Development Services

From Concept to Construction







APPEAL SUMMARY

Status: Decision Rendered	
Appeal ID: 24981	Project Address: 925 NW Davis St
Hearing Date: 7/14/21	Appellant Name: Nathan Arnold
Case No.: B-003	Appellant Phone: 5034388113
Appeal Type: Building	Plans Examiner/Inspector: N/A
Project Type: commercial	Stories: 1 Occupancy: B Construction Type: III-B
Building/Business Name:	Fire Sprinklers: No
Appeal Involves: Alteration of an existing structure	LUR or Permit Application No.:
Plan Submitted Option: pdf [File 1]	Proposed use: Dog daycare

APPEAL INFORMATION SHEET

Appeal item 1

Code Section	OSSCC exception 1004.5, 2902.1	
Requires	The only occupant calculation available for a dog daycare is "B" Business. We are required to use	

the IBC occupant load for business throughout the daycare, and assembly in the breakroom and lobby to calculate the total occupants in the Daycare. This occupant number is to be used for the plumbing fixture calculation, divided equally between men and women.

In this project: Calculated as a Business Occupancy 5,920SF @150 Gross = 40 Occupants. (20 male and 20 Female)

We would be required to provide (2) Water Closets and (2) Lavatories

Code Modification or Allow single water closet based on actual occupancy. Alternate Requested

Proposed Design

We request a deviation from the IBC occupancy calculation to provide (1) single-occupancy restroom based on the actual occupancy that the business will experience. This is under the IBC exception 1004.1.2, which would allow the occupancy load to be a fixed maximum, rather than

In this project: We're requesting to provide (1) single-occupancy restroom based on the maximum overall occupancy space will encounter= 24 people (12 men, 12 women).

We propose providing 1 water closet, 1 lavatory, based on actual occupancy we will experience.

Reason for alternative A dog daycare is used differently than other businesses. We're requesting to provide singleoccupancy restrooms based on the overall occupancy the space will encounter. This facility is primarily occupied by dogs as it is a dog daycare business. In fact, the facility is 50% - 60% dog playroom space which the public is forbidden access to. The average occupancy at a Dogtopia during the normal course of business will not exceed (14) people.

Below is a breakdown of the occupancy derived from (61) current Dogtopia locations across the country:

Staff: 5 - 9 employees at any one time, more often there will be (7) members or less.

Customers: the entirety of the customers will be coming in to drop off or pick up their pet spending less than 5-10 minutes inside the building. Because of this there will rarely if ever be more than (5) customers at any given time on the premises.

APPEAL DECISION

Reduction in occupant load for determination of minimum number required plumbing fixtures based on actual use and occupant load: Granted as proposed for this tenant and use.

The Administrative Appeal Board finds that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 90 calendar days of the date this decision is published. For information on the appeals process, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.



925 NW DAVIS STREET PORTLAND, OR 97209

REQUIRED VENDORS LIST SCOPE

INTERIOR BUILD OUT OF AN EXISTING SPACE INTO A DOG DAYCARE. DAYCARE CENTER WILL PROVIDE OVER-NIGHT BOARDING OF DOGS, CLASSIFYING THIS AS A "KENNEL" (BUSINESS). INTERIOR IMPROVEMENTS INCLUDE A RECEPTION AREA, RESTROOM, BREAK ROOM, DOG PLAY ROOMS, EVALUATION ROOMS, UTILITY CLOSETS AND DOG SPA BATHING ROOM AND LAUNDRY ROOM.

DEFERRED SUBMITTALS (BY OTHERS)

- EXTERIOR SIGNAGE

- FIRE ALARM

LIFE SAFETY SUMMARY

FIRE ALARM IS REQUIRED. G.C. TO SUPPLY AND INSTALL FIRE ALARM SYSTEM. G.C. TO COORDINATE MONITORING REQUIREMENTS WITH THE LANDLORD, ARCHITECT, AND LOCAL AUTHORITY HAVING JURISDICTION.

ARCHITECT CONTACT

PROJECT MANAGER: SARAH MORAN

EMAIL: SARAH.MORAN@CESOINC.COM

ALL OF THE SUBCONTRACTORS QUOTING ON THEIR SPECIFIC SCOPE OF WORK/SERVICES TO CONTACT THE LOCAL

SERVICES/WORK WILL BE PERFORMED, THIS SPECIFIC USE AND THE IDIOSYNCRASIES ASSOCIATED WITH THE LIFE,

SAFETY AND HEALTH ASSOCIATED WITH THIS WORK AND TO INDICATE ON THE QUOTE ANY ITEMS REQUIRED THAT

BOTH THE LANDLORD AND THE TENANT'S GENERAL CONTRACTOR ARE REQUIRED TO HAVE ALL SUBCONTRACTORS

REVIEW THESE NOTES PRIOR TO BIDDING AND TO FAMILIARIZE ALL PERSONS AND SUBCONTRACTORS WORKING ON THIS PROJECT WITH THESE GENERAL NOTES AND THE CONTRACT DOCUMENTS NOTED, LANDLORD'S DESIGN CRITERIA (IF APPLICABLE) AND THE EXECUTED LEASE AGREEMENT BETWEEN LANDLORD AND TENANT. ANY

DISCREPANCY BETWEEN THESE CONTRACT DOCUMENTS AND THE LEASE OR DESIGN CRITERIA INFORMATION IS TO BE REPORTED TO TENANT'S ARCHITECT PRIOR TO THE START OF ANY WORK. BOTH GENERAL CONTRACTORS SHALL

BE RESPONSIBLE FOR FULLY ACQUAINTING THEMSELVES WITH THE CONTENT AND SCOPE OF THESE DOCUMENTS.

WORK DECLARED UNACCEPTABLE BY THE TENANT AND LANDLORD SHALL BE CORRECTED IN A MANNER AND TO A

OR THE TENANT, FOR THIS PROJECT. THIS CONTRACTOR TO BE FAMILIAR WITH THE SITE WHERE SUCH

BUILDING DEPARTMENT/AGENCY TO DISCUSS CODE ISSUES / IDIOSYNCRASIES REGARDING THEIR SERVICES AND THE

QUOTE ASSOCIATED WITH THE SERVICES TO THE GENERAL CONTRACTOR, WHETHER WORKING FOR THE LANDLORD

CESO, INC.

CONTRACTOR SHALL CONTACT DOGTOPIA FOR THE OFFICIAL DOGTOPIA BID PACKAGE.

ARE NOT NECESSARILY SHOWN ON THE DRAWINGS/SPECIFICATIONS.

DEGREE OF QUALITY AS ACCEPTABLE BY THE TENANT AND LANDLORD.

MIAMISBURG, OH 45342

FIRE ALARM NOTES

PROJECT DIRECTORY

6245 NORTH 24TH PARKWAY, SUITE 210 3601 RIGBY RD., SUITE 300

DOGTOPIA CONTACT

MEP CONTACT

2012 WEST 25TH STREET, SUITE 200

BIDDING NOTES

DOGTOPIA SUPPORT OFFICE

CONTACT: LISA GOUBEAUX

PHOENIX, AZ 85016

WHS ENGINEERING

T: (216) 227-8505

CLEVELAND, OHIO 44113

DIRECTOR OF DESIGN

LISAG@DOGTOPIA.COM

NOTE: FIRE ALARM VENDOR SHALL CLEARLY LABEL THE FIRE ALARM CONTROL PANEL IN THE FIELD

APPROVED PANELS: FIRE-LITE

MODEL #'S ES-50X. EX-200X

SILENT KNIGHT MODEL #'S SK6700, SK808

NOTE: FIRE ALARM MONITORING IS VIA HARD PHONE LINE.

RUBBER FLOORING LVT ON DECK SPORTS ROPPE - TUFLEX MODERN SURFACE CONTACT: KRISTY NASH **CONTACT: NICOLE OULETTE CONTACT: LOUIS ZANINE** T: (602) 451-2063 T: (508) 408-4573 T: (419) 619-5766 EMAIL: nicole@ondecksports.com EMAIL: louis.zanine@modernsurface.com PRAETORIAN FORTIUS SEALER (REQ.) CONTACT: DEAN JACOBSON T: (952) 895-6962 EMAIL: sales@goppf.com

POTTY PLATFORM TURF TILE **OUTDOOR TURF** ON DECK SPORTS DALTILE FOREVER LAWN CONTACT: MATT KOVACIC CONTACT: ALLISON BIRKMEYER **CONTACT: NICOLE OULETTE** T: (330) 499-8873 T: (704) 989-3211

T: (508) 408-4573 EMAIL: allison.birkmeyer@daltile.com EMAIL: matt@foreverlawn.com EMAIL: nicole@ondecksports.con ACROVYN & **FENCE** FRP-1 & FRP-2 CORNER GUARDS WEATHERABLES CRANE COMPOSITES **CONSTRUCTION SPECIALTIES**

CONTACT: JEFF TOLLE CONTACT: MIKE CAVELL CONTACT: KYIAN HEDRICK T: (888) 743-3673 / (614) 345-0426 T: (815) 274-9125 T: (425) 229-3479 T: (614) 771-4806 EMAIL: KYHEDRICK@c-sgroup.com EMAIL: jtolle@cranecomposites.com EMAIL: MCavell@weatherables.cor **SUITES MILLWORK**

EMAIL: rihde@snydermfg.com EMAIL: semlers@wilsonart.com DOG TUBS **FIXTURES CEILING TILE NEW BREED TUB** GLOBAL INDUSTRIES ARMSTRONG

T: (888) 278-7039

ENERGYWISE

GC

LIGHTING

INSTALLED BY

CONTACT: SHEILA SEMLER

ACCOUNT NAME: DOGTOPIA

HVAC HVAC UV LIGHT STERIL-AIRE CONTACT: GEOFF CORNWELL CONTACT: KARL OELKER

WILSON ART

T: (303) 809-9673

T: 1 (800) 442-4212

CONTACT: Jennifer Van Kerkhove T: (612) 859-4242 jennifer@energywisemail.com EMAIL: koelker@steril-aire.com CONTACT: Scott Van Kerkhove scott@energywisemail.com NOTE: SUBSTITUTE PRODUCTS -OR-

OWNER PROVIDED ITEMS

ITEM

EQUIPMENT

SNYDER MANUFACTURING CO

WWW.GLOBALINDUSTRIAL.COM

CONTACT: RALPH IHDE

T: (800) 231-3538

CONTACT: MIKE PEREZ

SALES@NORBRYHN.COM

CHEMICAL MIXING UNITS

T: (208) 465-5700

T:(800) 631-4101 (EXT. 30)

ITEMS NOT NOTED BELOW ARE PROVIDED AND INSTALLED BY G.C.

ALTERNATES TO THOSE SPECIFIED

ON PLANS WILL **NOT** BE ACCEPTED

	HYDRAULIC GROOMING TABLE	GC		
	NEST CAMERAS			VENDOF
	OFFICE SAFE	GC		
	GROOMING KENNELS	GC		
	SECURITY MONITOR		OWNER	
	WEB CAM MONITOR		OWNER	
	DIGITAL MENU SCREENS			VENDO
	WALL MOUNTED DISPLAY MONITOR			VENDO
	TREAT MACHINE	GC		
STRUCTURAL CONTACT				
	FURNITURE			
WHS ENGINEERING 2012 WEST 25TH STREET, SUITE 200 CLEVELAND, OHIO 44113	PLAYROOM DOG CRATES		OWNER	
	MANAGER DESK		OWNER	
T: (216) 227-8505	MANAGER CHAIR		OWNER	
	RECEPTION CHAIRS		OWNER	
	CIONACE			
	SIGNAGE			
	WALL GRAPHICS			VENDO
	WINDOW FILM WITH GRAPHICS			VENDO
	EXTERIOR "DOGTOPIA" BUILDING SIGNAGE			VENDO
	INTERIOR 3M WINDOW FILM	GC		
			1	1

CONTRACTOR TO PROVIDE A 20' SECURE STORAGE CONTAINER (CONEX BOX) AT THE JOBSITE FOR THE DURATION OF THE PROJECT. SEE SHEET A.02

CODE AND BUILDING DATA

APPLICABLE CODES

THE BUILDING DESIGN SHALL COMPLY WITH THE FOLLOWING CODES 2018 INTERNATIONAL BUILDING CODE WITH LOCAL AMENDMENTS

MECHANICAL 2019 OREGON MECHANICAL SPECIALTY CODE BASED ON 2018 INTERNATIONAL MECHANICAL CODE 2017 OREGON ELECTRICAL SPECIALTY CODE, BASED ON 2017 NFPA, NEC 2021 OREGON PLUMBING SPECIALTY CODE, BASED ON 2021 UNIFORM PLUMBING CODE ENERGY 2019 OREGON ZERO ENERGY, ASHRAE STANDARD 90.1

2018 INTERNATIONAL FIRE CODE WITH LOCAL AMENDMENTS ACCESSIBILITY 2009 ANSI 117.1 AMERICAN NATIONAL STANDARD

USE and OCCUPANCY CLASSIFICATION:

CONSTRUCTION CLASSIFICATION (TYPE)

VB (ASSUMED) - (NON-SPRINKLERED) FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS STRUCTURAL FRAME: 0 HOURS INTERIOR NONBEARING WALLS: **EXTERIOR BEARING WALLS:** 0 HOURS FLOOR CONSTRUCTION: 0 HOURS INTERIOR BEARING WALLS/ COLUMNS: 0 HOURS ROOF CONSTRUCTION: 0 HOURS

• SEISMIC CLASS: D

B - BUSINESS

ALLOWABLE HEIGHT and BUILDING AREAS:

TENANT SPACE AREA: 6,050 SQ.FT. (NO CHANGE TO EXISTING BUILDING AREA) ALLOWABLE HEIGHT: 75'-0" ACTUAL HEIGHT:

OCCUPANT LOAD:

ACTUAL INTERIOR AREA TENANT / OCC: 5,730 SQ. FT. / 150 GROSS = 39 OCCUPANTS

ANTICIPATED AVERAGE OCCUPANT LOAD FOR DOGTOPIA: 14 FROM HISTORICAL DATA

EGRESS REQUIREMENTS

39 OCC. x 0.20 = 7.8" (32" MIN) (2) EXITS @ 33" = 66" PROVIDED EGRESS WIDTH REQUIRED EXIT ACCESS TRAVEL DISTANCE:

PROVIDED EXIT ACCESS TRAVEL DISTANCE: LESS THAN 200' MIN. NUMBER OF EXITS REQUIRED / PROVIDED: 2 EXITS REQUIRED /2 EXITS PROVIDED LOWABLE COMMON PATH OF TRAVEL 100' MAX PROVIDED COMMON PATH OF TRAVEL: LESS THAN 100'

PLUMBING FIXTURE REQUIREMENTS:

1 PER 25 FOR THE FIRST 50 WATER CLOSETS: 1 PER 40 FOR THE FIRST 80 LAVATORIES: OCCUPANCY LOAD VARIANCE REQUEST

HISTORICALLY DOGTOPIA FACILITIES OF THIS SIZE DO NOT EXPECT TO EXCEED 14 PEOPLE

DOGTOPIA IS REQUESTING A DEVIATION FROM THE LIBCLOCCUPANCY CALCULATION TO PROVIDE SINGLE OCCUPANCY RESTROOMS BASED ON THE ACTUAL OCCUPANCY THAT THE BUSINESS WILL EXPERIENCE. THIS FACILITY IS PRIMARILY OCCUPIED BY DOGS AS IT IS A DOG DAYCARE BUSINESS. IN FACT, THE FACILITY IS 50% - 60% DOG PLAYROOM SPACE WHICH THE PUBLIC IS FORBIDDEN ACCESS TO. WE REQUEST TO EXERCISE THE IBC 1004.1.2 EXCEPTION, THAT WOULD ALLOW THE OCCUPANCY LOAD TO BE A FIXED MAXIMUM, RATHER THAN CALCULATED.

DOGTOPIA IS REQUESTING TO PROVIDE SINGLE OCCUPANCY RESTROOMS BASED ON THE OVERALL OCCUPANCY THE SPACE WILL ENCOUNTER. THE AVERAGE OCCUPANCY AT A DOGTOPIA DURING THE NORMAL COURSE OF BUSINESS WILL NOT EXCEED (14) PEOPLE. BELOW IS A BREAKDOWN OF THE OCCUPANCY DERIVED FROM (61) CURRENT DOGTOPIA LOCATIONS ACROSS THE COUNTRY:

STAFF: 5 - 9 EMPLOYEES AT ANY ONE TIME, MORE OFTEN THERE WILL BE (7) EMPLOYEES OR LESS.

CUSTOMERS: THE ENTIRETY OF THE CUSTOMERS WILL BE COMING IN TO DROP OFF OR PICK UP THEIR PET SPENDING LESS THAN 5-10 MINUTES INSIDE THE BUILDING. BECAUSE OF THIS THERE WILL RARELY IF EVER BE MORE THAN (5) CUSTOMERS AT ANY GIVEN TIME ON THE PREMISES.

CODE NOTES

- 1. ALL FINISHES TO BE AS NOTED AND SHALL NOT HAVE SMOKE DEVELOPED RATINGS GREATER THAN 450.
- INTERIOR FINISHES OF WALLS AND CEILINGS IN ALL ROOMS OR ENCLOSED SPACES SHALL HAVE A CLASS C FLAME SPREAD INDEX 76-200; SMOKE DEVELOPED INDEX 0-450. INTERIOR FINISHES OF EXIT ENCLOSURES AND EXIT PASSAGEWAYS SHALL HAVE A CLASS B FLAME SPREAD INDEX 26-75; SMOKE DEVELOPED INDEX 0-450. ASTM E 84. IFC TABLE 803.3.
- MATERIALS USED AS INTERIOR TRIM SHALL HAVE A MINIMUM CLASS C FLAME SPREAD AND SMOKE DEVELOPED INDEX AND SHALL COMPLY WITH ASTM E 84. COMBUSTIBLE TRIM SHALL NOT EXCEED 10% OF THE AGGREGATE WALL OR CLG. ARE IN WHICH IT IS LOCATED. IFC 804
- INTERIOR WALL AND CEILING FINISHES SHALL COMPLY WITH NFPA 286 TESTING MEASURES. INTERIOR FLOOR FINISHES SHALL COMPLY WITH NFPA 253 WITH A CLASS 2 CRITICAL RADIANT FLUX > 0.22 WATTS / CM2. FLOOR FINISHES IN EXIT / ACCESS CORRIDORS SHALL BE CLASS 1 CRITICAL RADIANT FLUX > 0.45 WATTS / CM2.
- INTERIOR FINISH MATERIALS SHALL BE APPLIED SO THAT THEY WILL NOT BECOME READILY DETACHED WHERE SUBJECTED TO 200 DEGREES F. FOR NOT LESS THAN 30 MINUTES. IFC 803.2.
- THE REQUIRED FLAME SPREAD OR SMOKE DEVELOPED INDEX OF SURFACES IN EXISTING BUILDINGS MAY BE ACHIEVED BY APPLICATION OF APPROVED FIRE RETARDANT COATINGS AND SHALL COMPLY WIHT NFPA 703. IFC
- FIRE EXTINGUISHERS SHALL BE LOCATED AT THE DIRECTION OF THE FIRE DEPARTMENT, PROVIDED & INSTALLED BY GENERAL CONTRACTOR

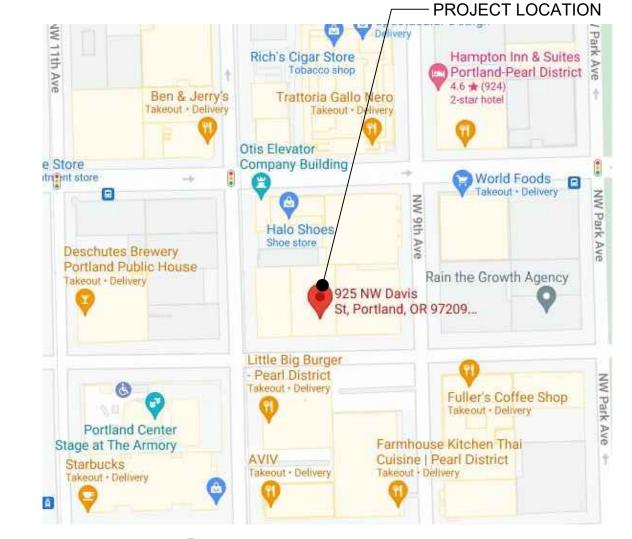
PROJECT INFORMATION A0.0 **COVER SHEET** ARCHITECTURAL VICINITY MAP / LIFE SAFETY PLAN **DEMOLITION** DEMOLITION PLAN D1.0 **ARCHITECTURAL** A0.2 **GENERAL NOTES** A0.3 **SPECIFICATIONS** PHONE: (937) 435-8584 FAX: (937) 435-33 A1.1 FLOOR PLAN A1.2 FIXTURE PLAN A1.3 FINISH PLAN A1.3A FINISH PLAN DETAILS / SCHEDULES A2.0 REFLECTED CEILING PLAN **EXTERIOR ELEVATIONS** WALL TYPES AND DETAILS **RESTROOM DETAILS** SPA DETAILS A4.2 MULTI-PURPOSE ROOM DETAILS A4 3 A4.4 LOBBY DETAILS A5.0 DOOR SCHEDULE AND DETAILS **STRUCTURAL** S0.1 **GENERAL NOTES** FOUNDATION PLAN, SECTIONS AND DETAILS S1.0 **MECHANICAL** MECHANICAL PLAN M1.0 M2.0 MECHANICAL SCHEDULES MECHANICAL DETAILS M3.1 MECHANICAL DETAILS M5.0 MECHANICAL SPECIFICATIONS **PLUMBING** P1.0 WASTE & VENT PLAN WATER & GAS PLAN PLUMBING DETAILS P3.1 PLUMBING SCHEDULES PLUMBING ISOMETRIC PLUMBING SPECIFICATIONS P4.0 **ELECTRICAL ELECTRICAL SPECIFICATIONS** E0.1 ELECTRICAL SPECIFICATIONS ELECTRICAL SPECIFICATIONS E0.3 **PROVIDED** LOW VOLTAGE SPECIFICATIONS **POWER PLAN** E1.1 LIGHTING PLAN LIGHTING CONTROLS & DETAILS PANEL SCHEDULES & ONE-LINE DIAGRAM NOTES, DETAILS & SYMBOL LEGEND E2.2

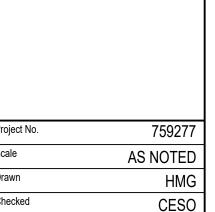
DRAWING NAME

SITE VICINITY MAP

LIST OF DRAWINGS

SHEET NO.





925 NW DAVIS STREE PORTLAND, OR 97209

3601 RIGBY ROAD, SUITE 300,

MIAMISBURG, OH 45342

07/09/2021

PERMIT

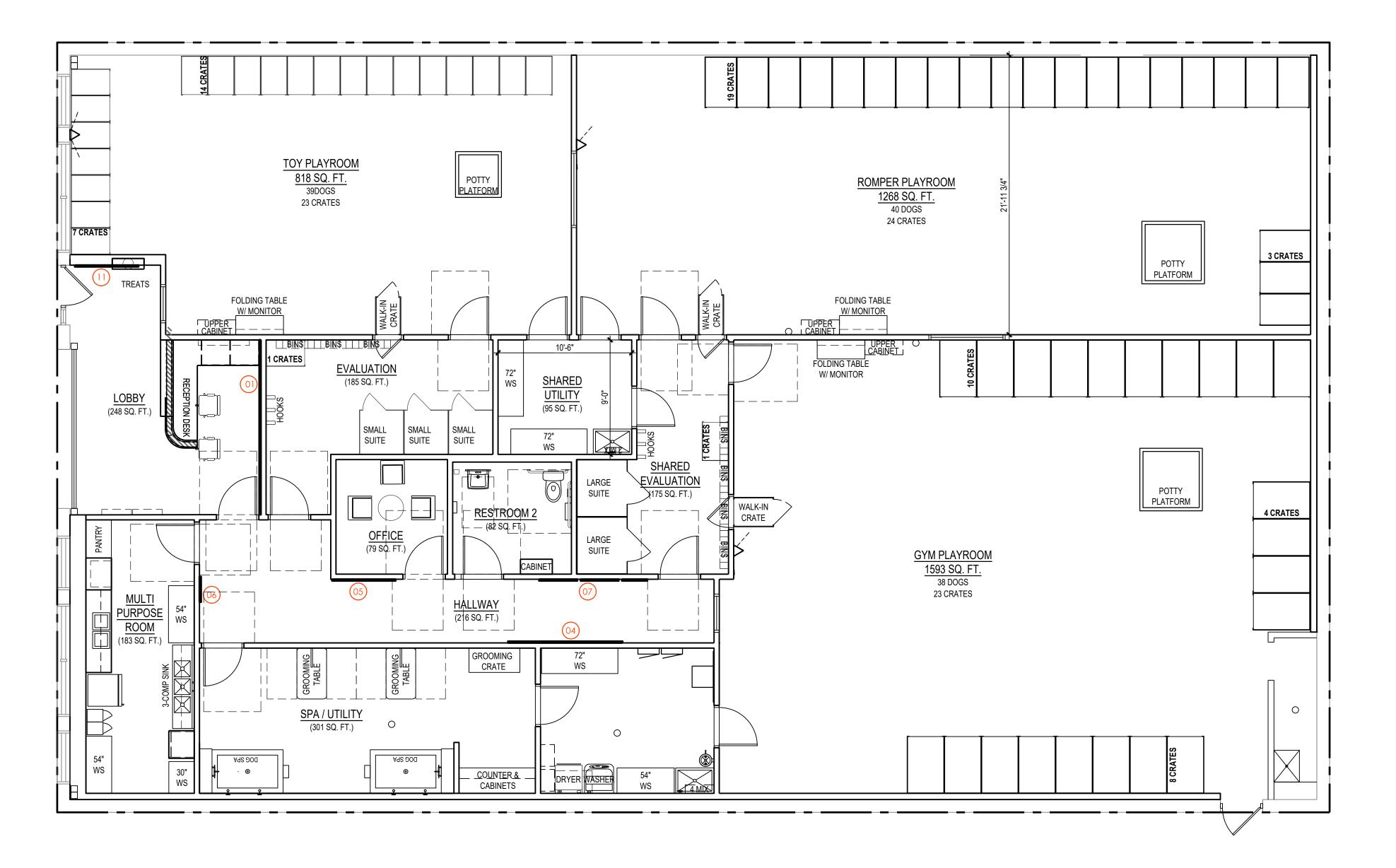
COVER SHEET

Drawing No. A0.0

Drawing Title

SITE VICINITY MAP SCALE: NTS

DAYCARE DATA		FINAL SCHEMATIC APPROVAL
Total Daycare Center	Area = 6050 SQ. FT.	INITIAL
Playroom Areas		
Toy = 818 SQ. FT.		INITIAL
Romper = 1268 SQ. FT.		INITIAL
Gym = 1593 SQ. FT.		INITIAL
Total = 3,699 SQ. FT.		
Efficiency		
% (Playroom Areas/ Total Area) = 61.14%		INITIAL
Suites?	YES ● NO ○	INITIAL
Outdoor Play Area?	YES ○ NO ●	INITIAL
Potty Platforms?	YES ● NO ○	INITIAL
#Spa Tubs	1 0 2 •	INITIAL
FRP In Hallway?	YES ● NO ○	INITIAL
Restroom Required?	1 • 2 0	INITIAL
		SIGN & DATE



SCHEMATIC LAYOUT

SCALE: 3/16" = 1'-0"



925 NW DAVIS STREET PORTLAND, OR 97209

dogtopia.

 Project No.
 759277

 Scale
 AS NOTED

 Drawn
 CESO

 Checked
 CESO

 Date
 06/16/2021

 Issue
 SCHEMATIC

 Drawing Title

SCHEMATIC LAYOUT

No. **V3.0**

W:\PRQ.IECTS\DOGTOPIA\759277-Portland_OR\02-BI_DG\DWG\X_BASE-schematic_AK_6/16/2021_3:55:27_PM