

Development Services
From Concept to Construction

Phone: 503-823-7300 Email: bds@portlandoregon.gov 1900 SW 4th Ave, Portland, OR 97201
More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



APPEAL SUMMARY

Status: Decision Rendered

Appeal ID: 24864	Project Address: 4981 SE Woodstock Blvd
Hearing Date: 5/12/21	Appellant Name: Dan Williams
Case No.: B-004	Appellant Phone: 503-819-7754
Appeal Type: Building	Plans Examiner/Inspector: Guy Altman
Project Type: commercial	Stories: 4 Occupancy: R-2, B Construction Type: V-A
Building/Business Name: Woodstock Apartments	Fire Sprinklers: Yes - Throughout
Appeal Involves: Erection of a new structure	LUR or Permit Application No.: 21-003259-CO
Plan Submitted Option: pdf [File 1] [File 2]	Proposed use: 4 Story mixed-use development

APPEAL INFORMATION SHEET

Appeal item 1

Code Section Table 1020.1

Requires Corridor walls shall be fire-resistance rated in accordance with Table 1020.1, Corridor Fire-Resistance Rating. Per Table 1020.1, Group R occupancies with NFPA 13 compliant sprinkler systems shall have corridors fire partitions with a minimum 1/2 HR. fire-resistance rating.

Code Modification or Alternate Requested Alternate fire rating for glazing at interior wall in lobby.

Proposed Design Lobby #100 is required to have 1?2-HR rated fire partition walls forming the exit corridor and lobby enclosure as shown in the attached code summary. Office #101 forms a side of the lobby enclosure and is required to have 1?2-HR fire rated walls. The proposed office relites along this wall are to be safety glazing as shown on the attached interior elevations.

The proposed building will have a NFPA 13 compliant sprinkler system throughout the building. To achieve the required minimum corridor 1?2-HR fire- resistance rating at the proposed safety glazing sections of this room enclosure, it is proposed to use a sprinkler system curtain that meets NFPA 13 standards for fire protection of non-rated glazing assemblies.

Sprinkler system curtain that meets NFPA 13 standards for fire protection of non-rated glazing assemblies.

Reason for alternative The purpose of providing relites at Office #100 is to provide a visually accessible interior environment and access to natural daylight for office occupants.

The proposed use of a sprinkler system curtain that meets NFPA 13 standards for fire protection of non-rated glazing is a reliable and proven alternate materials and methods approach to achieving up to a 1-HR fire fire-resistance rating. In this proposed design, the fire-resistance rating required is 122-HR, and the combination of the safety glazing and NFPA standard sprinkler system curtain will provide the equivalency of a 1/2 HR rated corridor wall fire partition.

APPEAL DECISION

Type 13 water curtain sprinkler protection at non-fire rated openings in 1/2 hour fire rated corridor: Granted provided windows are non-operable, fixed glazing doors are on closers and sprinklers are spaced not more than 6 feet apart and placed a minimum of 6 inches and a maximum of 12 inches from the opening(s) and a maximum of 12 inches below the ceiling. Sprinklers are to be installed on the occupied side of the openings. A separate permit from the Fire Marshal's Office is required. Appellant may contact John Butler (503 865-6427) or e-mail at John.Butler@portlandoregon.gov with questions.

The Administrative Appeal Board finds with the conditions noted, that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 90 calendar days of the date this decision is published. For information on the appeals process, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.

May 5, 2021

Woodstock Apartments: New 4-story mixed-use apartment building
21-003259-CO; 20-206435-LU

Building Code Adjustments:
Table 1020.1 (2019 OSSC) Types of Construction

General Information:

Location:	4937 SE Woodstock Blvd., Portland, OR 97206
Property ID:	R312581
State Tax ID:	1S2E18CA -06300
State Tax Roll:	WOODSTOCK, BLOCK 3, INC PT VAC ST LOT 1, LOT 2
Plan District:	n/a
Neighborhood:	Woodstock
Zoning:	CM2 – Commercial Mixed Use 2
Overlay:	m – Centers Main Street
Occupancy:	R-2, B
Construction Type:	V-A
Sprinkler:	Automatic sprinkler system to be installed throughout

The project is a new 4-story mixed-use development with R-2 and M occupancies.

Appeal Item #1: Alternate fire rating for glazing at interior wall in lobby

Requirements: Corridor walls shall be fire-resistance rated in accordance with Table 1020.1, Corridor Fire-Resistance Rating. Per Table 1020.1, Group R occupancies with NFPA 13 compliant sprinkler systems shall have corridors fire partitions with a minimum 1/2 HR. fire-resistance rating.

Code Modification or
Alternate Requested:

Lobby #100 is required to have 1/2-HR rated fire partition walls forming the exit corridor and lobby enclosure as shown in the attached code summary. Office #101 forms a side of the lobby enclosure and is required to have 1/2-HR fire rated walls. The proposed office relites along this wall are to be safety glazing as shown on the attached interior elevations.

The proposed building will have a NFPA 13 compliant sprinkler system throughout the building. To achieve the required minimum corridor 1/2-HR fire-resistance rating at the proposed safety glazing sections of this room enclosure, it is proposed to use a sprinkler system curtain that meets NFPA 13 standards for fire protection of non-rated glazing assemblies.

Reason for Alternative: The purpose of providing relites at Office #100 is to provide a visually accessible interior environment and access to natural daylight for office occupants.

The proposed use of a sprinkler system curtain that meets NFPA 13 standards for fire protection of non-rated glazing is a reliable and proven alternate materials and methods approach to achieving up to a 1-HR fire fire-resistance rating. In this proposed design, the fire-resistance rating required is ½-HR, and the combination of the safety glazing and NFPA standard sprinkler system curtain will provide the equivalency of a 1/2 HR rated corridor wall fire partition.



Digitally signed by Peter Grimm Date: 2021.04.20 17:24:56-0700'

WOODSTOCK APARTMENTS Job Number: 19162 4937 SE WOODSTOCK BLVD PORTLAND, OR 97206



URBAN ASSET ADVISORS

BUILDING CODE SUMMARY 2019 OREGON STRUCTURAL SPECIALTY CODE. OCCUPANCY: R-2/M MIXED USE NON-SEPARATED WITH ACCESSORY B OCCUPANCY AND OUTDOOR, UNCOVERED A-3 OCCUPANCY (NOT PART OF BUILDING AREA), M OCCUPANCY IS SHELL PERMIT ONLY. CHAPTER 4: SPECIAL DETAILED REQUIREMENTS BASED ON OCCUPANCY AND USE. SECTION 420.2 SEPARATION WALLS, SECTION 420.3 HORIZONTAL SEPARATION, SECTION 420.4 SPRINKLER SYSTEM, SECTION 420.5 FIRE & SMOKE ALARMS.

CHAPTER 5: GENERAL BUILDING HEIGHTS AND AREAS. TABLE 504.3 HEIGHT / STORIES / AREA FACTOR. TABLE 504.4 TABLE 506.2. MODIFICATIONS. SECTION 506.2.4 MIXED OCCUPANCY, MULTISTORY BUILDINGS EQUATION 5-3. SECTION 506.3 FRONTAGE INCREASE, ACTUAL HEIGHT / STORIES, LARGEST INDIVIDUAL STORY, ACTUAL BUILDING AREA.

GROSS BUILDING AREA TABLE. FLOOR LEVEL, AREA (SF). LEVEL 01: 16735 SF, LEVEL 02: 16692 SF, LEVEL 03: 16692 SF, LEVEL 04: 14104 SF, TOTAL: 64223 SF.

CHAPTER 6: TYPES OF CONSTRUCTION / CONSTRUCTION CLASSIFICATION. TABLE 601 FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS. TABLE 602 FIRE RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE.

CHAPTER 7: FIRE AND SMOKE PROTECTION FEATURES. TABLE 705.2 MINIMUM DISTANCE OF PROJECTION. TABLE 705.8 MAXIMUM AREA OF WALL OPENINGS BASED ON FSD AND OPENING PROTECTION. SECTION 708 FIRE PARTITIONS. SECTION 711 FLOOR AND ROOF ASSEMBLIES SUPPORTING CONSTRUCTION PER 711.2.3. SECTION 713 SHAFT ENCLOSURES.

CHAPTER 8: INTERIOR FINISHES. TABLE 803.13 INTERIOR WALL AND CEILING FINISH REQUIREMENTS (FLAME SPREAD RATING). INTERIOR EXIT STAIRWAYS AND RAMPS AND EXIT PASSAGEWAYS, CORRIDORS AND ENCLOSURES FOR EXIT ACCESS STAIRWAYS AND RAMPS, ROOMS AND ENCLOSED SPACES.

CHAPTER 9: FIRE PROTECTION SYSTEMS. SECTION 903 FULLY SPRINKLERED, NFPA 13. SECTION 905.3.1 EXCEPTION 1, CLASS I STANDPIPE. THE GENERAL CONTRACTOR SHALL SCHEDULE A FIRESTOPPING MEETING WITH THE BUILDING INSPECTOR AND ALL SUBCONTRACTORS THAT WILL BE INSTALLING FIRESTOPPING MATERIALS.

CHAPTER 10: MEANS OF EGRESS. SECTION 1004 OCCUPANT LOAD (OL) - R-2, OCCUPANT LOAD (OL) - A-3, OCCUPANT LOAD (OL) - M, OCCUPANT LOAD (OL) - B. SECTION 1005.3.1 STAIRWAY EGRESS CAPACITY FACTOR, SECTION 1005.3.2 OTHER EGRESS CAPACITY FACTOR. TABLE 1006.2.1 MAX OCCUPANT LOAD FOR ONE EXIT. TABLE 1006.3.2 MAX COMMON PATH OF EGRESS TRAVEL. TABLE 1006.3.3(1) MIN EXITS PER STORY, 1-500 OCC. TABLE 1006.3.3(2) STORIES WITH ONE EXIT FOR R-2, 4 UNITS / 125 FT TRAVEL DISTANCE / UP TO 3 STORIES. SECTION 1011.2 STAIRWAY WIDTH AND CAPACITY. TABLE 1017.2 EXIT ACCESS TRAVEL DISTANCE. TABLE 1020.1 CORRIDOR FIRE-RESISTANCE RATING. TABLE 1020.2 MINIMUM CORRIDOR WIDTH. SECTION 1020.4 DEAD ENDS. SECTION 1023.2 INTERIOR EXIT STAIRWAY FIRE RATING. SECTION 1024.2 EXIT PASSAGEWAY WIDTH AND CAPACITY. SECTION 1024.3 EXIT PASSAGEWAY FIRE RATING.

EXIT DOOR SUMMARY TABLE. EXIT #, OCCUPANT LOAD, REQUIRED CLEAR WIDTH, DOOR WIDTH, CLEAR WIDTH PROVIDED. EXIT ACCESS TRAVEL DISTANCE TABLE. EGRESS PATH NAME, EGRESS PATH LENGTH.

CHAPTER 11: ACCESSIBILITY. SECTION 1107.6.2.2.1 TYPE A UNITS. SECTION 1107.6.2.2.2 TYPE B UNITS. APPLICABLE CODES: ANSI ICC A117.1 - 2009, 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN, FAIR HOUSING ACCESSIBILITY GUIDELINES, FHA SAFE HARBOR DESIGN DOCUMENT: FAIR HOUSING ACT DESIGN MANUAL.

CHAPTER 13: ENERGY EFFICIENCY. E102.1, R-2 GREATER THAN 3 STORIES, E102.3.2 CONSTRUCTION PROVISIONS, ASHRAE 90.1-2016, SECTION 4.2.1. CLIMATE ZONE 4C (MARINE 4). OPAQUE ELEMENTS TABLE. ROOFS, WALLS (ABOVE GRADE), WALLS (BELOW GRADE), FLOORS, SLAB-ON-GRADE FLOORS, HEATED UNHEATED, OPAQUE DOORS, SWINGING, NON-SWINGING.

FENESTRATION TABLE. VERTICAL (0% - 40% OF WALL ALLOWED), NONMETAL FRAMING, METAL FRAMING, FIXED, METAL FRAMING, OPERABLE, METAL FRAMING, ENTRANCE DR. SKYLIGHT (0% - 3% OF ROOF ALLOWED). CHAPTER 29: PLUMBING FIXTURES. PLUMBING FIXTURE SUMMARY TABLE. OCCUPANCY (CHAPTER 3), TOTAL, MALE, FEMALE, WATER CLOSETS, LAVATORIES, DRINKING FOUNTAINS.

CHAPTER 29: PLUMBING FIXTURES. PLUMBING FIXTURE SUMMARY TABLE. OCCUPANCY (CHAPTER 3), TOTAL, MALE, FEMALE, WATER CLOSETS, LAVATORIES, DRINKING FOUNTAINS. R-2, TOTAL UNITS: 84. MIN. 1 WC / LAV / Tub or Shower per unit required and provided.

ELEVATOR: WHERE ELEVATORS ARE PROVIDED IN BUILDINGS FOUR OR MORE STORIES HIGH, NOT FEWER THAN ONE ELEVATOR MUST BE SIZED TO ACCOMMODATE AN AMBULANCE STRETCHER 24" X 84". OCCUPANCY LOAD SIGNAGE: EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE. GAS BURNING OPEN FLAME APPLIANCES MUST COMPLY WITH THE FOLLOWING: THE GAS BURNING APPLIANCE IS CSA CERTIFIED OR UL LISTED AND INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS. TO PREVENT TIPPING, THE APPLIANCE WILL BE PERMANENTLY SECURED IN PLACE. GAS WILL BE INTERNALLY PIPED TO THE APPLIANCE. NO FUEL TANK OR FUEL STORAGE WILL BE PROVIDED. A TIMER WILL BE INSTALLED TO ACTIVATE THE APPLIANCE. A TIMER WILL BE CONNECTED TO THE VALVE OF THE GAS BURNING APPLIANCE ALLOWING GAS TO FLOW TO THE APPLIANCE FOR PERIODS OF UP TO 60 MINUTES. A PORTABLE FIRE EXTINGUISHER WILL BE LOCATED ON THE SAME LEVEL AND INSTALLED WITHIN 75 FEET OF TRAVEL DISTANCE OF THE GAS BURNING APPLIANCE. AN AUTOMATIC FUEL SHUTOFF VALVE WILL ACTIVATE UPON THE INITIATION OF A FIRE ALARM SIGNAL, IF PROVIDED, THAT WILL INTERRUPT THE FLOW OF GAS WHEN A FIRE ALARM IS ACTIVATED ANYWHERE IN THE BUILDING. A MANUAL EMERGENCY SHUTOFF VALVE WITH SIGNAGE WILL BE LOCATED WITHIN A MINIMUM OF 10 FEET AND A MAXIMUM OF 50 FEET FROM THE GAS BURNING APPLIANCE. NOTE: A BARBEQUE IS NOT REQUIRED TO BE CONNECTED TO AN AUTOMATIC FUEL SHUT OFF VALVE. IF AN APPLICANT CHOOSES TO CONNECT THE BARBEQUE TO AN AUTOMATIC FUEL SHUT OFF VALVE, MANUAL ACTION WILL BE REQUIRED TO RESTORE THE FLOW OF GAS TO THE BARBEQUE ONCE TRIPPED BY THE FIRE ALARM SYSTEM.

PORTLAND FIRE CODE SUMMARY. SECTION 503.1.1 FIRE APPARATUS ACCESS ROADS, WHERE REQUIRED, EXCEPTION: BUILDING MEETS THE CONDITIONS TO BE EXEMPT FROM THE REQUIREMENTS OF AERIAL FIRE APPARATUS ACCESS ROADS. SECTION 510 EMERGENCY RESPONDER RADIO COVERAGE REQUIRED, BUILDING OVER 50,000 SF.

ZONING CODE SUMMARY. ZONING: BASE ZONE, OVERLAY ZONE, ADJACENT ZONING. PLAN DISTRICT. USE: CURRENT, PROPOSED. SITE AREA: IMPERVIOUS AREA, LANDSCAPE AREA. BUILDING AREA TOTAL: FIRST FLOOR, SECOND FLOOR, THIRD FLOOR, FOURTH FLOOR.

DEVELOPMENT STANDARDS TABLE. REQUIRED, PROPOSED. 33.130.205 MAXIMUM FAR WITH BONUS - INCLUSIONARY HOUSING. 33.130.212 MAXIMUM BUILDING HEIGHT. 33.130.210.B.1 MAXIMUM BUILDING HEIGHT. 33.130.210.B.2 MINIMUM BUILDING SETBACKS. 33.130.215.B STREET LOT LINE. 33.130.215.C MAXIMUM BUILDING SETBACKS. 33.130.220 BUILDING COVERAGE. 33.130.225 MIN. LANDSCAPE AREA. 33.130.228 RESIDENTIAL OUTDOOR AREA. 33.130.230.B / 33.415.340 GROUND FLOOR WINDOWS. 33.130.235.C SCREENING - MECHANICAL ROOF MOUNT. 33.245.040.A.2 INCLUSIONARY HOUSING STANDARDS. 33.266.100 PARKING. 33.266.110.D BIKE PARKING. 33.266.200 SHORT TERM - STANDARD A HOUSEHOLD LIVING. 33.266.210.D.1 LONG TERM - STANDARD A HOUSEHOLD LIVING. 33.266.210.D.3 IN-UNIT SPACES. 33.266.310.C.2.a LOADING. 33.415.200 REQUIRED GROUND FLOOR ACTIVE USE.

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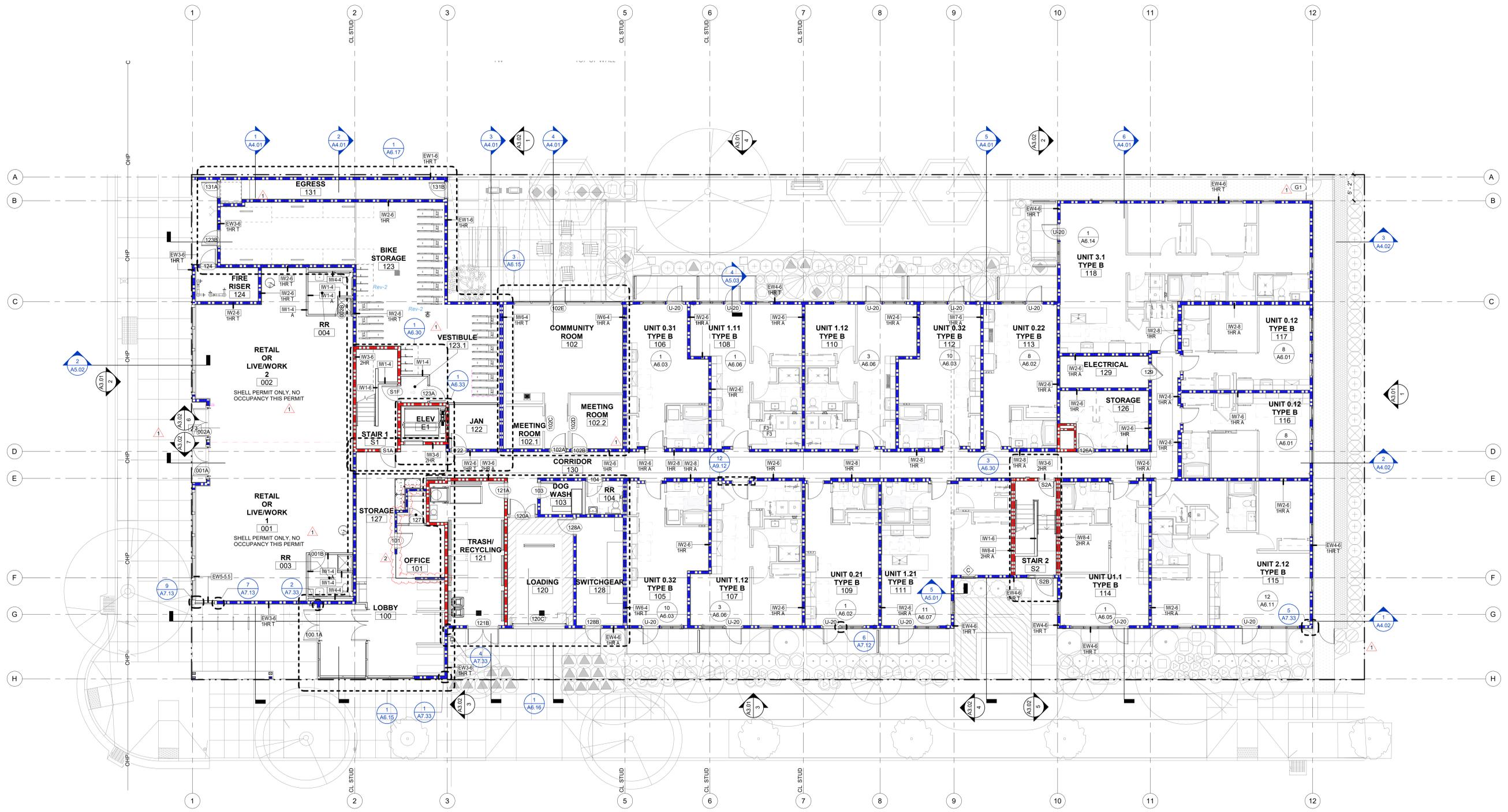
1 CITY RESP DM1 04/20/2021 GMP SET 03/17/2021 ISSUE DATE Drawing: CODE SUMMARY

WOODSTOCK APARTMENTS

Job Number: 19162
4937 SE WOODSTOCK BLVD
PORTLAND, OR 97206



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1 FIRST FLOOR PLAN
1/8" = 1'-0"

THESE DRAWINGS ARE THE ORIGINAL UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED OR USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

KEYNOTES (07-02)	GENERAL SHEET NOTES	LEGEND
	<p>A. PROVIDE FIRE EXTINGUISHERS AND FIRE EXTINGUISHER CABINETS AS SHOWN / SPECIFIED. COORDINATE FINAL LOCATIONS WITH FIRE MARSHALL.</p> <p>B. ALL INTERIOR WALLS TO BE TYPE IW-1.4, UNLESS NOTED OTHERWISE.</p> <p>C. SIGNS SHALL BE OF DURABLE MATERIALS, PERMANENTLY INSTALLED AND READILY VISIBLE.</p> <p>a. ROOMS CONTAINING FIRE PROTECTION EQUIPMENT (FIRE SPRINKLER RISERS AND VALVES OR OTHER FIRE DETECTION, SUPPRESSION OR CONTROL ELEMENTS, FIRE ALARM CONTROL PANEL), ELECTRICAL AND OTHER UTILITY EQUIPMENT SHALL BE IDENTIFIED IN AN APPROVED MANNER.</p> <p>b. STAIRWAYS WITH ACCESS TO ROOF SHALL BE MARKED AT STREET AND FLOOR LEVELS WITH A SIGN INDICATING THAT THE STAIRWAY CONTINUES TO THE ROOF.</p>	<p>1 HOUR RATED ASSEMBLY</p> <p>2 HOUR RATED ASSEMBLY</p>

2 CITY RESP 2 05/04/2020
1 CITY RESP DM1 04/20/2021
GMP SET 03/17/2021

ISSUE DATE
Drawing: **FIRST FLOOR PLAN**

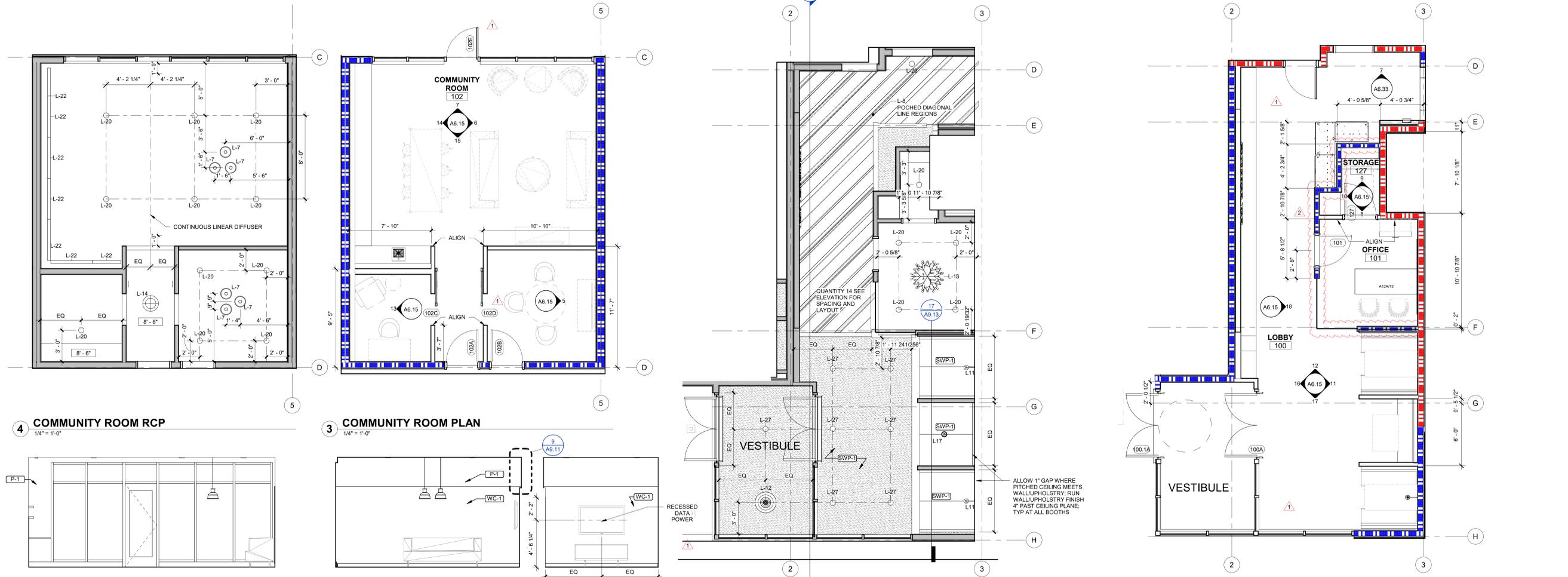
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WOODSTOCK APARTMENTS

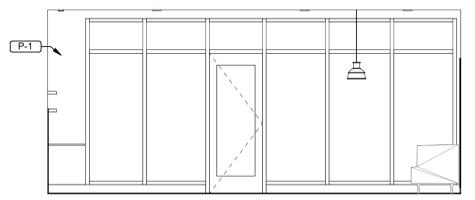
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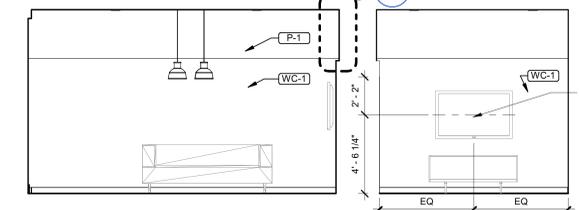
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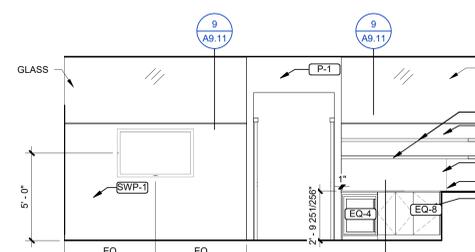
4 COMMUNITY ROOM RCP
1/4" = 1'-0"



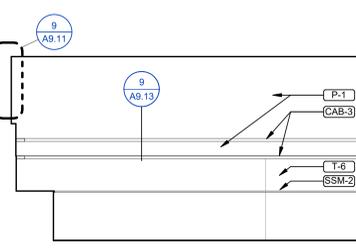
3 COMMUNITY ROOM PLAN
1/4" = 1'-0"



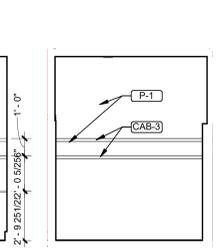
7 COMMUNITY ROOM - WEST
1/4" = 1'-0"



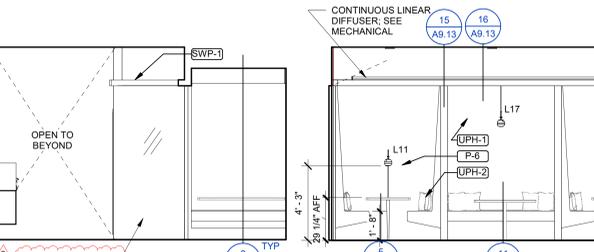
6 COMMUNITY ROOM - NORTH
1/4" = 1'-0"



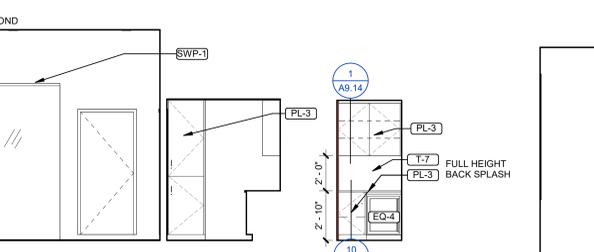
5 MEETING ROOM - NORTH
1/4" = 1'-0"



2 LOBBY RCP
1/4" = 1'-0"



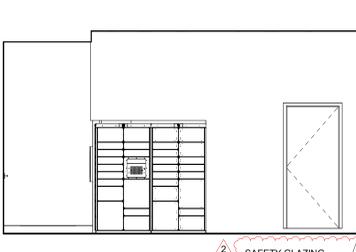
1 LOBBY FLOOR PLAN
1/4" = 1'-0"



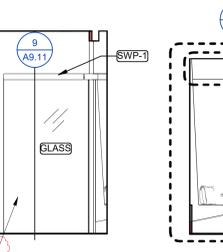
15 COMMUNITY ROOM - EAST
1/4" = 1'-0"



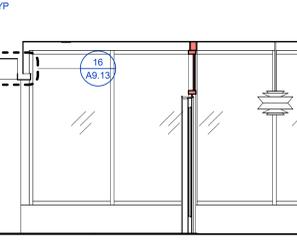
14 COMMUNITY ROOM - SOUTH
1/4" = 1'-0"



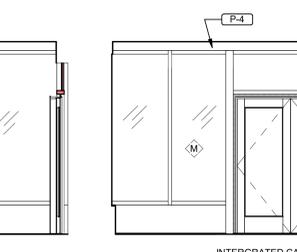
13 ZOOM ROOM - SOUTH
1/4" = 1'-0"



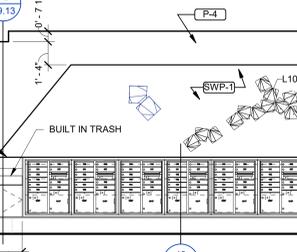
12 LOBBY - WEST
1/4" = 1'-0"



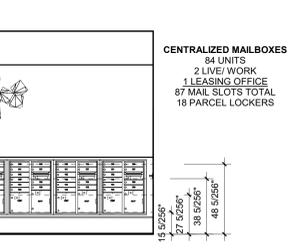
11 LOBBY - NORTH
1/4" = 1'-0"



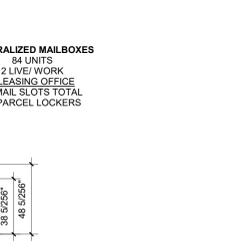
10 OFFICE CLOSET - SOUTH
1/4" = 1'-0"



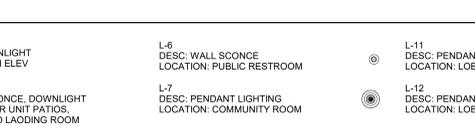
9 OFFICE CLOSET - WEST
1/4" = 1'-0"



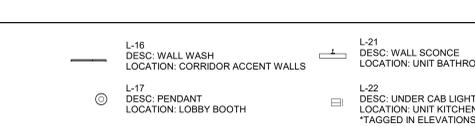
8 OFFICE - EAST
1/4" = 1'-0"



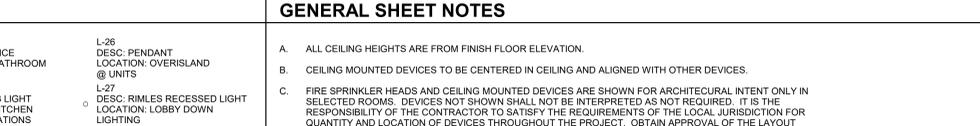
18 LOBBY - PARCEL BOXES
1/4" = 1'-0"



17 LOBBY - EAST
1/4" = 1'-0"



16 LOBBY - SOUTH
1/4" = 1'-0"



KEYNOTES	07-02
L-1	DESC: EXTERIOR, RECESSED LED DOWNLIGHT LOCATION: CANOPY & SOFFIT AT SOUTH ELEV
L-2	DESC: EXTERIOR, SURFACE MOUNT SCIENCE, DOWNLIGHT LOCATION: LOCATED AT GROUND FLOOR UNIT PATIOS, OUTDOOR COMMUNITY AREA, TRASH AND LOADING ROOM ENTRANCES.
L-3	DESC: EXTERIOR, WALL MOUNTED, RECESSED PATHWAY LIGHTS LOCATION: LOCATED AT GROUND FLOOR UNIT PATIOS, NORTH AND NORTHWEST ELEVATIONS. (SEE A3.01 & A3.01)
L-4	DESC: EXTERIOR, STRING LIGHTS LOCATION: LOCATED AT GROUND COMMUNITY PATIO. SEE LANDSCAPE PLANS.
L-5	DESC: 6" DOWN LIGHT LOCATION: RETAIL RESTROOMS
L-6	DESC: WALL SCIENCE LOCATION: PUBLIC RESTROOM
L-7	DESC: PENDANT LIGHTING LOCATION: COMMUNITY ROOM ENTRANCES.
L-8	DESC: INTEGRAL CEILING LIGHTING LOCATION: LOBBY AND NORTHWEST ELEVATIONS. (SEE A3.01 & A3.01)
L-9	DESC: WALL SCIENCE LOCATION: STAIR
L-10	DESC: SCIENCE LIGHTING LOCATION: MAIL WALL
L-11	DESC: PENDANT LOCATION: LOBBY BOOTHS
L-12	DESC: PENDANT LOCATION: LOBBY LOUNGE
L-13	DESC: PENDANT LOCATION: PROPERTY MANAGEMENT OFFICE
L-14	DESC: FLUSH MOUNT CEILING LOCATION: 1ST FLOOR CORRIDOR
L-15	DESC: FLUSH MOUNT CEILING LOCATION: 24 FLOOR CORRIDOR
L-16	DESC: WALL WASH LOCATION: CORRIDOR ACCENT WALLS
L-17	DESC: PENDANT LOCATION: LOBBY BOOTH
L-18	DESC: BLACK SURFACE MOUNTED CAN LOCATION: COMMON AREAS
L-19	DESC: INTERIOR, WALL MOUNTED LIGHT FIXTURE LOCATION: STAIRS
L-20	DESC: SEMI RECESSED LIGHT LOCATION: UNIT TYPICAL LIGHTING
L-21	DESC: WALL SCIENCE LOCATION: UNIT BATHROOM
L-22	DESC: UNDER CAB LIGHT LOCATION: UNIT KITCHEN *TAGGED IN ELEVATIONS
L-23	DESC: BATH FAN WITH LIGHT LOCATION: UNIT BATHROOM
L-24	DESC: CEILING MOUNTED FAN LOCATION: UNIT LIVING AREA
L-25	DESC: SURFACE MOUNTED CLOSET LIGHT LOCATION: UNIT CLOSETS
L-26	DESC: PENDANT LOCATION: OVERISLAND @ UNITS

GENERAL SHEET NOTES
A. ALL CEILING HEIGHTS ARE FROM FINISH FLOOR ELEVATION.
B. CEILING MOUNTED DEVICES TO BE CENTERED IN CEILING AND ALIGNED WITH OTHER DEVICES.
C. FIRE SPRINKLER HEADS AND CEILING MOUNTED DEVICES ARE SHOWN FOR ARCHITECTURAL INTENT ONLY IN SELECTED ROOMS. DEVICES NOT SHOWN SHALL NOT BE INTERPRETED AS NOT REQUIRED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SATISFY THE REQUIREMENTS OF THE LOCAL JURISDICTION FOR QUANTITY AND LOCATION OF DEVICES THROUGHOUT THE PROJECT. OBTAIN APPROVAL OF THE LAYOUT FROM THE ARCHITECT PRIOR TO INSTALLATION OF ALL SYSTEMS AND DEVICES.
D. VERIFY ALL SPRINKLER HEAD LOCATIONS WITH FIRE PROTECTION DRAWINGS.
E. CENTER LIGHTS IN ROOMS OR SPACES UNLESS DIMENSIONED OTHERWISE.
F. SEE MECHANICAL DRAWINGS FOR DIFFUSER TYPES. CENTER MECH. DIFFUSERS, GRILLES AND ACCESS PANELS IN GRID, ROOM OR SPACE. ALIGN WITH LIGHT FIXTURES WHERE APPLICABLE.
G. SEE MECHANICAL AND PLUMBING FOR REQUIRED ACCESS PANEL LOCATIONS. PAINT MATCH ADJACENT CEILING COLOR.
H. FOR UNIT RCP'S SEE ENLARGED UNIT PLAN SHEETS.

2 CITY RESP 2 05/04/2020
1 CITY RESP DM1 04/20/2021
GMP SET 03/17/2021

ISSUE DATE
Drawing:
ENLARGED PLANS, RCP'S, & INT ELEVATIONS

Sheet No:
A6.15

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