

## Development Services

### From Concept to Construction

Phone: 503-823-7300 Email: [bds@portlandoregon.gov](mailto:bds@portlandoregon.gov) 1900 SW 4th Ave, Portland, OR 97201  
More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



#### APPEAL SUMMARY

**Status:** Hold for Additional Information

<b>Appeal ID:</b> 24648	<b>Project Address:</b> 1906 NW 25th Ave
<b>Hearing Date:</b> 2/24/21	<b>Appellant Name:</b> Dave Spitzer
<b>Case No.:</b> B-011	<b>Appellant Phone:</b> 503 307 4644
<b>Appeal Type:</b> Building	<b>Plans Examiner/Inspector:</b> preliminary
<b>Project Type:</b> commercial	<b>Stories:</b> 2 <b>Occupancy:</b> R-1, B, F <b>Construction Type:</b> V-B
<b>Building/Business Name:</b> Escher Apartments	<b>Fire Sprinklers:</b> Yes - basement
<b>Appeal Involves:</b> occ Change from S to B	<b>LUR or Permit Application No.:</b>
<b>Plan Submitted Option:</b> pdf [File 1] [File 2] [File 3]	<b>Proposed use:</b> business/residential

#### APPEAL INFORMATION SHEET

##### Appeal item 1

<b>Code Section</b>	OSSC 1207.2
<b>Requires</b>	Requires a minimum ceiling height of 7'-6"
<b>Code Modification or Alternate Requested</b>	<p>To allow a reduced ceiling height of 6'-9" for a B and/or F occupancies in the basement of this apartment building.</p> <p>It should be noted that ceiling height in the egress system of this basement was appealed and granted approval in 2005 per appeal # 1433.</p>
<b>Proposed Design</b>	<p>We are proposing to change approximately 2/3rd of a finished basement currently used for storage into studio spaces for artists and small businesses. The storage rooms were installed in 2009 per permit 2009-117492-CO. The building was originally built in 1908.</p> <p>The ceiling height is an existing situation and the basement is currently used for storage and maintenance purposes. We would like to remove (9) tenant storage spaces, reducing the occupant load, and replace it with (4) studio spaces ranging from approximately 200 sf to 300 sf. The net overall increase in occupant load is very small – perhaps 3-4 people.</p> <p>The type of client that would want this type of space would be massage therapist, photographers, artists, etc. Prospective tenants would not be looking for luxury space or a destination space – just a simple, affordable space in close in NW Portland.</p>
<b>Reason for alternative</b>	<p>Appeal #1433 already allows reduced ceiling height in the stairs and circulation route in this basement. This appeal would simply extend that ceiling height reduction into the newly created artist studios. Since the circulation route already has a legal reduced ceiling height – we do not feel that extending that head height will increase the life safety hazard or make the building any less safe. To us this seems more like a quality of space issue - not a safety issue.</p>

**Appeal item 2**

<b>Code Section</b>	OSSC 903.2
<b>Requires</b>	Requires a NFPA 13 sprinkler system to be installed in R1 occupancies.
<b>Code Modification or Alternate Requested</b>	To allow approximately 2/3rds of the existing basement to be converted from storage units to artist units (office, massage therapist, artists).
<b>Proposed Design</b>	<p>Apparently, in going over historic records with the current property owner, we discovered that appeal #1433 from 2004 required sprinklers to be installed in the basement - that never happened. The 2004 appeal also references 'artists studios' – but I do not see any reference to that in the 2009 drawing that I have (I was not able to obtain the actual permit drawings -but by the dates – I believe the attached are what was approved).</p> <p>Per this appeal and subsequent permit – we would construct 'artist studios' (office, massage therapist, artists – no sleeping areas). And install a sprinkler system in the basement of this building.</p>
<b>Reason for alternative</b>	<p>We feel the addition of sprinklers in this building will improve the overall life safety of the building. An occupied basement with sprinklers is safer than a non-occupied basement with no sprinkler system in our opinion. If the board feels additional fire or smoke detection would be helpful, the owner would be willing to install that to go above and beyond minimum code.</p> <p>Part of the proposed upgrade will include upgrading the floor/ceiling separating the basement from first floor apartments to meet current fire and sound requirements as well.</p>

**APPEAL DECISION**

**1. Reduction in minimum required ceiling height from 7 feet 6 inches to 6 feet 9 inches: Hold for additional information. See note below regarding the process for submitting additional information.**

**2. Installation of fire sprinklers in basement change of occupancy: Hold for additional information. See note below regarding the process for submitting additional information.**

**Appellant may contact John Butler (503 865-6427) or e-mail at [John.Butler@portlandoregon.gov](mailto:John.Butler@portlandoregon.gov) with questions.**

Additional information is submitted as a no fee reconsideration, following the same submittal process and using the same appeals form as the original appeal. Indicate at the beginning of the appeal form that you are filing a reconsideration and include the original assigned Appeal ID number. The reconsideration will receive a new appeal number.

Include the original attachments and appeal language. Provide new text with only that information that is specific to the reconsideration in a separate paragraph(s) clearly identified as "Reconsideration Text" with any new attachments also referenced. No additional fee is required.

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### APPEAL SUMMARY

**Status:** Held over from 12-29-04, B-2, ID 1410, for plans and info. regarding proposed use of space.

<b>Appeal ID:</b> 1433	<b>Project Address:</b> 1906 NW 25th Ave
<b>Hearing Date:</b> 1/5/05	<b>Appellant Name:</b> Scott Reiter
<b>Case No.:</b> B-012	<b>Appellant Phone:</b> 503-574-3036
<b>Appeal Type:</b> Building	<b>Plans Examiner/Inspector:</b> Jerry Engelhardt
<b>Project Type:</b> commercial	<b>Stories:</b> 2 + bsmt <b>Occupancy:</b> R-1, F-1 <b>Construction Type:</b> VN
<b>Building/Business Name:</b>	<b>Fire Sprinklers:</b>
<b>Appeal Involves:</b> Alteration of/additional to an existing structure	<b>LUR or Permit Application No.:</b>
<b>Plan Submitted Option:</b> mail	<b>Proposed use:</b> Apartment Building w/ Resident Tenant Storage and Artist Work Studio

### APPEAL INFORMATION SHEET

#### Appeal item 1

**Code Section** 1003.2.4 Height

**Requires** The means of egress shall have a clear height of not less than 7 feet to the lowest point.

#### Code Modification or Alternate Requested

**Proposed Design** The subject area is an existing basement space that has a clear height of 6'-10" to 6'-11" with the floor slope. With the addition of new 5/8" type 'X' gypsum board to the floor/ceiling assembly, the finish height will be 6'-9 3/8" to 6'-10 3/8".

The two new exit doors will have a height of 6'-8" and the doorway opening in the existing concrete wall in the Corridor is 6'-8".

**Reason for alternative** The existing basement space has been historically used for tenant storage and tenant laundry facilities. The proposed alterations will provide a one-hour rated occupancy separation and significantly improve the fire & life safety of the building. The proposed alterations also provide a new exit stairway and a one-hour rated exit corridor.

The proposed alterations do not pose any greater hazard to the building tenants or to the proposed artist/occupants.

#### Appeal item 2

**Code Section** 1003.3.4 Stairway Headroom

<b>Requires</b>	Every stairway shall have a clear headroom of not less than 6'-8".
<b>Code Modification or Alternate Requested</b>	
<b>Proposed Design</b>	The existing exit stairway from the Basement space to the West leading to the Public Sidewalk/ROW has a clear headroom of approximately 6'-6" and the existing building wall line.
<b>Reason for alternative</b>	The existing stair treads and risers will be reconstructed to try to improve the headroom but the stairway is constrained by the existing building bearing wall and the property line and Public ROW and the headroom may remain 6'-6". This stair will be reconstructed so that the rise/run will meet the UBC minimums and a handrail will be added, thus improving the overall safety of the stair. This stair will serve as an emergency exit only and the newly constructed, fully code compliant stair will serve as the primary access to the basement.




## APPEAL DECISION

**1. Basement ceiling height: Granted provided that if the basement is not currently sprinklered, full coverage will be required under permit from the Fire Marshal's Office.**

**2. Headroom at existing stairway: Granted as proposed.**

**Note: Artist's studios are not to be used as sleeping areas under any circumstances.**

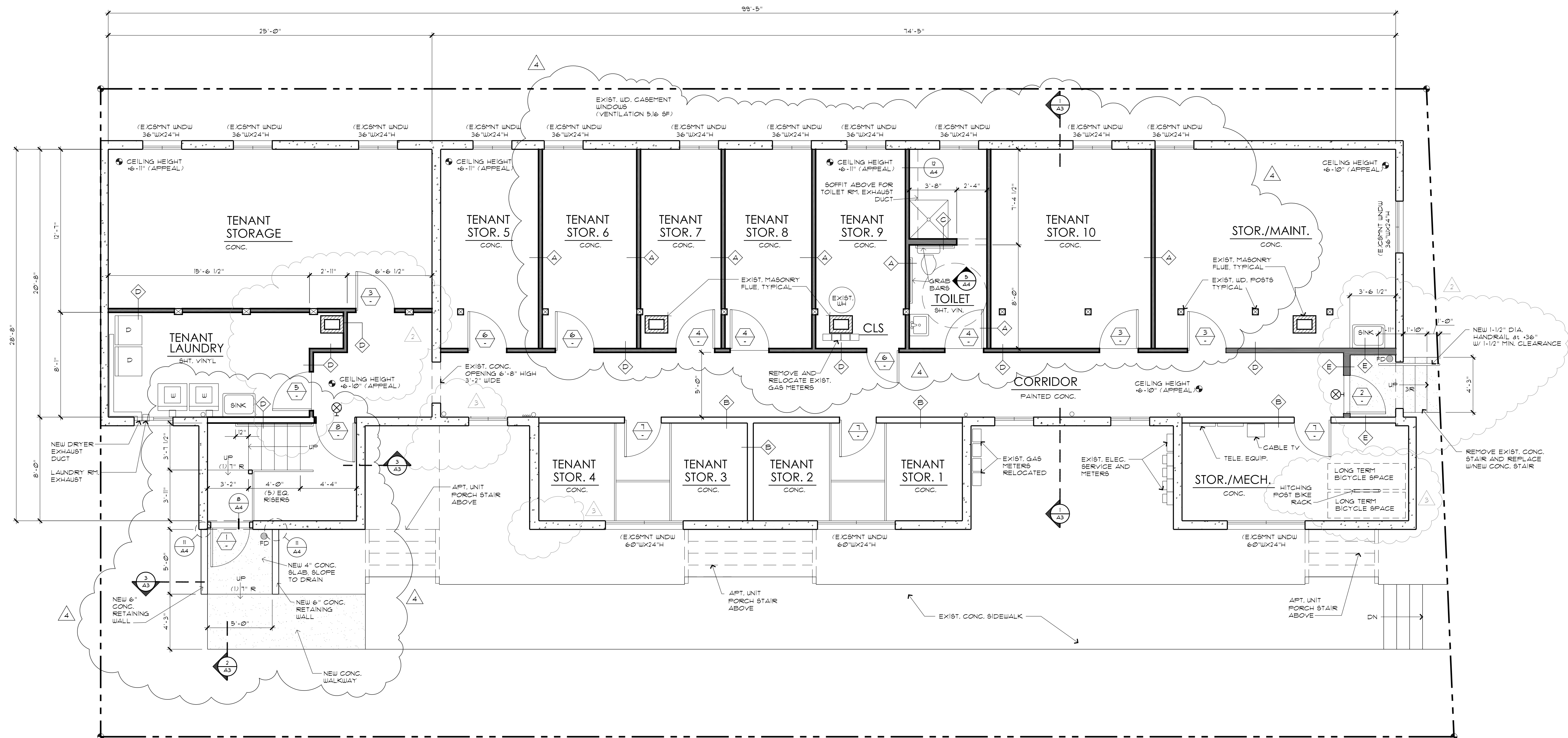
## FLOOR PLAN NOTES

- 1.) ALL DIMENSIONS ARE TO FACE OF FRAMING UNLESS NOTED OTHERWISE.
- 2.) ALL PLUMBING WALLS TO BE 2x6 CONSTRUCTION.
- 3.) CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND VERIFYING ALL REQUIREMENTS OF MECHANICAL AND ELECTRICAL EQUIPMENT.
- 4.) SEE DRAWING A6 FOR DOOR SCHEDULE.
- 5.) VERIFY AND COORDINATE ALL ROUGH OPENING DIMENSIONS AND REQUIREMENTS FOR DOORS AND WINDOWS.
- 6.) CONSTRUCT FIRE AND SOUND ASSEMBLIES (WALLS AND CEILING) AS INDICATED BY REFERENCED SECTIONS AND DETAILS.
- 7.) FIELD VERIFY ALL CABINET DIMENSIONS, VERIFY ROUGH OPENING DIMENSIONS FOR APPLIANCES AND FIXTURES.
- 8.) SEE BUILDING PLANS AND DETAILS FOR ADD'L WALL TAGS AND CONSTRUCTION ASSEMBLIES.
- 9.) SEE FLOOR PLAN NOTES ON SHEET A2.
- 10.)  INDICATES DOOR NUMBER AND HARDWARE GROUP. SEE SCHEDULE SHEET A4.
- 11.)  INDICATES WALL TYPE. SEE DETAILS SHEET A4.
- 12.) ELECTRICAL, MECHANICAL AND PLUMBING EQUIPMENT INSTALLED IN FIRE RATED WALLS ARE TO BE CONSTRUCTED TO MAINTAIN FIRE RATING.
- 13.) PROVIDE EXIT SIGN WITH BATTERY BACKUP WHERE SHOWN ON PLANS. 

## WALL LEGEND

EXISTING WALL TO REMAIN

NEW WALL

1  
A2

## BASEMENT FLOOR PLAN

1/4"= 1'-0"




PLAN REVISIONS  
3/10/09

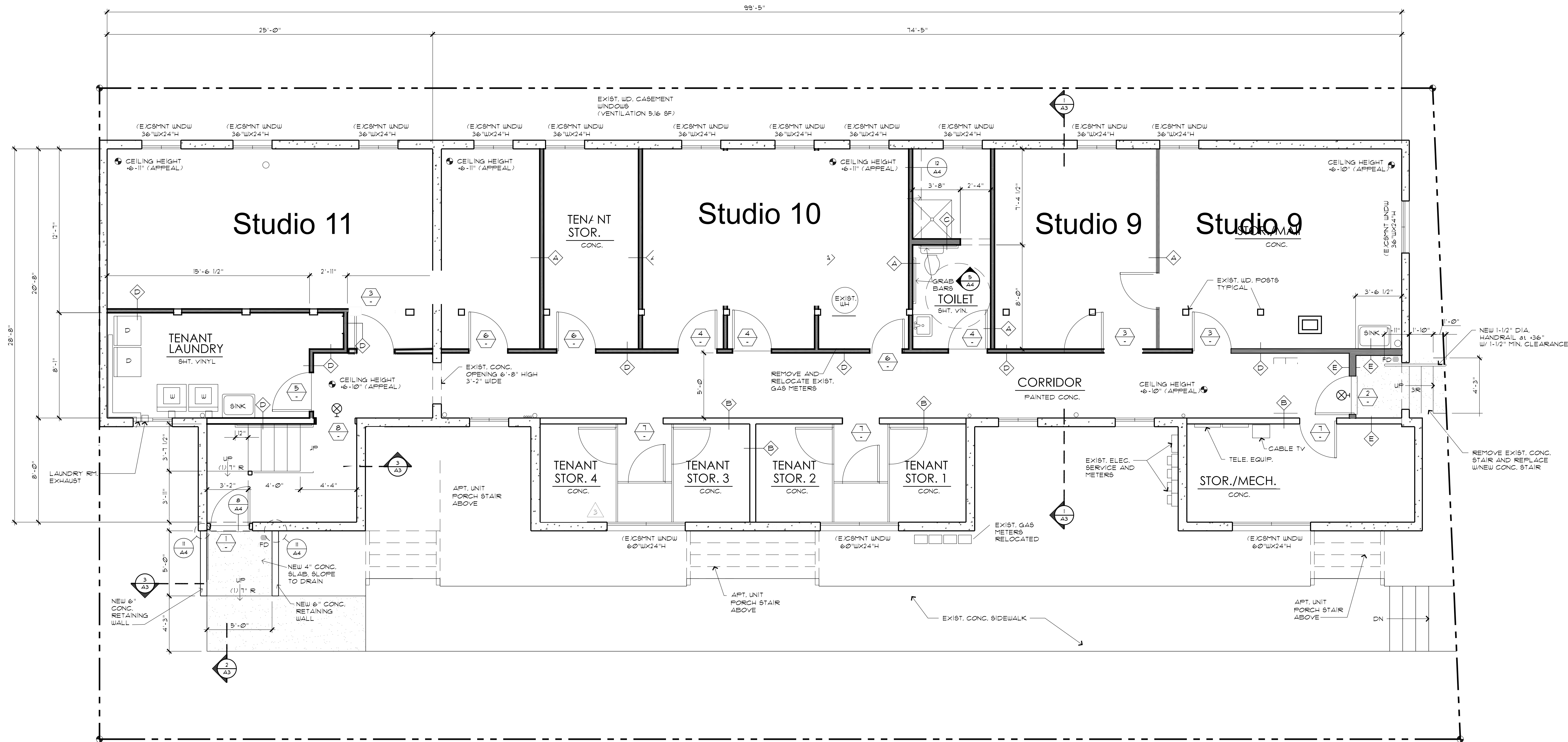
## BASEMENT FLOOR PLAN

BASEMENT IMPROVEMENTS  
ESCHER APARTMENTS  
1906 NW 25TH AVENUE PORTLAND, OREGONOWNER:  
BRYAN FRIEL, NEUBURG & FERGUSON L.L.C.  
1231 NW HOYT STREET, ST. 201 PORTLAND, OREGON 97209RDG  
REITER DESIGN GROUP  
ARCHITECTS, INC.

4315 SW GRIFFITH DR. BEAVERTON, OREGON 97005 (503) 574-3036

A  
2

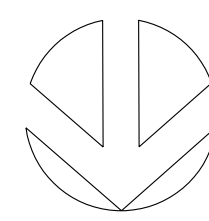
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SEE SCHEDULE SHEET A4
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IN FIRE RATED WALLS ARE TO BE CONSTRUCTED TO MAINTAIN  
FIRE RATING.
- 13.) PROVIDE EXIT SIGN WITH BATTERY BACKUP WHERE SHOWN ON PLANS 



1  
A2

## BASEMENT FLOOR PLAN

1/4" = 1'-0"



PLAN REVISIONS  
3/10/09