

Development Services

From Concept to Construction

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APPEAL SUMMARY

Status: Decision Rendered

Appeal ID: 25061	Project Address: 1952 SE 122nd Ave
Hearing Date: 8/11/21	Appellant Name: John Flynn
Case No.: B-014	Appellant Phone: 5039395130
Appeal Type: Building	Plans Examiner/Inspector: Preliminary
Project Type: commercial	Stories: 1 Occupancy: B, S-1 Construction Type: V-B
Building/Business Name: Mill Park Center	Fire Sprinklers: No
Appeal Involves: Alteration of an existing structure, occ Change from S-1 to B	LUR or Permit Application No.:
Plan Submitted Option: pdf [File 1] [File 2]	Proposed use: Office

APPEAL INFORMATION SHEET

Appeal item 1

Code Section	OSSC 1006 Number of Exits and Exit Access Doorways
Requires	1006.2.1 Egress based on occupant load and common path of egress travel distance. Two exits or exit access doorways from any space shall be provided where the design occupant load or the common path of egress travel distance exceeds the values listed in Table 1006.2.1.
Code Modification or Alternate Requested	Table 1006.2.1 identifies the limiting criteria for spaces with one exit or exit access doorway. For the proposed occupancy, occupant load, and no sprinklers, the maximum common path of egress travel distance is 75 feet. The proposed design shows one exit from the space under consideration and a common path of egress travel distance of 82'-10". The Appeal request is to allow the common path of egress travel distance of 82'-10" under the specific conditions presented.
Proposed Design	<p>This is a one-story building with a full basement. The current occupancies are Group B (offices, at the ground floor level and for a portion of the basement level) and Group S-1 (storage, at the remaining 2,053 gross square feet of the basement level.) The basement level has two exits. The proposed design shows a change of use at the basement level, reconfiguring the storage area into open office. Sheets 1 and 2 (attached) provide occupant load calculations and egress analyses for both floors of the building.</p> <p>Space planning and occupant furniture layouts for the new Open Office area have been prepared to identify accessory uses to the proposed B occupancy. In addition to general training and audio production space, the Open Office is also programmed for small assembly space (per OSSC 3003.1.2) and storage space. Please refer to enlarged plans 1 and 2 on attached sheet TI-01.</p> <p>The egress plans show a common path of egress travel distance from the most extreme corner of the proposed Open Office of 82'-10". This exceeds the required maximum of 75 feet by 7'-10" (10.4%.) The Tenant Improvement plans indicate that this area of the Open Office is dedicated to miscellaneous storage. As such, the occupant load is minimal (occupancy for this area = 1</p>

occupant.) All other areas within the Open Office have common path travel distances that are less than 75 feet.

In addition to code required exit signage, the proposed design includes a ceiling-mounted, illuminated, directional exit sign within the Open Office space which will provide increased visibility of the egress route from the room. See plan 2, sheet TI-01.

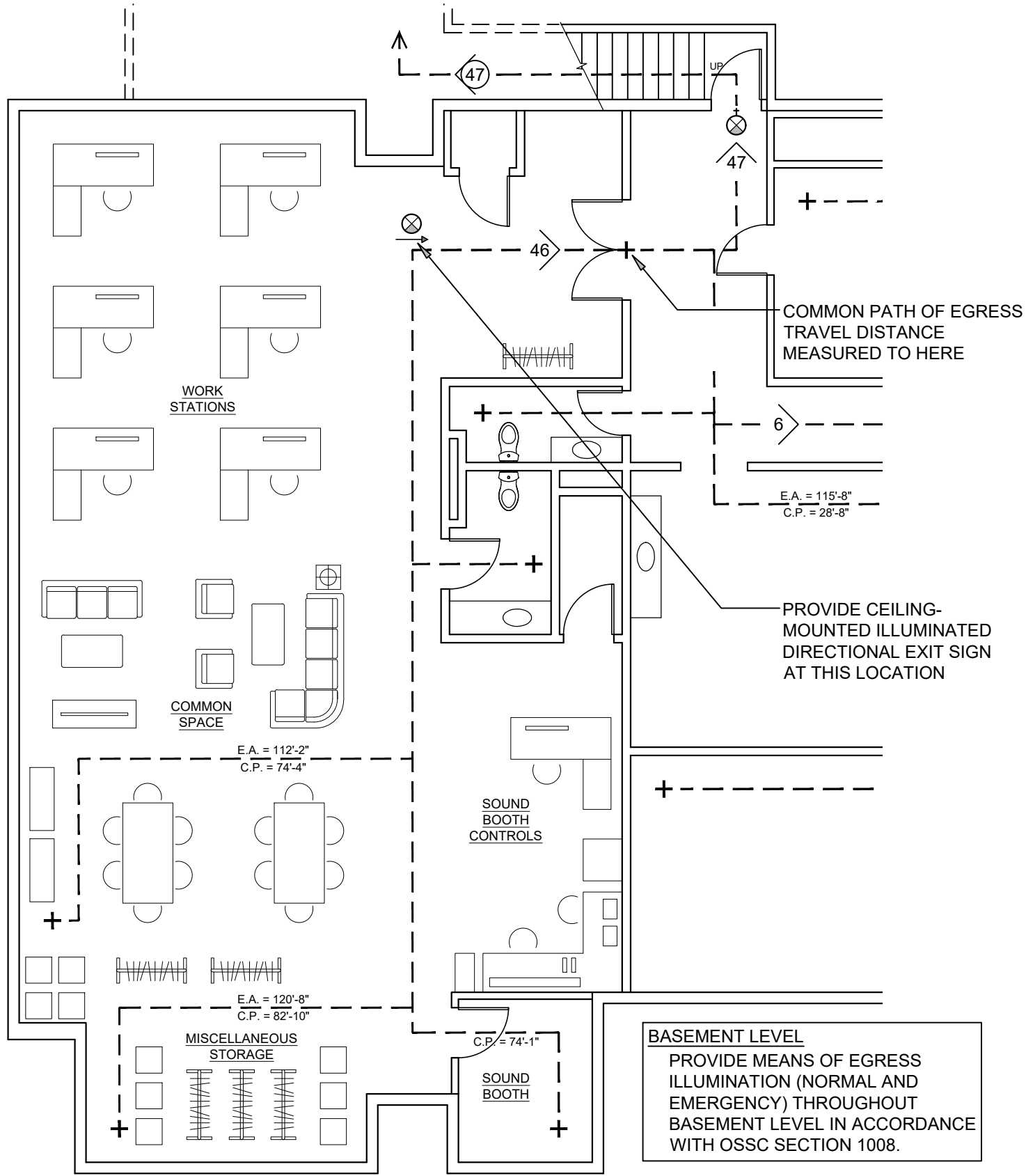
Reason for alternative The layout of rooms at the basement level is an existing condition and it is not practical to add a second exit from the new Open Office space. As well, the common path of egress travel distance only exceeds the required maximum by approximately 10%. The tenant plan places a low-occupancy accessory use (storage) at the area where the common path travel distance is greater than the maximum 75 feet. Finally, the added exit signage will make the path of exit travel simple and easy to navigate.

APPEAL DECISION

Increase in the common path of egress travel from 75 feet to 83 feet: Granted as proposed for this tenant and configuration.

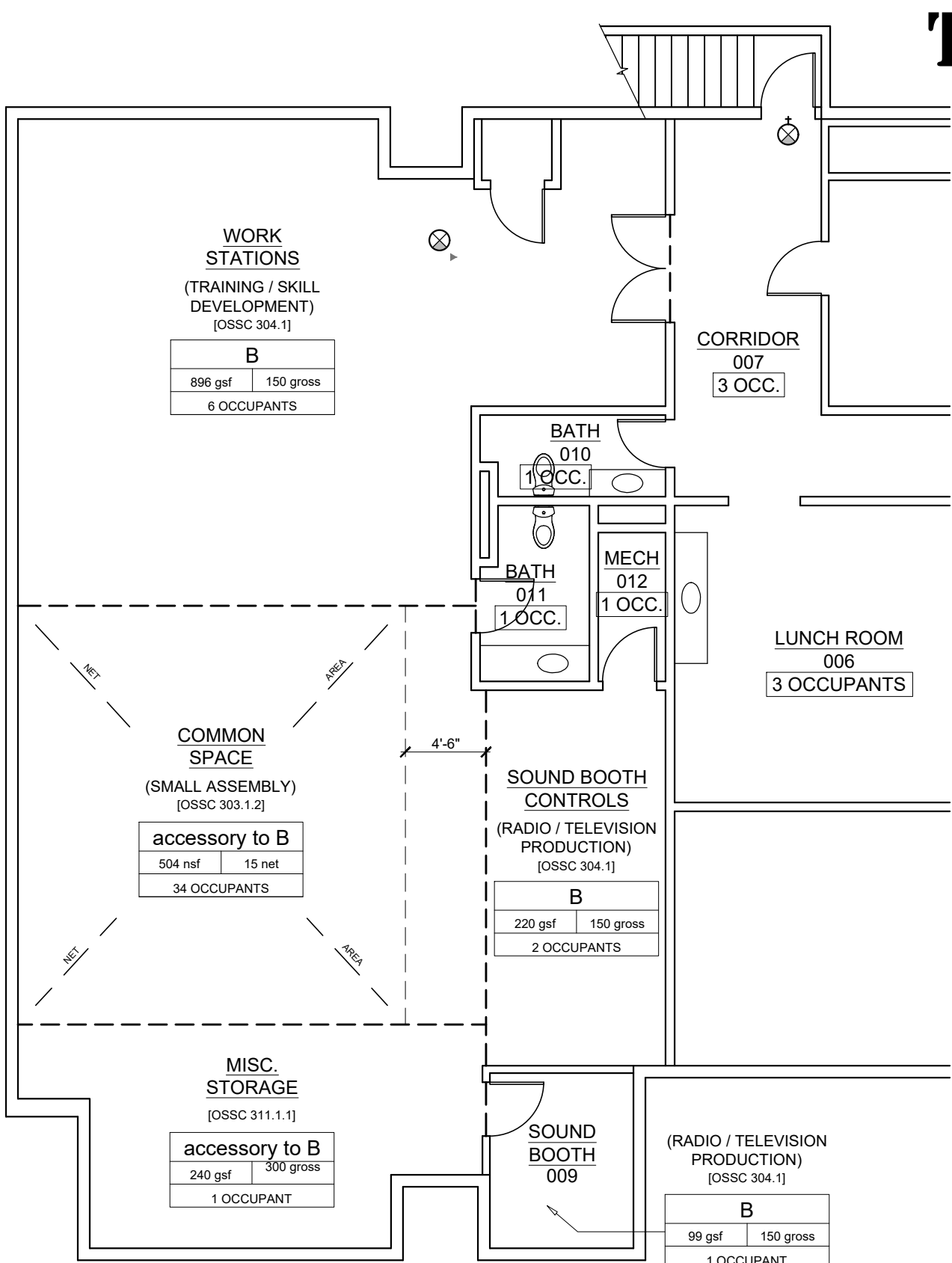
The Administrative Appeal Board finds that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 90 calendar days of the date this decision is published. For information on the appeals process, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.



2 PARTIAL BASEMENT FLOOR PLAN -- OPEN OFFICE 008
PROPOSED EGRESS PLAN

1/8" = 1'-0" N



1 PARTIAL BASEMENT FLOOR PLAN -- OPEN OFFICE 008
OCCUPANT LOAD CALCULATIONS

1/8" = 1'-0" N

MILL PARK CLINIC - NEW NARRATIVE

8.04.2021

BLDG CODE DATA

PROJECT DESCRIPTION:
CHANGE OF OCCUPANCY AT BASEMENT LEVEL

APPLICABLE CODES:
2019 OREGON STRUCTURAL SPECIALTY CODE
2019 OREGON FIRE CODE

OCCUPANCY CLASSIFICATIONS:
S-1 STORAGE AREAS -- RECLASSIFIED AS GROUP B OFFICE
B OFFICE AREAS

CONSTRUCTION TYPE: VB

FULLY SPRINKLERED?: NO

BLDG AREA:
NO CHANGE TO EXISTING BLDG AREA

BLDG HEIGHT:
NO CHANGE TO EXISTING BLDG HEIGHT

PLUMBING FIXTURES:
SEE PLUMBING FIXTURE CALCUATIONS, SHEET 2

CODE SUMMARY

THE EXISTING BLDG IS CONSTRUCTION TYPE VB, ONE-STORY WITH BASEMENT, EACH FLOOR APPROXIMATELY 4,750 GSF. THE BUILDING IS USED AS A COUNSELING OFFICE WITH ADDITIONAL OFFICES AND STORAGE IN THE BASEMENT. AS PART OF THIS PROJECT, THE STORAGE SPACE IS CHANGED TO OPEN OFFICE. PERTINENT DATA FOLLOWS:

- PER OSSC SECTION 3410.6 -- CHANGE OF OCCUPANCY CLASSIFICATION, IEBG SECTION 1011: "CHANGE OF OCCUPANCY CLASSIFICATION WITHOUT SEPARATION. WHERE A PORTION OF AN EXISTING BUILDING IS CHANGED TO A NEW OCCUPANCY CLASSIFICATION...THE REQUIRED SEPARATION WILL BE PROVIDED OR THE ENTIRE BUILDING SHALL COMPLY WITH ALL OF THE REQUIREMENTS OF IEBG CHAPTER 9 OF THIS CODE APPLIED THROUGHOUT THE BUILDING FOR THE MOST RESTRICTIVE OCCUPANCY CLASSIFIED IN THE BUILDING..."
- THE EXISTING BUILDING IS ONE-STORY W/ BSMT & IS CLASSIFIED AS MIXED-USE NON-SEPARATED B & S-1 OCCUPANCIES AT THE BASEMENT LEVEL. UNDER THIS PROPOSED RECLASSIFICATION, A PORTION OF THE BASEMENT SPACE WILL CHANGE FROM S-1 TO B OCCUPANCY. THIS WILL CONSTITUTE A CHANGE OF OCCUPANCY FOR THE BUILDING BUT, SINCE THIS WILL NO LONGER BE A MIXED-USE OCCUPANCY, THERE WILL BE NO REQUIREMENT FOR SEPARATION OF OCCUPANCIES.

CODE SUMMARY (CONT'D)

OCCUPANT LOAD ASSESSMENT

- THE PLANS BELOW SHOW THE NEW OCCUPANT LOADS FOR BOTH LEVELS OF THE BUILDING. OCCUPANT LOAD TALLIES ARE SHOWN ON THIS SHEET.
- NUMBER OF EXITS AND EXIT ACCESS DOORWAYS (OSSC SECTION 1006)
 - AT THE BASEMENT LEVEL, THE TOTAL NEW OCCUPANT LOAD IS 65. TWO EXITS (EXISTING) ARE PROVIDED AND NO SINGLE SPACE AT THE BASEMENT LEVEL EXCEEDS AN OCCUPANT LOAD OF 49.
 - AN APPEAL WILL BE REQUIRED TO MAINTAIN THE EXIT CONFIGURATION AS SHOWN. AT OFFICE 008, THE COMMON PATH OF EGRESS TRAVEL DISTANCE EXCEEDS THE CODE-STIPULATED MAXIMUM OF 75 FEET (TABLE 1006.2.1.)
- CORRIDORS VS. HALLWAYS (OSSC SECTION 1020.1)
 - A CORRIDOR WITH A FIRE-RESISTANCE RATING OF 1 HOUR (FIRE PARTITIONS PER SECTION 708) IS REQUIRED WHERE OCCUPANT LOAD SERVED BY THAT CORRIDOR EXCEEDS 30.

EGRESS ASSESSMENT

- SEE SHEET 2 FOR EGRESS PLANS AND ANALYSIS

PLUMBING FIXTURE CALCULATIONS

- SEE SHEET 2 FOR PLUMBING FIXTURE CALCULATIONS

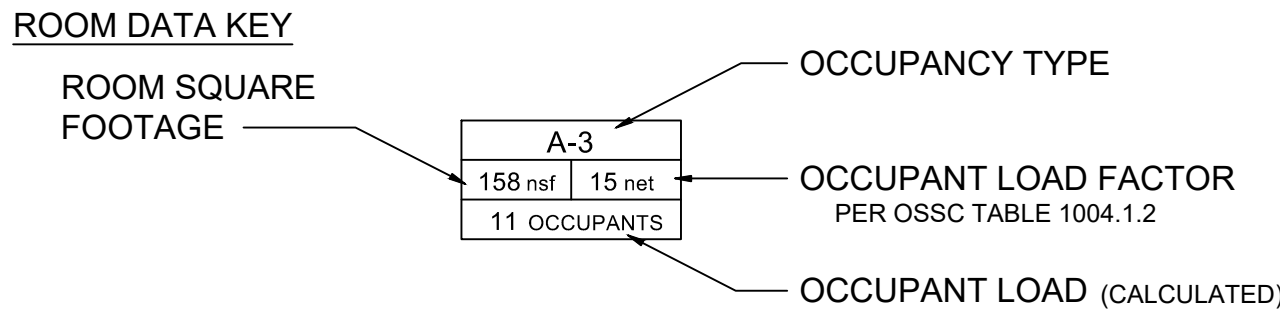
FLOOR AREA CALCULATIONS

MAIN FLOOR	
GROSS BUILDING FOOTPRINT	4,742 SF
- LESS SHAFTS, VERTICAL CIRCULATION COMPONENTS, AND VESTIBULES	(386)
TOTAL GROSS FLOOR AREA	4,356 SF
BASEMENT LEVEL	
GROSS BUILDING FOOTPRINT	4,727 SF
- LESS SHAFTS, VERTICAL CIRCULATION COMPONENTS, AND VESTIBULES	(251)
TOTAL GROSS FLOOR AREA	4,476 SF

CALCULATED OCCUPANT LOADS

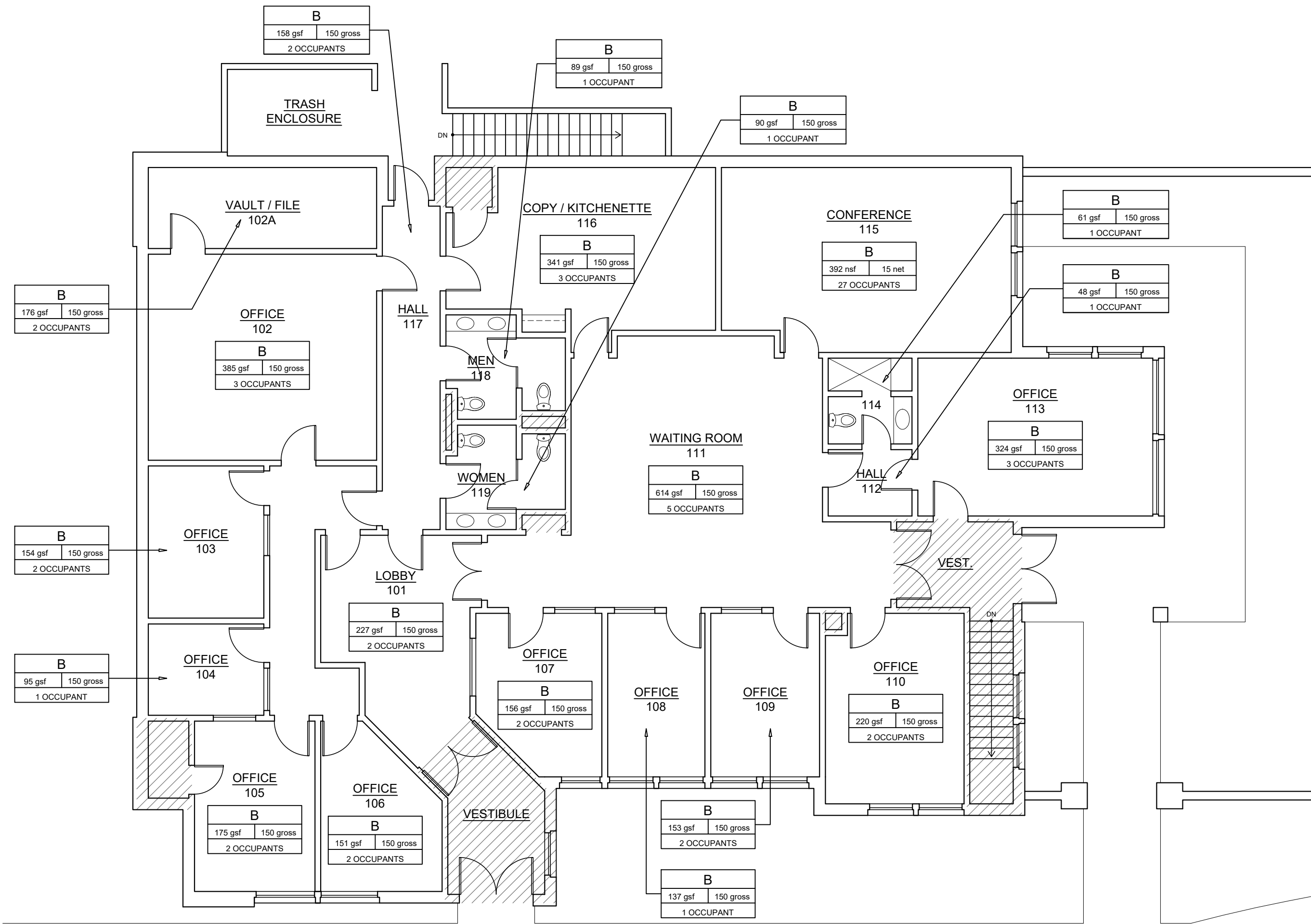
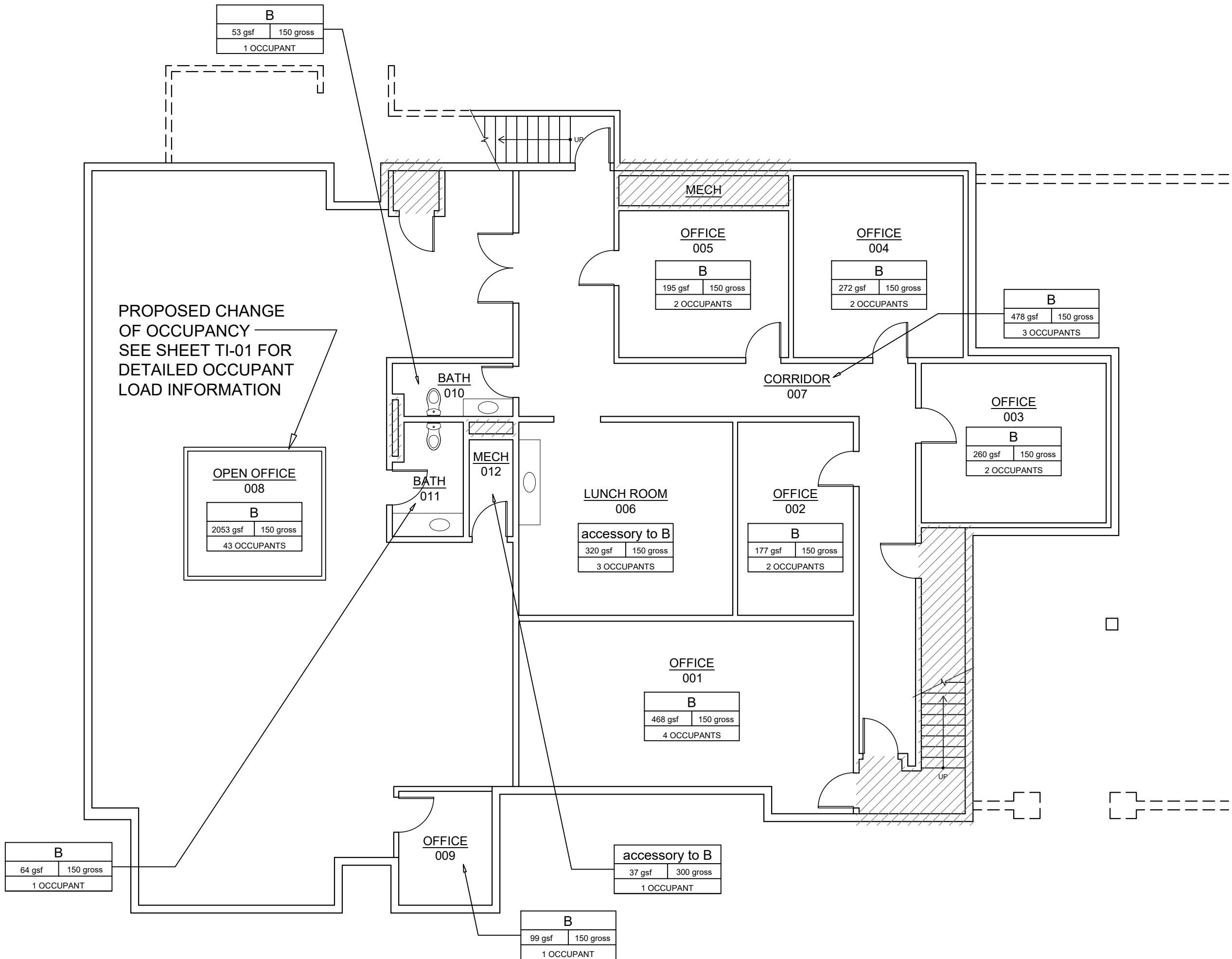
MAIN FLOOR	
SPACES 101-114	31
CONFERENCE 115	27
SPACES 116-119	7
	65 OCCUPANTS
BASEMENT LEVEL	
SPACES 001-007	18
OPEN OFFICE 008	43
SPACES 009-012	4
	65 OCCUPANTS

LEGEND - OCCUPANT LOAD PLANS

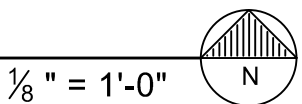


SYMBOLS

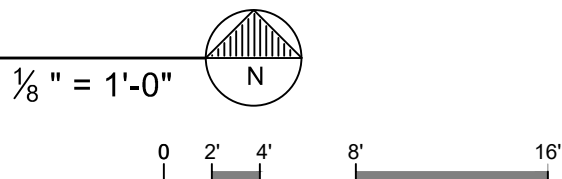
UNFACTORED AREA FOR GROSS SQUARE FOOTAGE CALCUATIONS (SHAFTS, VERTICAL CIRCULATION COMPONENTS, VESTIBULES)



2 BASEMENT FLOOR PLAN + OCCUPANT LOADS



1 MAIN FLOOR PLAN + OCCUPANT LOADS



RESOLVE

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PROJ #: 21-06

MILL PARK CENTER
1952 SE 122ND AVENUE
PORTLAND, OR 97233
NEW NARRATIVE

REV:

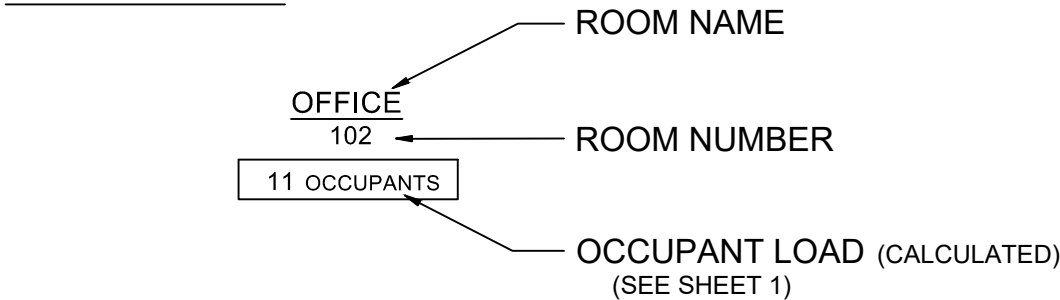
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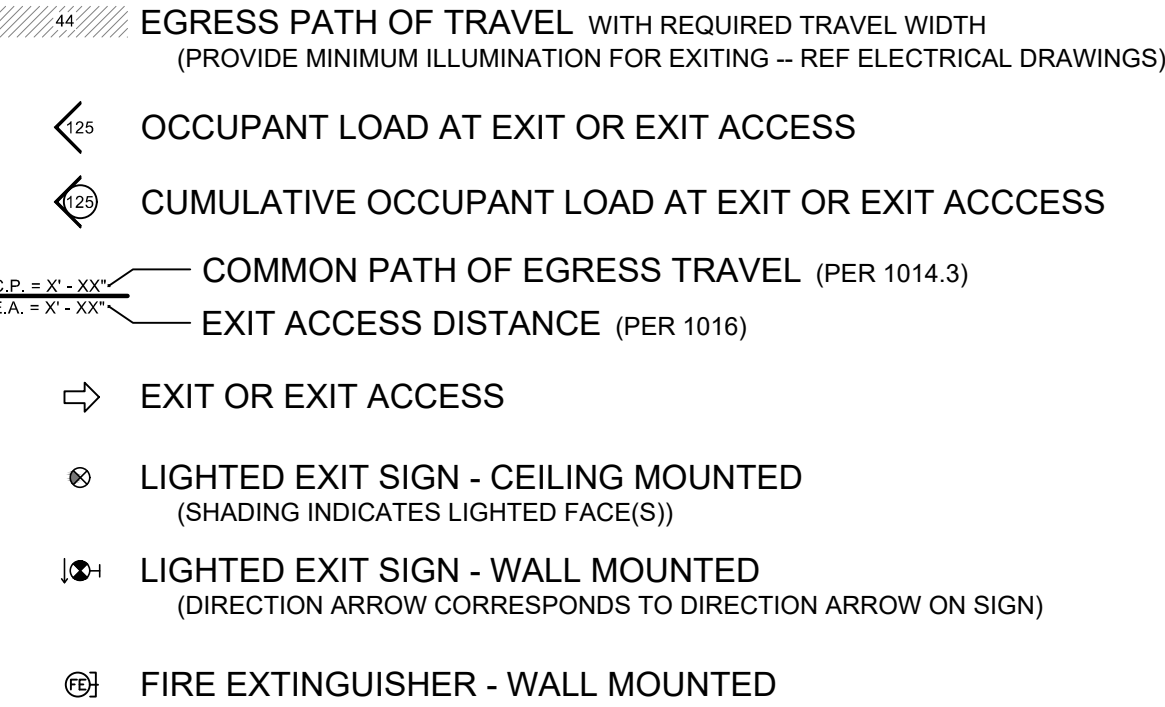
sheet size: 22" x 34"

LEGEND - EGRESS PLAN

ROOM DATA KEY



SYMBOLS



CODE SUMMARY (CONT'D FROM SHEET 1)

EGRESS ASSESSMENT

- AT THE MAIN FLOOR, ALL EXIT ACCESS DOORS SWING IN THE DIRECTION OF TRAVEL. AT THE BASEMENT LEVEL, THE TOTAL NUMBER OF OCCUPANTS SERVED IS LESS THAN 50 AND, THEREFORE, DOORS DO NOT NEED TO SWING IN THE DIRECTION OF TRAVEL (OSSC 1010.1.2.1.)
- CORRIDOR WIDTH (BASEMENT LEVEL) -- MINIMUM CORRIDOR WIDTH IS 36 INCHES PER TABLE 1020.2. EXISTING CORRIDOR WIDTH IS 54 INCHES.
- TRAVEL DISTANCES
 - THE TOTAL ALLOWABLE EXIT ACCESS TRAVEL DISTANCE IS 200 FEET (OSSC TABLE 1017.2) FOR GROUP B OCCUPANCIES THAT ARE NON-SPRINKLERED.
 - WITH THE PROPOSED CHANGE OF OCCUPANCY AT THE BASEMENT LEVEL, THE MAXIMUM COMMON PATH OF EGRESS TRAVEL DISTANCE (OSSC TABLE 1006.2.1) IS 75 FEET.
 - NOTE: THE MAXIMUM COMMON PATH OF TRAVEL DISTANCE IS EXCEEDED FOR OPEN OFFICE 008. REMEDIATION OR AN APPROVED APPEAL WILL BE REQUIRED.
- THE MAXIMUM COMMON PATH OF TRAVEL AT THE MAIN FLOOR IS ALSO 75 FEET.

PLUMBING FIXTURE CALCULATIONS

- PLUMBING FIXTURE CALCULATIONS SHOW THAT, BASED ON CALCULATED OCCUPANT LOADS AND REQUIREMENTS OF OSSC TABLE 2902.1, THE FACILITY COMPLIES WITH CODE REQUIRED MINIMUMS.

INTERIOR ENVIRONMENT -- VENTILATION (OSSC SECTION 1202)

- MECHANICAL VENTILATION, IN ACCORDANCE WITH THE MECHANICAL CODE, MAY BE PROVIDED IN LIEU OF NATURAL VENTILATION.

PLUMBING SYSTEMS

MINIMUM PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)

SPACE/ OCCUPANCY	OCC. LOAD	WATER CLOSETS		URINALS	LAVATORIES			BATHTUBS/ SHOWERS	DRINKING FOUNTAINS
		M	F	M	M	F		U	U
MAIN FLOOR - /B	130	3	3	0	2	2		-	-

CALCULATIONS

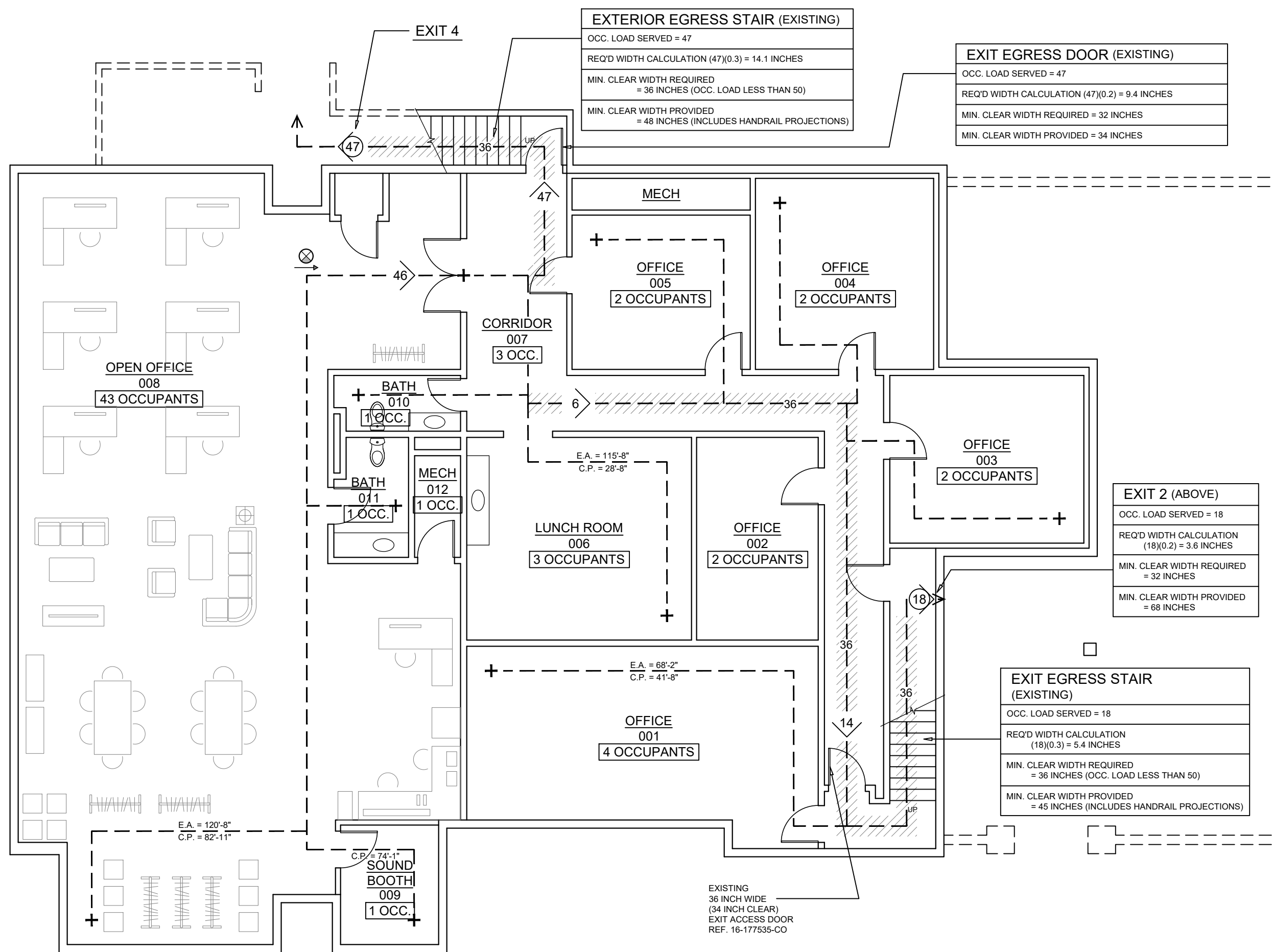
WATER CLOSETS				LAVATORIES			
MAIN FLOOR + BASEMENT LEVEL (B - OFFICE)				MAIN FLOOR + BASEMENT LEVEL (B - OFFICE)			
M WC	$\frac{1}{25}$ occ. (first 50)	$\frac{50}{25} = 2.00$		M Lavs	$\frac{1}{40}$ occ. (first 80)	$\frac{80}{40} = 1.63$	$\rightarrow 2$ Lavs REQ'D
	$\frac{1}{50}$ occ. (remainder)	$\frac{150}{50} = 0.30$					
		2.30	$\rightarrow 3$ WCs REQ'D				
W WC	$\frac{1}{25}$ occ. (first 50)	$\frac{50}{25} = 2.00$		W Lavs	$\frac{1}{40}$ occ. (first 80)	$\frac{80}{40} = 1.63$	$\rightarrow 2$ Lavs REQ'D
	$\frac{1}{50}$ occ. (remainder)	$\frac{150}{50} = 0.30$					
		2.30	$\rightarrow 3$ WCs REQ'D				

PLUMBING FIXTURES PROVIDED

SPACE/ OCCUPANCY	WATER CLOSETS			URINALS	LAVATORIES			BATHTUBS/ SHOWERS	DRINKING FOUNTAINS
	M	F	U	M	M	F	U	U	U
MAIN FLOOR / B	2	2	1	0	2	2	1	1	0
BASEMENT / B	0	0	2	0	0	0	2	0	0
TOTAL / B	2	2	3	0	2	2	3	0	0

7 WCs PROVIDED

7 Lavs PROVIDED



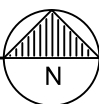
2 BASEMENT FLOOR PLAN -- EGRESS

$\frac{1}{8}" = 1'-0"$



1 MAIN FLOOR PLAN -- EGRESS

$\frac{1}{8}" = 1'-0"$



0 2' 4' 8' 16'

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2