

## Development Services

### From Concept to Construction

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More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



#### APPEAL SUMMARY

**Status:** Decision Rendered - Reconsideration of ID 24228

<b>Appeal ID:</b> 24416	<b>Project Address:</b> 915 NE Schuyler St
<b>Hearing Date:</b> 11/25/20	<b>Appellant Name:</b> Hali Knight
<b>Case No.:</b> B-018	<b>Appellant Phone:</b> 971-352-3935
<b>Appeal Type:</b> Building	<b>Plans Examiner/Inspector:</b> Steven Mortensen, Kent Hegsted, Ed Marihart
<b>Project Type:</b> commercial	<b>Stories:</b> 9 <b>Occupancy:</b> R-2 <b>Construction Type:</b> 1-A
<b>Building/Business Name:</b>	<b>Fire Sprinklers:</b> Yes - Throughout
<b>Appeal Involves:</b> Alteration of an existing structure, Reconsideration of appeal	<b>LUR or Permit Application No.:</b> 20-185703-CO
<b>Plan Submitted Option:</b> pdf [File 1] [File 2] [File 3] [File 4] [File 5]	<b>Proposed use:</b> Residential

#### APPEAL INFORMATION SHEET

##### Appeal item 1

<b>Code Section</b>	Chapter 13 Systematic Inspection Program: Section 1313 of Chapter 13 of the Appendix of the 1973 Edition of the Uniform Building Code
<b>Requires</b>	Chapter 13 modification, a change of use and/or layout requires a building code appeal.
<b>Code Modification or Alternate Requested</b>	Occupancy changes and spatial reconfiguration to an existing Chapter 13 building.
<b>Proposed Design</b>	<p>Dahlke Manor is a 9 story apartment building in Portland, Oregon serving low-income residents. The proposed scope of work is to reconfigure the ground level spaces to better serve the residents, build a small (&lt;750 sqft addition), replace finishes in the residential units, and convert six of the existing dwelling units to accessible Type A units. The proposed scope of work includes reconfiguration of spaces only on Level 1. The changes are described by level below and illustrated on sheet G111A Proposed 1st FLS, as well as existing conditions shown on G110A Existing 1st Floor FLS and G112 Proposed/Existing 2-9 FLS.</p> <p>Level 1 and Site: Site: The existing community patio is being relocated from the north of the building to the west and expanded.</p> <p>A-3 (Patio): + 93 Occupants</p> <p>Level 1: Reconfiguration of the ground level to better meet residents needs. One of the existing egress doors across from the main entry is proposed to be removed. Occupants currently have the option of exiting the building to the north or the south. In order to accommodate accessible mail boxes – the mail area has been expanded to infill the existing door. All of the occupants exiting in this area will be redirected to the south door. The changes in occupancies on Level 1 are as follows:</p>

A-3 (Community Room): - 6 Occupants  
 B (Offices/Kitchen): + 4 Occupants  
 S-1 (Maintenance, Storage, Etc): +3 Occupants  
 R-2 (Dwelling Units, Circulation, Lobby, Support): -1 Occupant  
 Total Level 1 Occupancy Change: No Changes (Existing: 175 | Proposed: 175)  
 Total Site + Level 1: +93 (Existing: 225 | Proposed: 318)

Levels 2 – 9:

No spatial or occupancy changes proposed.

Levels 2 – 5 Occupancy Change: No Changes (Existing: 52/Floor | Proposed: 52/Floor)

All of the added occupants are located at the outdoor patio, which will be served by two exits.

Reconsideration Text: Reference submitted sheets A150 and A151 RCP Plans that show the existing and proposed location of sprinkler heads throughout the building. Previously submitted drawings did not show all locations of existing sprinkler heads throughout the building, only those in scope for new work. The scope of work will replace existing sprinkler heads and add new sprinklers in common areas and the new addition. The building will be fully sprinklered throughout and meets NFPA 13.

**Reason for alternative** The proposed design will improve the common spaces for the residents while maintaining code compliant egress. The existing building is fully sprinklered per NFPA 13 as will be all new work. Per Section 3404 all alterations described shall comply with the requirements of the code for new construction. Sufficient egress is provided from all spaces – reference sheet G111A Proposed 1st FLS. The only added occupants are located on the exterior of the building at the patio, which is provided with two code compliant egress gates equipped with panic hardware.

The removal of the existing egress door directly to the north of the main entry will have a minimal impact on exiting. Overall path of travel remains the same and the only change will be to the number of occupants exiting through the main entry. Sufficient width to accommodate the additional occupants is provided – and panic hardware will be provided as required by code at this exit. The existing stair towers will remain the means of egress for the majority of the residents.

Reconsideration text: See attached Chapter 13 inspection documents on file 00-179658-SY that documented all life safety items were 'OK' and the summary stated "no deficiencies noted" (see reference documents). Refer to related appeal below (Item 3) requesting to remove Dahlke Manor from the Chapter 13 list because the building provides code compliant egress, is fully sprinklered, and provides the required fire protection at all assemblies.

## Appeal item 2

<b>Code Section</b>	2019 OSMC 505.5 Common Exhaust System for Domestic Kitchens Located in Multistory Structures
<b>Requires</b>	Where a common multistory duct system is designed and installed to convey exhaust from multiple domestic kitchen exhaust systems, the construction of the system shall be in accordance with all of the following: 12. The common multistory duct system shall serve only kitchen exhaust and shall be independent of other exhaust systems.
<b>Code Modification or Alternate Requested</b>	The residence kitchen area exhaust and bath exhaust in this existing building are being modified.
<b>Proposed Design</b>	<p>As allowed by 2019 OSMC 102.6 Additions, Alterations, or Repairs, the existing subduct is being altered. The proposed design meets the requirement of Section 102.6, and Table 403.3.1.1.</p> <p>New continuous exhaust fans, which are tied to backup power, are being installed on the roof, at existing locations that serve existing subducts. The existing subduct shafts are routed down to</p>

from the roof, through the 9th floor down to the 2nd floor. Existing bath fans in residences that are served by the existing subduct shafts are being replaced with new bath fans, with exhaust duct routed to subduct shaft. New exhaust grilles are being installed in the kitchen side of the existing subduct. The exhaust grilles are subducted into the common subduct that also serves bath exhaust.

See attached mechanical plans and subduct detail M3.1.

Reconsideration Text: Reference submitted sheets A150 and A151 RCP Plans that show the existing and proposed location of sprinkler heads throughout the building. Previously submitted drawings did not show all locations of existing sprinkler heads throughout the building, only those in scope for new work. The scope of work will replace existing sprinkler heads and add new sprinklers in common areas and the new addition. The building will be fully sprinklered throughout and meets NFPA 13.

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**Reason for alternative** The addition of an exhaust grille to the kitchen area as part of the building remodel/alteration in order to provide kitchen exhaust ventilation in accordance with the Table 403.3.1.1 requirement for 25 cfm (continuous exhaust) for Private dwellings, single and multiple. The exhaust grille is not associated with any cooking appliance.

There is only one existing shaft (2HR fire-rated) located within each dwelling units which this proposed design utilizes to allow for required exhaust of the unit kitchens.

Reconsideration Text: Reference submitted sheets A150 and A151 RCP Plans that show the existing and proposed location of sprinkler heads throughout the building. Each unit is fully sprinklered with 6-7 sprinkler heads and meets NFPA 13.

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### Appeal item 3

**Code Section** Chapter 13 Systematic Inspection Program: Section 1313 of Chapter 13 of the Appendix of the 1973 Edition of the Uniform Building Code

**Requires** As a Chapter 13 Building, any modifications to existing means of egress systems will require a building code appeal for approval.

**Code Modification or Alternate Requested** Existing building meets all current life safety requirement, we request the building be removed from the Chapter 13 Building List.

**Proposed Design** Dahlke Manor was built in 1971 and was inspected in 1973 per Chapter 13. The Chapter 13 inspection documents on file 00-179658-SY documented that all life safety items were 'OK' and the summary stated "no deficiencies noted" (see reference documents).

The building is a concrete block high rise, Type 1A construction in accordance with current code OSSC 2019. Reference code analysis sheet G006 and G007 for the building's compliance to current code requirements. The building meets the life safety requirements of two enclosed fire protected egress stairs, has no dead-end corridors, and is fully sprinklered throughout in accordance with NFPA 13. Exit separation distance, exit access travel distance, egress doors, sizing of corridors, and fire protection requirements all meet current code requirements.

The scope of work also includes updating the building's lighting, HVAC systems, common area kitchen, and new backup generator for emergency systems, all to meet current requirements.

The one deficiency noted is that the elevator lobby does not meet the requirements of section 3006.2. Per section 3006.2, because the building is over 75-feet tall, hoistway opening protection is required. The lack opening protection is mitigated by the following: 1) the majority of the building's roof is located at an elevation of 80-feet, just 5-feet below the threshold for requiring opening protection. Additionally, the elevator lobby is located in the center of the building well

separated from the egress stairs at either end. See attached building elevation sheets A200-A204 for reference to the building's height.

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**Reason for alternative** The building meets all life safety requirements with the exception of section 3006. It provides code compliant egress, is fully sprinklered, and provides the required fire protection at all assemblies. Given these factors it should no longer listed as a Chapter 13 building.

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#### APPEAL DECISION

**1. Alterations to Chapter 13 building: Granted provided Life Safety check sheet items are satisfactorily addressed prior to approval of life safety plan review.**

**2. Use of combined subduct exhaust system to serve both kitchen and bathroom exhaust: Granted provided the subduct riser shown on Detail 11 of sheet M3.1 is of minimum 26 gage steel construction.**

**3. Removal of building from Chapter 13 status: Granted provided Life Safety check sheet items are satisfactorily addressed prior to approval of life safety plan review.**

**Appellant may contact John Butler (503 865-6427) or e-mail at [John.Butler@portlandoregon.gov](mailto:John.Butler@portlandoregon.gov) with questions.**

The Administrative Appeal Board finds with the conditions noted, that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 90 calendar days of the date this decision is published. For information on the appeals process, go to [www.portlandoregon.gov/bds/appealsinfo](http://www.portlandoregon.gov/bds/appealsinfo), call (503) 823-7300 or come in to the Development Services Center.



## GENERAL INFORMATION

### SUMMARY OF WORK

Dahlke is a 9-story residential apartment tower with 1-story lower story attached community space, located in Portland, Oregon serving low-income residents. The proposed scope of work is a one story 700 SF addition for a kitchen and break room associated with the Community Room. The existing kitchen and restrooms are being converted to a new laundry room and restrooms, and the existing office areas are being remodeled. Within the lower portion of the building, the existing laundry room is being converted to a new trash room, the existing trash room is being converted to recycling and bike storage. Corridors will receive new ACT ceilings, new light, and new exit signage. All dwelling units will receive new flooring, cabinets, counters, and plumbing fixtures. Six existing 1st floor dwelling units will be remodeled into Type A Dwelling Units. A new enclosed exterior patio area is being constructed outside the Community Room to the west, and a new parking area is being created at the north side of the site. A new generator being installed in an exterior enclosure and the existing generator room will create a bike storage room. The building will remain occupied during construction in compliance with all applicable requirements of City of Portland Engineering Guide #1.

### PROJECT ADDRESS

915 NE SCHUYLER ST, PORTLAND, OR 97212

### BUILDING DESCRIPTION

MULTI-FAMILY - 115 UNITS  
Building is part of the City of Portland Chapter 13 program per folder # 00-179658-SY.

### ZONING

BASE	RM3 - HIGH DENSITY RESIDENTIAL
OVERLAY	d - DESIGN
BASE OVERLAY COMBINATION	RM3d
COMP PLAN	MD-U - MULTI-DWELLING - URBAN CENTER
HISTORIC DISTRICT	IRVINGTON HISTORIC DISTRICT
CLASSIFICATION	NON-CONTRIBUTING
PLAN DISTRICT	n/a
URBAN RENEWAL DISTRICT	n/a
BUSINESS DISTRICT	n/a

### APPLICABLE CODES (102.4)

DISCIPLINE	CODE TITLE	EDITION
BUILDING	OREGON STRUCTURAL SPECIALTY CODE (OSSC) BASED ON THE 2018 INTERNATIONAL BUILDING CODE (IBC)	2019
	INTERNATIONAL EXISTING BUILDING CODE (IEBC) AS MODIFIED BY CHAPTER 34 OF THE 2019 OSSC	2019
MECHANICAL	OREGON MECHANICAL SPECIALTY CODE (OMSC) BASED ON THE 2018 INTERNATIONAL MECHANICAL CODE (IMC)	2019
PLUMBING	OREGON PLUMBING SPECIALTY CODE (OMSC) BASED ON THE 2015 UNIFORM PLUMBING CODE	2017
ELECTRICAL	OREGON ELECTRICAL SPECIALTY CODE (OESC) BASED ON THE 2017 NATIONAL ELECTRIC CODE (NEC) WITH STATE AMENDMENTS	2017
ENERGY	OREGON ZERO ENERGY READY COMMERCIAL CODE ANSI/ASHRAE/IES STANDARD 90.1	2019 2016
FIRE	PORTLAND FIRE CODE BASED ON THE 2012 INTERNATIONAL FIRE CODE AND THE 2014 OREGON FIRE CODE	2016
ACCESSIBILITY	OREGON STRUCTURAL SPECIALTY CODE (OSSC) ICC A117.1	2019 2009

## LAND USE TYPE III REVIEW DECISION

UNANIMOUS APPROVAL FOR LU 20-125955 HRM AD WITH MODIFICATION AND ADJUSTMENT

Staff recommends approval.

A. As part of the building permit application submittal, the following development related conditions (B through C) must be noted on each of the 4 required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled "ZONING COMPLIANCE PAGE - Case File LU 20-125955 HDZM AD". All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED."

B. At the time of building permit submittal, a signed Certificate of Compliance form (<https://www.portlandoregon.gov/bds/article/623658>) must be submitted to ensure the permit plans comply with the Historic Resource Review decision and approved exhibits.

C. NO FIELD CHANGES ALLOWED.

Adjustment to Portland Zoning Code (PZC) 33.266.110.B.1.a.(4) g  
Granted to reduce the number of on-site parking spaces from the current 28 to 24.

Modification to 33.266.130.G.3, Interior Parking Lot Landscaping  
Granted to provide less than the required 45 square feet of interior parking lot landscaping per each parking space. The proposal will be providing approximately 65% of the total interior parking lot landscaping that is required for the new parking lots.

## DEFERRED SUBMITTALS / DELEGATED DESIGN

ITEM	DEFERRED SUBMITTAL	DELEGATED DESIGN	NOTES
PLUMBING	YES	YES	REQUIRES SEPARATE TRADE PERMIT.
ELECTRICAL	YES	YES	REQUIRES SEPARATE TRADE PERMIT.

DEFERRED SUBMITTALS ARE NOT INCLUDED IN BUILDING PERMIT. DRAWINGS AND CALCULATIONS ARE REQUIRED TO BE STAMPED BY ENGINEER REGISTERED IN THE STATE OF OREGON, AND APPROVED BY THE ENGINEER OF RECORD PRIOR TO SUBMITTING TO THE BUREAU OF DEVELOPMENT SERVICES FOR REVIEW.

## SEPARATE FIRE PROTECTION REQUIREMENTS

GENERAL CONTRACTOR SHALL OBTAIN PERMITS FOR THE FOLLOWING FIRE PROTECTION REQUIREMENTS FROM THE FIRE MARSHALL

FIRE PROTECTION/ FULL NFPA 13 SPRINKLER SYSTEM PROVIDED THROUGHOUT BUILDING  
FIRE DETECTION AND ALARM SYSTEM

GENERATOR/ABOVE GROUND FUEL STORAGE

TYPE 1 HOOD FIXED FIRE EXTINGUISHING SYSTEM (PERMIT TO BE OBTAINED FROM FIRE MARSHAL'S OFFICE)

DETAILS CONTAINED WITHIN THIS BUILDING PERMIT DOCUMENTATIONS RELATED TO THE ABOVE SYSTEMS ARE FOR REFERENCE ONLY.

## ADMINISTRATIVE REQUIREMENTS

CONSTRUCTION DOCUMENTS	LOCATION IN CONSTRUCTION DOCS
MEANS OF EGRESS: INDICATE LOCATION, CONSTRUCTION, SIZE AND CHARACTER OF ALL PORTIONS OF MEANS OF EGRESS.	G110 - G112
EXTERIOR WALL ENVELOPE: DESCRIBE THE WALL ENVELOPE IN SUFFICIENT DETAIL TO DETERMINE COMPLIANCE WITH THE CODE	A010
SITE PLAN: INDICATE BUILDING LOCATION RELATIVE TO LOT LINES, STREET GRADES, FINISHED GRADES AND, IF APPLICABLE, FLOOD PLANES OR ZONES. INCLUDE EXCAVATION AND FILL AS WELL AS DRAINAGE.	A102

INSPECTIONS:	LOCATION IN CONSTRUCTION DOCS
INSPECTIONS ARE REQUIRED AT VARIOUS STAGES OF CONSTRUCTION AND WORK MAY NOT BE COVERED UNTIL AFTER APPROVED. REFER TO SECTIONS 110.3.9 AND CHAPTER 17 FOR SPECIAL INSPECTIONS.	S002

## ALLOWABLE AND PROPOSED BUILDING HEIGHTS AND AREAS

CHAPTER 5

CONSTRUCTION TYPE: IA, SPRINKLERED OCCUPANCIES BASED ON R-2		NONSEPARATED OCCUPANCY: R-2, A-3, B		
BLDG HEIGHT / AREA TABLE (503)	OCCUPANCY	ALLOWABLE	EXISTING	PROPOSED
BUILDING HEIGHT	R-2	UL	100 FT *	100 FT *
	A-3	UL	10 FT *	10 FT *
	B	UL	10 FT *	10 FT *
	S-1	UL	100 FT *	100 FT *
NUMBER OF STORIES		UL	9	9
BUILDING AREA		UL	77,865 SQFT	78,626 SQFT

BUILDING AREA	ALLOWABLE	EXISTING	PROPOSED
LEVEL 1	UL	11,990 SQFT	12,748 SQFT
LEVEL 2	UL	8,234 SQFT	8,234 SQFT
LEVEL 3	UL	8,234 SQFT	8,234 SQFT
LEVEL 4	UL	8,234 SQFT	8,234 SQFT
LEVEL 5	UL	8,234 SQFT	8,234 SQFT
LEVEL 6	UL	8,234 SQFT	8,234 SQFT
LEVEL 7	UL	8,234 SQFT	8,234 SQFT
LEVEL 8	UL	8,234 SQFT	8,234 SQFT
LEVEL 9	UL	8,234 SQFT	8,234 SQFT
TOTAL	UL	77,862 SQFT	78,626 SQFT

\* EXISTING CONDITION TO REMAIN, NO INCREASES IN BUILDING HEIGHT PROPOSED.

## CONSTRUCTION TYPE, HEIGHT, + EXTERIOR WALL FIRE RESISTANCE REQ

CHAPTERS 6 & 7

### FIRE RESISTIVE REQUIREMENTS BASED ON CONSTRUCTION TYPE (TABLE 601)

CONSTRUCTION TYPE: 1A	REQUIRED	PROPOSED
PRIMARY STRUCTURAL FRAME	3	3
BEARING WALLS - EXTERIOR	3	3
BEARING WALLS - INTERIOR	3	3
NONBEARING WALLS AND PARTITIONS - EXTERIOR	PER TABLE 602	PER TABLE 602
NONBEARING WALLS AND PARTITIONS - INTERIOR	0	0
FLOOR CONSTRUCTION	2	2
ROOF CONSTRUCTION	1 1/2	1 1/2, 2

### ALLOWABLE AREA OF OPENINGS PER STORY (705.8)

WALL LOCATION	NORTH	SOUTH	EAST	WEST	EAST COURT	WEST COURT
FIRE SEPARATION DISTANCE PROVIDED <sup>a</sup>	40 FEET	44 FEET	40 FEET	75 FEET	24 FEET	24 FEET
MAXIMUM AREA OF UNPROTECTED OPENINGS <sup>b</sup>	NO LIMIT	NO LIMIT	NO LIMIT	NO LIMIT	45%	45%
MAXIMUM AREA OF PROTECTED OPENINGS <sup>c</sup>	NO LIMIT	NO LIMIT	NO LIMIT	NO LIMIT	NO LIMIT	NO LIMIT
EXISTING AREA OF OPENINGS (PROTECTED)	403 SF	616 SF	3,768 SF	0SF	24 SF	3,403 SF (25%)
PROPOSED AREA OF OPENINGS	338 SF	NO CHANGES	NO CHANGES	171 SF	98 SF (13%)	3,420 SF (25%)

<sup>a</sup> DISTANCES ARE MEASURED TO CENTER OF RIGHT-OF-WAY OR PROPERTY LINE

<sup>b</sup> BASED ON VALUES IN TABLE 705.8 FOR UNPROTECTED, SPRINKLERED BUILDINGS

<sup>c</sup> NEW OPENINGS PROPOSED ON THE NORTH ELEVATION WILL BE PROTECTED ACCORDING TO SECTION 705.8.2

## OPENING PROTECTION AND REQUIRED FIRE-RESISTIVE RATINGS

CHAPTER 7

### FIRE DOOR AND SHUTTER FIRE PROTECTION RATINGS (TABLE 716.1(2))

TYPE OF ASSEMBLY	REQUIRED ASSEMBLY RATING (HOURS)	MIN. DOOR / SHUTTER RATING...	DOOR / SHUTTER RATING PROVIDED <sup>a</sup>
FIRE WALLS & BARRIERS GREATER THAN 1-HOUR	4	3	N/A
	3	1.5	N/A
	1.5	1.5	N/A
FIRE BARRIERS:			
SHAFT, EXIT ENCLOSURES, EXIT PASSAGEWAYS	2	1.5	1.5
OTHER FIRE BARRIERS	1	0.75	N/A
FIRE PARTITIONS:			
CORRIDOR WALLS	1	0.33	N/A
	0.5	0.33	0.33
OTHER FIRE PARTITIONS	1	0.75	N/A
	0.5	0.33	N/A
EXTERIOR WALLS:			
	2	1.5	N/A
	1	0.75	N/A
SMOKE BARRIERS	1	0.33	N/A

### FIRE WINDOW FIRE PROTECTION RATINGS (TABLE 716.1(3))

TYPE OF ASSEMBLY	REQUIRED ASSEMBLY RATING (HOURS)	MIN. FIRE WINDOW RATING...	FIRE WINDOW RATING PROVIDED <sup>a</sup>
INTERIOR WALLS:			
FIRE WALLS	ALL	NOT...	N/A
FIRE BARRIERS	> 1	NOT...	N/A
	1	NOT...	N/A
SMOKE BARRIERS	1	0.75	N/A
FIRE PARTITIONS	0.5	.33	N/A
EXTERIOR WALLS			
	> 1	1.5	N/A
	1	0.75	N/A
	0.5	.33	N/A
PARTY WALLS	ALL	NOT...	N/A

\* EXISTING CONDITIONS NOT ALTERED

## USE/OCCUPANCY(S)

CHAPTER 3

RESIDENTIAL: PRIMARY OCCUPANCY R-2, OTHER OCCUPANCIES A-3, B, AND S-1

## CONSTRUCTION TYPE(S)

CHAPTER 6

CONSTRUCTION CLASSIFICATION	IA
SPECIAL PROVISIONS	NONE
SPRINKLERED	YES - FULLY SPRINKLERED THROUGHOUT ENTIRE BUILDING
SYSTEM	EXISTING: TO REMAIN NEW: FULL NFPA 13 STANDARD SPRINKLER SYSTEM PER OSSC 903.3.1.1

## ENVELOPE REQUIREMENTS

CHAPTERS 13 AND 15

### ENERGY CONSERVATIONS

PROVIDED PER CHAPTERS 13 AND 34 OF THE OSSC AND ASHRAE STANDARD 90.1  
AT EXISTING - NO CHANGES PROPOSED  
AT NEW - ASSEMBLIES PROVIDED PER TABLES SECTION 5.5 OF ASHRAE 90.1

### PER TABLE 5.5.4

	REQUIRED NON-RES/RES	PROVIDED NON-RES/RES
ROOFS		
INSULATION ENTIRELY ABOVE DECK	R-30ci	MIN R-30ci
WALLS		
ABOVE GRADE, MASS	R-9.5ci/R-11.4ci	MIN R-9.5ci/R-11.4ci
ABOVE GRADE, STEEL FRAMED	R-13 + R-7.5ci	MIN R-13 + R-7.5 ci
BELOW GRADE	R-7.5ci/ R-10ci	MIN R-7.5ci/ R-10ci
FLOORS		
SLAB-ON-GRADE, UNHEATED	R-15 FOR 24in	MIN R-15 FOR 24in
FENESTRATION		
METAL FRAMING, FIXED		
MAX U	0.38	MAX 0.38
MAX SHGC	0.36	MAX 0.36
MIN VT/SHGC	1.10	MIN 1.10
METAL FRAMING, OPERABLE		
MAX U	0.46	MAX 0.46
MAX SHGC	0.36	MAX 0.36
MIN VT/SHGC	1.10	MIN 1.10
METAL FRAMING, DOOR		
MAX U	0.68	MAX 0.68
MAX SHGC	0.36	MAX 0.36
MIN VT/SHGC	1.10	MIN 1.10

### ROOFING REQUIREMENTS

FIRE CLASSIFICATION (TABLE 1505.1) B

WIND EXPOSURE	B
BASIC WIND SPEED	120 MPH

## INTERIOR ENVIRONMENT

CHAPTER 12

### VENTILATION

#### OCCUPIED ROOMS

PROVIDED PER 1202.5 NATURAL VENTILATION

#### TOILET & BATHROOMS

MECHANICALLY VENTED PER SECTION 1202.5.2.1

### LIGHTING

NATURAL LIGHTING

PROVIDED PER SECTION 1204.2 (NO CHANGES PROPOSED)

### SOUND TRANSMISSION (1206.2 AND 1206.3)

	REQUIRED	PROPOSED <sup>a</sup>
STC: DWELLING UNIT SEPARATIONS (WALLS, PARTITIONS, FLOOR/CEILING ASSEMBLIES)	50 (45 FIELD)	50
IIC: DWELLING UNIT SEPARATIONS (FLOOR/CEILING ASSEMBLIES)	50 (45 FIELD)	50
*NO CHANGES PROPOSED AT EXISTING		



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Portland, OR 97232  
Phone: (503) 517-0283  
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Consultant:

Stamp:



## DAHLKE MANOR RENOVATION

915 NE SCHUYLER ST,  
PORTLAND, OR 97212

Owner:

Home Forward  
135 SW Ash St Portland, OR 97204

### Revisions:

No.	Description	Date
2	REVISION 2	XX.XX.XX

Project Number:

19-020

Issuance:

BID SET

Issue Date:

10/22/2020

Drawn By:

HK

Checked By:

PM

Sheet Title:

CODE ANALYSIS

Sheet Number:

G006



MEANS OF EGRESS

CHAPTER 10

MAX FLOOR AREA ALLOWANCE PER OCCUPANT FUNCTION OF SPACE	TABLE 1004.5 OCCUPANT LOAD FACTOR	DEAD ENDS (MAXIMUM)	SECTION 1020.4
ACCESSORY STORAGE, MECHANICAL, EQUIPMENT	300 GROSS	WITH SPRINKLER SYSTEM GROUPS B, R-2, AND S GROUP A	50 FT 20 FT
ASSEMBLY WITHOUT FIXED SEATS - UNCONCENTRATED	15 NET	WITHOUT SPRINKLER SYSTEM GROUPS A, B, R-2, AND S	20 FT
BUSINESS	150 GROSS	LENGTH PROVIDED	SEE G111 TO G112
RESIDENTIAL	200 GROSS		
EXIT ACCESS TRAVEL DISTANCE (MAXIMUM)	TABLE 1017.2	COMMON PATH OF EGRESS TRAVEL (MAXIMUM)	TABLE 1006.2.1
WITH SPRINKLER SYSTEM GROUP B GROUPS A-3, R-2, AND S	300 FT 250 FT	WITH SPRINKLER SYSTEM GROUP A-3 GROUP B GROUP R-2 GROUP S	75 FT 100 FT 125 FT 100 FT
WITHOUT SPRINKLER SYSTEM GROUPS A-3, B, R-2, AND S	200 FT	WITHOUT SPRINKLER SYSTEM GROUP A-2 GROUP B GROUP R-2 GROUP S	75 FT / 75 FT 100 FT / 75 FT NP / NP 100 FT / 75 FT
EXIT ACCESS DISTANCE PROVIDED	SEE G111 TO G112	COMMON PATH OF TRAVEL PROVIDED	SEE G111 TO G112

FIRESTOPPING

CHAPTER 7

(SECTION 718.2) THE GENERAL CONTRACTOR SHALL SCHEDULE A FIRESTOPPING MEETING WITH THE BUILDING INSPECTOR AND ALL SUBCONTRACTORS THAT WILL BE INSTALLING FIRESTOPPING MATERIALS. EACH SUBCONTRACTOR WILL PROVIDE A LIST OF FIRESTOP MATERIALS/ASSEMBLIES WHICH WILL BE USED, THE TYPE OF PENETRATIONS WHERE EACH MATERIAL/ASSEMBLY WILL BE USED; AND THE LISTING AND APPROVAL INFORMATION (I.E. UL, ICC OR OTHER APPROVED REPORT/LISTING NUMBERS.) THIS INFORMATION MUST BE SUBMITTED TO, AND APPROVED BY, THE BUILDING INSPECTOR PRIOR TO ANY INSTALLATION.

PARKING REQUIREMENTS

CHAPTER 33 (PORTLAND ZONING CODE)

BICYCLE PARKING (TABLE 266-6)		VEHICLE PARKING (SECTION 33.266.110B)	
	SPACES REQUIRED	SPACES PROVIDED	SPACES REQUIRED SPACES PROVIDED
SHORT TERM	1 PER 20 UNITS (6 TOTAL)	6	0.33 SPACES PER DWELLING UNIT (38 TOTAL) 24 (APPROVED PER 2020-125955-LU)
LONG TERM	1 PER 8 UNITS (15 TOTAL)	15	

PLUMBING FIXTURE REQUIREMENTS

CHAPTER 29 AND PLUMBING CODE

REQUIREMENTS PER TABLE 2902.1		WATER CLOSETS		LAVATORIES		BATHTUBS/SHOWERS		DRINKING FOUNTAINS	
	MALE REQUIRED	FEMALE PROVIDED	MALE PROVIDED	FEMALE PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED PROVIDED
LEVELS 1-9									
R-2: UNITS/CIRC (461 OCCUPANTS)	1/DWELLING		1/DWELLING		1/DWELLING	1/DWELLING	1/DWELLING	1/DWELLING	
LEVELS 1-9									
A-3 (234 OCCUPANTS)	1 PER 125 = .94	1 PER 65 = 1.8			1 PER 200 = 1.17		-		1 PER FLOOR 1
R-2: LOBBY (16 OCCUPANTS)	1 PER 125 = .06	1 PER 65 = .12			1 PER 200 = .08				
B (10 OCCUPANTS)	1 PER 25 = .2	1 PER 25 = .2			1 PER 40 = .25				
S-1 (18 OCCUPANTS)	1 PER 100 = .09	1 PER 100 = .09			1 PER 100 = .18				
TOTAL	1.29 (2 ROUNDED)	2.11 (3 ROUNDED)	2 WATER CLOSETS		1.68 (2 ROUNDED)	2 LAVATORIES		1 SHOWER	1 DRINKING FOUNTAIN

DUCTS AND TRANSFER OPENINGS

CHAPTER 7

REQUIRED FIRE DAMPER RATINGS (TABLE 717.3.2.1)	
TYPE OF PENETRATION	MINIMUM RATING (HOURS)
LESS THAN 3-HOUR FIRE-RESISTANCE-RATED ASSEMBLIES	1.5
3-HOUR OR GREATER FIRE-RESISTANCE-RATED ASSEMBLIES	3

THROUGH-PENETRATIONS OF HORIZONTAL ASSEMBLIES (717.6.1, EXCEPTION)  
A DUCT IS PERMITTED TO PENETRATE THREE FLOORS OR LESS WITHOUT A FIRE DAMPER AT EACH FLOOR PROVIDED SUCH DUCT MEETS ALL OF THE FOLLOWING REQUIREMENTS

1	THE DUCT SHALL BE CONTAINED AND LOCATED WITHIN THE CAVITY OF A WALL AND SHALL BE CONSTRUCTED OF STEEL HAVING A MINIMUM WALL THICKNESS OF 0.187 INCHES (NO. 26 GAGE)
2	THE DUCT SHALL OPEN INTO ONLY ONE DWELLING UNIT OR SLEEPING UNIT AND THE DUCT SYSTEM SHALL BE CONTINUOUS FROM THE UNIT TO THE EXTERIOR OF THE BUILDING.
3	THE DUCT SHALL NOT EXCEED 4-INCH NOMINAL DIAMETER AND THE TOTAL AREA OF SUCH DUCTS SHALL NOT EXCEED 100 SQUARE INCHES IN ANY 100 SQUARE FEET OF GROSS FLOOR AREA.
4	THE ANNULAR SPACE AROUND THE DUCT IS PROTECTED WITH MATERIALS THAT PREVENT THE PASSAGE OF FLAME AND HOT GASES SUFFICIENT TO IGNITE COTTON WASTE WHERE SUBJECTED TO ASTM E 119 OR UL 263 TIME-TEMPERATURE CONDITIONS UNDER A MINIMUM POSITIVE PRESSURE DIFFERENTIAL OF 0.01 INCH (2.49 Pa) OF WATER AT THE LOCATION OF THE PENETRATION FOR THE TIME PERIOD EQUIVALENT TO THE FIRE-RESISTANCE RATING OF THE CONSTRUCTION PENETRATED.
5	GRILLE OPENINGS LOCATED IN A CEILING OF A FIRE-RESISTANCE-RATED FLOOR/CEILING ASSEMBLY SHALL BE PROTECTED WITH A LISTED CEILING RADIATION DAMPER INSTALLED IN ACCORDANCE WITH SECTION 717.6.2.1

ACCESSIBILITY IMPROVEMENTS

CHAPTERS 11 AND 34 AND ANSI 117.1

AN ACCESSIBLE ROUTE WILL BE PROVIDED TO ALL PRIMARY FUNCTION SPACES IN ACCORDANCE WITH CHAPTERS 11 AND 34 AND ANSI 117.1

ACCESSIBLE UNITS PROVIDED IN ACCORDANCE WITH CHAPTERS 11 AND 34 AND ANSI 117.1

TYPE A UNITS: 2% OF 115 = 3 TOTAL REQUIRED PER § 3411.8.8 AND § 1107.6.2.1.1., 6 PROVIDED.

ACCESSIBLE UPGRADES (ORS 447.241)	
PARKING	2 ACCESSIBLE PARKING SPACES PROPOSED TO REPLACE 2 EXISTING ACCESSIBLE SPACES
ENTRANCE	EXISTING ENTRANCE IS FULLY ACCESSIBLE. PROPOSED NEW ENTRY DOORS WILL MEET ACCESSIBILITY REQUIREMENTS.
ROUTE TO ALTERED AREA	ACCESSIBLE ROUTE TO ALTERED AREAS PROVIDED.
RESTROOM	TWO ACCESSIBLE UNISEX RESTROOMS PROVIDED AT LEVEL 1
TELEPHONE	NO CHANGES PROPOSED
DRINKING FOUNTAIN	1 ACCESSIBLE FOUNTAIN PROVIDED AT LEVEL 1
STORAGE/ALARMS	NO CHANGES PROPOSED

APPEALS

APPEAL ID	ITEM NO.	APPROVED	DECISION
23934	1	YES	Roof replacement with reduction in minimum required R value for 1,565 SF to meet drainage requirements: Granted as proposed.
	2	YES	Reduction in minimum required headroom from 6 feet 8 inches to 6 feet 2 inches at an access door to an unoccupied roof: Granted as proposed.

ITEM 1:  
Code provisions: ANSI/ASHRAE/IES Standard 90.1 Building envelope requirements. Roof insulation entirely above deck to be R-30 continuous insulation.  
Proposed design:  
This appeal applies to the 9-story tower of Dahlke Manor that requires re-roofing and is 7500 SF. The proposed re-roof will remove existing roof membrane and insulation and replace it with continuous tapered polyiso insulation and SBS roofing. The existing roof structure is a concrete deck with approximately slope to 1/8" slope.  
In order to meet Section 1502 Roof Drainage minimum slope of ¼"per foot and avoid impacting roof access doors, the insulation will not meet R-30 across the entire roof. The design proposes reduced R-values on the north portion of the roof in order to decrease impact on the existing roof doors. The insulation will need to taper from 1.5" at the drains to 11.5" at its highest ridge. This will result in an approximate 1,565 SF of the roof that will have under R-30 roof insulation. However, the total area of the new insulation that will exceed R-30 will be approximately 80% of the roof area and will be as much as R-60 at the highest points. This proposed design will still impact the south roof access door at the elevator penthouse which will need to be decrease in height to a 74" tall door – see appeal to 1010.1.1 door height.  
Reason for alternate:  
The roof replacement at Dahlke Manor cannot meet the prescriptive measures of the Energy Code's minimum R-30 in all areas due to existing roof access door sill heights, constraints to move these doors, and necessary increase in slope to ¼"per foot from the existing condition of approximately 1/8"per foot. The result is 20% of the roof area around the north drain of the tower will be less than R-30, however the average R-value exceeds what is required by code. Therefore, the applicant is requesting an exception to ANSI/ASHRAE/IES Standard 90.1 as proposed above and shown in attached drawing set. In addition to exceeded overall average continuous R-value, 3404.1 states "Alterations shall be such that the existing building or structure is no less complying that with the provision of this code than the existing building or structure was prior to the alteration" and the proposed design exceeds the existing condition. Additionally, this portion of the existing building is the concrete residential tower with limited ¼" rigid insulation on exterior walls that is original to the building. The additional insulation will have little impact on the overall building's energy usage. The lower story building will be meeting R-30.

ITEM 2:  
Code provisions: 1010.1.1 Size of Doors. The minimum clear opening height of doors shall be not less than 80 inches (2032 mm).  
Proposed design:  
The sill of the south roof access door at the elevator penthouse will need to be increased in order to provide roof insulation and allow for increase in roof slope to meet code of ¼" / 12" slope. This will result in decrease in the height of the door to a 74" tall door. See related appeal to the energy code that also reduces overall R-value of the roof in order to decrease greater impacts on this door.  
Reason for alternate:  
In order to meet minimum slope of ¼"per foot and meet R-30 across the entire roof, the south roof access door at the elevator penthouse will need to be decrease in size to a 74" tall door. The door cannot be moved up in elevation due to the structure of the penthouse mechanical roof floor that is located above the head of this door. The roof is unoccupied and this door will only be used by few occupants, such as maintenance workers.



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Phone: (503) 517-0283  
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DAHLKE MANOR  
RENOVATION

915 NE SCHUYLER ST,  
PORTLAND, OR 97212

Owner:  
Home Forward  
135 SW Ash St Portland, OR 97204

Revisions:		
No.	Description	Date

Project Number:  
19-020

Issuance:  
BID SET  
Issue Date:  
10/22/2020

Drawn By:  
HK  
Checked By:  
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Sheet Title:  
CODE ANALYSIS

Sheet Number:

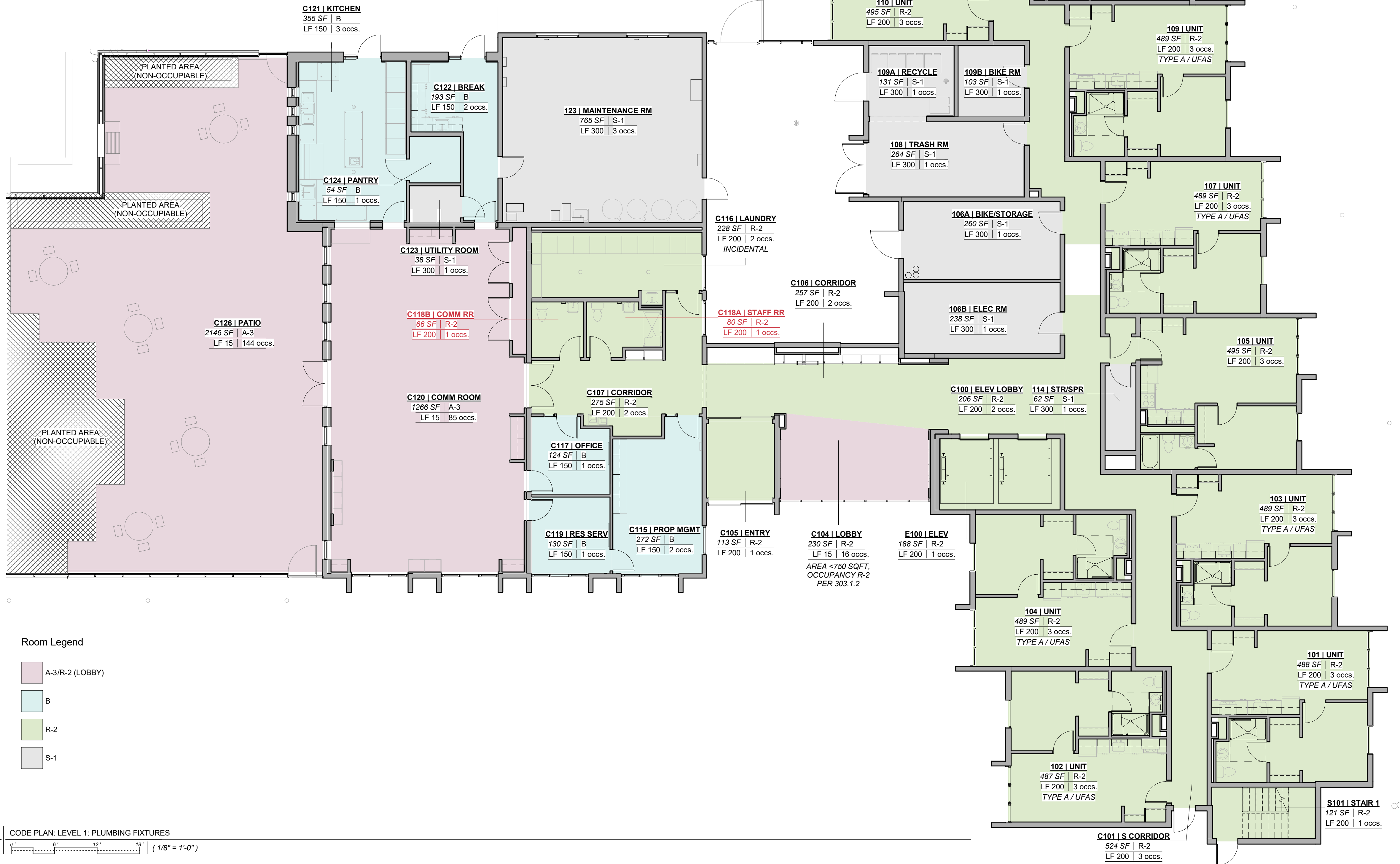
G007



PLUMBING FIXTURE REQUIREMENTS

CHAPTER 29 AND PLUMBING CODE

	MALE	FEMALE	LAVATORIES	BATHTUBS/SHOWERS
REQUIRED FOR B AND S-2				
B (10 OCCUPANTS)	1 PER 25 = .2	1 PER 25 = .2	1 PER 40 = .25	
S-2 (18 OCCUPANTS)	1 PER 100 = .09	1 PER 100 = .09	1 PER 100 = .18	
TOTAL REQUIRED	.29	.29	0.83	
PROVIDED FOR B AND S-2	1 UNISEX TOILET FACILITY WITH WATER CLOSET, LAVATORY, AND SHOWER			
REQUIRED FOR R-2				
REQUIRED	1/DWELLING UNIT	1/DWELLING UNIT	1/DWELLING UNIT	1/DWELLING UNIT
PROVIDED FOR R-2	1/DWELLING UNIT	1/DWELLING UNIT	1/DWELLING UNIT	1/DWELLING UNIT
PROVIDED FOR A-3/R-2 LOBBY	COMMUNITY ROOM, RESIDENT PATIO, AND LOBBY ARE INTENDED ONLY FOR USE BY RESIDENTS AND THEIR GUESTS. IT IS EXPECTED THAT RESIDENTS (AND THEIR GUESTS) WILL PRIMARILY USE THE FACILITIES WITHIN THEIR DWELLING UNITS. 1 UNISEX TOILET IS PROVIDED FOR THE CONVENIENCE OF THE RESIDENTS ON THE FIRST FLOOR. IT WILL BE LOCATED ADJACENT TO THE COMMUNITY ROOM.			



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BID SET  
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Sheet Title:  
LEVEL 1 - PLUMBING  
FIXTURE COUNTS

Sheet Number:

A110A



EXISTING OCCUPANCY

NUM	NAME	OCC	AREA	LOAD	OCC LOAD
-----	------	-----	------	------	----------

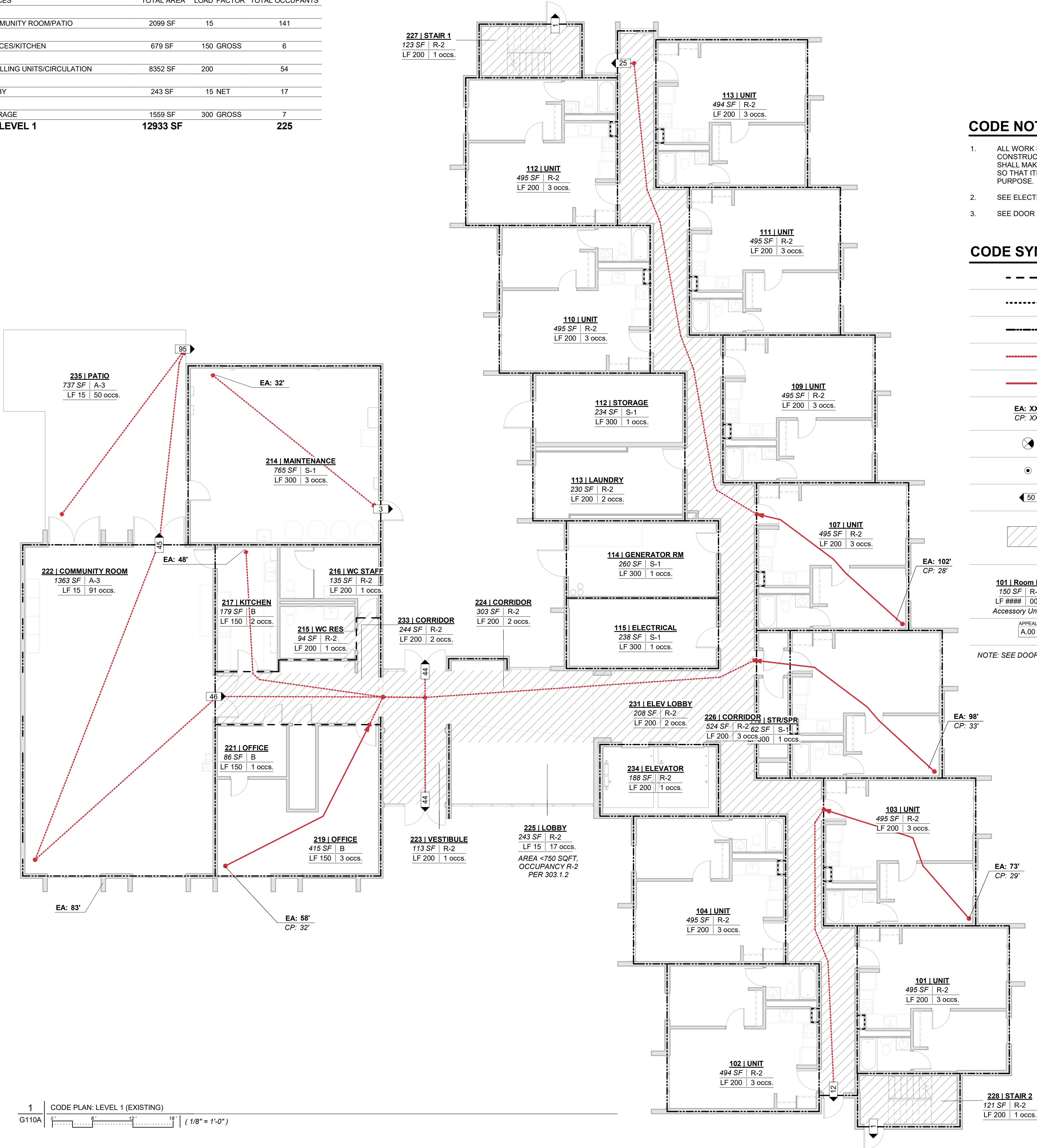
LEVEL 1

222	COMMUNITY ROOM	A-3	1363 SF	15	91
224	CORRIDOR	R-2	303 SF	200	2
226	CORRIDOR	R-2	524 SF	200	3
233	CORRIDOR	R-2	244 SF	200	2
236	CORRIDOR	R-2	572 SF	200	3
115	ELECTRICAL	S-1	238 SF	300	1
231	ELEV LOBBY	R-2	208 SF	200	2
234	ELEVATOR	R-2	188 SF	200	1
232	FURNACE ROOM	R-2	55 SF	200	1
114	GENERATOR RM	S-1	260 SF	300	1
217	KITCHEN	B	179 SF	150	2
113	LAUNDRY	R-2	230 SF	200	2
225	LOBBY	R-2	243 SF	15	17
214	MAINTENANCE	S-1	765 SF	300	3
219	OFFICE	B	415 SF	150	3
221	OFFICE	B	86 SF	150	1
235	PATIO	A-3	737 SF	15	50
227	STAIR 1	R-2	123 SF	200	1
228	STAIR 2	R-2	121 SF	200	1
112	STORAGE	S-1	234 SF	300	1
116	STR/SPR	S-1	62 SF	300	1
101	UNIT	R-2	495 SF	200	3
103	UNIT	R-2	495 SF	200	3
107	UNIT	R-2	495 SF	200	3
109	UNIT	R-2	495 SF	200	3
111	UNIT	R-2	495 SF	200	3
113	UNIT	R-2	494 SF	200	3
112	UNIT	R-2	495 SF	200	3
110	UNIT	R-2	495 SF	200	3
104	UNIT	R-2	495 SF	200	3
102	UNIT	R-2	494 SF	200	3
105	UNIT	R-2	495 SF	200	3
223	VESTIBULE	R-2	113 SF	200	1
215	WC RES	R-2	94 SF	200	1
216	WC STAFF	R-2	135 SF	200	1

TOTALS LEVEL 1 12933 SF 225

EXISTING OCCUPANCIES

OCC	SPACES	TOTAL AREA	LOAD FACTOR	TOTAL OCCUPANTS
A-3	COMMUNITY ROOM/PATIO	2099 SF	15	141
B	OFFICES/KITCHEN	679 SF	150 GROSS	6
R-2	DWELLING UNITS/CIRCULATION	8352 SF	200	54
R-2	LOBBY	243 SF	15 NET	17
S-1	STORAGE	1559 SF	300 GROSS	7
TOTALS LEVEL 1		12933 SF		225



CODE NOTES

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- SEE ELECTRICAL PLANS FOR SMOKE DETECTION SYSTEM.
- SEE DOOR SCHEDULE FOR FIRE RATED DOORS

CODE SYMBOL LEGEND

---	1 HOUR FIRE SEPARATION
.....	2 HOUR FIRE SEPARATION
----	3 HOUR FIRE SEPARATION
----	EXIT ACCESS (EA)
----	COMMON PATH (CP)
EA: XX' CP: XX'	TOTAL EXIT ACCESS TRAVEL DISTANCE COMMON PATH OF TRAVEL DISTANCE
EXIT SIGN	EXIT SIGN
SMOKE DETECTOR	SMOKE DETECTOR
OCCUPANT COUNT	OCCUPANT COUNT
EGRESS ILLUMINATION - 1FC AT WALKING SURFACE, 44" WIDTH - 90 MIN EMERGENCY POWER SUPPLY	EGRESS ILLUMINATION - 1FC AT WALKING SURFACE, 44" WIDTH - 90 MIN EMERGENCY POWER SUPPLY
101   Room Name	ROOM NUMBER   ROOM NAME
150 SF   R-2	ROOM AREA   OCCUPANCY GROUP
LF #####   000 occs.	OCCUPANT FACTOR   OCCUPANTS
Accessory Unit-Type	ACCESSORY   INCIDENTAL
APPEAL A.00	APPEAL ID

NOTE: SEE DOOR SCHEDULE FOR FIRE RATED DOORS



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DAHLKE MANOR RENOVATION

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135 SW Ash St Portland, OR 97204

Revisions:

No.	Description	Date
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Project Number:

19-020

Issuance:

BID SET

Issue Date:

10/22/2020

Drawn By:

HK

Checked By:

PM

Sheet Title:

EXISTING FIRE & LIFE  
SAFETY PLANS

Sheet Number:

G110A





PROPOSED OCCUPANCY

NUM	NAME	OCC	AREA	LOAD	OCC LOAD
LEVEL 1					
101	UNIT	R-2	488 SF	200	3
102	UNIT	R-2	487 SF	200	3
103	UNIT	R-2	489 SF	200	3
104	UNIT	R-2	489 SF	200	3
105	UNIT	R-2	495 SF	200	3
106A	BIKE/STORAGE	S-1	260 SF	300	1
106B	ELEC RM	S-1	238 SF	300	1
107	UNIT	R-2	489 SF	200	3
108	TRASH RM	S-1	264 SF	300	1
109	UNIT	R-2	489 SF	200	3
109A	RECYCLE	S-1	131 SF	300	1
109B	BIKE RM	S-1	103 SF	300	1
110	UNIT	R-2	495 SF	200	3
111	UNIT	R-2	495 SF	200	3
112	UNIT	R-2	495 SF	200	3
113	UNIT	R-2	494 SF	200	3
114	STR/SPR	S-1	62 SF	300	1
123	MAINTENANCE RM	S-1	765 SF	300	3
C100	ELEV LOBBY	R-2	206 SF	200	2
C101	S CORRIDOR	R-2	524 SF	200	3
C102	N CORRIDOR	R-2	532 SF	200	3
C104	LOBBY	R-2	230 SF	15	16
C105	ENTRY	R-2	113 SF	200	1
C106	CORRIDOR	R-2	257 SF	200	2
C107	CORRIDOR	R-2	275 SF	200	2
C115	PROP MGMT	B	272 SF	150	2
C116	LAUNDRY	R-2	228 SF	200	2
C117	OFFICE	B	124 SF	150	1
C118A	STAFF RR	R-2	80 SF	200	1
C118B	COMM RR	R-2	66 SF	200	1

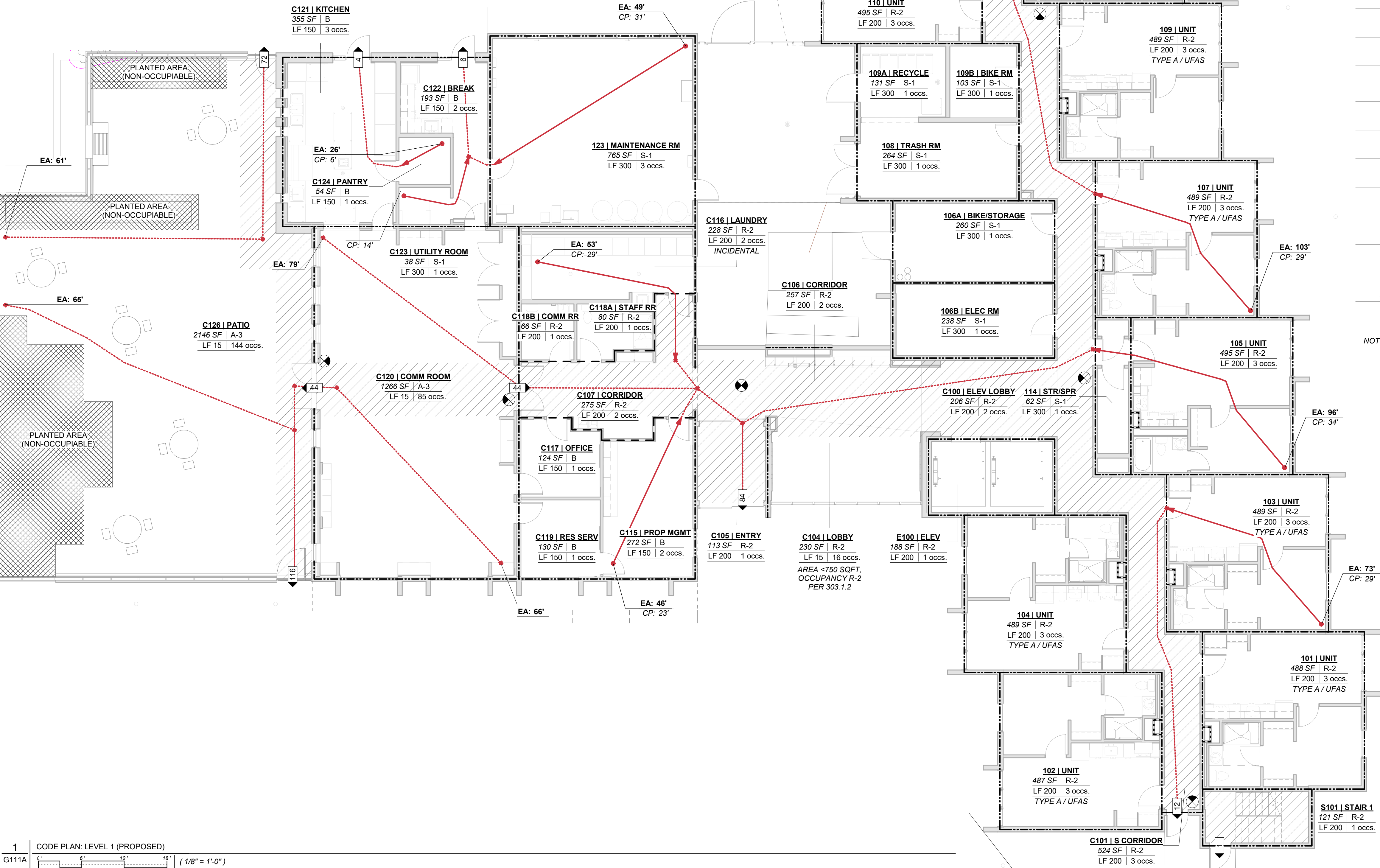
PROPOSED OCCUPANCY

NUM	NAME	OCC	AREA	LOAD	OCC LOAD
C119	RES SERV	B	130 SF	150	1
C120	COMM ROOM	A-3	1266 SF	15	85
C121	KITCHEN	B	355 SF	150	3
C122	BREAK	B	193 SF	150	2
C123	UTILITY ROOM	S-1	38 SF	300	1
C124	PANTRY	B	54 SF	150	1
C126	PATIO	A-3	2146 SF	15	144
E100	ELEV	R-2	188 SF	200	1
S101	STAIR 1	R-2	121 SF	200	1
S102	STAIR 2	R-2	123 SF	200	1

TOTALS LEVEL 1 14749 SF 318

PROPOSED OCCUPANCIES LEVEL 1

OCC	SPACES	TOTAL AREA	LOAD FACTOR	TOTAL OCCUPANTS
A-3	COMMUNITY ROOM/PATIO	3412 SF	15 NET	229
B	OFFICES/KITCHEN	1128 SF	150 GROSS	10
R-2	DWELLING UNITS/CIRCULATION	8118 SF	200 GROSS	53
R-2	LOBBY	230 SF	15 NET	16
S-1	STORAGE	1861 SF	300 GROSS	10
TOTALS LEVEL 1		14749 SF		318



CODE NOTES

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- SEE ELECTRICAL PLANS FOR SMOKE DETECTION SYSTEM.
- SEE DOOR SCHEDULE FOR FIRE RATED DOORS

CODE SYMBOL LEGEND

---	1 HOUR FIRE SEPARATION
.....	2 HOUR FIRE SEPARATION
----	3 HOUR FIRE SEPARATION
----	EXIT ACCESS (EA)
----	COMMON PATH (CP)
EA: XX' CP: XX'	TOTAL EXIT ACCESS TRAVEL DISTANCE COMMON PATH OF TRAVEL DISTANCE
EXIT SIGN	EXIT SIGN
SMOKE DETECTOR	SMOKE DETECTOR
OCCUPANT COUNT	OCCUPANT COUNT
EGRESS ILLUMINATION - 1FC AT WALKING SURFACE, 44" WIDTH - 90 MIN EMERGENCY POWER SUPPLY	EGRESS ILLUMINATION - 1FC AT WALKING SURFACE, 44" WIDTH - 90 MIN EMERGENCY POWER SUPPLY
101   Room Name	ROOM NUMBER   ROOM NAME
150 SF   R-2	ROOM AREA   OCCUPANCY GROUP
LF ##### 000 occs.	OCCUPANT FACTOR   OCCUPANTS
Accessory Unit-Type	ACCESSORY   INCIDENTAL
APPEAL A.00	APPEAL ID

NOTE: SEE DOOR SCHEDULE FOR FIRE RATED DOORS



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19-020

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BID SET

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HK

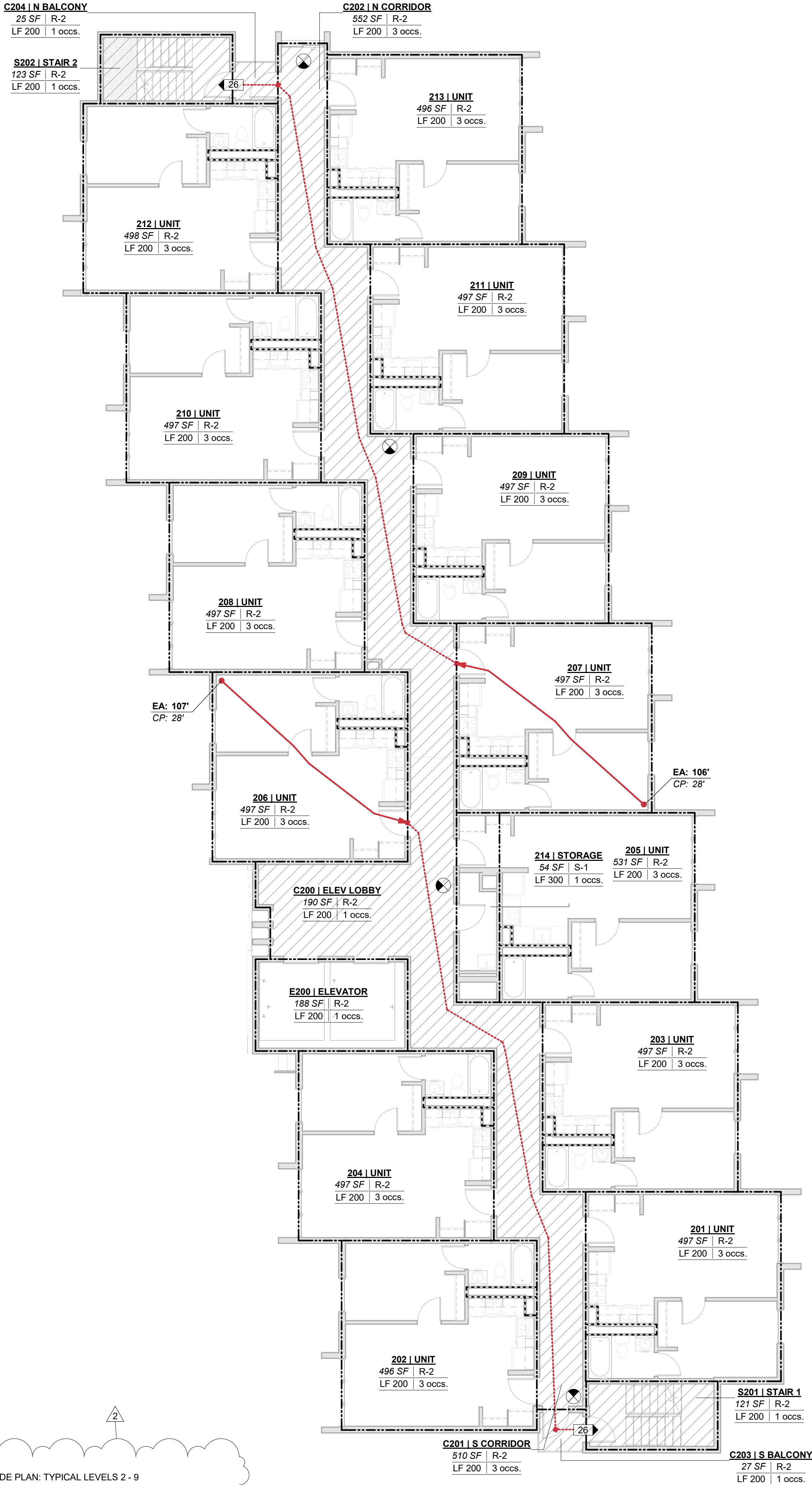
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PROPOSED FIRE & LIFE  
SAFETY PLANS

Sheet Number:

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CODE NOTES

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- SEE ELECTRICAL PLANS FOR SMOKE DETECTION SYSTEM.
- SEE DOOR SCHEDULE FOR FIRE RATED DOORS

CODE SYMBOL LEGEND

---	1 HOUR FIRE SEPARATION
.....	2 HOUR FIRE SEPARATION
-----	3 HOUR FIRE SEPARATION
-----	EXIT ACCESS (EA)
-----	COMMON PATH (CP)
EA: XX' ←	TOTAL EXIT ACCESS TRAVEL DISTANCE
CP: YY' ←	COMMON PATH OF TRAVEL DISTANCE
⊗	EXIT SIGN
⊙	SMOKE DETECTOR
50 ←	OCCUPANT COUNT
	EGRESS ILLUMINATION - 1FC AT WALKING SURFACE, 44" WIDTH - 90 MIN EMERGENCY POWER SUPPLY
101   Room Name	ROOM NUMBER   ROOM NAME
150 SF   R-2	ROOM AREA   OCCUPANCY GROUP
LF ###   000 occs.	OCCUPANT FACTOR   OCCUPANTS
Accessory Unit-Type	ACCESSORY   INCIDENTAL
APPEAL A.00	APPEAL ID

NOTE: SEE DOOR SCHEDULE FOR FIRE RATED DOORS



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Revisions:		
No.	Description	Date
2	REVISION 2	XX.XX.XX

Project Number:  
19-020

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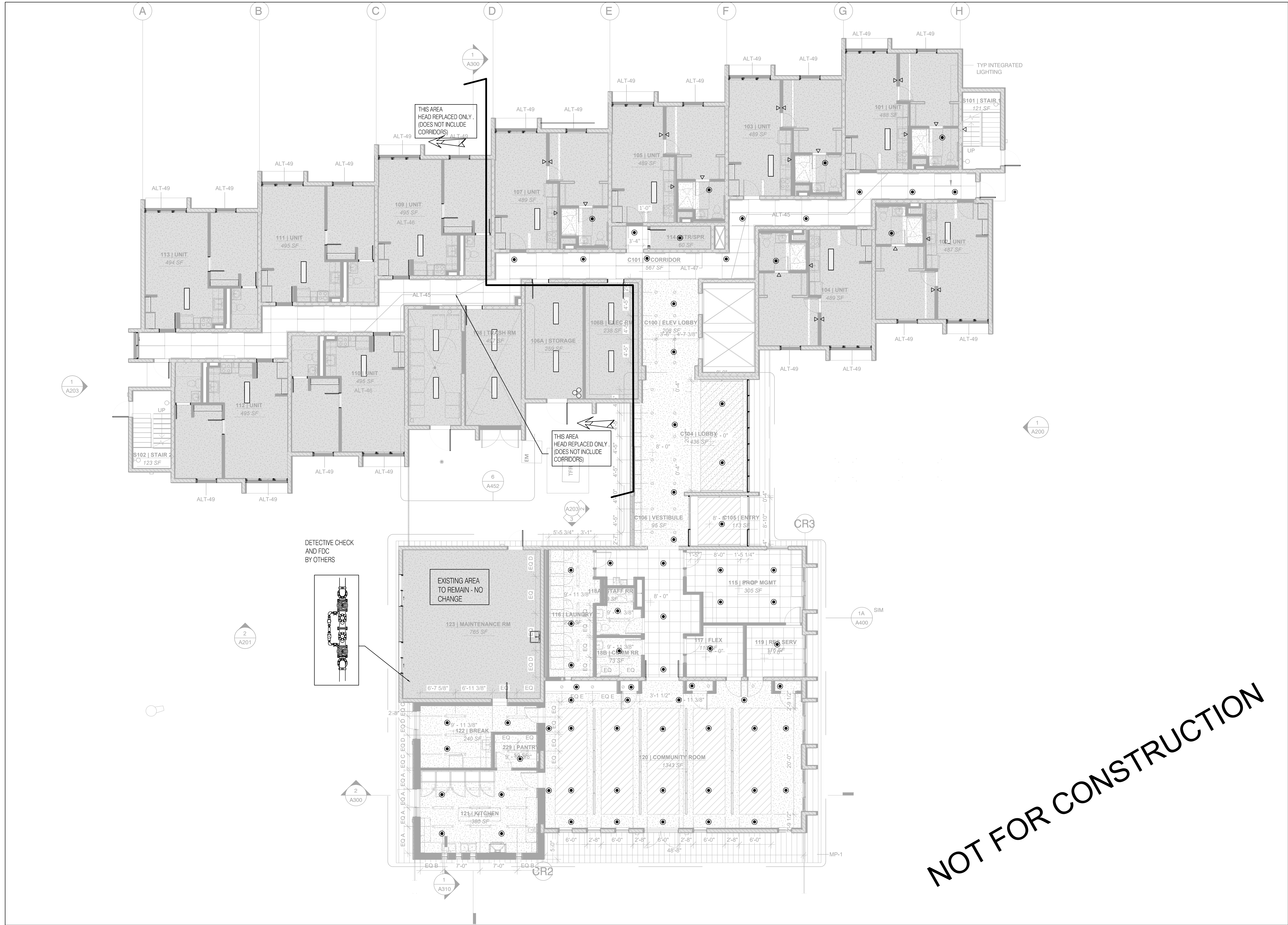
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FIRE & LIFE SAFETY PLAN  
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Sheet Number:

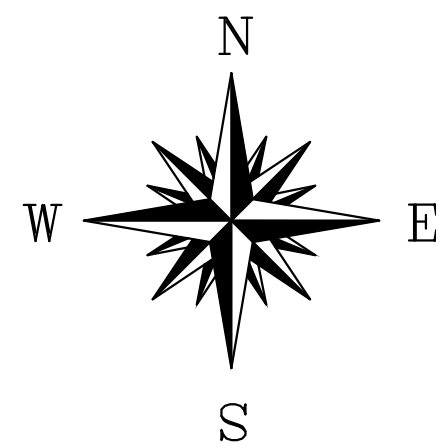
G112





# FIRE SPRINKLER PLAN

1.8" = 1'-0" 1 ST FLOOR



\*SEE ADDITIONAL RCP PLANS FOR EXISTING LOCATIONS NOT SHOWN ON THESE PLANS

CONTRACT NAME:  
**DAHLKE MANOR RENOVATION**  
GROUND FL 915 NE SCHUYLER ST  
PORTLAND OR 97212  
CONTRACT WITH: XXXXXXXXXXXXX



7402 S.E. JOHNSON CREEK BLVD.  
PORTLAND, OR 97206  
PH 503 777-5030 FAX 503 777-0659  
METRO LIC# (002366)  
CCB #163820

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DRAWN BY: Martin K  
CONTRACT NO:  
DATE:  
SYSTEM TYPE:  
HAZARD:  
AHL:  
DRAWING NUMBER  
1 of 2  
NORTH

REVISIONS	
1	PRE-CON DESIGN

SPRINKLERS USED									
SYM	CNT	POSITION	FINISH	TEMP	K	RP	TSR	TKFS	MODEL #
75	PEND	WHITE	155	5.60	1/2"	GL5601	GLOBE		GL5601
25	SIDE	CHROME	155	5.60	1/2"	GL5641	GLOBE		GL5641
100 THIS TOTAL IS SUBJECT TO CHANGE									

GENERAL LEGEND									
+	FLEX COUPLING	+	EARTHQUAKE BRACING						
+	PIPE HANGER								
+	GROOVED COUPLING								
+	INSIDE FACE OF WALL								
+	OUTSIDE FACE OF WALL								
+	ABOVE FINISHED FLOOR								
+	GROOVED REDUCING COUPLING								
+	GROOVE/GROOVE								
+	THREAD/GROOVE (ALSO "G")								
+	FACE OF STUD								
+	FACE OF WALL								
+	DRUM DRIP DRAIN								

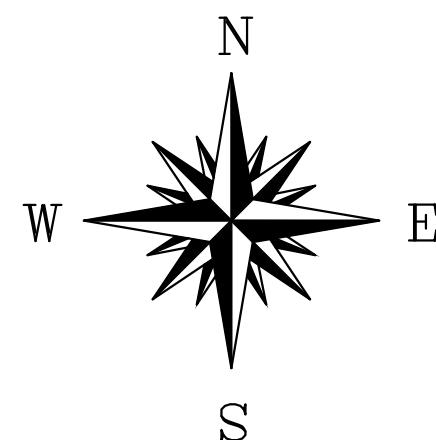


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# FIRE SPRINKLER PLAN

1/8" = 1'-0" FLOORS 2 - 9



CONTRACT NAME:  
**DAHLKE MANOR**  
**RENOVATION**  
2 - 9 FLOOR  
915 NE SCHUYLER ST  
PORTLAND OR 97212

CONTRACT WITH: 19-020



7402 S.E. JOHNSON CREEK BLVD.  
PORTLAND, OR 97206  
PH 503 777-5030 FAX 503 777-0659  
METRO LIC# (002366)  
CCB #163820

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DRAWN BY: Martin K  
CONTRACT NO:  
DATE: 4-24-20  
SYSTEM TYPE: WET  
HAZARD: LIGHT  
AHL: CITY OF PORTLAND

DRAWING NUMBER  
2 of 2

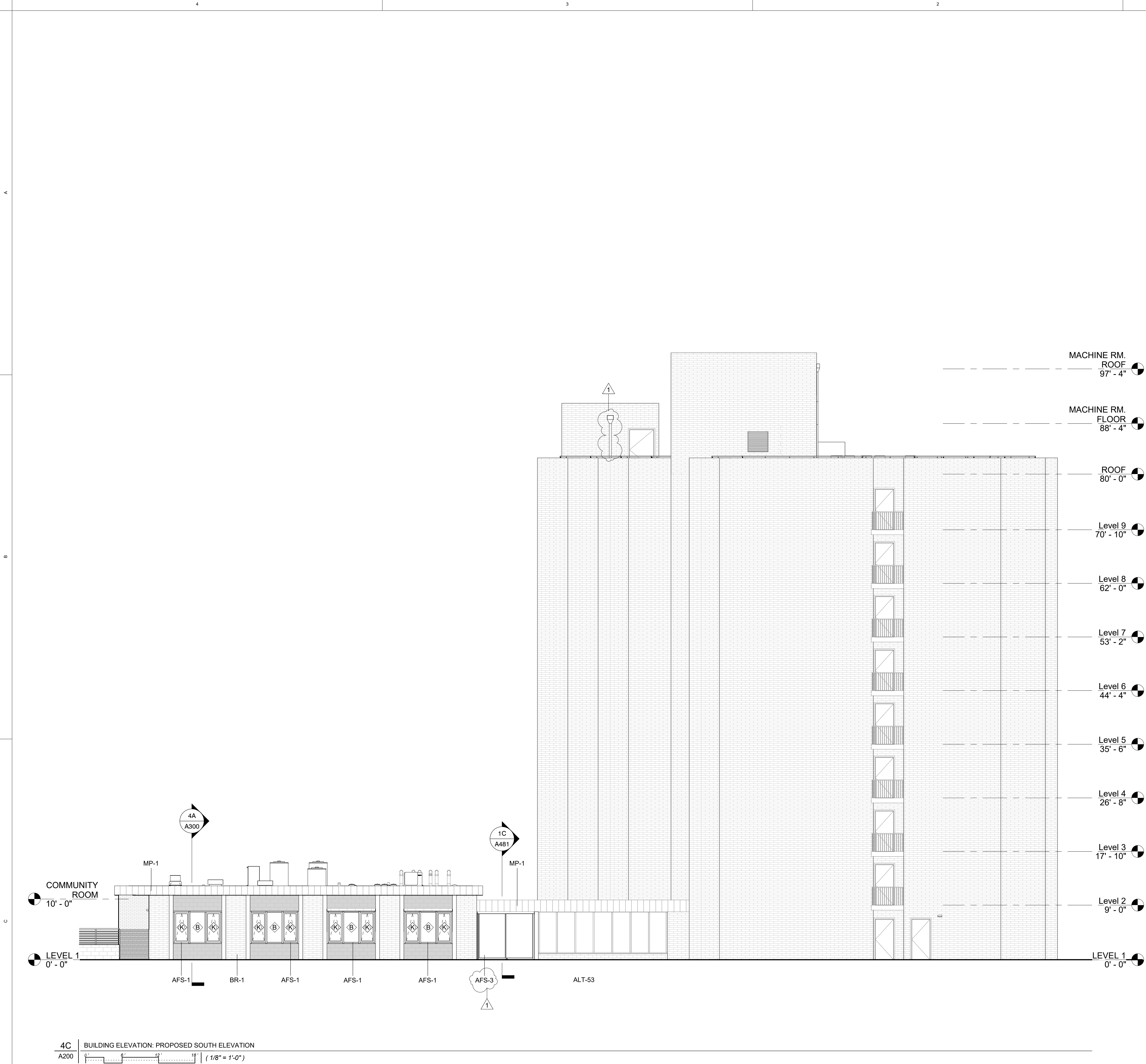
## REVISIONS

NO.	DESCRIPTION	DATE
1	PRE-CON DESIGN	

SYM	UNIT	POSITION	FINISH	TEMP	K	R.P.	TSN	TKFS	MODEL #	GL5601	GL5641
31	PEND	WHITE	155	5.60	1/2"	GL5601	GLOBE	GL5601			
67	SIDE	CHROME	155	5.60	1/2"	GL5641	GLOBE	GL5641			
98	TOTAL THIS SHEET	SUBJECT TO CHANGE									

GENERAL LEGEND	
	FLEX COUPLING
	CAP
	PLUG
	CENTERLINE
	HYDRAULIC REFERENCE POINT
	CENTERLINE PIPE TO BOTTOM OF DECK
	CENTERLINE PIPE TO BOTTOM OF BEAM
	CENTERLINE PIPE TO BOTTOM OF JOIST
	FACE OF STUD
	FACE OF WALL
	EARTHQUAKE BRACING
	PIPE HANGER
	GROOVED COUPLING
	INSIDE FACE OF WALL
	OUTSIDE FACE OF WALL
	ABOVE FINISHED FLOOR
	GROOVED REDUCING COUPLING
	GROOVE/GROOVE
	THREAD/GROOVE (also "1/2")
	D.T.D. DRIP DRAIN





### ELEVATION GENERAL NOTES

1. PROVIDE RE-GROUTING OF MASONRY UNITS (APPROX 5% OF FACADE)
2. ALL EXISTING CONCRETE SUNSHADES TO BE REMOVED AND CMU SPANDRELS TO BE PAINTED WITH ELASTOMERIC PAINT

### TAG LEGEND

AFS-1	ALUMINUM-FRAMED STOREFRONT
AFS-3	ALUMINUM-FRAMED GLASS SLIDING DOOR
BR-1	EXISTING BRICK
MP-1	METAL PANEL

### ALTERNATES

ALT-53	REPLACE ENTRY STOREFRONT AND ENTRY DOORS
--------	--



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Stamp:



## DAHLKE MANOR RENOVATION

915 NE SCHUYLER ST,  
PORTLAND, OR 97212

Owner:

Home Forward  
135 SW Ash St Portland, OR 97204

Revisions:

No.	Description	Date
1	BID SET	10/22/2020

Project Number:

19-020

Issuance:

PERMIT SET

Issue Date:

08/27/2020

Drawn By:

DV

Checked By:

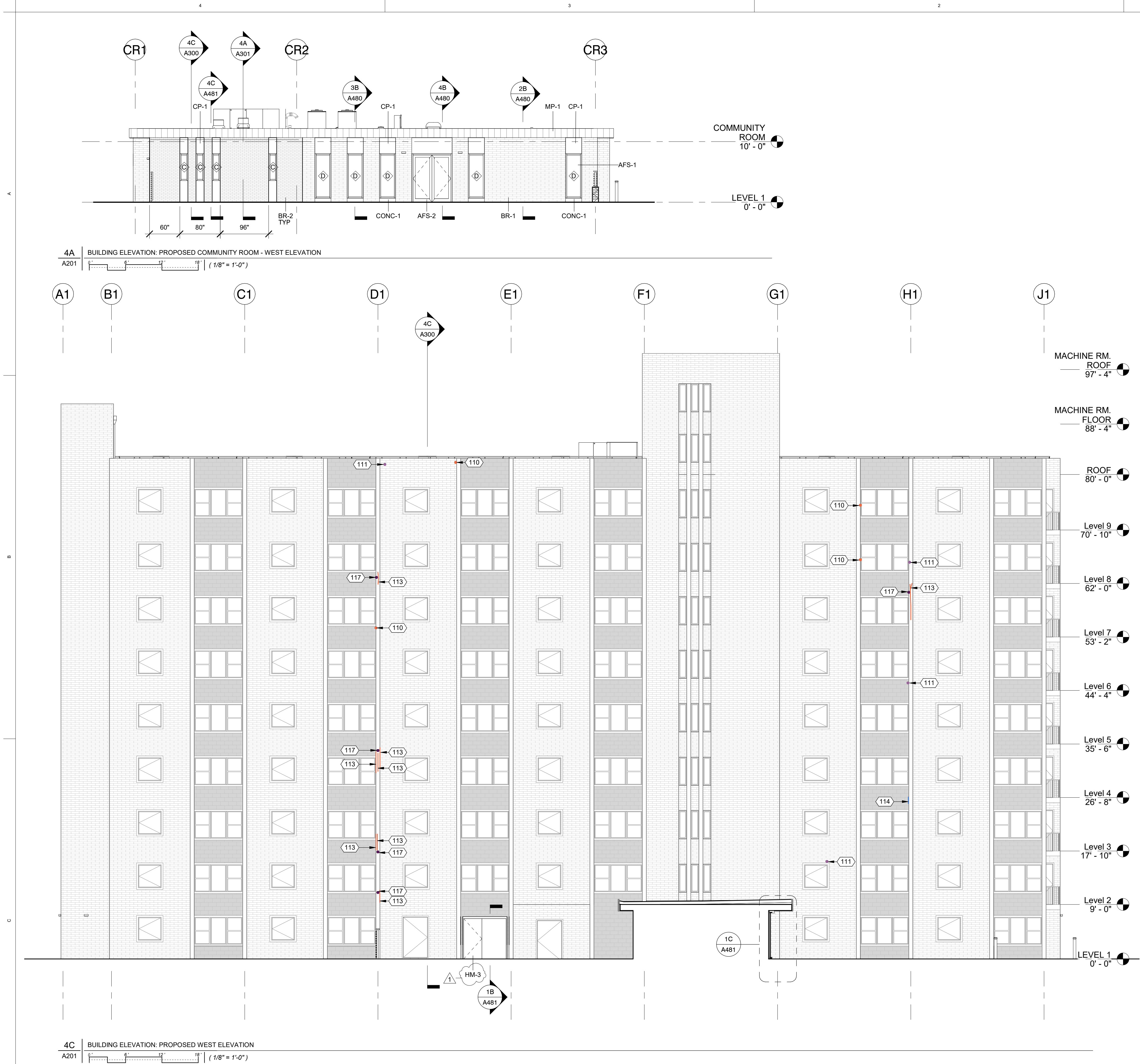
MB

Sheet Title:

SOUTH ELEVATION

Sheet Number:

A200



### ELEVATION GENERAL NOTES

- PROVIDE RE-GROUTING OF MASONRY UNITS (APPROX 5% OF FACADE)
- ALL EXISTING CONCRETE SUNSHADES TO BE REMOVED AND CMU SPANDRELS TO BE PAINTED WITH ELASTOMERIC PAINT

### ELEVATION REPAIR LEGEND

- ELASTOMERIC PAINT AT CMU
- 110 TUCK-POINT/REPOINT
- 111 BRICK PATCH
- 112 APPLY (N) SEALANT
- 117 POSSIBLE BRICK REPLACEMENT
- 113 PATCH LARGE CRACK
- 114 CONSOLIDATE HAIRLINE CRACK

### KEYNOTE LEGEND

- 110 TUCK-POINT/REPOINT - REMOVE FAILED MORTAR, CUT JOINT BACK AND APPLY (N) MORTAR TO MATCH ADJACENT IN PROFILE, COLOR, AND COMPOSITION; AND ACCORDING TO SPECIFICATIONS.
- 111 PATCH MASONRY - CUT OR GRIND FAILED MASONRY BACK TO SOUND SURFACE. PREP, PRIME, AND APPLY (N) PATCH MATERIAL ACCORDING TO SPECIFICATIONS.
- 113 PATCH LARGE CRACK - CUT CRACK BACK TO SOUND SURFACE. PREP, PRIME, AND APPLY (N) PATCH MATERIAL ACCORDING TO SPECIFICATIONS.
- 114 CONSOLIDATE HAIRLINE CRACK - CLEAN CRACK OF ALL DUST, DIRT, CONTAMINANTS, ETC. APPLY CONSOLIDANT/MICRO-GROUT ACCORDING TO SPECIFICATIONS.
- 117 IF REPAIR INFEASIBLE, REPLACE MASONRY UNIT. REFERENCE EXTERIOR REPAIR DETAILS.

### TAG LEGEND

- AFS-1 ALUMINUM-FRAMED STOREFRONT
- AFS-2 ALUMINUM-FRAMED GLASS DOORS
- BR-1 EXISTING BRICK
- BR-2 NEW FACE BRICK
- CONC-1 CONCRETE
- CP-1 CONCRETE PANELS
- HM-3 EXTERIOR METAL DOOR
- MP-1 METAL PANEL

### EXTERIOR REPAIR QUANTITIES

BELOW QUANTITIES REPRESENT 6 DROPS, REFERENCED ON ELEVATIONS, AND NOT TO REPRESENT ALL OF EXTERIOR REPAIRS

Deficiency Type	Repair Type	Deficiency Quantity
Bed Separation	Tuckpoint/Repoint	5.10 SQFT
Brick Spall	Brick Patch	0.30 SQFT
Failed Sealant	New Sealant	1.10 SQFT
Hairline Crack	Consolidate/Micro-Grout	16.75 FT
Hole in Wing Wall	Brick Patch	0.05 SQFT
Large Crack	Masonry Patch	79.05 FT
Mortar Erosion	Tuckpoint/Repoint	0.15 SQFT
Hairline Crack	Consolidate/Micro-Grout	16' - 9"
Large Crack	Masonry Patch	78' - 10 3/16"

BASED ON AREAS EVALUATED. ESTIMATE 75 SQFT OF BRICK NEED REPLACEMENT DEPENDING ON EXTENT OF DAMAGE IN THESE AREAS ALONE. VIF.



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Drawn By:

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Checked By:

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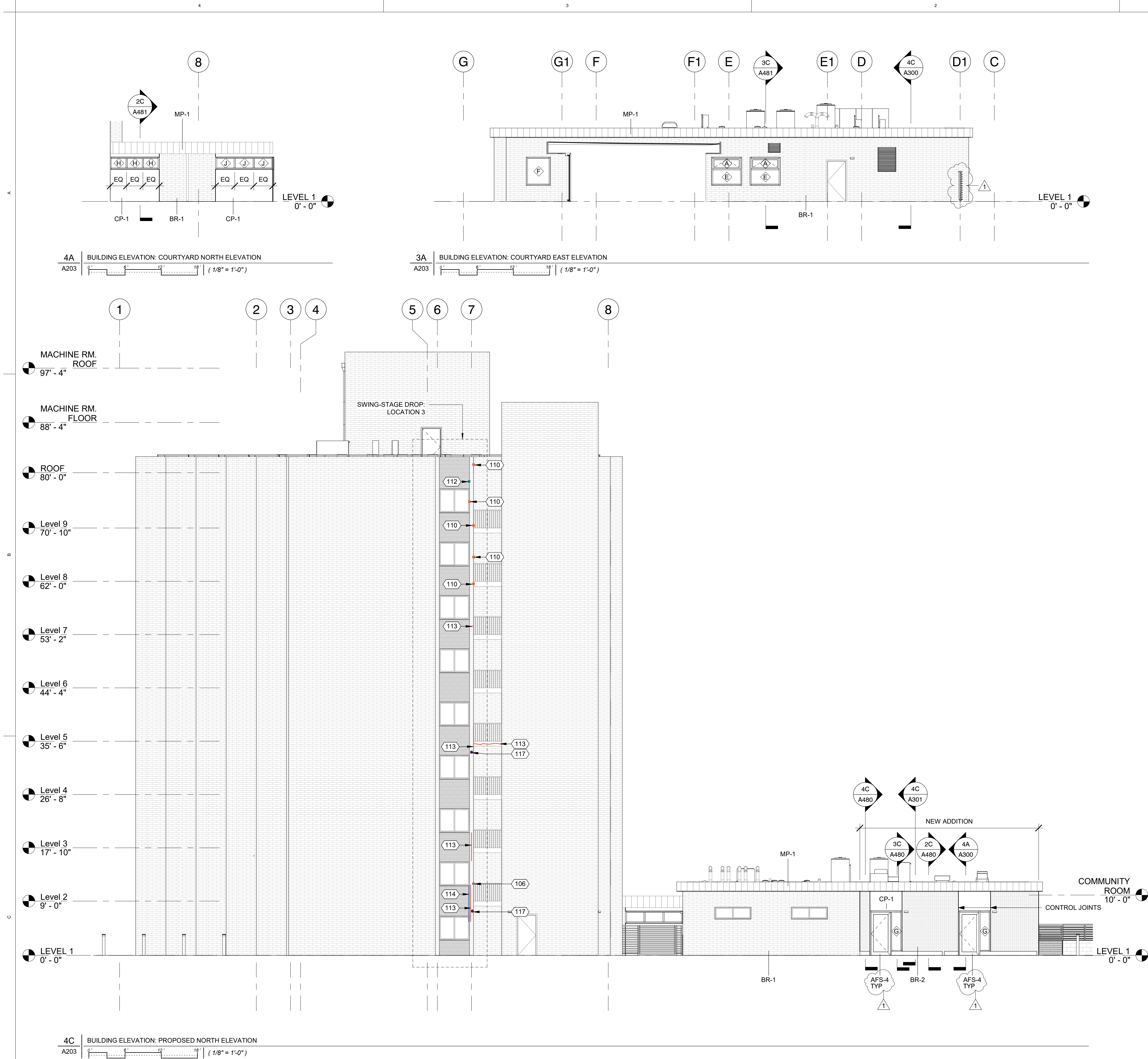
Sheet Title:

WEST ELEVATION

Sheet Number:

A201





### ELEVATION GENERAL NOTES

1. PROVIDE RE-GROUTING OF MASONRY UNITS (APPROX 5% OF FACADE)
2. ALL EXISTING CONCRETE SUNSHADES TO BE REMOVED AND CMU SPANDRELS TO BE PAINTED WITH ELASTOMERIC PAINT

### ELEVATION REPAIR LEGEND

	ELASTOMERIC PAINT AT CMU
	110 TUCK-POINT/REPOINT
	111 BRICK PATCH
	112 APPLY (N) SEALANT
	117 POSSIBLE BRICK REPLACEMENT
	113 PATCH LARGE CRACK
	114 CONSOLIDATE HAIRLINE CRACK

### KEYNOTE LEGEND

106	AREA OF POORLY CONSOLIDATED GROUT. REFERENCE EXTERIOR REPAIR DETAILS FOR RE-GROUTING OF MASONRY UNITS.
110	TUCKPOINT/REPOINT - REMOVE FAILED MORTAR, CUT JOINT BACK AND APPLY (N) MORTAR TO MATCH ADJACENT IN PROFILE, COLOR, AND COMPOSITION, AND ACCORDING TO SPECIFICATIONS.
112	APPLY (N) SEALANT - REMOVE FAILED SEALANT, AND CUT (E) SEALANT BACK TO SOUND MATERIAL. PREP, PRIME, AND APPLY (N) SEALANT ACCORDING TO SPECIFICATIONS.
113	PATCH LARGE CRACK - CUT CRACK BACK TO SOUND SURFACE. PREP, PRIME, AND APPLY (N) PATCH MATERIAL ACCORDING TO SPECIFICATIONS.
114	CONSOLIDATE HAIRLINE CRACK - CLEAN CRACK OF ALL DUST, DIRT, CONTAMINANTS, ETC. APPLY CONSOLIDANT/MICRO-GROUT ACCORDING TO SPECIFICATIONS.
117	IF REPAIR INFEASIBLE, REPLACE MASONRY UNIT. REFERENCE EXTERIOR REPAIR DETAILS.

### TAG LEGEND

AFS-4	ALUMINUM-FRAMED GLASS DOOR
BR-1	EXISTING BRICK
BR-2	NEW FACE BRICK
CP-1	CONCRETE PANELS
MP-1	METAL PANEL



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Project Number:

19-020

Issuance:

PERMIT SET

Issue Date:

08/27/2020

Drawn By:

DV

Checked By:

MB

Sheet Title:

NORTH ELEVATION

Sheet Number:

A203

Consultant:

Stamp:



**DAHLKE MANOR  
RENOVATION**  
915 NE SCHUYLER ST,  
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1	BID SET	10/22/2020

**Project Number:**  
19-020

**Issuance:**  
PERMIT SET  
**Issue Date:**  
08/27/2020

**Drawn By:**  
DV  
**Checked By:**  
MB

**Sheet Title:**  
EAST ELEVATION

**Sheet Number:**

A204

**ELEVATION GENERAL NOTES**

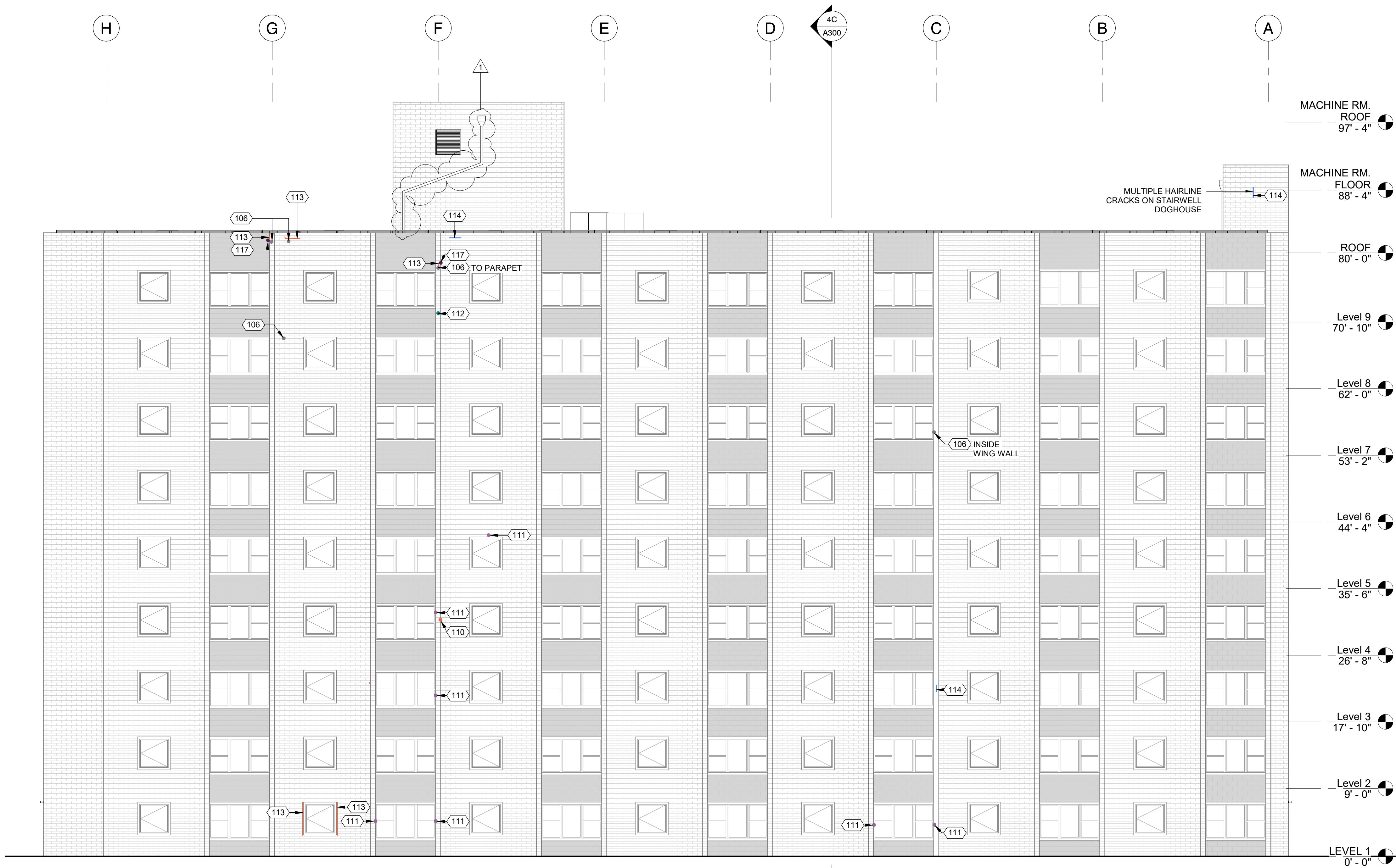
- PROVIDE RE-GROUTING OF MASONRY UNITS (APPROX 5% OF FACADE)
- ALL EXISTING CONCRETE SUNSHADES TO BE REMOVED AND CMU SPANDRELS TO BE PAINTED WITH ELASTOMERIC PAINT

**ELEVATION REPAIR LEGEND**

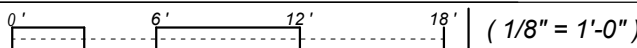
	ELASTOMERIC PAINT AT CMU
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	111 BRICK PATCH
	112 APPLY (N) SEALANT
	117 POSSIBLE BRICK REPLACEMENT
	113 PATCH LARGE CRACK
	114 CONSOLIDATE HAIRLINE CRACK

**KEYNOTE LEGEND**

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117	IF REPAIR INFEASIBLE, REPLACE MASONRY UNIT. REFERENCE EXTERIOR REPAIR DETAILS.



4C BUILDING ELEVATION: PROPOSED EAST ELEVATION  
A204







REFLECTED CEILING PLAN GENERAL NOTES

- UNLESS OTHERWISE NOTED, PLAN DIMENSIONS SHOWN ARE:
  - A. AT INTERIOR PARTITIONS, TO THE FACE OF GYPSUM
  - B. AT COLUMNS: TO THE CENTERLINE OF COLUMN
  - C. AT CONCRETE OR CMU: TO FACE OF CONCRETE OR CMU
  - D. AT EXTERIOR WALL: TO THE FACE OF MASONRY
- REFERENCE HORIZONTAL ASSEMBLIES FOR FLOOR/CEILING CONSTRUCTIONS ON SHEET.
- REFERENCE ENLARGED UNIT PLANS FOR ADDITIONAL INFORMATION.
- REFERENCE LIGHTING / ELECTRICAL FOR LIGHTING TYPES, LIGHTING SHOWN FOR REFERENCE ONLY. REFER TO ELECTRICAL DRAWINGS FOR TYPE, QUANTITIES, AND ADDITIONAL INFORMATION. TYPICAL NEW LIGHTING WHERE EXISTING IS REMOVED.
- MECHANICAL DUCTS AND GRILLES SHOWN FOR LOCATION ONLY, REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- NEW LIGHTING TO BE PROVIDED IN ALL CORRIDORS. NEW LIGHTING IN STAIRWELLS TO BE ON OCCUPANCY SENSOR.
- ALL CEILINGS TO BE INSTALLED AS HIGH AS POSSIBLE.

RCP SYMBOL LEGEND

	C1 ACT SUSPENDED W/ INTEGRATED LIGHTING		AP-2 9WOOD CEILING SYSTEM
	C2 EXISTING GWB CEILING TO REMAIN		C3 GWB CEILING
	AP-1 CEILING PANEL 6'X48'		LIGHT FIXTURES REFERENCE ELECTRICAL PLANS FOR TYPE
	R3 GWB CEILING @ NEW ADDITION		EXHAUST FAN REFERENCE ELECTRICAL PLANS FOR TYPE
	WS-1 WOOD SLATS 6'		SOLAR TUBE
			SPRINKLER HEAD



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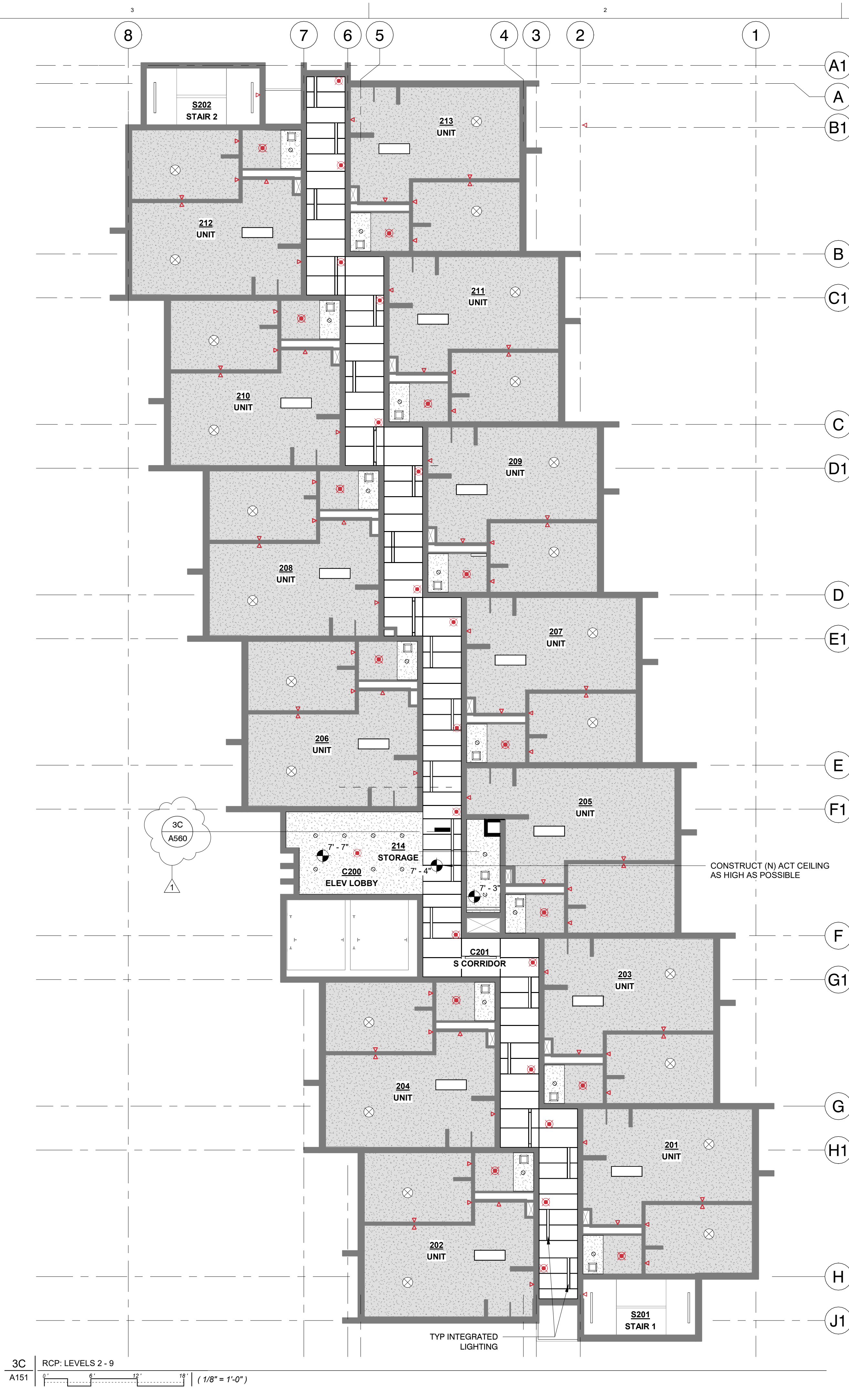
Drawn By:  
HK  
Checked By:  
PM

Sheet Title:  
REFLECTED CEILING  
PLAN

Sheet Number:

A150





### REFLECTED CEILING PLAN GENERAL NOTES

- UNLESS OTHERWISE NOTED, PLAN DIMENSIONS SHOWN ARE:
  - AT INTERIOR PARTITIONS: TO THE FACE OF GYPSUM
  - AT COLUMNS: TO THE CENTERLINE OF COLUMN
  - AT CONCRETE OR CMU: TO FACE OF CONCRETE OR CMU
  - AT EXTERIOR WALL: TO THE FACE OF MASONRY
- REFERENCE HORIZONTAL ASSEMBLIES FOR FLOOR/CEILING CONSTRUCTIONS ON SHEET.
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### RCP SYMBOL LEGEND

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	C2 EXISTING GWB CEILING TO REMAIN		C3 GWB CEILING
	AP-1 CEILING PANEL 6\"X48\"		LIGHT FIXTURES REFERENCE ELECTRICAL PLANS FOR TYPE
	R3 GWB CEILING @ NEW ADDITION		EXHAUST FAN REFERENCE ELECTRICAL PLANS FOR TYPE
	WS-1 WOOD SLATS 6\"		SOLAR TUBE
			SPRINKLER HEAD



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Drawn By:  
HK  
Checked By:  
PM

Sheet Title:  
REFLECTED CEILING  
PLAN

Sheet Number:

A151







915 N.E. Sawyer St  
7-11-75 made complete chapter 13 inspection  
of this 9 story conc & conc block high rise  
HAP apartment bldg., no boiler, elec heat.  
Exits OK

INSPECTOR



ADDRESS 915 NE Schuyler St			OWNER ADDRESS		NOTICE DATE	
DESCRIPTION 95 apt bldg			MANAGER H.A.P.		DATE 7-11-73	
F.D. CNST. ADDN. ZONE			PHONE		INSPECTOR M. Ready	
1 EXITS			REMARKS		SUMMARY	
A. Number /			OK		CV	
B. Signs			✓		✓	
2 STAIRS						
A. Handrails			✓		✓	
B. Rise			✓		✓	
C. Run			✓		✓	
D. Landings			✓		✓	
E. Enclosure			✓		✓	
F. Walls			✓		✓	
G. Doors			✓		✓	
H. Openings			✓		✓	
I.						
J.						
K.						
3 FIRE ESCAPES						
A. Stair Slope			✓		✓	
B. Treads			✓		✓	
C. Access			✓		✓	
D. Sill Height			NA		NA	
E. Counterbalance			NA		NA	
F. To Grade			✓		✓	
4 CORRIDORS						
A. Openings			✓		✓	
B. Transoms			NA		NA	
5 VERT. OPENINGS						
A. Enclosure			✓		✓	
B. Walls			✓		✓	
C. Doors			✓		✓	
6 SEPARATION						
A. <del>Handrails</del> Room			✓		✓	
1. Walls			✓		✓	
2. Doors			✓		✓	
3. Ceiling			✓		✓	
4. Ventilation			✓		✓	
B. Kitchen			✓		✓	
1. Separation			✓		✓	
C. Occupancy			✓		✓	

Integral to bldg

Etc

NO DEFICIENCIES NOTED

## MECHANICAL SYMBOL LIST

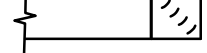
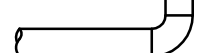

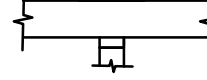
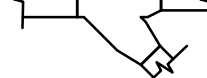

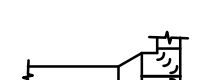
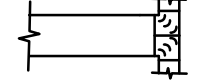
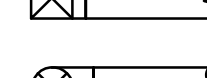
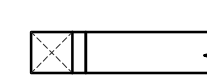

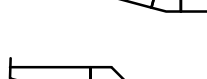

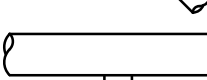
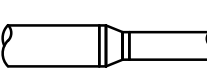
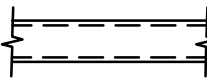

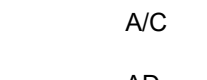
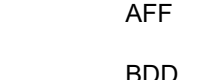
### DUCTWORK

		SUPPLY OR OUTSIDE AIR
		RETURN AIR
		EXHAUST AIR
		ROOM THERMOSTAT
		SENSOR
		EQUIPMENT IDENTIFICATION
		DIFFUSER OR GRILLE IDENTIFICATION

## DAMPERS

	VOLUME DAMPER	DX	DIRECT EXPANSION
	FIRE DAMPER	EAT	ENTERING AIR TEMPERATURE
	FIRE DAMPER	EDH	ELECTRIC DUCT HEATER
	FIRE/SMOKE DAMPER	EER	ENERGY EFFICIENCY RATING
	SMOKE DAMPER	EF	EXHAUST FAN
	SMOKE DAMPER	EG	EXHAUST GRILLE
	MOTORIZED DAMPER	EEF	EFFICIENT
		EL	ELEVATION
		ELEC	ELECTRICAL

## DUCTWORK FITTINGS

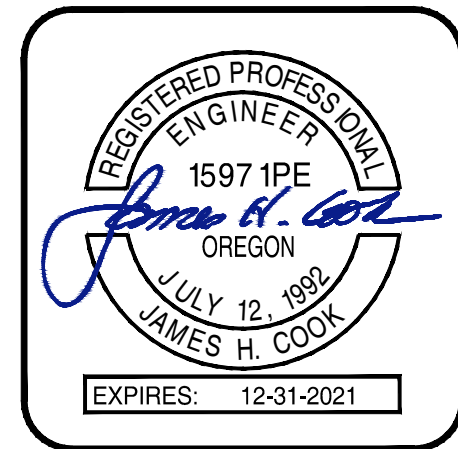
	MITERED ELBOW WITH TURNING VANES	EXH	EXHAUST
	RADIUSED ELBOW	FD	FIRE DAMPER
	RECTANGULAR MAIN WITH ROUND BRANCH	FLA	FULL LOAD AMPS
	RECTANGULAR MAIN WITH RECTANGULAR BRANCH	FT	FEET
	ROUND MAIN REDUCING WITH ROUND BRANCH	HP	HEAT PUMP
	CONCENTRIC SQUARE TO ROUND	HP	HORSEPOWER
	ECCENTRIC TRANSITION, RECTANGULAR OR ROUND	HTR	HEATER
	NON-SYMMETRICAL WYE	IE	INVERT ELEVATION
	SYMMETRICAL WYE	IN	INCHES
	RECTANGULAR DUCT RISER	KW	KILOWATT
	ROUND DUCT RISER	LAT	LEAVING AIR TEMPERATURE
	RECTANGULAR DUCT DROP	LBS.	POUNDS
	ROUND DUCT DROP	MA	MIXED AIR
	RECTANGULAR OFFSET LESS THAN 15°	MAX	MAXIMUM
	RECTANGULAR OFFSET MORE THAN 15°	MBH	THOUSAND BTU'S PER HOUR
	ROUND WYE	MD	MOTORIZED DAMPER
	ROUND DUCT WITH ROUND BRANCH	MH	MOUNTING HEIGHT
	CONCENTRIC TRANSITION, RECTANGULAR OR ROUND	MIN	MINIMUM
	ACCOUSTICALLY LINED DUCT "INSIDE DIMENSION (OUTSIDE DIMENSION)"	N/A	NOT APPLICABLE
<b><u>ABBREVIATIONS</u></b>		NTS	NOT TO SCALE
A/C	AIR CONDITION(ED)	OA	OUTSIDE AIR
AD	ACCESS DOOR	OBD	OPPOSED BLADE DAMPER
AFF	ABOVE FINISHED FLOOR	OD	OUTSIDE DIAMETER
BDD	BACKDRAFT DAMPER	PH	PHASE
		QTY	QUANTITY
		RA	RETURN AIR
		RET	RETURN
		RPM	REVOLUTIONS PER MINUTE
		SA	SUPPLY AIR
		SEER	SEASONAL ENERGY EFFICIENCY RATING
		SF	SQUARE FEET
		SG	SUPPLY GRILLE
		SH	SENSIBLE HEAT
		SP	STATIC PRESSURE
		TEMP	TEMPERATURE
		UH	UNIT HEATER
		V	VOLT
		VD	VOLUME DAMPER (HAND OPERATOR)
		W	WATT
		W/	WITH
		WB	WET BULB
		W/O	WITHOUT

## ABBREVIATIONS

A/C	AIR CONDITION(ED)
AD	ACCESS DOOR
AFF	ABOVE FINISHED FLOOR
BDD	BACKDRAFT DAMPER

GENERAL NOTES

1. PROVIDE AND INSTALL 1/2" INSULATION ON REFRIGERANT PIPING.
2. PROVIDE AND INSTALL MINIMUM R4.2 DUCT INSULATION FOR INDOORS CONDITIONED, R5.0 DUCT INSULATION FOR INDOORS UNCONDITIONED AND R8.0 DUCT INSULATION FOR OUTDOORS ON ALL SUPPLY DUCTS. RETURN DUCTS ARE INSULATED UNLESS OTHERWISE NOTED.
3. SEAL ALL DUCT SEAMS WITH MASTIC OR FOIL BACKED DUCT TAPE.
4. PROVIDE O&M MANUALS TO OWNER ON ALL MECHANICAL EQUIPMENT.
5. AIR BALANCE TO +10% OR -10% OF INDICATED FLOWS TO EACH GRILLE/DIFFUSER.
6. PROVIDE START-UP ON ALL EQUIPMENT PER MANUFACTURERS RECOMMENDATION.
7. THERMOSTATS TO BE 7-DAY PROGRAMMABLE WITH 5-DEGREE DEADBAND AND NIGHT SET-BACK CAPABILITY.
8. PROVIDE ELECTRIC STRIP HEAT LOCKOUT ON ALL HEAT PUMPS AND SET AT 32 DEGREES.
9. PAINT VISIBLE DUCT IMMEDIATELY INTERIOR OF RETURN AIR GRILLES TWO COATS OF FLAT BLACK TO HIDE INTERIOR OF DUCTWORK. PAINT WHEN HVAC SYSTEM IS NOT OPERATING, LET DRY LENGTH OF TIME PER PAINT MANUFACTURER PRIOR TO OPERATING THIS HVAC SYSTEM.
10. REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR T-BAR GRID DIMENSIONS FOR DIFFUSERS AND GRILLES LOCATED IN LAY-IN CEILINGS. REFER TO DIFFUSER, RECYCLED, GRILLE SCHEDULE FOR BASIS OF DESIGN MANUFACTURER, AND MODEL. REFER TO PLANS FOR NECK SIZE.
11. KITCHEN HVAC EQUIPMENT (HOODS, EXHAUST FANS, AND MAKE-UP AIR UNIT) ARE PROVIDED AND INSTALLED BY KITCHEN CONTRACTOR. SEE SHEETS M3.2 - M3.11 FOR KITCHEN EQUIPMENT DRAWINGS.



THIS DRAWING DATA AND DESIGNS  
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USED OR DISCLOSED TO OTHERS FOR  
PROCUREMENT OR OTHER PURPOSE,  
EXCEPT AS OTHERWISE AUTHORIZED BY  
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**JET INDUSTRIES, INC.**  
1935 SILVERTON RD. SALEM, OR 97301  
TEL: (503) 363-2334 FAX: (503) 363-2622  
OR CCB#s 3944, 156944, 158633, 166248, 17C982  
ALL REPRODUCTIONS SHALL BEAR THIS  
NOTICE.

# Dahlke Manor

Portland, OR 97212

**915 SE Schuyler St**

## HVAC - LEGEND / SHEET INDEX

SHEET INDEX

M3.1	HVAC - LEGEND / SHEET INDEX	T SET 08/21/2020	REV. #	DATE
M2.1	HVAC - FIRST FLOOR PLAN			
M2.2	HVAC - SECOND - NINTH FLOOR PLANS			
M2.3	HVAC - ROOF PLAN			
M3.1	HVAC - DETAILS			
M3.2	HVAC - KITCHEN DETAILS			
M3.3	HVAC - KITCHEN DETAILS			
M3.4	HVAC - KITCHEN DETAILS			
M3.5	HVAC - KITCHEN DETAILS			
M3.6	HVAC - KITCHEN DETAILS			
M3.7	HVAC - KITCHEN DETAILS			
M3.8	HVAC - KITCHEN DETAILS			
M3.9	HVAC - KITCHEN DETAILS		DATE: 03/03/2020	
M3.10	HVAC - KITCHEN DETAILS		JOB: 20-0148	
M3.11	HVAC - KITCHEN DETAILS		DESIGN BY: DH	
M4.1	HVAC - SCHEDULES		CONTACT: OLIVER RAAB	
M4.2	HVAC - SCHEDULES			

SHEETS  
SUBMITTED AS  
PART OF THIS  
APPEAL

PERMIT SET 08/21/2020

[illegible]

# M0.1





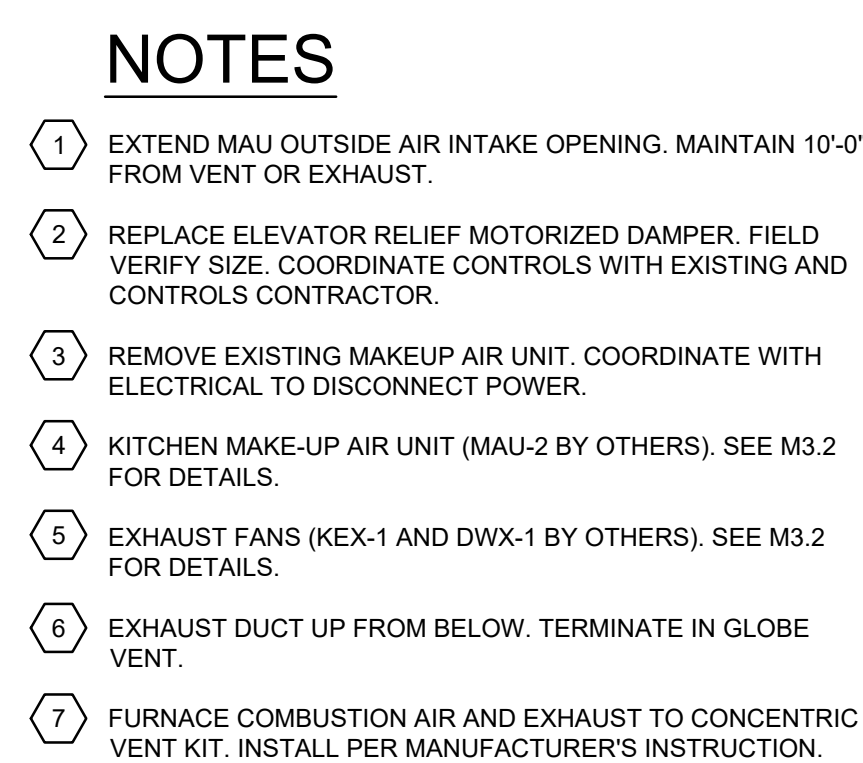


- 
- REGISTERED PROFESSIONAL  
ENGINEER  
15971PE  
OREGON  
JULY 12, 1992  
JAMES H. COOK  
EXPIRES: 12-31-2021



## HVAC - SECOND - NINTH FLOOR PLANS

## M2.2



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REV. #	DATE

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DATE: 03/03/2020  
JOB: 20-0148  
DESIGN BY: DH  
CONTACT: OLIVER RAAB  
TEL. #: 503-363-2334

PERMIT SET 08/21/2020

## M2.3







CHAPTER 4 VENTILATION SCHEDULE																	
ROOM NAME	OCCUPANCY CLASSIFICATION	AREA SQ FT	LOAD PER 1000	OSA PER PERSON	OSA PER SQ FT	EXHAUST PER SQ FT	OCCUPANT LOAD	MECHANICAL UNIT #	ROOM CFM	OSA % CFM	OSA PROVIDED	OSA REQUIRED	ZONE EFFECT	SYSTEM EFFICIENCY	POPULATION DIVERSITY	NOTES	
PROP MGMT 115	OFFICE	305	5	5	0.06	0	1.5	F-1	300	10.0%	30	32	0.8				
FLEX 117	OFFICE	110	5	5	0.06	0	0.6	F-1	100	10.0%	10	12	0.8				
RES SERV 119	OFFICE	116	5	5	0.06	0	0.6	F-1	200	10.0%	20	0	0.8				
		531					2.7	F-1	600	10.0%	60	44	0.8	1.00	1.00		
LAUNDRY 116	COIN-OP LAUNDRY	226	20	7.5	0.12	0	4.5	F-2	450	25.2%	113	76	0.8				
CORRIDOR	CORRIDOR	250	0	0	0.06	0	0.0	F-2	150	25.2%	38	19	0.8				
		476					4.5	F-2	600	25.2%	151	75		0.90	0.71		
COMMUNITY RM 120	MULTI-PURPOSE	1343	120	5	0.06	0	161.2	F-3, F-4	3750	38.8%	1455	1108	0.8				
		1343					161.2	F-3, F-4	3750	38.8%	1455	1454		0.76	1.00	a.	
BREAK 122	CONFERENCE	240	50	5	0.06	0	12.0	DS-1i	400	15%	60	93	0.8				
		240					12.0	DS-1i	400	15.0%	60	56		1.00	0.60		
MAINTENANCE RM 123	OFFICE	765	5	5	0.06	-	3.8	EF-20	70	100%	70	81	0.8				
		765					3.8	EF-20	70	100.0%	70	49		0.30	0.60		
CORRIDOR C101, ELEV LOBBY C100	CORRIDOR	1211	0	0	0.06	0	0.0	MUA-1	800	100.0%	800	91	0.8				
CORRIDOR L2 - L9, ELEV LOBBIES	CORRIDOR	5600	0	0	0.06	0	0.0	MUA-1	3600	100.0%	3600	420	0.8				
		6811				0	0.0	MUA-1	4400	100.0%	4400	511		0.30	1.00		
1 - BEDROOM UNIT	RESIDENTIAL	VARIES	0	15	0	0	2.0	N/A	N/A	N/A	N/A	N/A				e, f.	
EXHAUST																	
RESIDENCE TOILET	RESIDENCE TOILET / BATH	40	0	0	0	0	0	EF-A	80	100.0%	80	30				d, c	
JANITOR ROOM	STORAGE	60	0	0	0.12	0	0	EF-B	70	100.0%	70	45					
RESIDENCE KITCHEN	KITCHEN, PRIVATE DW	N/A	0	0	0	0	0	AR-A	30	100.0%	30	25				b, c	
BIKE RM 109B	STORAGE	120	0	0	0.12	0	0.0	EF-3	70	100.0%	70	14					
TRASH RM 108	TRASH	265	0	0	0.12	0	0.0	EF-4	200	100.0%	200	32					
LAUNDRY 116	COIN-OP LAUNDRY	226	20	7.5	0.12	0	4.5	EF-5	150	100.0%	150	61					
STAFF RR 118A	TOILET	73	0	0	0	0	0.0	EF-1	150	100.0%	150	140					
COMM RR 118B	TOILET	73	0	0	0	0	0.0	EF-2	70	100.0%	70	70					
KITCHEN 121	KITCHEN	300	0	0	0	0.7	0	KEX-1, DWX-1	1936	100.0%	1936	210				a, g	
SUBDUCT SHAFT		45	0	0	0	0	0.0	EF-VARIOUS		100.0%	0					c	
SCHEDULE NOTES:																	
a. DEMAND CONTROLLED VENTILATION.																	
b. 1-BEDROOM UNIT WITH OPEN SPACE LIVING/KITCHEN AREA. CONTINUOUS ENVIRONMENTAL AIR EXHAUST PROVIDED THROUGH SIDEWALL, CONSTANT AIRFLOW GRILLE / REGULATOR SUBDUCTED INTO EXISTING SUB-DUCT SHAFT.																	
c. SUBDUCT FAN IS CONTINUOUS ON, WITH BACKUP POWER. THESE FANS ARE REPLACEMENT FOR ORIGINAL EQUIPMENT ROOFTOP FANS. EXHAUST FAN ARE PROVIDED WITH ECM MOTORS AND VARY SPEED TO MAINTAIN MAIN DUCT STATIC PRESSURE. FAN EQUIPMENT TAGS ARE: EF-6, EF-7, EF-8, EF-9, EF-10, EF-11, EF-12, EF-13, EF-14, EF-15, EF-16, EF-17, EF-18, EF-19.																	
d. TYPICAL BATHROOM CEILING EXHAUST FAN. UNIT BATH FAN REPLACES ORIGINAL CONSTRUCTION WALL EXHAUST GRILLE FAN FOR REFURBISHING PROJECT. CONTINUOUS 30 CFM DISCHARGES INTO EXISTING SUBDUCT EXHAUST SHAFT THAT IS ROUTED TO ROOF. EF-A EQUIPPED WITH HUMIDITY SENSOR AND ON/OFF SWITCH INCREASE.																	
e. RESIDENCE UNITS ARE PROVIDED WITH OPENABLE WINDOWS.																	
f. MAU-1 UNIT PROVIDES 4,400 CFM TOTAL OSA TO LEVELS 1 THRU 9 TO SERVE AS TEMPERED VENTILATION AND EXHAUST SYSTEM MAKEUP AIR TO EACH RESIDENCE.																	
g. MAU-2, KEX-1, AND DWX-1 EQUIPMENT FURNISHED BY OTHERS. MAXIMUM MAU-2 SUPPLY 1215 CFM, MAXIMUM EXHAUST 1936 CFM. MAU AND TYPE 1 HOOD TIED TOGETHER WITH TEMPERATURE BASED DEMAND CONTROL VENTILATION.																	



**Dahlke Manor**  
915 SE Schuyler St  
Portland, OR 97212  
HVAC - SCHEDULES

REV. #	DATE

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DATE: 03/03/2020

JOB: 20-0148

DESIGN BY: DH

CONTACT: OLIVER RAAB

TEL. #: 503-363-2334

PLOTTED: RANDY DOKE 8/21/2020 10:23 AM  
PATH: P:\2020\20-0148 - DAHLKE MANOR\1 ENGR\1 HVAC