

Development Services

From Concept to Construction

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 More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



APPEAL SUMMARY

Status: Held pending payment of fees

Appeal ID: 24402	Project Address: 12005 N Burgard Rd
Hearing Date: 11/25/20	Appellant Name: Bud Bedell
Case No.: B-011	Appellant Phone: 503-572-7685
Appeal Type: Building	Plans Examiner/Inspector: Peter Drake
Project Type: commercial	Stories: 1 Occupancy: B, F-1 Construction Type: III-B III-B
Building/Business Name: Schnitzer steel	Fire Sprinklers: Yes -
Appeal Involves: Alteration of an existing structure	LUR or Permit Application No.: 20-207252-CO
Plan Submitted Option: pdf [File 1]	Proposed use: Restroom

APPEAL INFORMATION SHEET

Appeal item 1

Code Section	1109.2
Requires	Each toilet room and bathing room shall be accessible. Where a floor level is not required to be connected by an accessible route, the only toilet rooms or bathing rooms provided within the facility shall not be located on the inaccessible floor. At least one of each type of fixture, element, control or dispenser in each accessible toilet room and bathing room shall be accessible.
Code Modification or Alternate Requested	Adding fixtures to a bathroom. The new area is only accessible by way of one step up. The existing bathroom has an accessible toilet and lavatory.
Proposed Design	In this case, the owner is wanting to add this bathroom to meet the needs of their employees. This bathroom has an accessible lavatory and toilet. There is also a suite of accessible restrooms in close vicinity.
Reason for alternative	This will both meet the needs of the employees as well as creating an accessible unisex toilet by making the additional area a men's room.

The administrative staff has not yet reviewed this appeal.



PROJECT VICINITY
AERIAL PHOTO PROVIDED BY GOOGLE
NOT TO SCALE

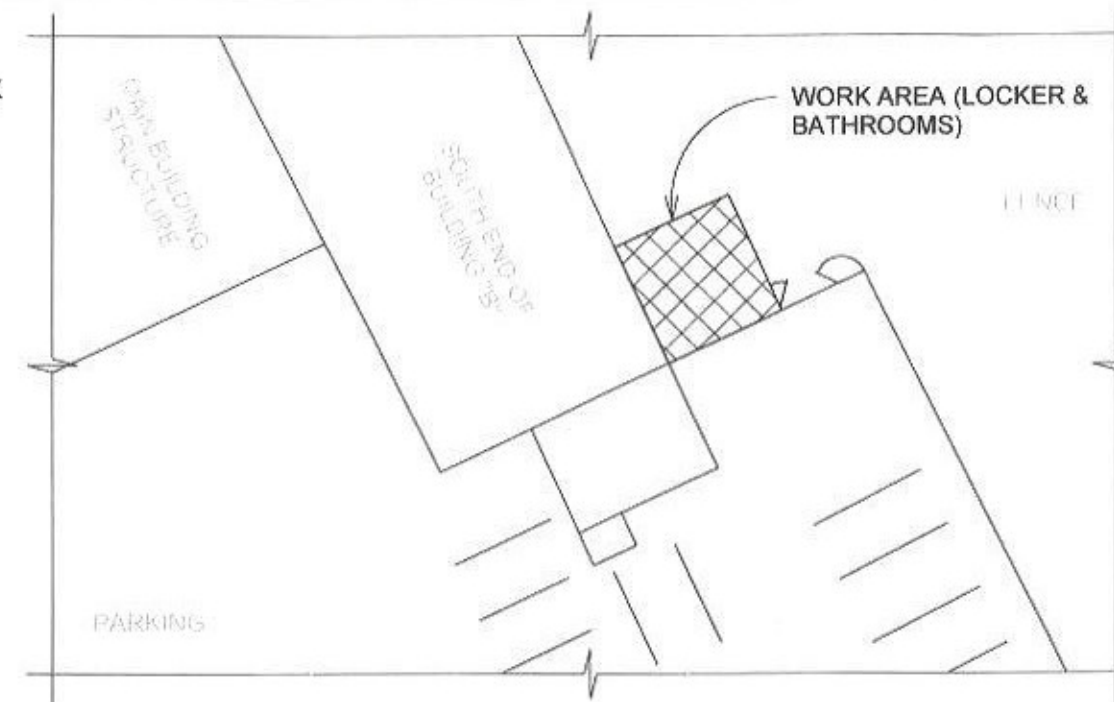
NOTE:
1. BOLD & CROSS-HATCH AREAS ARE WORK AREAS TO BE MODIFIED.
2. SEE G002 FOR GENERAL NOTES.

PROJECT LOCATION



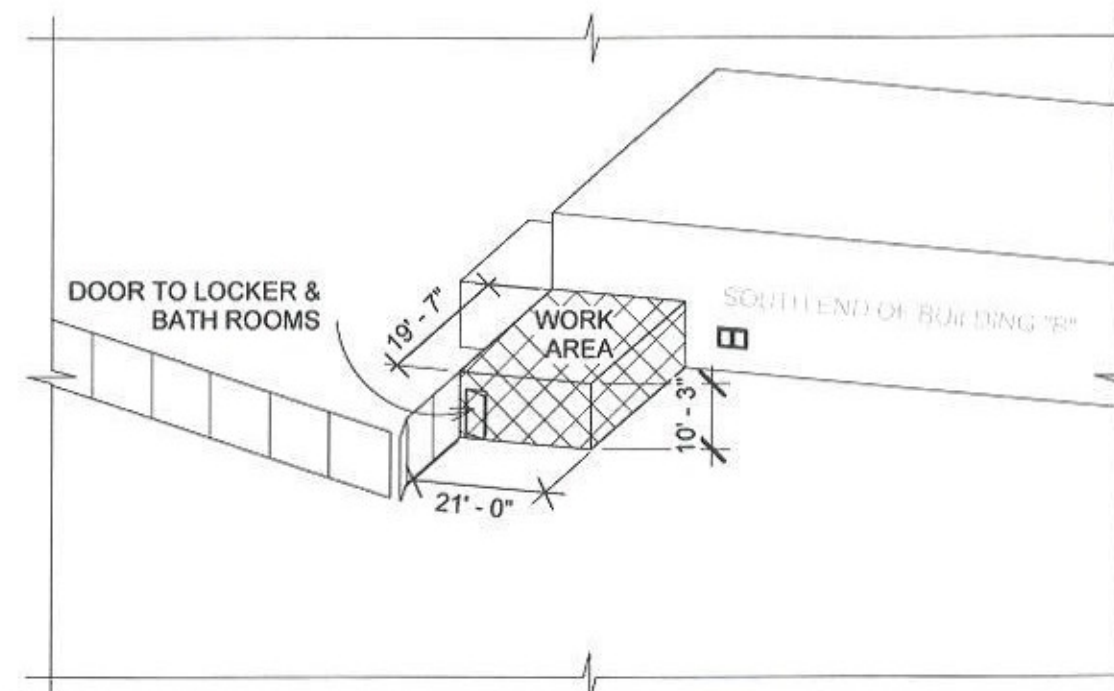
PROJECT LOCATION
AERIAL PHOTO PROVIDED BY GOOGLE
NOT TO SCALE

PROJECT LOCATION



**REMODEL/WORK AREA SITE PLAN,
SCHNITZER STEEL, 12005 N. BURGARD
RD.**

1
1" = 30'-0"



**WORK AREA, SCHNITZER STEEL, 12005
N. BURGARD RD.**

2
1" = 30'-0"

BIJAN
DESIGNS INC.

CAD / BIM / DESIGN SERVICES
503-380-0444

MIGHTY HANDY LLC.

PROJECT LOCATION: 12005 N. BURGARD RD.
PORTLAND, OR 97203

BATH/LOCKER ROOM REMODEL

No.	Description	Date

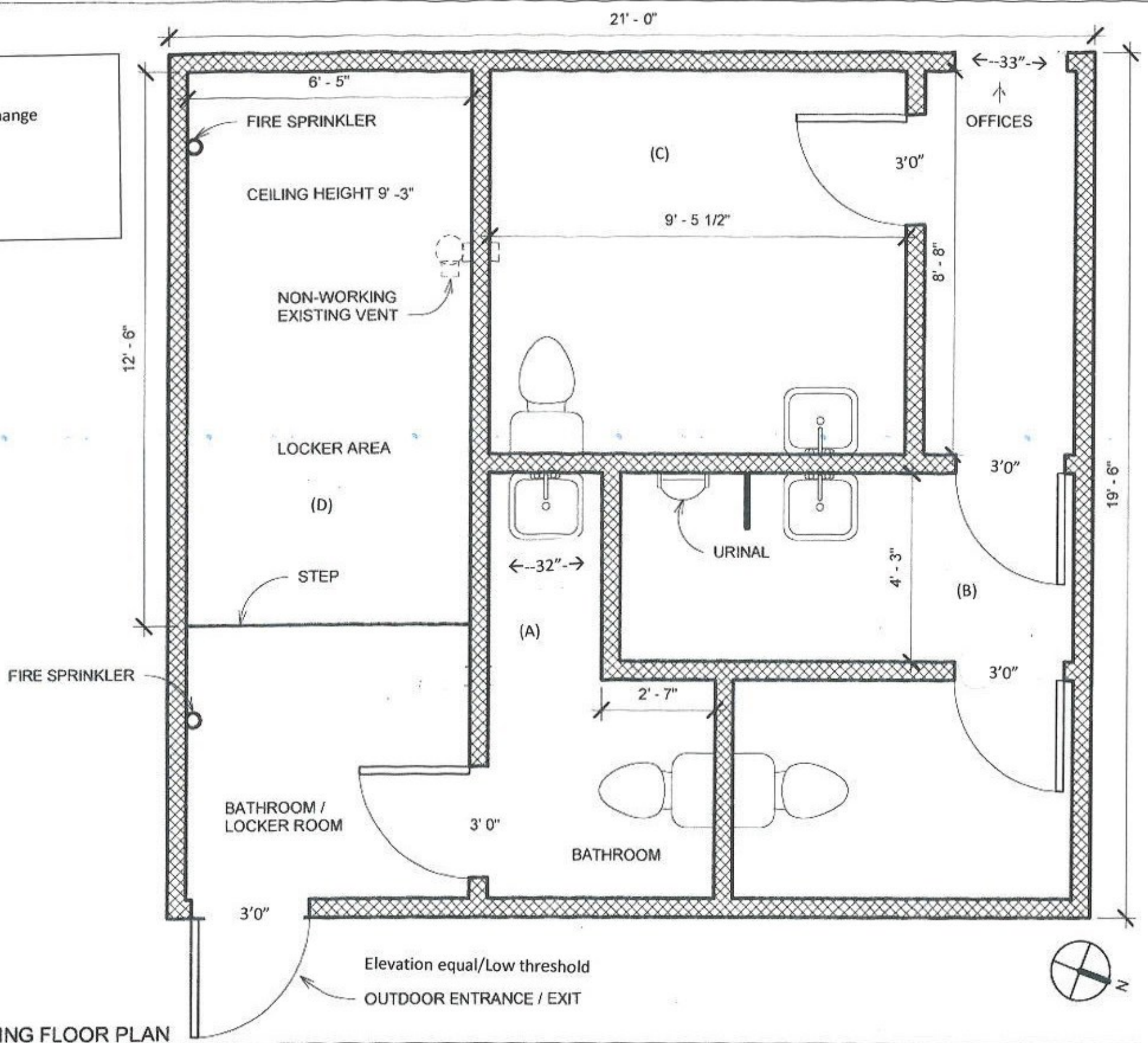
WORK AREA SITE PLAN

Project number B.BEDEL_072520
Date 07/25/2020
Drawn by BIJAN
Checked by B. BEDEL

G-001

Scale 1" = 30'-0"

- (A) Existing men's room
- (B) Existing men's room-No change
- (C) Existing Women's room
- (D) Locker/changing area



- NOTES:**
1. EVERYTHING IN THIS DRAWING IS EXISTING.
 2. ALL EXISTING WALLS ARE 2"X4" CONSTRUCTION, UNLESS NOTED OTHERWISE.

1 EXISTING FLOOR PLAN
3/8" = 1'-0"

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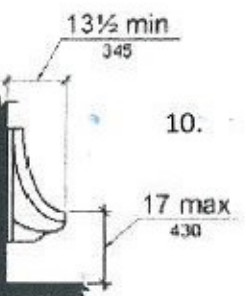
MIGHTY HANDY LLC.
PROJECT LOCATION: 12005 N. BURGARD RD.
PORTLAND, OR 97203
BATH/LOCKER ROOM REMODEL

No.	Description	Date

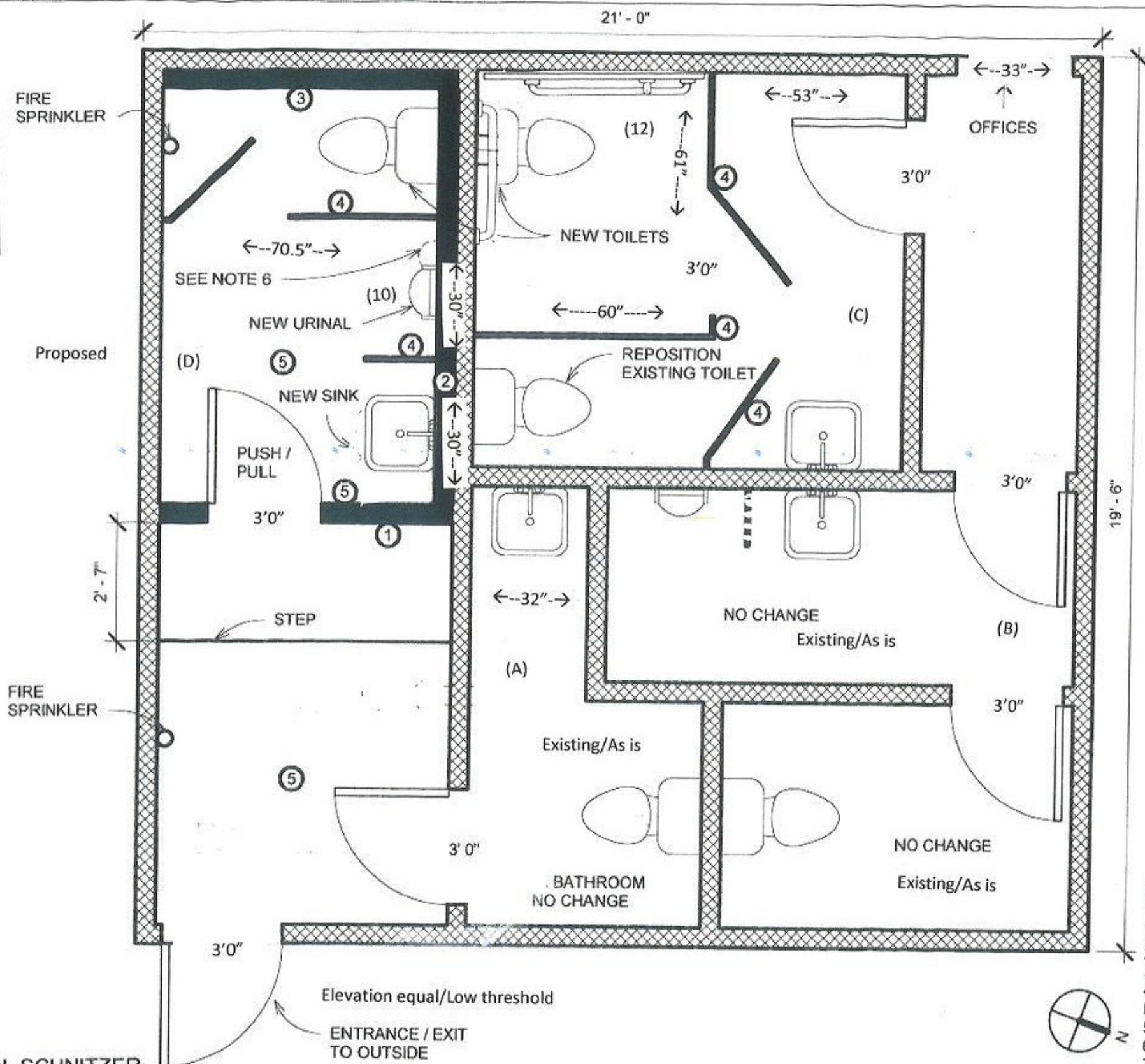
EXISTING FLOOR PLAN

Project number	B.BEDELL_072520	A101
Date	07/25/2020	
Drawn by	BIJAN	
Checked by	B. BEDELL	
Scale 3/8" = 1'-0"		

- (A) Due to adding new men's room, this is Able to be a unisex bathroom
- (B) Existing men's room-No change
- (C) Existing Women's room with addition of 2nd toilet and stall dividers.
- (D) New men's room



- 9. New lavatory conforms to code section 11092.3. as pictured
- 10. Urinal conforms to to code section 1109
- 11. The walls within 2' of the sink, urinal and toilet to be waterproof (Durarock), Painted with semi-gloss.
- 12. Grab bars to code 604.5



- OVERHEAD ITEM OUTLINE
- NEW WALL (SEE NOTES)
- EXISTING WALL

- NOTES:**
1. ADD NEW DOOR WALL.
 2. ADD NEW PLUMBING WALL.
 3. ADD NEW FINISHED WALL.
 4. INSTALL NEW DIVIDERS WITH STANDARD POWDERCOATED STEEL.
 5. INSTALL NEW LED STRIP LIGHTING.
 6. INOPERABLE VENT TO BE REPLACED WITH 110 CFM FAN
 7. EXISTING THIS SHEET UNLESS NOTED OTHERWISE.
 8. ALL NEW WALLS USE STANDARD 2 X 4 CONSTRUCTION. NEW WALLS ARE NOT STRUCTURAL.

1 PROPOSED FLOOR PLAN- SCHNITZER
3/8" = 1'-0"

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MIGHTY HANDY LLC.
PROJECT LOCATION: 12005 N. BURGARD RD.
PORTLAND, OR 97203
BATH/LOCKER ROOM REMODEL

No.	Description	Date

PROPOSED FLOOR PLAN		
Project number	B.BEDELL_072520	A102
Date	07/25/2020	
Drawn by	BIJAN	
Checked by	B. BEDELL	
		Scale 3/8" = 1'-0"