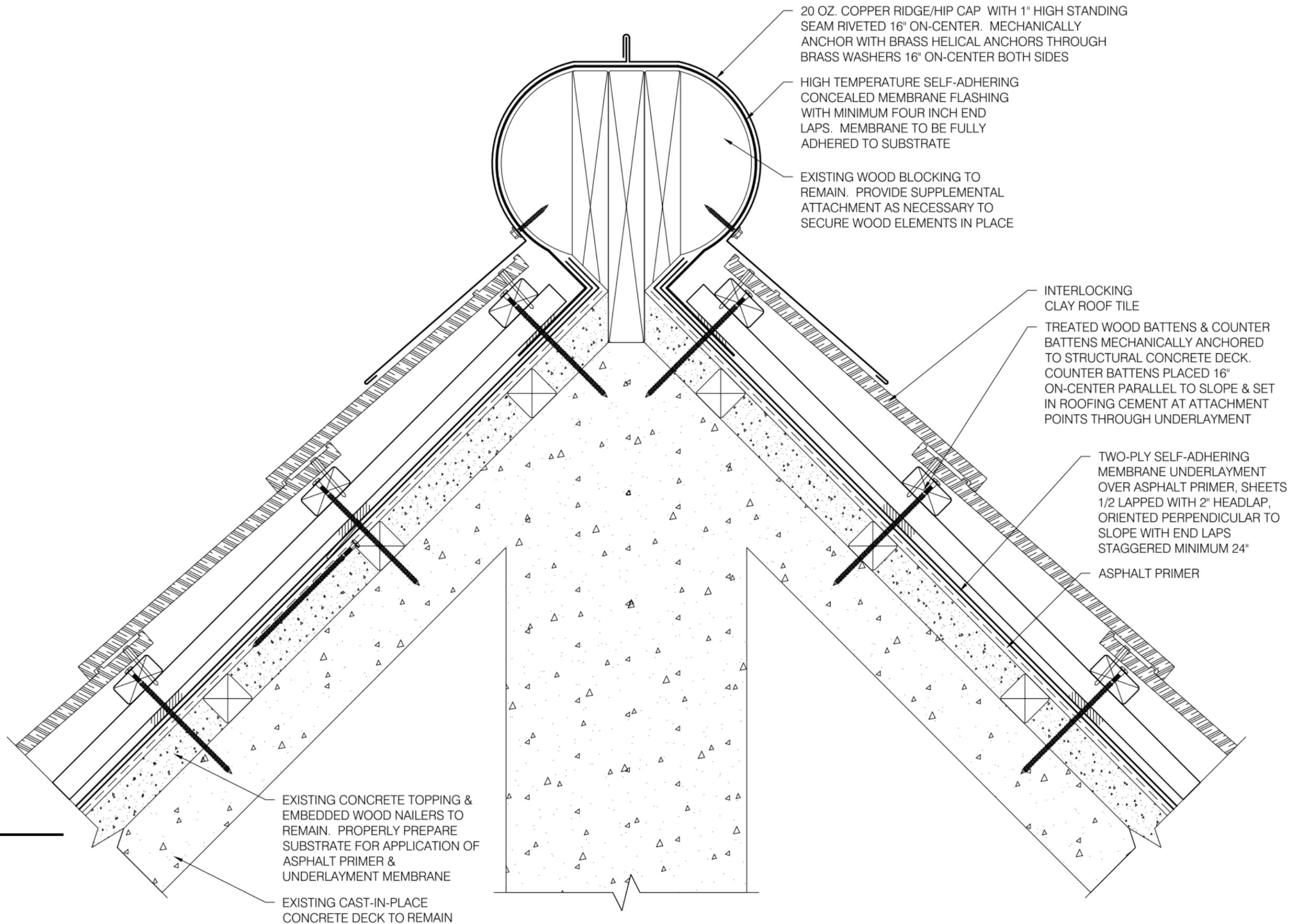
ROOF DETAIL





1 RIDGE CAP DETAIL
 Scale: 3" = 1'-0"





20 OZ. COPPER RIDGE/HIP CAP WITH 1" HIGH STANDING SEAM RIVETED 16" ON-CENTER. MECHANICALLY ANCHOR WITH BRASS HELICAL ANCHORS THROUGH BRASS WASHERS 16" ON-CENTER BOTH SIDES

HIGH TEMPERATURE SELF-ADHERING CONCEALED MEMBRANE FLASHING WITH MINIMUM FOUR INCH END LAPS. MEMBRANE TO BE FULLY ADHERED TO SUBSTRATE

EXISTING WOOD BLOCKING TO REMAIN. PROVIDE SUPPLEMENTAL ATTACHMENT AS NECESSARY TO SECURE WOOD ELEMENTS IN PLACE

INTERLOCKING CLAY ROOF TILE

TREATED WOOD BATTENS & COUNTER BATTENS MECHANICALLY ANCHORED TO STRUCTURAL CONCRETE DECK. COUNTER BATTENS PLACED 16" ON-CENTER PARALLEL TO SLOPE & SET IN ROOFING CEMENT AT ATTACHMENT POINTS THROUGH UNDERLAYMENT

TWO-PLY SELF-ADHERING MEMBRANE UNDERLAYMENT OVER ASPHALT PRIMER, SHEETS 1/2 LAPPED WITH 2" HEADLAP, ORIENTED PERPENDICULAR TO SLOPE WITH END LAPS STAGGERED MINIMUM 24"

ASPHALT PRIMER

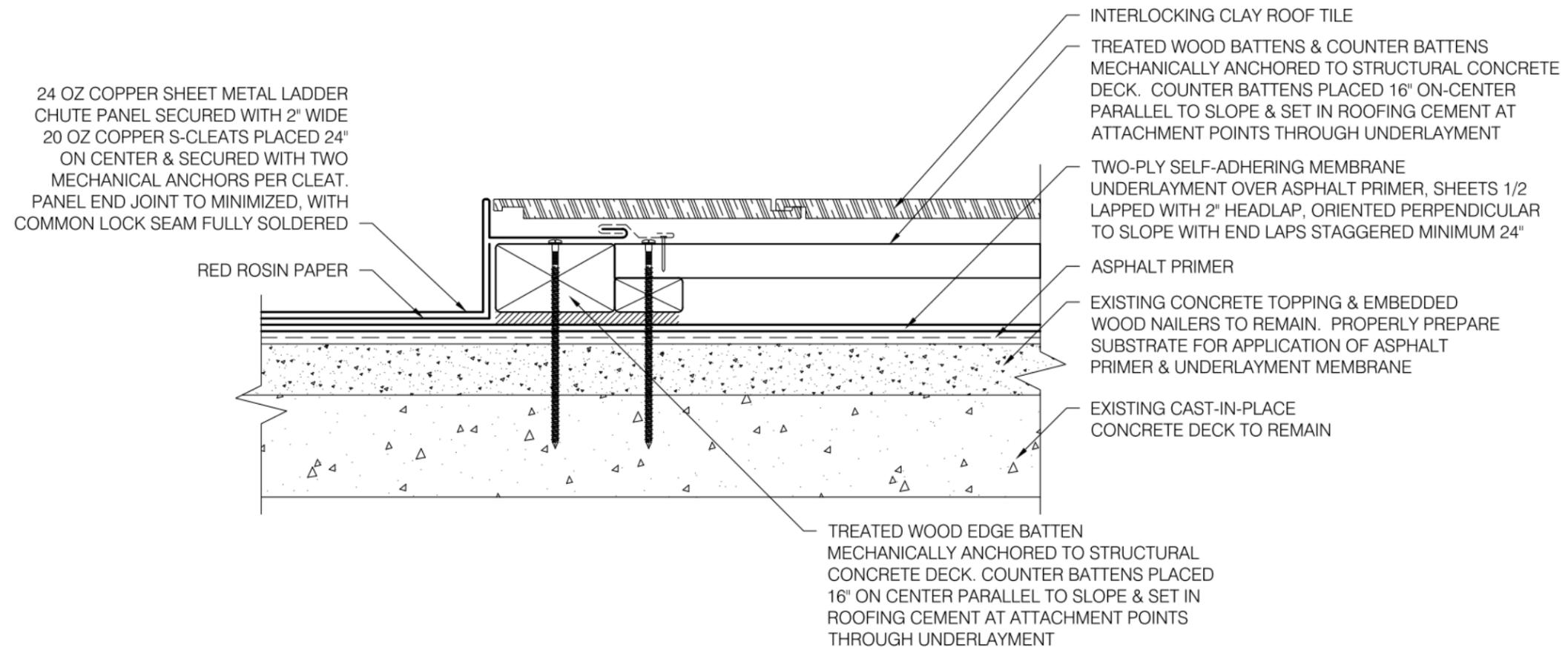
EXISTING CONCRETE TOPPING & EMBEDDED WOOD NAILERS TO REMAIN. PROPERLY PREPARE SUBSTRATE FOR APPLICATION OF ASPHALT PRIMER & UNDERLAYMENT MEMBRANE

EXISTING CAST-IN-PLACE CONCRETE DECK TO REMAIN

1 RIDGE/HIP CAP
Scale: 3" = 1'-0"

ROOF DETAIL





1

LADDER CHUTE SECTION

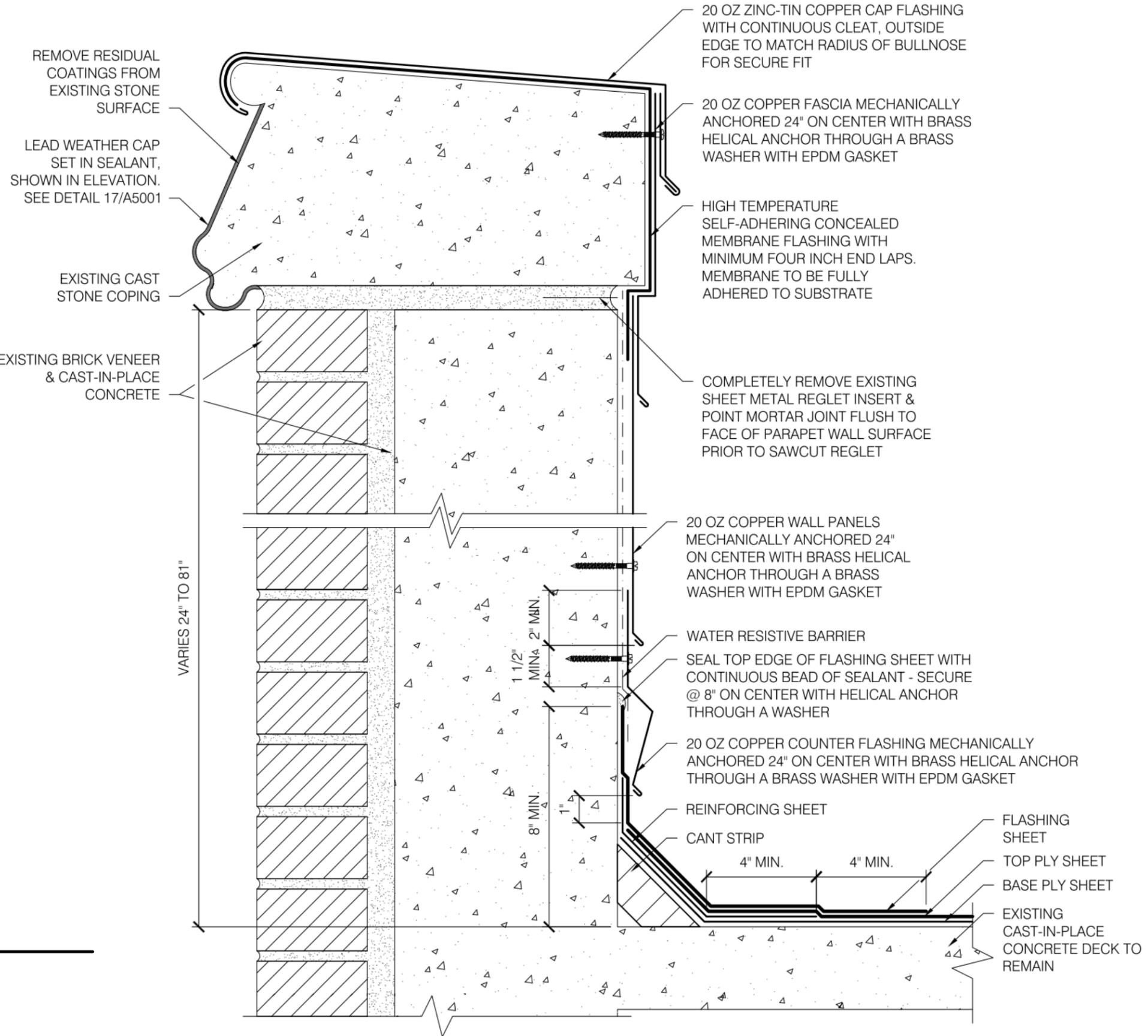
Scale: 3" = 1'-0"



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ROOF DETAIL

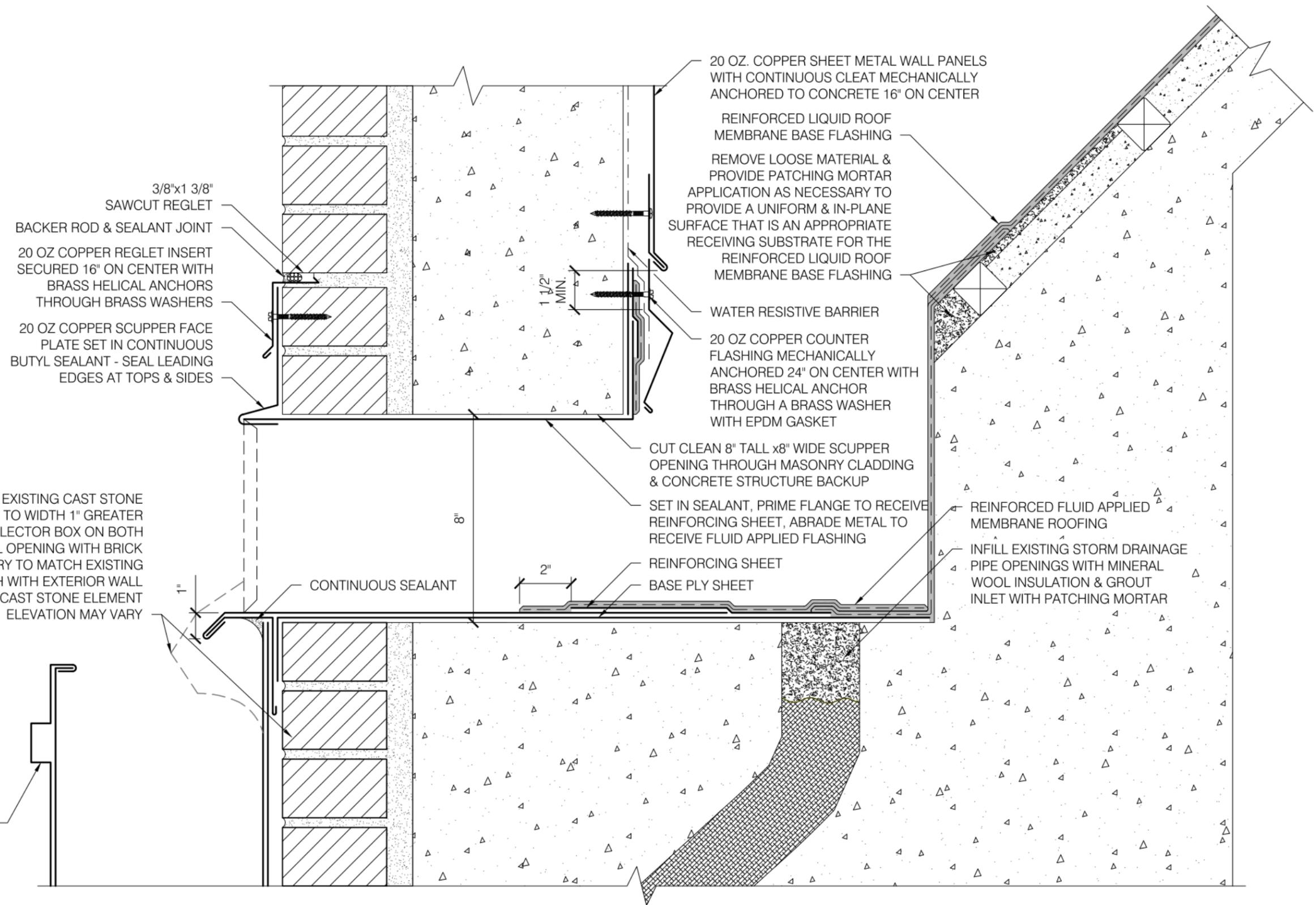
H31



1 PARAPET WALL SECTION
 H32 Scale: 3" = 1'-0"

ROOF DETAILS





3/8"x1 3/8"
SAWCUT REGLET
BACKER ROD & SEALANT JOINT
20 OZ COPPER REGLET INSERT
SECURED 16" ON CENTER WITH
BRASS HELICAL ANCHORS
THROUGH BRASS WASHERS
20 OZ COPPER SCUPPER FACE
PLATE SET IN CONTINUOUS
BUTYL SEALANT - SEAL LEADING
EDGES AT TOPS & SIDES

20 OZ. COPPER SHEET METAL WALL PANELS
WITH CONTINUOUS CLEAT MECHANICALLY
ANCHORED TO CONCRETE 16" ON CENTER
REINFORCED LIQUID ROOF
MEMBRANE BASE FLASHING
REMOVE LOOSE MATERIAL &
PROVIDE PATCHING MORTAR
APPLICATION AS NECESSARY TO
PROVIDE A UNIFORM & IN-PLANE
SURFACE THAT IS AN APPROPRIATE
RECEIVING SUBSTRATE FOR THE
REINFORCED LIQUID ROOF
MEMBRANE BASE FLASHING
WATER RESISTIVE BARRIER
20 OZ COPPER COUNTER
FLASHING MECHANICALLY
ANCHORED 24" ON CENTER WITH
BRASS HELICAL ANCHOR
THROUGH A BRASS WASHER
WITH EPDM GASKET

REMOVE EXISTING CAST STONE
CORNICE TO WIDTH 1" GREATER
THAN COLLECTOR BOX ON BOTH
SIDES. INFILL OPENING WITH BRICK
MASONRY TO MATCH EXISTING
FLUSH WITH EXTERIOR WALL
SURFACE. CAST STONE ELEMENT
ELEVATION MAY VARY

CUT CLEAN 8" TALL x8" WIDE SCUPPER
OPENING THROUGH MASONRY CLADDING
& CONCRETE STRUCTURE BACKUP
SET IN SEALANT, PRIME FLANGE TO RECEIVE
REINFORCING SHEET, ABRADE METAL TO
RECEIVE FLUID APPLIED FLASHING
REINFORCING SHEET
BASE PLY SHEET

REINFORCED FLUID APPLIED
MEMBRANE ROOFING
INFILL EXISTING STORM DRAINAGE
PIPE OPENINGS WITH MINERAL
WOOL INSULATION & GROUT
INLET WITH PATCHING MORTAR

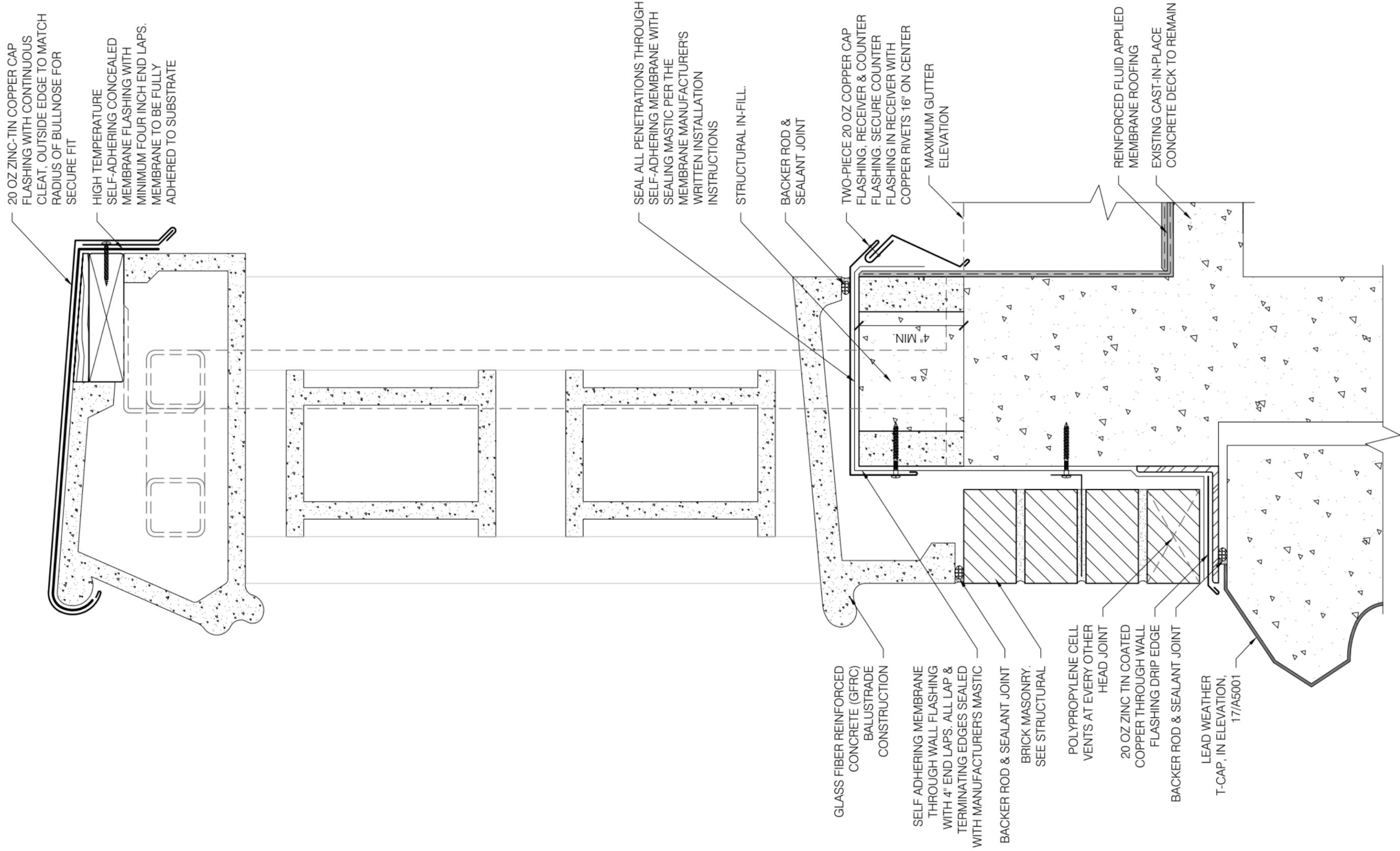
EXISTING DECORATIVE COPPER
COLLECTOR BOX WITH LINER
INSERT. CAREFULLY REMOVE
FROM EXISTING LOCATION,
RESTORE & RECONDITION, THEN
INSTALL AT NEW LOCATION.
PROVIDE NEW 20 OZ COPPER
DOWNSPOUT EXTENSION TO
CONNECT TO EXISTING
DOWNSPOUT

1 PROPOSED SCUPPER
Scale: 3" = 1'-0"





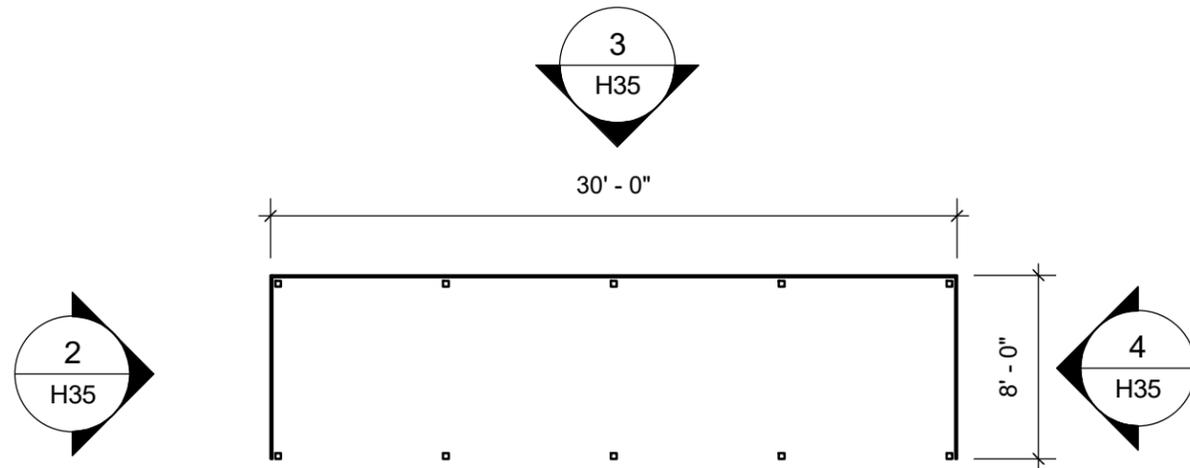
ROOF DETAIL



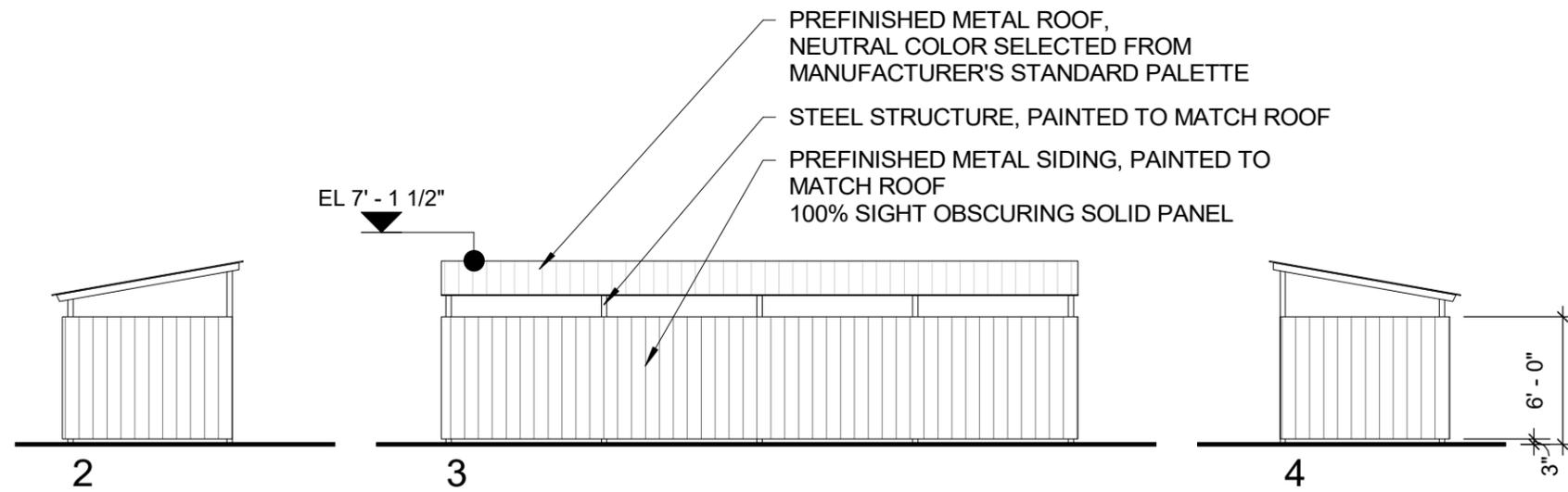
PROPOSED PARAPET BALUSTRADE SECTION

Scale: 3" = 1'-0"

1



1 **ENLARGED PLAN - TRASH ENCLOSURE**
 Scale: 1/8" = 1'-0"



2 **ELEVATIONS - TRASH ENCLOSURE**
 Scale: 1/8" = 1'-0"



Site Photos - Duniway Elementary School - Parapet Balustrade Replacement

Balustrade 1

DS

2

DS

3



fig.1 : north elevation

DS

3

4

5

6



fig.2: north and west elevation, front entry

DS

5

6

DS



fig.3 : west elevation, front entry

7



fig.4 : west and south elevation



Site Photos - Duniway Elementary School - Parapet Balustrade Replacement

rusting galvanized metal cap

extensive cracking

separation at sides



fig.5 : balustrade '2' right side



fig.6 : balustrade '2' left side

displacement at sides

extensive cracking



fig.7 : balustrade '2' back center



IBI GROUP

Site Photos - Duniway Elementary School - Parapet Balustrade Replacement

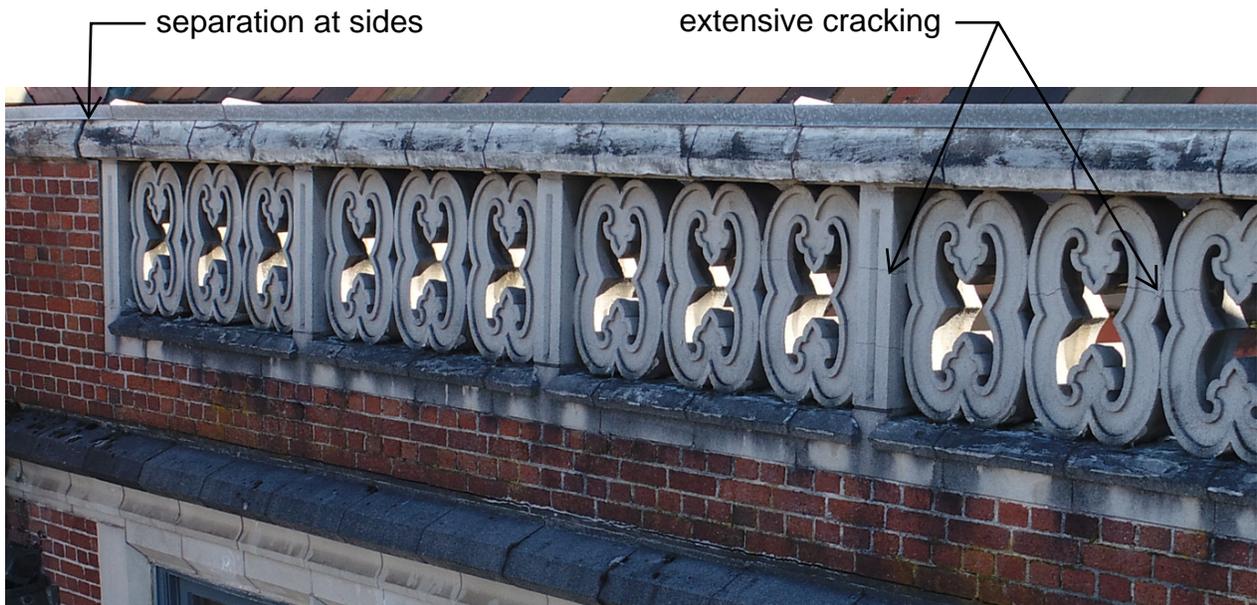


fig.8 : balustrade '3' left side



fig.9 : balustrade '5' center



fig.10 : balustrade '5' back

Site Photos - Duniway Elementary School - Parapet Balustrade Replacement



rust jacking length
entire header

fig.11 : balustrade '4' left



grout loose or missing

existing steel angle with
visible rust jacking

cast stone displacement

fig.12 : balustrade '4' left

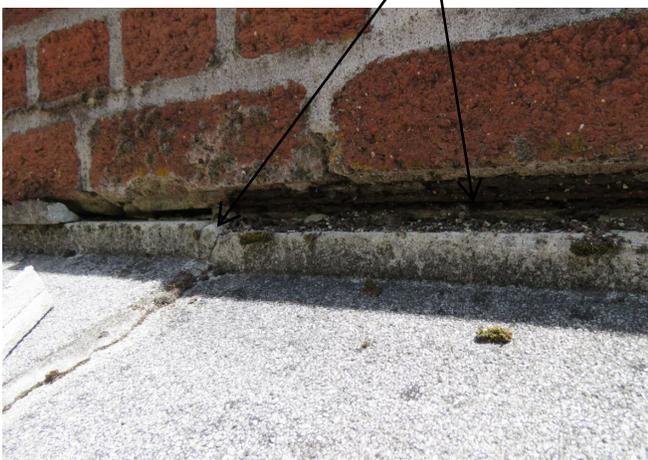


fig.13 : balustrade '4' left



fig.14 : balustrade '7' center

extensive cracking



fig. 15: balustrade '7' back

significant separation and outward displacement of cast stone



fig.16 : original quoining at NE corner



fig.17 : north roof exposure showing damage



fig.18 : west roof exposure showing damage

Site Photos - Duniway Elementary School - Downspout and Masonry Repair

all brick areas above string course to be removed, salvaged and reinstalled matching English bond pattern for shelf angle replacement - 15% replacement of damaged brick with new expected

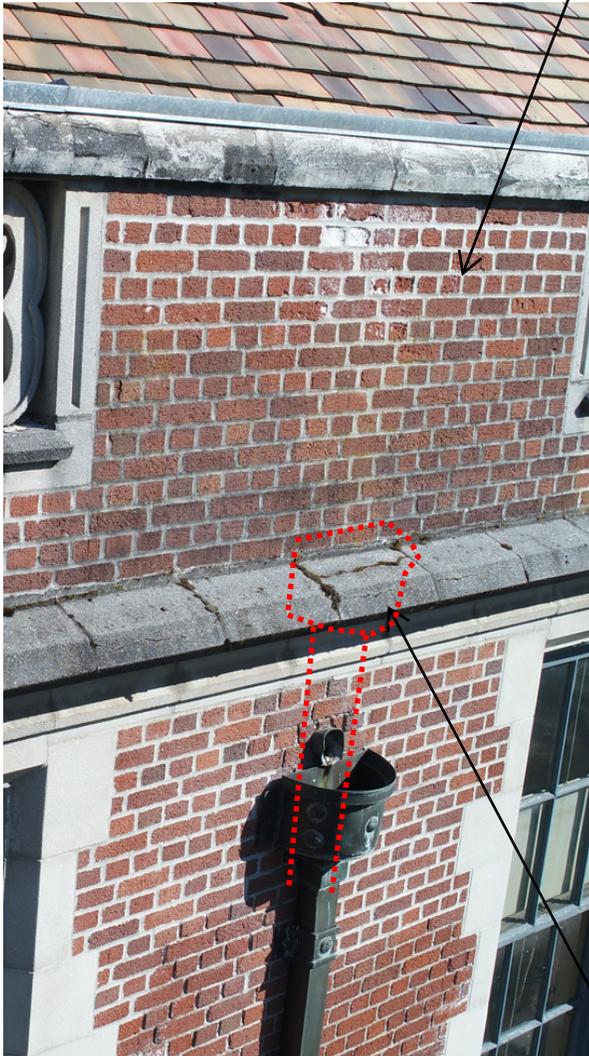


fig. 19 : west elevation



fig. 20: north elevation

cast stone to be removed for relocation of existing conductor head, modified GFR units to be installed.



Site Photos - Duniway Elementary School - Downspout Existing Conditions

all brick areas above string course to be removed, salvaged and reinstalled matching English bond pattern for shelf angle replacement - 15% replacement of damaged brick with new expected



fig. 21: west elevation

cast stone to be removed for relocation of existing conductor head, modified GFRC units to be installed.

Site Photos - Duniway Elementary School - Roofing Material Replacement



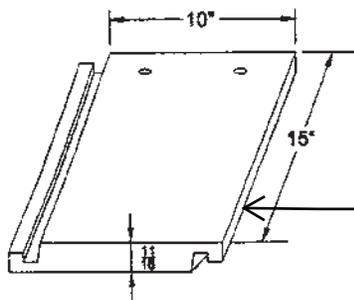
existing tiles are 10" wide with 7-1/2" exposure

existing copper ridge caps to be replaced in kind matching original profile

replace metal parapet caps in kind

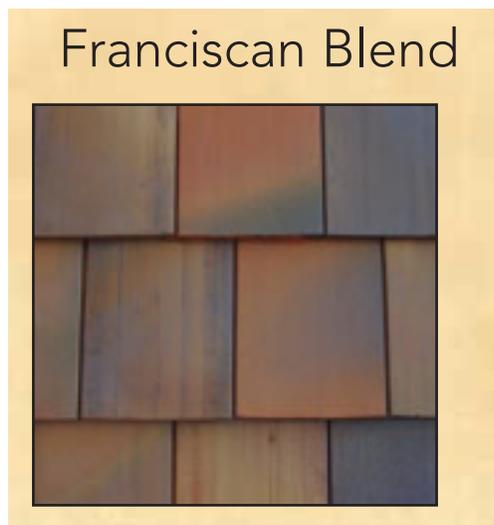
fig. 22: aerial view above west entry

fig. 23: proposed replacement roof tile



proposed tiles are 10" wide with 12" exposure

FIELD TILE



Product: Flat Placer Interlocking Tiles



Site Photos - Duniway Elementary School - Roofing Material Replacement

Manufacturer	Use?	Notes
ArteZanos	NO	no flat shingles
Auburn Tile Inc.	NO	concrete tiles only
BMI Group	NO	no flat shingles
Boral	NO	no flat shingles
Crown Roof Tiles	NO	concrete tiles only
Custom Tile Roofing	NO	reclaimed and reuse only
Daltile	NO	no matching colors
Dreadnought Tiles	OK	poor color match, flat, clay tiles, exposure dimensions close
Eagle Roofing Prod.	NO	concrete tiles only
Gladding, McBean	YES	good color match, flat, clay tiles, exposure dimensions not identical, likely original tile's manufacturer
Ludowici Roof Tile	OK	poor color match, flat, clay tiles, exposure dimensions not identical
Marley	OK	poor color match, flat, clay tiles, exposure dimensions close
MCA Superior	OK	poor color match, limited flat tile options
Redland Clay Tile Inc.	NO	no flat shingles
Terracotagres	NO	no flat shingles
Tile Roofs, Inc.	OK	poor color match, flat, clay tiles, exposure dimensions not identical
Tudor Roof Tiles	OK	poor color match, flat, clay tiles, exposure dimensions not identical
Vande Hey Raleigh	NO	concrete tiles only

fig. 24: roof tile manufacturer research



Site Photos - Duniway Elementary School - GFRC Replacement Example

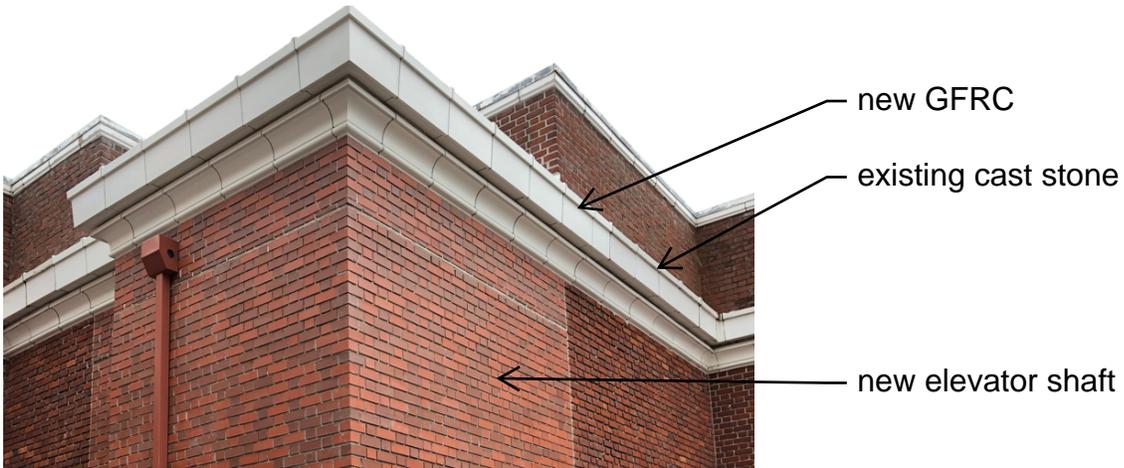


fig. 25: GFRC installed at Rose City Park Elementary



fig. 26: GFRC installed at Rose City Park Elementary



fig. 27: GFRC unit before installation



MEMORANDUM

To: Hillary Adam, Portland Bureau of Development Services
From: Ben Schonberger, AICP
Date: January 13, 2023
Re: **Duniway School Roof (LU 22-213205 HR)**
Response to completeness letter

The following is a response to your completeness letter on case LU 22-213205 HR, issued January 10. Responses are listed below in the same order as they appeared in that letter. An updated drawing set is also included with this response.

1. Site Plan

The location of the security fence is shown on an updated version of the site plan, sheet H01.

2. Building Elevations

Revised sheet H06, H07 and H08 show the notches in the cast stone cornice.

3. Metal Trash Enclosure

Sheet H35 has been revised to show more detail about the trash enclosure. Both the siding and roof of the new structure will be AEP Span Box Rib metal panel. Proposed color is a Dark Bronze. The selected 20 gauge thickness of the metal panel is sufficient to insure durability, and insures this structure will be high-quality and long-lasting.

4. Bureau of Environmental Services

The issue raised in the BES response is related to stormwater management requirements, which are not triggered. A table on revised sheet H02 inventories new and redeveloped impervious areas. The changes create 468 square feet of redeveloped impervious area (for the trash enclosure). The threshold for requirements is 500 square feet of new or redeveloped impervious areas. The applicant notes that current surfacing is impervious asphalt, and the improvements will require exposing the subgrade during construction.

Thank you for the opportunity to respond.

LAND USE REVIEW SUBMITTAL

Duniway Elementary School
7700 SE Reed College Place

File No. LU 22-213205 HR
Revised January 13, 2023



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PORTLAND PUBLIC SCHOOLS
501 N Dixon Street
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DRAWINGS

PROJECT DIRECTORY

OWNER

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Portland, Oregon 97227

ARCHITECT

IBI GROUP
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HISTORIC REVIEW PLANNER

ARCHITECTURAL RESOURCES GROUP
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LAND USE PLANNER

WINTERBROOK PLANNING
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CONTACT

Ben Schonberger, AICP
Senior Planner
ben@winterbrookplanning.com
(503) 827-4422

DRAWING INDEX

H00	DRAWING INDEX & PROJECT DIRECTORY
H01	SITE PLAN
H02	ENLARGED SITE PLAN - LOADING & TRASH ENCLOSURE
H03	OVERALL PLAN WITH BUILDING CONSTRUCTION DATES
H04	ROOF PLAN
H05	BUILDING SECTION
H06	FULL BUILDING ELEVATIONS
H07	1926 BUILDING ELEVATION
H08	1926 BUILDING ELEVATION
H09	1926 BUILDING ELEVATION
H10	1926 BUILDING ELEVATION
H11	MASONRY REPAIR ELEVATION AND LEGEND
H12	MASONRY REPAIR ELEVATION
H13	MASONRY REPAIR ELEVATION
H14	MASONRY REPAIR ELEVATIONS
H15	MASONRY REPAIR ELEVATIONS
H16	MASONRY REPAIR ELEVATION
H17	MASONRY REPAIR ELEVATION
H18	MASONRY REPAIR ELEVATION
H19	MASONRY REPAIR ELEVATION
H20	DETAILS
H21	DETAILS
H22	DETAILS
H23	DETAILS
H24	DETAILS
H25	DETAILS
H26	DETAILS
H27	ROOF DETAILS
H28	ROOF DETAIL
H29	ROOF DETAIL
H30	ROOF DETAIL
H31	ROOF DETAIL
H32	ROOF DETAILS
H33	ROOF DETAIL
H34	ROOF DETAIL
H35	TRASH ENCLOSURE



8" WASTE LINE PER 1926 AS-BUILT DRAWINGS
EXISTING TO REMAIN

EXISTING DOMESTIC SERVICE WATER
BACKFLOW VAULTS (2).
CONSTRUCT PERMANENT LADDER
AND EXTENDABLE GRAB BAR.

SE REED COLLEGE PL

DUNIWAY
ELEMENTARY
SCHOOL

1
H26

HARD TOP
PLAY AREA

PLAY FIELD

8" SEWER LINE PER 1947 AS-BUILT DRAWINGS
EXISTING TO REMAIN

1
H02

NEW TRASH ENCLOSURE

REPLACE SECURITY FENCE

SE REX ST

SE 35TH AVE

SE LAMBERT ST

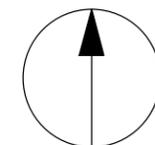
SE 34TH AVE

1 OVERALL SITE PLAN
Scale: 1" = 100'-0"



Duniway Elementary School Improvements Phase 2
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SITE PLAN



H01

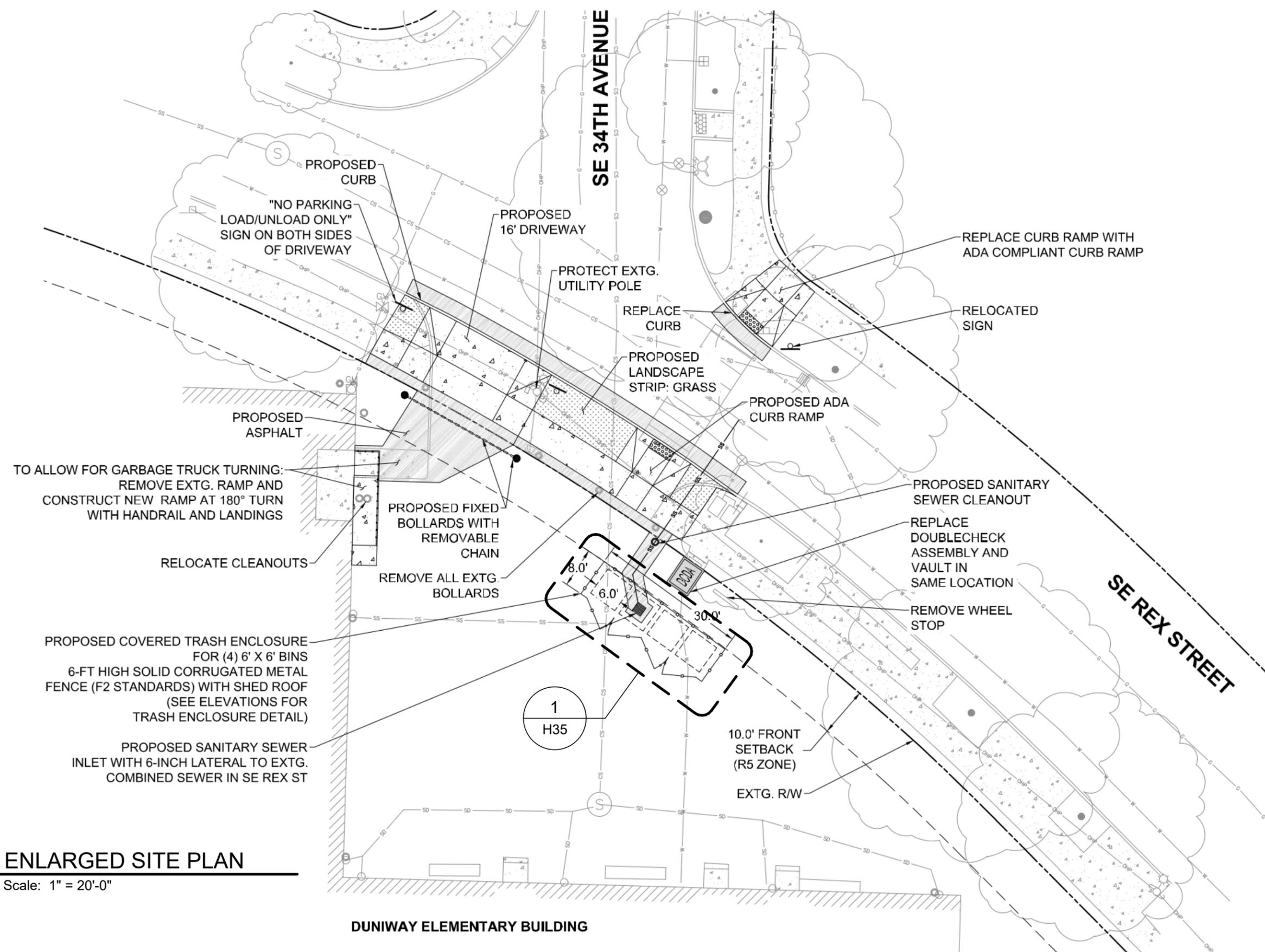
LU 22-213205 HR A5

- EXISTING LEGEND**
- RIGHT-OF-WAY LINE
 - SD STORM DRAIN
 - SS SANITARY SEWER
 - CS COMBINED SEWER
 - W WATER
 - G GAS
 - OHP OVERHEAD POWER
 - FENCE
 - CURB
 - CONCRETE
 - STORM INLET
 - COMBINED SEWER MANHOLE
 - UTILITY POLE WITH LUMINAIRE
 - WATER VALVE, HYDRANT
 - GAS VALVE, METER
 - BOLLARD
 - SIGN
 - TREE

- PROPOSED LEGEND**
- SETBACK
 - CURB
 - CONCRETE
 - ASPHALT
 - TRASH ENCLOSURE
 - HANDRAIL
 - SANITARY SEWER PIPE
 - SANITARY SEWER INLET, CLEANOUT
 - SIGN
 - FIXED BOLLARDS WITH CHAIN

PRIVATE IMPERVIOUS INVENTORY TABLE

THRESHOLD FOR STORMWATER MANAGEMENT (SF) (CITY 2020 SWMM - SECTION 1.2)	500
REDEVELOPED EXTG. (SF)	468
REMOVED EXTG. (SF)	0
NEW (SF)	0
TOTAL NEW & REDEVELOPED	468



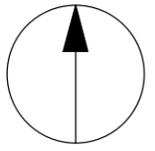
1 ENLARGED SITE PLAN
Scale: 1" = 20'-0"

DUNIWAY ELEMENTARY BUILDING

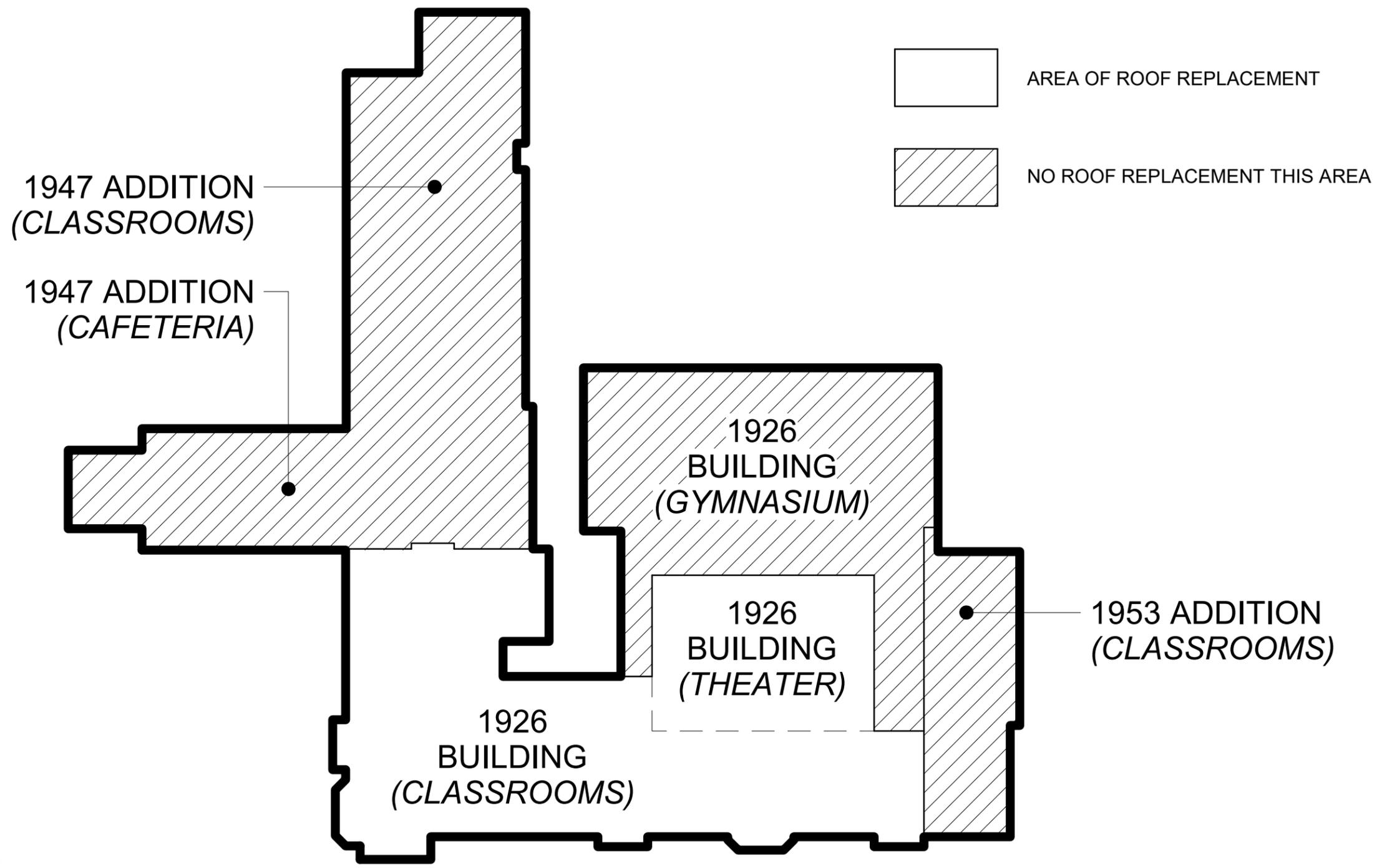


Duniway Elementary School Improvements Phase 2
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ENLARGED SITE PLAN - LOADING & TRASH ENCLOSURE



H02

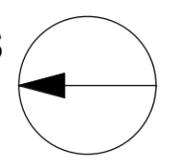


1 LU BUILDING w/ AGES
 Scale: 1" = 40'-0"

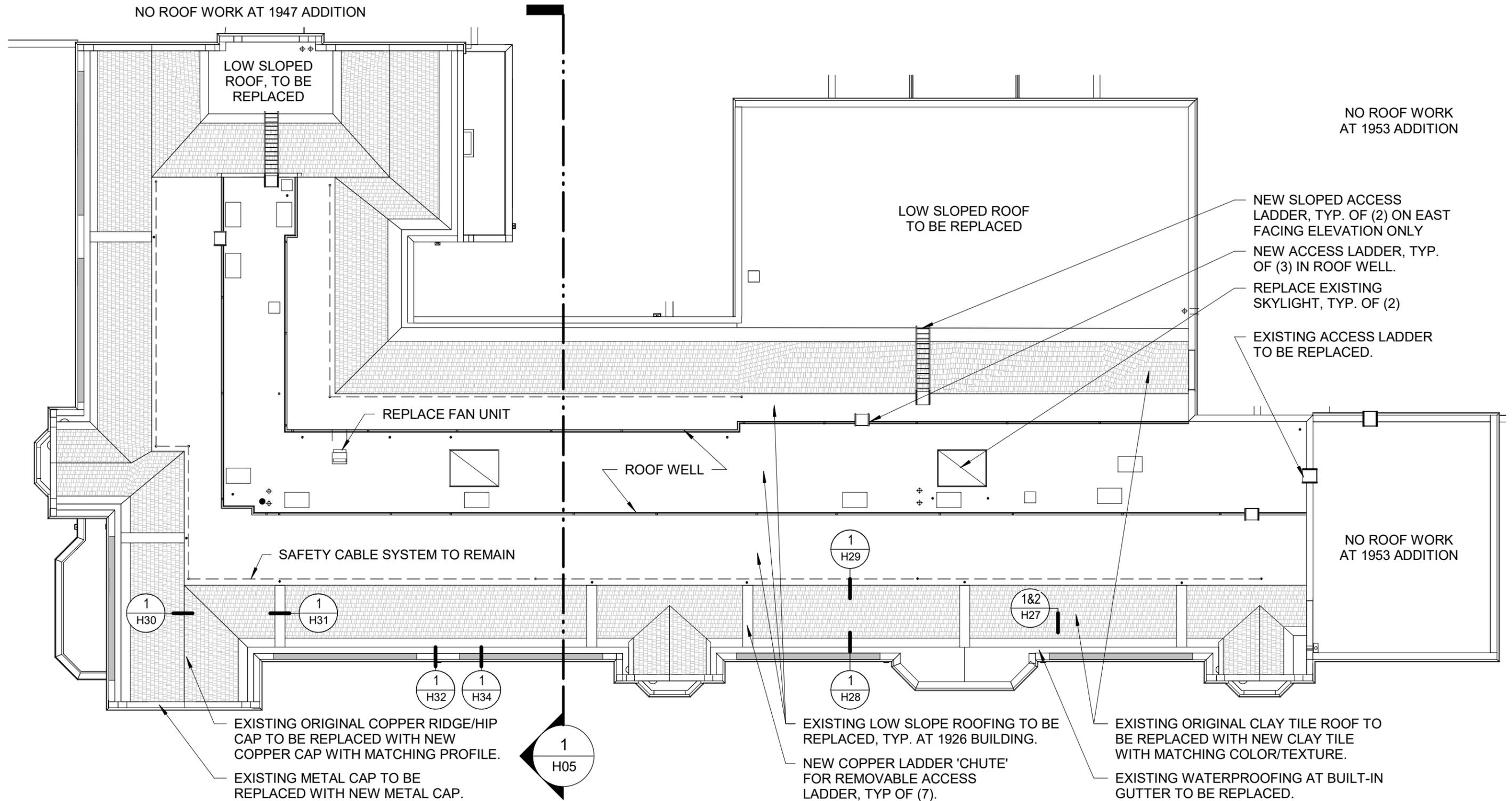


Duniway Elementary School Improvements Phase 2
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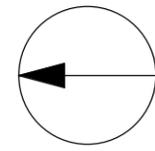
OVERALL PLAN WITH BUILDING CONSTRUCTION DATES

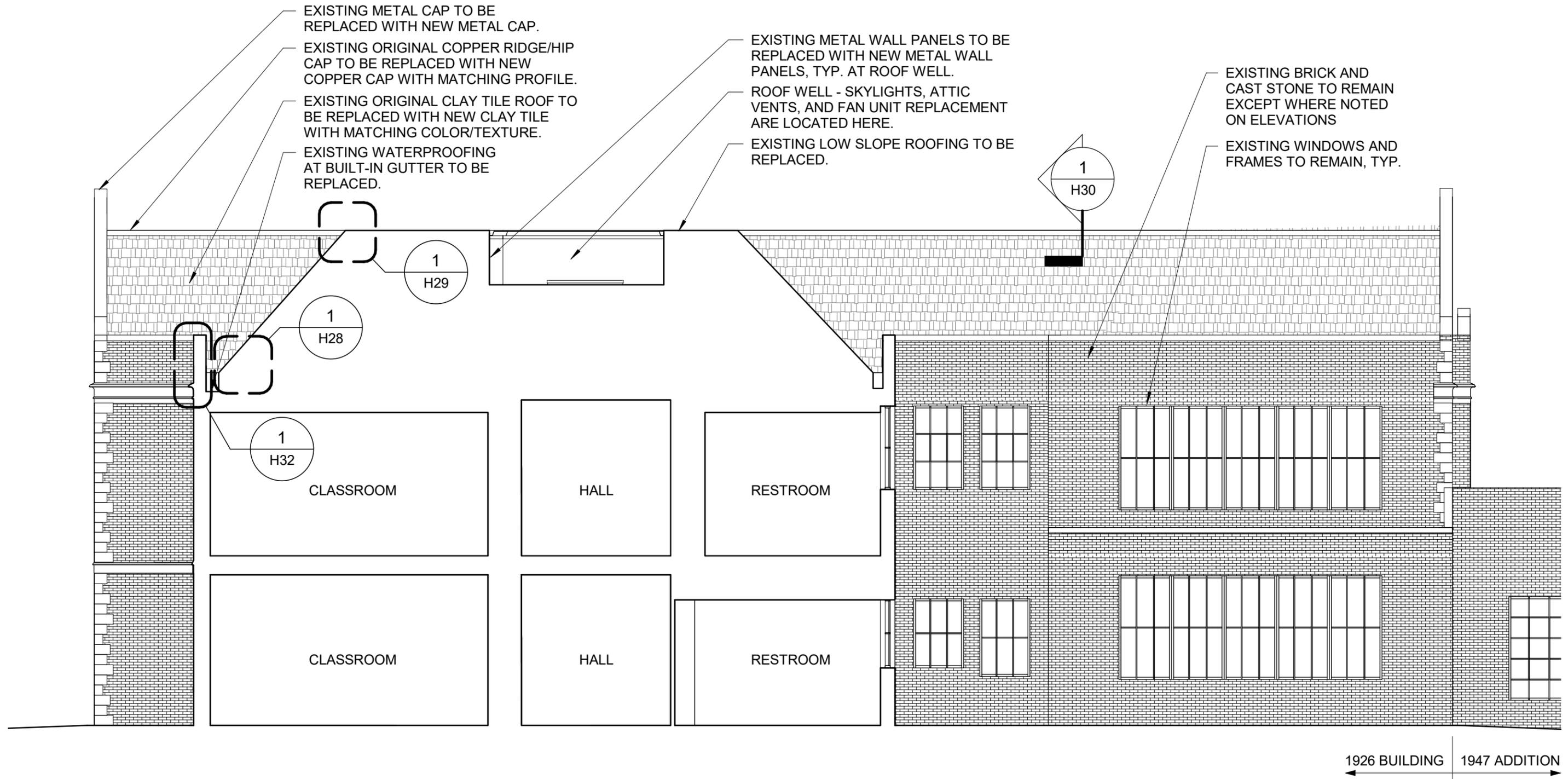


H03



1 ROOF PLAN - 1926 BUILDING
 Scale: 1/16" = 1'-0"

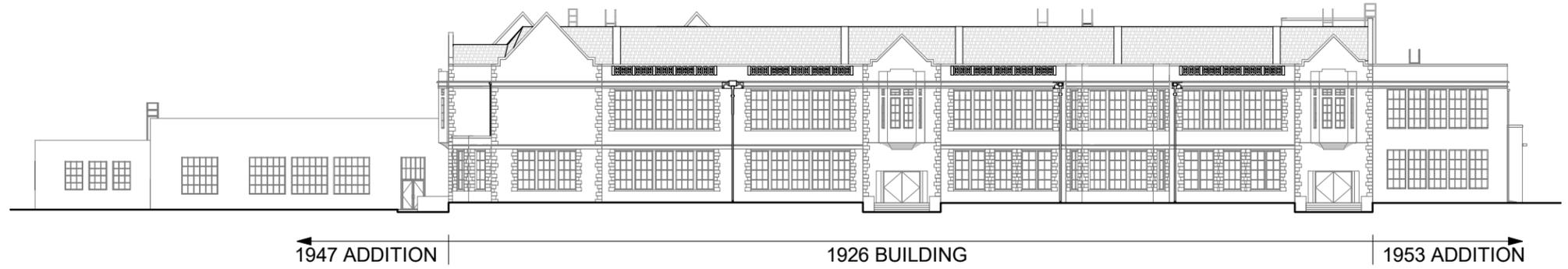




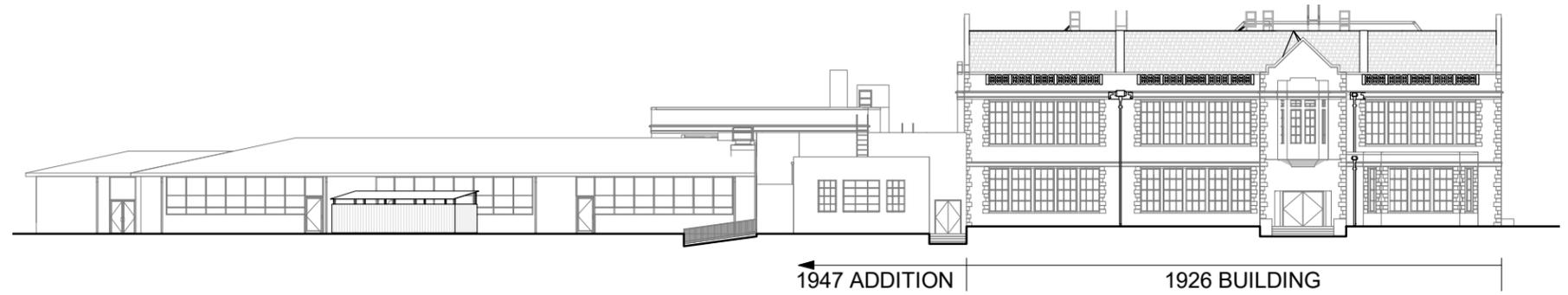
1 OVERALL 1926 BUILDING SECTION
 Scale: 1/8" = 1'-0"



1 WEST
Scale: 1/32" = 1'-0"



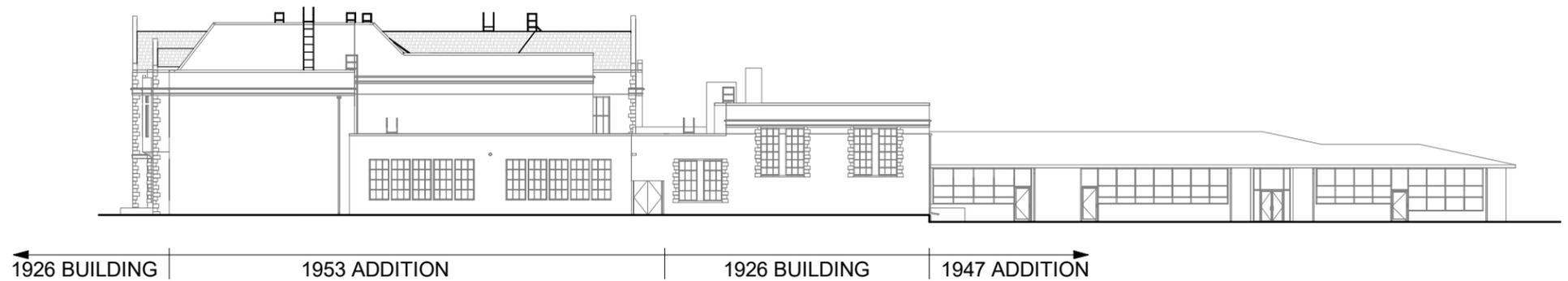
2 NORTH
Scale: 1/32" = 1'-0"

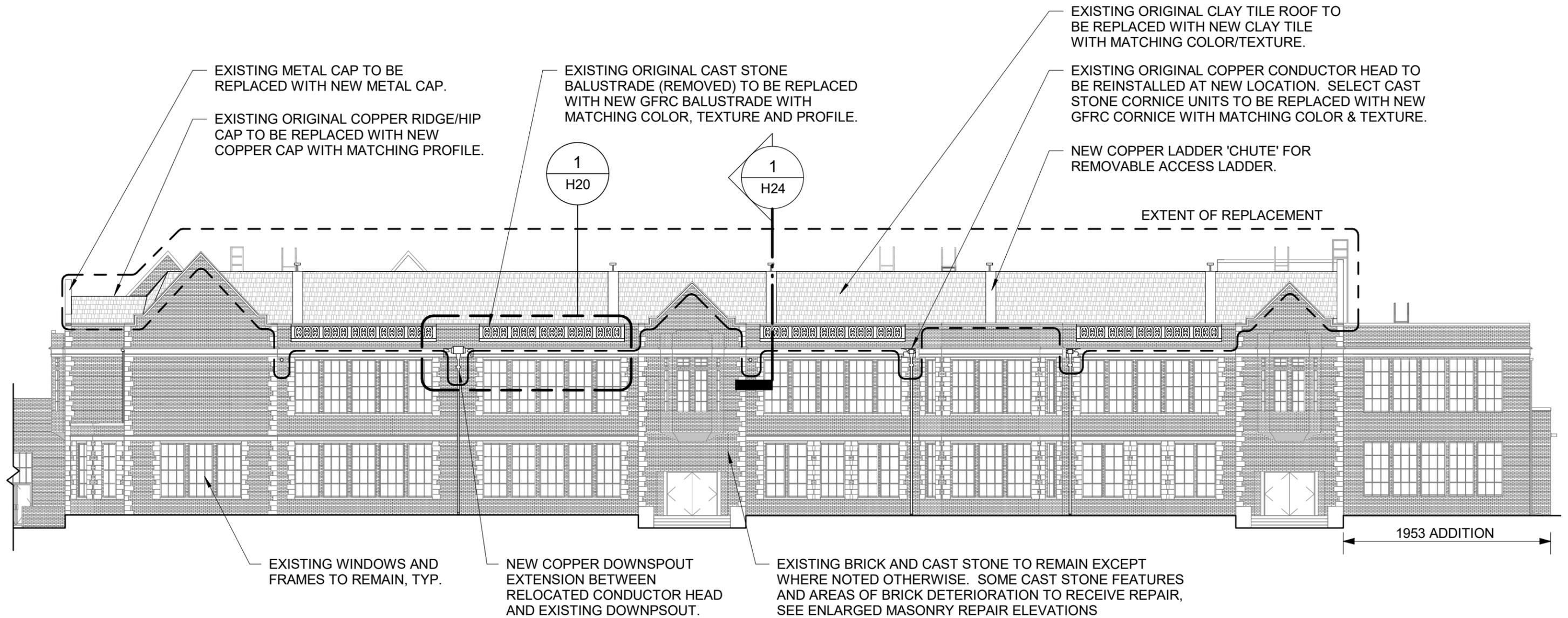


3 EAST
Scale: 1/32" = 1'-0"



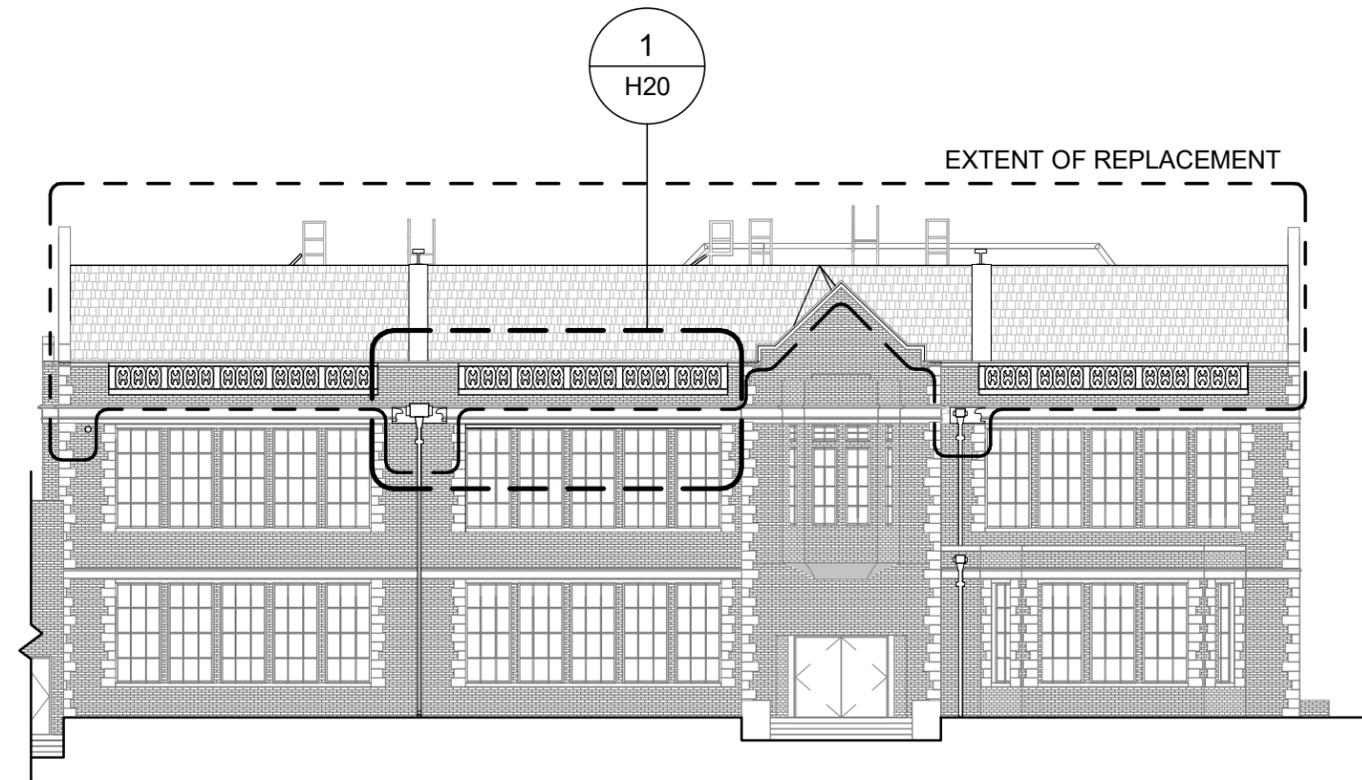
4 SOUTH
Scale: 1/32" = 1'-0"





1 WEST ELEVATION - 1926 BUILDING
 Scale: 1/16" = 1'-0"





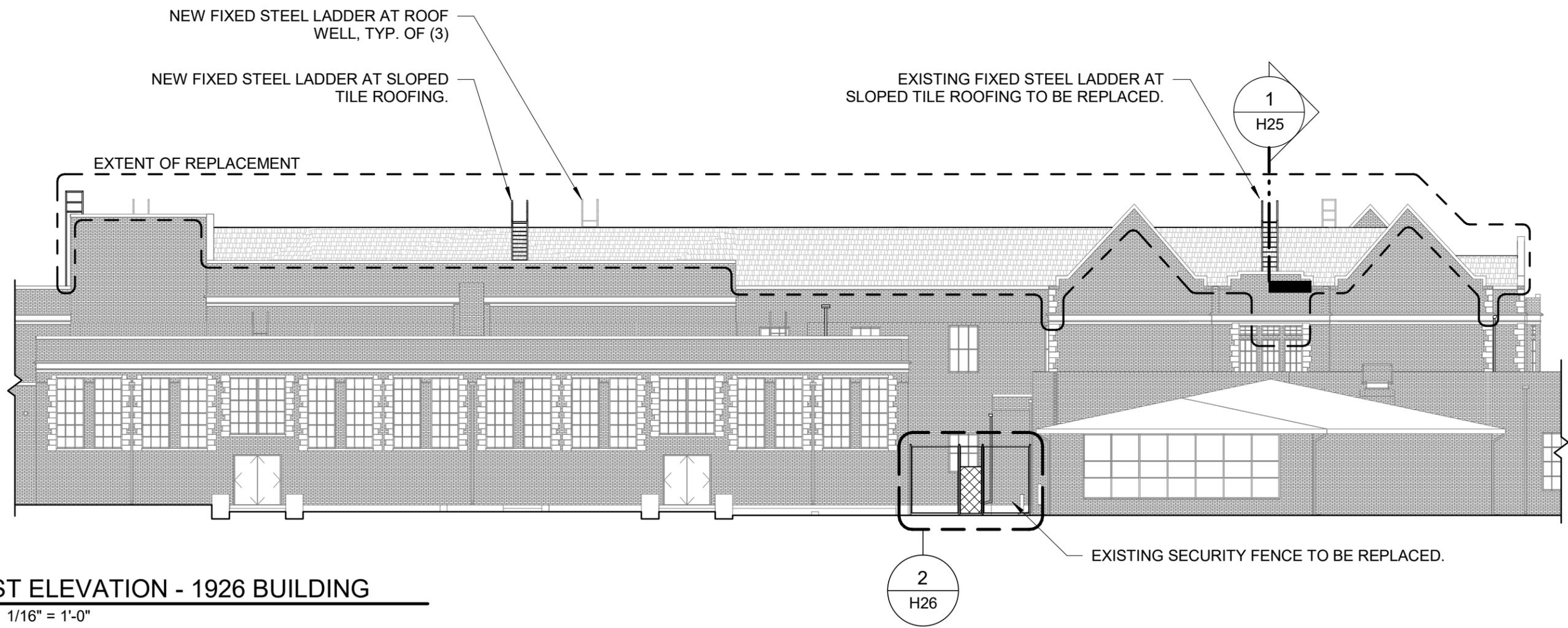
1 NORTH ELEVATION - 1926 BUILDING
 Scale: 1/16" = 1'-0"



Duniway Elementary School Improvements Phase 2
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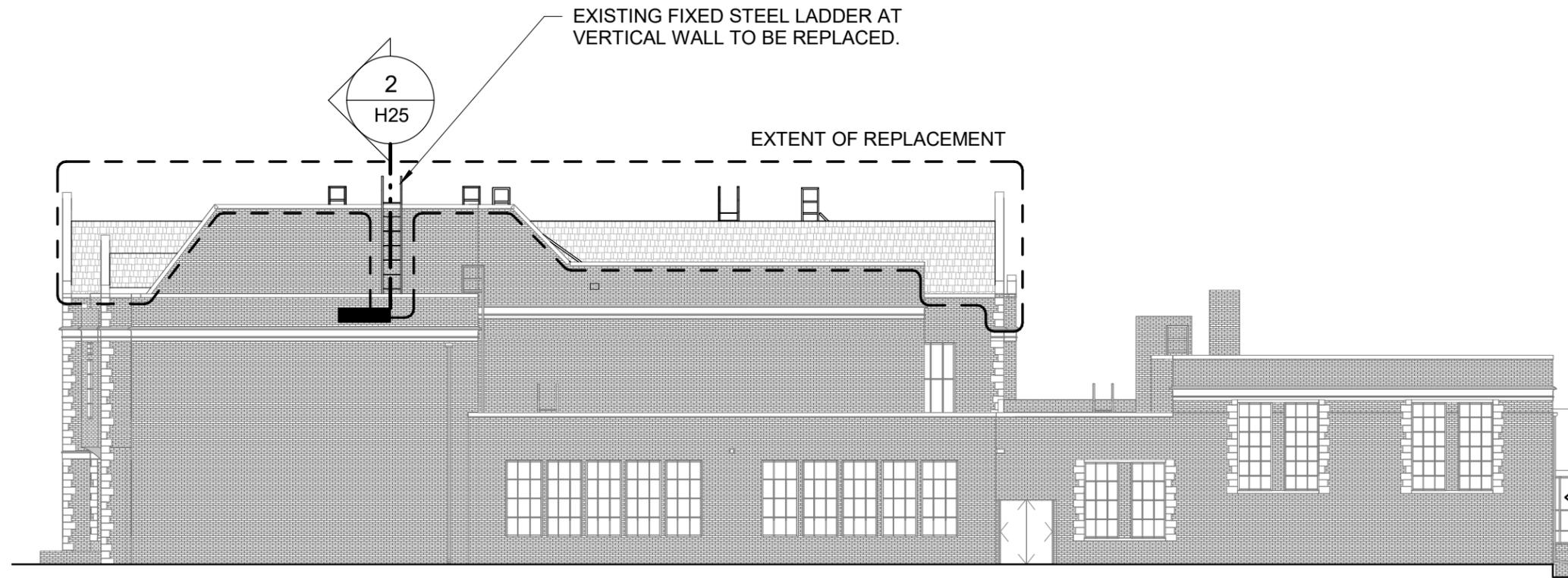
1926 BUILDING ELEVATION

H08



1 EAST ELEVATION - 1926 BUILDING
 Scale: 1/16" = 1'-0"





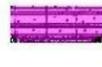
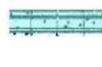
1 SOUTH ELEVATION - 1926 BUILDING
 Scale: 1/16" = 1'-0"

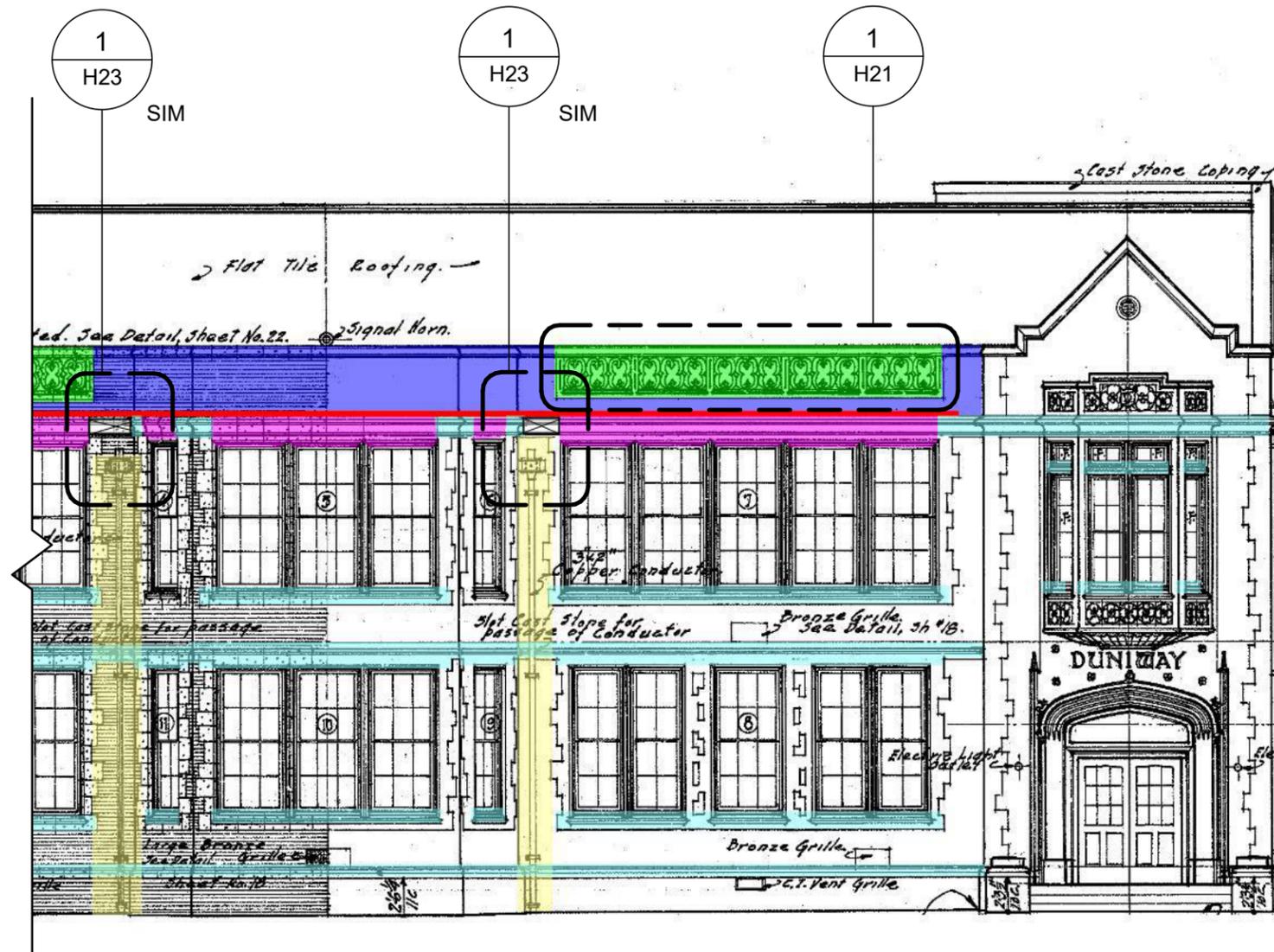


NOTE:

1. ALL MASONRY REPAIR ELEVATIONS ARE DERIVED FROM SCANS OF THE ORIGINAL CONSTRUCTION DRAWINGS. SCALE IS APPROXIMATELY 1/8" = 1'-0".

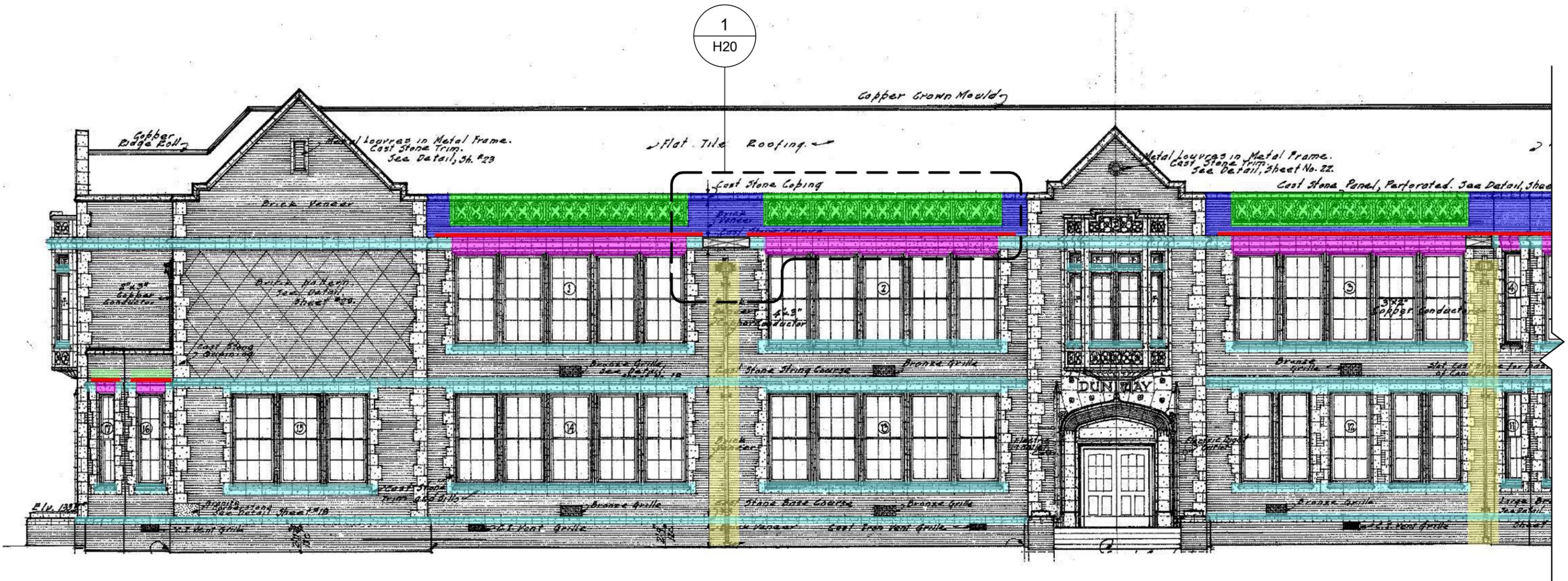
LEGEND:

- 
BALUSTRADE REPLACEMENT
 NEW GFRG BALUSTRADE WITH COLOR, TEXTURE AND PROFILE MATCHING ORIGINAL CAST STONE BALUSTRADE. TEMPORARY WOOD PARAPET INFILL REMOVAL. ORIGINAL CAST STONE BALUSTRADE REMOVED PREVIOUSLY.
- 
MASONRY FACADE DEMOLITION AND RECONSTRUCTION
 MASONRY FACADE REMOVAL, SALVAGE, AND RECONSTRUCTION TO ALLOW FOR REPAIRS. REINSTALL SALVAGED UNITS WHEN POSSIBLE. ANY NEW MASONRY TO MATCH EXISTING COLOR, TEXTURE AND PATTERNING.
- 
STEEL ANGLE REPLACEMENT
 NEW SHELF ANGLES TO REPLACE EXISTING CORRODED STEEL SHELF.
- 
CAST STONE WINDOW HEAD HELICAL ANCHORS
 CAST STONE WINDOW HEAD ELEMENTS TO BE SECURED WITH HELICAL ANCHORS AND FILLED WITH MORTAR TO MATCH CAST STONE. GROUND AND POINT MORTAR JOINTS, WEATHER CAP SET IN SEALANT AT SKYWARD JOINTS.
- 
WEATHER CAPS AT CAST STONE SKYWARD MORTAR JOINTS
 GROUND AND POINT MORTAR JOINTS, NEW WEATHER CAP SET IN SEALANT AT SKYWARD JOINTS.
- 
TUCK POINTING
 DETERIORATED MORTAR JOINTS TO BE FULLY RAKED/GROUND AND POINTED TO MATCH EXISTING. REPLACE BRICK UNITS TO MATCH ORIGINAL WHERE SUBSTANTIALLY DETERIORATED.
- 
CAST STONE SPALL REPAIR
 NEW IN-PLACE PATCHING OF SPALLED DECORATIVE CAST STONE ELEMENTS WITH REPAIR MORTAR.
- 
CAST STONE REPLACEMENT AND RECONFIGURATION
 REMOVE EXISTING CAST STONE CORNICE AT NEW SCUPPER LOCATIONS. NEW GFRG CORNICE OF MODIFIED CONFIGURATION AT REMOVED LOCATION.



1 WEST ELEVATION (PARTIAL)
Scale: NTS





1 WEST ELEVATION (PARTIAL)
Scale: NTS

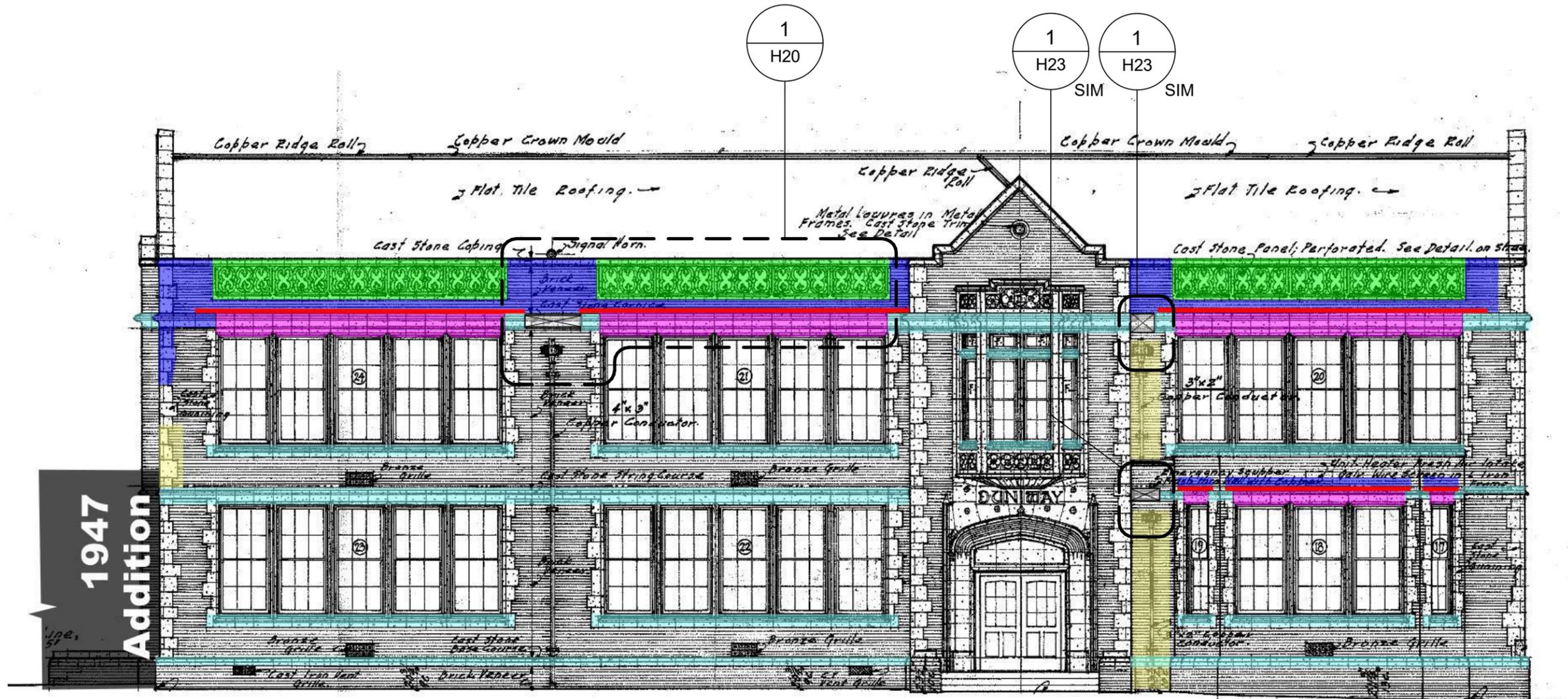


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MASONRY REPAIR ELEVATION

H12

LU 22-213205 HR A5



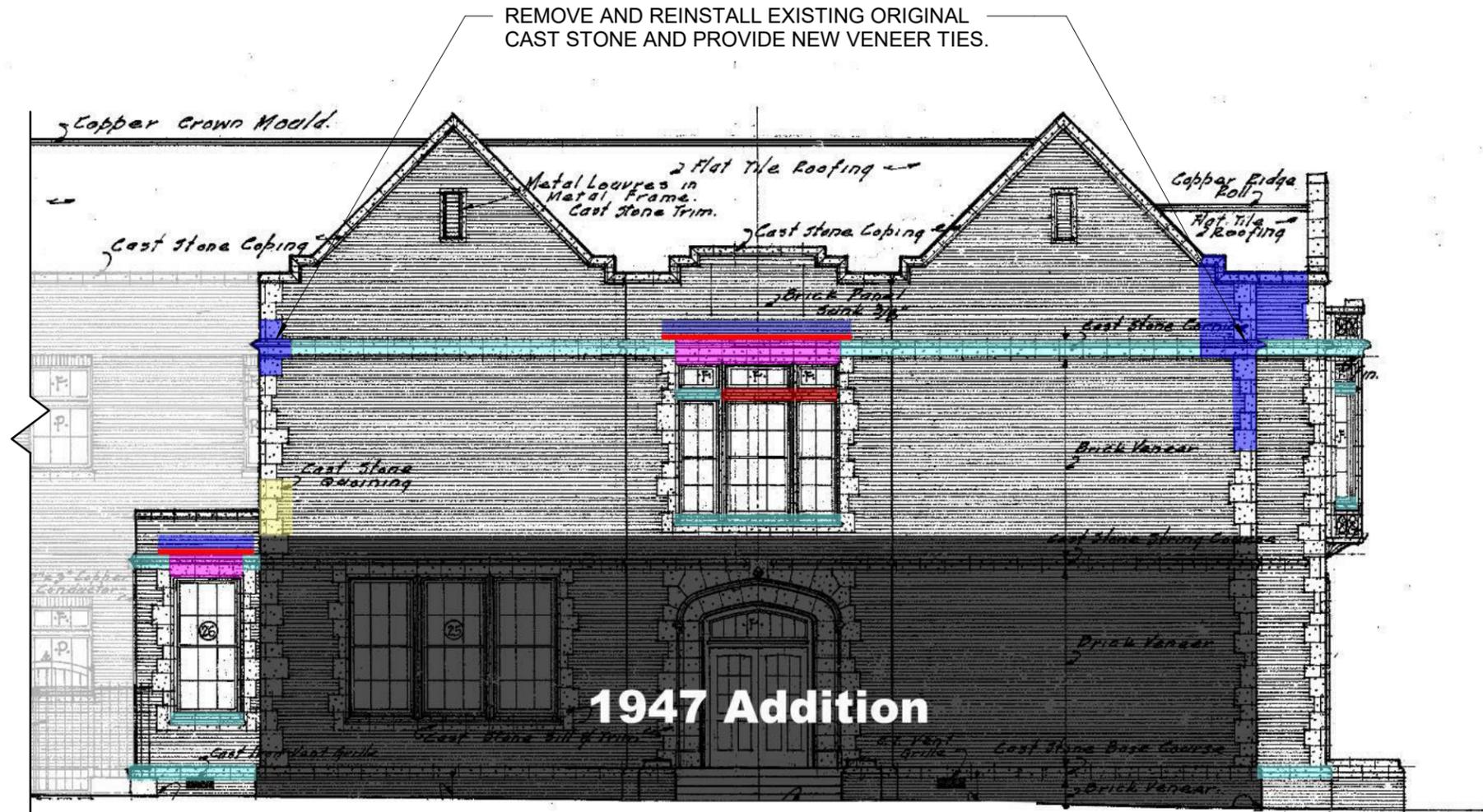
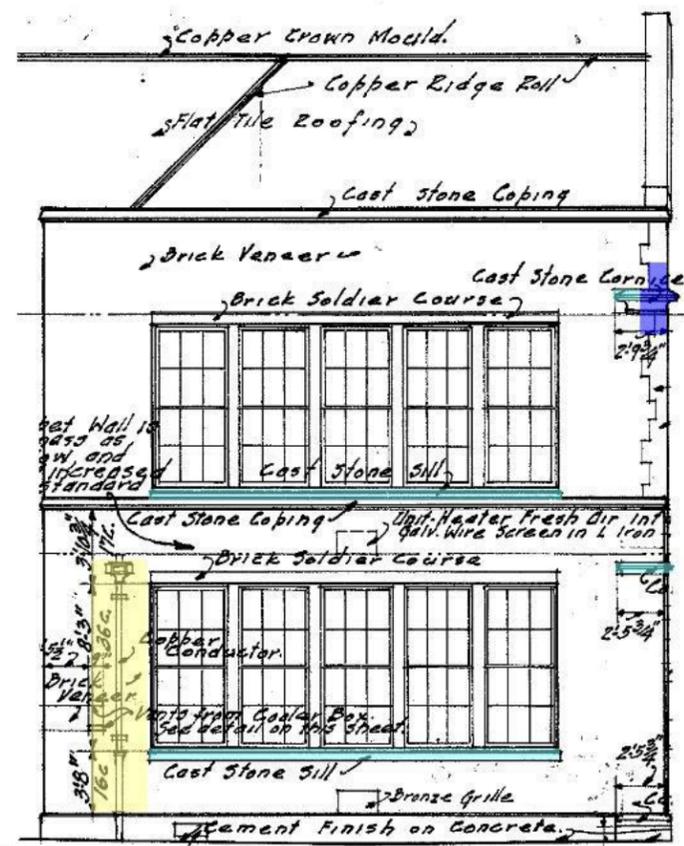
1 NORTH ELEVATION
Scale: NTS



Duniway Elementary School Improvements Phase 2
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DECEMBER 2022

MASONRY REPAIR ELEVATION

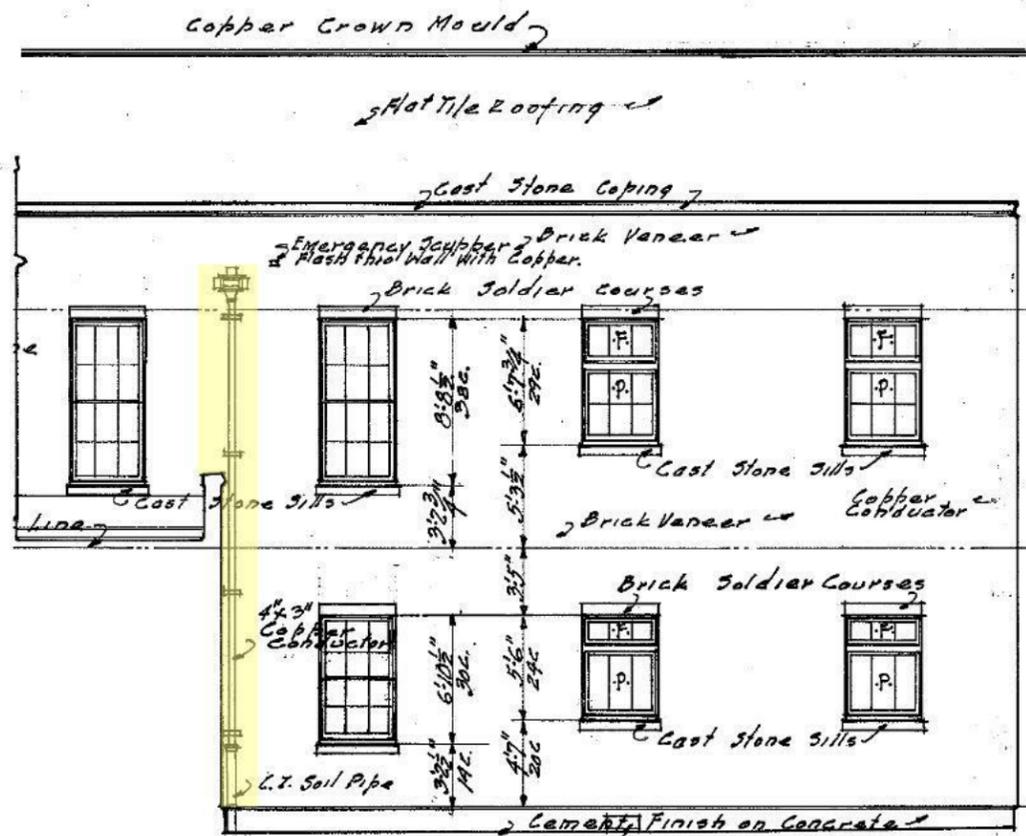
H13



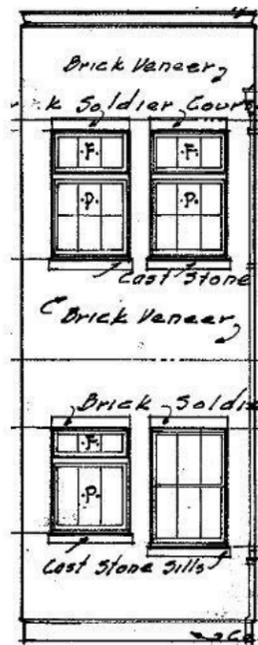
1 SOUTH ELEVATION - COURTYARD
Scale: NTS

2 EAST ELEVATION (PARTIAL)
Scale: NTS

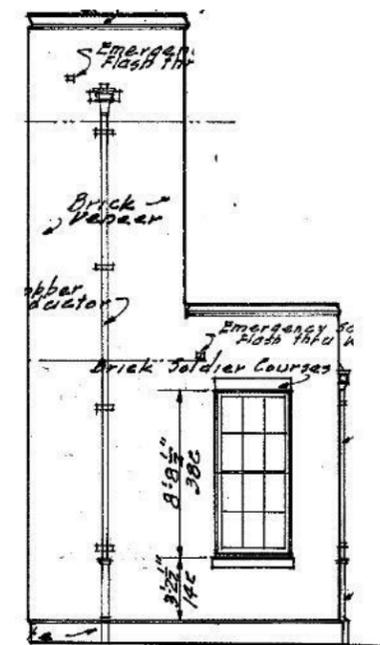




1 EAST ELEVATION - COURTYARD
Scale: NTS

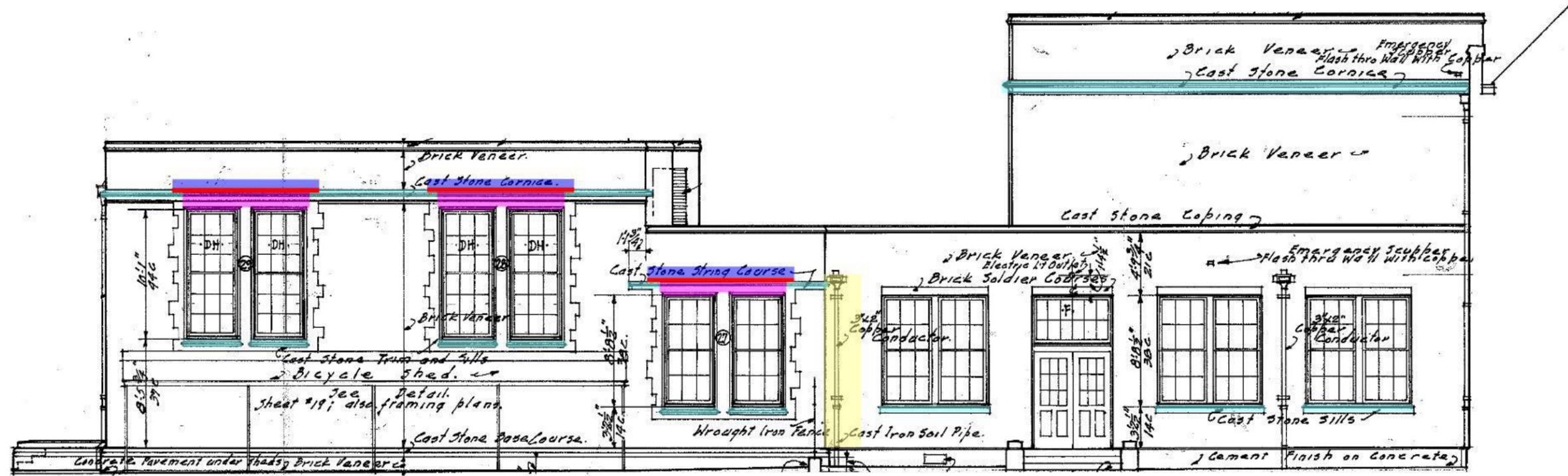


2 S ELEVATION - COURTYARD
Scale: NTS



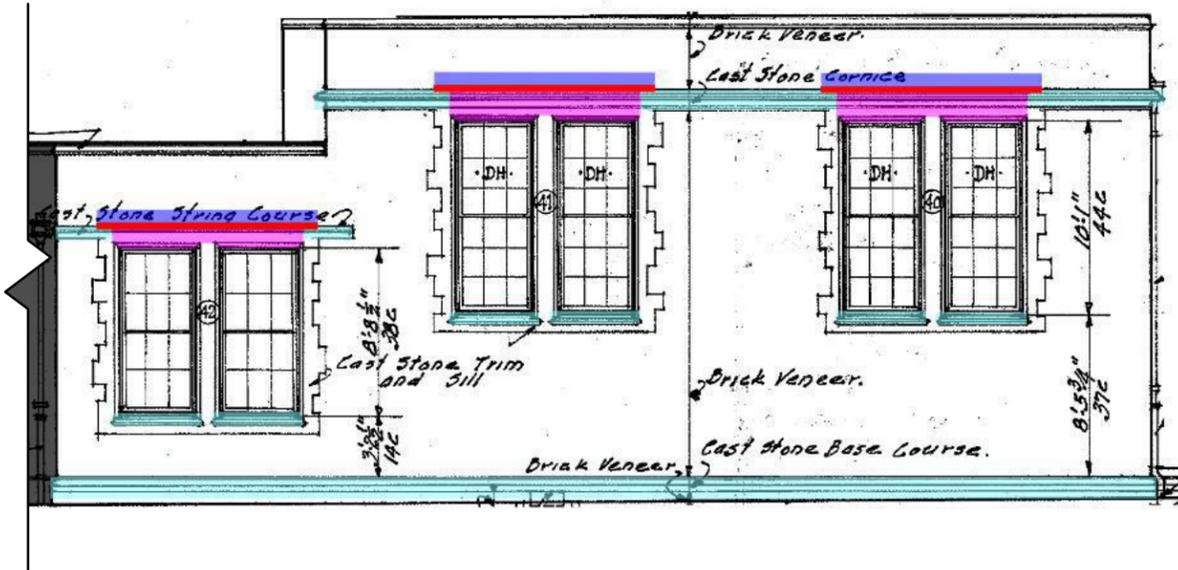
3 W ELEVATION - COURTYARD
Scale: NTS





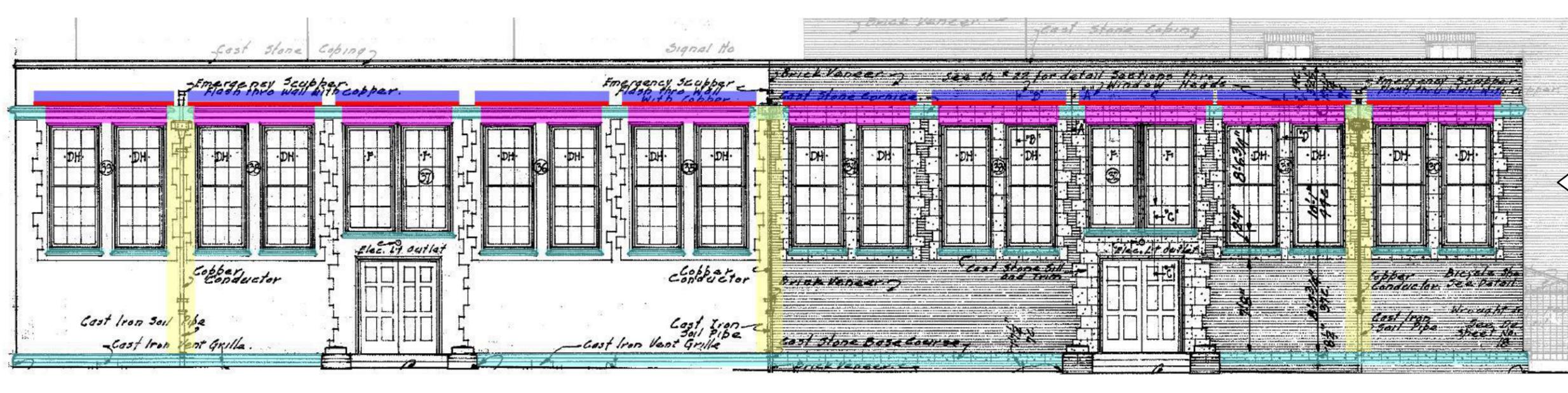
1 NORTH ELEVATION - COURTYARD
Scale: NTS





2 SOUTH ELEVATION AT GYMNASIUMS (PARTIAL)

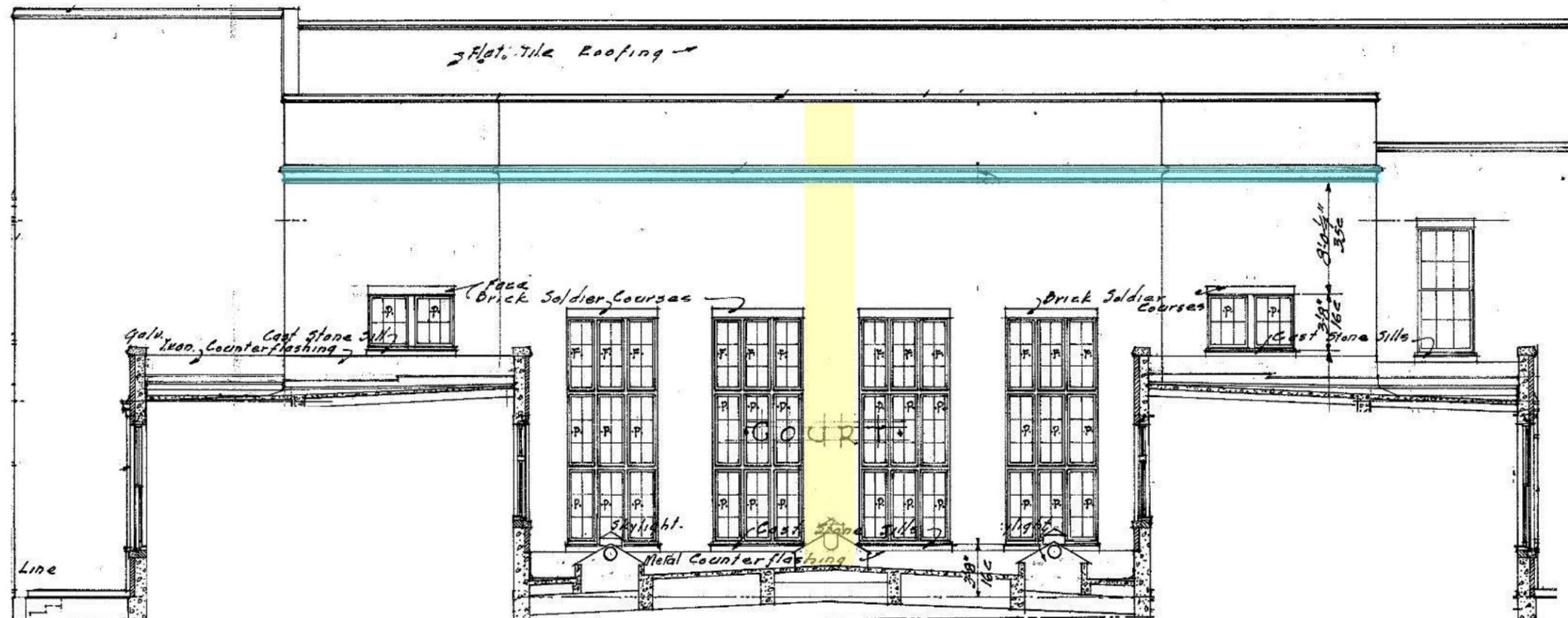
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1 EAST ELEVATION AT GYMNASIUMS (PARTIAL)

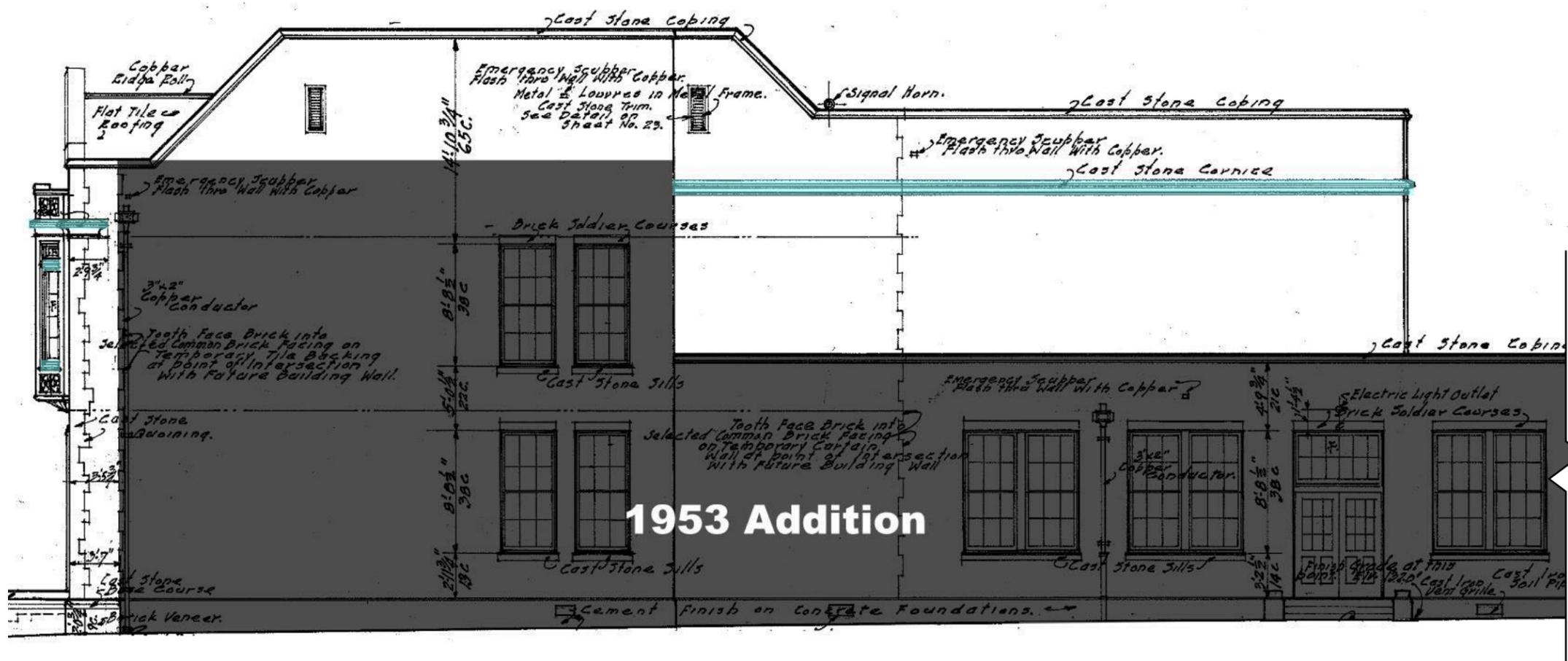
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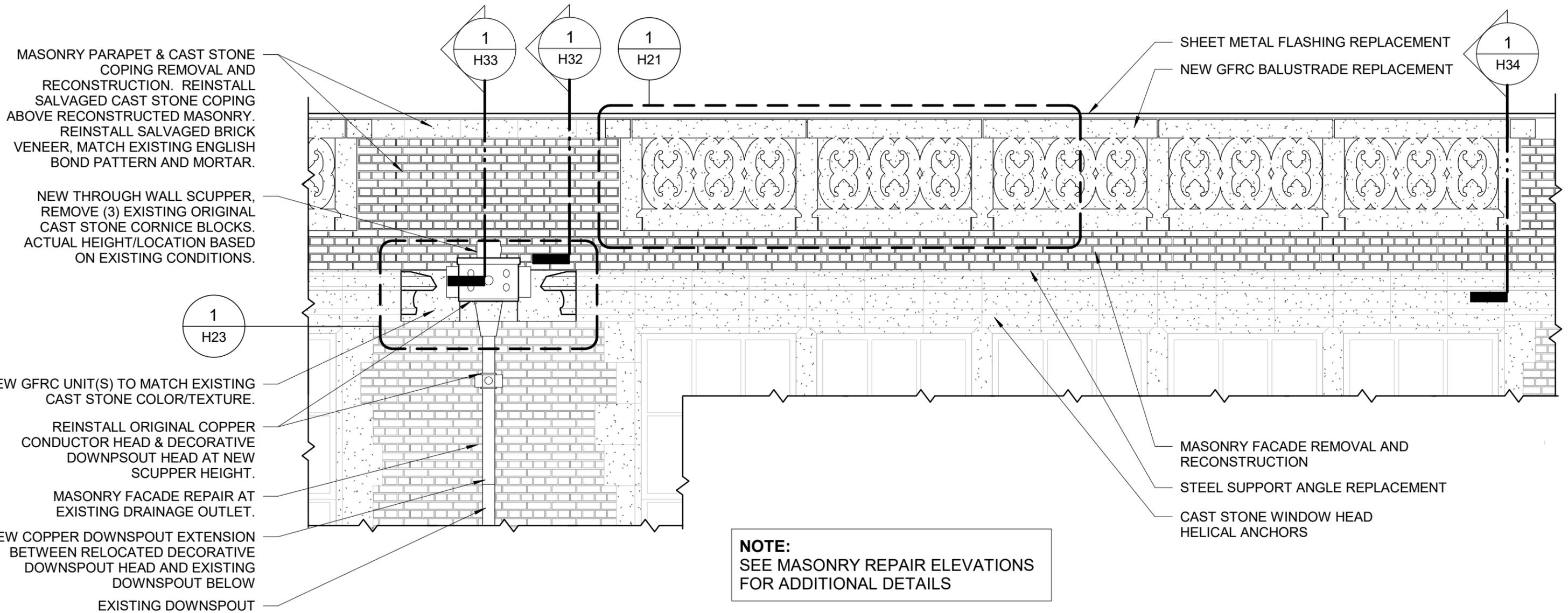
1 EAST ELEVATION AT THEATER (PARTIAL)
Scale: NTS





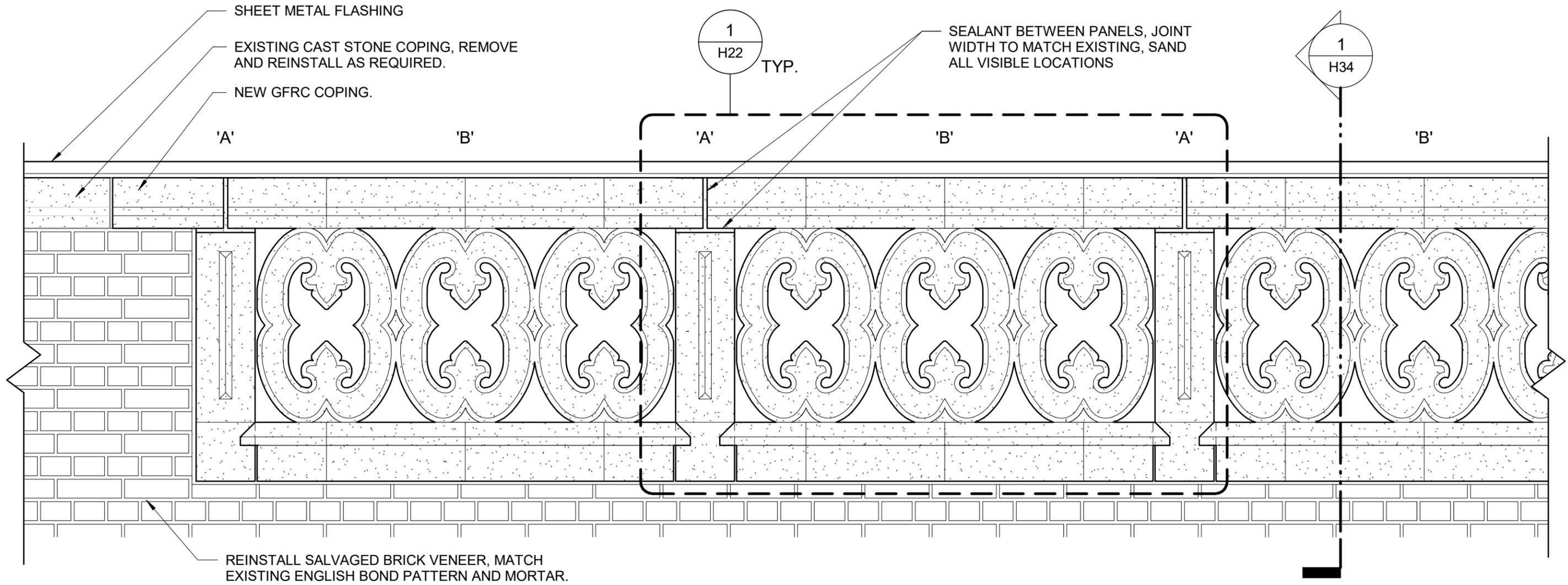
1 SOUTH ELEVATION (PARTIAL)
Scale: NTS





1 BALUSTRADE, PARAPET AND DOWNSPOUT RECONSTRUCTION ELEVATION, TYPICAL
Scale: 3/8" = 1'-0"

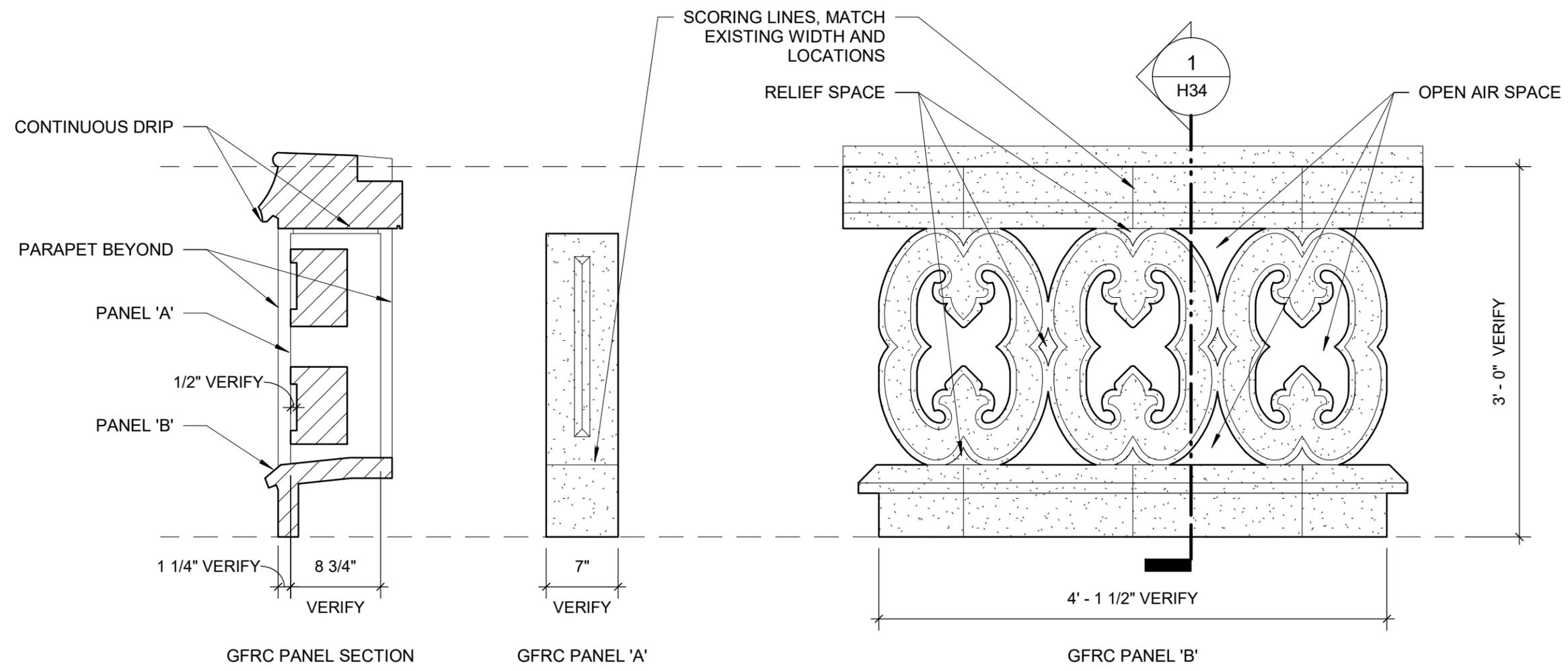




1 **GFRC BALUSTRADE ENLARGED ELEVATION**
 Scale: 1" = 1'-0"

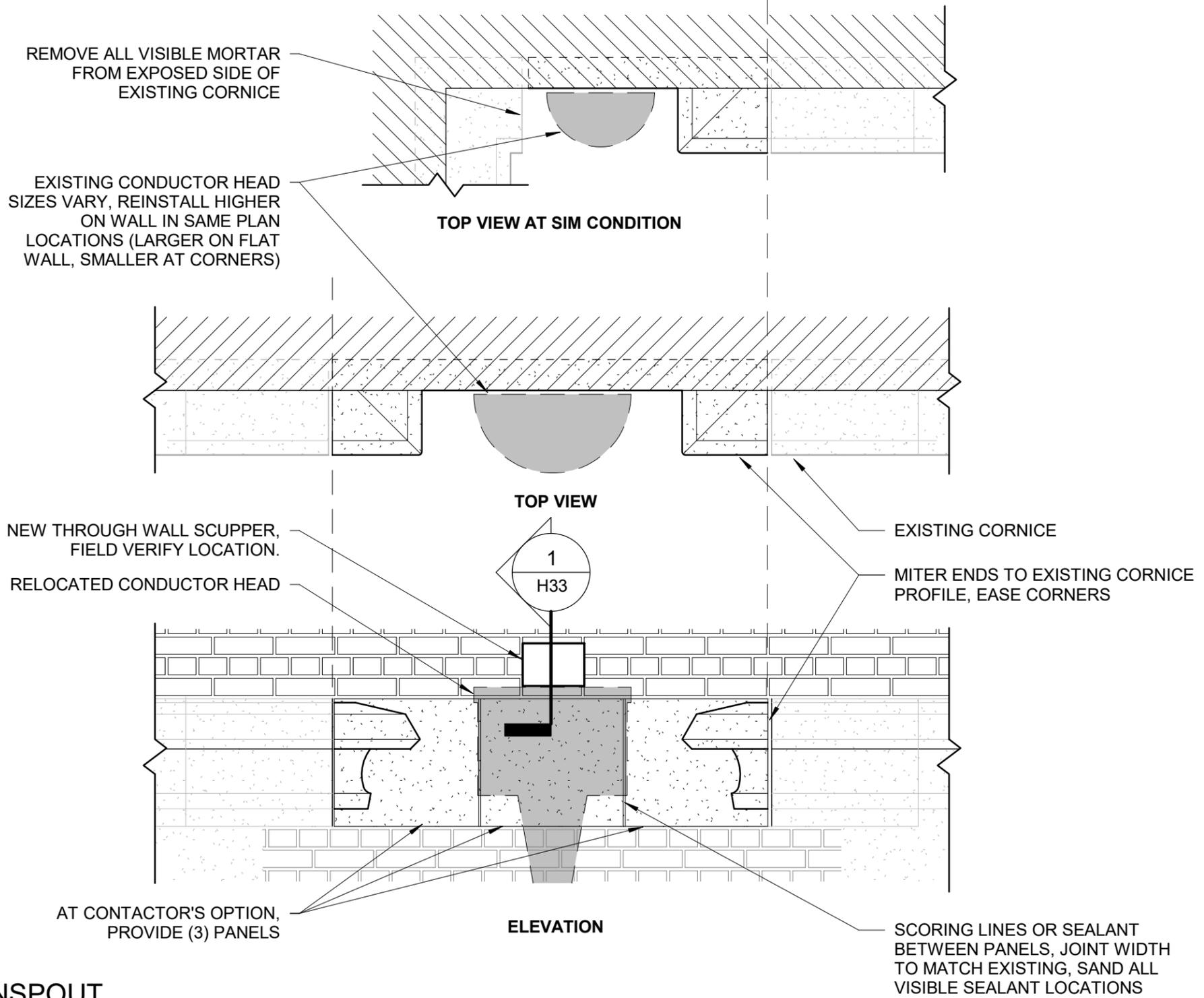


- GFRC NOTES:**
1. DIMENSIONS SHOWN ARE DERIVED FROM ORIGINAL 1926 DRAWINGS. GFRC MANUFACTURER TO MATCH DIMENSIONS AND PROFILES OF ORIGINAL SALVAGED COMPONENTS, AVAILABLE BY REQUEST FROM THE OWNER.
 2. GFRC FINISH TO MATCH ORIGINAL IN APPEARANCE, COLOR, TEXTURE AND SCALE OF ORIGINAL SALVAGED COMPONENTS, PER APPROVAL BY OWNER AND ARCHITECT.
 3. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION AND SUBMITTAL REQUIREMENTS.



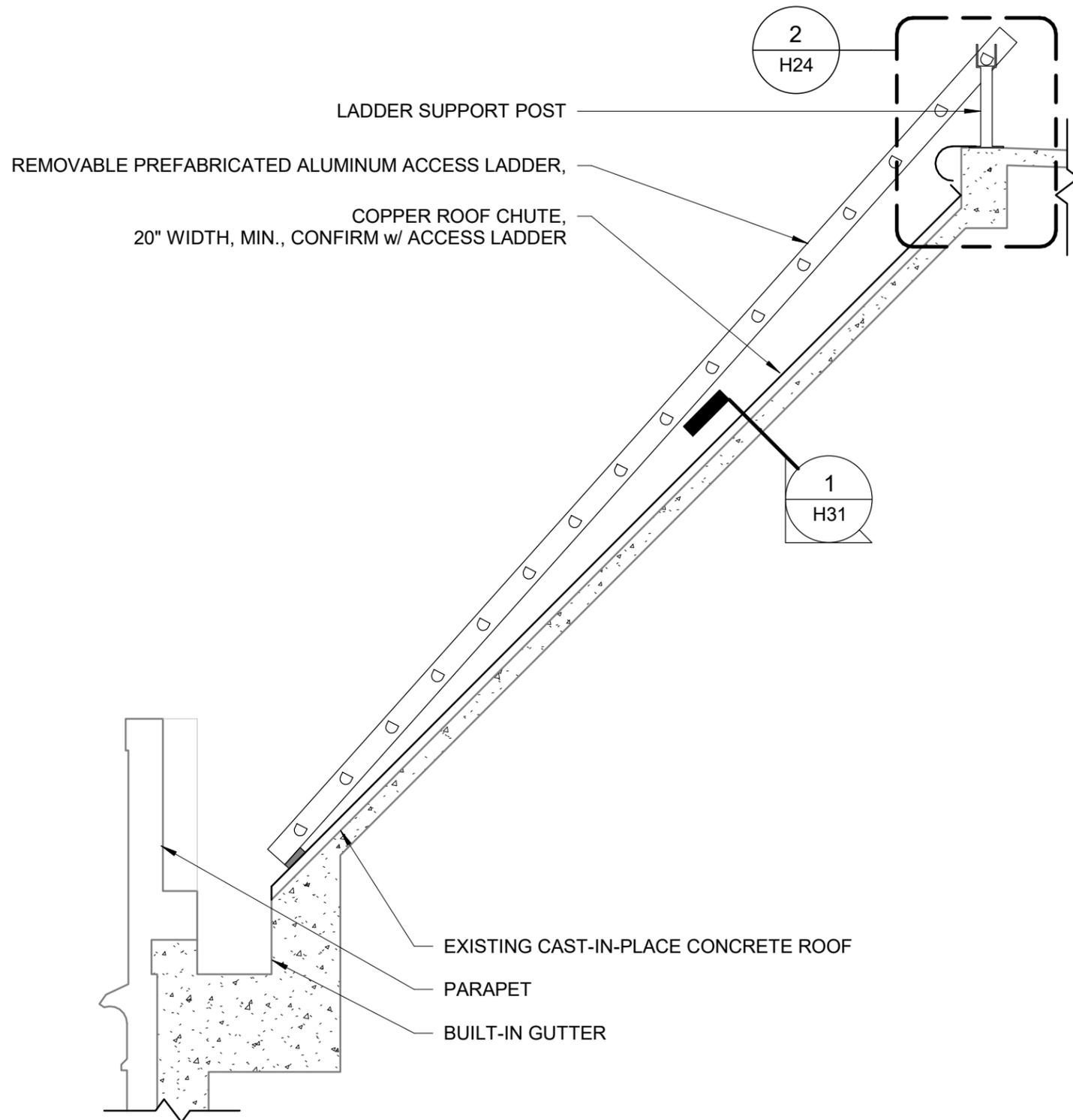
1 GFRC BALUSTRADE UNIT DETAILS
 Scale: 1" = 1'-0"



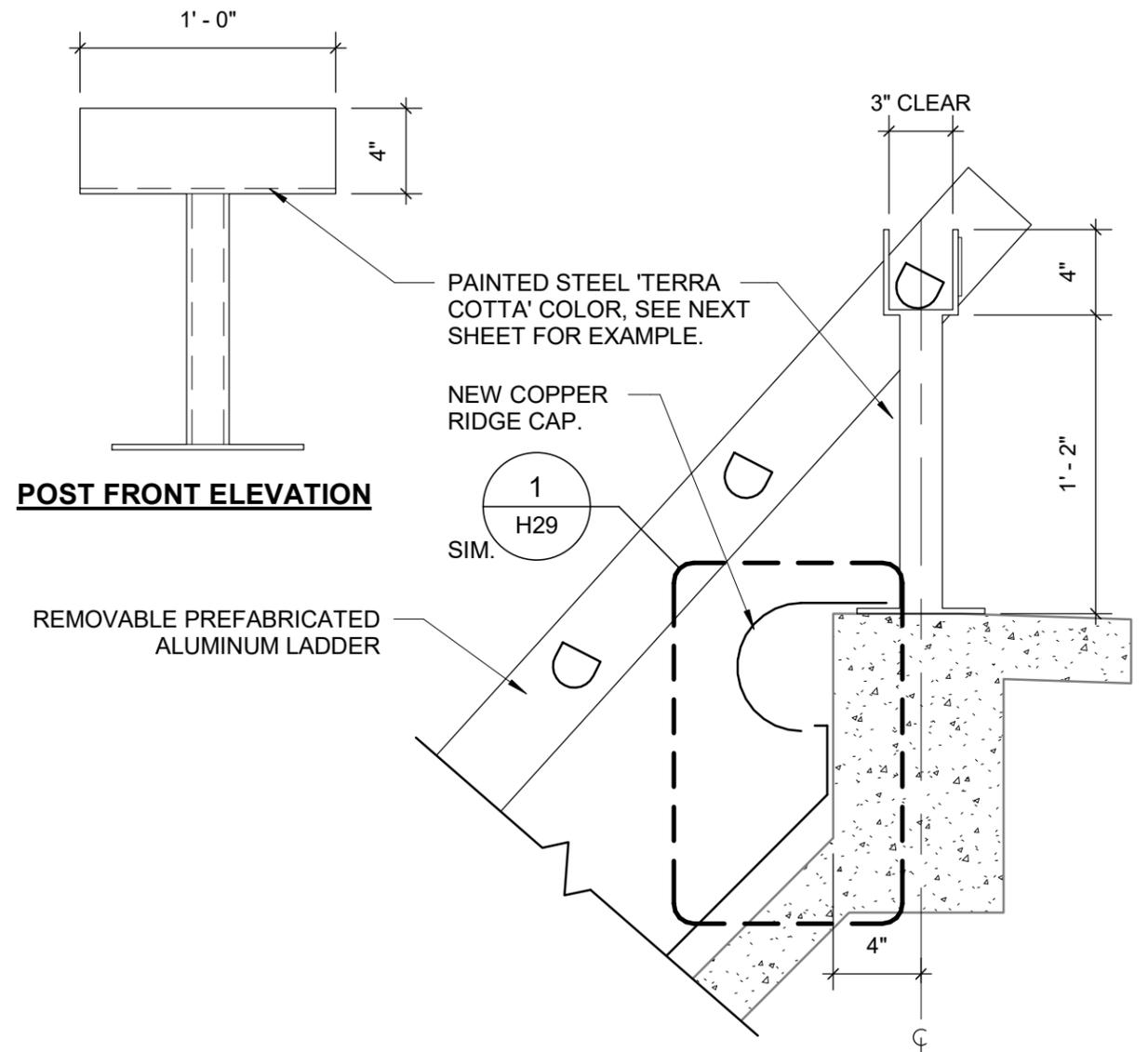


1 **GFRC CORNICE AT DOWNSPOUT**
 Scale: 3/4" = 1'-0"





1 LADDER CHUTE SECTION
Scale: 1/2" = 1'-0"



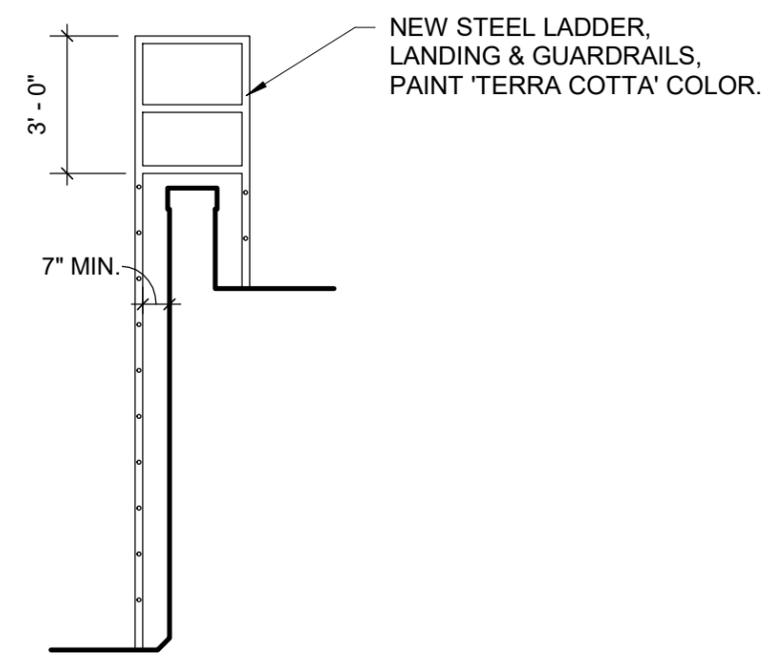
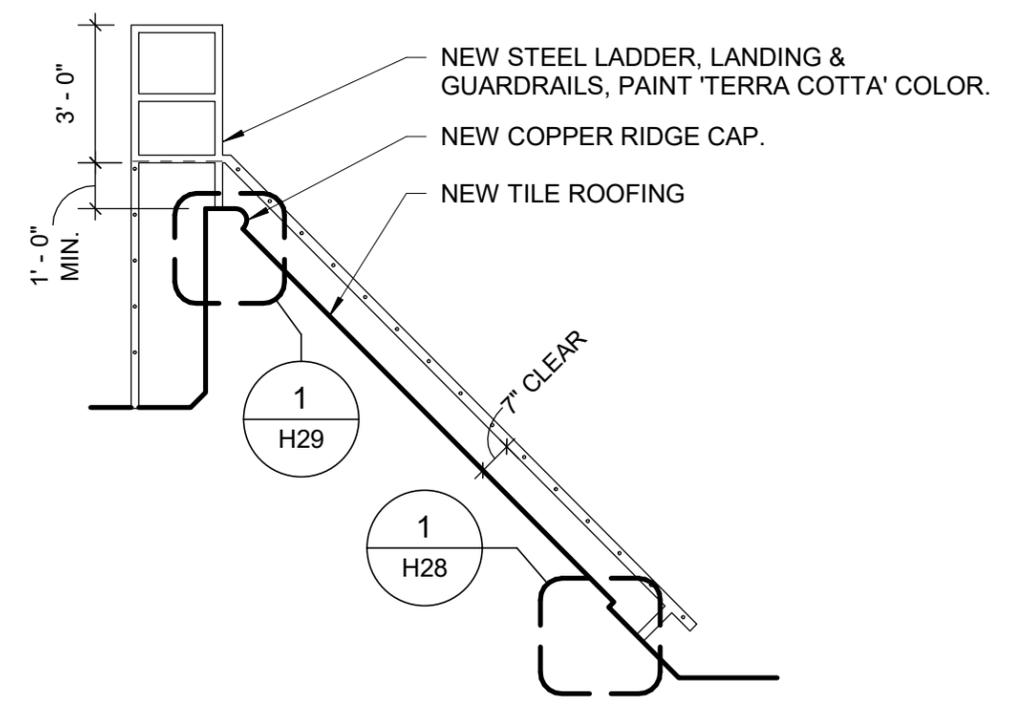
2 LADDER POST DETAIL
Scale: 1 1/2" = 1'-0"





TERRA COTTA | SRI: 42

COLOR SAMPLE OF STEEL PAINT



1 ROOF LADDER SECTION AT SLOPED ROOF
Scale: 1/4" = 1'-0"

2 ROOF LADDER SECTION AT PARAPET
Scale: 1/4" = 1'-0"

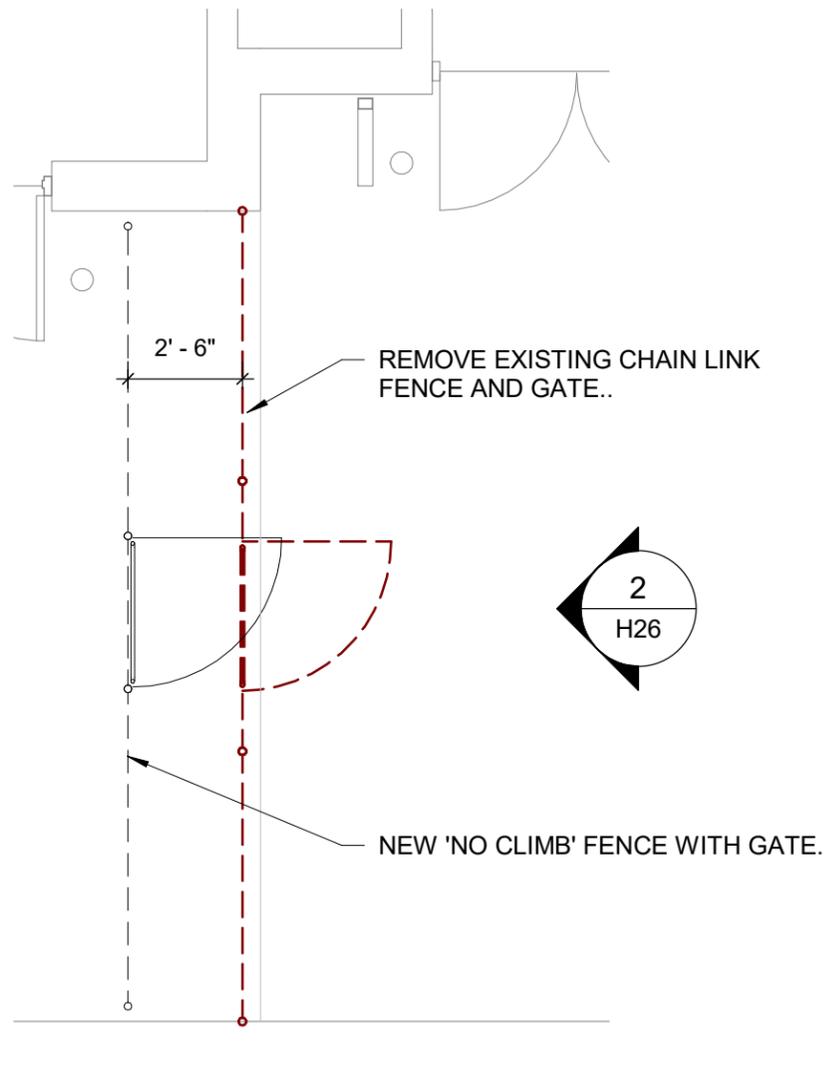


Duniway Elementary School Improvements Phase 2
LAND USE REVIEW SUBMITTAL
DECEMBER 2022

DETAILS

H25

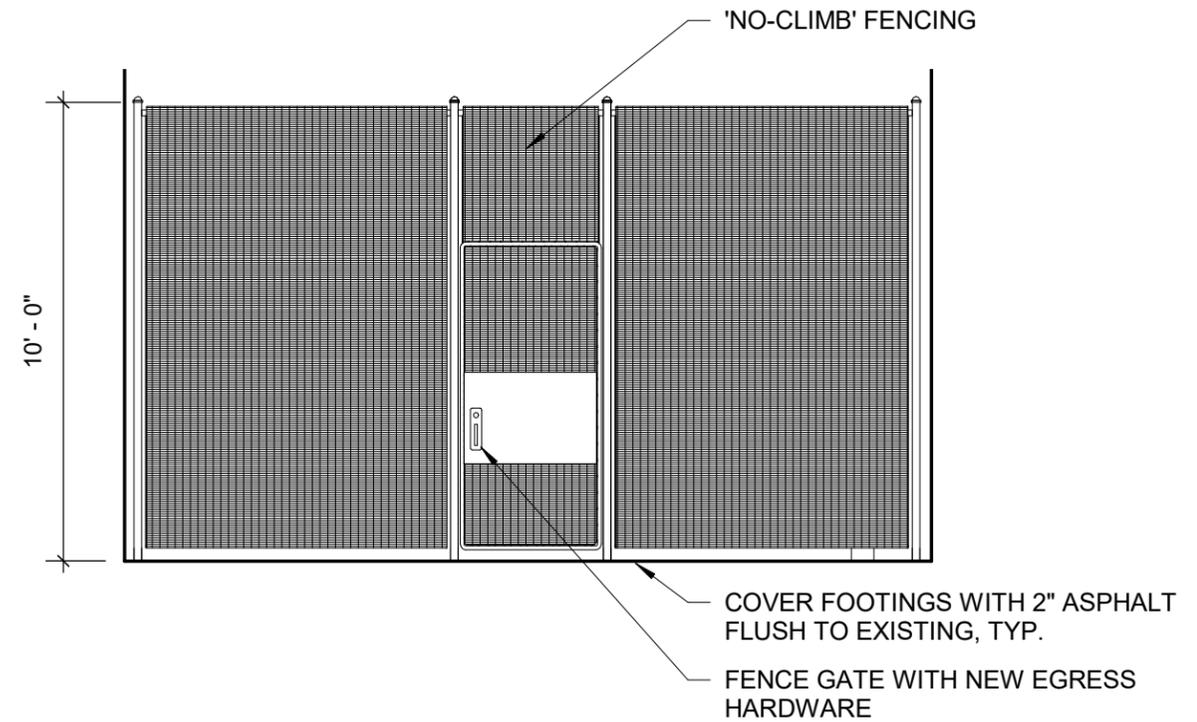
LU 22-213205 HR A5



1 ENLARGED PLAN AT NEW FENCE
Scale: 1/4" = 1'-0"

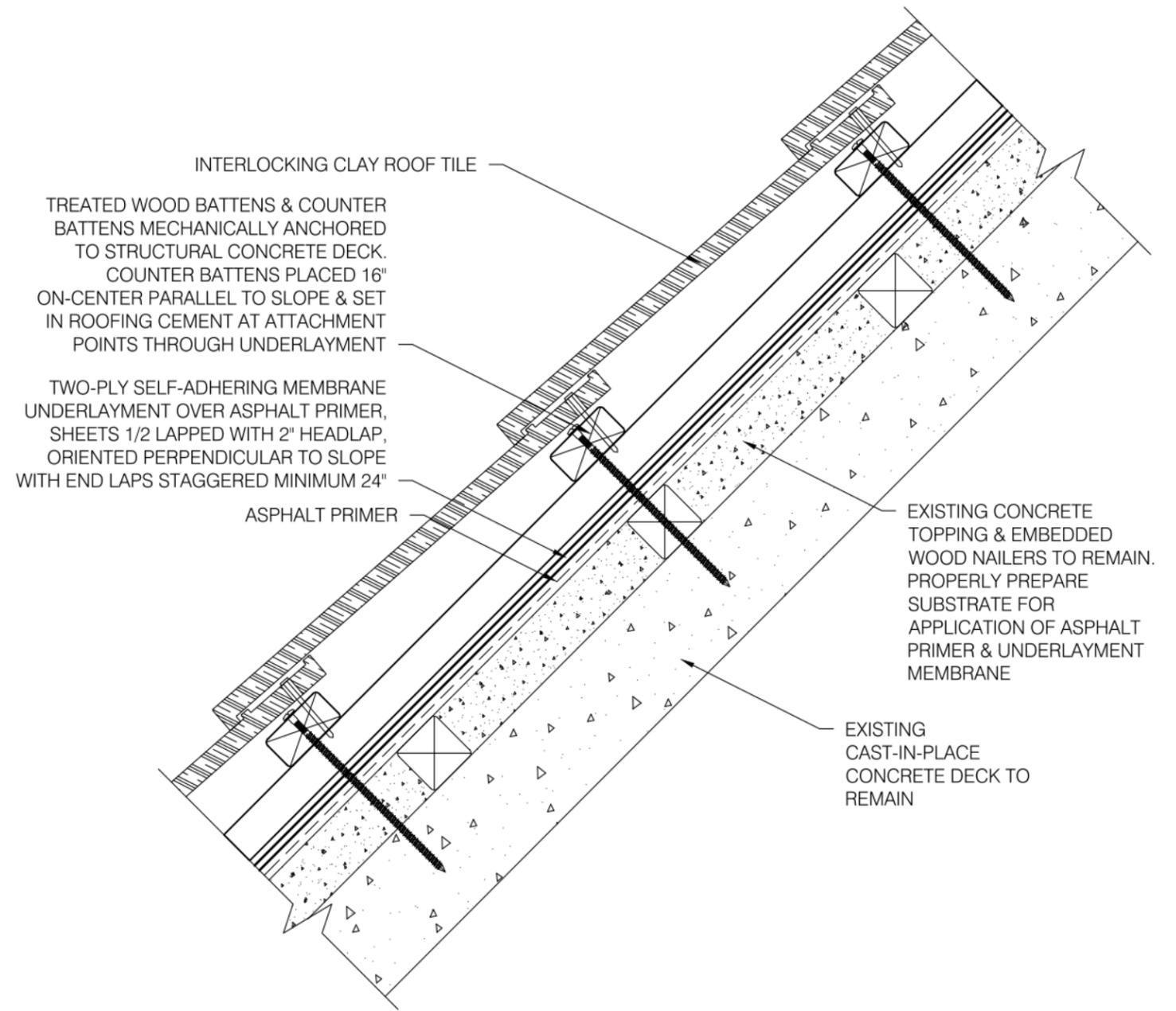
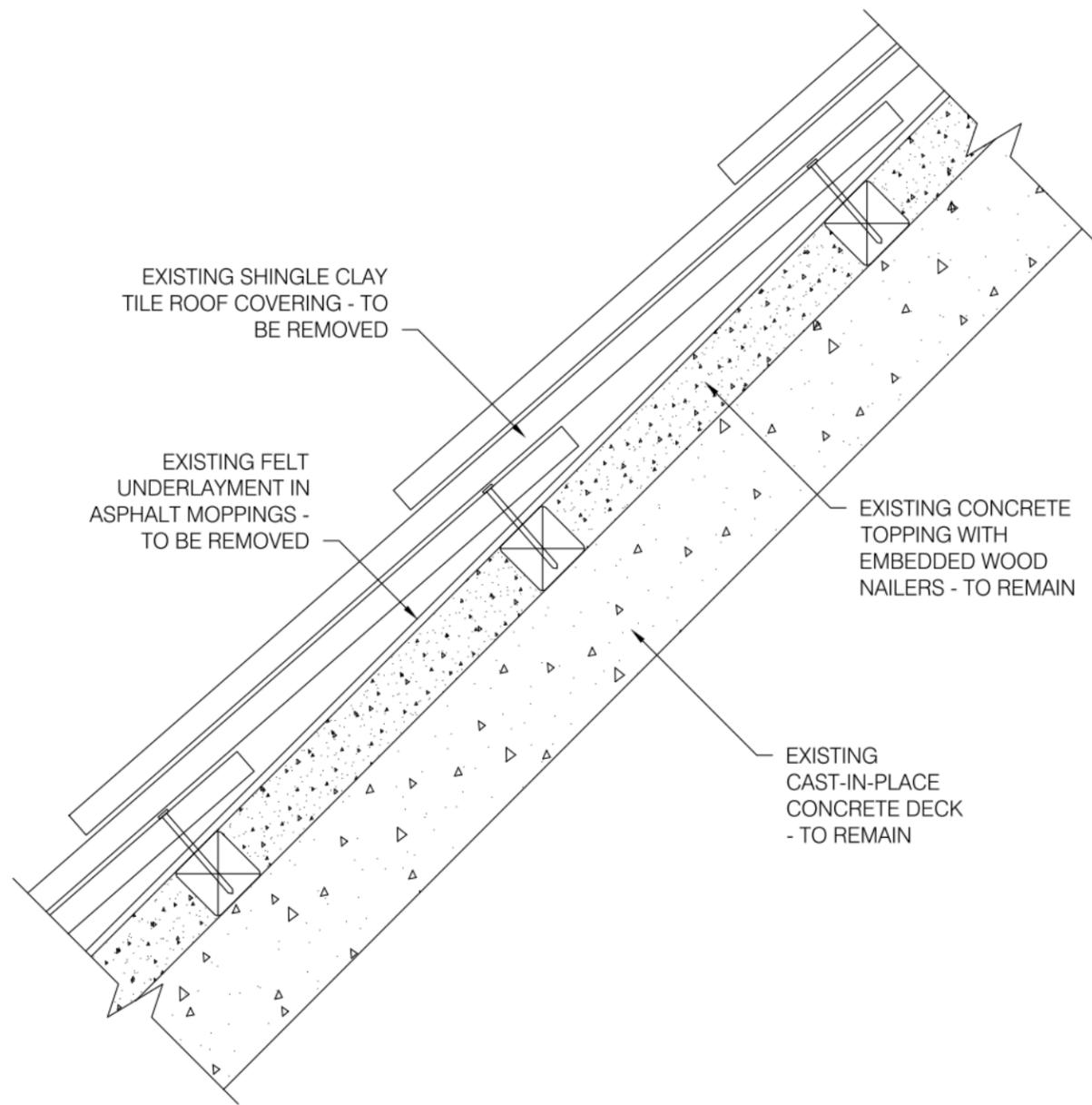


NO-CLIMB FENCING
AMERISTAR WIREWORKS ANTI-CLIMB FENCE PANELS
WELDED GALVANIZED WIRE, PAINTED



2 FENCE ELEVATION
Scale: 1/4" = 1'-0"





1 **EXISTING TILE ROOF**
Scale: 3" = 1'-0"

2 **PROPOSED TILE ROOF**
Scale: 3" = 1'-0"



TREATED WOOD BATTENS & COUNTER BATTENS
MECHANICALLY ANCHORED TO STRUCTURAL CONCRETE
DECK. COUNTER BATTENS PLACED 16" ON-CENTER
PARALLEL TO SLOPE & SET IN ROOFING CEMENT AT
ATTACHMENT POINTS THROUGH UNDERLAYMENT

TWO-PLY SELF-ADHERING MEMBRANE
UNDERLAYMENT OVER ASPHALT PRIMER,
SHEETS 1/2 LAPPED WITH 2" HEADLAP,
ORIENTED PERPENDICULAR TO SLOPE WITH
END LAPS STAGGERED MINIMUM 24"

ASPHALT PRIMER

INTERLOCKING CLAY ROOF TILE

TREATED WOOD EDGE BATTEN
MECHANICALLY ANCHORED TO STRUCTURAL
CONCRETE DECK. COUNTER BATTENS
PLACED 16" ON CENTER PARALLEL TO SLOPE
& SET IN ROOFING CEMENT AT ATTACHMENT
POINTS THROUGH UNDERLAYMENT

20 OZ COPPER TWO-PIECE
COUNTER FLASHING WITH BATTEN
RECEIVER MECHANICALLY
ANCHORED 16" ON CENTER WITH
BRASS HELICAL ANCHORS THROUGH
BRASS WASHERS BOTH SIDES

EXISTING CONCRETE TOPPING &
EMBEDDED WOOD NAILERS TO REMAIN.
PROPERLY PREPARE SUBSTRATE FOR
APPLICATION OF ASPHALT PRIMER &
UNDERLAYMENT MEMBRANE

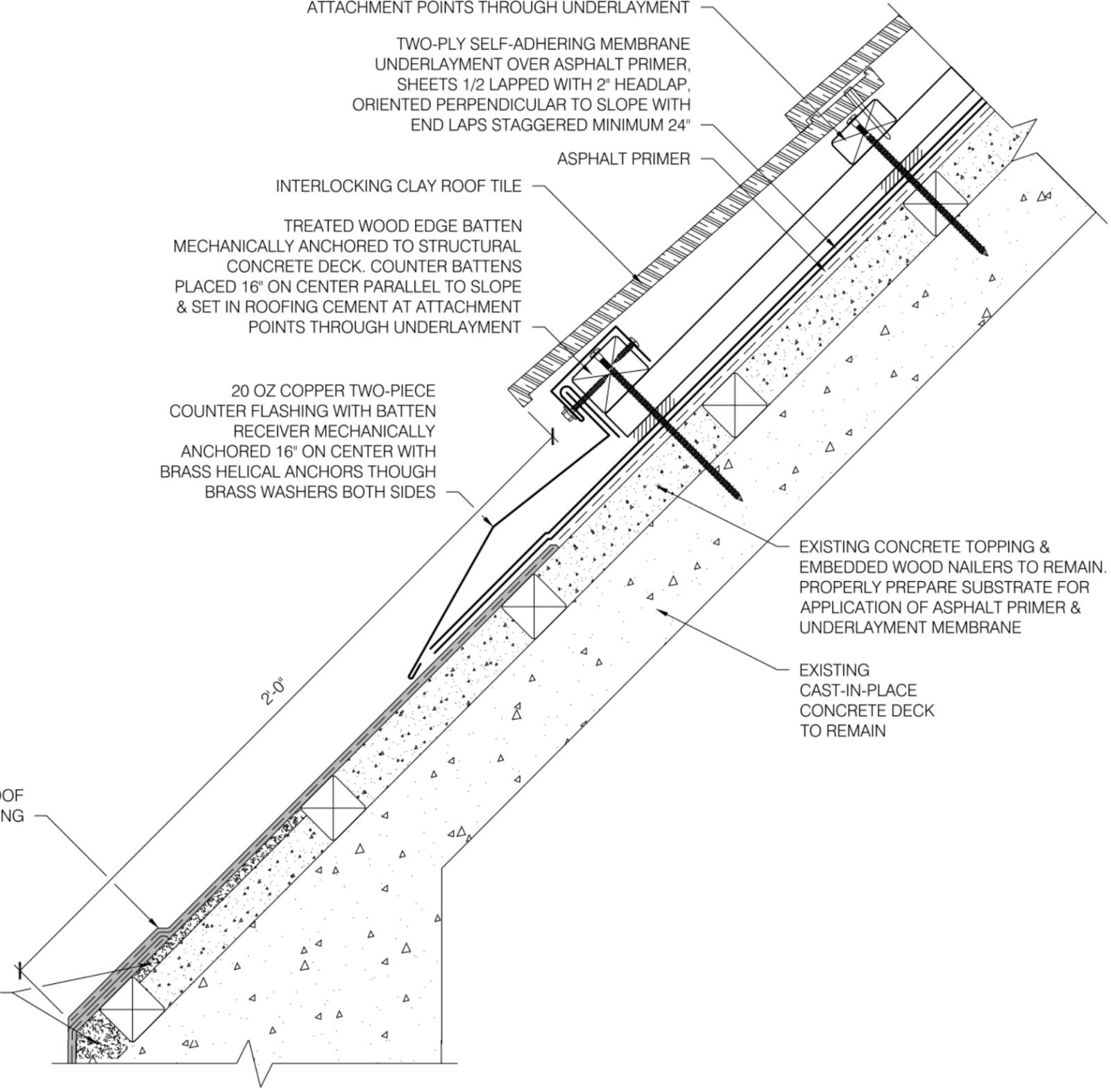
EXISTING
CAST-IN-PLACE
CONCRETE DECK
TO REMAIN

REINFORCED LIQUID ROOF
MEMBRANE BASE FLASHING

REMOVE LOOSE MATERIAL &
PROVIDE PATCHING MORTAR
APPLICATION AS NECESSARY TO
PROVIDE A UNIFORM & IN-PLANE
SURFACE THAT IS AN APPROPRIATE
RECEIVING SUBSTRATE FOR THE
REINFORCED LIQUID ROOF
MEMBRANE BASE FLASHING

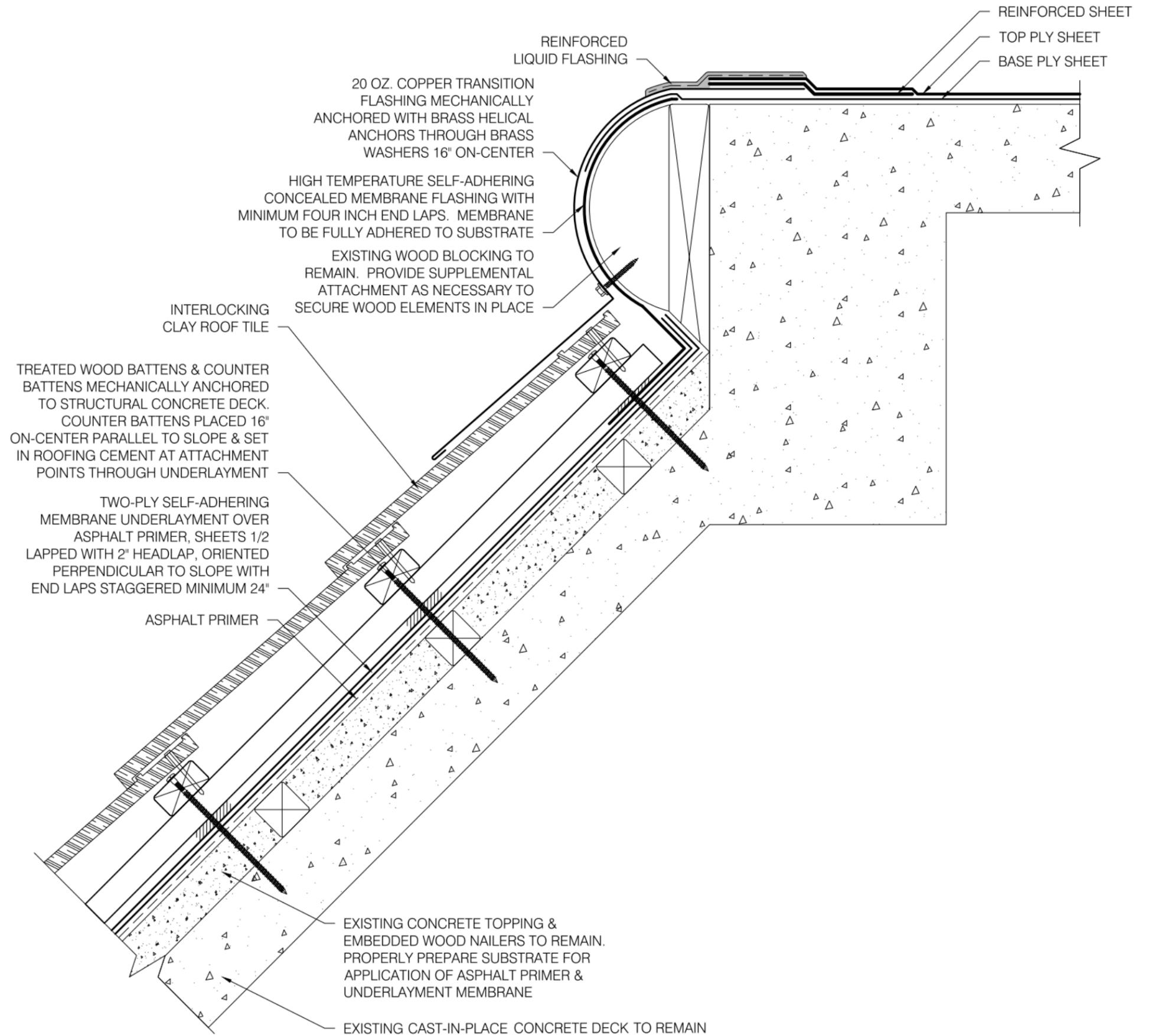
2'-0"

1 **TILE ROOF LOW TRANSITION**
Scale: 3" = 1'-0"



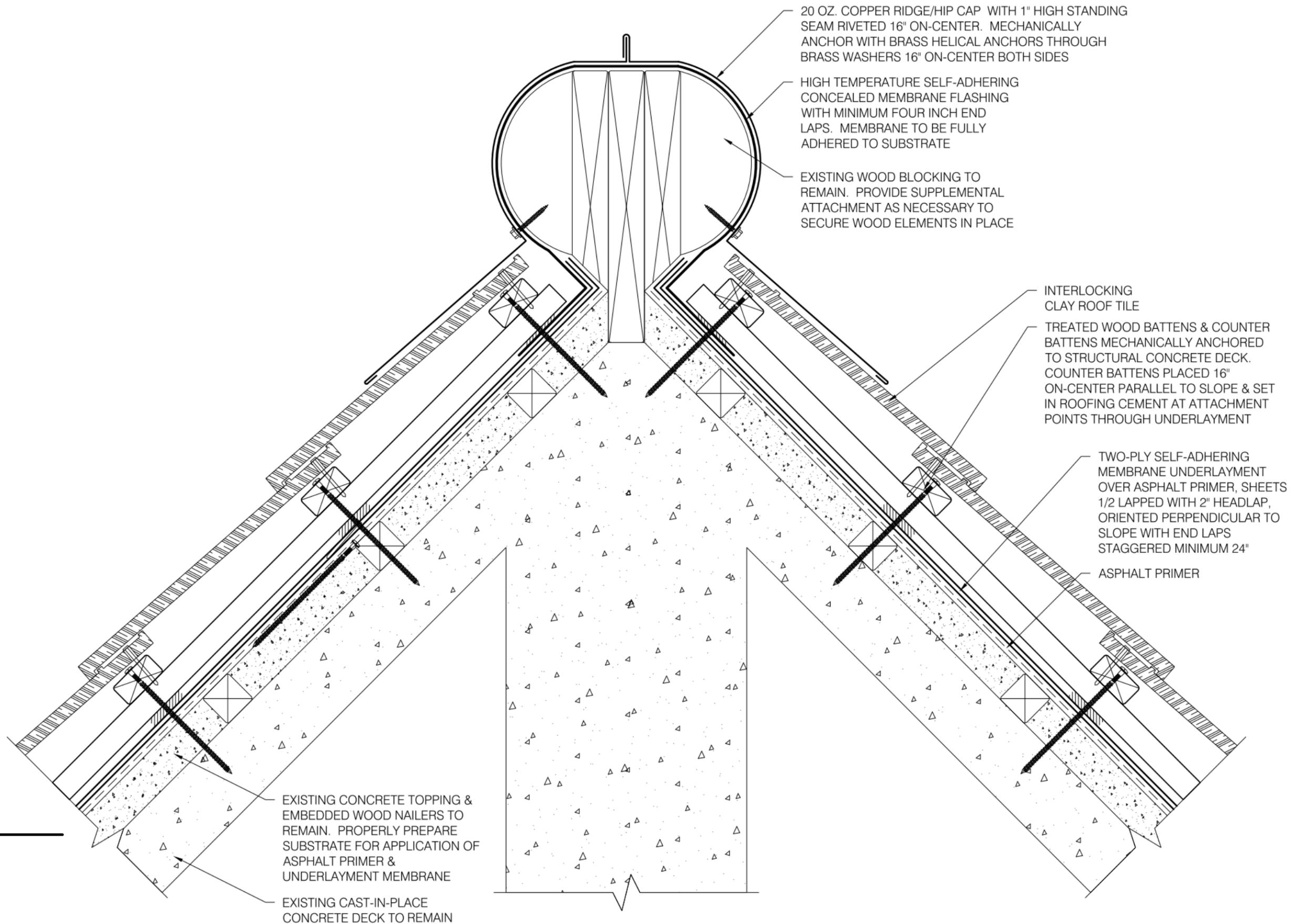
ROOF DETAIL





1 **RIDGE CAP DETAIL**
 Scale: 3" = 1'-0"





20 OZ. COPPER RIDGE/HIP CAP WITH 1" HIGH STANDING SEAM RIVETED 16" ON-CENTER. MECHANICALLY ANCHOR WITH BRASS HELICAL ANCHORS THROUGH BRASS WASHERS 16" ON-CENTER BOTH SIDES

HIGH TEMPERATURE SELF-ADHERING CONCEALED MEMBRANE FLASHING WITH MINIMUM FOUR INCH END LAPS. MEMBRANE TO BE FULLY ADHERED TO SUBSTRATE

EXISTING WOOD BLOCKING TO REMAIN. PROVIDE SUPPLEMENTAL ATTACHMENT AS NECESSARY TO SECURE WOOD ELEMENTS IN PLACE

INTERLOCKING CLAY ROOF TILE

TREATED WOOD BATTENS & COUNTER BATTENS MECHANICALLY ANCHORED TO STRUCTURAL CONCRETE DECK. COUNTER BATTENS PLACED 16" ON-CENTER PARALLEL TO SLOPE & SET IN ROOFING CEMENT AT ATTACHMENT POINTS THROUGH UNDERLAYMENT

TWO-PLY SELF-ADHERING MEMBRANE UNDERLAYMENT OVER ASPHALT PRIMER, SHEETS 1/2 LAPPED WITH 2" HEADLAP, ORIENTED PERPENDICULAR TO SLOPE WITH END LAPS STAGGERED MINIMUM 24"

ASPHALT PRIMER

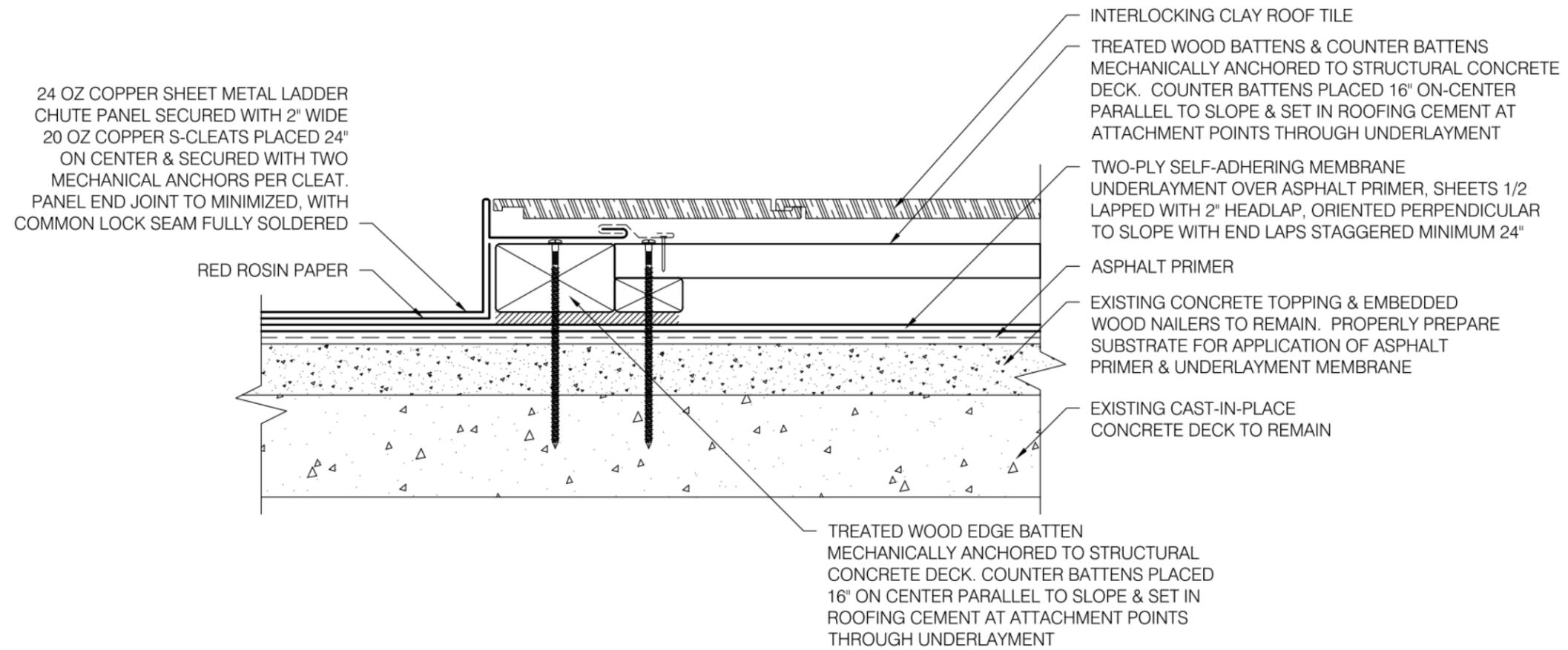
EXISTING CONCRETE TOPPING & EMBEDDED WOOD NAILERS TO REMAIN. PROPERLY PREPARE SUBSTRATE FOR APPLICATION OF ASPHALT PRIMER & UNDERLAYMENT MEMBRANE

EXISTING CAST-IN-PLACE CONCRETE DECK TO REMAIN

1 RIDGE/HIP CAP
Scale: 3" = 1'-0"

ROOF DETAIL



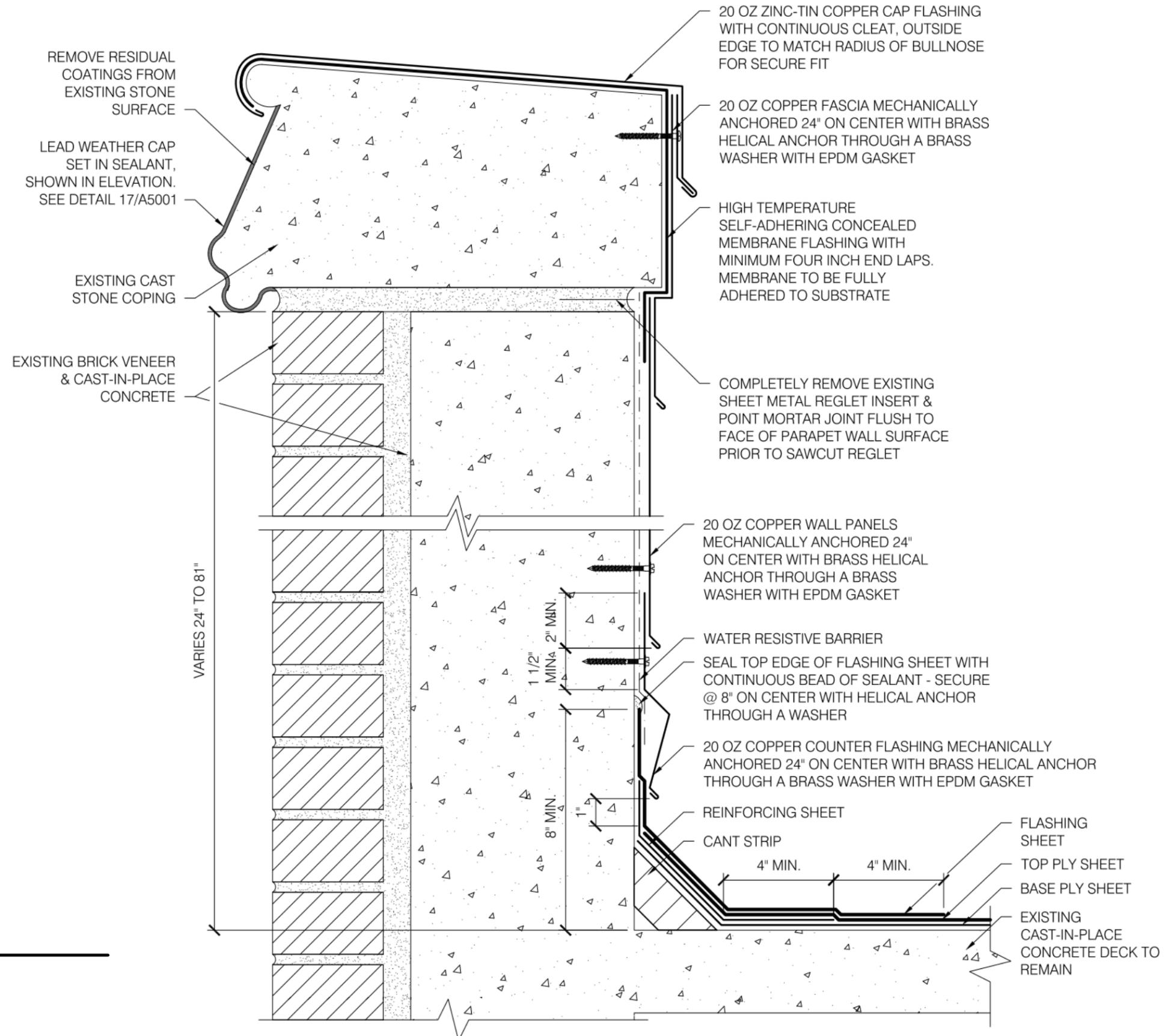


1

LADDER CHUTE SECTION

Scale: 3" = 1'-0"

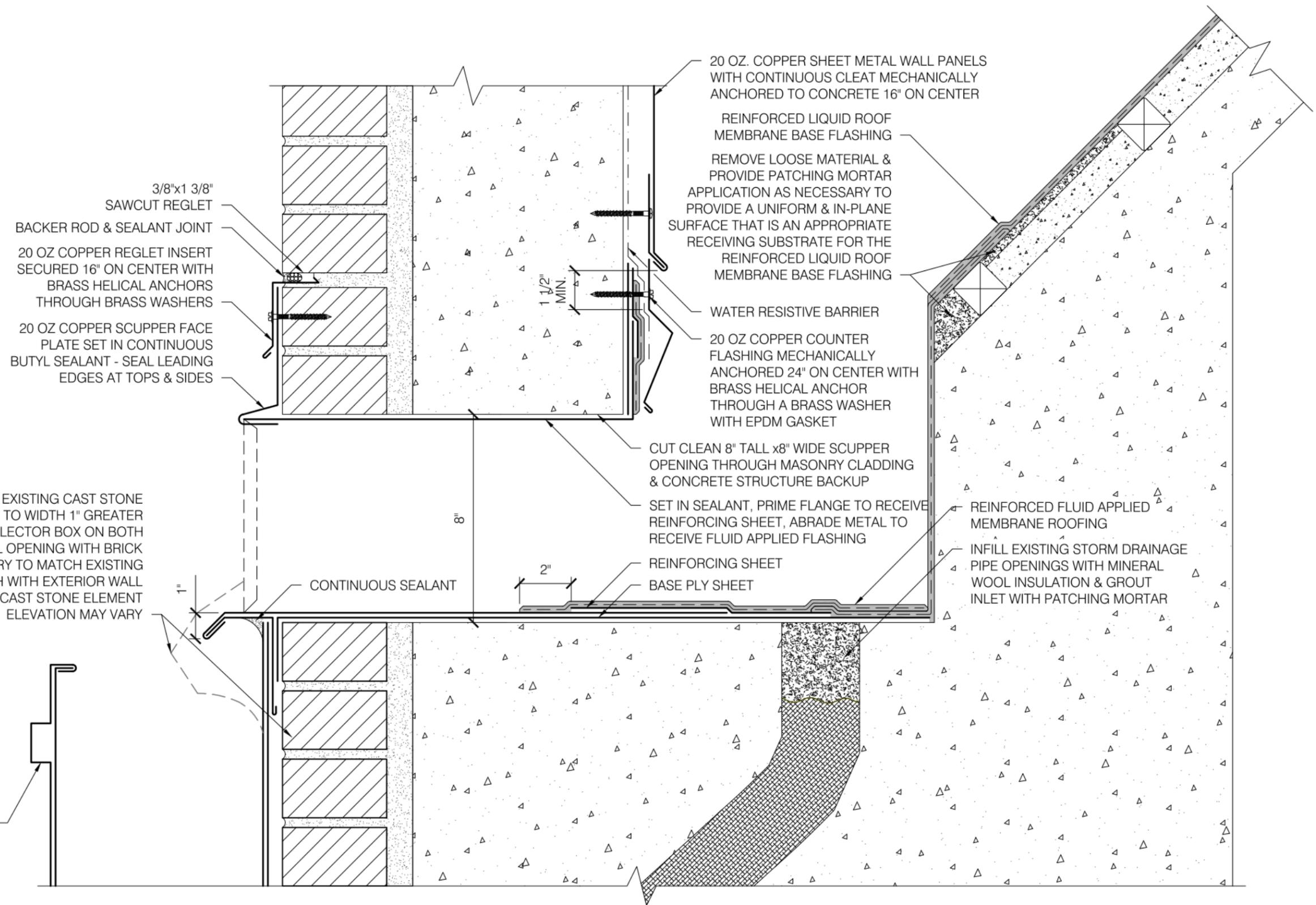




1 PARAPET WALL SECTION
 H32 Scale: 3" = 1'-0"

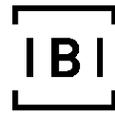
ROOF DETAILS



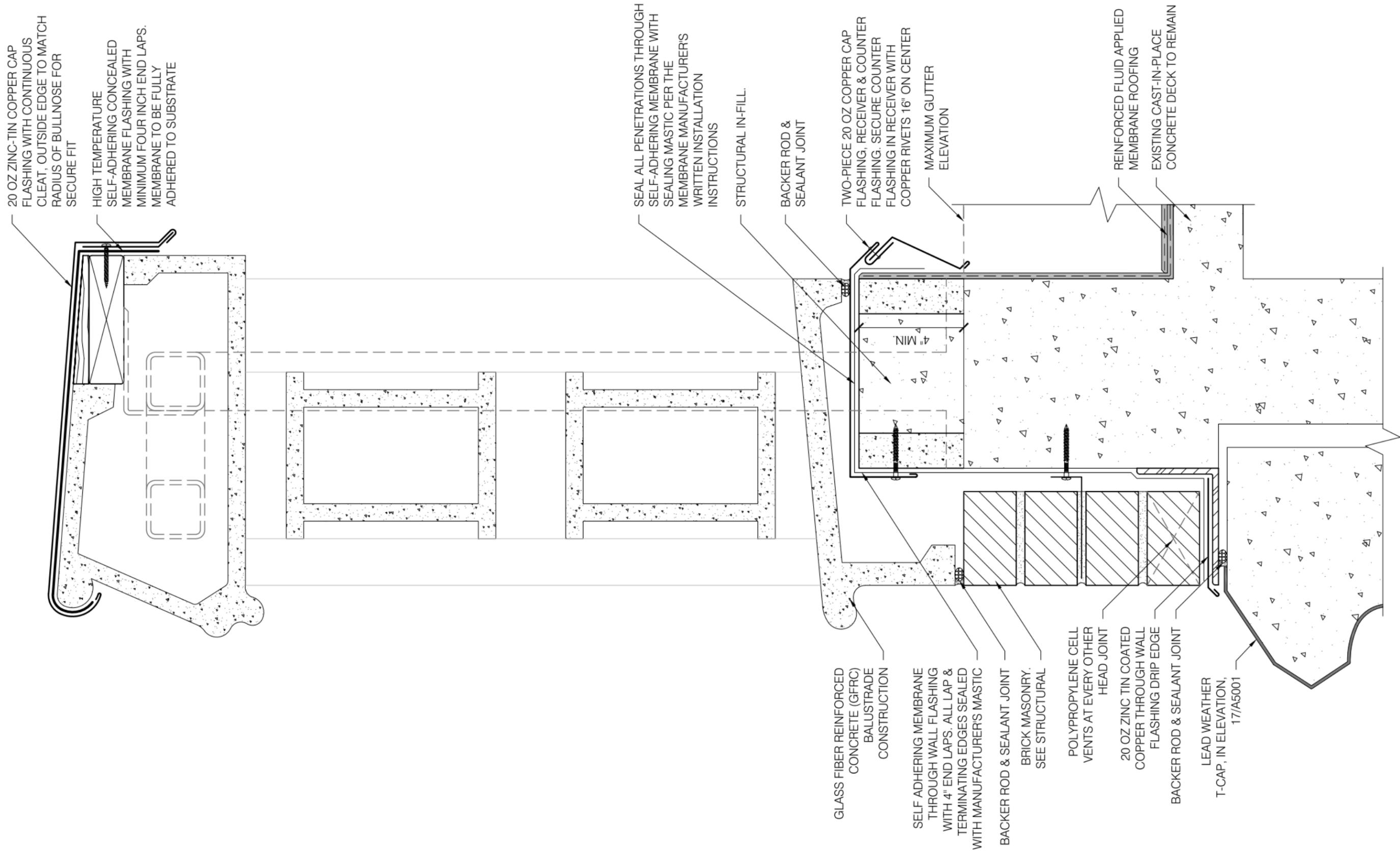


1 PROPOSED SCUPPER
 Scale: 3" = 1'-0"

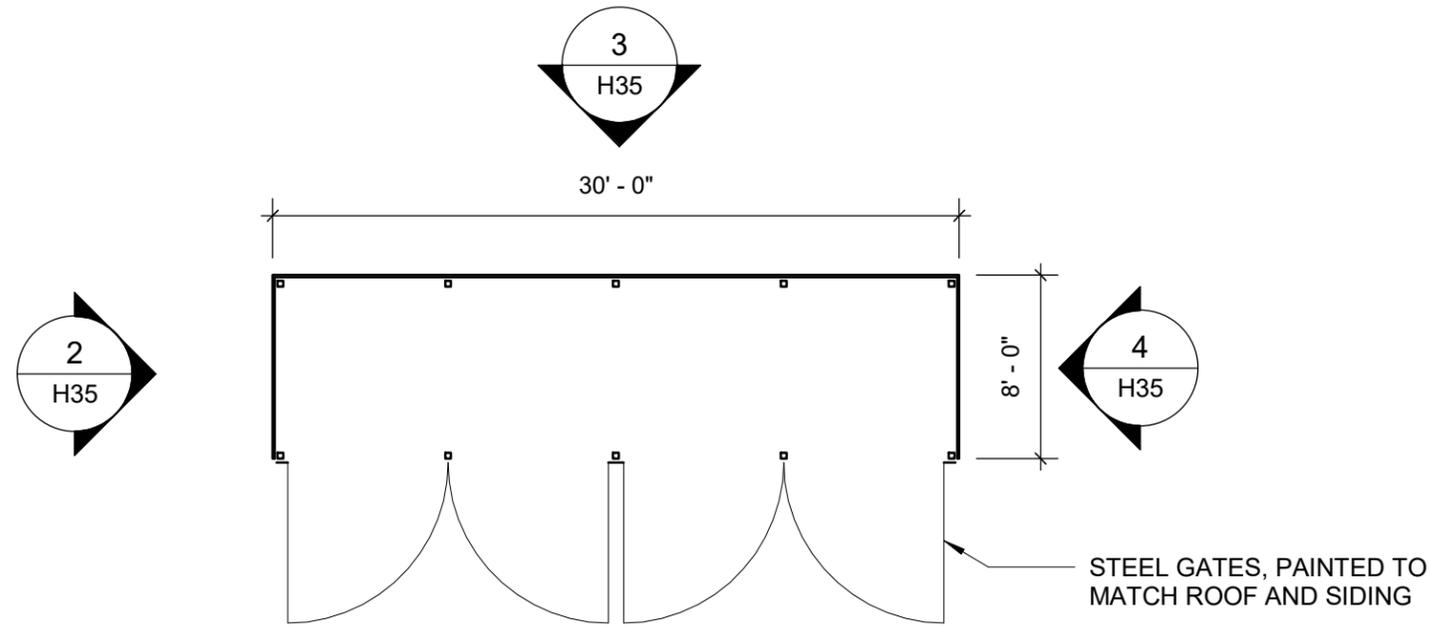




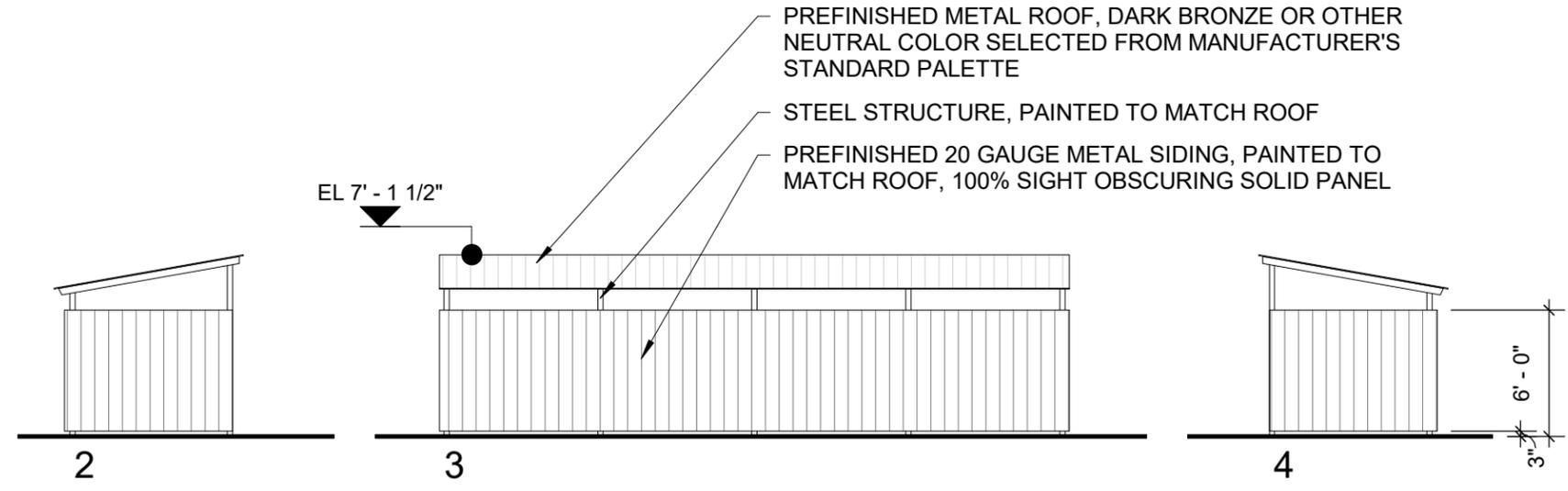
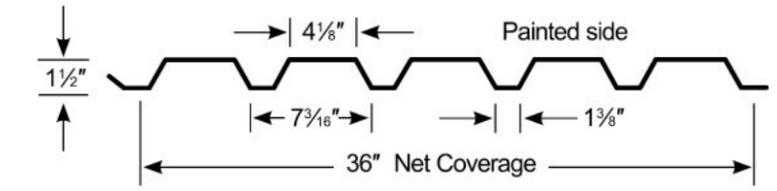
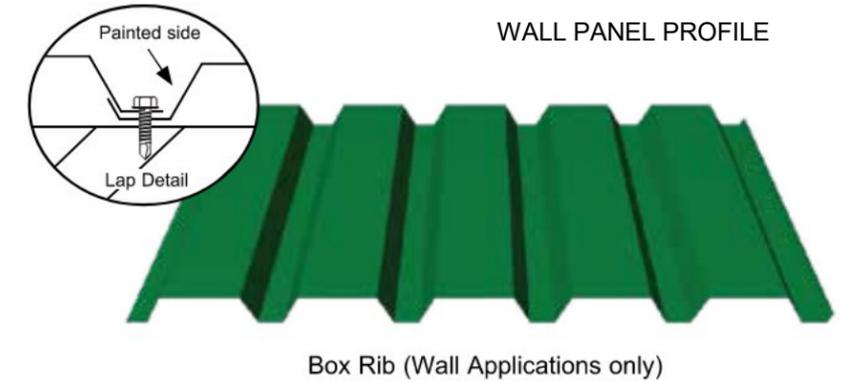
ROOF DETAIL



1 PROPOSED PARAPET BALUSTRADE SECTION
 Scale: 3" = 1'-0"



1 ENLARGED PLAN - TRASH ENCLOSURE
 Scale: 1/8" = 1'-0"



ELEVATIONS - TRASH ENCLOSURE
 Scale: 1/8" = 1'-0"



Site Photos - Duniway Elementary School - Parapet Balustrade Replacement

Balustrade 1

DS

2

DS

3



fig.1 : north elevation

DS

3

4

5

6



fig.2: north and west elevation, front entry

DS

5

6

DS



fig.3 : west elevation, front entry

7



fig.4 : west and south elevation



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Site Photos - Duniway Elementary School - Parapet Balustrade Replacement

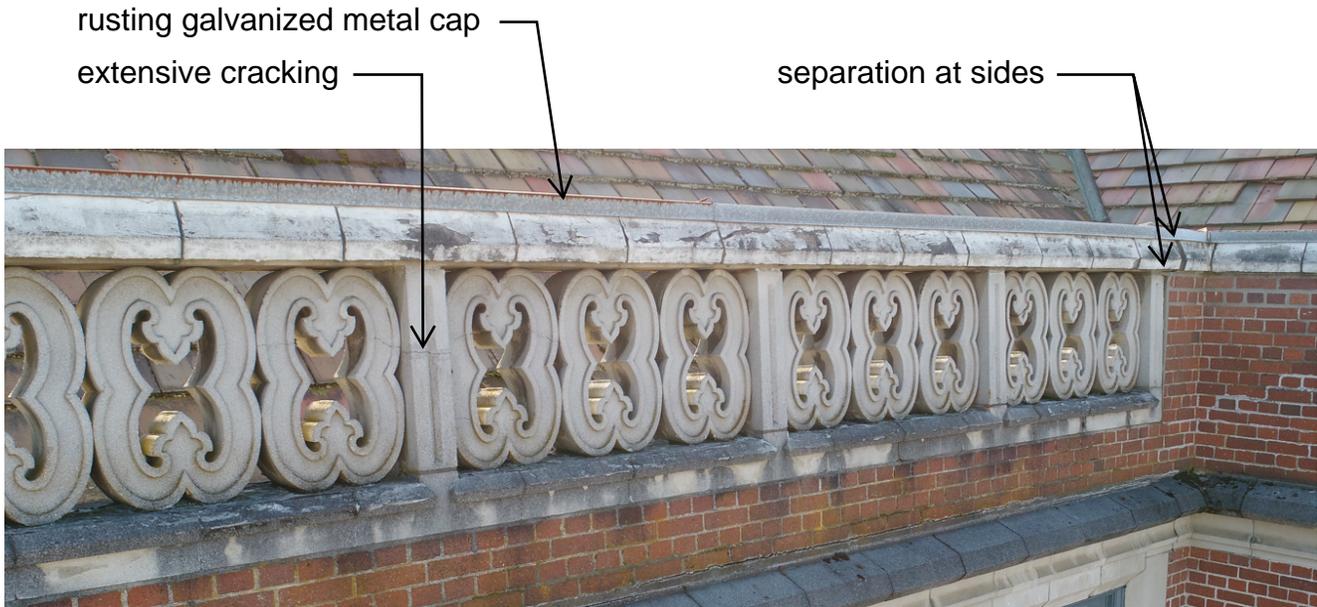


fig.5 : balustrade '2' right side



fig.6 : balustrade '2' left side

displacement
at sides

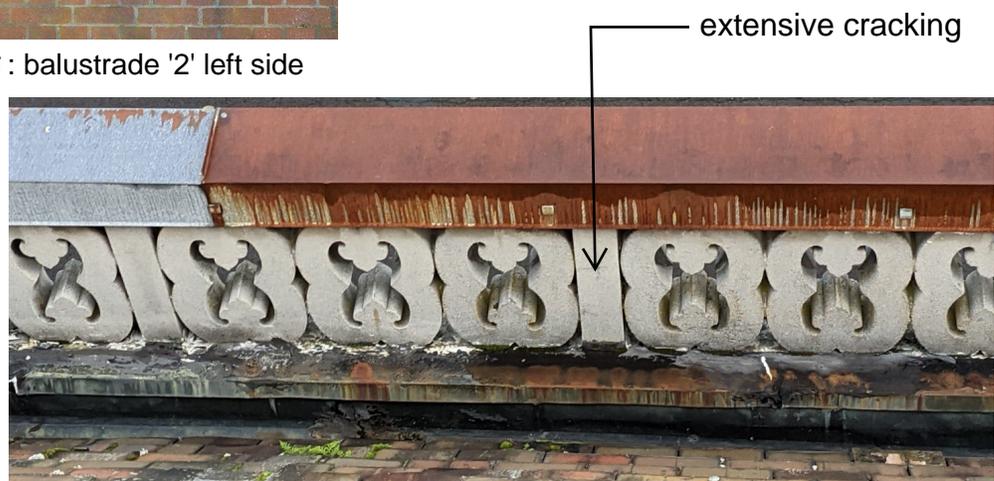


fig.7 : balustrade '2' back center

Site Photos - Duniway Elementary School - Parapet Balustrade Replacement

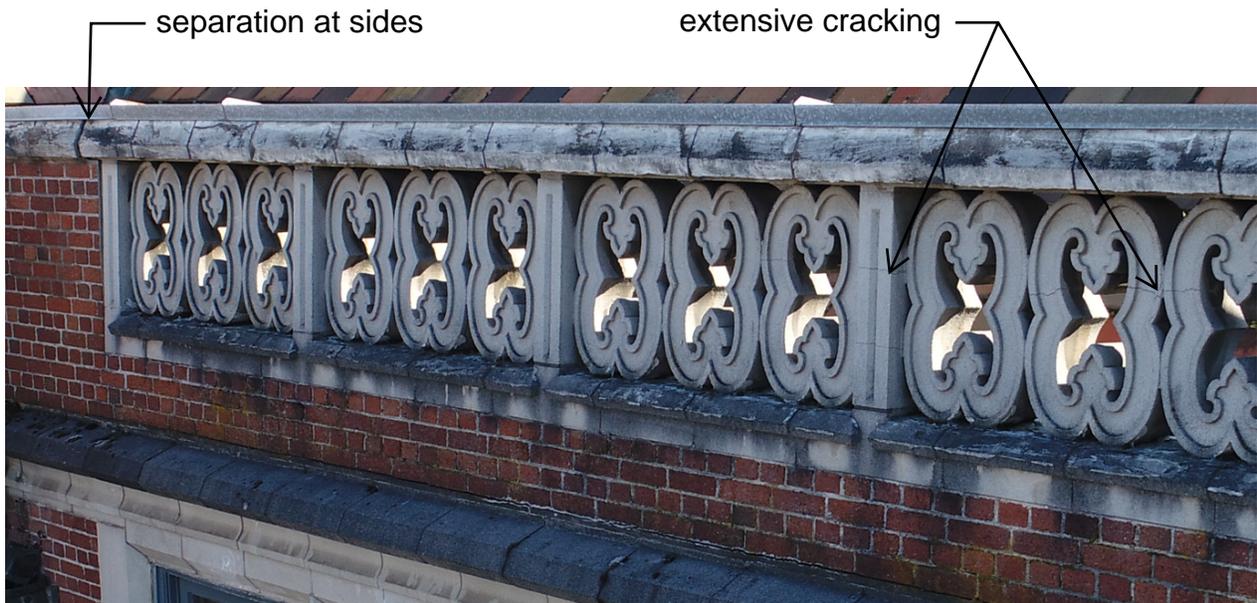


fig.8 : balustrade '3' left side



fig.9 : balustrade '5' center



fig.10 : balustrade '5' back



rust jacking length
entire header

fig.11 : balustrade '4' left



grout loose or missing

existing steel angle with
visible rust jacking

cast stone displacement

fig.12 : balustrade '4' left



fig.13 : balustrade '4' left



fig.14 : balustrade '7' center

extensive cracking



fig. 15: balustrade '7' back

significant separation and outward displacement of cast stone



fig.16 : original quoining at NE corner



fig.17 : north roof exposure showing damage



fig.18 : west roof exposure showing damage

Site Photos - Duniway Elementary School - Downspout and Masonry Repair

all brick areas above string course to be removed, salvaged and reinstalled matching English bond pattern for shelf angle replacement - 15% replacement of damaged brick with new expected

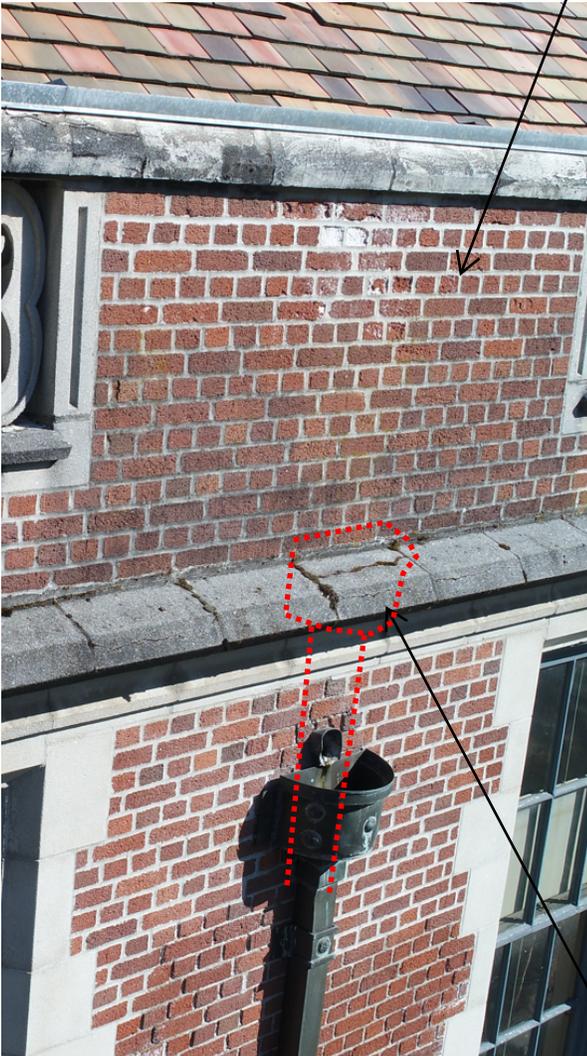


fig. 19 : west elevation

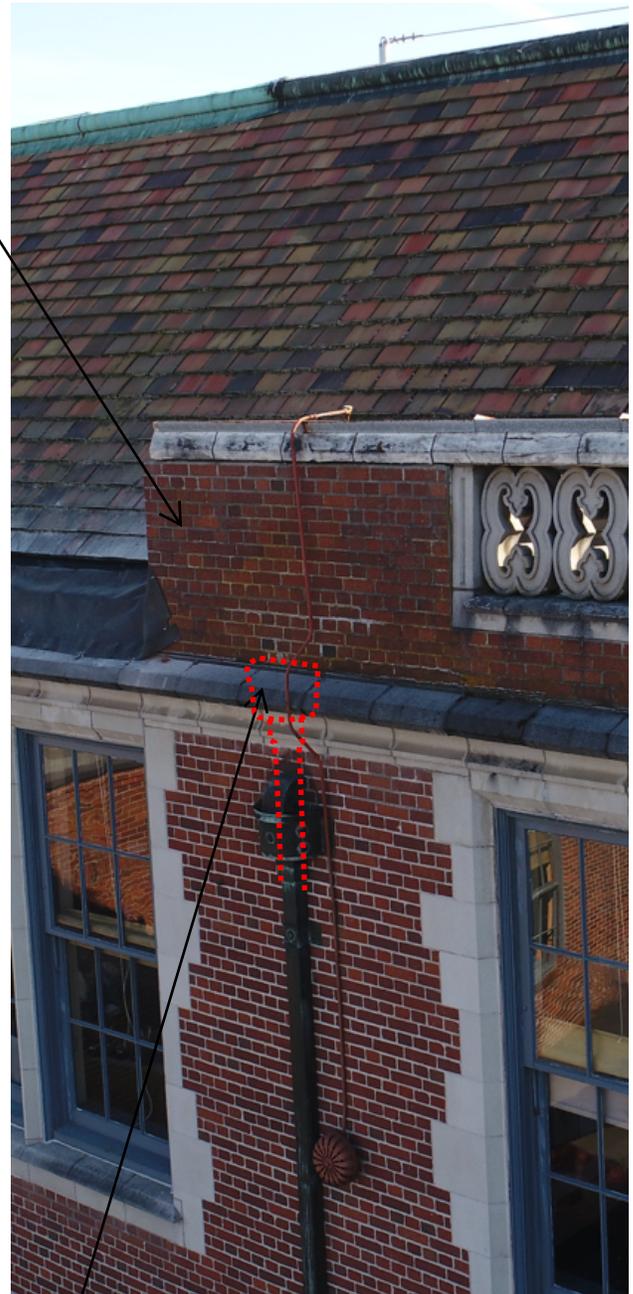


fig. 20: north elevation

cast stone to be removed for relocation of existing conductor head, modified GFR units to be installed.



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Site Photos - Duniway Elementary School - Downspout Existing Conditions

all brick areas above string course to be removed, salvaged and reinstalled matching English bond pattern for shelf angle replacement - 15% replacement of damaged brick with new expected



fig. 21: west elevation

cast stone to be removed for relocation of existing conductor head, modified GFRC units to be installed.



Site Photos - Duniway Elementary School - Roofing Material Replacement



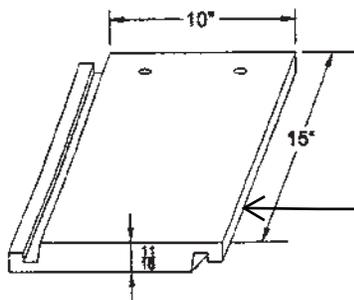
existing tiles are 10" wide with 7-1/2" exposure

existing copper ridge caps to be replaced in kind matching original profile

replace metal parapet caps in kind

fig. 22: aerial view above west entry

fig. 23: proposed replacement roof tile

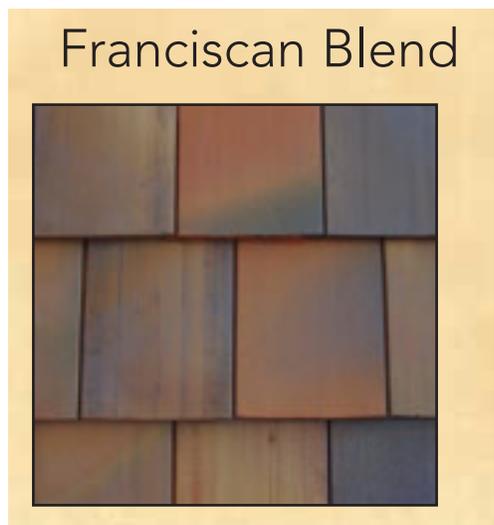


proposed tiles are 10" wide with 12" exposure

FIELD TILE



Product: Flat Placer Interlocking Tiles



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LU 22-213205 HR A5

Site Photos - Duniway Elementary School - Roofing Material Replacement

Manufacturer	Use?	Notes
ArteZanos	NO	no flat shingles
Auburn Tile Inc.	NO	concrete tiles only
BMI Group	NO	no flat shingles
Boral	NO	no flat shingles
Crown Roof Tiles	NO	concrete tiles only
Custom Tile Roofing	NO	reclaimed and reuse only
Daltile	NO	no matching colors
Dreadnought Tiles	OK	poor color match, flat, clay tiles, exposure dimensions close
Eagle Roofing Prod.	NO	concrete tiles only
Gladding, McBean	YES	good color match, flat, clay tiles, exposure dimensions not identical, likely original tile's manufacturer
Ludowici Roof Tile	OK	poor color match, flat, clay tiles, exposure dimensions not identical
Marley	OK	poor color match, flat, clay tiles, exposure dimensions close
MCA Superior	OK	poor color match, limited flat tile options
Redland Clay Tile Inc.	NO	no flat shingles
Terracotagres	NO	no flat shingles
Tile Roofs, Inc.	OK	poor color match, flat, clay tiles, exposure dimensions not identical
Tudor Roof Tiles	OK	poor color match, flat, clay tiles, exposure dimensions not identical
Vande Hey Raleigh	NO	concrete tiles only

fig. 24: roof tile manufacturer research



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Site Photos - Duniway Elementary School - GFRC Replacement Example

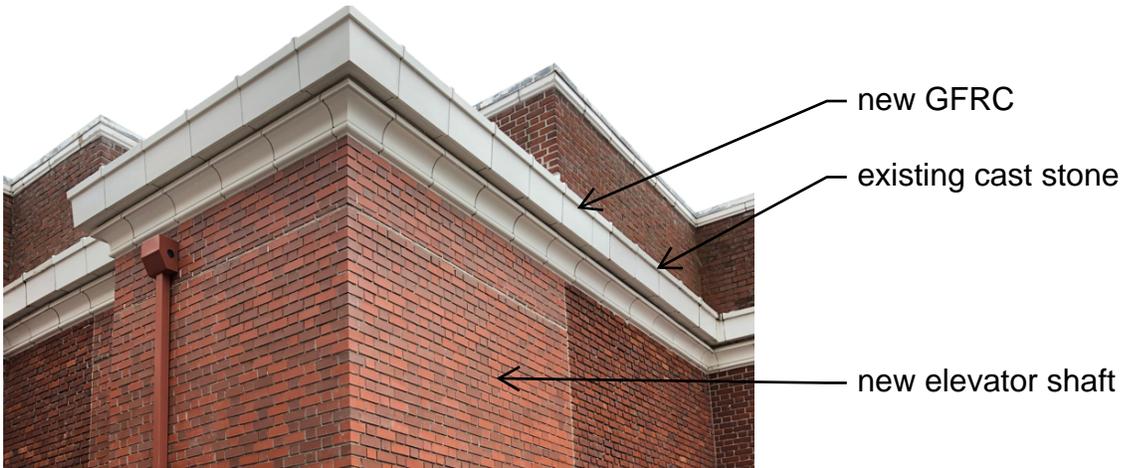


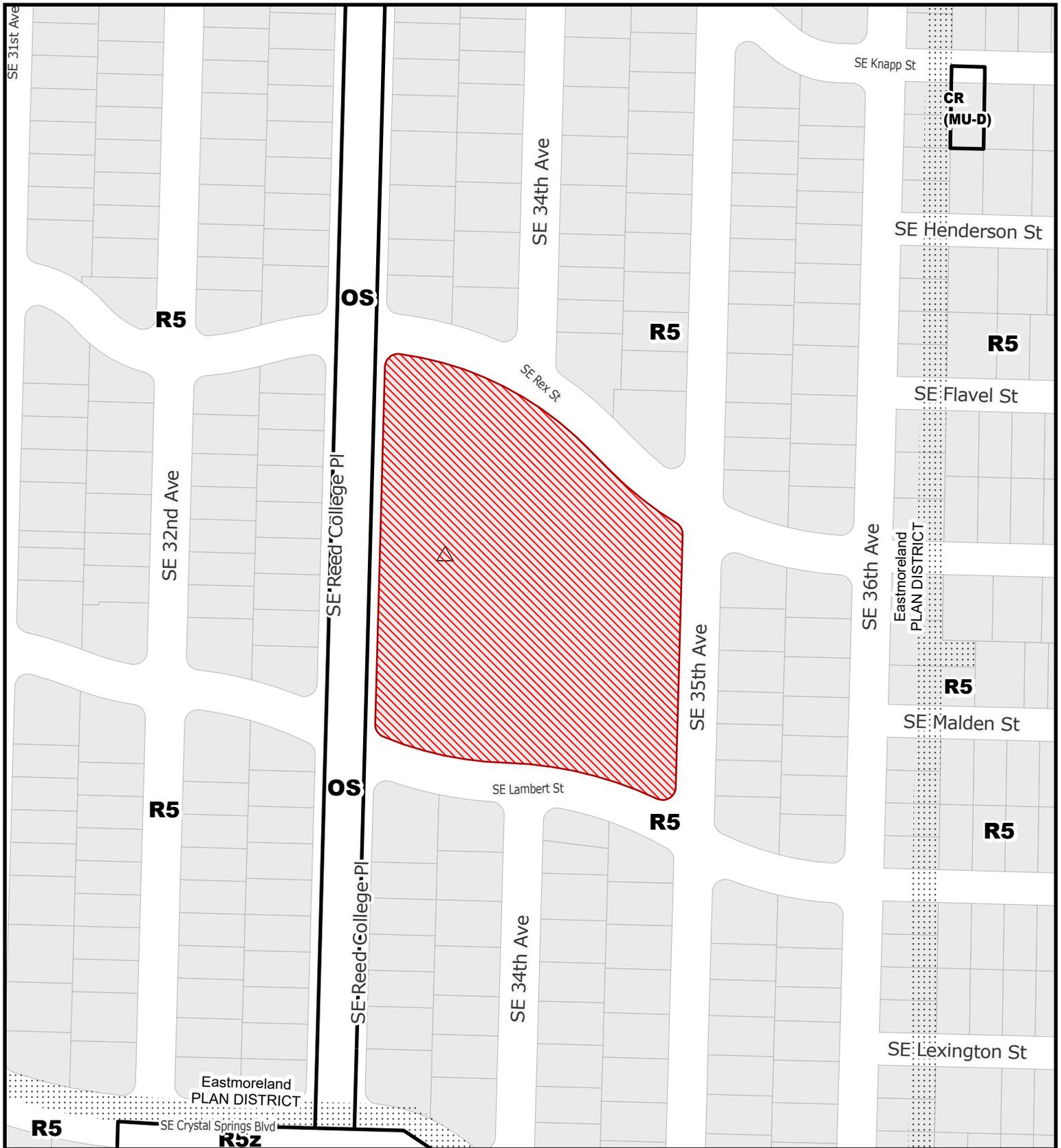
fig. 25: GFRC installed at Rose City Park Elementary



fig. 26: GFRC installed at Rose City Park Elementary



fig. 27: GFRC unit before installation



For Zoning Code in Effect Post October 1, 2022

ZONING

THIS SITE LIES WITHIN THE:
EASTMORELAND PLAN DISTRICT

-  Site
-  Plan District
-  Historic Landmark

File No.	<u>LU 22 - 213205 HR</u>
1/4 Section	<u>3734,3834</u>
Scale	<u>1 inch = 200 feet</u>
State ID	<u>1S1E24DB 2900</u>
Exhibit	<u>B</u> <u>Dec 21, 2022</u>

8" WASTE LINE PER 1926 AS-BUILT DRAWINGS
EXISTING TO REMAIN

EXISTING DOMESTIC SERVICE WATER
BACKFLOW VAULTS (2).
CONSTRUCT PERMANENT LADDER
AND EXTENDABLE GRAB BAR.

SE REED COLLEGE PL

SE 34TH AVE

8" SEWER LINE PER 1947 AS-BUILT DRAWINGS
EXISTING TO REMAIN

1
H02

NEW TRASH ENCLOSURE
REPLACE SECURITY FENCE

SE REX ST

DUNIWAY
ELEMENTARY
SCHOOL

1
H26

HARD TOP
PLAY AREA

PLAY FIELD

SE 35TH AVE

SE LAMBERT ST

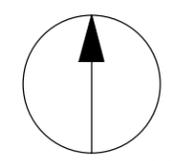
SE 34TH AVE

1 OVERALL SITE PLAN
Scale: 1" = 100'-0"



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SITE PLAN



H01

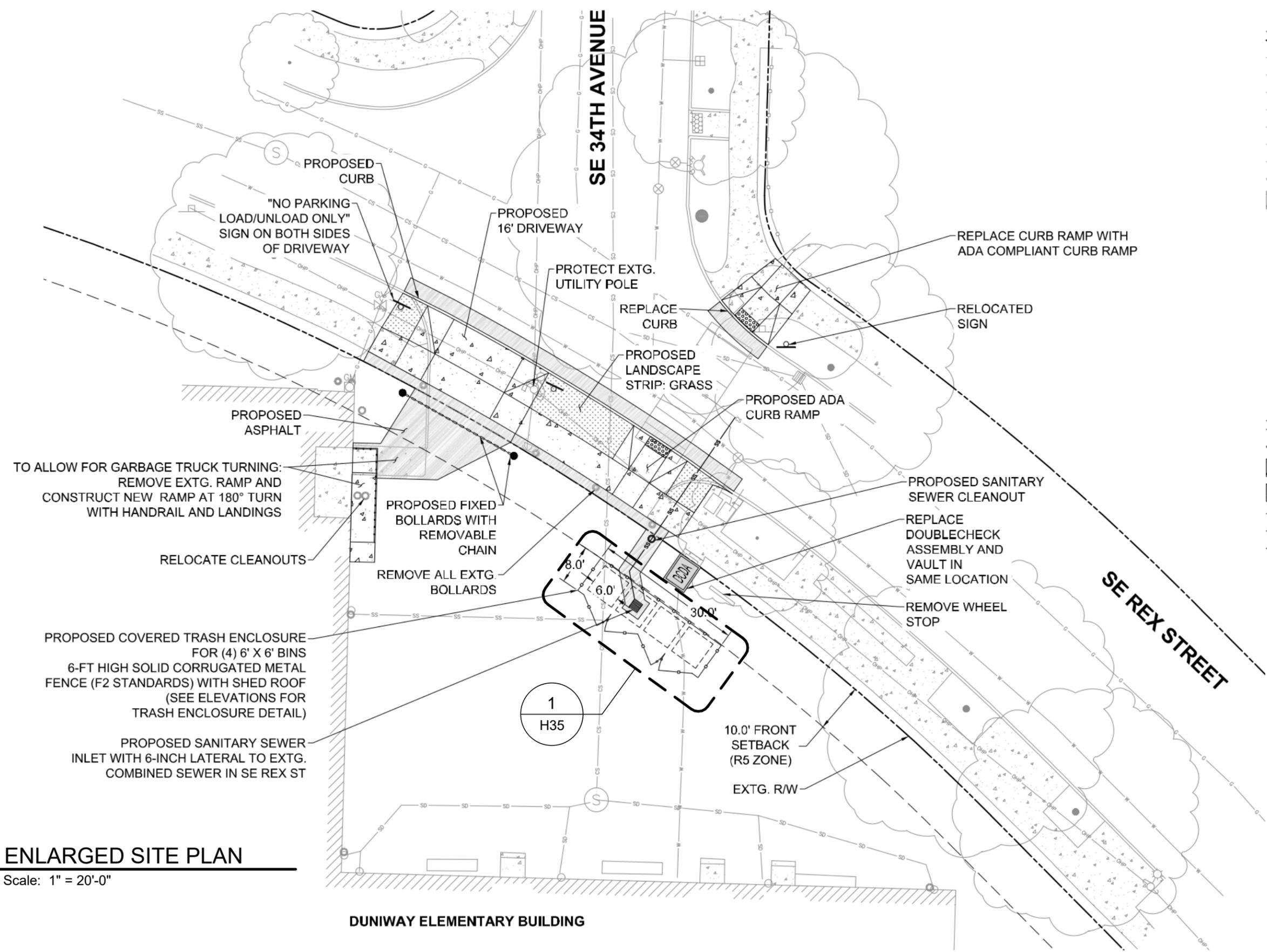
EXISTING LEGEND

- RIGHT-OF-WAY LINE
- SD STORM DRAIN
- SS SANITARY SEWER
- CS COMBINED SEWER
- W WATER
- G GAS
- OHP OVERHEAD POWER
- FENCE
- CURB
- CONCRETE
- STORM INLET
- COMBINED SEWER MANHOLE
- UTILITY POLE WITH LUMINAIRE
- WATER VALVE, HYDRANT
- GAS VALVE, METER
- BOLLARD
- SIGN
- TREE

PROPOSED LEGEND

- SETBACK
- CURB
- CONCRETE
- ASPHALT
- TRASH ENCLOSURE
- HANDRAIL
- SS SANITARY SEWER PIPE
- SANITARY SEWER INLET, CLEANOUT
- SIGN
- FIXED BOLLARDS WITH CHAIN

PRIVATE IMPERVIOUS INVENTORY TABLE	
THRESHOLD FOR STORMWATER MANAGEMENT (SF) (CITY 2020 SWMM - SECTION 1.2)	500
REDEVELOPED EXTG. (SF)	468
REMOVED EXTG. (SF)	0
NEW (SF)	0
TOTAL NEW & REDEVELOPED	468

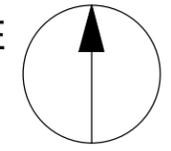


1 ENLARGED SITE PLAN
Scale: 1" = 20'-0"

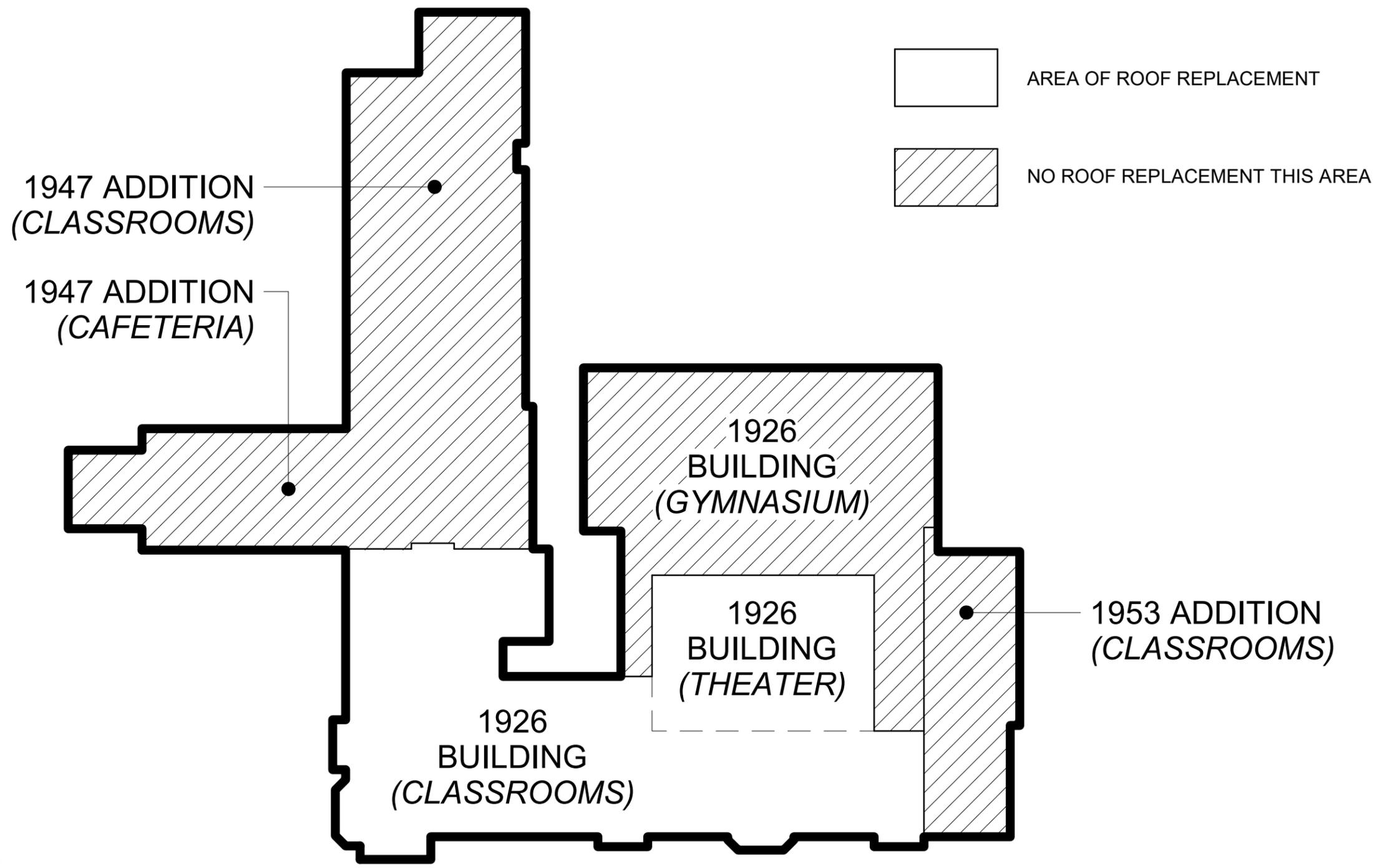


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JANUARY 2023

ENLARGED SITE PLAN - LOADING & TRASH ENCLOSURE



H02

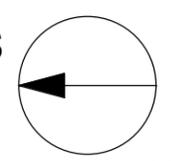


1 LU BUILDING w/ AGES
Scale: 1" = 40'-0"

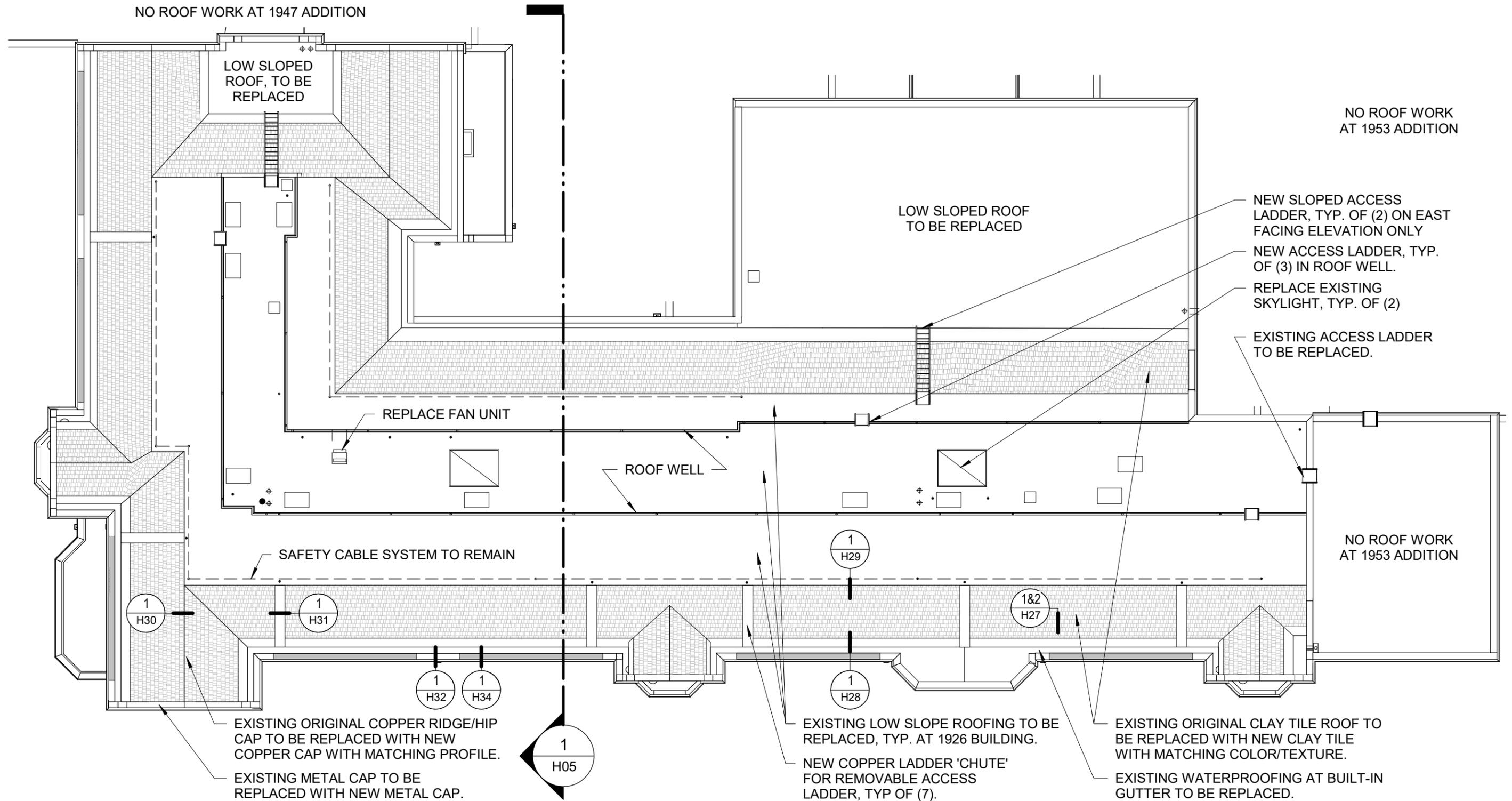


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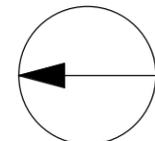
OVERALL PLAN WITH BUILDING CONSTRUCTION DATES

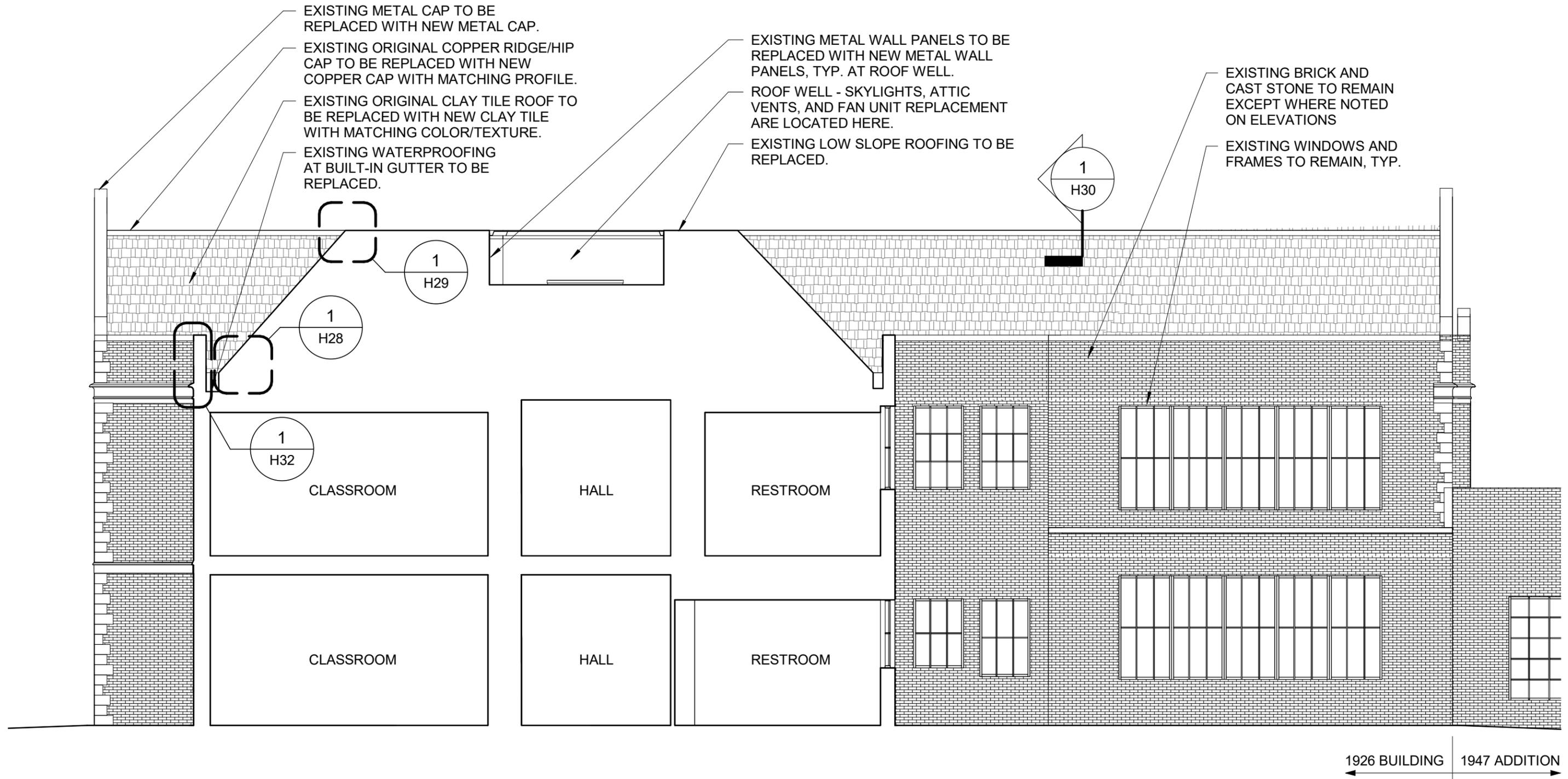


H03



1 ROOF PLAN - 1926 BUILDING
 Scale: 1/16" = 1'-0"

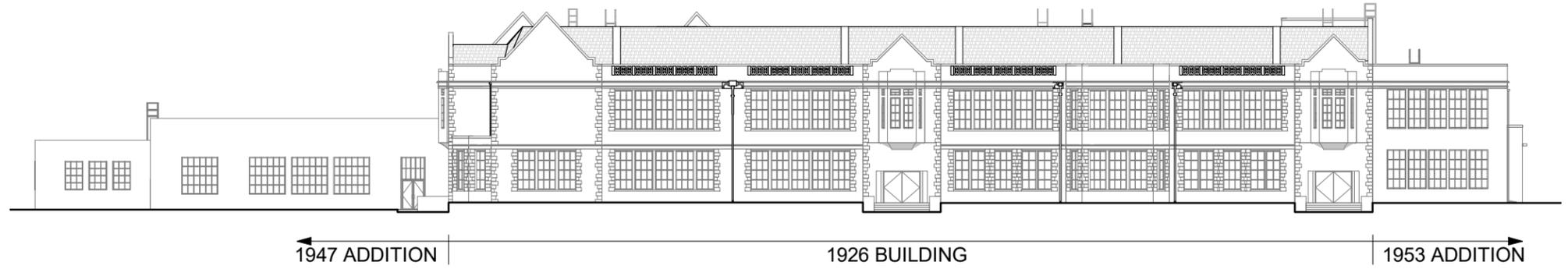




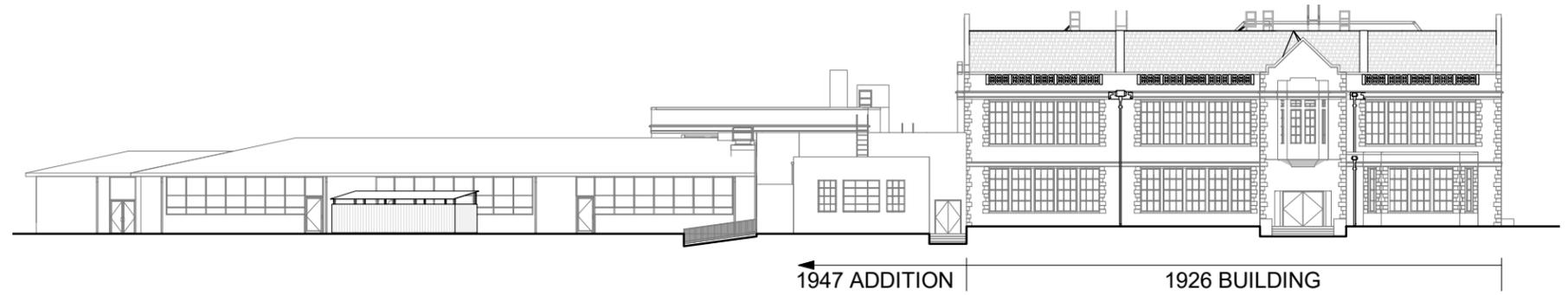
1 OVERALL 1926 BUILDING SECTION
 Scale: 1/8" = 1'-0"



1 WEST
Scale: 1/32" = 1'-0"



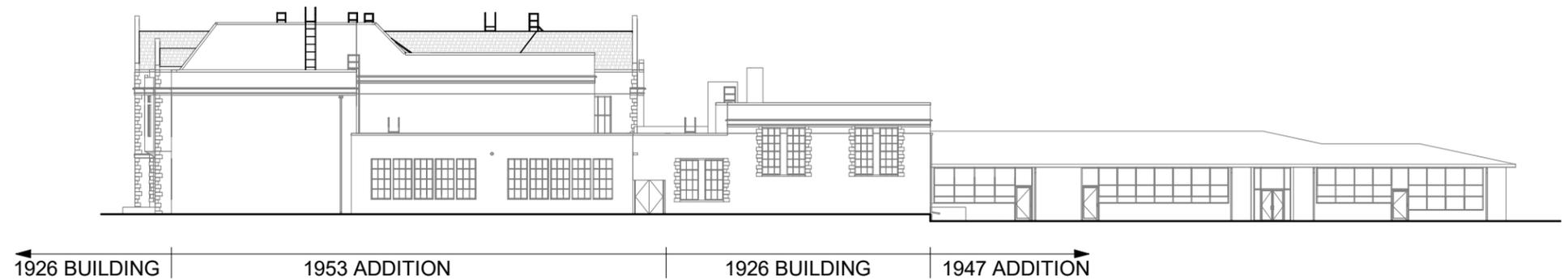
2 NORTH
Scale: 1/32" = 1'-0"

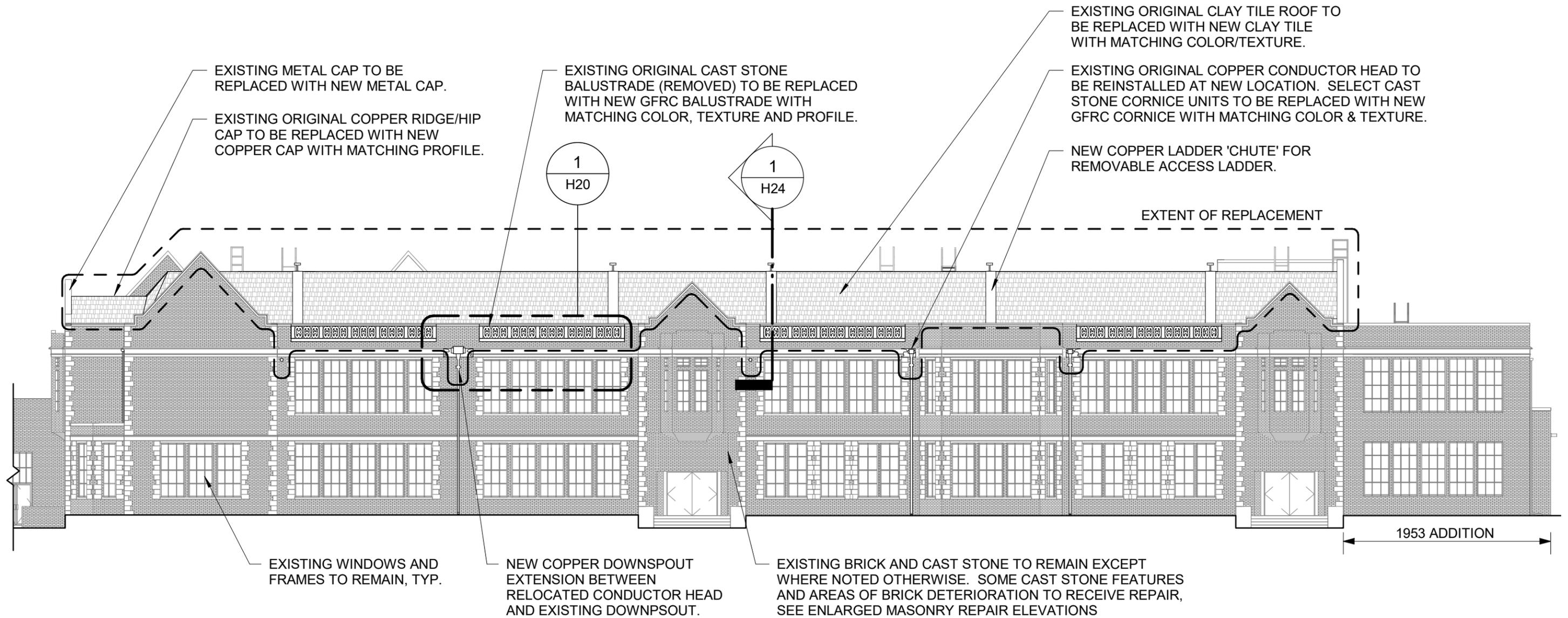


3 EAST
Scale: 1/32" = 1'-0"



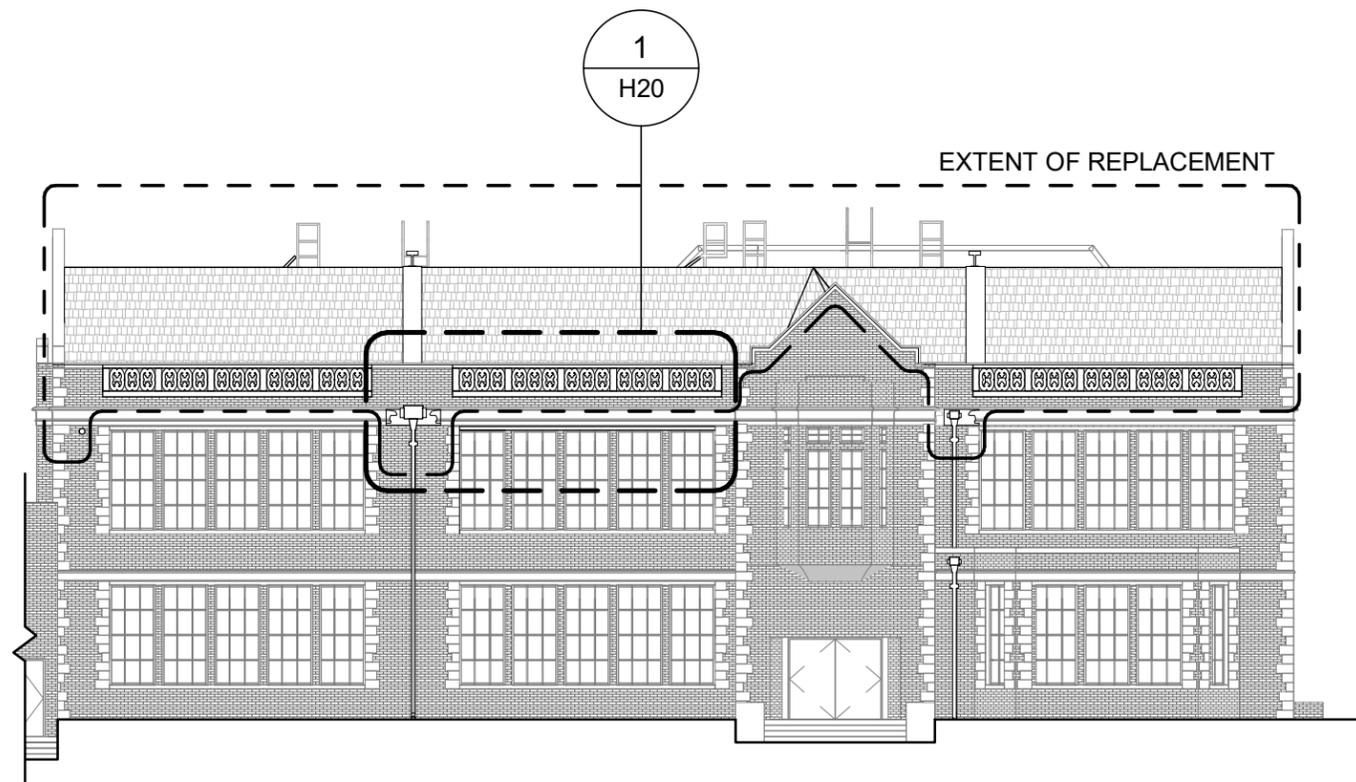
4 SOUTH
Scale: 1/32" = 1'-0"





1 WEST ELEVATION - 1926 BUILDING
 Scale: 1/16" = 1'-0"





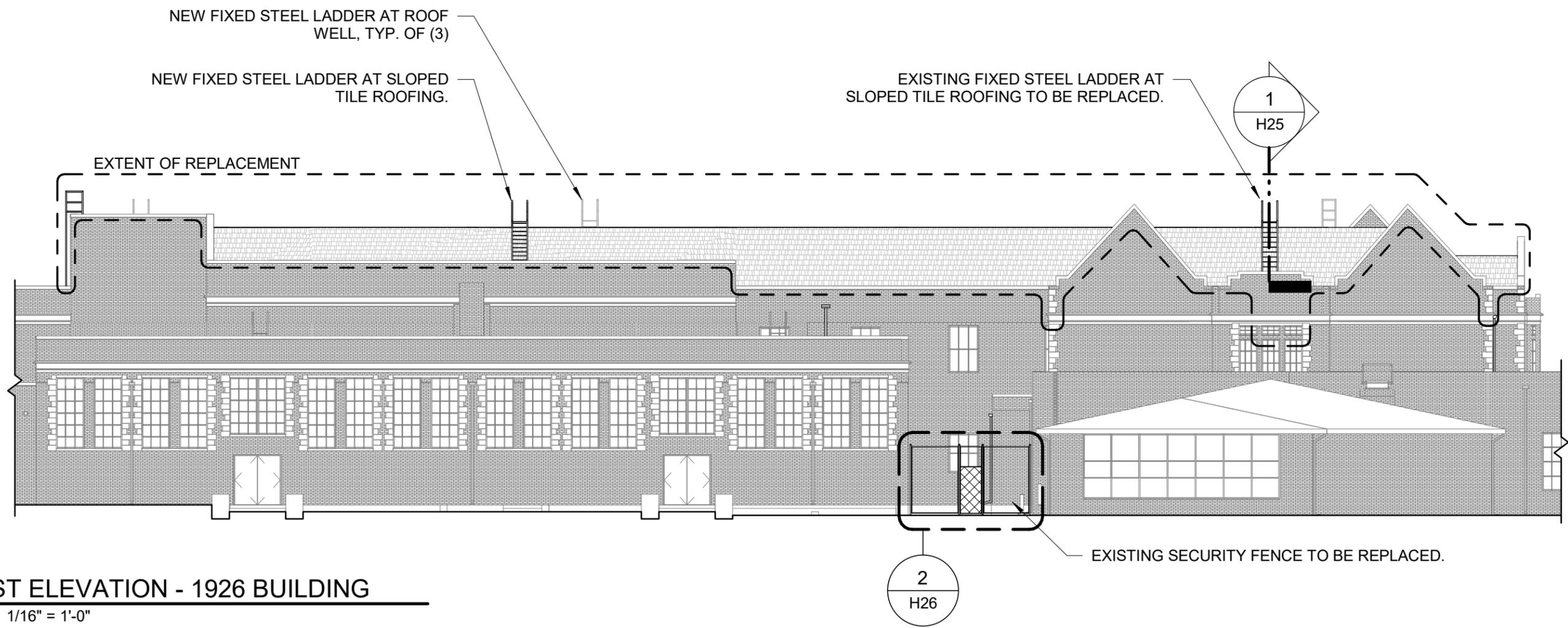
1 NORTH ELEVATION - 1926 BUILDING
 Scale: 1/16" = 1'-0"



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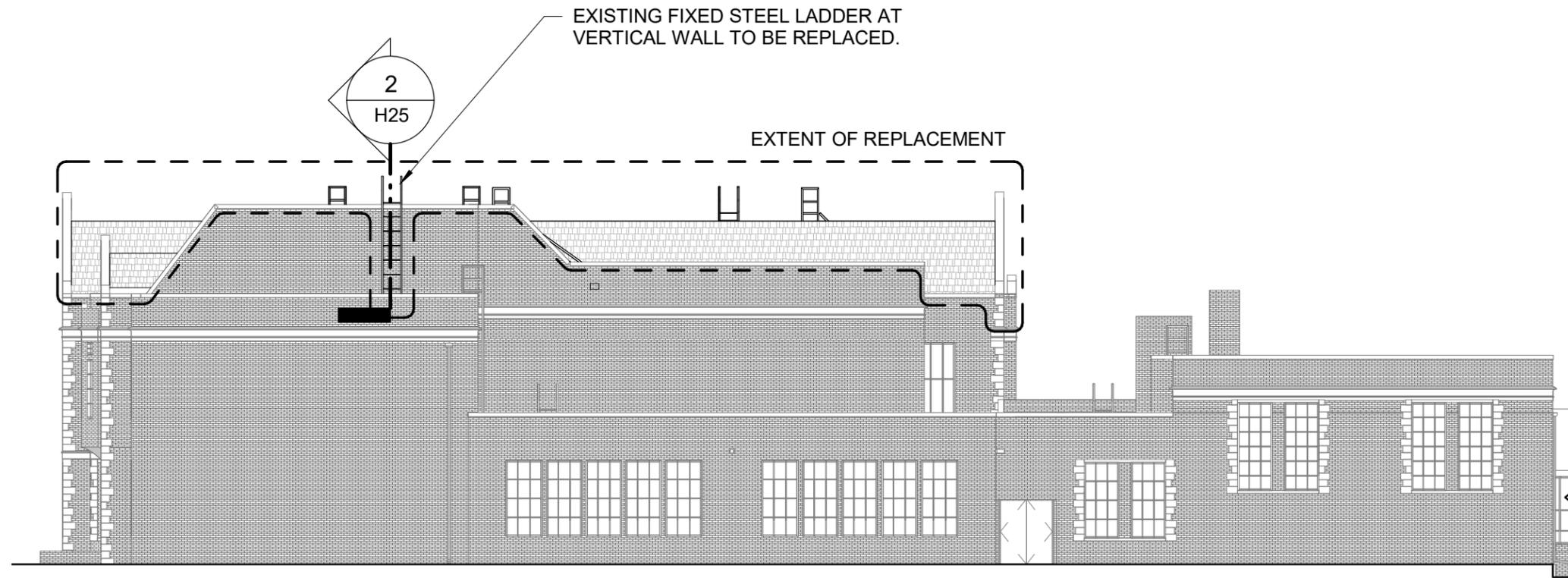
1926 BUILDING ELEVATION

H08



1 EAST ELEVATION - 1926 BUILDING
Scale: 1/16" = 1'-0"





1 SOUTH ELEVATION - 1926 BUILDING
 Scale: 1/16" = 1'-0"



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1926 BUILDING ELEVATION

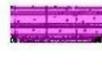
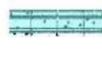
H10

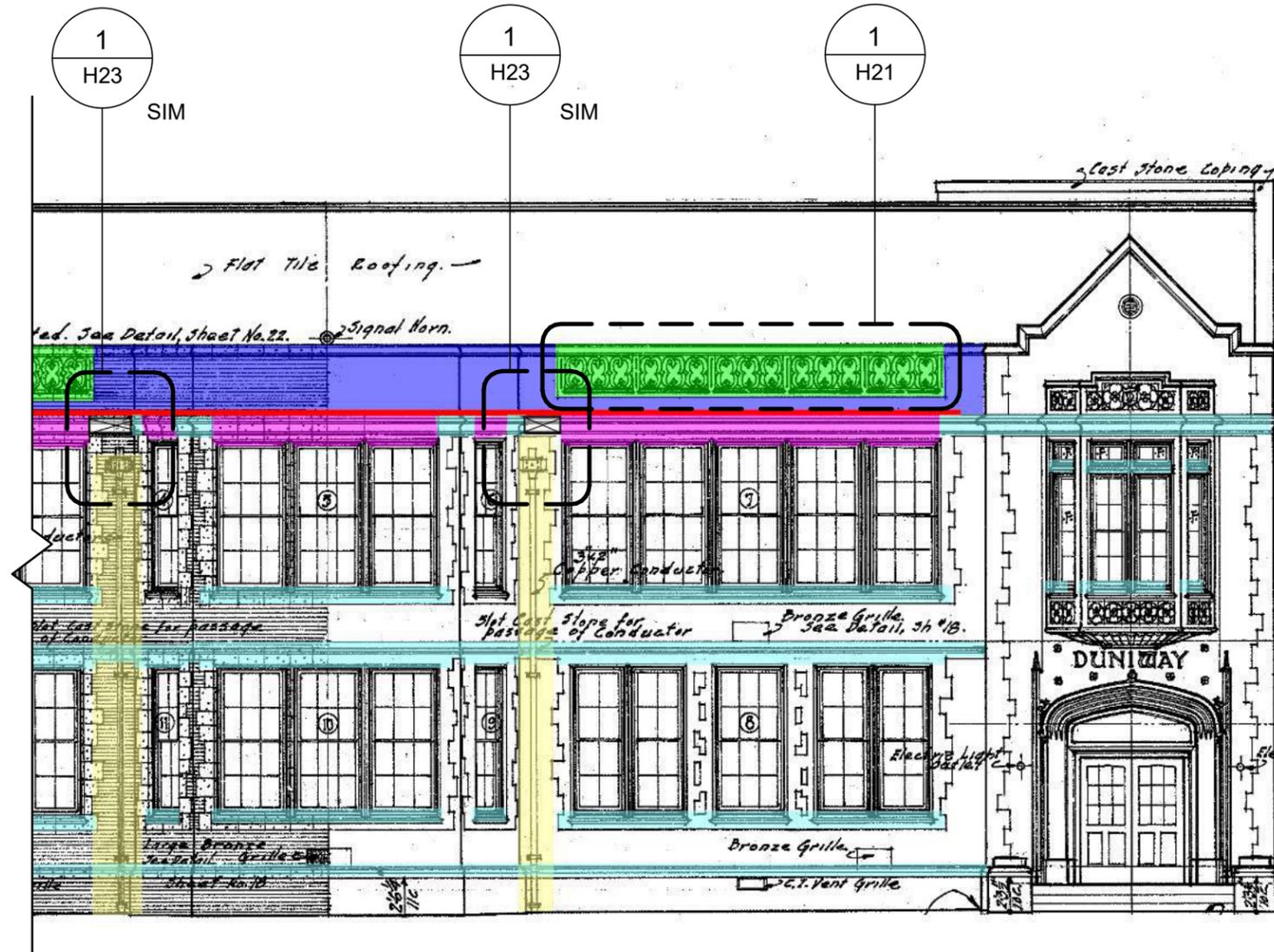
LU 22-213205 HR C-010

NOTE:

1. ALL MASONRY REPAIR ELEVATIONS ARE DERIVED FROM SCANS OF THE ORIGINAL CONSTRUCTION DRAWINGS. SCALE IS APPROXIMATELY 1/8" = 1'-0".

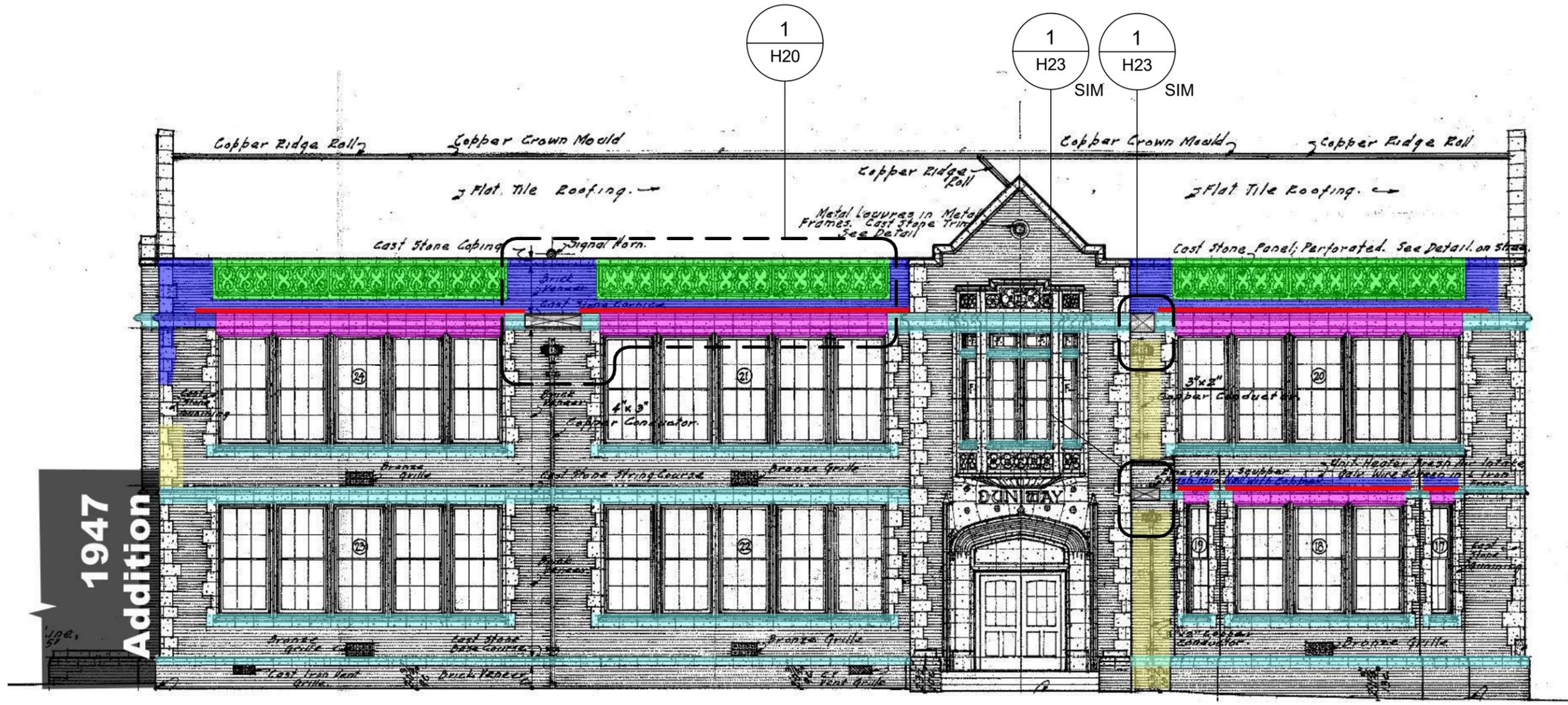
LEGEND:

- 
BALUSTRADE REPLACEMENT
 NEW GFRG BALUSTRADE WITH COLOR, TEXTURE AND PROFILE MATCHING ORIGINAL CAST STONE BALUSTRADE. TEMPORARY WOOD PARAPET INFILL REMOVAL. ORIGINAL CAST STONE BALUSTRADE REMOVED PREVIOUSLY.
- 
MASONRY FACADE DEMOLITION AND RECONSTRUCTION
 MASONRY FACADE REMOVAL, SALVAGE, AND RECONSTRUCTION TO ALLOW FOR REPAIRS. REINSTALL SALVAGED UNITS WHEN POSSIBLE. ANY NEW MASONRY TO MATCH EXISTING COLOR, TEXTURE AND PATTERNING.
- 
STEEL ANGLE REPLACEMENT
 NEW SHELF ANGLES TO REPLACE EXISTING CORRODED STEEL SHELF.
- 
CAST STONE WINDOW HEAD HELICAL ANCHORS
 CAST STONE WINDOW HEAD ELEMENTS TO BE SECURED WITH HELICAL ANCHORS AND FILLED WITH MORTAR TO MATCH CAST STONE. GROUND AND POINT MORTAR JOINTS, WEATHER CAP SET IN SEALANT AT SKYWARD JOINTS.
- 
WEATHER CAPS AT CAST STONE SKYWARD MORTAR JOINTS
 GROUND AND POINT MORTAR JOINTS, NEW WEATHER CAP SET IN SEALANT AT SKYWARD JOINTS.
- 
TUCK POINTING
 DETERIORATED MORTAR JOINTS TO BE FULLY RAKED/GROUND AND POINTED TO MATCH EXISTING. REPLACE BRICK UNITS TO MATCH ORIGINAL WHERE SUBSTANTIALLY DETERIORATED.
- 
CAST STONE SPALL REPAIR
 NEW IN-PLACE PATCHING OF SPALLED DECORATIVE CAST STONE ELEMENTS WITH REPAIR MORTAR.
- 
CAST STONE REPLACEMENT AND RECONFIGURATION
 REMOVE EXISTING CAST STONE CORNICE AT NEW SCUPPER LOCATIONS. NEW GFRG CORNICE OF MODIFIED CONFIGURATION AT REMOVED LOCATION.



1 WEST ELEVATION (PARTIAL)
Scale: NTS





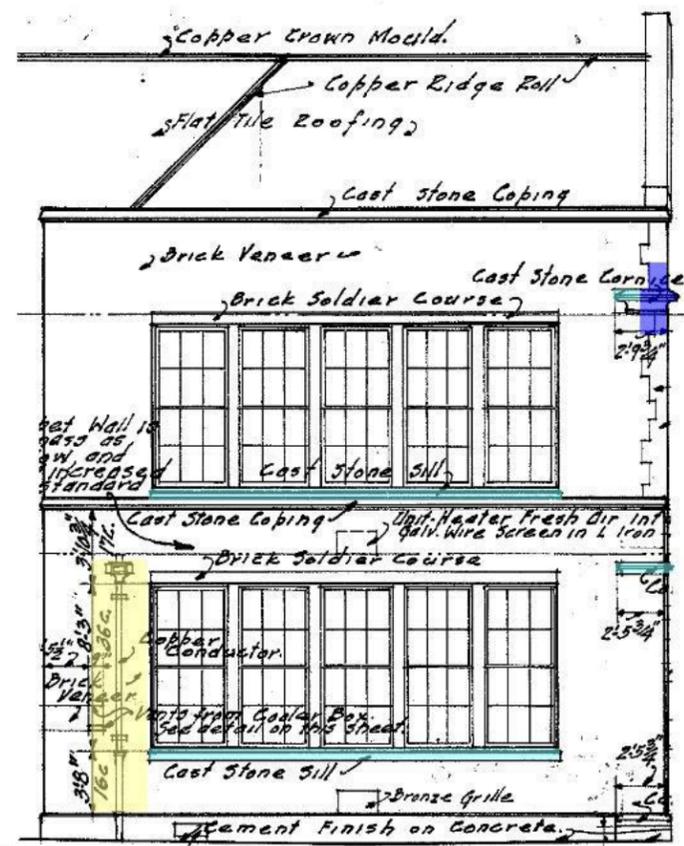
1 NORTH ELEVATION
Scale: NTS



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DECEMBER 2022

MASONRY REPAIR ELEVATION

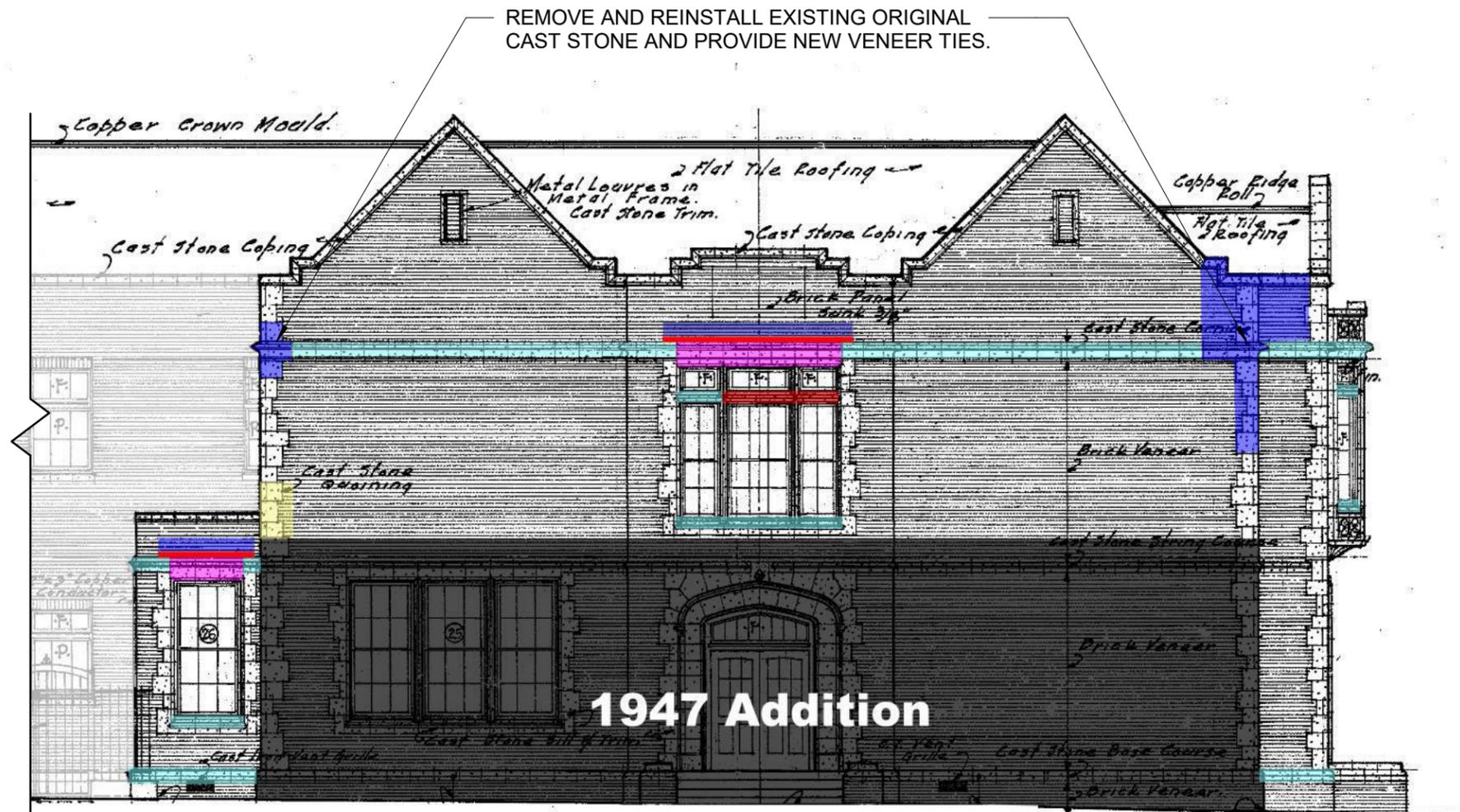
H13



1

SOUTH ELEVATION - COURTYARD

Scale: NTS

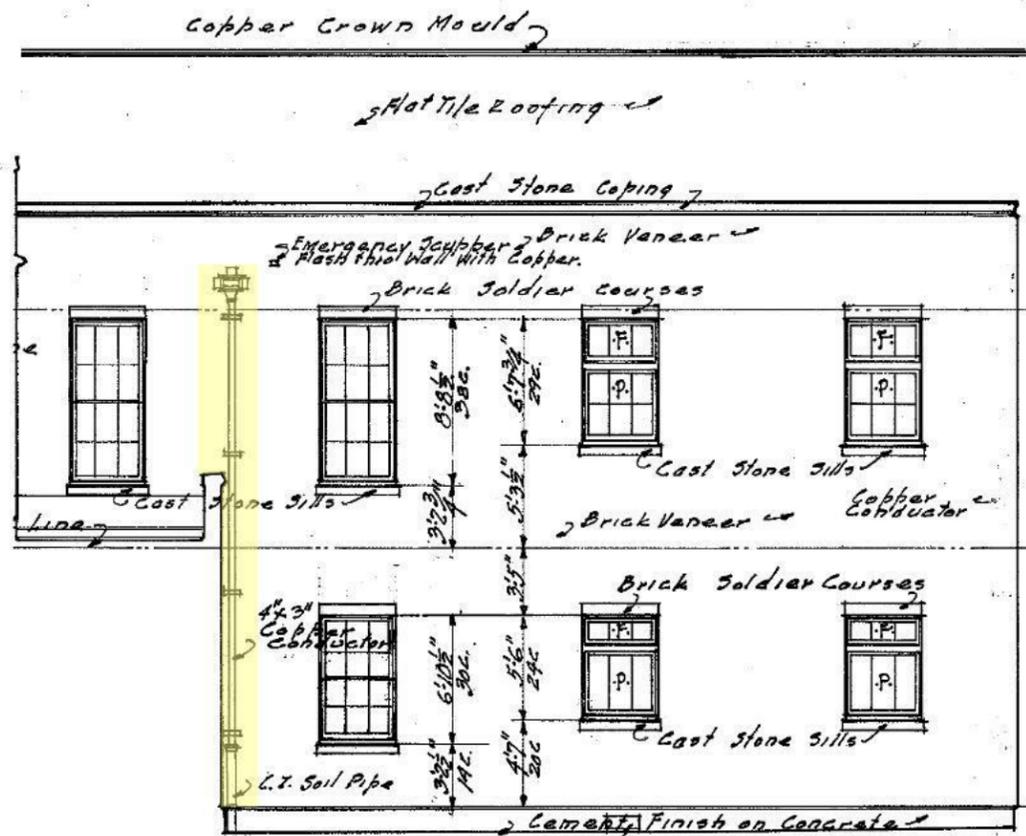


2

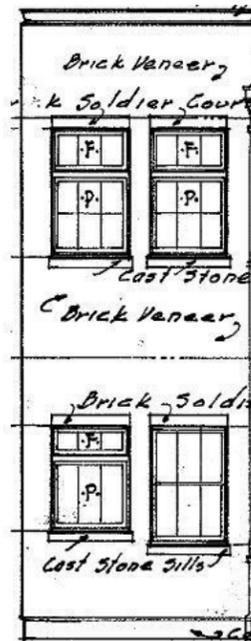
EAST ELEVATION (PARTIAL)

Scale: NTS

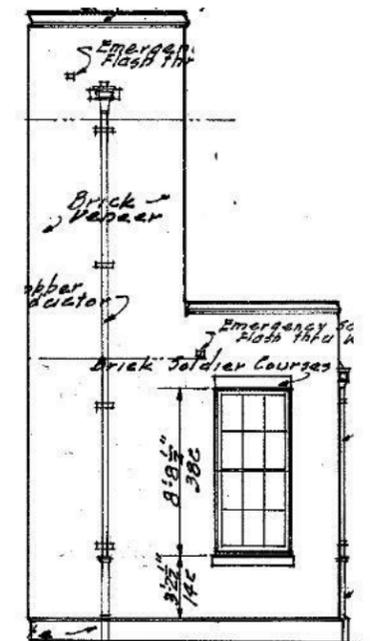




1 EAST ELEVATION - COURTYARD
Scale: NTS

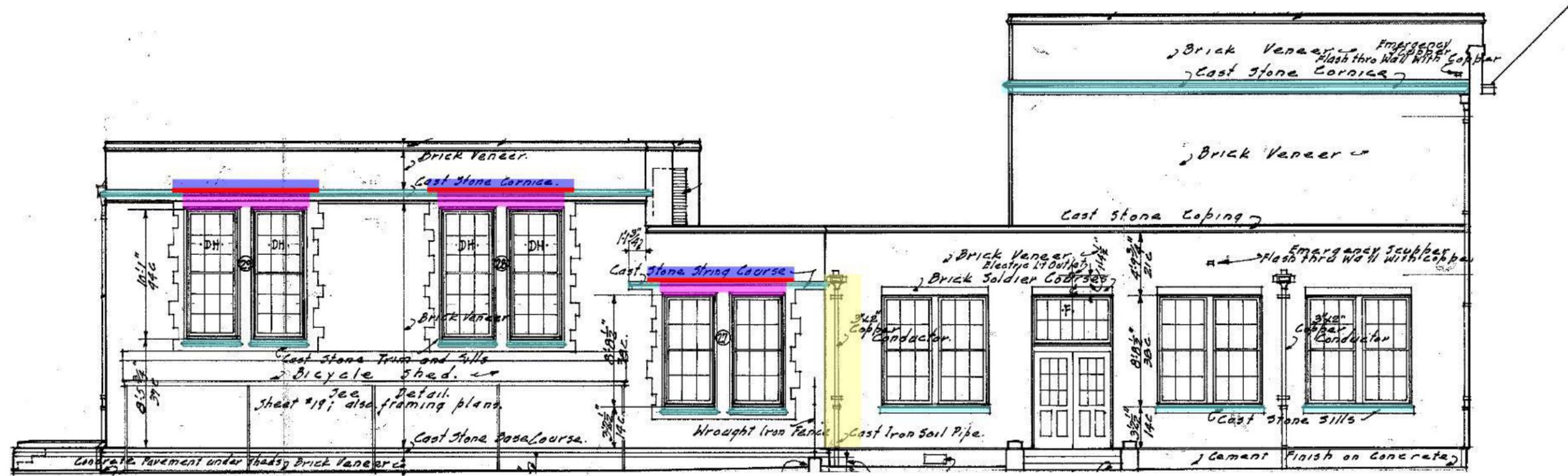


2 S ELEVATION - COURTYARD
Scale: NTS



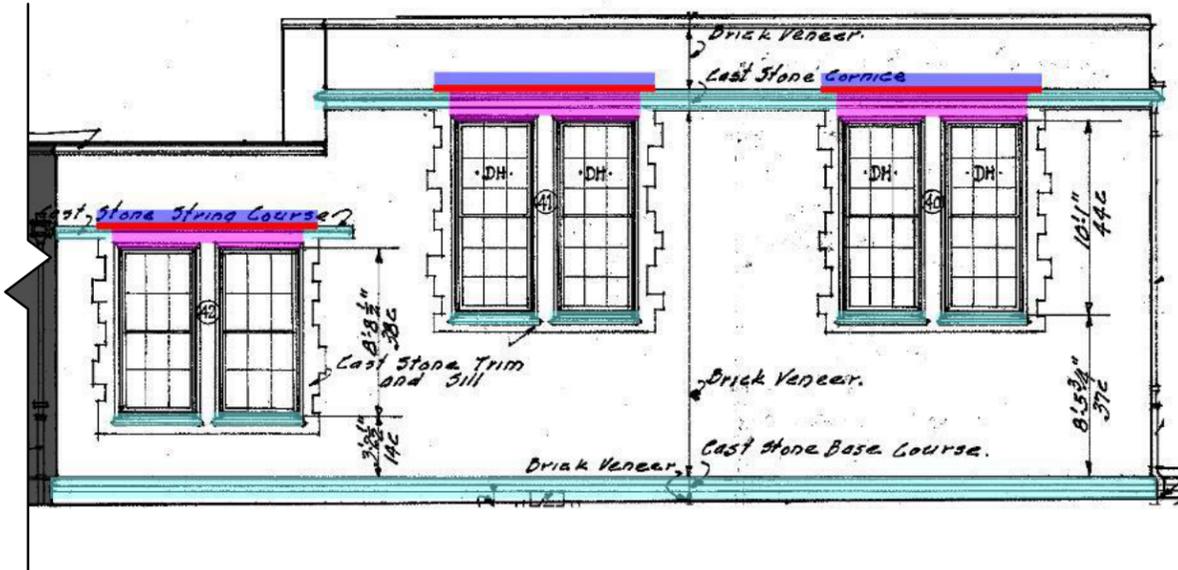
3 W ELEVATION - COURTYARD
Scale: NTS





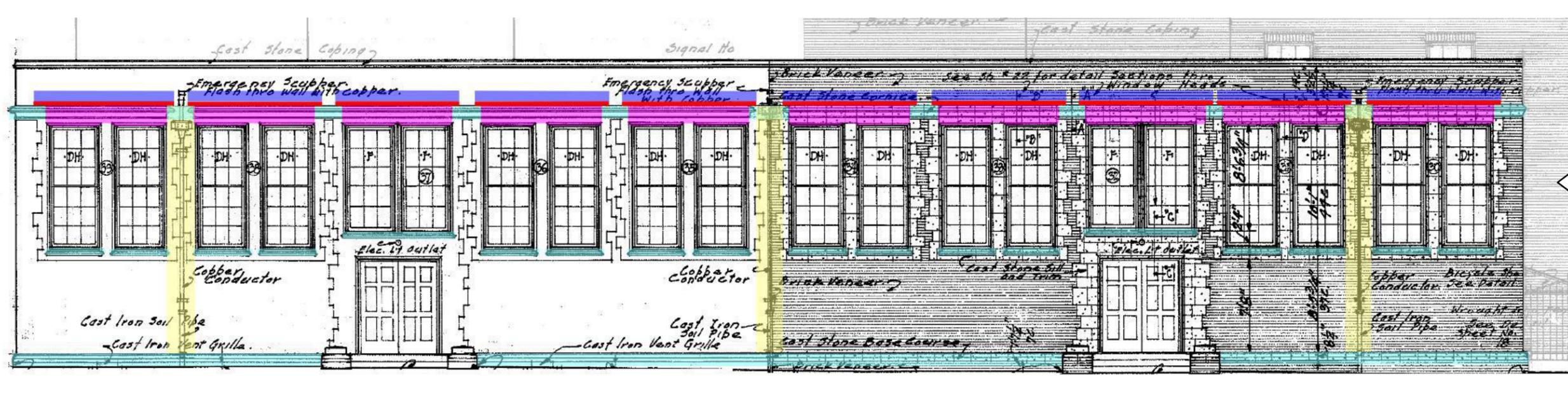
1 NORTH ELEVATION - COURTYARD
Scale: NTS





2 SOUTH ELEVATION AT GYMNASIUMS (PARTIAL)

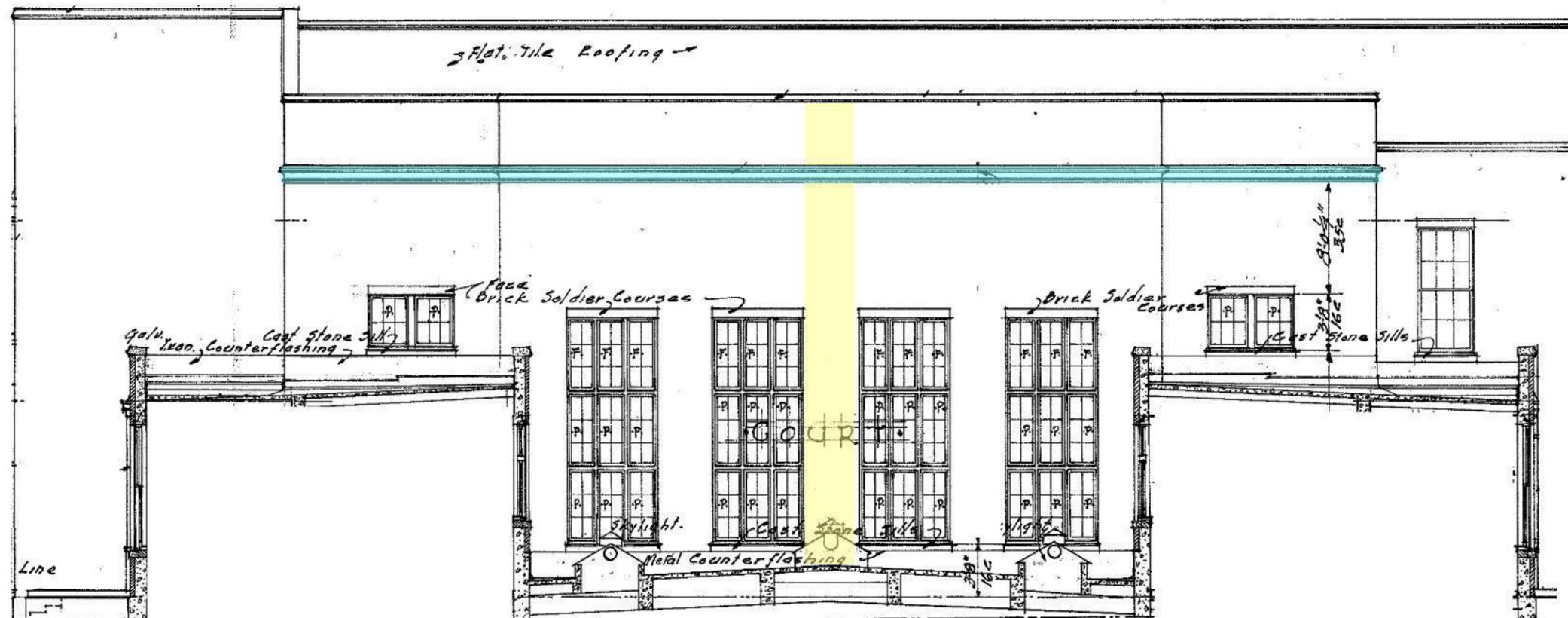
Scale: NTS



1 EAST ELEVATION AT GYMNASIUMS (PARTIAL)

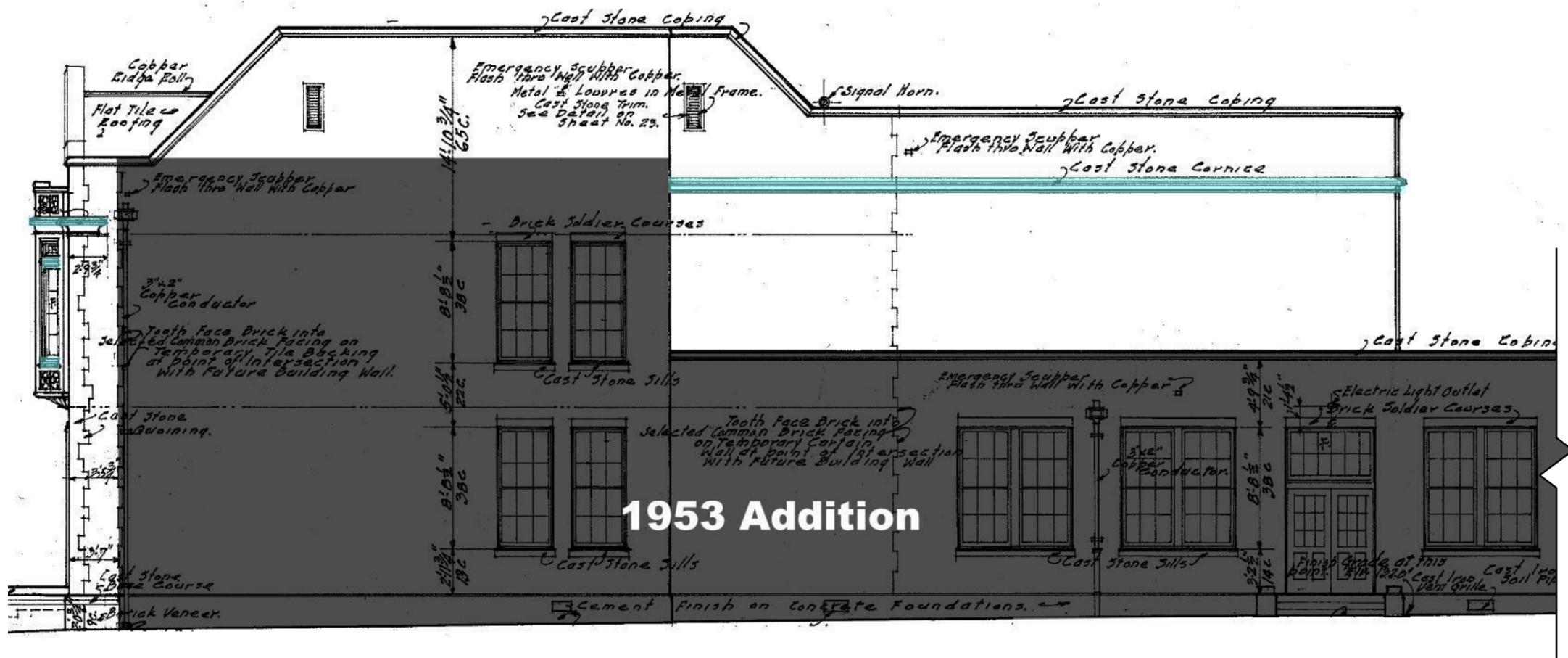
Scale: NTS





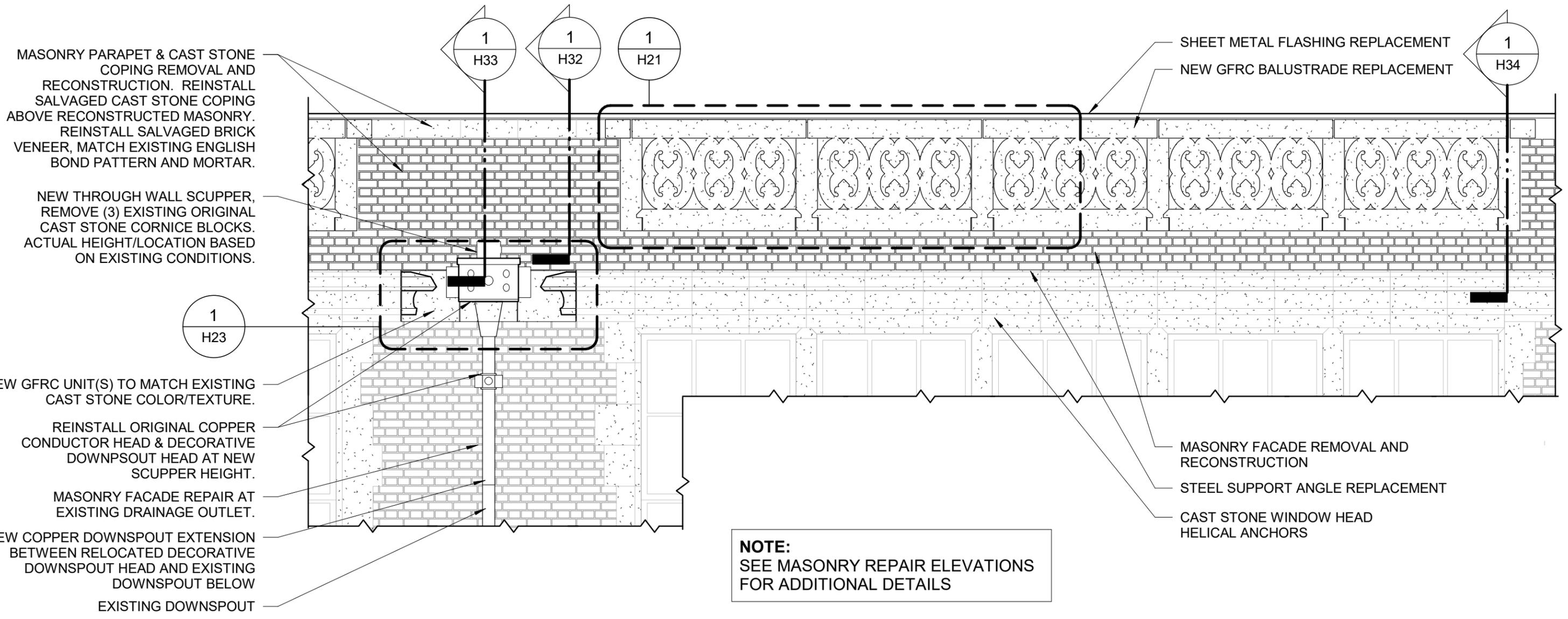
1 EAST ELEVATION AT THEATER (PARTIAL)
 Scale: NTS





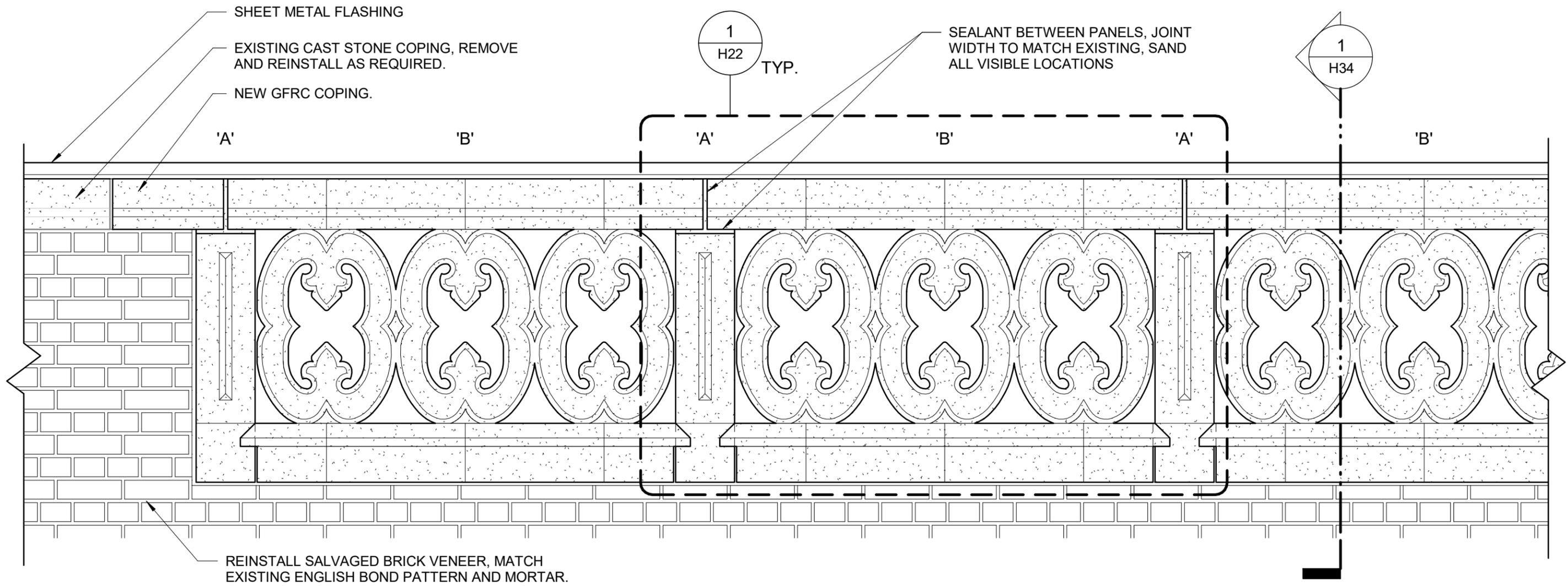
1 SOUTH ELEVATION (PARTIAL)
Scale: NTS





1 BALUSTRADE, PARAPET AND DOWNSPOUT RECONSTRUCTION ELEVATION, TYPICAL
Scale: 3/8" = 1'-0"

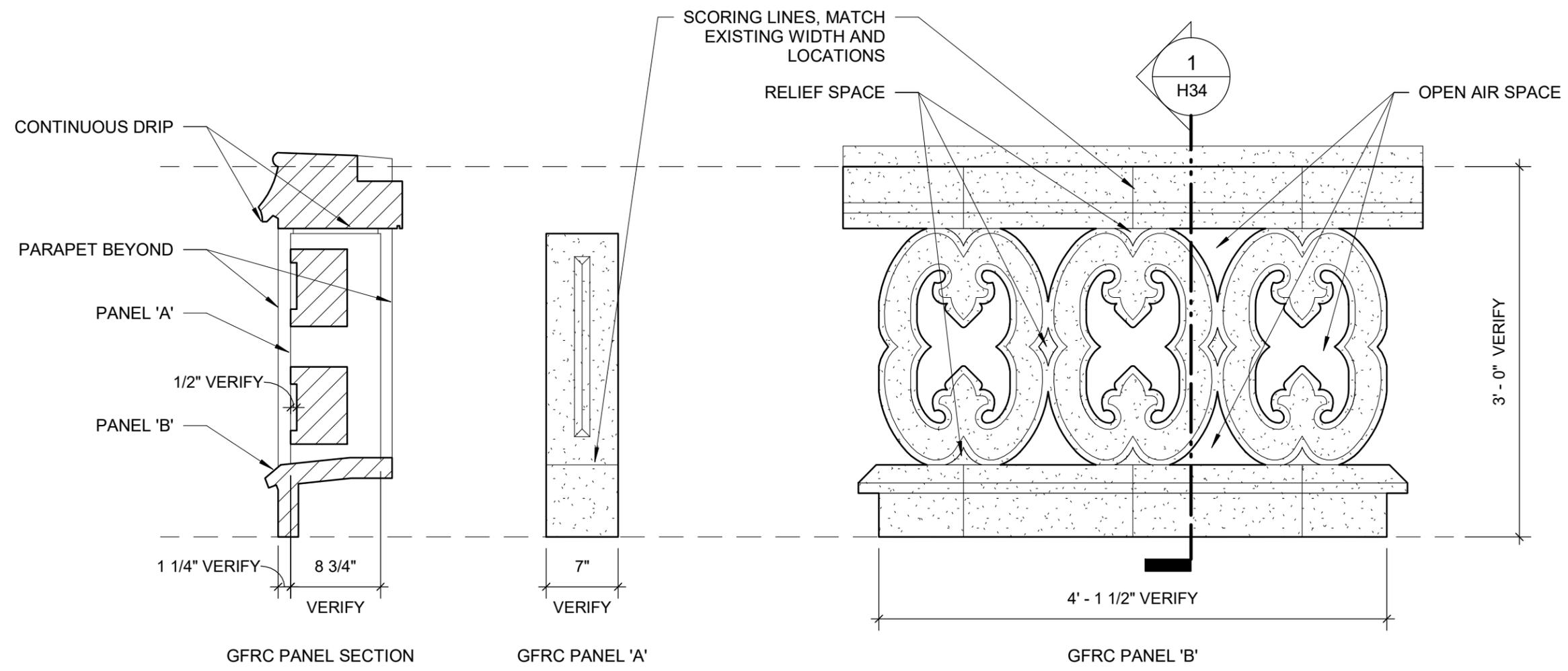




1 **GFRC BALUSTRADE ENLARGED ELEVATION**
 Scale: 1" = 1'-0"

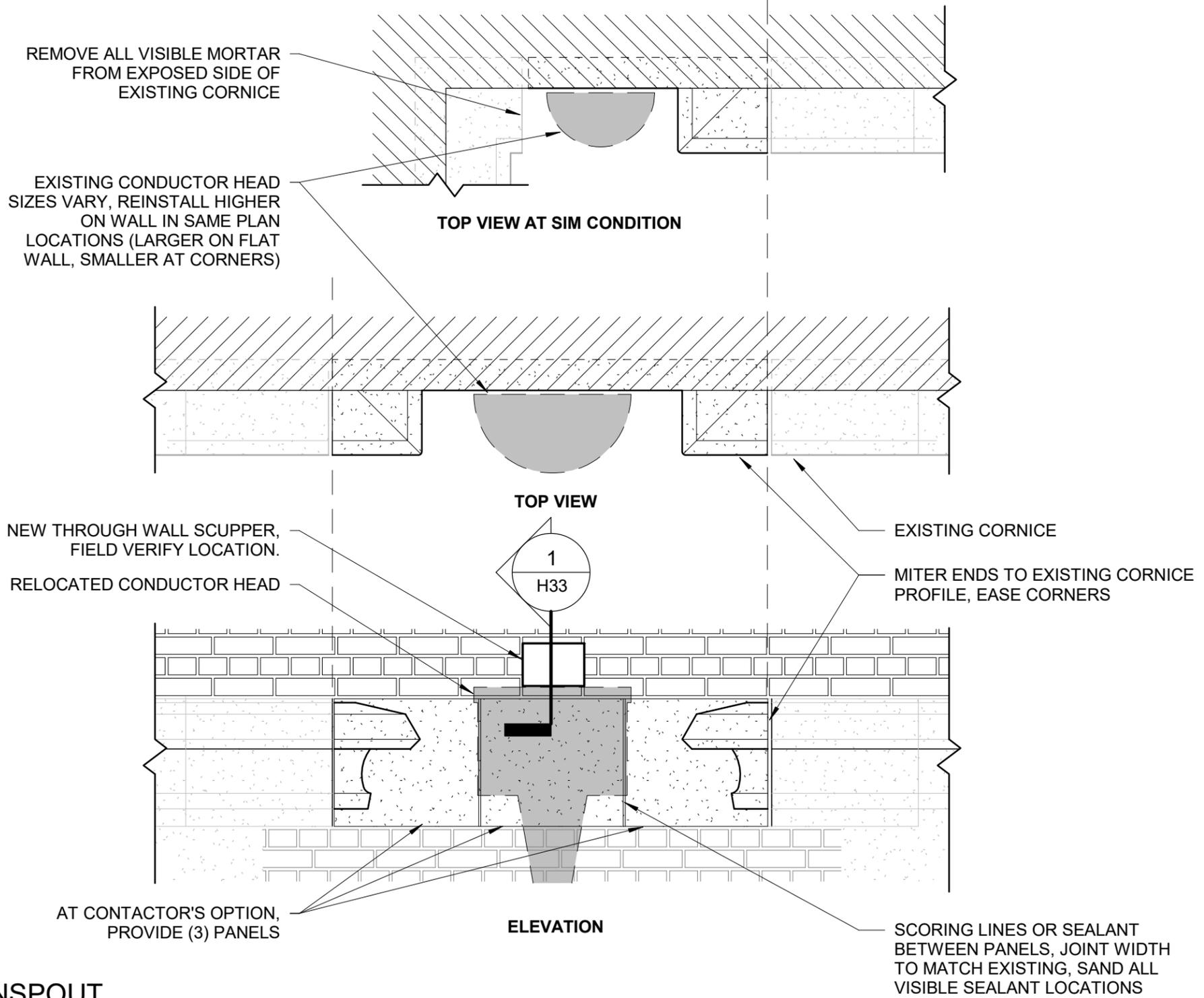


- GFRC NOTES:**
1. DIMENSIONS SHOWN ARE DERIVED FROM ORIGINAL 1926 DRAWINGS. GFRC MANUFACTURER TO MATCH DIMENSIONS AND PROFILES OF ORIGINAL SALVAGED COMPONENTS, AVAILABLE BY REQUEST FROM THE OWNER.
 2. GFRC FINISH TO MATCH ORIGINAL IN APPEARANCE, COLOR, TEXTURE AND SCALE OF ORIGINAL SALVAGED COMPONENTS, PER APPROVAL BY OWNER AND ARCHITECT.
 3. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION AND SUBMITTAL REQUIREMENTS.



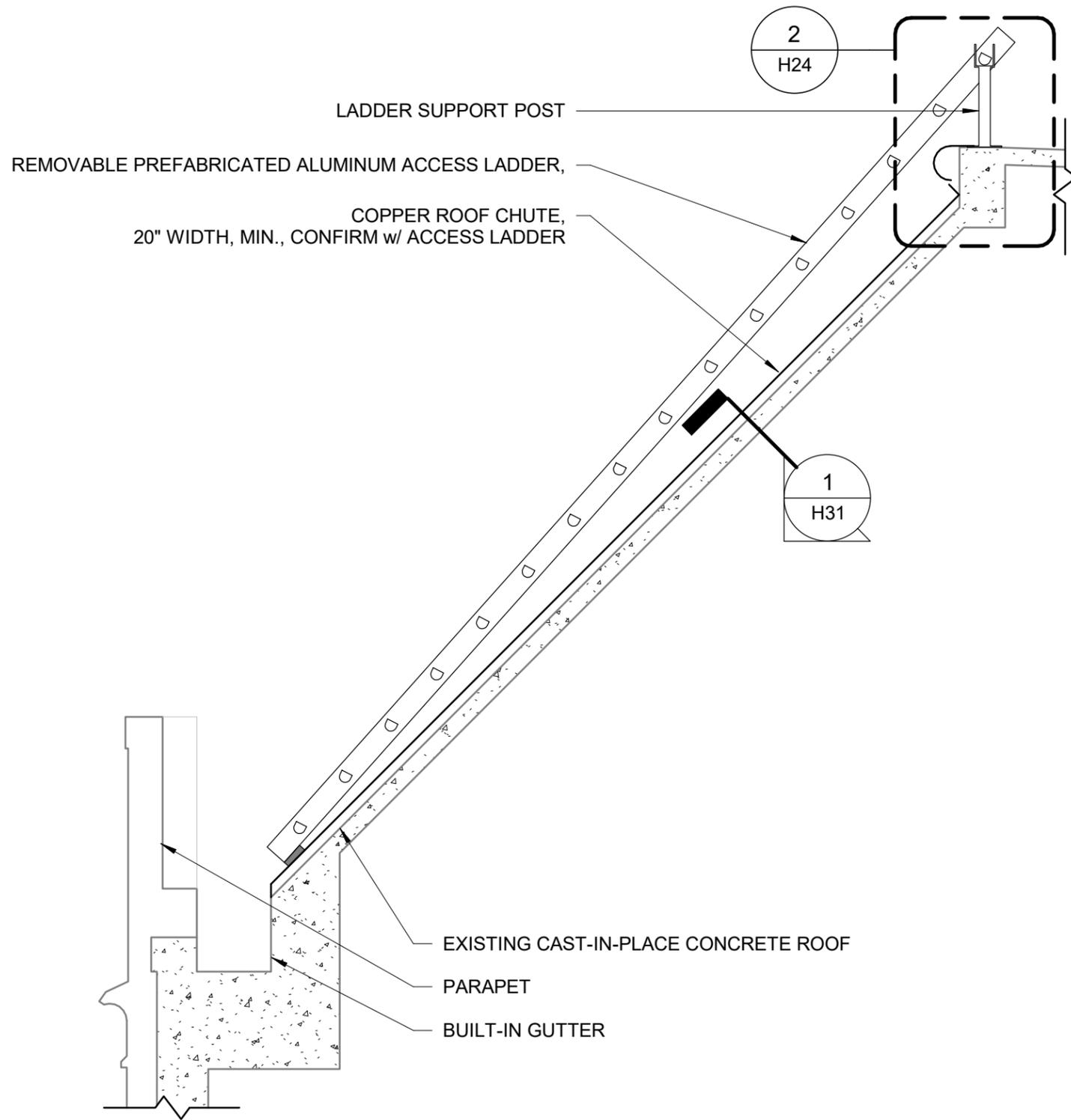
1 GFRC BALUSTRADE UNIT DETAILS
 Scale: 1" = 1'-0"



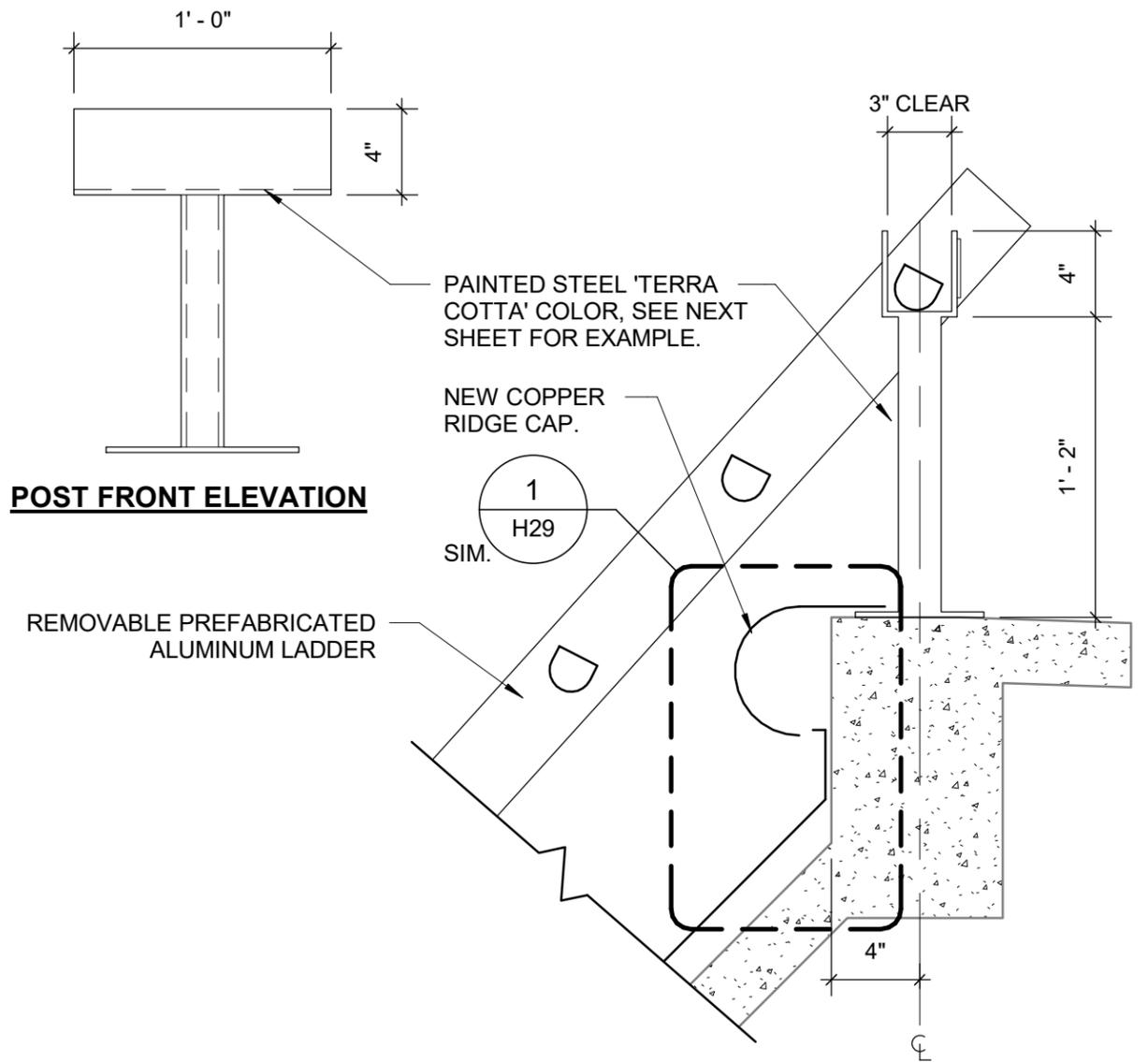


1 **GFRC CORNICE AT DOWNSPOUT**
 Scale: 3/4" = 1'-0"





1 LADDER CHUTE SECTION
Scale: 1/2" = 1'-0"



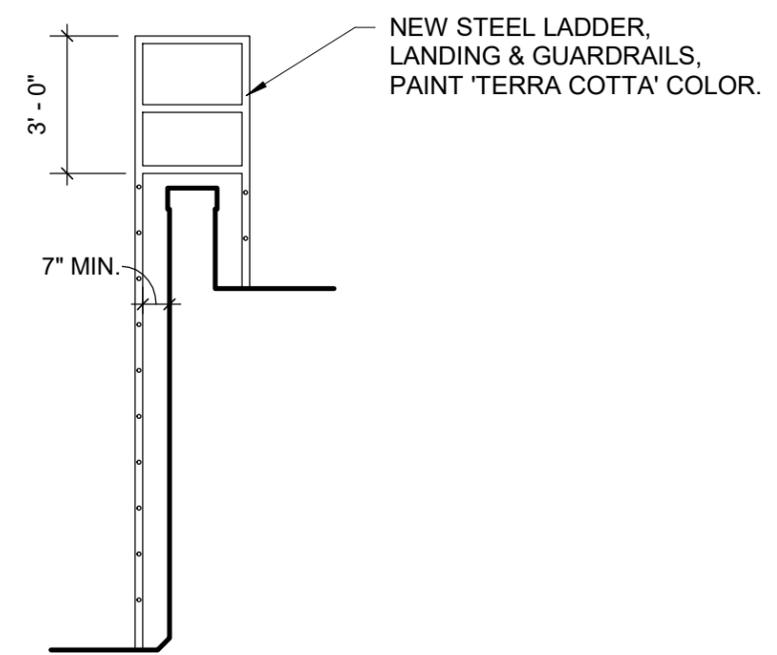
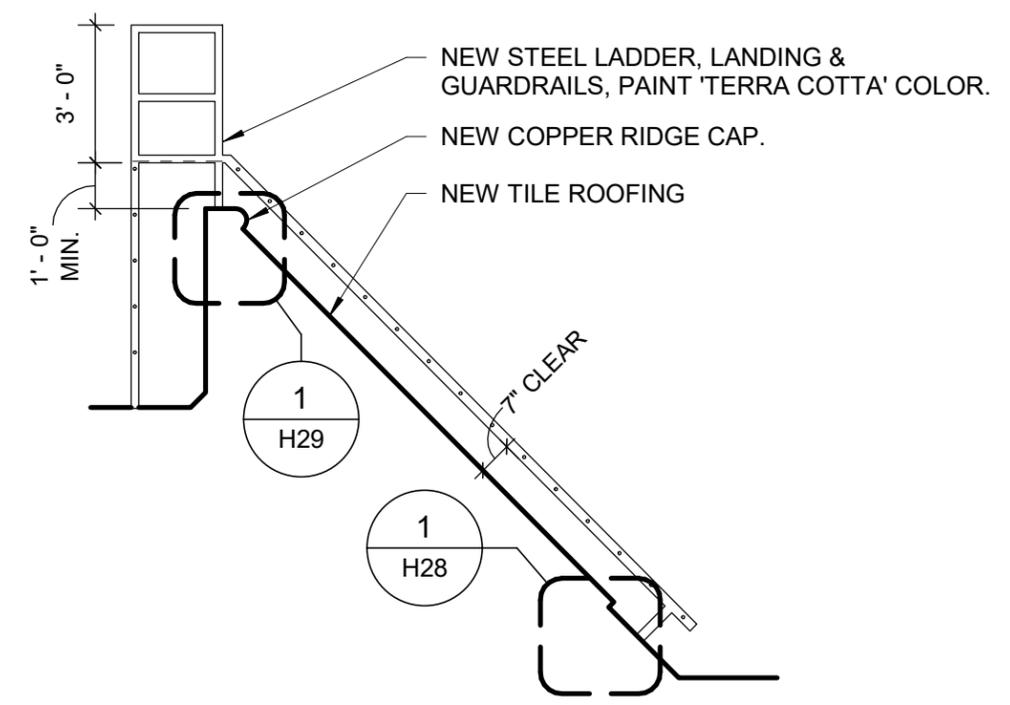
2 LADDER POST DETAIL
Scale: 1 1/2" = 1'-0"





TERRA COTTA | SRI: 42

COLOR SAMPLE OF STEEL PAINT



1 ROOF LADDER SECTION AT SLOPED ROOF
Scale: 1/4" = 1'-0"

2 ROOF LADDER SECTION AT PARAPET
Scale: 1/4" = 1'-0"

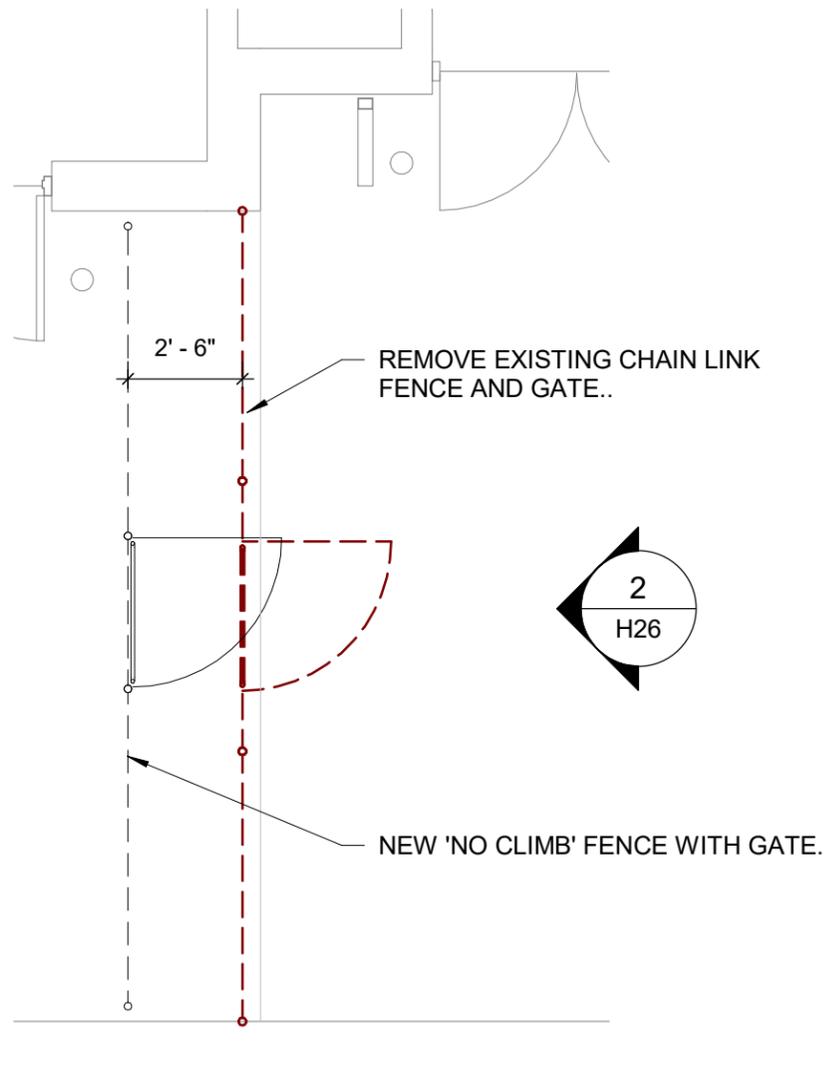


Duniway Elementary School Improvements Phase 2
LAND USE REVIEW SUBMITTAL
DECEMBER 2022

DETAILS

H25

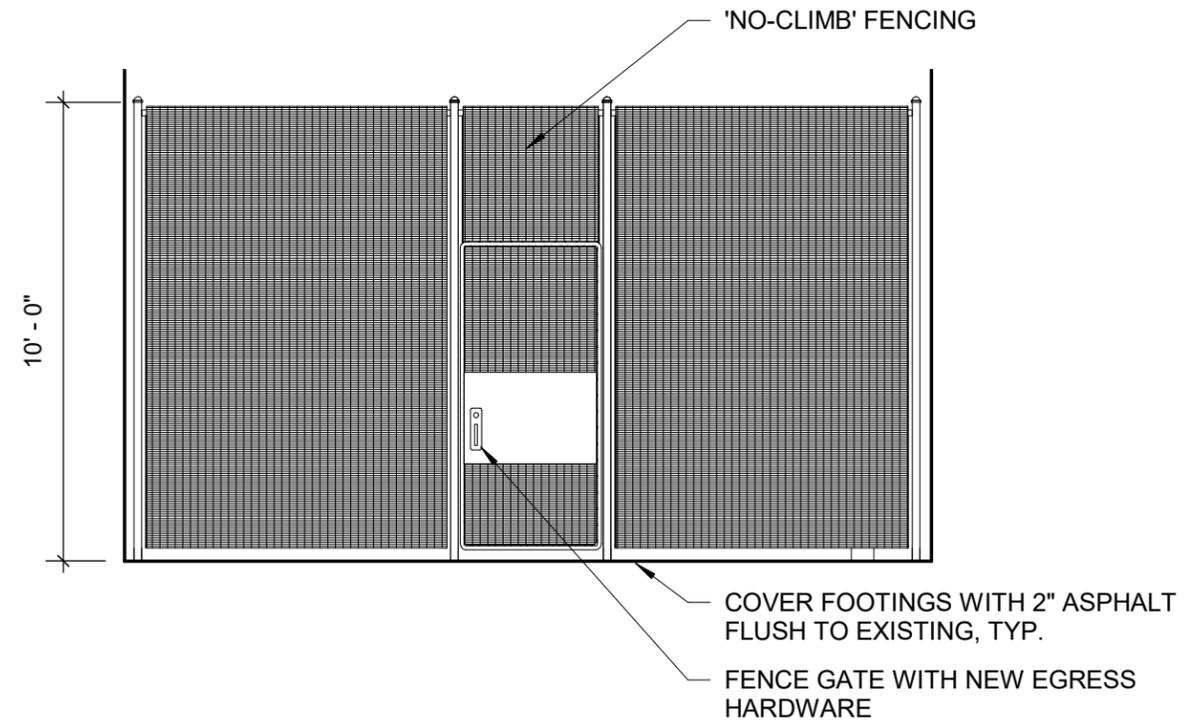
LU 22-213205 HR C-025



1 ENLARGED PLAN AT NEW FENCE
Scale: 1/4" = 1'-0"

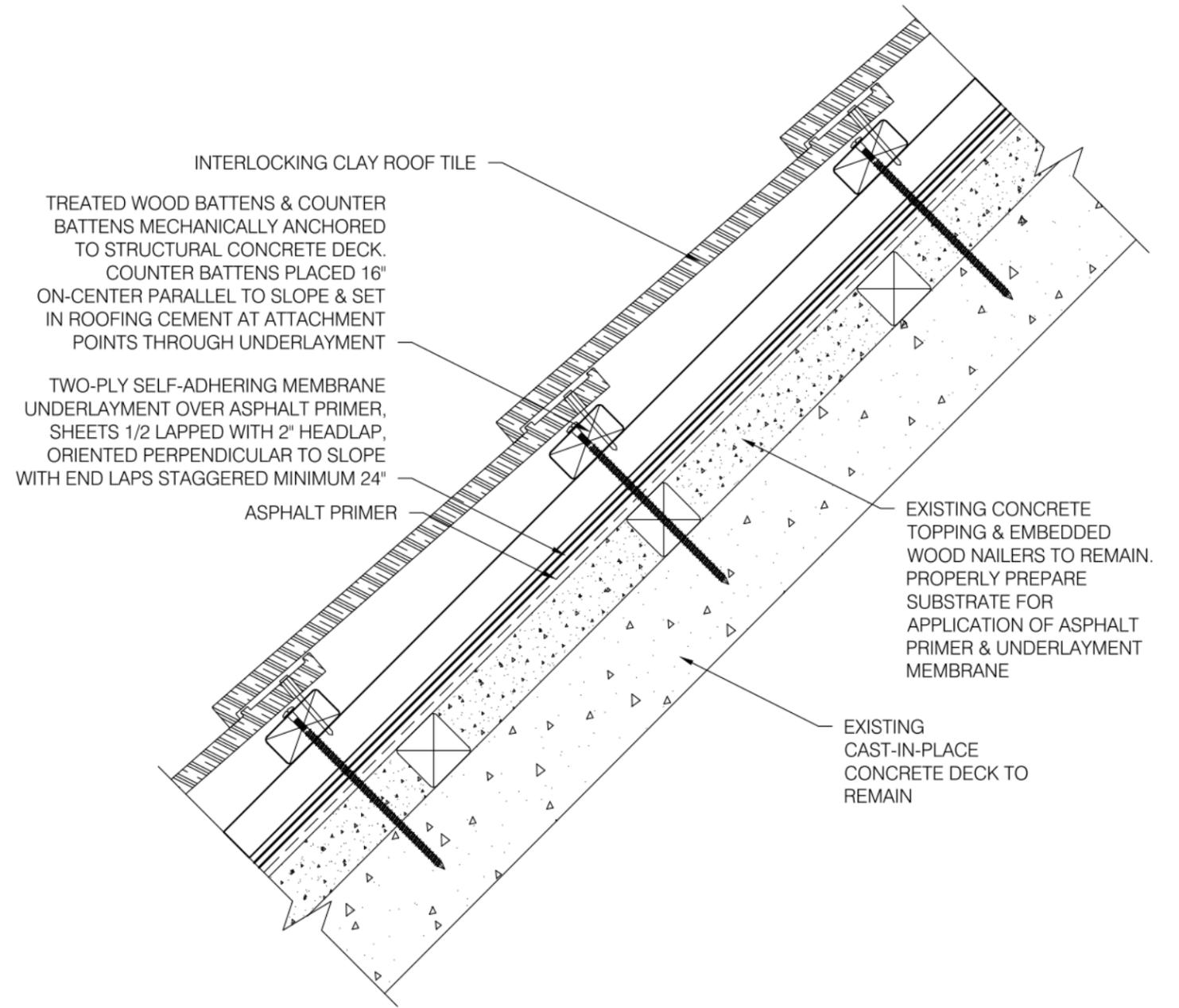
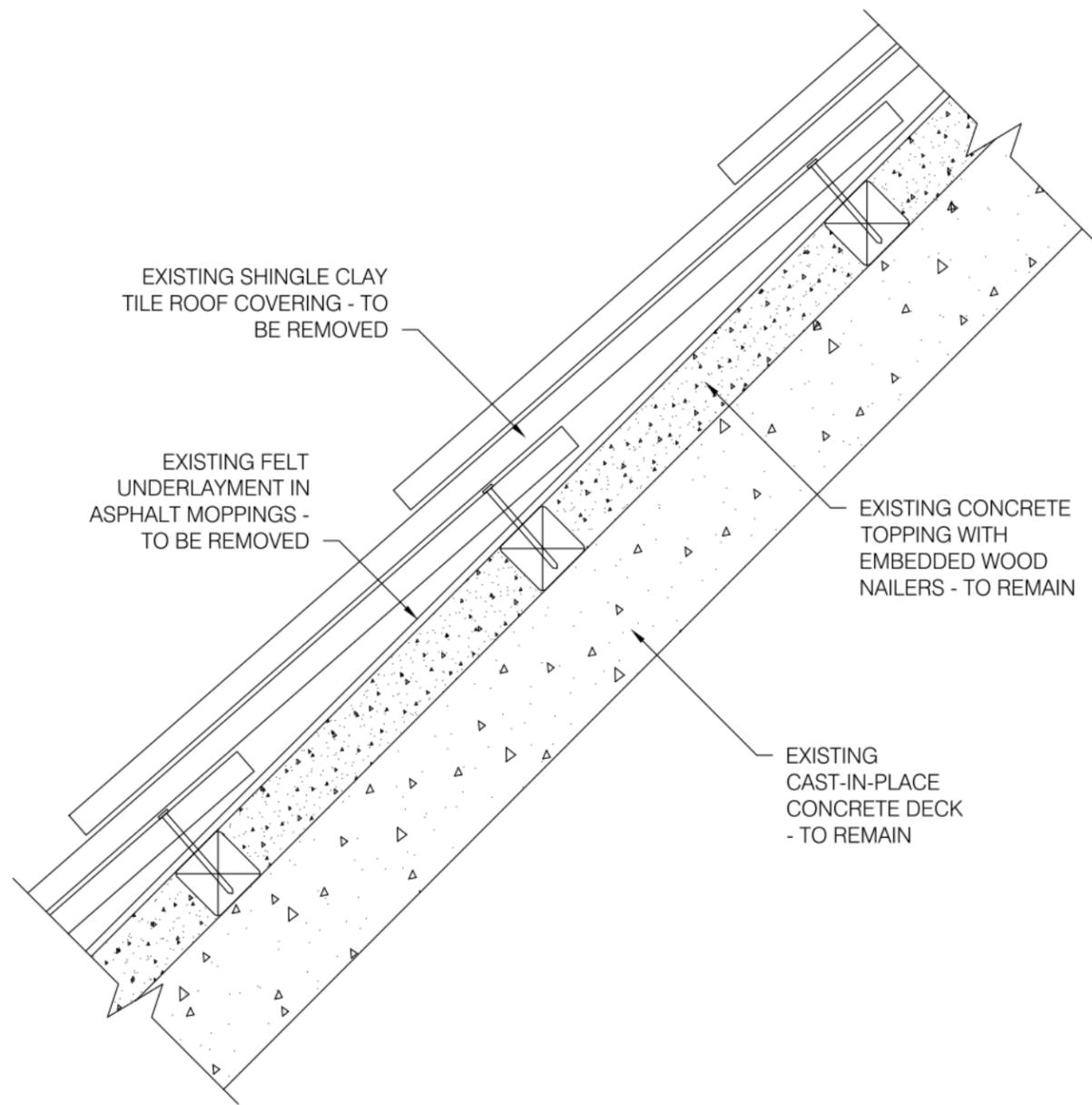


NO-CLIMB FENCING
AMERISTAR WIREWORKS ANTI-CLIMB FENCE PANELS
WELDED GALVANIZED WIRE, PAINTED



2 FENCE ELEVATION
Scale: 1/4" = 1'-0"





1 **EXISTING TILE ROOF**
Scale: 3" = 1'-0"

2 **PROPOSED TILE ROOF**
Scale: 3" = 1'-0"



TREATED WOOD BATTENS & COUNTER BATTENS
MECHANICALLY ANCHORED TO STRUCTURAL CONCRETE
DECK. COUNTER BATTENS PLACED 16" ON-CENTER
PARALLEL TO SLOPE & SET IN ROOFING CEMENT AT
ATTACHMENT POINTS THROUGH UNDERLAYMENT

TWO-PLY SELF-ADHERING MEMBRANE
UNDERLAYMENT OVER ASPHALT PRIMER,
SHEETS 1/2 LAPPED WITH 2" HEADLAP,
ORIENTED PERPENDICULAR TO SLOPE WITH
END LAPS STAGGERED MINIMUM 24"

ASPHALT PRIMER

INTERLOCKING CLAY ROOF TILE

TREATED WOOD EDGE BATTEN
MECHANICALLY ANCHORED TO STRUCTURAL
CONCRETE DECK. COUNTER BATTENS
PLACED 16" ON CENTER PARALLEL TO SLOPE
& SET IN ROOFING CEMENT AT ATTACHMENT
POINTS THROUGH UNDERLAYMENT

20 OZ COPPER TWO-PIECE
COUNTER FLASHING WITH BATTEN
RECEIVER MECHANICALLY
ANCHORED 16" ON CENTER WITH
BRASS HELICAL ANCHORS THROUGH
BRASS WASHERS BOTH SIDES

EXISTING CONCRETE TOPPING &
EMBEDDED WOOD NAILERS TO REMAIN.
PROPERLY PREPARE SUBSTRATE FOR
APPLICATION OF ASPHALT PRIMER &
UNDERLAYMENT MEMBRANE

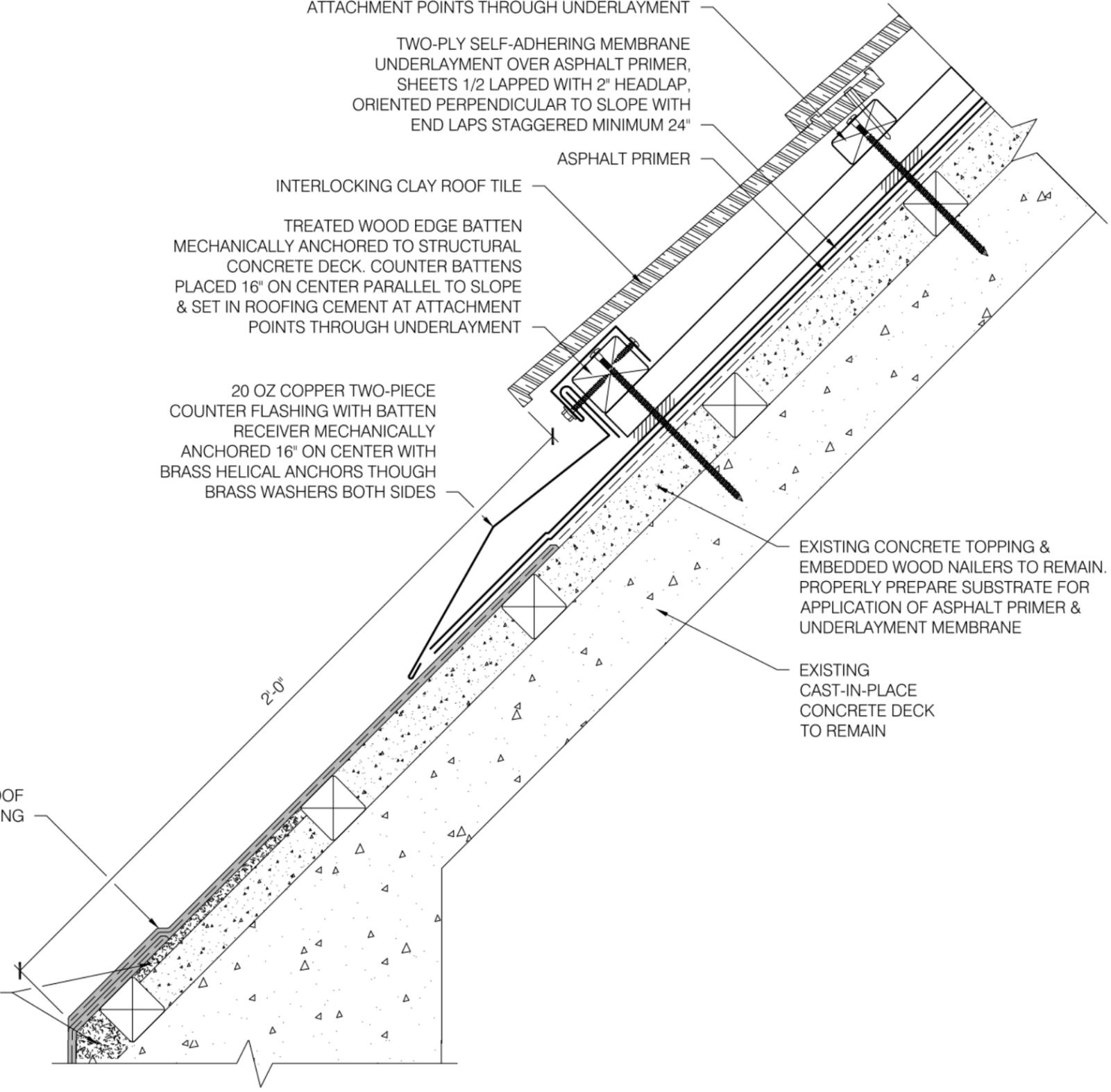
EXISTING
CAST-IN-PLACE
CONCRETE DECK
TO REMAIN

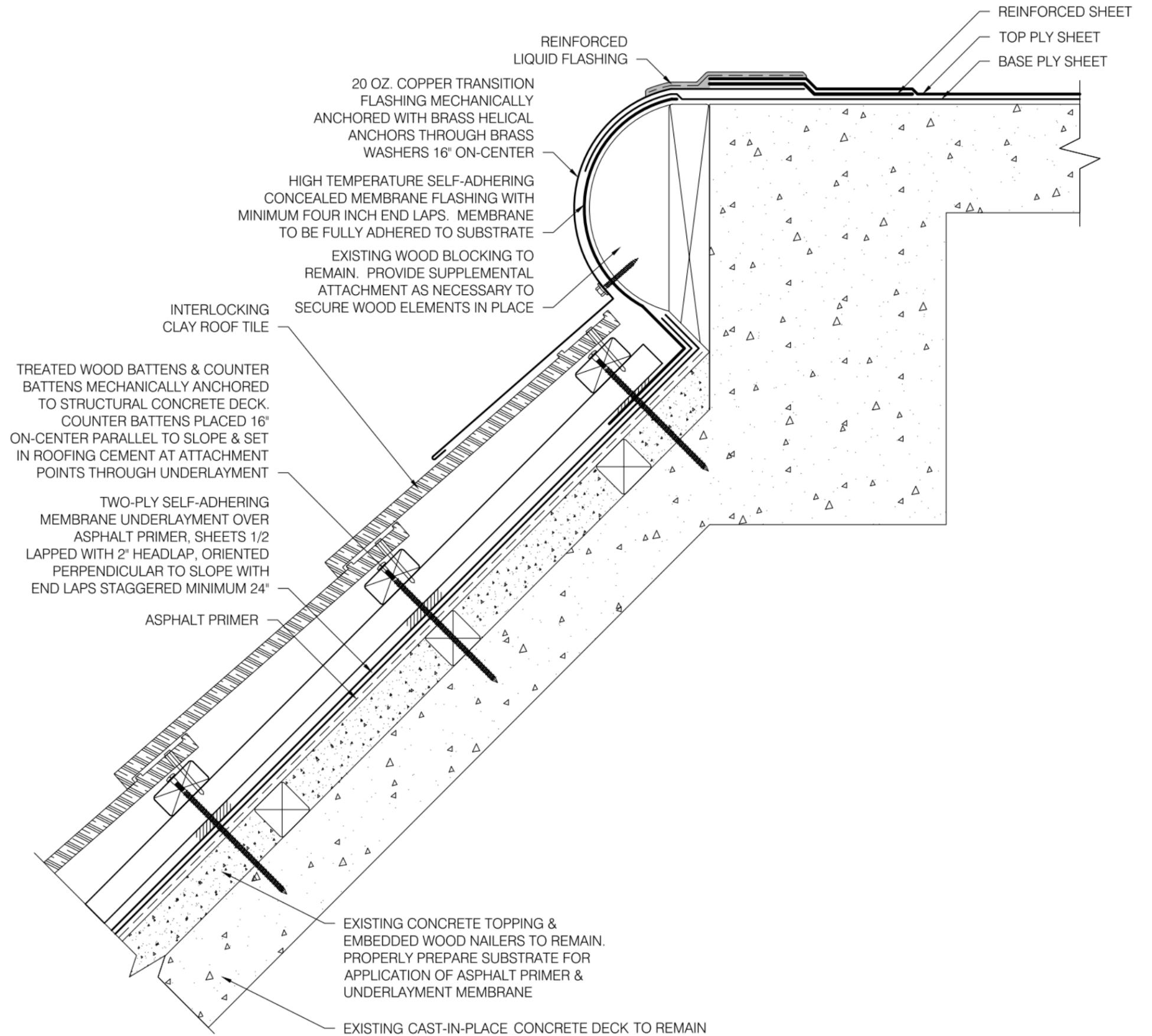
REINFORCED LIQUID ROOF
MEMBRANE BASE FLASHING

REMOVE LOOSE MATERIAL &
PROVIDE PATCHING MORTAR
APPLICATION AS NECESSARY TO
PROVIDE A UNIFORM & IN-PLANE
SURFACE THAT IS AN APPROPRIATE
RECEIVING SUBSTRATE FOR THE
REINFORCED LIQUID ROOF
MEMBRANE BASE FLASHING

2'-0"

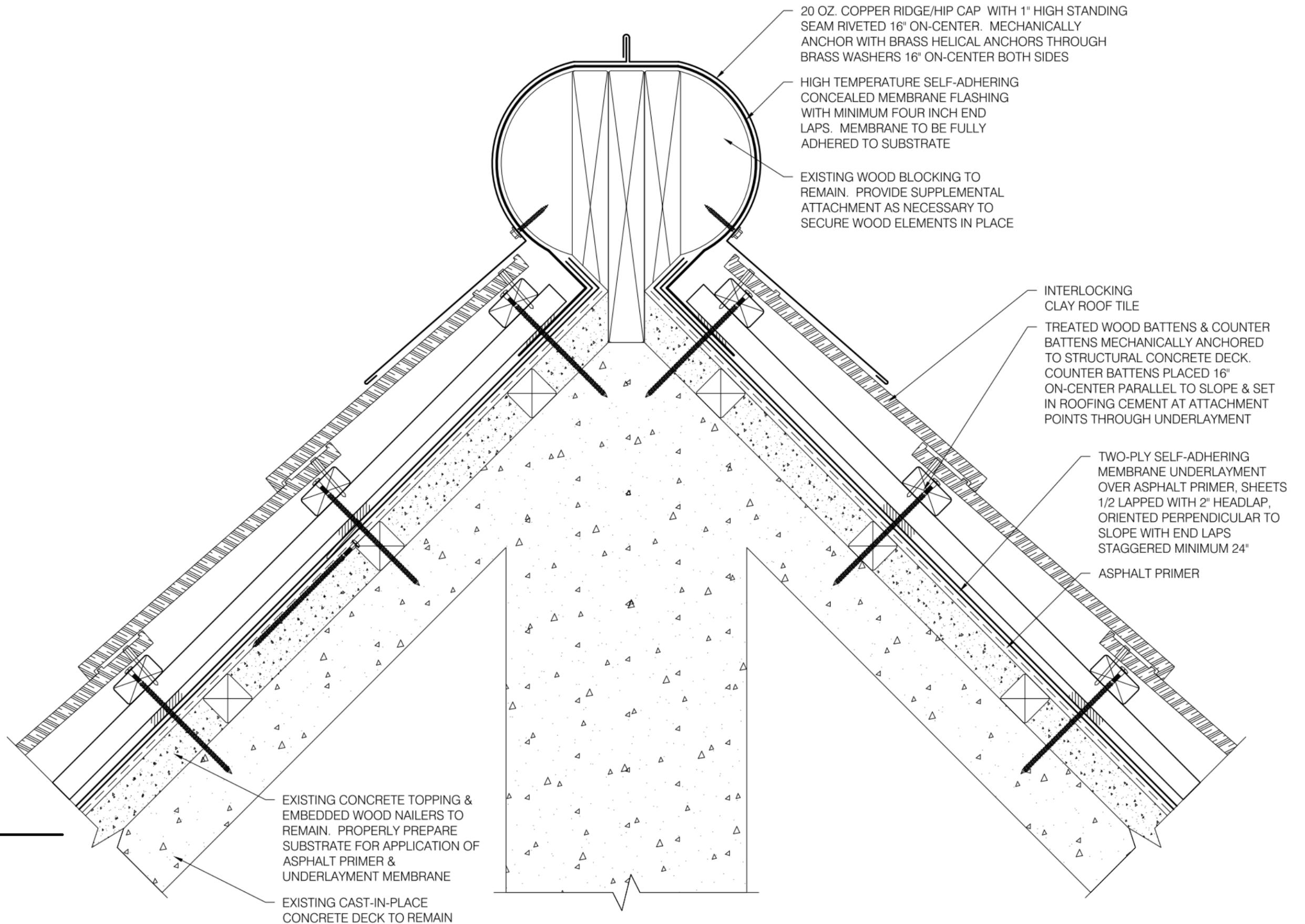
1 **TILE ROOF LOW TRANSITION**
Scale: 3" = 1'-0"





1 RIDGE CAP DETAIL
 Scale: 3" = 1'-0"





20 OZ. COPPER RIDGE/HIP CAP WITH 1" HIGH STANDING SEAM RIVETED 16" ON-CENTER. MECHANICALLY ANCHOR WITH BRASS HELICAL ANCHORS THROUGH BRASS WASHERS 16" ON-CENTER BOTH SIDES

HIGH TEMPERATURE SELF-ADHERING CONCEALED MEMBRANE FLASHING WITH MINIMUM FOUR INCH END LAPS. MEMBRANE TO BE FULLY ADHERED TO SUBSTRATE

EXISTING WOOD BLOCKING TO REMAIN. PROVIDE SUPPLEMENTAL ATTACHMENT AS NECESSARY TO SECURE WOOD ELEMENTS IN PLACE

INTERLOCKING CLAY ROOF TILE

TREATED WOOD BATTENS & COUNTER BATTENS MECHANICALLY ANCHORED TO STRUCTURAL CONCRETE DECK. COUNTER BATTENS PLACED 16" ON-CENTER PARALLEL TO SLOPE & SET IN ROOFING CEMENT AT ATTACHMENT POINTS THROUGH UNDERLAYMENT

TWO-PLY SELF-ADHERING MEMBRANE UNDERLAYMENT OVER ASPHALT PRIMER, SHEETS 1/2 LAPPED WITH 2" HEADLAP, ORIENTED PERPENDICULAR TO SLOPE WITH END LAPS STAGGERED MINIMUM 24"

ASPHALT PRIMER

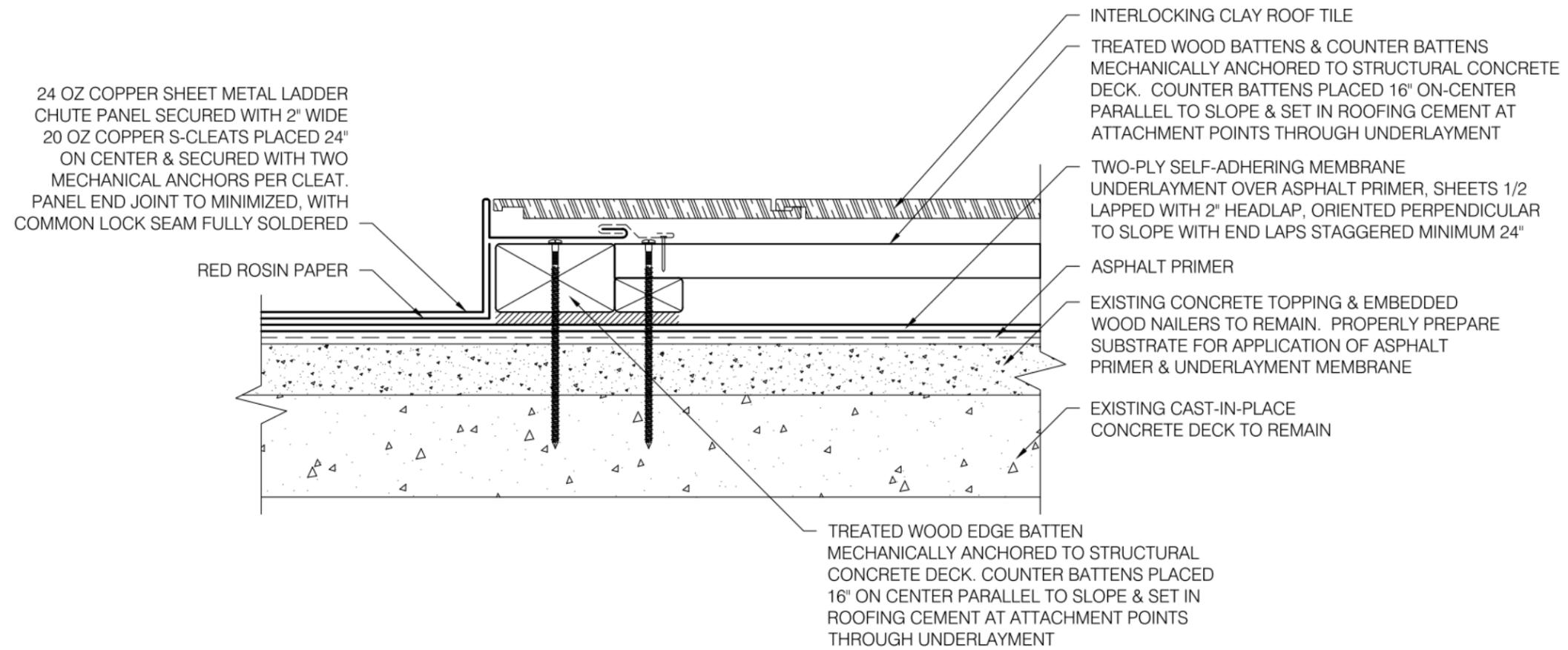
EXISTING CONCRETE TOPPING & EMBEDDED WOOD NAILERS TO REMAIN. PROPERLY PREPARE SUBSTRATE FOR APPLICATION OF ASPHALT PRIMER & UNDERLAYMENT MEMBRANE

EXISTING CAST-IN-PLACE CONCRETE DECK TO REMAIN

1 RIDGE/HIP CAP
Scale: 3" = 1'-0"

ROOF DETAIL





1

LADDER CHUTE SECTION

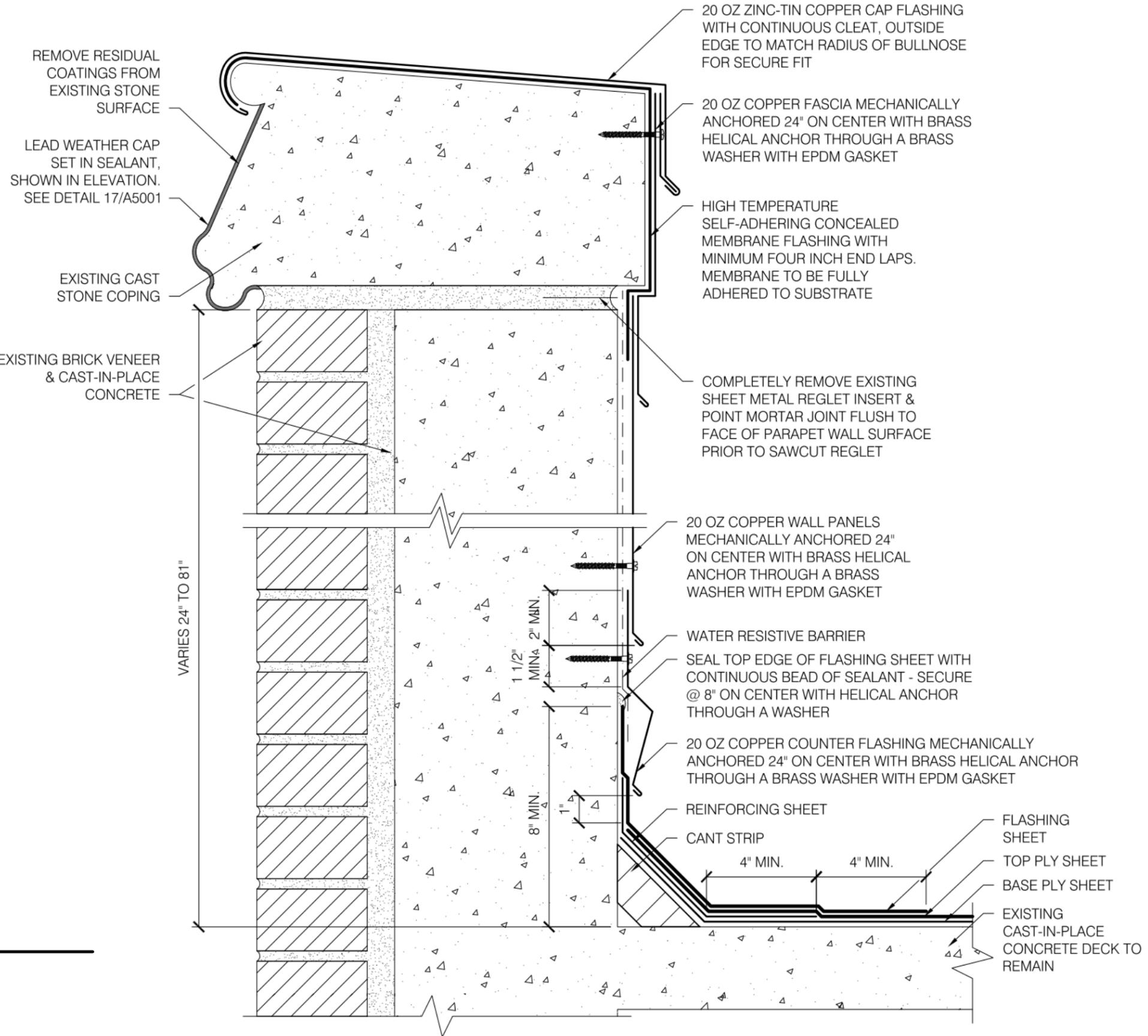
Scale: 3" = 1'-0"



Duniway Elementary School Improvements Phase 2
 LAND USE REVIEW SUBMITTAL
 DECEMBER 2022

ROOF DETAIL

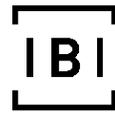
H31



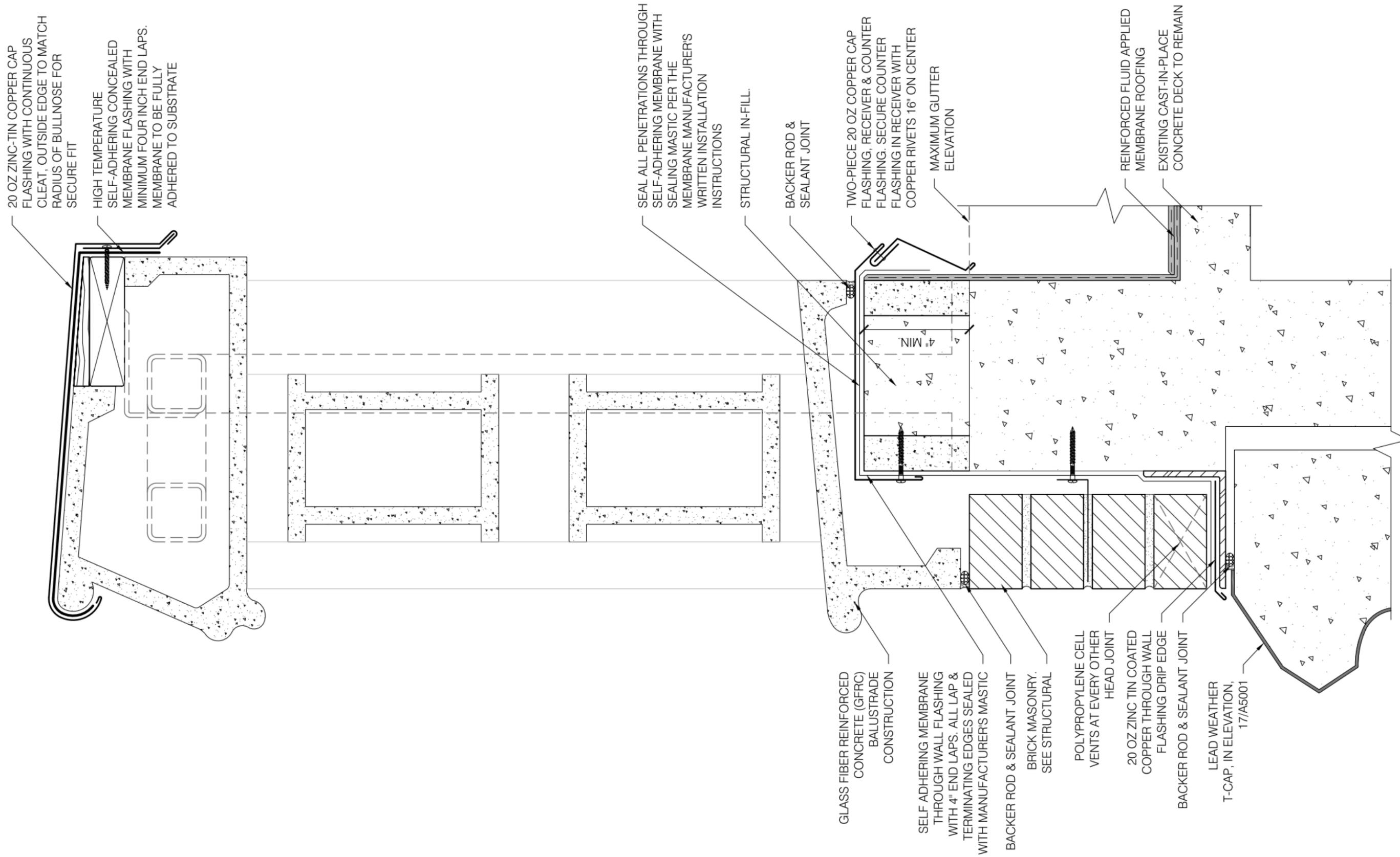
1 PARAPET WALL SECTION
 H32 Scale: 3" = 1'-0"

ROOF DETAILS





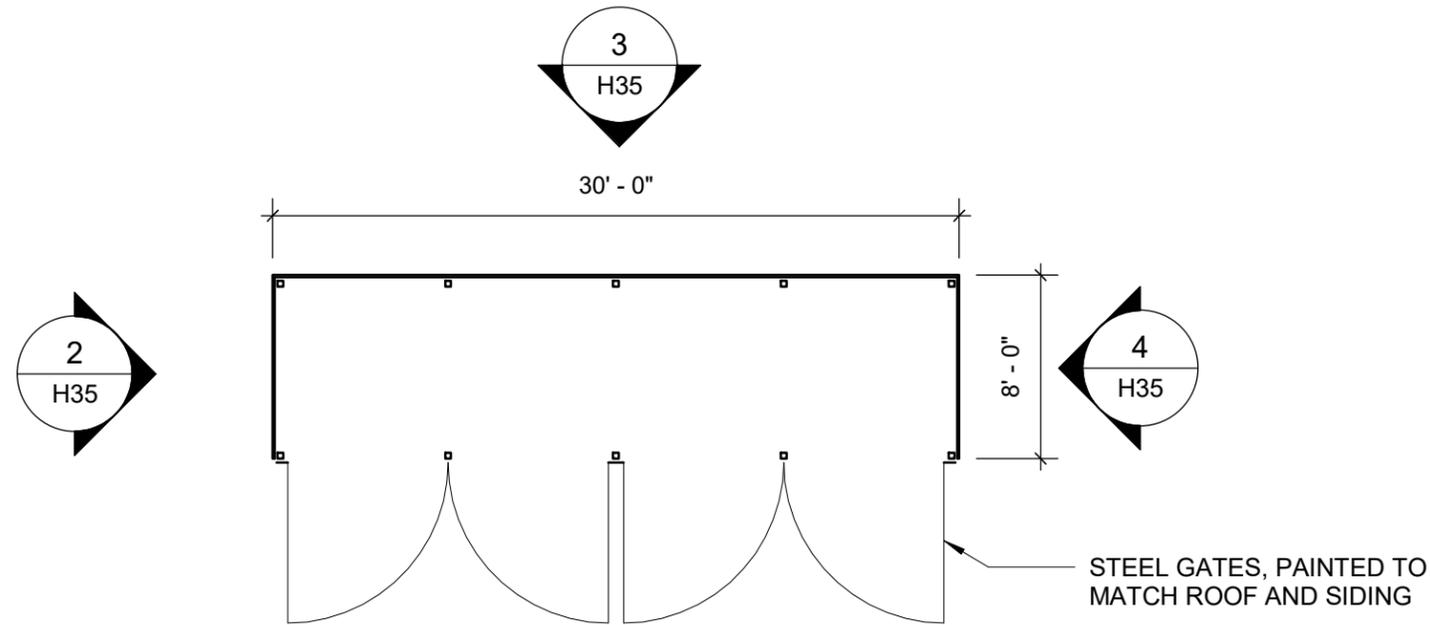
ROOF DETAIL



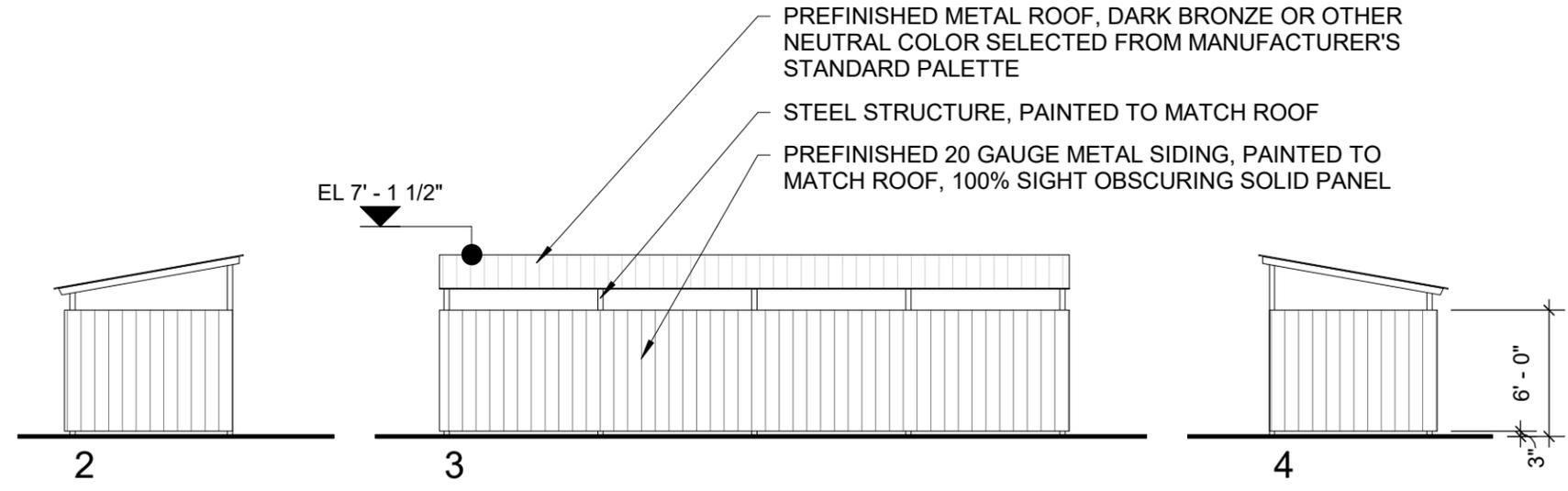
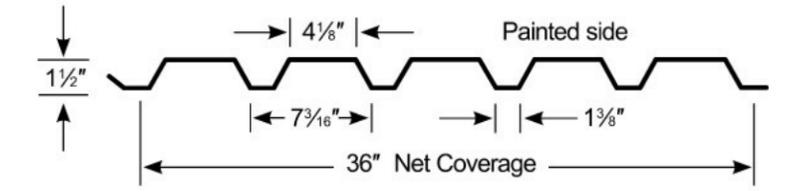
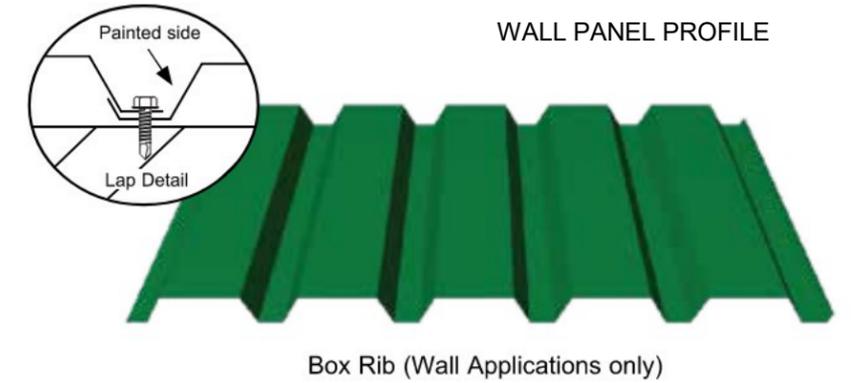
PROPOSED PARAPET BALUSTRADE SECTION

Scale: 3" = 1'-0"

1



1 ENLARGED PLAN - TRASH ENCLOSURE
Scale: 1/8" = 1'-0"



ELEVATIONS - TRASH ENCLOSURE
Scale: 1/8" = 1'-0"





City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Carmen Rubio, Commissioner
Rebecca Esau, Director
Phone: (503) 823-7310
TTY: (503) 823-6868
www.portland.gov/bds

Date: January 17, 2023

To: Steve Simonson
PORTLAND PUBLIC SCHOOLS
501 N Dixon St
Portland OR 97227
(503) 916-3199

From: Hillary Adam

RE: LU 22-213205 HR – Duniway School

Dear Applicant:

I have received your application for a Historic Resource Review at 7700 SE REED COLLEGE PL. Your application was deemed complete on January 13, 2023. Your case number is given above; the hearing is scheduled for **February 27, 2023 @ 1:30pm**. I am the planner handling your case, and can answer any questions you might have during the process.

The Zoning Code requires you to post notice on the site of your proposal 30 days before the hearing. The information below will help you do this. If you did not pick up poster boards from the Development Services Center when you filed your application, please contact me at least 24 hours in advance so the posting boards can be prepared for you to pick up. My phone number is (503) 823-8953. I am enclosing the notice that should be placed on the signs.

- A. Your site has approximately 575 feet of frontage on SE Reed College Place; you must post 1 sign along this street. Your site has approximately 260 feet of frontage on SE Lambert Street; you must post 1 sign along this street. Your site has approximately 425 feet of frontage on SE 35th Avenue; you must post 1 sign along this street. Your site has approximately 290 feet of frontage on SE Rex Street; you must post 1 sign along this street. There must be at least one sign every 600 feet of each frontage.
- B. These signs must be placed within 10 feet of the street frontage line, and must be visible to pedestrians and motorists. You may not post in the public right-of-way.
- C. Because the hearing for your case is scheduled for **February 27, 2023 @ 1:30pm**, you must post the notice by January 28, 2023, 30 days before the hearing.
- D. A certification statement is enclosed, which you must sign and return. The statement affirms that you posted the site. It also confirms your understanding that if you do not post the notice by the date above, your hearing will be automatically postponed. In addition, time limits on our processing of your case will be waived. You must return this statement to us by February 13, 2023, 14 days before the hearing.
- E. You should not remove the notice before the hearing, but it must be taken down within two weeks after the final decision is made on your request.

Encl: Posting Notice
Statement Certifying Posting
cc: Application Case File

Type III Land Use Review

DUNIWAY SCHOOL

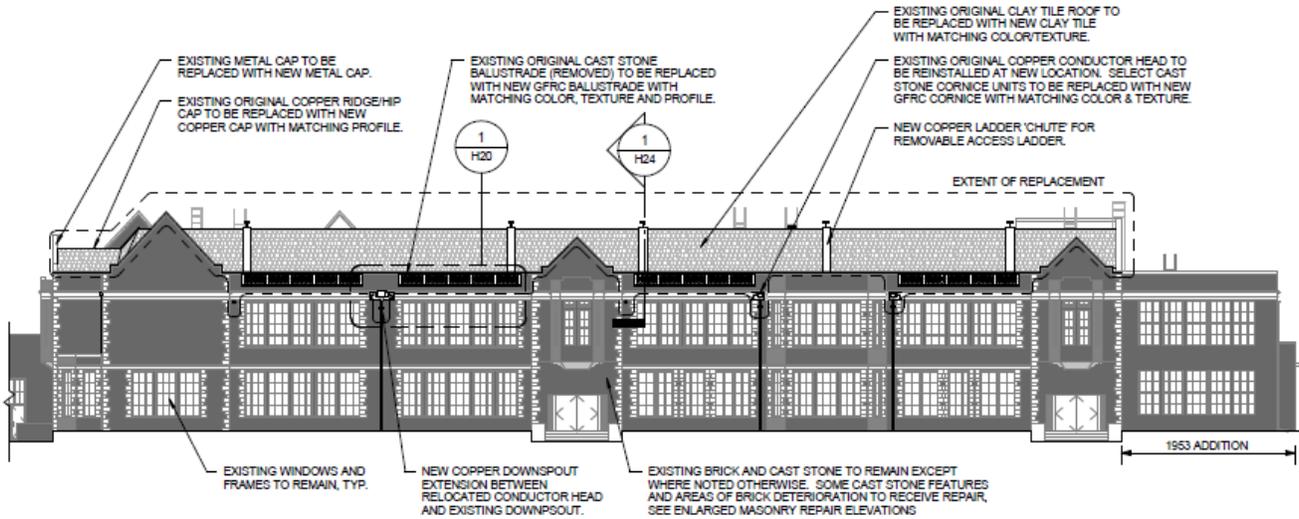
WHEN

MONDAY February 27, 2023 @ 1:30 PM

(hearing start time –see Historic Landmarks Commission agenda for estimated project start time)

WHERE

ONLINE: Link to virtual hearing & information on how to testify is available at www.portlandoregon.gov/bds/landmarks



REVIEW BY

HISTORIC LANDMARKS COMMISSION

CASE FILE

**LU 22-213205 HR
(EA 21-108718 PC)**

LAND USE REVIEW TYPE

HISTORIC RESOURCE REVIEW

PROPOSAL

Type III Historic Resource Review for exterior alterations to the Duniway Elementary School including: replacement of original tile roof with same; replacement of original cast stone balustrade with new constructed of GFRC to match existing, relocation of conductor heads and removal of portions of cast stone cornice to accommodate relocation, replacement of metal caps and copper ridge hips with same, installation of new copper ladder chutes and new steel ladders, reconfiguration of a ramp and construction of a metal enclosure for trash at the NE corner, and replacement of an existing security fence with a new no-climb fence.

PROJECT INFO

www.portlandoregon.gov/bds/landmarks

SITE LOCATION

7700 SE Reed College Place

ZONING/ DESIGNATION

**R5 – Residential 5,000
Historic Resource overlay due to Historic Landmark designation**

**QUESTIONS?
BDS CONTACT**

Hillary Adam, Planner
(503) 823-8953 / Hillary.Adam@PortlandOregon.gov
Bureau of Development Services, 1900 SW 4th Ave, Suite 5000, Portland, OR 97201

Traducción e interpretación | Chuyển Ngữ hoặc Phiên Dịch | 翻译或传译 | Turjumida ama Fasiraadda | 翻訳または通訳 | תרגום או תעודת שפה | Письменный или устный перевод | Traducere sau Interpretare | 번역 및 통역 | الترجمة التحريرية أو الشفوية | Письмовий або усний переклад



503-823-7300



BDS@PortlandOregon.gov



www.PortlandOregon.gov/bds/translated

TTY: 503-823-6868
Relay Service: 711

LU 22-213205 HR D2

Steve Simonson
PORTLAND PUBLIC SCHOOLS
501 N Dixon St
Portland OR 97227
(503) 916-3199

DATE: 01/25/2023

TO: Hillary Adam
Bureau of Development Services
1900 SW Fourth Ave., Suite 5000
Portland, Oregon 97201

APPLICANT'S STATEMENT CERTIFYING POSTING

Case File LU 22-213205

This certifies that I have posted notice on my site as required by the Zoning Code. I understand that the hearing is scheduled for February 27, 2023 @ 1:30pm, and that I was required to post the property at least 30 days before the hearing.

The required number of poster boards, with the notices attached, were set up on 01/25/2023 (date). These were placed within 10 feet of the street frontage line so that they were visible to pedestrians and motorists.

I understand that this form must be returned to the Bureau of Development Services no later than January 13, 2023, 14 days before the scheduled hearing. I also understand that if I do not post the notices by 30 days before the hearing, or return this form by 14 days before the hearing, my hearing will automatically be postponed. I also understand this will result in a waiver of the time limits for processing my case.

In addition, I understand that I may not remove the notices before the hearing, but am required to remove them within two weeks of the final decision on my request.

February 13, 2023



Signature

Steve Simonson

Print Name

501 N Dixon

Address

Portland, OR 97227

City/State/Zip Code



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Carmen Rubio, Commissioner
Rebecca Esau, Director
Phone: (503) 823-7310
TTY: (503) 823-6868
www.portland.gov/bds

Date: February 6, 2023
To: Interested Person
From: Hillary Adam, Land Use Services
503-823-8953 / Hillary.Adam@portlandoregon.gov

**NOTICE OF A PUBLIC HEARING ON A PROPOSAL
IN YOUR NEIGHBORHOOD**

CASE FILE: LU 22-213205 HR – Duniway School
PC # 21-108718

REVIEW BY: Historic Landmarks Commission

WHEN: February 27, 2023 @ 1:30pm

Remote Access: Historic Landmarks Commission Agenda

<https://www.portlandoregon.gov/bds/HLCagenda>

This land use hearing will be limited to remote participation via Zoom. Please refer to the instructions included with this notice to observe and participate remotely.

It is important to submit all evidence to the Historic Landmarks Commission. City Council will not accept additional evidence if there is an appeal of this proposal.

Development has been proposed in your neighborhood requiring a land use review. The proposal, review process, and information on how to respond to this notice are described below. A copy of the site plan and zoning map are attached. I am the staff person handling the case. Please call me if you have questions regarding this proposal. Please contact the applicant if you have questions regarding any future development on the site.

Applicant: Steve Simonson, ssimonson@pps.net, 503-916-3199
Portland Public Schools
501 N Dixon St
Portland, OR 97227

Owner: School District No 1
PO Box 3107
Portland, OR 97208-3107

Design Consultant: Todd Kimball, todd.kimball@ibigroup.com, 503-226-6950 ext 56927
IBI Group
907 SE Harvey Milk
Portland, OR 97205

Historic Resource

Consultant: Matthew Davis, m.davis@argcreate.com, 971-256-5320
Architectural Resources Group
720 SW Washington St., Ste 605
Portland, OR 97205

Site Address: 7700 SE REED COLLEGE PL

Legal Description: INC ALL VAC E 34TH ST W OF & ADJ BLOCK 61 BLOCK 62,
EASTMORELAND

Tax Account No.: R231513710

State ID No.: 1S1E24DB 02900

Quarter Section: 3734 & 3834

Neighborhood: Eastmoreland, contact Karissa Dean at karissa@abcoached.com

Business District: NONE

District Coalition: Southeast Uplift, contact Matchu Williams at matchu@seuplift.org

Plan District: Eastmoreland

Other Designations: Historic Landmark, locally listed

Zoning: R5 – Residential 5,000 with Historic Resource overlay

Case Type: HR – Historic Resource Review

Procedure: Type III, with a public hearing before the Historic Landmarks Commission. The decision of the Historic Landmarks Commission can be appealed to City Council.

Proposal:

The applicant proposes exterior alterations to the historic landmark to include the following:

- Replacement of original clay tile roof shingles with new clay tile roof shingles;
- Replacement of original cast stone balustrade with new matching balustrade constructed of glass fiber-reinforced concrete (GFRC);
- Replacement of metal caps, copper ridge hips with same;
- Relocation of existing copper conductor heads to higher location, with new copper downspout extensions and removal of sections of cast stone cornice to allow for conductor head relocation with cornice endcaps constructed of GFRC to match;
- Installation of new copper ladder chutes and new steel ladders at the roof;
- Construction of a metal enclosure for trash receptacles at the northeast paved area;
- Reconfiguration of a ramp at the northeast corner; and
- Replacement of existing security fence with a new no-climb fence at interior courtyard.

Also proposed but not subject to review is reconstruction of portions of the brick and cast stone parapet using existing materials.

Note: The property is also a contributing resource in the Eastmoreland National Register District; however, the property is subject to Historic Resource Review because of its listing as a Historic Landmark.

Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The applicable approval criteria are:

- 33.846.060.G Other historic approval criteria

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is

complete at the time of submittal, or complete within 180 days. This application was submitted on December 20, 2022 and determined to be complete on January 13, 2023.

DECISION MAKING PROCESS

The Bureau of Development Services will be making a recommendation on this proposal; our report and recommendation will be available 10 days before the hearing. The Staff report will be posted on the Bureau of Development Services website. Look at www.portlandonline.com. On the left side of the page use the search box to find Development Services, then click on the Zoning/Land Use section select Notices and Hearings. Land use review notices are listed by the District Coalition shown at the beginning of this document. If you are interested in viewing the file, please contact the planner listed on the front of this notice. The planner can provide information over the phone or via email. Only digital copies of the material in the file are available for viewing. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at <http://www.portlandonline.com/auditor/index.cfm?c=28197>

The neighborhood association, listed on the first page of this notice, may take a position on this application and may have scheduled an open meeting prior to making their recommendation to the Bureau of Development Services. Please contact the person listed as the neighborhood contact to determine the time and date of this meeting.

We are seeking your comments on this proposal. To comment, you may write or testify at the remote hearing. Please refer to the file number when seeking information or submitting testimony. In your comments, you must address the approval criteria as stated in the administrative report and decision which you previously received. Please note that all correspondence and testimony received will become part of the public record.

Written comments must be received by the close of the record and should include the case file number. Any new written testimony should be emailed to Hillary Adam at Hillary.Adam@portlandoregon.gov.

Please note regarding USPS mail: Testimony must be received before the close of the record. Therefore, please mail testimony well in advance of the hearing date.

Thank you for any information you can provide regarding this case. Note: If you have already written, it is not necessary to write again; your correspondence will be given to the Historic Landmarks Commission.

If you plan to testify at the hearing, please refer to instructions included with this notice.

The applicant and proponents have the burden of proof to show that each and every element of the approval criteria are satisfied. In order to prevail, the opponents must persuade the Historic Landmarks Commission to find that the applicant has not carried the burden of proof with regard to one or more of the approval criteria. The opponents may also explain to the Historic Landmarks Commission how or why the facts asserted by the applicant are not supported by evidence in the record. Opponents may wish to recommend conditions of approval which will make the proposal more acceptable, if approved.

Prior to the conclusion of the hearing before the Historic Landmarks Commission, any participant may request an opportunity to present additional evidence or testimony regarding the application. If such a request is made, the record will be held open for seven days to receive the new evidence and the record shall be held open for at least an additional seven days to provide the other parties an opportunity to respond to that new evidence.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be extended at the request of the applicant.

APPEAL PROCESS

You can appeal the Historic Landmarks Commission decision to City Council. However, the appeal to City Council will be conducted as an on-the-record review of the Historic Landmarks Commission decision. The City Council will consider legal arguments (for example arguments pointing out ways the Historic Landmarks Commission decision improperly interprets or applies relevant approval criteria). The City Council will also consider arguments that the Historic Landmarks Commission findings are not supported by the evidence submitted to the Historic Landmarks Commission. However, the City Council will not accept or consider new evidence that was not submitted to the Historic Landmarks Commission.

A fee is charged for appeals. Recognized neighborhood associations may qualify for an appeal fee waiver. City Council's decision may be appealed to the Oregon Land Use Board of Appeals (LUBA).

Failure to raise an issue, in person or by letter, by the close of the record by the Historic Landmarks Commission in this case may preclude an appeal to LUBA on that issue. Also, if you do not provide enough detailed information to the Historic Landmarks Commission, they may not be able to respond to the issue you are trying to raise. In such a situation, an appeal to LUBA on that issue may not be allowed.

Thank you for any information you can provide to help us make this decision. Please call me if you have any questions. My name and number are on the first page of this notice.

HEARING CANCELLATION

This public hearing will be cancelled due the inclement weather or other similar emergency.

- Hearings Officer: This public hearing will be cancelled if the City of Portland is closed. Check local television or the City of Portland website (www.portlandoregon.gov) for closures. Contact the Hearings Office at 503-823-7307, for immediate information regarding cancellations or rescheduling.
- Design Commission, Historic Landmarks Commission or Adjustment Committee: This public hearing will be cancelled if Portland Public Schools close due to inclement weather or other similar emergency. Check local television and radio reports for school closures. Please call the Bureau of Development Services at 503-823-7617, for information regarding cancellations or rescheduling.

The hearing will be rescheduled for the earliest possible date. A renotification notice will not be sent.

To attend the hearing, public transportation is available. Tri-Met buses stop near the BDS building at SW Fifth or Sixth Ave. at SW Hall St. and SW Harrison St. Call Tri-Met at 503-238-7433 (or www.trimet.org) for routes and times. Hourly rated public parking is available a half block south of the building on Fourth Ave.

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).

Enclosures:

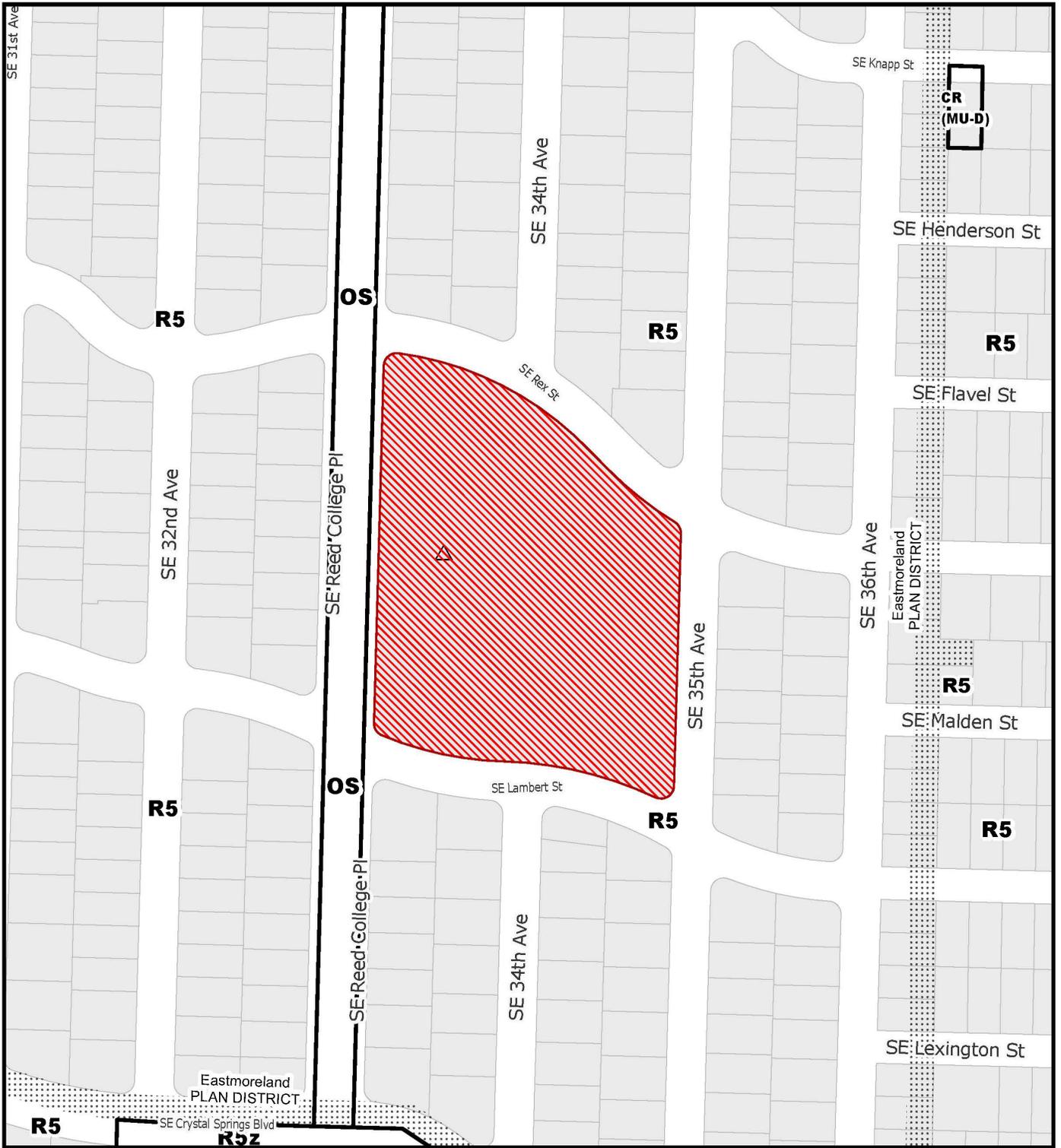
Zoning Map

Site Plan

Roof Plan – Affected Area

Typical Elevation – Affected Area

Instructions for Observing or Testifying at the Historic Landmarks Commission Webinar Hearings



For Zoning Code in Effect Post October 1, 2022

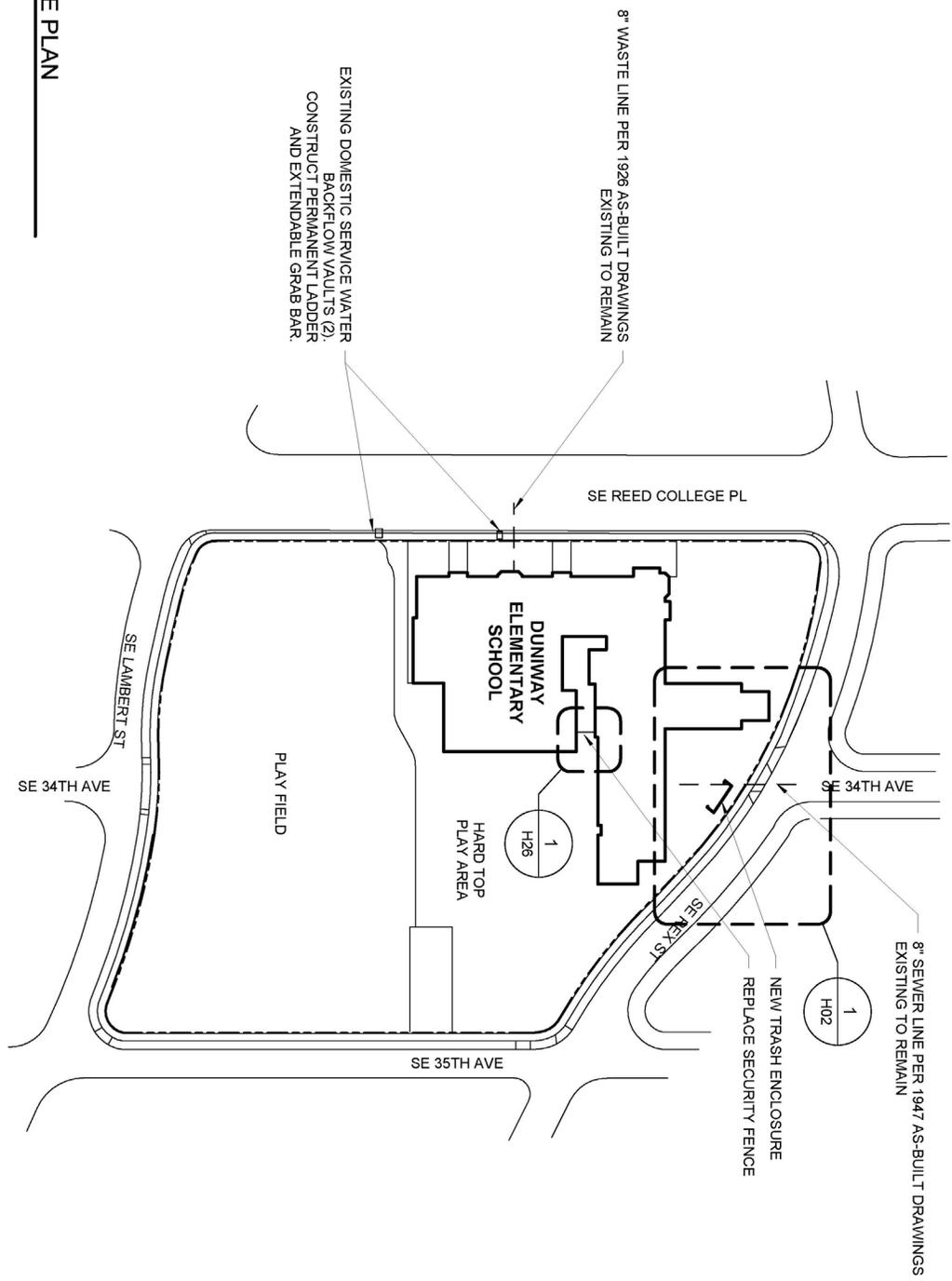
ZONING

THIS SITE LIES WITHIN THE:
EASTMORELAND PLAN DISTRICT

-  Site
-  Plan District
-  Historic Landmark

File No.	<u>LU 22 - 213205 HR</u>
1/4 Section	<u>3734,3834</u>
Scale	<u>1 inch = 200 feet</u>
State ID	<u>1S1E24DB 2900</u>
Exhibit	<u>B</u> <u>Dec 21, 2022</u>

1 OVERALL SITE PLAN
 Scale: 1" = 100'-0"



Duninway Elementary School Improvements Phase 2
 LAND USE REVIEW SUBMITTAL
 JANUARY 2023

SITE PLAN



H01

1

ROOF PLAN - 1926 BUILDING

Scale: 1/16" = 1'-0"

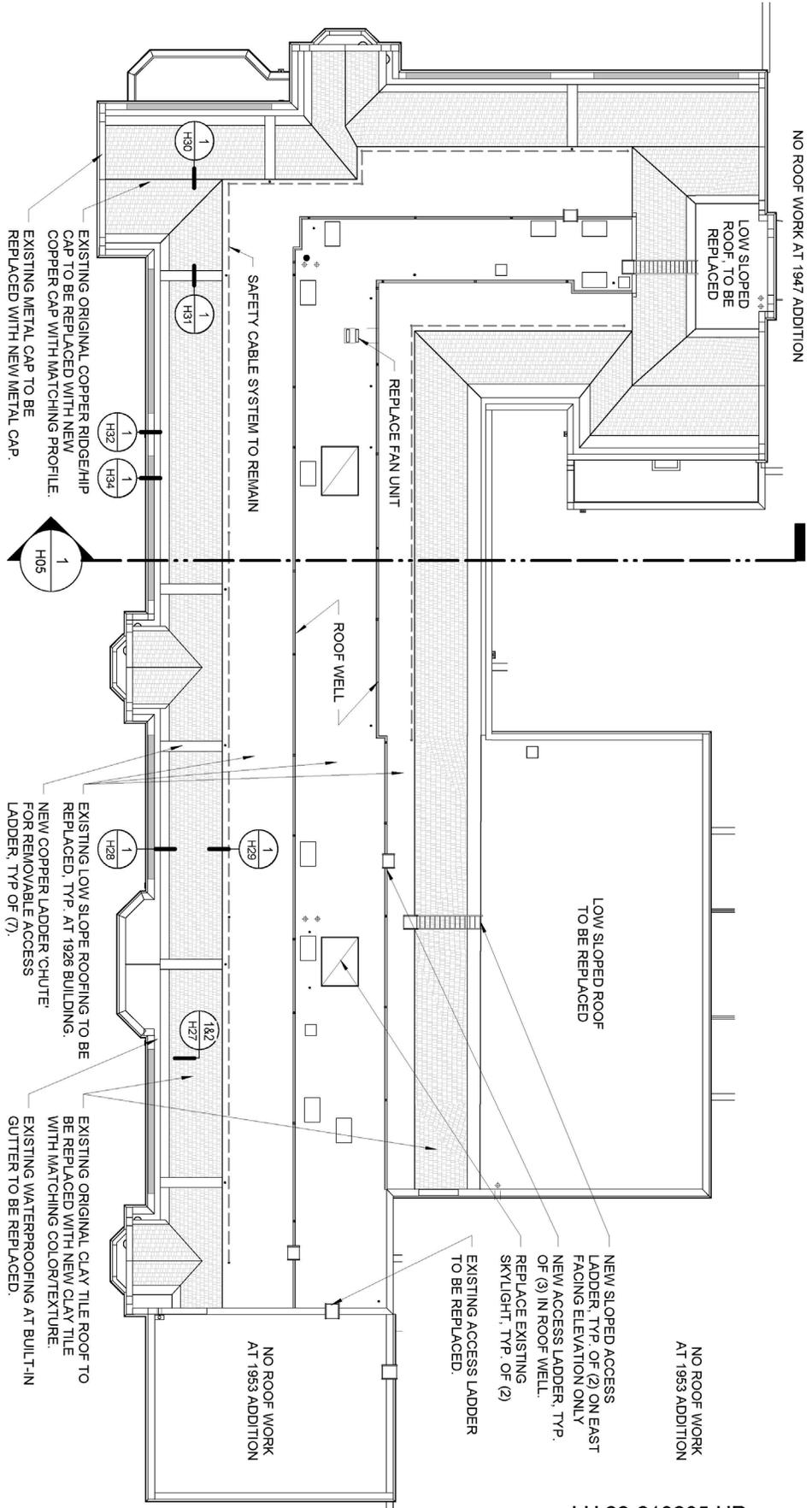


Dunaway Elementary School Improvements Phase 2
LAND USE REVIEW SUBMITTAL
DECEMBER 2022

ROOF PLAN



H04



EXISTING METAL CAP TO BE REPLACED WITH NEW METAL CAP.

EXISTING ORIGINAL COPPER RIDGE/HIP CAP TO BE REPLACED WITH NEW COPPER CAP WITH MATCHING PROFILE.

EXISTING ORIGINAL CAST STONE BALUSTRADE (REMOVED) TO BE REPLACED WITH NEW GFRG BALUSTRADE WITH MATCHING COLOR, TEXTURE AND PROFILE.

EXISTING ORIGINAL CLAY TILE ROOF TO BE REPLACED WITH NEW CLAY TILE WITH MATCHING COLOR/TEXTURE.

EXISTING ORIGINAL COPPER CONDUCTOR HEAD TO BE REINSTALLED AT NEW LOCATION. SELECT CAST STONE CORNICE UNITS TO BE REPLACED WITH NEW GFRG CORNICE WITH MATCHING COLOR & TEXTURE.

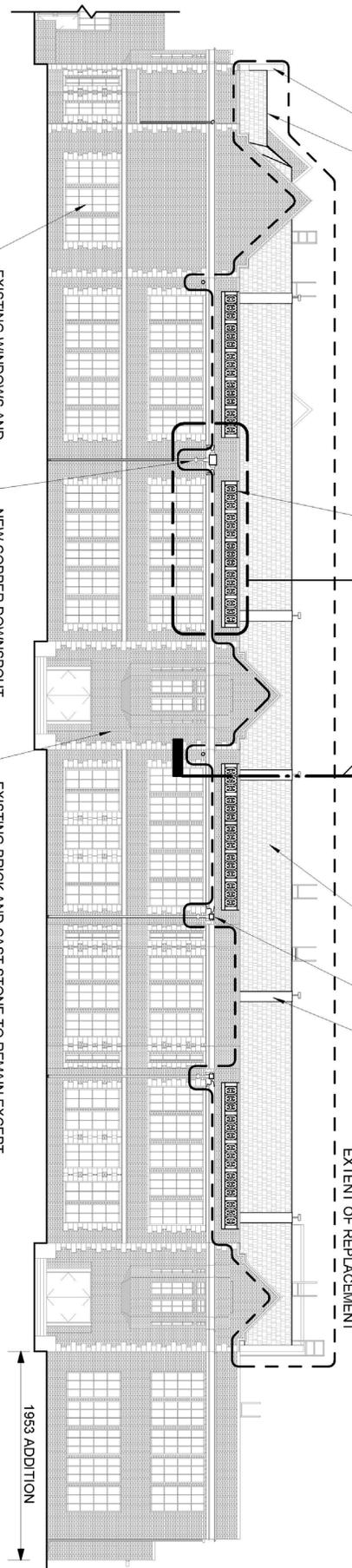
NEW COPPER LADDER 'CHUTE' FOR REMOVABLE ACCESS LADDER.

EXTENT OF REPLACEMENT

EXISTING WINDOWS AND FRAMES TO REMAIN, TYP.

NEW COPPER DOWNSPOUT EXTENSION BETWEEN RELOCATED CONDUCTOR HEAD AND EXISTING DOWNSPOUT.

EXISTING BRICK AND CAST STONE TO REMAIN EXCEPT WHERE NOTED OTHERWISE. SOME CAST STONE FEATURES AND AREAS OF BRICK DETERIORATION TO RECEIVE REPAIR, SEE ENLARGED MASONRY REPAIR ELEVATIONS



1 WEST ELEVATION - 1926 BUILDING
Scale: 1/16" = 1'-0"



Dunlaway Elementary School Improvements Phase 2
LAND USE REVIEW SUBMITTAL
JANUARY 2023

1926 BUILDING ELEVATION

H07

Observing or Testifying at the Portland Design Commission, Historic Landmarks Commission, or Adjustment Committee Webinar Hearings

Thank you for your interest in attending a land use public hearing. All hearings are currently held virtually, via Zoom. The information below will help you get connected.

***If you do not have access to the internet from a home computer or mobile phone, please see the end of this document for instructions on how to participate from a City building at 1900 SW 4th Avenue in downtown Portland.

Preparing for the Hearing:

1. To access the Zoom Webinar, please go to the online hearing Agenda, and click the link under the hearing date you are interested in participating: <https://www.portlandoregon.gov/bds/42441>
2. In advance of the hearing, please review documents and drawings in the project link within the Online Agenda.
 - Please also provide comments to the planner assigned in advance of the hearing.

Getting into the Hearing [Registering in Zoom to observe or participate in Hearing]:

1. In order to observe or testify in the hearing, please be sure to Register for the Webinar as soon as possible.
 - The Webinar Link is posted to the Online Agenda typically one week prior to the hearing date.
2. Once you register you will receive an email notification of how to log-in or access the Webinar.
3. You can enter the Webinar no sooner than ten minutes before the start of the hearing.
4. You will be held in the Zoom waiting room until the Webinar begins. (Please note each individual agenda item has an estimated start time.)
5. If using a smartphone or tablet, download the Zoom app for easy entry into the Webinar.

Public participation in the Hearing:

1. After Staff and Applicant presentations, the Chair will announce public testimony is open, and will ask if anyone else would like to testify.
2. You can provide public comment in this Webinar in several ways:
 - If during registration you indicated you would like to testify, we will put your name in order of request. Once in the hearing, testifiers will be renamed "Testifier 1 – (Your Name)"
 - Members of the public will be automatically muted except for when they are called by the Hearings Clerk for their public comment. During the Webinar, the Hearings Clerk will promote participants to "Panelists" in the order of Webinar Registrations received. When it is your turn to provide testimony, please accept the Clerk's invitation to be promoted to Panelist.
 - If you indicated in your registration that you did not want to testify but later changed your mind, when testimony is open:
 - Click the "raise your hand" function in ZOOM, and the Hearings Clerk will add you to the list of testifiers.
 - If you will be participating by call-in, raise your hand by pressing *9 - the Webinar host will see this notification.
 - When you are moved to Panelist position for your testimony, your name will be announced by the Chair or Hearings Clerk. Please be prepared to provide testimony.
 - Each testifier is allotted 2 minutes of testimony unless the Chair grants additional time.
 - Please manage your time when testifying. As a courtesy to other testifiers and our volunteer Commissions, please do not attempt to exceed the allotted amount of time.
3. We will enable screen sharing of presentations only for Design and Landmarks Commission members, project teams, and staff participating in the Webinar.
4. Testifiers who engage in inappropriate behavior or language will be promptly removed from the hearing.

Follow-up:

1. The Webinar will be recorded and uploaded to the City of Portland Auditors website, under the Case File Number, here: <https://efiles.portlandoregon.gov/Search>.

If you do not have access to the internet from a home computer or mobile phone, we can provide accommodations for you to view a live video display of the hearing from 1900 SW 4th Avenue in downtown Portland. This option for participation requires you to travel to a City building where we will provide a computer for viewing the hearing. City staff will not be present at this viewing location. If you require such accommodation, please contact the BDS Hearings Clerk at 503-865-6525 before 8 AM on the day of the hearing.

	A	B	C	D	E	F
1	ENDORSEMENT	INFO1	INFO2	NAME	ADDRESS/IO ADDRESS	CITYSTATEZIP/ADDRESSEE
2	RETURN SERVICE REQUESTED		1S1E24AC 10000	EDINGTON PAMELA & EDINGTON WILLIAM	7427 SE REED COLLEGE PL	PORTLAND OR 97202
3	RETURN SERVICE REQUESTED		1S1E24AC 10100	BRANDT JOHN D & BRANDT REBECCA A	7415 SE REED COLLEGE PL	PORTLAND OR 97202-8360
4	RETURN SERVICE REQUESTED		1S1E24AC 10900	BENNETT KEVIN S & BENNETT LEANNE G	7404 SE REED COLLEGE PL	PORTLAND OR 97202
5	RETURN SERVICE REQUESTED		1S1E24AC 11000	SOLSBY CHRISTIAN & SOLSBY ANNEKE	7416 SE REED COLLEGE PL	PORTLAND OR 97202-8361
6	RETURN SERVICE REQUESTED		1S1E24AC 11100	MULARSKI RICHARD & MULARSKI KAREN	7426 SE REED COLLEGE PL	PORTLAND OR 97202
7	RETURN SERVICE REQUESTED		1S1E24AC 11200	LINK STAN & LINK CARRIE W	7510 SE REED COLLEGE PL	PORTLAND OR 97202-8363
8	RETURN SERVICE REQUESTED		1S1E24AC 11300	OCEAN 763 LLC	2600 SE ELLSWORTH RD	VANCOUVER WA 98664
9	RETURN SERVICE REQUESTED		1S1E24AC 11400	RUTH DORMALEE CASTEEL LIV TR	7534 SE REED COLLEGE PL	PORTLAND OR 97202
10	RETURN SERVICE REQUESTED		1S1E24AC 11500	WOEHR FREDERICK A	206 CHURCH POINT LN	COLONIAL BEACH VA 22443
11	RETURN SERVICE REQUESTED		1S1E24AC 11600	MC CARTHY WILLIAM & MC CARTHY KIM	7511 SE 34TH AVE	PORTLAND OR 97202-8311
12	RETURN SERVICE REQUESTED		1S1E24AC 11700	THOMPSON MILDRED & THOMPSON ELVIN	7435 SE 34TH AVE	PORTLAND OR 97202-8309
13	RETURN SERVICE REQUESTED	1S1E24AC 11800	VICKERY ALBION K TR &	VICKERY EDWINA R TR	7421 SE 34TH AVE	PORTLAND OR 97202-8309
14	RETURN SERVICE REQUESTED	1S1E24AC 11900	LIGHTMAN TR	BRAGG JOHN TR & BRAGG BRITTANY TR	7405 SE 34TH AVE	PORTLAND OR 97202
15	RETURN SERVICE REQUESTED		1S1E24AC 12700	ALBARRAN PATRICIA O	7406 SE 34TH AVE	PORTLAND OR 97202-8310
16	RETURN SERVICE REQUESTED		1S1E24AC 12800	DEERING DARCY & JAMISON RICHARD L	7420 SE 34TH AVE	PORTLAND OR 97202-8310
17	RETURN SERVICE REQUESTED		1S1E24AC 12900	MARY HORNGREN TR	7440 SE 34TH AVE	PORTLAND OR 97202-8310
18	RETURN SERVICE REQUESTED		1S1E24AC 13000	RODGERS GARY & RODGERS GRETCHEN	7508 SE 34TH AVE	PORTLAND OR 97202-8312
19	RETURN SERVICE REQUESTED		1S1E24AC 13100	WYMAN TY K & WYMAN MELISSA L	7518 SE 34TH AVE	PORTLAND OR 97202-8312
20	RETURN SERVICE REQUESTED		1S1E24AC 13200	WINEGARDEN BARDOSSI FAMILY TR	7528 SE 34TH AVE	PORTLAND OR 97202
21	RETURN SERVICE REQUESTED		1S1E24AC 13300	STEIPP CHRISTOPHER & CATHERINE	7534 SE 34TH AVE	PORTLAND OR 97202
22	RETURN SERVICE REQUESTED		1S1E24AC 13400	SOOD DIVYA & KOPROWSKI CHRISTOPHER	7531 SE 35TH AVE	PORTLAND OR 97202
23	RETURN SERVICE REQUESTED		1S1E24AC 13500	PAYNE ANDREW & OSTERLUND ANDREA P	7517 SE 35TH AVE	PORTLAND OR 97202-8323
24	RETURN SERVICE REQUESTED		1S1E24AC 13600	MCCORMICK KELLY	7501 SE 35TH AVE	PORTLAND OR 97202
25	RETURN SERVICE REQUESTED		1S1E24AC 13700	FREED RACHEL E & POLLEN LAURENCE J	7435 SE 35TH AVE	PORTLAND OR 97202
26	RETURN SERVICE REQUESTED		1S1E24AC 13800	DEAN NIGEL	7421 SE 35TH AVE	PORTLAND OR 97202-8321
27	RETURN SERVICE REQUESTED		1S1E24AC 13900	BECK JEROME & LAMPERT DOMINIQUE	7407 SE 35TH AVE	PORTLAND OR 97202-8321
28	RETURN SERVICE REQUESTED		1S1E24AC 14000	AKERSON JAMES R & AKERSON EMILY K	85 MIDDLEBROOK ST	HARRISONBURG VA 22801
29	RETURN SERVICE REQUESTED		1S1E24AC 14900	ENGELMANN FREDERICK R	7408 SE 35TH AVE	PORTLAND OR 97202
30	RETURN SERVICE REQUESTED		1S1E24AC 15000	REED MOLLY S & STARLING ANDREW M C	7206 SE REED COLLEGE PL	PORTLAND OR 97206
31	RETURN SERVICE REQUESTED		1S1E24AC 15100	AIKEN DAVID F	7430 SE 35TH AVE	PORTLAND OR 97202
32	RETURN SERVICE REQUESTED		1S1E24AC 15200	GLOMSKI MARTIN & GREENE JESSICA	7500 SE 35TH AVE	PORTLAND OR 97202-8324
33	RETURN SERVICE REQUESTED		1S1E24AC 15300	DOBKIN ELLIOT A & JENSEN KRISTA N	7520 SE 35TH AVE	PORTLAND OR 97202
34	RETURN SERVICE REQUESTED	1S1E24AC 15400	BIXBY JANET S R & MEALY MARTHA J TR	(BIXBY MEALY TRUST)	7530 SE 35TH AVE	PORTLAND OR 97202
35	RETURN SERVICE REQUESTED		1S1E24AC 15500	CORNELL KAREN G	7540 SE 35TH AVE	PORTLAND OR 97202-8324
36	RETURN SERVICE REQUESTED	1S1E24AC 15600	SALA NICOLAS RENE WILLIAM &	SALA ALISON MICHELLE	3511 SE REX ST	PORTLAND OR 97202
37	RETURN SERVICE REQUESTED		1S1E24AC 15700	DUDMAN JOSEPH W & YANG CHARISSA L	3529 SE REX ST	PORTLAND OR 97202-3456
38	RETURN SERVICE REQUESTED		1S1E24AC 15800	BLEIBAUM JANICE L	7515 SE 36TH AVE	PORTLAND OR 97202-8335
39	RETURN SERVICE REQUESTED		1S1E24AC 15900	PENCE SHOTWELL FAMILY TR	7505 SE 36TH AVE	PORTLAND OR 97202-8335
40	RETURN SERVICE REQUESTED		1S1E24AC 16000	ORELISA C	7437 SE 36TH AVE	PORTLAND OR 97202
41	RETURN SERVICE REQUESTED	1S1E24AC 16100	WIGHT GEORGE R TR &	WIGHT AURELIA H TR	7425 SE 36TH AVE	PORTLAND OR 97202-8333
42	RETURN SERVICE REQUESTED		1S1E24AC 16200	PUPPO KC SCOTT & PUPPO RENAE	7411 SE 36TH AVE	PORTLAND OR 97202
43	RETURN SERVICE REQUESTED		1S1E24AC 18700	HANNAN PAMELA B & HEDGES JOHN K	7520 SE 36TH AVE	PORTLAND OR 97202
44	RETURN SERVICE REQUESTED		1S1E24AC 18800	PICKETT MICHAEL & CATHARINE	7528 SE 36TH AVE	PORTLAND OR 97202
45	RETURN SERVICE REQUESTED		1S1E24AC 8300	CARR TIMOTHY D & CARR JENNIFER M	7444 SE 32ND AVE	PORTLAND OR 97202
46	RETURN SERVICE REQUESTED		1S1E24AC 8400	BROWN PATRICIA A TR	7504 SE 32ND AVE	PORTLAND OR 97202
47	RETURN SERVICE REQUESTED		1S1E24AC 8500	LUCKE KARL L TR & LUCKE SUSAN N TR	7518 SE 32ND AVE	PORTLAND OR 97202-8549
48	RETURN SERVICE REQUESTED		1S1E24AC 8600	KOEHLER KIMBERLY TR	7530 SE 32ND AVE	PORTLAND OR 97202-8549
49	RETURN SERVICE REQUESTED		1S1E24AC 8700	BANNISTER JOHN & MOON KEELY	4207 SE WOODSTOCK BLVD PMB 339	PORTLAND OR 97206-6267
50	RETURN SERVICE REQUESTED		1S1E24AC 8800	HANH NGUYEN MD	4207 SE WOODSTOCK BLVD PMB 413	PORTLAND OR 97206-6267
51	RETURN SERVICE REQUESTED		1S1E24AC 8800	RELIAANT MEDICAL BILLING LLC	4207 SE WOODSTOCK BLVD PMB 413	PORTLAND OR 97206
52	RETURN SERVICE REQUESTED		1S1E24AC 8800	NGUYEN HANH N & NGUYEN KELLY	7550 SE 32ND AVE	PORTLAND OR 97202-8549
53	RETURN SERVICE REQUESTED		1S1E24AC 8900	ELLINGER CLINTON & ELLINGER SUSAN	3206 SE REX ST	PORTLAND OR 97202-8576
54	RETURN SERVICE REQUESTED		1S1E24AC 9000	WAINWRIGHT RANDALL & ELIZABETH	7612 SE 32ND AVE	PORTLAND OR 97202
55	RETURN SERVICE REQUESTED		1S1E24AC 9100	FOPE GEORGIA A	7624 SE 32ND AVE	PORTLAND OR 97202-8551
56	RETURN SERVICE REQUESTED		1S1E24AC 9200	RAY RICHARD & SUSAN & KENNETH	7637 SE REED COLLEGE PL	PORTLAND OR 97202-8445
57	RETURN SERVICE REQUESTED	1S1E24AC 9300	LYNDSAY S FINN REV TR &	JAMES E FINN REV TR	7625 SE REED COLLEGE PL	PORTLAND OR 97202
58	RETURN SERVICE REQUESTED		1S1E24AC 9400	JAMES DENNIS K	7615 SE REED COLLEGE PL	PORTLAND OR 97202-8445
59	RETURN SERVICE REQUESTED		1S1E24AC 9500	CARLSON NORMAN & CARLSON JOANNE	7605 SE REED COLLEGE PL	PORTLAND OR 97202-8445
60	RETURN SERVICE REQUESTED	1S1E24AC 9600	CALDERARO STEVEN M TR &	CALDERARO HEATHER L TR	7535 SE REED COLLEGE PL	PORTLAND OR 97202-8362
61	RETURN SERVICE REQUESTED		1S1E24AC 9700	JAYMES NANCY	7531 SE REED COLLEGE PL	PORTLAND OR 97202
62	RETURN SERVICE REQUESTED	1S1E24AC 9800	JAMES R WYGANT &	SANDRA L WYGANT REV LIV TR	7505 SE REED COLLEGE PL	PORTLAND OR 97202
63	RETURN SERVICE REQUESTED	1S1E24AC 9900	JONES PETER C TR &	JONES DENISE L TR & JONES PETER C	7437 SE REED COLLEGE PL	PORTLAND OR 97202-8360
64	RETURN SERVICE REQUESTED		1S1E24BD 1700	BRADFORD JOSEPH & BRADFORD HALLIE	6228 SE 14TH AVE	PORTLAND OR 97202
65	RETURN SERVICE REQUESTED		1S1E24BD 1800	PALMQUIST JENNIFER L	7537 SE 32ND AVE	PORTLAND OR 97202-8548
66	RETURN SERVICE REQUESTED		1S1E24BD 1800	JENNIFER L PALMQUIST LLC	6500 S MACADAM AVE #300	PORTLAND OR 97239
67	RETURN SERVICE REQUESTED		1S1E24BD 18200	MALONEY PATRICK J	3130 SE REX ST	PORTLAND OR 97202-8574
68	RETURN SERVICE REQUESTED		1S1E24BD 18300	KINGSLEY BRETT & KINGSLEY EMILY	7611 SE 32ND AVE	PORTLAND OR 97202
69	RETURN SERVICE REQUESTED		1S1E24BD 18400	MYRICK JANE E	101 E DUNLAP #1-309	PHOENIX AZ 85020
70	RETURN SERVICE REQUESTED	1S1E24BD 1900	JAMES S BROWN &	MICHELLE GRINGERI BROWN TR	3125 SE REX ST	PORTLAND OR 97202
71	RETURN SERVICE REQUESTED		1S1E24CA 100	ROBSON TIM J & ROBSON LISA G	7703 SE 32ND AVE	PORTLAND OR 97202
72	RETURN SERVICE REQUESTED		1S1E24CA 200	REMSING MARK A	7715 SE 32ND AVE	PORTLAND OR 97202
73	RETURN SERVICE REQUESTED		1S1E24CA 300	BERROTH KATHLEEN & DIEHR DAVID	7725 SE 32ND AVE	PORTLAND OR 97202

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74	RETURN SERVICE REQUESTED		1S1E24CA 400	MORGAN JOINT TR	7737 SE 32ND AVE	PORTLAND OR 97202
75	RETURN SERVICE REQUESTED		1S1E24CA 9500	WILKERSON CORY & FRISCHMANN EMILY	7905 SE 32ND AVE	PORTLAND OR 97202
76	RETURN SERVICE REQUESTED		1S1E24CA 9600	JOHNSON STUART & JOHNSON PAMELA	7835 SE 32ND AVE	PORTLAND OR 97202-8554
77	RETURN SERVICE REQUESTED		1S1E24CA 9700	CAROL A SCHROETER REV TR	7823 SE 32ND AVE	PORTLAND OR 97202
78	RETURN SERVICE REQUESTED		1S1E24CA 9800	BRAGDON SUSAN & SONNENSCHNEIN PAUL	3130 SE LAMBERT ST	PORTLAND OR 97202-8569
79	RETURN SERVICE REQUESTED		1S1E24DB 1000	DEFRIEZ PAULINE	3511 SE KNAPP ST	PORTLAND OR 97202-8346
80	RETURN SERVICE REQUESTED		1S1E24DB 1100	PORTERFIELD TODD D	7726 SE 36TH AVE	PORTLAND OR 97202-8418
81	RETURN SERVICE REQUESTED		1S1E24DB 11100	KAUL RICHARD B & KAUL KAREN Q	7845 SE 36TH AVE	PORTLAND OR 97202-8419
82	RETURN SERVICE REQUESTED		1S1E24DB 11200	MAHALEY PERI	7833 SE 36TH AVE	PORTLAND OR 97202
83	RETURN SERVICE REQUESTED		1S1E24DB 11300	KAVISH MICHAEL & KAVISH LYNNE M	7821 SE 36TH AVE	PORTLAND OR 97202-8419
84	RETURN SERVICE REQUESTED		1S1E24DB 11400	HICKS FAMILY REV TR	3530 SE LAMBERT ST	PORTLAND OR 97202
85	RETURN SERVICE REQUESTED		1S1E24DB 11500	HOWARTH DAVID N & HOWARTH HILARY H	7806 SE 36TH AVE	PORTLAND OR 97202-8420
86	RETURN SERVICE REQUESTED		1S1E24DB 11600	RICHARDSON LAURA L	7814 SE 36TH AVE	PORTLAND OR 97202
87	RETURN SERVICE REQUESTED	1S1E24DB 1200	OGLESBEE VICTORIA &	VENGHAUS JOHANNES	7748 SE 36TH AVE	PORTLAND OR 97202
88	RETURN SERVICE REQUESTED		1S1E24DB 1500	BESSEY JOAN	3529 SE LAMBERT ST	PORTLAND OR 97202-8435
89	RETURN SERVICE REQUESTED		1S1E24DB 1600	WAGNER WILLIAM B & WAGNER JEONG H	7717 SE 36TH AVE	PORTLAND OR 97202
90	RETURN SERVICE REQUESTED		1S1E24DB 1700	SCHURR S SCOTT & SCHURR SARAH M	7705 SE 36TH AVE	PORTLAND OR 97202-8417
91	RETURN SERVICE REQUESTED		1S1E24DB 1800	WALKER MARC B & WALKER JEANNINE M	7641 SE 36TH AVE	PORTLAND OR 97202-8415
92	RETURN SERVICE REQUESTED		1S1E24DB 200	WEBBER SHARON L	7606 SE 36TH AVE	PORTLAND OR 97202-8416
93	RETURN SERVICE REQUESTED		1S1E24DB 2000	SIBYLLE FRASER IRREV TR	7621 SE 36TH AVE	PORTLAND OR 97202
94	RETURN SERVICE REQUESTED		1S1E24DB 2100	COONEY JOSEPH M & COONEY H SUZANNE	3530 SE REX ST	PORTLAND OR 97202
95	RETURN SERVICE REQUESTED		1S1E24DB 2200	DETTMER DAN L & DETTMER MARY E	3510 SE REX ST	PORTLAND OR 97202
96	RETURN SERVICE REQUESTED		1S1E24DB 2300	NESTING RICHARD & NESTING MARGIE	7630 SE 35TH AVE	PORTLAND OR 97202-8407
97	RETURN SERVICE REQUESTED		1S1E24DB 2400	SHOOK-STEWART SANDRA L	7700 SE 35TH AVE	PORTLAND OR 97202-8408
98	RETURN SERVICE REQUESTED		1S1E24DB 2500	KELLYANN MAUREEN LANSPA 2020 REV TR	21260 ALMADEN RD	SAN JOSE CA 95120
99	RETURN SERVICE REQUESTED		1S1E24DB 2600	HARDING MICHAEL J	7726 SE 35TH AVE	PORTLAND OR 97202
100	RETURN SERVICE REQUESTED		1S1E24DB 2700	HOLMGREN CARL & HEAR NICOLE R	7736 SE 35TH AVE	PORTLAND OR 97202
101	RETURN SERVICE REQUESTED		1S1E24DB 2800	TOWNSON DOUGLAS & TOWNSON LYNN	3505 SE LAMBERT ST	PORTLAND OR 97202
102	RETURN SERVICE REQUESTED	1S1E24DB 300	RONALD R SOMERLOTT &	TERESA L SOMERLOTT LIV TR	25006 NE 68TH CT	BATTLE GROUND WA 98604
103	RETURN SERVICE REQUESTED		1S1E24DB 3000	BLANCHARD MARK & BLANCHARD CYNTHIA	7701 SE REED COLLEGE PL	PORTLAND OR 97202-8446
104	RETURN SERVICE REQUESTED		1S1E24DB 3100	WILLIAMS FREDERICK & WILLIAMS KAREN	7634 SE 32ND AVE	PORTLAND OR 97202-8551
105	RETURN SERVICE REQUESTED		1S1E24DB 3200	ROMANAGGI PAUL & ROMANAGGI JO ANN	2551 SE CORA ST #A	PORTLAND OR 97202
106	RETURN SERVICE REQUESTED		1S1E24DB 3300	MOSICH THOMAS & MOSICH CATHERINE	7707 SE REED COLLEGE PL	PORTLAND OR 97202-8446
107	RETURN SERVICE REQUESTED		1S1E24DB 3400	KOVAR ALAN & KOVAR STEPHANIE	7725 SE REED COLLEGE PL	PORTLAND OR 97202
108	RETURN SERVICE REQUESTED		1S1E24DB 3500	PONTEFRACT JOHN & PONTEFRACT SUSAN	7720 SE 32ND AVE	PORTLAND OR 97202
109	RETURN SERVICE REQUESTED		1S1E24DB 3600	CASCIATO JAMES & CASCIATO CAROL	7734 SE 32ND AVE	PORTLAND OR 97202-8553
110	RETURN SERVICE REQUESTED		1S1E24DB 3700	SMITH THOMAS W & SMITH PATRICIA G	7737 SE REED COLLEGE PL	PORTLAND OR 97202-8446
111	RETURN SERVICE REQUESTED		1S1E24DB 3800	ANTONELLI GEORGE A & EPLING RUTH A	3227 SE LAMBERT ST	PORTLAND OR 97202-8570
112	RETURN SERVICE REQUESTED		1S1E24DB 3900	CARTER THOMAS & CARTER GERALDINE	7742 SE 32ND AVE	PORTLAND OR 97202
113	RETURN SERVICE REQUESTED	1S1E24DB 400	CYNTHIA A MCCANN FAMILY TR &	CHRISTOPHER C BLATTNER FAMILY TR	7634 SE 36TH AVE	PORTLAND OR 97202
114	RETURN SERVICE REQUESTED		1S1E24DB 4000	POWERS WILLIAM & POWERS MARILYN	7810 SE 32ND AVE	PORTLAND OR 97202-8555
115	RETURN SERVICE REQUESTED		1S1E24DB 4100	GWYN WILLIAM & GWYN CRYSTAL	7828 SE 32ND AVE	PORTLAND OR 97202
116	RETURN SERVICE REQUESTED		1S1E24DB 4200	AUSTIN BENJAMIN & AUSTIN HEATHER	7836 SE 32ND AVE	PORTLAND OR 97202-8555
117	RETURN SERVICE REQUESTED		1S1E24DB 4300	TRIFILO JOSEPH & MARIANI PATRICIA	7912 SE 32ND AVE	PORTLAND OR 97202
118	RETURN SERVICE REQUESTED		1S1E24DB 4400	MANUEL AMABELLE & HEFFLIN STEPHEN	7920 SE 32ND AVE	PORTLAND OR 97202
119	RETURN SERVICE REQUESTED		1S1E24DB 4500	NORMAN PETER W & NORMAN SUSAN S	7930 SE 32ND AVE	PORTLAND OR 97202-8557
120	RETURN SERVICE REQUESTED	1S1E24DB 4600	MCDERMOTT JAMES P TR &	MCDERMOTT LAURA C TR	8006 SE 32ND AVE	PORTLAND OR 97202-8559
121	RETURN SERVICE REQUESTED	1S1E24DB 5300	SUZANNE H DOOLEY FAMILY TR &	PETER J DOOLEY FAMILY TR	7925 SE REED COLLEGE PL	PORTLAND OR 97202
122	RETURN SERVICE REQUESTED		1S1E24DB 5400	HADFIELD BRUCE & HADFIELD BETTY JO	7915 SE REED COLLEGE PL	PORTLAND OR 97202-8450
123	RETURN SERVICE REQUESTED		1S1E24DB 5500	CIGLER JAMES D JR & CIGLER KRISTI	7905 SE REED COLLEGE PL	PORTLAND OR 97202
124	RETURN SERVICE REQUESTED		1S1E24DB 5600	REED MANAGEMENT LLC	6602 SE FOSTER RD	PORTLAND OR 97206-4534
125	RETURN SERVICE REQUESTED		1S1E24DB 5700	BREEN VICTOR R & BREEN JOANNE	7825 SE REED COLLEGE PL	PORTLAND OR 97202-8448
126	RETURN SERVICE REQUESTED		1S1E24DB 5800	WARNER ROBERT & WARNER ELIZABETH	7815 SE REED COLLEGE PL	PORTLAND OR 97202-8448
127	RETURN SERVICE REQUESTED		1S1E24DB 5900	RESCH KRISTAN A	3232 SE LAMBERT ST	PORTLAND OR 97202
128	RETURN SERVICE REQUESTED		1S1E24DB 6000	MFJ PROPERTIES LLC	3520 SE CRYSTAL SPRINGS BLVD	PORTLAND OR 97202
129	RETURN SERVICE REQUESTED		1S1E24DB 6100	ALMGREN JOHAN & ALMGREN MELINDA	7900 SE REED COLLEGE PL	PORTLAND OR 97202-8451
130	RETURN SERVICE REQUESTED		1S1E24DB 6200	HESS DEAN & EWELL-HESS JENNIFER	7910 SE REED COLLEGE PL	PORTLAND OR 97202
131	RETURN SERVICE REQUESTED		1S1E24DB 6300	BLUM DEREK & BLUM MANDA B	7920 SE REED COLLEGE PL	PORTLAND OR 97202
132	RETURN SERVICE REQUESTED		1S1E24DB 6400	BOOTH KAREN L & WELLS STEVEN A	7932 SE REED COLLEGE PL	PORTLAND OR 97202
133	RETURN SERVICE REQUESTED		1S1E24DB 6500	BUTLER JOHN & BUTLER TERRIE	8006 SE REED COLLEGE PL	PORTLAND OR 97202
134	RETURN SERVICE REQUESTED		1S1E24DB 6900	BOURNE JUSTIN R & BOURNE AMY J	7929 SE 34TH AVE	PORTLAND OR 97202
135	RETURN SERVICE REQUESTED	1S1E24DB 7000	CAHILL DONALD E TR &	CAHILL SUSAN M TR	7915 SE 34TH AVE	PORTLAND OR 97202
136	RETURN SERVICE REQUESTED		1S1E24DB 7100	SIEMSEN JOHN & SIEMSEN VIRGINIA	7901 SE 34TH AVE	PORTLAND OR 97202-8403
137	RETURN SERVICE REQUESTED	1S1E24DB 7200	REV FAMILY TR OF CHERI B HARNEY &	DAVID F HARNBY	7817 SE 34TH AVE	PORTLAND OR 97202
138	RETURN SERVICE REQUESTED		1S1E24DB 7300	ZIMMERMAN ALAN & ZIMMERMAN ALLISON	3328 SE LAMBERT ST	PORTLAND OR 97202-8433
139	RETURN SERVICE REQUESTED		1S1E24DB 7400	TIMBERLAKE MATTHEW & CHRISTINA	3406 SE LAMBERT ST	PORTLAND OR 97202
140	RETURN SERVICE REQUESTED		1S1E24DB 7500	MCKEE MIKAILAH L & MAGBEE CAITLIN	7818 SE 34TH AVE	PORTLAND OR 97202
141	RETURN SERVICE REQUESTED		1S1E24DB 7600	HAZEL RICHARD J & HAZEL CHERYL A	7824 SE 34TH AVE	PORTLAND OR 97202-8402
142	RETURN SERVICE REQUESTED		1S1E24DB 7700	JEW BEN & FURTWANGLER ANGELIKA	7902 SE 34TH AVE	PORTLAND OR 97202-8404
143	RETURN SERVICE REQUESTED	1S1E24DB 7800	THOMAS PHILLIP K &	OSBORN-THOMAS HOLIDAY	7916 SE 34TH AVE	PORTLAND OR 97202-8404
144	RETURN SERVICE REQUESTED	1S1E24DB 7900	YALON MICHAEL J JR TR &	RONY HEATHER P TR	7928 SE 34TH AVE	PORTLAND OR 97202
145	RETURN SERVICE REQUESTED		1S1E24DB 8000	WHITMAN RICHARD & WHITMAN EMILY	8002 SE 34TH AVE	PORTLAND OR 97202-8406
146	RETURN SERVICE REQUESTED		1S1E24DB 8800	WILLIAMS CURTIS & WILLIAMS SHEILA	7925 SE 35TH AVE	PORTLAND OR 97202-8411

	A	B	C	D	E	F
147	RETURN SERVICE REQUESTED	1S1E24DB 8900	MICHAEL R SEIDL REV TR &	JENNIFER L STREET REV TR	7915 SE 35TH AVE	PORTLAND OR 97202
148	RETURN SERVICE REQUESTED		1S1E24DB 900	WALSTROM CHARLES & MARILYN	7706 SE 36TH AVE	PORTLAND OR 97202-8418
149	RETURN SERVICE REQUESTED	1S1E24DB 9000	O'LANGAIGH DAVID &	O'LANGAIGH DENISE	7901 SE 35TH AVE	PORTLAND OR 97202-8411
150	RETURN SERVICE REQUESTED		1S1E24DB 9100	ZUMENTS JANIS I & NGUYEN NGOC T	7815 SE 35TH AVE	PORTLAND OR 97202
151	RETURN SERVICE REQUESTED		1S1E24DB 9300	SMITH FAM TR	7805 SE 35TH AVE	PORTLAND OR 97202
152	RETURN SERVICE REQUESTED		1S1E24DB 9400	SOLA ROBERT S & SOLA ANN B	3506 SE LAMBERT ST	PORTLAND OR 97202-8436
153	RETURN SERVICE REQUESTED		1S1E24DB 9500	MAAS ALEX & BUDIL BRITTANY M	7828 SE 35TH AVE	PORTLAND OR 97202
154	RETURN SERVICE REQUESTED		1S1E24DB 9600	BROBERG THEODORE & DAVIS DANIELLE	7900 SE 35TH AVE	PORTLAND OR 97202-8412
155	RETURN SERVICE REQUESTED	1S1E24DB 9700	OLSEN AMANDA B & ADRIAN &	MCKEEL MICHAEL L	7912 SE 35TH AVE	PORTLAND OR 97202
156	RETURN SERVICE REQUESTED		1S1E24DB 9800	ROSENBERG MICHAEL & ROSENBERG AMY	7924 SE 35TH AVE	PORTLAND OR 97202-8412
157				CURRENT RESIDENT	3431 SE REX ST	PORTLAND OR 97202
158				CURRENT RESIDENT	7540 SE 32ND AVE	PORTLAND OR 97202
159				CURRENT RESIDENT	7710 SE 32ND AVE	PORTLAND OR 97202
160				CURRENT RESIDENT	3333 SE REX ST	PORTLAND OR 97202
161				CURRENT RESIDENT	7622 SE 36TH AVE	PORTLAND OR 97202
162				CURRENT RESIDENT	7633 SE 36TH AVE	PORTLAND OR 97202
163				CURRENT RESIDENT	7710 SE 35TH AVE	PORTLAND OR 97202
164				CURRENT RESIDENT	7812 SE REED COLLEGE PL	PORTLAND OR 97202
165				CURRENT RESIDENT	7837 SE REED COLLEGE PL	PORTLAND OR 97202
166				CURRENT RESIDENT	7351 SE 35TH AVE	PORTLAND OR 97202
167				CURRENT RESIDENT	7524 SE REED COLLEGE PL	PORTLAND OR 97202
168				CURRENT RESIDENT	7700 SE REED COLLEGE PL	PORTLAND OR 97202
169				CURRENT RESIDENT	7420 SE 35TH AVE	PORTLAND OR 97202
170				CURRENT RESIDENT	7506 SE 36TH AVE	PORTLAND OR 97202
171				CURRENT RESIDENT	7525 SE 32ND AVE	PORTLAND OR 97202
172				CURRENT RESIDENT	7627 SE 32ND AVE	PORTLAND OR 97202
173	RETURN SERVICE REQUESTED	OWNER	1S1E24DB 2900	SCHOOL DISTRICT NO 1	PO BOX 3107	PORTLAND OR 97208-3107
174	RETURN SERVICE REQUESTED	APPLICANT/OWNERS AGENT	PORTLAND PUBLIC SCHOOLS	SIMONSON STEVE	501 N DIXON ST	PORTLAND OR 97227
175	RETURN SERVICE REQUESTED	CONSULTANT	ARCHITECTURAL RESOURCES GROUP	DAVIS MATTHEW	720 SW WASHINGTON ST #605	PORTLAND OR 97205
176	RETURN SERVICE REQUESTED	CONSULTANT	IBI GROUP	KIMBALL TODD	907 SE HARVEY MILK	PORTLAND OR 97205
177	RETURN SERVICE REQUESTED		SE UPLIFT NEIGHBORHOOD PROGRAM	WILLIAMS MATCHU	3534 SE MAIN ST	PORTLAND OR 97214
178	RETURN SERVICE REQUESTED		ARDENWALD-JOHNSON CREEK NA	GUNION-RINKER LISA	3534 SE MAIN ST	PORTLAND OR 97214
179	RETURN SERVICE REQUESTED		EASTMORELAND NEIGHBORHOOD ASSOC	DEAN KARISSA	3627 SE COOPER ST	PORTLAND OR 97202
180	RETURN SERVICE REQUESTED			JUDY PETERS	6916 NE 40TH ST	VANCOUVER WA 98661
181	RETURN SERVICE REQUESTED		LAND USE CONTACT	STATE HISTORIC PRESERVATION OFFICE	725 SUMMER NE #C	SALEM OR 97301
182	RETURN SERVICE REQUESTED		PORTLAND METRO REGIONAL SOLUTIONS	C/O DLCD REGIONAL REPRESENTATIVE	1600 SW FOURTH AVE #109	PORTLAND OR 97201
183	RETURN SERVICE REQUESTED		LAND USE CONTACT	PORT OF PORTLAND PLANNING	PO BOX 3529	PORTLAND OR 97208
184	RETURN SERVICE REQUESTED		LAND USE CONTACT	TRANSIT DEVELOPMENT	1800 SW FIRST AVE #300	PORTLAND OR 97201
185	RETURN SERVICE REQUESTED			KARLA MOORE-LOVE (CITY HALL)	1221 SW 4TH AVE #130	PORTLAND OR 97204
186	RETURN SERVICE REQUESTED		RISK & LAND DEPARTMENT	NW NATURAL	250 SW TAYLOR ST	PORTLAND OR 97204-3038
187	RETURN SERVICE REQUESTED		LAND USE CONTACT	PACIFIC POWER & LIGHT	7544 NE 33RD DR	PORTLAND OR 97211
188	RETURN SERVICE REQUESTED		PORTLAND SCHOOL DISTRICT	LAND USE NOTICE CONTACT	501 N DIXON	PORTLAND OR 97227
189				LAND USE CONTACT	PROSPER PORTLAND	129/PROSPER
190					HEARINGS CLERK	299/3100
191					DAWN KRANTZ	B299/R5000



PORTLAND FIRE & RESCUE



Jo Ann Hardesty, Commissioner
Sara Boone, Fire Chief
AJ Jackson, Fire Marshal
Prevention Division
1300 SE Gideon Street
Portland, OR, 97202
Phone: (503) 823-3770

LAND USE REVIEW RESPONSE

TO: Hillary Adam, City of Portland, Land Use Review
FROM: Dawn Krantz, Portland Fire Bureau 503-823-3718
DATE: February 17, 2023
SUBJECT: LU 22-213205 HR
SITE LOCATION : 7700 SE REED COLLEGE PL

The following conditions of approval and informational comments are based on the land use review information provided to the Fire Bureau. Fire Bureau requirements are generated from the 2021 Portland Fire Code. All current Fire Code requirements apply and are required to be met. If these conditions cannot be met, an appeal providing an alternative method is an option for the applicant. If the applicant chooses to appeal a requirement, the appeal must be listed as a condition in the decision. Fire Code Appeals can be obtained at the Fire Bureau web page, www.portlandonline.com.

CONDITIONS OF APPROVAL AT TIME OF DEVELOPMENT

A separate building permit is required for this proposal. All applicable Fire Code requirements shall apply at the time of permit review and development.



To: Hillary Adam
From: Chanel Horn, Life Safety Plans Examiner
Date: February 21, 2023
RE: 7700 SE REED COLLEGE PL, 22-213205-LU

LIFE SAFETY PLAN REVIEW RESPONSE

The following comments are based on the plans and documents provided to the Life Safety Plan reviewer. They are intended to provide the applicant with preliminary Building Code information that could affect the Land Use Review, Public Records request and/or future Building Permit reviews. The comments may not identify all conflicts between the Land Use proposal and the Building Codes. A complete Life Safety plan review will be provided at the time of Building Permit submittal at which time any additional Building Code issues will be noted. The comments are based on the Oregon Structural Specialty Code (OSSC), the International Existing Building Code (IEBC), the Oregon Mechanical Specialty Code (OMSC), or the Oregon Residential Specialty Code (ORSC).

RESPONSE SUMMARY

- Life Safety Plan Review does not object to the approval of this proposal. The applicant should be aware that several building code requirements may impact the final design of this building. For information regarding future compliance, see the GENERAL LIFE SAFETY COMMENTS below.
Life Safety Plan Review does not object to the approval of this proposal. This approval is conditional on the finalization of the property line adjustment approved through this LUR/PR. If this public record is not finalized, a Covenant Not to Sell the Properties Separately must be established for this project. For information regarding future compliance, see the GENERAL LIFE SAFETY COMMENTS below.
Life Safety Plan Review does not object to the approval of this proposal. Prior to Life Safety approval of the final plat or Land Use proposal, the applicant must address the Building Code issues listed as part of the GENERAL LIFE SAFETY COMMENTS below.
Life Safety Plan Review cannot support approval of the current Land Use proposal. Prior to Life Safety approval of the final plat, the applicant must address the Building Code issues listed as part of the GENERAL LIFE SAFETY COMMENTS below.

Table with 2 columns: Item #, GENERAL LIFE SAFETY COMMENTS. Row 1: 1, Building Permit Required - A separate Building Permit is required for the work proposed and the proposal must be designed to meet all applicable building codes and ordinances. Information about submitting a permit application request is available online at https://www.portland.gov/bds/permit-review-process/apply-or-pay-permits.

2	<p>Bureau of Development Services Information - It is recommended the applicant contact the Bureau of Development Services Center for more information regarding building code requirements. Please visit the BDS web site at https://www.portland.gov/bds/ for code information and for hours of operation.</p> <p>For questions related to building code requirements:</p> <ul style="list-style-type: none">• For simple questions or issues call (503) 823-1456.• For a brief video conference meeting with a Life Safety reviewer, schedule a 15-Minute Appointment. Information on how to apply for a 15-Minute Appointment may be found online at https://www.portland.gov/bds/early-assistance/15-minute-appointments.• For large or complicated projects the applicant may wish to request a Preliminary Meeting. Information about the Preliminary Meeting process is available online at https://www.portland.gov/bds/early-assistance/life-safety-preliminary-meetings.
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PORTLAND BUREAU OF TRANSPORTATION

1900 SW Fourth Ave., Suite 5000 Portland, OR 97201 503-823-5185
Fax 503-823-7576 TTY 503-823-6868 www.portlandoregon.gov/transportation

Mingus Mapps Commissioner Tara Wasiak Interim Director

**RESPONSE TO THE BUREAU OF DEVELOPMENT SERVICES
LAND USE REVIEW REQUEST**

**Portland Transportation
Development Review
Bureau of Transportation Engineering & Development**

LU: 22-213205-000-00-LU Date: February 23, 2023
To: Hillary Adam, Bureau of Development Services, B299/R5000
From: Michael Pina, B1720206/800, 503-823-4249, michael.pina@portlandoregon.gov
Applicant: Steve Simonson, PORTLAND PUBLIC SCHOOLS
501 N DIXON ST
PORTLAND OR 97227
Location: 7700 SE REED COLLEGE PL
TYPE OF REQUEST: Type 3 procedure HR - Historic Resource Review

DESCRIPTION OF PROJECT

HLC HEARING - The applicant proposes exterior alterations to the historic landmark to include the following: 1) Replacement of original clay tile roof shingles with new clay tile roof shingles; 2) Replacement of original cast stone balustrade with new matching balustrade constructed of glass fiber-reinforced concrete (GFRC); 3) Replacement of metal caps, copper ridge hips with same; 4) Relocation of existing copper conductor heads to higher location, with new copper downspout extensions and removal of sections of cast stone cornice to allow for conductor head relocation with cornice endcaps constructed of GFRC to match; 5) Installation of new copper ladder chutes and new steel ladders at the roof; 6) Construction of a metal enclosure for trash receptacles at the northeast paved area; 7) Reconfiguration of a ramp at the northeast corner; and 8) Replacement of existing security fence with a new no-climb fence at interior courtyard. Also proposed but not subject to review is reconstruction of portions of the brick and cast stone parapet using existing materials. Note: The property is also a contributing resource in the Eastmoreland National Register District; however, the property is subject to Historic Resource Review because of its listing as a Historic Landmark.

RESPONSE

Portland Bureau of Transportation (PBOT) Development Review has reviewed the application for its potential impacts regarding the public Right-of-Way (ROW), traffic impacts and conformance with adopted policies, street designations, Title 33, Title 17, and for potential impacts upon transportation services.

Historic Resource Review Approval Criteria (33.846.060.G)

There are no applicable transportation-related approval criteria associated with the proposed Historic Resource Review, however, the project impacts the public right-of-way, therefore warrants a review from PBOT.

The applicant is proposing repair and replacement of exterior features at the historic Duniway Elementary School in Southeast Portland, beginning with its roof and select masonry elements. As referenced in Pre-Application Conference 21-108718 PC, the proposed project triggers the Significant

Alteration threshold (as defined in 17.88.010) of \$761,614, therefore public frontage improvements are required surrounding the site. The applicant has initiated Public Works permit TH1309 (23-009181 WT) for the required improvements, although has not been reviewed at time of this response. Thirty percent Public Works concept approval and bond payment will be required as condition of building permit approval. Therefore, PBOT has no objection to the proposed Historic Resource Review

RECOMMENDATION

PBOT has no objection to the proposed Historic Resource Review



Urban Forestry

Land Use Review Response

Date: February 24, 2023
 From: Dan Gleason
 503-823-1691, Daniel.Gleason@portlandoregon.gov
 Case File: 22-213205-000-00-LU
 Location: 7700 SE REED COLLEGE PL
 Proposal: HLC HEARING - The applicant proposes exterior alterations to the historic landmark to include the following:

- Replacement of original clay tile roof shingles with new clay tile roof shingles;
- Replacement of original cast stone balustrade with new matching balustrade constructed of glass fiber-reinforced concrete (GFRC);
- Replacement of metal caps, copper ridge hips with same;
- Relocation of existing copper conductor heads to higher location, with new copper downspout extensions and removal of sections of cast stone cornice to allow for conductor head relocation with cornice endcaps constructed of GFRC to match;
- Installation of new copper ladder chutes and new steel ladders at the roof;
- Construction of a metal enclosure for trash receptacles at the northeast paved area;
- Reconfiguration of a ramp at the northeast corner; and
- Replacement of existing security fence with a new no-climb fence at interior courtyard.

Also proposed but not subject to review is reconstruction of portions of the brick and cast stone parapet using existing materials.

Note: The property is also a contributing resource in the Eastmoreland National Register District; however, the property is subject to Historic Resource Review because of its listing as a Historic Landmark.

Urban Forestry has reviewed the proposal for its impact on existing city trees, street trees and heritage trees, street tree planting requirements and related mitigation in accordance with Title 11, Trees and for potential impacts upon urban tree canopy. It is the applicant’s responsibility to disclose all aspects of their land use proposal that may impact required street tree plantings and existing street trees during the land use review process.

UNLESS EXPLICITLY STATED HEREIN, THIS REVIEW DOES NOT APPROVE STREET TREE REMOVALS AND DOES NOT PROVIDE ANY EXEMPTIONS TO TITLE 11 REQUIRMENTS.

Permits required after land use approval are subject to all applicable development standards and all provisions of the City Code, including Title 11. Title 11 regulations will be applied during the permit review process.

PLEASE NOTE THERE MAY BE OTHER APPLICABLE TREE REQUIREMENTS AS PER TITLE 33 PLANNING & ZONING.

A. Response Summary

Urban Forestry does not object to approval of the land use proposal. The proposed development will be subject to Title 11 regulations during the permit review process.

B. Recommendations

Urban Forestry has no objection to the proposed project.







City of Portland, Oregon
Bureau of Development Services
Site Development
FROM CONCEPT TO CONSTRUCTION

Carmen Rubio, Commissioner
Rebecca Esau, Director
Phone: (503) 823-7310
TTY: (503) 823-6868
www.portland.gov/bds

Land Use Review Response
Site Development Section, BDS

To: Hillary Adam, LUR Division
From: Kevin Wells, Site Development (503-823-5618)

Location/Legal: INC ALL VAC E 34TH ST W OF & ADJ BLOCK 61 BLOCK 62, EASTMORELAND
Land Use Review: LU 22-213205
Proposal: HLC HEARING - The applicant proposes exterior alterations to the historic landmark to include the following: Replacement of original clay tile roof shingles with new clay tile roof shingles; Replacement of original cast stone balustrade with new matching balustrade constructed of glass fiber-reinforced concrete (GFRC); Replacement of metal caps, copper ridge hips with same; Relocation of existing copper conductor heads to higher location, with new copper downspout extensions and removal of sections of cast stone cornice to allow for conductor head relocation with cornice endcaps constructed of GFRC to match; Installation of new copper ladder chutes and new steel ladders at the roof; Construction of a metal enclosure for trash receptacles at the northeast paved area; Reconfiguration of a ramp at the northeast corner; and Replacement of existing security fence with a new no-climb fence at interior courtyard. Also proposed but not subject to review is reconstruction of portions of the brick and cast stone parapet using existing materials. Note: The property is also a contributing resource in the Eastmoreland National Register District; however, the property is subject to Historic Resource Review because of its listing as a Historic Landmark.

Quarter Sec. Map: 3734 & 3834
Date: February 24, 2023

The Bureau of Development Services (BDS) Site Development section provides the following comments based on the land use application and documents provided by the Applicant. References to Portland City Code (PCC) may be included below. City codes are available for on-line review from the City Auditor's [Online Charter and Code page](#).

RESPONSE SUMMARY

Site Development does not object to the proposed development.

SEISMIC REHABILITATION PCC TITLE T24.85

The existing structure is subject to the seismic rehabilitation requirements of PCC Title 24.85. The provisions of PCC 24.85 prescribe the seismic design requirements for existing buildings undergoing changes of occupancy, additions, alterations, catastrophic damage, fire, or earthquake repair, or mandatory or voluntary seismic strengthening. The requirements of PCC 24.85 only apply to buildings for which a building permit has been applied for to change the occupancy classification, add square footage to the building, alter or repair the building. In addition, the provisions of PCC 24.85 prescribing the seismic rehabilitation standards for existing buildings can be used in lieu of meeting the requirements of the current edition of the State of Oregon Structural Specialty Code. PCC 24.85 is available online at <https://www.portlandoregon.gov/citycode/28673>.

CONDITIONS OF APPROVAL

Site Development does not request conditions of approval.

- + Land Use Review (9)
- + Site Development (2)
- + Life Safety (1)
- + Fire Bureau (1)
- Environmental Services (4)
- BES Watershed Srv - LU
No concerns
- BES Dev Srv - LU
Response Sent
- BES Source Ctrl - LU
No concerns
- BES Dev Srv - RFC
Response Sent
- + Transportation (2)
- + Water Bureau Review (1)

[Attempt](#) [+Attempt](#) [Checklist](#) [Info](#) [Memo](#) [Deficiency](#) [Attachment](#)

Team	Ruth,Ella	Feb 03, 2023 11:38:45	Feb 24, 2023 11:38:45
To Start	To End	Sign Off User	Discipline
Feb 03, 2023 11:38:45	Feb 24, 2023 11:38:45	Ruth,Ella	OPDR
Started	Ended	Created By	
Feb 22, 2023 08:39:53	Feb 22, 2023 08:40:05		
Reference	People	Last Modified By	
Reference	People	Ruth,Ella	
Display Order	Inspection Number	Last Modified	
615	Inspection Number	Feb 22, 2023 08:40:05	

Comments

It appears that this project creates or redevelops less than 500 square feet of impervious area, therefore pollution reduction and flow control requirements of the Stormwater Management Manual (SWMM) are not triggered. BES does not object to the requested historic resource review.

+ Life Safety (1)					
+ Fire Bureau (1)					
+ Environmental Services (4)					
+ Transportation (2)					
- Water Bureau Review (1)					
<input type="checkbox"/> Water Review - LU	No concerns	02/03/2023	02/24/2023	02/21/2023	02/21/2023

LU 22.213205 HR Duniway School

J R Merrick <jrm@merrick-archplan.com>

Fri 2/17/2023 2:41 PM

To: Adam, Hillary <Hillary.Adam@portlandoregon.gov>

Cc: Steve Kilduff <coasty1949@hotmail.com>; Dinah Adkins <dadkins@inbia.org>; ENA President <president@eastmorelandpdx.org>

To the Historic Landmarks Commission,

As Livability and Land Use Co-chair and on behalf of the Eastmoreland Neighborhood Association, we are writing to commend PPS for their efforts to maintain the character and historic integrity of the Duniway School building as part of the main roof replacement including employing skilled preservation specialists as design consultants.

We ask that the Landmarks Commission approve the application.

Thank You

Rod Merrick, AIA NCARB

Merrick Architecture Planning

Portland, OR 503.771.7762



City of Portland, Oregon - Bureau of Development Services

1900 SW Fourth Avenue • Portland, Oregon 97201 | 503-823-7300 | www.portland.gov/bds



Land Use Review Application

File Number: _____

FOR INTAKE, STAFF USE ONLY

Date Rec _____ by _____

Type I Type Ix Type II Type Iix Type III Type IV ELD

LU Reviews _____

[Y] [N] Unincorporated MC

[Y] [N] Flood Hazard Area (LD & PD only)

[Y] [N] Potential Landslide Hazard Area (LD & PD only)

[Y] [N] 100-year Flood Plain [Y] [N] DOGAMI

Qtr Sec Map(s) _____ Zoning _____

Plan District _____

Historic and/or Design District _____

Neighborhood _____

District Coalition _____

Business Assoc _____

Related File # _____

**APPLICANT: Complete all sections below that apply to the proposal. Please print legibly.
Email this application and supporting documents to: LandUseIntake@portlandoregon.gov**

Development Site

Address or Location _____

Cross Street _____ Sq. ft./Acreage _____

Site tax account number(s)

R _____ R _____ R _____

R _____ R _____ R _____

Describe project (attach additional page if necessary)

Describe proposed stormwater disposal methods

Identify requested land use reviews

• **Design & Historic Reviews** - For **new development**, provide project valuation.

For **renovation**, provide exterior alteration value.

AND provide total project valuation.

\$ _____

\$ _____

\$ _____

• **Land Divisions** - Identify number of lots (include lots for existing development).

New street (public or private)?

yes no

yes no N/A

• **Affordable Housing** - For buildings containing five or more dwelling units, will 50% or more of the units be affordable to households with incomes equal to or less than 60% of the median family income for the county or state, whichever is greater?

continued / over

Applicant Information

- Identify the primary contact person, applicant, property owner and contract purchaser. Include any person that has an interest in your property or anyone you want to be notified. Information provided, including telephone numbers and e-mail addresses, will be included in public notices.
- For all reviews, the applicant must sign the Responsibility Statement.
- For land divisions, all property owners must sign the application.

PRIMARY CONTACT:

Typed Full Name _____ I acknowledge this typed name as my signature

Company/Organization _____

Mailing Address _____

City _____ State _____ Zip Code _____

Day Phone _____ FAX _____ email _____

Check all that apply Applicant Owner Other

Typed Full Name _____ I acknowledge this typed name as my signature

Company/Organization _____

Mailing Address _____

City _____ State _____ Zip Code _____

Day Phone _____ FAX _____ email _____

Check all that apply Applicant Owner Other

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Day Phone _____ FAX _____ email _____

Check all that apply Applicant Owner Other

Typed Full Name _____ I acknowledge this typed name as my signature

Company/Organization _____

Mailing Address _____

City _____ State _____ Zip Code _____

Day Phone _____ FAX _____ email _____

Check all that apply Applicant Owner Other

Responsibility Statement As the applicant submitting this application for a land use review, I am responsible for the accuracy of the information submitted. The information being submitted includes a description of the site conditions. I am also responsible for gaining the permission of the owner(s) of the property listed above in order to apply for this review and for reviewing the responsibility statement with them. If the proposal is approved, the decision and any conditions of the approval must be recorded in the County Deed Records for the property. The City of Portland is not liable if any of these actions are taken without the consent of the owner(s) of the property. In order to process this review, City staff may visit the site, photograph the property, or otherwise document the site as part of the review. I understand that the completeness of this application is determined by the Director. By my signature, I indicate my understanding and agreement to the Responsibility Statement.

Name of person submitting this application agrees to the above Responsibility Statement and acknowledges typed name as signature:

_____ Date: _____

Phone number: _____

Email this application and supporting documents to LandUseIntake@portlandoregon.gov | Submittal of locked or password protected documents will delay intake of your application. 2



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Dan Ryan, Commissioner
Rebecca Esau, Director
Phone: (503) 823-7300
Fax: (503) 823-5630
TTY: (503) 823-6868
www.portland.gov/bds

January 10, 2023

Steve Simonson
PORTLAND PUBLIC SCHOOLS
501 N Dixon St
Portland OR 97227

Re: Land Use Review LU 22-213205 HR – Duniway School

Dear Steve Simonson:

The Bureau of Development Services received your application for a Historic Resource Review located at 7700 SE REED COLLEGE PL on December 20, 2022. Your case has been assigned to me, Hillary Adam. In order to continue to review your application, additional information is needed. Once you submit this information, your application will be considered complete, and I will proceed with a full review of your proposal. Up to this point, your application has been reviewed only to determine if all required information has been submitted. The application has not been fully reviewed to determine if it meets the relevant approval criteria, however some issues you may want to consider are identified in Section II below.

I. Information Necessary to Complete Application

The following information must be submitted before your proposal can be evaluated:

1. **Site Plan.** The proposed 10'-0" tall fence is not shown on the site plan. Please provide an updated site plan showing the location of the new fence.
2. **Building Elevations.** The full building elevations on H06, and the elevations on the following pages, do not appear to show the new notches in the cast stone cornice as is detailed on pages H20 and H23. All elevations should match the details so that the overall scope of changes can be easily comprehended and so that there is no conflicting information in the drawing packet.
3. **Metal Trash Enclosure.** Please provide the gauge and additional details on the metal proposed for the trash enclosure. Please include the manufacturer's specifications with specifications particular to the chosen product highlighted if there are multiple options indicated in the cutsheets.
4. **Bureau of Environmental Services.** Please respond to the attached completeness request from the Bureau of Environmental Services.

II. Issues to Consider

While not necessary to determine the application complete, additional information may be needed to show that your proposal meets the applicable approval criteria. You are encouraged to address the following issues regarding the approvability of your proposal:

- **Metal Trash Enclosure.** Because this material is located at the ground level and close to the sidewalk, it is important that the proposed material of the enclosure be sturdy enough to withstand potential impacts. Thin metal panels may be insufficient to guaranteeing a high-quality enclosure.

III. Time to Complete Application

The Portland Zoning Code allows you up to 180 days to complete your application. Since the 180-day period began on the day we received the application, the deadline to make your application complete is **Tuesday June 20, 2023**.

IV. Determination of a Complete Application

The application will be determined complete when you have submitted:

1. All of the requested information included in Section I, above. If you cannot provide all of the requested information at one time and intend to submit additional information, please include a written statement with each separate submittal indicating that you still intend to provide the additional missing information by the **Tuesday June 20, 2023** deadline, **or**
2. Some of the requested information included in Section I, above, and a written statement that no additional information will be provided; **or**
3. A written statement that none of the requested information included in Section I, above, will be provided.

Please be aware that not submitting the requested information may result in your application being denied. The information is needed to demonstrate the approval criteria are met. Once the application is deemed complete, review of your application can proceed using the information you have provided.

Your application will be approved if it meets the relevant land use review approval criteria. It is your responsibility to document how the approval criteria are met. The items listed above will help provide that documentation.

Voiding of Application

If your application is not complete by **Tuesday June 20, 2023**, it will be voided, and the application fee will not be refunded. The City's land use review procedures are outlined in Chapter 33.730 of the Portland Zoning Code.

Please contact me if you have any questions about this letter. My telephone number is **503-823-8953**, and my e-mail address is Hillary.Adam@portlandoregon.gov. Requested information noted above should be emailed to me. Please e-mail me for file dropbox instructions if document or drawing file sizes are greater than 5MB. Please label all correspondence and materials you submit with the case number LU 22-213205.

Sincerely,



Hillary Adam, Planner
Land Use Services Division

cc: Ben Schonberger, Winterbrook Planning
Tom Kimball, IBI Group
Matthew Davis, ARG
Application Case File



CITY OF PORTLAND ENVIRONMENTAL SERVICES



1120 SW Fifth Avenue, Suite 613, Portland, Oregon 97204 ■ Mingus Mapps, Commissioner ■ Michael Jordan, Director

Completeness Response

Date: January 4, 2023

To: Hillary Adam, BDS Land Use Services
503-823-8953, Hillary.Adam@portlandoregon.gov

From: Ella Indarta, BES Systems Development
503-823-8068, Ella.Indarta@portlandoregon.gov

Case File: LU 22-213205

Location: 7700 SE REED COLLEGE PL

Proposal: Repair and replacement of exterior elements at the historic Duniway Elementary School in Southeast Portland, including a roof replacement and select masonry repairs.

BES provides the following comments in response to materials received for the purpose of determining completeness of the above-referenced Land Use application. Items requested in this memo should not be considered final, as staff reserves the right to request additional materials during the formal review period.

1. **Plans:** Submit a revised set of land use plans to reflect all changes requested by BES staff below, as well as changes requested by other agency reviewers.
 - a. Revised plans must show the square footage of new or redeveloped impervious area. If the new or redeveloped impervious area is 500 square feet or more, then appropriately sized stormwater management facilities that meet applicable setback requirements per Table 2-1 of the SWMM will be required and should be shown on the site plan.
2. **Simplified Approach Stormwater Report (Private Property):** If stormwater management requirements are triggered, submit a stormwater report and preliminary utility plan showing stormwater management facilities sized according to SWMM standards. Based on available project information and the criteria described in Section 2.1.2 of the SWMM, this site qualifies for stormwater facility sizing using the Simplified Approach, though the applicant may elect to use the Presumptive or Performance Approaches as desired. Under the Simplified Approach, the applicant must submit a complete Simplified Approach Form (see Section 3.4.2 of the SWMM). Unless onsite infiltration is deemed infeasible based on site conditions described in Section 2.2.5 of the SWMM, infiltration testing results must be included on the Simplified Approach Form. Facilities sized using the Simplified Approach can utilize a simple pit infiltration test, which can be completed by a nonprofessional. Infiltration test pits must be as close as possible to proposed infiltration facilities; include on a plan the approximate location of the test pit(s). Stormwater facilities sized according to the Simplified Approach are presumed to comply with the City's pollution reduction and flow and volume control standards.



PORTLAND BUREAU OF TRANSPORTATION

1900 SW Fourth Ave., Suite 5000 Portland, OR 97201 503-823-5185
Fax 503-823-7576 TTY 503-823-6868 www.portlandoregon.gov/transportation

Jo Ann Hardesty Commissioner Chris Warner Director

**RESPONSE TO THE BUREAU OF DEVELOPMENT SERVICES
REQUEST FOR COMPLETENESS**

**Portland Transportation
Development Review
Bureau of Transportation Engineering & Development**

LU: 22-213205-000-00-LU Date: January 3, 2023
To: Hillary Adam, Bureau of Development Services, B299/R5000
From: Michael Pina, B1720206/800, 503-823-4249
Applicant: Steve Simonson, PORTLAND PUBLIC SCHOOLS
501 N DIXON ST
PORTLAND OR 97227
Location: 7700 SE REED COLLEGE PL
TYPE OF REQUEST: Type 3 procedure HR - Historic Resource Review

DESCRIPTION OF PROJECT

Repair and replacement of exterior elements at the historic Duniway Elementary School in Southeast Portland, including a roof replacement and select masonry repairs.

RESPONSE

Portland Transportation/Development Review (PBOT) has reviewed the application for completeness and offers the following comments:

- As referenced in both Pre-Application Conference 21-108718 PC, the proposed project triggers the Significant Alteration threshold (as defined in 17.88.010) of \$761,614, therefore the following public frontage improvements are required surrounding the site:
 - Upgraded ADA corners where needed
 - Installing a standard driveway approach at the intersection of SE 34th and SE Rex
 - A Driveway Design Exception for any driveway within 25-ft of an intersection, including ‘T’ intersections (TRN 10.40.D.1)
 - Mid-block ADA ramps at SE 34th and SE Lambert will be included in the review to determine if they meet current ADA standards.

In review of the submitted materials, it appears only that only the driveway at SE 34th and SE Rex has been accounted for. PBOT has no record of an approved Driveway Design Exception for a driveway within 25-ft of an intersection, nor does the applicant provide preliminary plans showing the remaining right-of-way improvements.

While not a completeness item, PBOT would like to remind the applicant the remaining public improvements noted above will require a Public Works permit, which is to receive 30 percent concept approval and bond payment as condition of building permit approval.

RECOMMENDATION

PBOT recommends the application be deemed **complete** for review purposes.



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Carmen Rubio, Commissioner
Rebecca Esau, Director
Phone: (503) 823-7310
TTY: (503) 823-6868
www.portland.gov/bds

STAFF REPORT AND RECOMMENDATION TO THE HISTORIC LANDMARKS COMMISSION

CASE FILE: LU 22-213205 HR
PC # 21-108718
Duniway School
REVIEW BY: Historic Landmarks Commission
WHEN: February 27, 2023 @ 1:30pm
Remote Access: Historic Landmarks Commission Agenda
<https://www.portland.gov/bds/landmarks>

This land use hearing will be limited to remote participation via Zoom. Please refer to the instructions included with this notice to observe and participate remotely.

It is important to submit all evidence to the Historic Landmarks Commission. City Council will not accept additional evidence if there is an appeal of this proposal.

Bureau of Development Services Staff: Hillary Adam 503-823-8953 / Hillary.Adam@portlandoregon.gov

GENERAL INFORMATION

Applicant: Steve Simonson, ssimonson@pps.net, 503-916-3199
Portland Public Schools
501 N Dixon St
Portland, OR 97227

Owner: School District No 1
PO Box 3107
Portland, OR 97208-3107

Design Consultant: Todd Kimball, todd.kimball@ibigroup.com, 503-827-4422*105
IBI Group
907 SE Harvey Milk
Portland, OR 97205

Historic Resource Consultant: Matthew Davis, mdavis@argcreate.com, 971-256-5320
Architectural Resources Group
720 SW Washington St., Ste 605
Portland, OR 97205

Site Address: 7700 SE REED COLLEGE PL

Legal Description: INC ALL VAC E 34TH ST W OF & ADJ BLOCK 61 BLOCK 62, EASTMORELAND

Tax Account No.: R231513710
State ID No.: 1S1E24DB 02900
Quarter Section: 3734 & 3834

Neighborhood: Eastmoreland, contact Rod Merrick at
 president@eastmorelandpdx.org
Business District: NONE
District Coalition: Southeast Uplift, contact Matchu Williams at
 matchu@seuplift.org

Plan District: Eastmoreland
Other Designations: Historic Landmark, locally listed

Zoning: R5 – Residential 5,000 with Historic Resource overlay

Case Type: HR – Historic Resource Review
Procedure: Type III, with a public hearing before the Historic Landmarks
 Commission. The decision of the Historic Landmarks
 Commission can be appealed to City Council.

Proposal:

The applicant proposes exterior alterations to the historic landmark to include the following:

- Replacement of original clay tile roof shingles with new clay tile roof shingles;
- Replacement of original cast stone balustrade with new matching balustrade constructed of glass fiber-reinforced concrete (GFRC);
- Replacement of metal caps, copper ridge hips with same;
- Relocation of existing copper conductor heads to higher location, with new copper downspout extensions and removal of sections of cast stone cornice to allow for conductor head relocation with cornice endcaps constructed of GFRC to match;
- Installation of new copper ladder chutes and new steel ladders at the roof;
- Construction of a metal enclosure for trash receptacles at the northeast paved area;
- Reconfiguration of a ramp at the northeast corner; and
- Replacement of existing security fence with a new no-climb fence at interior courtyard.

Also proposed but not subject to review is reconstruction of portions of the brick and cast stone parapet using existing materials.

Note: The property is also a contributing resource in the Eastmoreland National Register District; however, the property is subject to Historic Resource Review because of its listing as a Historic Landmark.

Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The applicable approval criteria are:

- 33.846.060.G Other historic approval criteria

The Portland Zoning Code is available online at <https://www.portland.gov/code/33>.

ANALYSIS

Site and Vicinity: The Duniway Elementary School in the Eastmoreland neighborhood occupies a full 5.63 acre block bound by SE Reed College Place to the west, SE Lambert Street to the south, SE 35th Avenue to the east, and SE Rex Street to the north. The school is oriented west and features a treed lawn to the west, recreation fields to the south, paved recreation areas to the east and other paved areas to the north. The original building was constructed in 1926 in the Collegiate Gothic style, using brick and cast stone with later additions constructed in 1948 and 1953. The school was designed by Portland-born George Jones when he was the Superintendent of Portland Public Schools (PPS). During his tenure at PPS, Jones designed about 25 new schools for the district. The building is noted as eligible for listing in the National Register of Historic Places under Criteria A and C.

The surrounding neighborhood is residential with most homes around the same vintage as the school. The Eastmoreland neighborhood was recently added to the National Register of Historic Places, having been determined to meet Criteria A and C.

Zoning: The Residential 5,000 (R5) single-dwelling zone is intended to preserve land for housing and to provide housing opportunities for individual households. The zone implements the comprehensive plan policies and designations for single-dwelling housing. Minimum lot size is 3,000 square feet, with minimum width and depth dimensions of 36 and 50 feet, respectively. Minimum densities are based on lot size and street configuration. Maximum densities are 1 lot per 5,000 square feet of site area.

The regulations of the Laurelhurst/Eastmoreland plan district enforce the special setback requirements of Ordinances 70343 and 70341. This plan district maintains the established character of the Laurelhurst and Eastmoreland areas, characterized by homes with larger than normal building setbacks from the street.

The historic resource overlay zone protects historic resources that have been identified as significant to the history of the city and region. The regulations implement Portland's Comprehensive Plan policies that address historic preservation. These policies recognize the role historic resources have in promoting education and enjoyment for those living in and visiting the region. The regulations foster awareness, memory, and pride among the region's current and future residents in their city and its diverse architecture, culture, and history. Historic preservation recognizes social and cultural history, retains significant architecture, promotes economic and environmental health, and stewards important resources for the use, education, and enjoyment of future generations.

Land Use History: City records indicate there are no prior land use reviews for this site.

Agency Review: A “Notice of proposal in Your Neighborhood” was mailed February 6, 2023. No responses have yet been received by the following agencies. Once these are received, any relevant comments will be noted.

- Water Bureau
- Fire Bureau
- Site Development Section of BDS
- Bureau of Environmental Services
- Bureau of Transportation Engineering
- Bureau of Parks-Forestry Division

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on February 6, 2023.

No written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

ZONING CODE APPROVAL CRITERIA

Chapter 33.846.060 - Historic Resource Review

Purpose of Historic Resource Review

Historic Resource Review ensures the conservation and enhancement of the special characteristics of historic resources.

Historic Resource Review Approval Criteria

Requests for Historic Resource Review will be approved if the review body finds the applicant has shown that all of the approval criteria have been met.

Findings: The site is a designated Historic Landmark outside the Central City Plan District and not within in a Historic or Conservation District, and the proposal is for non-exempt treatments. Therefore, the proposal requires Historic Resource Review approval. The approval criteria are those listed in 33.846.060 G – *Other Historic Approval Criteria*.

Staff has considered all of the approval criteria and addressed only those applicable to this proposal.

33.846.060 G - Other Historic Approval Criteria

1. Historic character. The historic character of the landmark or contributing resource will be retained and preserved. Removal of historic materials or alteration of features and spaces that contribute to the historic significance of the landmark or contributing resource will be avoided.

Findings: The proposed work includes replacement of some elements that have begun to fail after serving their purpose for nearly 100 years, including the red roof tiles, metal ridge and hip caps, and the stone balustrade along the parapet. Notably, the parapets were already removed pre-emptively as a precautionary measure due to their deterioration. The cast stone balustrade is intended to be recreated out of glass fiber-reinforced concrete to match the historic balustrade. The replacement ridge and hip caps are to be fashioned of 20 gauge copper, also to match the existing. Likewise, the clay tile roof is deteriorating with many tiles missing and/or broken, and the new roof tiles are designed to match the historic as they appear to the viewer, though their actual size and manner of installation will differ from the original.

Other changes include the relocation of scuppers and extension of downspouts which will result in the removal of some cornice details; these cut cornice ends will be finished with GFRC units shaped to be in keeping with the historic character while the proposed changes will ensure better maintenance of the historic building. Likewise, other alterations like the addition of ladders and ladder chutes are modest in their visual impact and intended to help better maintain the building. The changes will help preserve the historic character of the building. *Therefore, this criterion is met.*

2. Record of its time. The landmark or contributing resource will remain a physical record of its time, place, and use. Changes that create a false sense of historic

development, such as adding conjectural features or architectural elements from other buildings will be avoided.

3. Historic changes. Most resources change over time. Those changes that have acquired historic significance will be preserved.

Findings: The existing building has changed over time with additions added to the original 1926 building in 1948 and 1953. With consideration of the later additions, the school was found to maintain a high level of integrity on the Site Information form on the Oregon Historic Sites Database. Alterations proposed to the additions include reconfiguration of a concrete ramp at the northeast corner of the building and replacement of a security gate at the easternmost end of the central courtyard. No conjectural features are proposed as the majority of the work is related to maintenance and addressing failing building elements. The resource will remain a record of its time. *Therefore, these criteria are met.*

4. Historic features. Generally, deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement, the new feature will match the historic feature in design, color, texture, and other visual qualities and, where practical, in materials. Replacement of missing features must be substantiated by documentary, physical, or pictorial evidence.

Findings: As is noted above, replacement of building elements including the balustraded parapet sections, roof tiles, and ridge and hip caps is proposed due to failing conditions in these materials. The proposed replacement materials, to a large degree, match the historic materials with regard to their design, material makeup, and visual characteristics. The cast stone balustrade, which was cracking and spalling thus compromising its structural integrity, will be replaced with a glass fiber-reinforced concrete balustrade, and the clay roof tiles roof will be replaced with new clay roofing tiles that will visually match the existing. The existing copper ridge and hip caps will be replaced with new copper ridge and hip caps, shaped to match the existing. *Therefore, this criterion is met.*

5. Historic materials. Historic materials will be protected. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials will not be used.

Findings: No chemical treatments or sandblasting is proposed. *This criterion is not applicable.*

6. Archaeological resources. Significant archaeological resources affected by a proposal will be protected and preserved to the extent practical. When such resources are disturbed, mitigation measures will be undertaken.

Findings: No excavation is proposed on this previously disturbed site. *This criterion is not applicable.*

7. Differentiate new from old. New additions, exterior alterations, or related new construction will not destroy historic materials that characterize a landmark or contributing resource. New work may be differentiated from the old if the differentiation does not diminish the character, features, materials, form, or integrity of the landmark or contributing resource and, if in a Historic District, the district as a whole.

Findings: The proposed changes are intended to address failing elements of this historic building; thus, they will not destroy materials that characterize the landmark, but seek to preserve the landmark's structural and visual integrity.

The new replacement materials – GFRC balustrades, clay tiles, and copper ridge and hip caps, are constructed of the essentially the same materials as the original, though the masonry elements may be compositionally different at the microscopic level. The clay tiles will also differ from the original in their size, but the visual integrity will remain the same. The new security fence will be distinctly contemporary, however, it is located a couple hundred feet into the site and tucked between two portions of the rear of the building as is therefore relatively hidden from view. Likewise, the trash enclosure is distinctly modern, but designed to be relatively nondescript and utilitarian in its purpose to screen dumpsters.

While this landmark building is located within a National Register District, Eastmoreland is not considered a Historic District as defined in Title 33 and referenced in this criterion. Therefore, alterations to the building, relevant to their impact on the National Register District, are not relevant to this review. However, as they relate to the Landmark itself, the proposed changes are differentiated as well as in keeping with the historic character of the landmark. *Therefore, this criterion is met.*

8. Architectural compatibility. New additions, exterior alterations, or new construction will be compatible with the massing, size, scale, and architectural features of the landmark or contributing resource and, if in a district, the district as a whole. When retrofitting to improve accessibility for persons with disabilities or accommodate seismic improvements, design solutions will not compromise the architectural integrity of the landmark or contributing resource.

Findings: The proposed alterations to the 1926 portion of the building are compatible with the architectural features of the historic building. The proposed security fence at the rear of the building is comparable to the existing and appropriately scaled for its location. The proposed reconfiguration of the ramp at the northeast corner will not compromise the architectural integrity of the landmark as this is a modest change at the rear of the building, and the existing ramp is not inherently significant. *This criterion is met.*

9. Preserve the form and integrity of historic resources. New additions, exterior alterations, or new construction will be undertaken in such a manner that if removed in the future, the essential form and integrity of the landmark or contributing resource and, if in a district, the district as a whole would be unimpaired.

Findings: The primary aspects of the proposed alterations replace failing elements on the historic building and, thus, are integral to preserving the form and integrity of the landmark. The relocated scuppers and alterations to the cornice in these locations could be reverted to the original location and the essential form and integrity of the building would be preserved, though this change is intended to address a failure in the original design which has compromised the integrity of the building. The proposed ramp reconfiguration at the northeast corner is external to the main form of the building and could be removed without compromising the integrity of the building. *Therefore, this criterion is met.*

10. Hierarchy of compatibility. New additions, exterior alterations, or new construction will be designed to be compatible primarily with the landmark or contributing resource and, if located within a district, secondarily with contributing resources within 200 feet and, finally, with the rest of the district. Where practical, compatibility in districts will be pursued on all three levels.

Findings: As is noted above, the landmarks is located within the Eastmoreland National Register District. The proposed alterations aim to maintain the visual integrity and historic character of the landmark, thus ensuring its compatibility within the greater neighboring context of the surrounding district. The proposed trash enclosure will help organize this area, thus presenting a cleaner and more orderly appearance for the school’s neighbors. While the metal material used for the enclosure is not a primary material used on the site or in the surrounding district, this material will be longer lasting than a wood enclosure, and the dark color will help it to visually recede in the landscape. Overall, the proposed alterations are minimal, visually pleasing, and architecturally compatible with the landmark and surrounding resources. *Therefore, this criterion is met.*

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

The purpose of the Historic Resource Review process is to ensure that additions, new construction, and exterior alterations to historic resources do not compromise their ability to convey historic significance. The proposed alterations are intended to rehabilitate deteriorated elements of the building with an aim to preserve the historic building as a whole. This proposal meets the applicable Historic Resource Review criteria and therefore warrants approval.

TENTATIVE STAFF RECOMMENDATION

(May be revised upon receipt of new information at any time to the Historic Landmarks Commission decision)

Staff recommends approval of exterior alterations to the historic landmark to include the following:

- Replacement of original clay tile roof shingles with new clay tile roof shingles;
- Replacement of original cast stone balustrade with new matching balustrade constructed of glass fiber-reinforced concrete (GFRC);
- Replacement of metal caps, copper ridge hips with same;
- Relocation of existing copper conductor heads to higher location, with new copper downspout extensions and removal of sections of cast stone cornice to allow for conductor head relocation with cornice endcaps constructed of GFRC to match;
- Installation of new copper ladder chutes and new steel ladders at the roof;
- Construction of a metal enclosure for trash receptacles at the northeast paved area;
- Reconfiguration of a ramp at the northeast corner; and
- Replacement of existing security fence with a new no-climb fence at interior courtyard.

This recommendation is subject to the following suggested conditions:

- A. As part of the building permit application submittal, the following development-related conditions (B through C) must be noted on each of the 4 required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled "ZONING COMPLIANCE PAGE - Case File LU 22-213205 HR". All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED."
- B. At the time of building permit submittal, a signed Certificate of Compliance form (<https://www.portlandoregon.gov/bds/article/623658>) must be submitted to ensure the permit plans comply with the Design/Historic Resource Review decision and approved exhibits.
- C. No field changes allowed.

=====

Procedural Information. The application for this land use review was submitted on December 20, 2022, and was determined to be complete on January 13, 2023.

Zoning Code Section 33.700.080 states that land use review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore, this application was reviewed against the Zoning Code in effect on December 20, 2022.

ORS 227.178 states the City must issue a final decision on land use review applications within 120 days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period. Unless further extended by the applicant, **the 120 days will expire on: May 13, 2023.**

Some of the information contained in this report was provided by the applicant. As required by Zoning Code Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the recommendation of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to specific conditions of approval, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

This report is not a decision. The review body for this proposal is the Historic Landmarks Commission who will make the decision on this case. This report is a recommendation to the Historic Landmarks Commission by the Bureau of Development Services. The review body may adopt, modify, or reject this recommendation. The Historic Landmarks Commission will make a decision about this proposal at the hearing or will grant a continuance. Any written testimony should be emailed to **Hillary Adam** at **Hillary.Adam@PortlandOregon.gov**. If you cannot email comments and must mail comments via USPS mail, your comments to the Historic Landmarks Commission can be mailed, c/o the Historic Landmarks Commission 1900 SW Fourth Ave., Suite 5000, Portland, OR 97201.

If you are interested in viewing information in the file, please contact the planner listed on the front page of this document. The planner can provide information over the phone or via email.

You will receive mailed notice of the decision if you write a letter received before the hearing or testify at the hearing, or if you are the property owner or applicant.

Appeal of the decision. The decision of the Historic Landmarks Commission may be appealed to City Council, who will hold a public hearing. If you or anyone else appeals the decision of the review body, only evidence previously presented to the review body will be considered by the City Council.

Who can appeal: You may appeal the decision only if you submit written comments which are received before the close of the record, if you testify at the hearing, or if you are the property owner/applicant. **Appeals must be filed within 14 days of the decision. An appeal fee will be charged up to a maximum of \$5,789.00.**

Additional information on how to file and the deadline for filing an appeal will be included with the decision. Assistance in filing the appeal and information on fee waivers are available from the Bureau of Development Services website: <https://www.portland.gov/bds/zoning-land-use/land-use-review-fees-and-types/appeals-fees-and-fee-waivers>. Neighborhood associations recognized by the Office of Community & Civic Life may qualify for a waiver of the appeal fee provided that the association has standing to appeal. The appeal must contain the signature of the Chairperson or other person authorized by the association, confirming the vote to appeal was done in accordance with the organization's bylaws.

Neighborhood associations, who wish to qualify for a fee waiver, must complete the Type III Appeal Fee Waiver Request for Organizations Form and submit it prior to the appeal deadline. The Type III Appeal Fee Waiver Request for Organizations Form contains instructions on how to apply for a fee waiver, including the required vote to appeal.

Recording the final decision.

If this land use review is approved the final decision will be recorded with the County Recorder. *Unless appealed*, the final decision will be recorded by the Bureau of Development Services.

Expiration of this approval. Generally, land use approvals (except Comprehensive Plan and Zoning Map Amendments) expire three years from the date of the final decision unless one of the actions below has occurred (see Zoning Code Section 33.730.130 for specific expiration rules):

- A City permit has been issued for the approved development,

- The approved activity has begun (for situations not requiring a permit), or
- In situations involving only the creation of lots, the final plat has been submitted.

Applying for permits. A building permit, occupancy permit, or development permit must be obtained before carrying out this project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed here.
- All applicable development standards, unless specifically exempted as part of this land use review.
- All requirements of the building code.
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the city.

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).

Hillary Adam
February 17, 2023

EXHIBITS – NOT ATTACHED UNLESS INDICATED

- A. Applicant’s Statement
 1. Narrative
 2. Site Plan
 3. Original Drawing Packet
 4. Completeness Response, date January 13, 2023
 5. Revised Drawing Set
- B. Zoning Map (attached)
- C. Plan & Drawings
 1. Site Plan (attached)
 2. Enlarged Site Plan – Loading and Trash Enclosure
 3. Overall Plan with Building Construction Dates
 4. Roof Plan (attached)
 5. Building Section
 6. Full Building Elevations
 7. 1926 Building Elevation (attached)
 8. 1926 Building Elevation
 9. 1926 Building Elevation
 10. 1926 Building Elevation
 11. Masonry Repair Elevation and Legend
 12. Masonry Repair Elevation
 13. Masonry Repair Elevation
 14. Masonry Repair Elevations
 15. Masonry Repair Elevations
 16. Masonry Repair Elevation
 17. Masonry Repair Elevation
 18. Masonry Repair Elevation
 19. Masonry Repair Elevation
 20. Details
 21. Details
 22. Details
 23. Details

- 24. Details
- 25. Details
- 26. Details
- 27. Details
- 28. Roof Details
- 29. Roof Detail
- 30. Roof Detail
- 31. Roof Detail
- 32. Roof Detail
- 33. Roof Details
- 34. Roof Detail
- 35. Roof Detail
- 36. Trash Enclosure
- D. Notification information:
 - 1. Posting letter sent to applicant
 - 2. Notice to be posted
 - 3. Applicant's statement certifying posting
 - 4. Mailed notice
 - 5. Mailing list
- E. Agency Responses: none
- F. Letters: none
- G. Other
 - 1. Original LUR Application
 - 2. Incomplete Letter, dated January 10, 2023
- H.



City of Portland Historic Landmarks Commission

Type III Land Use Review

MEMORANDUM

Date: February 17, 2023
To: Historic Landmarks Commission
From: Hillary Adam, Design / Historic Review Team
 503-823-8953 | hillary.adam@portlandoregon.gov
Re: LU 22-213205 HR – Duniway School
 Type III Design Review – February 27, 2023

Attached is a drawing set for the Type III Historic Resource review scheduled on February 27, 2023. Please contact me with any questions or concerns.

I. PROGRAM OVERVIEW

Type III Historic Resource Review for exterior alterations to the Duniway Elementary School including: replacement of original tile roof with same; replacement of original cast stone balustrade with new constructed of GFRC to match, relocation of conductor heads and removal of portions of cast stone cornice to accommodate relocation, replacement of metal caps and copper ridge hips with same, installation of new copper ladder chutes and new steel ladders, reconfiguration of a ramp and construction of a metal enclosure for trash at the NE corner, and replacement of an existing security fence with a new no-climb fence.

II. DEVELOPMENT TEAM BIO

Architect	Todd Kimball IBI Group
Owner	Steve Simonson Portland Public Schools
Project Valuation	\$2.3 million

III. HISTORIC REVIEW APPROVAL CRITERIA – 33.846.060.G (1-10) Other historic approval criteria. See attached matrix.

IV. STAFF RECOMMENDATION

Staff found that the proposal with modifications meets the applicable Historic Resource Review criteria, therefore, the Staff Report recommends approval. From the SR conclusion:

The purpose of the Historic Resource Review process is to ensure that additions, new construction, and exterior alterations to historic resources do not compromise their ability to convey historic significance. The proposed alterations are intended to rehabilitate deteriorated elements of the building with an aim to preserve the historic building as a whole. This proposal meets the applicable Historic Resource Review criteria and therefore warrants approval.

V. CONDITIONS OF APPROVAL

The standard three conditions of approval have been added.

VI. PROCEDURAL NOTES

- The application was submitted on December 20, 2022.
- The application was deemed complete on January 13, 2022.
- The hearing was scheduled for February 27, 2023, 45 days after being deemed complete.

Attachments: Drawing Set dated January 13, 2023
 Guidelines Matrix



APPROVAL CRITERIA: 33.846.060.G.1-10 (2022) PROJECT NAME: Duniway School CASE NUMBER: LU 22-213205 HR
 DATE: February 27, 2023 PROJECT ARCHITECT: Todd Kimball, IBI Group PROJECT VALUE: \$2.3 million

CONTEXT	STAFF		COMMISSION	
	+ / -	Comments	+ / -	Comments
1. Historic character. The historic character of the property will be retained and preserved. Removal of historic materials or alteration of features and spaces that contribute to the property's historic significance will be avoided.		Met. See page 4.		
6. Archaeological resources. Significant archaeological resources affected by a proposal will be protected and preserved to the extent practical. When such resources are disturbed, mitigation measures will be undertaken.		Met. See page 5.		
8. Architectural compatibility. New additions, exterior alterations, or related new construction will be compatible with the resource's massing, size, scale, and architectural features. When retrofitting buildings or sites to improve accessibility for persons with disabilities, design solutions will not compromise the architectural integrity of the historic resource.		Met. See page 6.		
9. Preserve the form and integrity of historic resources. New additions and adjacent or related new construction will be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic resource and its environment would be unimpaired.		Met. See page 6.		
PUBLIC REALM	STAFF		COMMISSION	
	+ / -	Comments	+ / -	Comments
2. Record of its time. The historic resource will remain a physical record of its time, place, and use. Changes that create a false sense of historic development, such as adding conjectural features or architectural elements from other buildings will be avoided.		Met. See page 5.		
10. Hierarchy of compatibility. Exterior alterations and additions will be designed to be compatible primarily with the original resource, secondarily with adjacent properties, and finally, if located within a Historic or Conservation District, with the rest of the district. Where practical, compatibility will be pursued on all three levels.		Met. See page 7.		
QUALITY & COHERENCY	STAFF		COMMISSION	
	+ / -	Comments	+ / -	Comments
3. Historic changes. Most properties change over time. Those changes that have acquired historic significance will be preserved.		Met. See page 5.		
4. Historic features. Generally, deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement, the new feature will match the old in design, color, texture, and other visual qualities and, where practical, in materials. Replacement of missing features must be substantiated by documentary, physical, or pictorial evidence.		Met. See page 5.		
5. Historic materials. Historic materials will be protected. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials will not be used.		Met. See page 5.		
7. Differentiate new from old. New additions, exterior alterations, or related new construction will not destroy historic materials that characterize a property. New work will be differentiated from the old.		Met. See pages 5-6.		