

Development Services
From Concept to Construction

Phone: 503-823-7300 Email: bds@portlandoregon.gov 1900 SW 4th Ave, Portland, OR 97201
More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



APPEAL SUMMARY

Status: Decision Rendered

Appeal ID: 24872	Project Address: 919 SW Taylor St
Hearing Date: 5/19/21	Appellant Name: Dan Petrescu
Case No.: B-001	Appellant Phone: 5034845428
Appeal Type: Building	Plans Examiner/Inspector: Preliminary
Project Type: commercial	Stories: 10 Occupancy: Group B Construction Type: Type II-B
Building/Business Name: Studio Building	Fire Sprinklers: Yes - existing building is fully sprinklered
Appeal Involves: Alteration of an existing structure	LUR or Permit Application No.: Preliminary - pre-permit application submittal
Plan Submitted Option: pdf [File 1]	Proposed use: Group B (existing, no change)

APPEAL INFORMATION SHEET

Appeal item 1

Code Section ASHRAE 90.1 - Section 3 Definitions

Requires In Section 3 - Definitions, ASHRAE defines a "roof" as:
"Upper portion of the building envelope, including opaque areas and fenestrations, that is horizontal and tilted at an angle of less than 60 degrees from horizontal."

Code Modification or Alternate Requested Confirm that the upper level exterior tilted walls of the Studio Building are classified as a "wall" not a "roof" based on the definition for "roof".

Proposed Design The owner is proposing a building repair - to replace the existing metal standing seam panels at the upper level tilted walls with new metal standing seam panels. The existing upper level exterior tilted walls were designed to appear as a roof. However, they are tilted wall because the vertical surfaces are greater than 60 degrees from vertical.

Reason for alternative With this appeal we are requesting confirmation that the exterior surfaces with tilt greater than 60 degrees from vertical be classified as a "wall" not a "roof".

We are not asking for an alternative, we are asking for confirmation of this ASHRAE section.

Appeal item 2

Code Section ASHRAE 90.1 - Section 5.1.3 - Envelope Alterations

Requires "Alterations to the building envelope need to comply with the requirements of Section 5 for insulation....applicable to those specific portions of the building that are being altered"

Exception to Section 5.1.3 - Envelope Alterations

Exception 4 - The following need not comply with these requirements provided such alterations will not increase the energy use of the building.

"Alterations to walls and floors, where the existing structure is without framing cavities and no new framing cavities are created"

Code Modification or Alternate Requested No proposed alternate. We are asking that this exception applies to our project.

Proposed Design The owner is proposing a building repair - to replace the existing metal standing seam panels at the upper level tilted walls with new metal standing seam panels because the existing metal panels are deteriorated. The existing upper level exterior tilted walls are "walls" because the vertical surfaces of the top level are greater than 60 degrees from vertical.

The existing building structure is a solid cast-in place concrete tilted wall without roof cavities.

Reason for alternative With this appeal we are requesting confirmation that the Exception 4 applies to our project and that the proposed alteration (replace existing standing seam metal panels) does not require compliance with ASHRAE Section 5, and that additional insulation is not required. The building energy use will not be increased.

APPEAL DECISION

1. Determination of exterior tilted construction as a wall and not a roof: Granted as proposed.

2. Omission of insulation in tilted walls as allowed by ASHRAE 90.1: Granted as proposed.

The Administrative Appeal Board finds that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 90 calendar days of the date this decision is published. For information on the appeals process, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.

STUDIO BUILDNG - METAL PANELS REPLACEMENT

DRAWING SHEET INDEX

COVER	SHEET
ARCHITECTURAL	
A000	DEMOLITION ROOF PLAN
A001	REFERENCE ELEVATIONS
A002	REFERENCE ELEVATIONS
A101	DEMOLITION ELEVATIONS - SOUTH & EAST
A102	DEMOLITION ELEVATIONS - NORTH & WEST
A201	ROOF PLAN
A301	ENLARGED ELEVATIONS - SOUTH & EAST
A302	ENLARGED ELEVATIONS - WEST & NORTH
A801	DETAILS
A802	DETAILS
A803	DETAILS

PROJECT DIRECTORY

OWNER

TMT DEVELOPMENT
760 SW 9TH AVE
SUITE 2250
PORTLAND, OR 97205
CONTACT: ADAM PUSHKAS
503.241.1111
ADAM@TMTDEVELOPMENT.COM

ARCHITECT

HENNEBERY EDDY ARCHITECTS, INC
921 SW WASHINGTON STREET
SUITE 250
PORTLAND, OR 97205
CONTACT: DAN PETRESCU
503.227.4860
DPETRESCU@HENNEBERYEDDY.COM

ROOF CONSULTANT

PROFESSIONAL ROOF CONSULTANTS, INC
1108 SE GRAND AVE
SUITE 300
PORTLAND, OR 97214
CONTACT: BRUCE RYAN
503.280.8759
DPETRESCU@HENNEBERYEDDY.COM



1 SITE PLAN.
COVER 1" = 60'-0"

PRELIMINARY,
NOT FOR
CONSTRUCTION

Hennebery Eddy Architects

Inc.
921 SW WASHINGTON STREET SUITE 250
PORTLAND OREGON 97205
503 227 4860 TEL
503 227 4920 FAX
www.henneberedy.com

TMT DEVELOPMENT

STUDIO BUILDNG - METAL
PANELS REPLACEMENT
919 SW TAYLOR ST
PORTLAND, OR 97205

HEA Project no. 20028

Date: 04.01.2021

50% CONSTRUCTION
DOCUMENTS

Drawn by: DP
Checked by: Checker
Sheet:

DISCLAIMER:

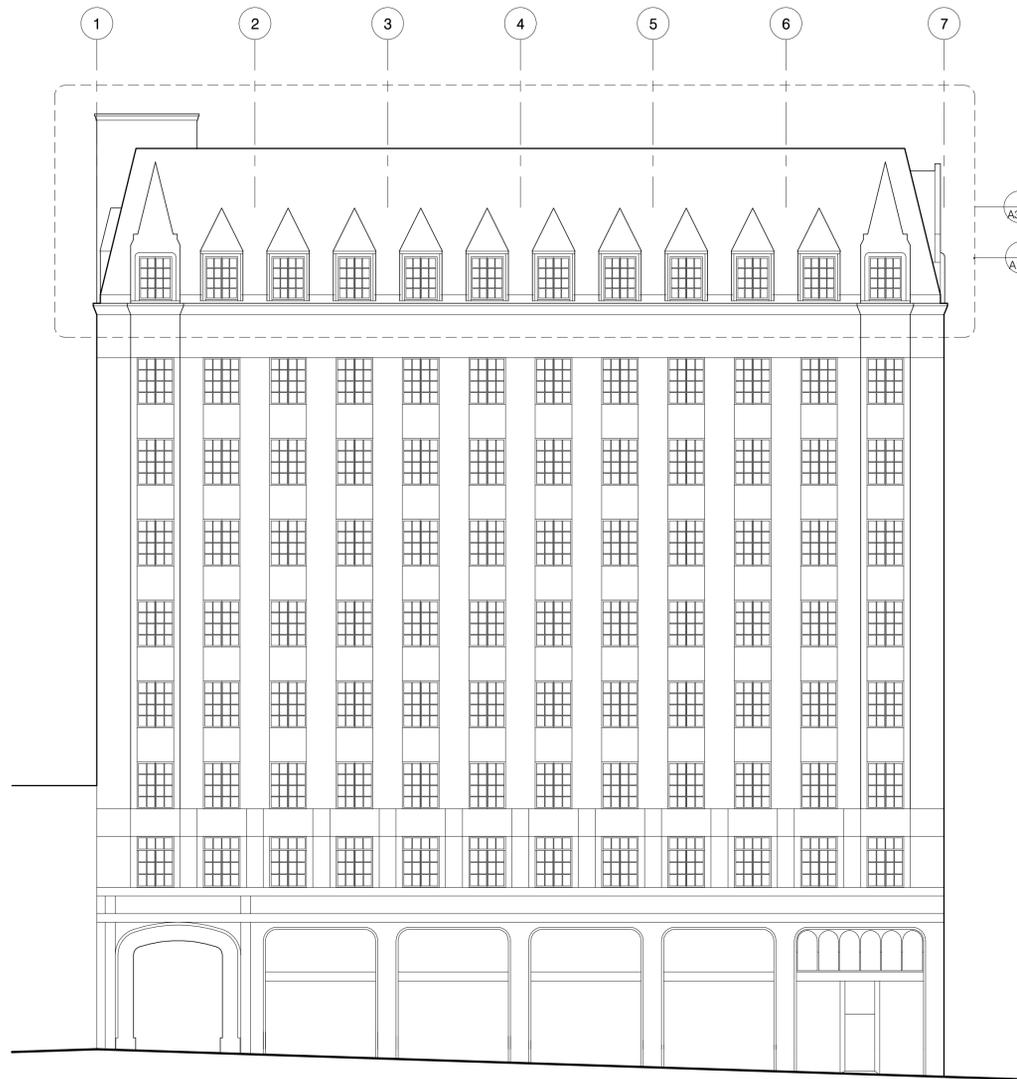
INFORMATION PROVIDED BY CONSULTANTS CONTRACTUALLY ENGAGED BY OTHERS IS INCLUDED FOR CONVENIENCE ONLY. DOES NOT RELIEVE SAID CONSULTANTS FROM FULL RESPONSIBILITY AND LIABILITY FOR DEVIATIONS, ERRORS, OR OMISSIONS IN THE INFORMATION PROVIDED, AND DOES NOT GIVE RISE TO ANY CLAIMS BY OTHER PARTIES AGAINST, OR TRANSFER LIABILITY TO, HENNEBERY EDDY ARCHITECTS, INC.

HENNEBERY EDDY ARCHITECTS, INC. HAS REVIEWED SAID INFORMATION FOR GENERAL CONFORMANCE WITH THE ARCHITECTURAL DESIGN INTENT SOLELY TO SATISFY THE ARCHITECT'S OBLIGATIONS AS THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE.

COVER
Copyright 2020 Hennebery Eddy Architects, Inc.

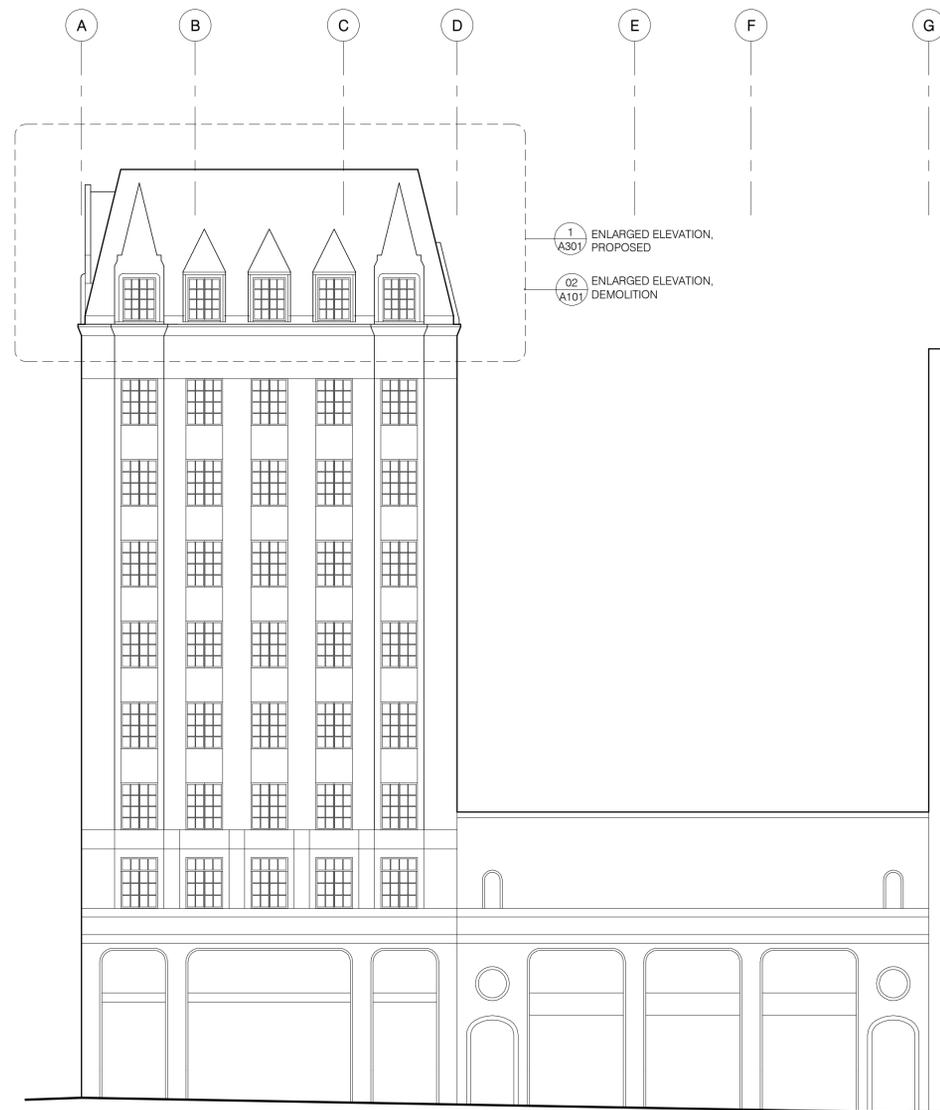
50% CONSTRUCTION DOCUMENTS

THE ADJACENT SAMPLES SHOW THREE LEVELS OF SHADING.
SETTINGS FOR VIEWING AND PRINTING CONTENT ARE OPTIMIZED WHEN ALL THREE DOTS ARE VISIBLE.
THIS GUIDANCE IS FOR REFERENCE ONLY.



1 A302 ENLARGED ELEVATION, PROPOSED
1 A102 ENLARGED ELEVATION, DEMOLITION

3 REFERENCE ELEVATION - SOUTH
A001 1" = 10'-0"



1 A301 ENLARGED ELEVATION, PROPOSED
02 A101 ENLARGED ELEVATION, DEMOLITION

1 REFERENCE ELEVATION - EAST
A001 1" = 10'-0"

- T.O. PARAPET 105' - 9"
- LEVEL 9 85' - 4 1/2"
- LEVEL 8 73' - 6"
- LEVEL 7 64' - 0"
- LEVEL 6 54' - 6"
- LEVEL 5 45' - 0"
- LEVEL 4 35' - 6"
- LEVEL 3 26' - 0"
- LEVEL 2 16' - 6"
- LEVEL 1 0' - 0"

PRELIMINARY,
NOT FOR
CONSTRUCTION

Hennebery Eddy Architects Inc.
921 SW WASHINGTON STREET SUITE 250
PORTLAND OREGON 97205
503 227 4860 TEL
503 227 4920 FAX
www.henneberyyeddy.com

STUDIO BUILDING - METAL
PANELS REPLACEMENT
919 SW TAYLOR ST
PORTLAND, OR 97206

HEA Project no. 20028
Date: 04.01.2021
50% CONSTRUCTION DOCUMENTS
Revisions:

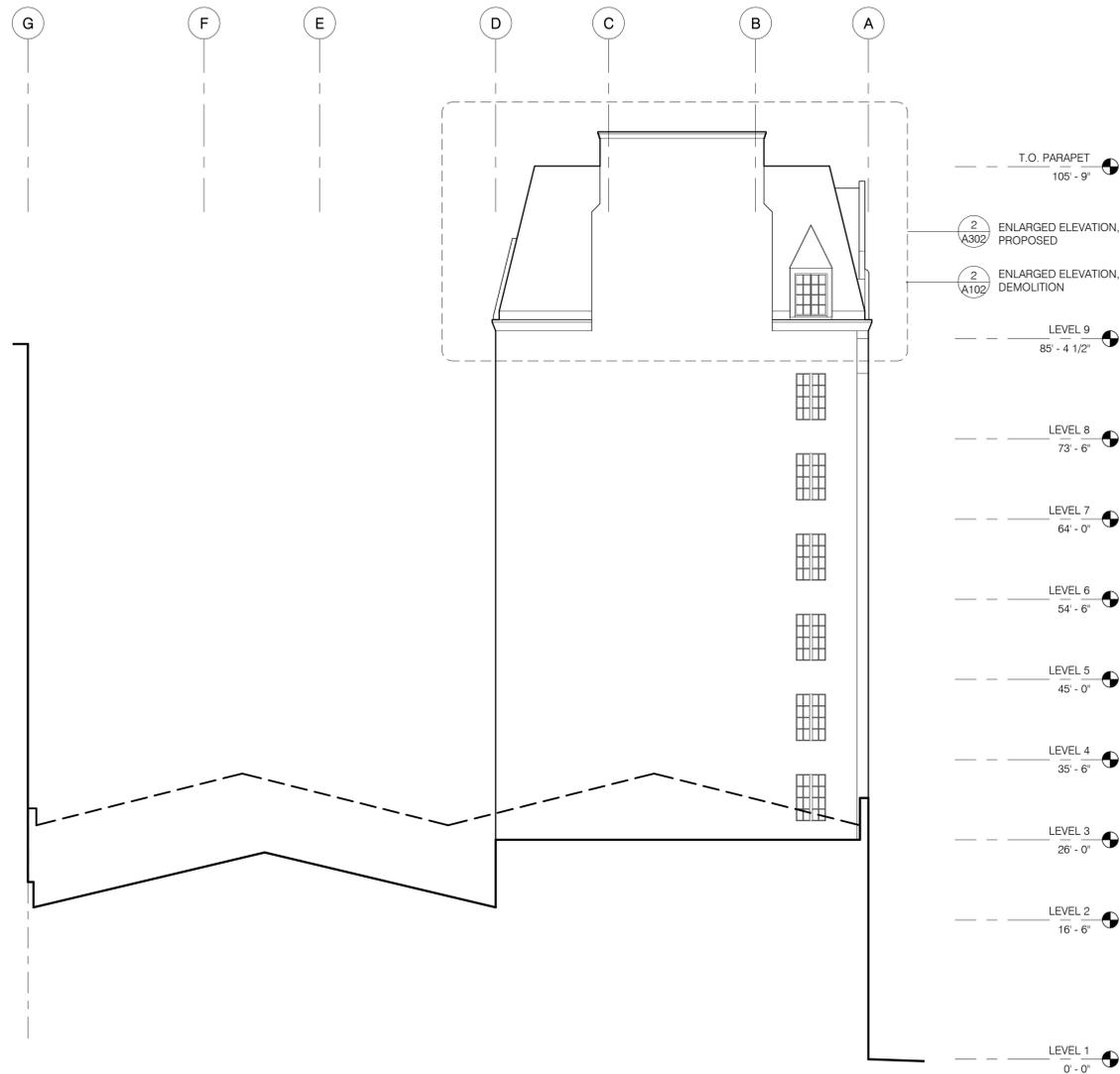
Drawn by: DP
Checked by: Checker
Sheet:

REFERENCE ELEVATIONS

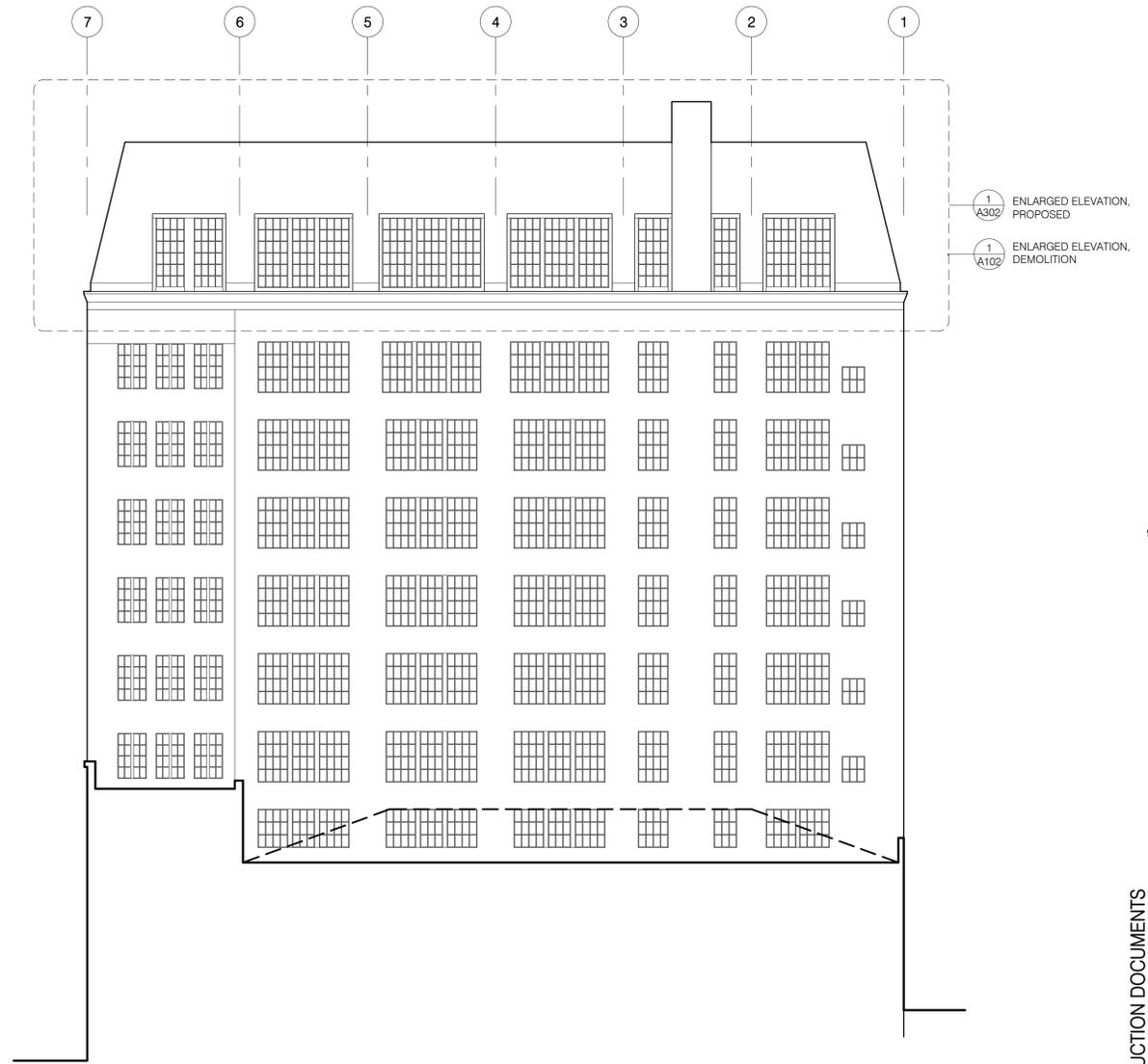
50% CONSTRUCTION DOCUMENTS

A001
Copyright 2020 Hennebery Eddy Architects, Inc.

THE ADJACENT SAMPLES SHOW THREE LEVELS OF SHADING.
SETTINGS FOR VIEWING AND PRINTING CONTENT ARE OPTIMIZED WHEN ALL THREE DOTS ARE VISIBLE.
THIS GUIDANCE IS FOR REFERENCE ONLY.



1 A002 REFERENCE ELEVATION - WEST
1" = 10'-0"



2 A002 REFERENCE ELEVATION - NORTH
1" = 10'-0"

PRELIMINARY,
NOT FOR
CONSTRUCTION

Hennebery Eddy Architects

Inc.
921 SW WASHINGTON STREET SUITE 250
PORTLAND OREGON 97205
503 227 4860 TEL
503 227 4920 FAX
www.henneberyyeddy.com
TMT DEVELOPMENT

STUDIO BUILDING - METAL
PANELS REPLACEMENT
919 SW TAYLOR ST
PORTLAND, OR 97206

HEA Project no. 20028
Date: 04.01.2021
50% CONSTRUCTION DOCUMENTS
Revisions:

Drawn by: DP
Checked by: Checker
Sheet:

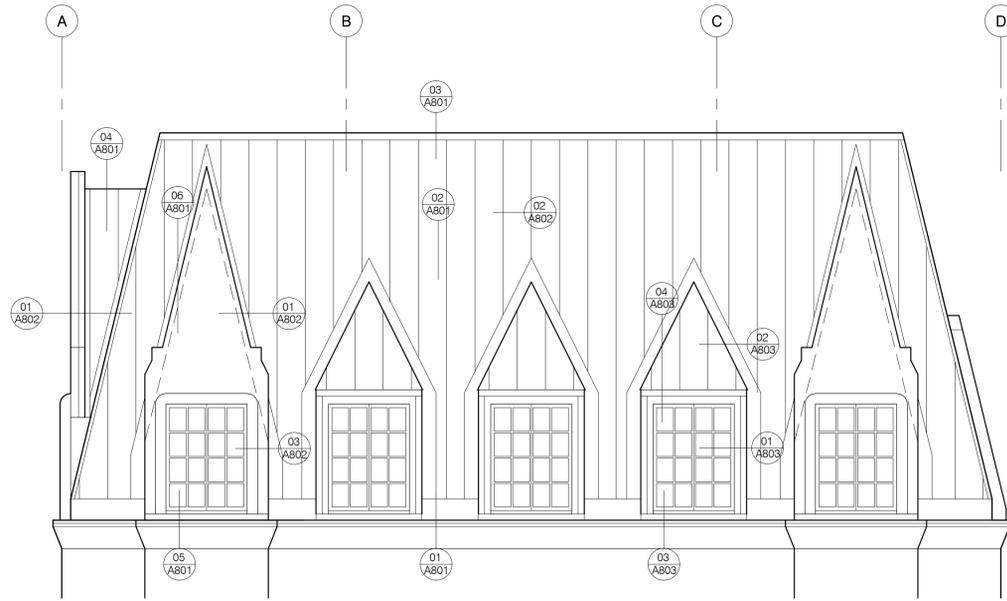
REFERENCE ELEVATIONS

50% CONSTRUCTION DOCUMENTS

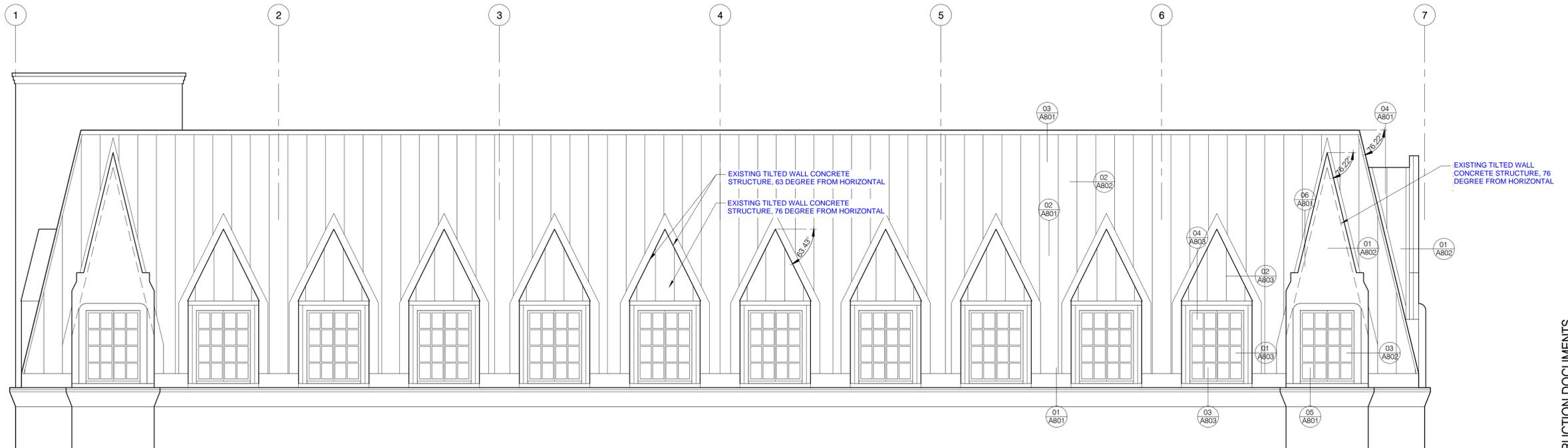
A002
Copyright 2020 Hennebery Eddy Architects, Inc.

EXTERIOR ELEVATION NOTES

- SEE SHEET A600 FOR GENERAL NOTES.
- GRADE LINES INDICATED ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR GRADING INFORMATION.
- LINE OF FOUNDATIONS (SHOWN DASHED) ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. REFER TO STRUCTURAL DRAWINGS FOR FOOTING ELEVATIONS.
- DIMENSIONS ARE SHOWN TO DIMENSION POINT OF REFERENCED DETAIL WHERE APPLICABLE.
- ALIGN MATERIAL, CONTROL AND EXPANSION JOINTS VERTICALLY AND HORIZONTALLY WITH ADJACENT JOINTS AND DOOR, WINDOW AND LOUVER HEADS/JAMBS/SILLS AS INDICATED ON THE DRAWINGS. VERIFY DIMENSIONS WITH DETAIL CONDITIONS. VERIFY LOCATION AND ALIGNMENT WITH ARCHITECT.
- MOUNTING LOCATION OF DEVICES AS INDICATED. VERIFY WITH ARCHITECT IF NOT INDICATED ON ARCHITECTURAL DRAWINGS.



1 ELEVATION - EAST
1/4" = 1'-0"



2 ELEVATION - SOUTH
1/4" = 1'-0"

PRELIMINARY,
NOT FOR
CONSTRUCTION

Hennebery Eddy Architects

921 SW WASHINGTON STREET SUITE 250
PORTLAND OREGON 97205
503 227 4860 TEL
503 227 4920 FAX
www.henneberyyeddy.com

TMT DEVELOPMENT

STUDIO BUILDING - METAL
PANELS REPLACEMENT
919 SW TAYLOR ST
PORTLAND, OR 97206

HEA Project no. 20028

Date: 04.01.2021

50% CONSTRUCTION DOCUMENTS

Revisions:

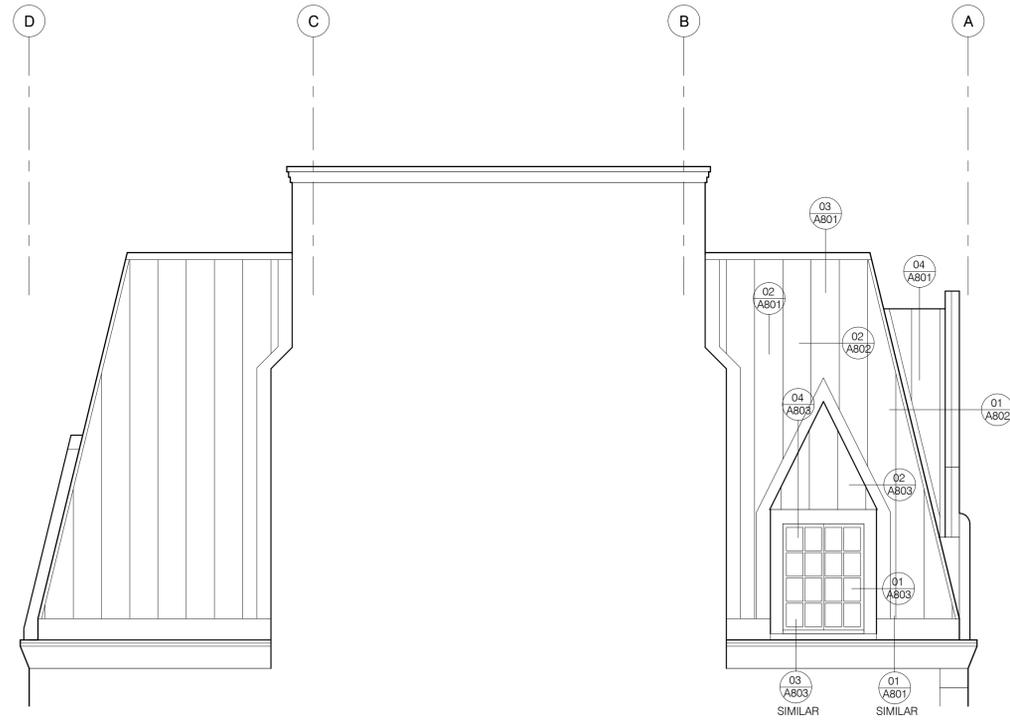
Drawn by: Author
Checked by: Checker
Sheet:

ENLARGED
ELEVATIONS
-SOUTH & EAST

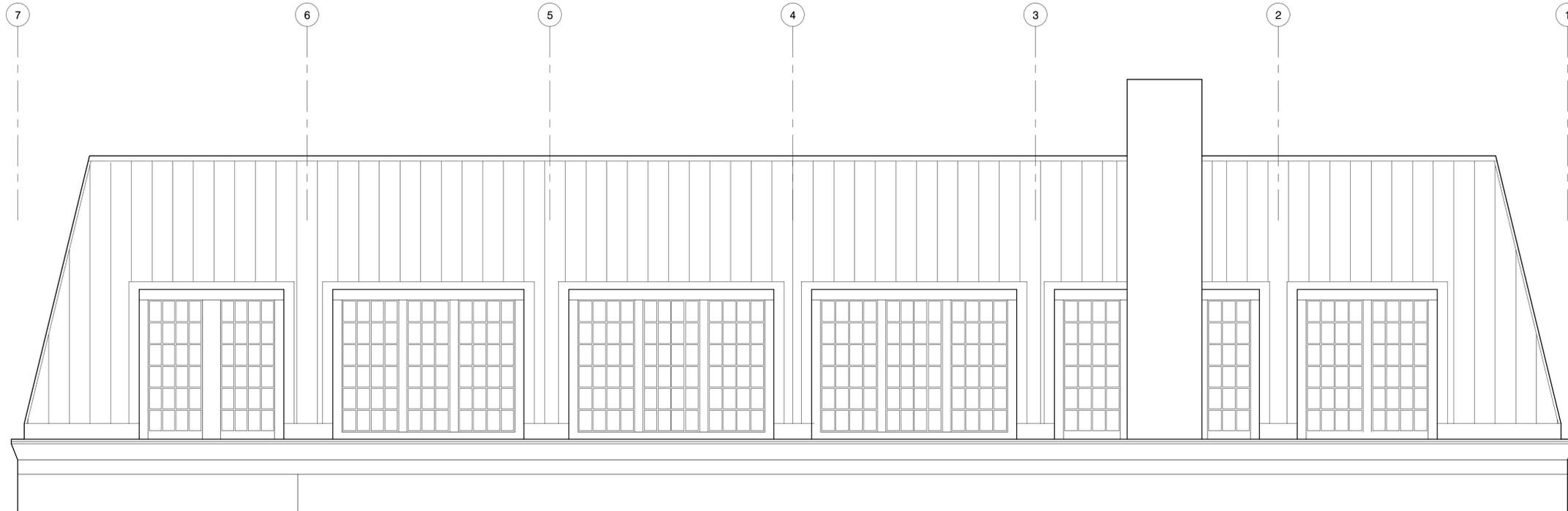
A301

Copyright 2020 Hennebery Eddy Architects, Inc.

THE ADJACENT SAMPLES SHOW THREE LEVELS OF SHADING.
SETTINGS FOR VIEWING AND PRINTING CONTENT ARE OPTIMIZED WHEN ALL THREE DOTS ARE VISIBLE.
THIS GUIDANCE IS FOR REFERENCE ONLY.



2 ELEVATION - WEST
A302 1/4" = 1'-0"



1 ELEVATION - NORTH
A302 1/4" = 1'-0"

PRELIMINARY,
NOT FOR
CONSTRUCTION

**Hennebery Eddy
Architects**

Inc.
921 SW WASHINGTON STREET SUITE 250
PORTLAND OREGON 97205
503 227 4860 TEL
503 227 4920 FAX
www.henneberyyeddy.com
TMT DEVELOPMENT

STUDIO BUILDING - METAL
PANELS REPLACEMENT
919 SW TAYLOR ST
PORTLAND, OR 97206

HEA Project no. 20028
Date: 04.01.2021
50% CONSTRUCTION DOCUMENTS
Revisions:

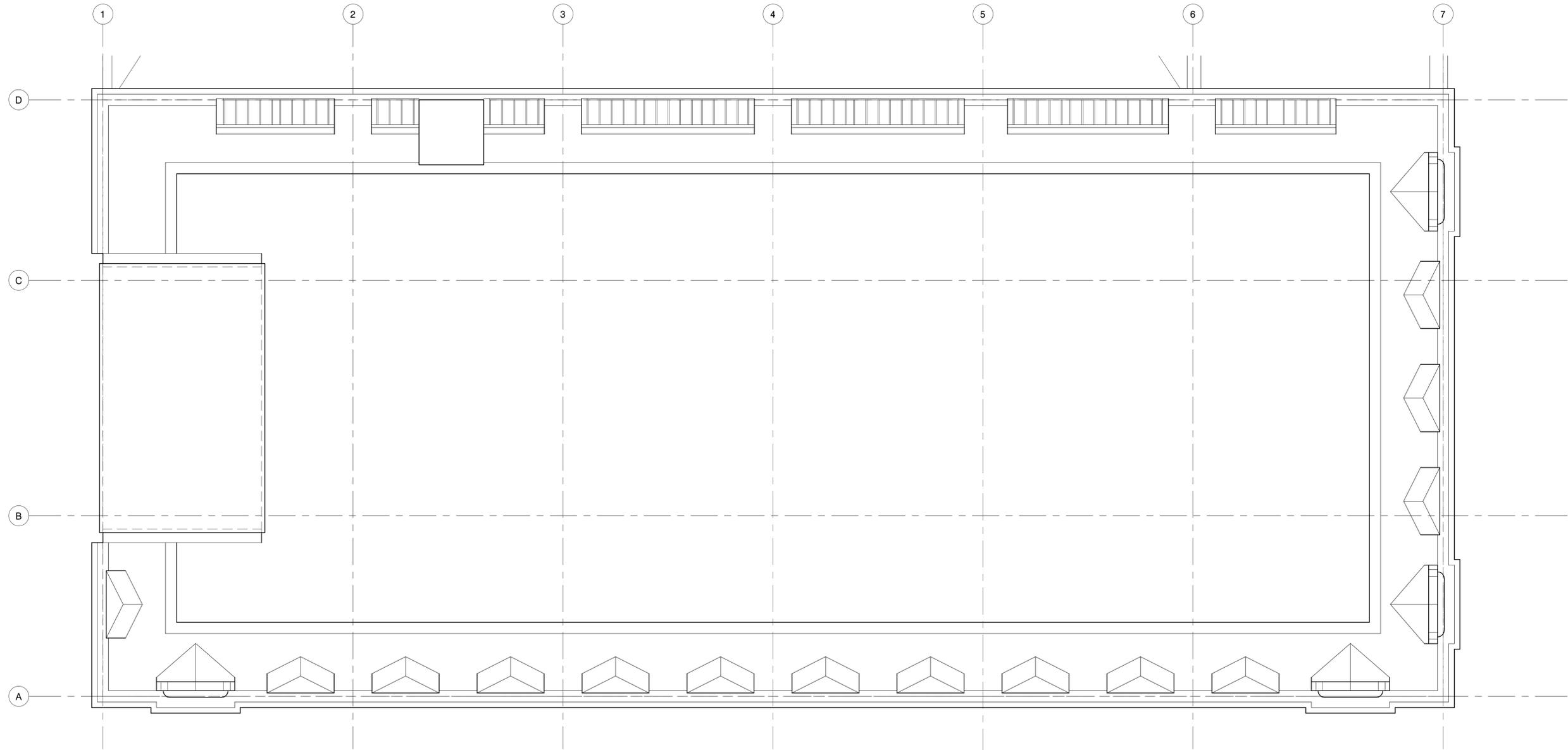
Drawn by: Author
Checked by: Checker
Sheet:

ENLARGED
ELEVATIONS
-WEST & NORTH

A302
Copyright 2020 Hennebery Eddy Architects, Inc.

50% CONSTRUCTION DOCUMENTS

THE ADJACENT SAMPLES SHOW THREE LEVELS OF SHADING.
SETTINGS FOR VIEWING AND PRINTING CONTENT ARE OPTIMIZED WHEN ALL THREE DOTS ARE VISIBLE.
THIS GUIDANCE IS FOR REFERENCE ONLY.



1 DEMOLITION ROOF PLAN
A000 1/4" = 1'-0"

PRELIMINARY,
NOT FOR
CONSTRUCTION

**Hennebery Eddy
Architects**

Inc.
921 SW WASHINGTON STREET SUITE 250
PORTLAND OREGON 97205
503 227 4860 TEL
503 227 4920 FAX
www.henneberyyeddy.com

TMT DEVELOPMENT

STUDIO BUILDING - METAL
PANELS REPLACEMENT
919 SW TAYLOR ST
PORTLAND, OR 97206

HEA Project no. 20028

Date: 04.01.2021

50% CONSTRUCTION DOCUMENTS

Revisions:

Drawn by: DP
Checked by: Checker
Sheet: DEMOLITION ROOF PLAN

A000
Copyright 2020 Hennebery Eddy Architects, Inc.

50% CONSTRUCTION DOCUMENTS