

## Development Services

### From Concept to Construction

Phone: 503-823-7300 Email: [bds@portlandoregon.gov](mailto:bds@portlandoregon.gov) 1900 SW 4th Ave, Portland, OR 97201  
More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



#### APPEAL SUMMARY

**Status:** Decision Rendered - Held over from ID 24127 (11/11/20) for additional information

<b>Appeal ID:</b> 24388	<b>Project Address:</b> 6413 SE 22nd Ave
<b>Hearing Date:</b> 11/25/20	<b>Appellant Name:</b> Holly Moore
<b>Case No.:</b> B-008	<b>Appellant Phone:</b> 5066801410
<b>Appeal Type:</b> Building	<b>Plans Examiner/Inspector:</b> Anne Schmidt
<b>Project Type:</b> residential	<b>Stories:</b> 1 <b>Occupancy:</b> single family <b>Construction Type:</b> wood frame
<b>Building/Business Name:</b>	<b>Fire Sprinklers:</b> No
<b>Appeal Involves:</b> Alteration of an existing structure	<b>LUR or Permit Application No.:</b> 20-182508-RS
<b>Plan Submitted Option:</b> pdf [File 1]	<b>Proposed use:</b> OFFICE

#### APPEAL INFORMATION SHEET

##### Appeal item 1

<b>Code Section</b>	Table 302
<b>Requires</b>	This garage/office conversion is 6" from the property line on the south side and 12" from the west side and is within the set back.
<b>Code Modification or Alternate Requested</b>	To increase fire rating of exterior wall and make the existing exterior wall a 1 hour fire rating.
<b>Proposed Design</b>	I would like to use 2 layers of 5/8" sheetrock on the interior garage wall up to the roof sheathing to make the wall rated at 1 hour.
<b>Reason for alternative</b>	this will provide increase fire safety within the set back

#### APPEAL DECISION

**Alternate one hour assembly for South and West walls of existing garage within three feet of property line: Granted provided**

- Two layers of Type X gypsum are installed on the interior side of the wall continuous to the top of the double top plate.
- Two layers of 2x blocking are provided between the top of the double top plate and underside of the roof sheathing, beveled where required, to fit tight against the sheathing, OR where roof framing is parallel to wall, Type X is continuous to the roof sheathing with blocking sufficient for drywall attachment.
- No openings including eave vents may be installed in the soffit and no openings including windows, roof vents or skylights may be installed in that portion of the wall or roof that is within three feet of the property line.
- The underside of the roof adjacent to the property line is provided with one layer of 5/8" installed directly against the underside of the roof sheathing with support provided by a minimum of 2 x ledgers

attached to the side of the roof framing members for a minimum distance of four feet measured from the inside face of the finished wall surface.

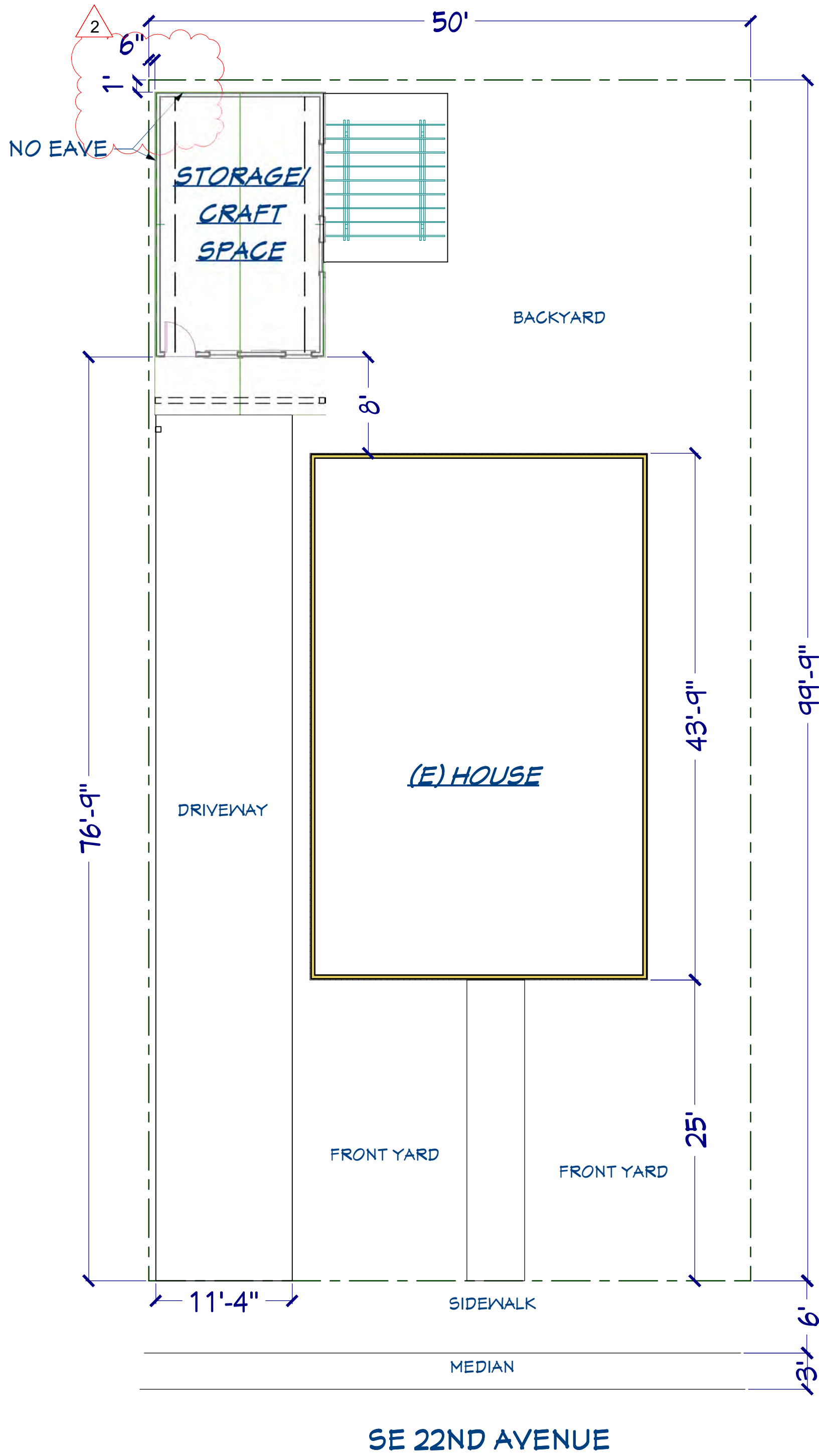
**e. No built elements including gutters and footings may cross the property line and stormwater must remain and be disposed of on site.**

**Appellant may contact John Butler (503 865-6427) or e-mail at [John.Butler@portlandoregon.gov](mailto:John.Butler@portlandoregon.gov) with questions.**

The Administrative Appeal Board finds with the conditions noted, that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 90 calendar days of the date this decision is published. For information on the appeals process, go to [www.portlandoregon.gov/bds/appealsinfo](http://www.portlandoregon.gov/bds/appealsinfo), call (503) 823-7300 or come in to the Development Services Center.

# STOKES RESIDENCE



SITE PLAN  
1" = 10'-0" N

## GENERAL NOTES:

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH WORK.
2. THE CONTRACTOR & HOMEOWNER SHALL CHOOSE THE WINDOW MANUFACTURER. WINDOW SIZES SHALL BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO ORDERING. THE WINDOW MANUF. SHALL PROVIDE THE ROUGH OPENING SIZES.
  - a. GLAZING CLOSER THAN 18" TO THE FLOOR & EXCEEDING SIX (6) SQUARE FEET IN AREA MUST BE TEMPERED.
  - b. EMERGENCY EGRESS, SLEEPING ROOMS SHALL HAVE AT LEAST ONE (1) OPERABLE WINDOW OR EXTERIOR DOOR TO PERMIT EMERGENCY EGRESS OR RESCUE. A REQUIRED WINDOW MUST INCLUDE THE FOLLOWING:
    - i. THE SILL HEIGHT SHALL NOT BE MORE THAN 44" ABOVE THE FINISHED FLOOR.
    - ii. WHEN THE WINDOW IS FULLY OPEN, THE OPENING MUST BE AT LEAST 5.7 SQ. FT. IN AREA. THE WIDTH OF THE EGRESS OPENING MUST BE A MIN. OF 20" AND A MIN. OF 24" HIGH.
3. DIMENSION STANDARDS USED WITHIN DOCUMENTS ARE AS FOLLOWS, UNLESS NOTED OTHERWISE:
  - a. EXTERIOR DIMENSIONING @ BUILDING CORNERS REPRESENTS AN EXTERIOR OF STUD DIMENSION.
  - b. EXTERIOR DIMENSION @ WINDOWS & DOORS REPRESENT CENTER OF ANOTHER OPENING OR THE OUTSIDE OF THE STUD.
  - c. INTERIOR DIMENSIONING @ STUD WALLS REPRESENT A DIMENSION TO THE SIDE OF THE STUD.
  - d. INTERIOR DIMENSIONING @ STAIRS REPRESENT A DIMENSION TO THE FINISHED FACE OF THE STAIR.
4. STRUCTURAL HEADERS AND BEAMS SHALL BEAR ON THE FOLLOWING:
  - a. DOUBLE HEADERS SHALL BEAR ON 4x4 POSTS
  - b. TRIPLE HEADERS SHALL BEAR ON 4x6 POSTS
  - c. STEEL BEAMS SHALL BEAR ON 3 1/2 DIA. STEEL PIPE COLUMNS UNO.
  - d. LAMINATED VENEER LUMBER (LVL) SHALL BE HANDLED & INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURERS SPECS.
  - e. BEARING PLATES SHALL MATCH OR EXCEED THE WIDTH OF ALL BEAMS THAT BEAR UPON THEM.
  - f. ALL DUCTWORK & HOT WATER PIPING SHALL BE INSULATED AND, WHERE NECESSARY, A VAPOR BARRIER FOR THE DUCTWORK TO PREVENT CONDENSATION.
5. WRITTEN APPROVAL FROM ENGINEER OF RECORD SHALL BE OBTAINED PRIOR TO DRILLING & NOTCHING OF SUPPORTING MEMBERS.

## PROJECT INFORMATION:

DESCRIPTION OR WORK: CONVERT EXISTING GARAGE TO STORAGE/ CRAFT SPACE

R# #R304319  
STATE ID# #191E14DD 5500

PROPERTY: 5,000 SF  
(E) HOUSE: 1,645 SF  
(E) GARAGE: 216 SF-NO CHANGE

ENERGY COMPLIANCE TABLE N1101.2. PRESCRIPTIVE ENVELOPE REQUIREMENTS 2017 OREGON RESIDENTIAL SPECIALTY CODE.

## PROJECT TEAM:

OWNER: GRAHAM & JULIA STOKES  
6413 SE 22ND AVENUE  
PORTLAND OREGON 97202

DESIGNER: HOLLY MOORE DESIGN, LLC  
CONTACT: HOLLY MOORE  
PH: 503.680.1410

CONTRACTOR: 4M CONSTRUCTION  
CONTACT: DUSTIN ROBBINS  
PH: 503.290.8053  
CCB# 187915

## GENERAL REQUIREMENTS:

- GENERAL REQUIREMENTS:
1. WALL DIMENSIONS ARE TO THE EXTERIOR OF FRAMING UNLESS NOTED OTHERWISE.
  2. CONTRACTOR TO VERIFY ACCURACY OF PLANS AND NOTIFY DESIGNER OF ANY OMISSIONS, INACCURACIES OR CONFLICTS PRIOR TO PROCEEDING WORK.
  3. CONTRACTOR ASSUMES ALL LIABILITY FOR ANY WORK PERFORMED CONTRARY TO CODES AND REGULATIONS OF LOCAL JURISDICTIONS OR CC&R'S OF AREA.
  4. ANY MODIFICATIONS TO THE DESIGN OF THIS BUILDING OR ANY OF ITS COMPONENTS MAY AFFECT ITS STRUCTURAL INTEGRITY AND SHOULD BE REVIEWED BY ENGINEER PRIOR TO CONSTRUCTION.
  5. STRUCTURE SHALL BE ADEQUATELY BRACED FOR WIND LOADS UNTIL THE ROOF AND WALLS HAVE BEEN PERMANENTLY ATTACHED TOGETHER AND SHEATHED.

- DESIGN LOADS:  
(CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH 2011 ORSC FOR ALL FRAMING EXECUTIONS AND VERIFICATION OF ALL DESIGN LOADS)
1. ROOF: 30 PSF LIVE LOAD
  2. FLOORS 40 PSF LIVE LOAD
  3. STAIRS: 100 PSF LIVE LOAD
  4. DECKS: 60 PSF LIVE LOAD
  5. SOIL BEARING: 1500 PSF (ASSUMED)
  6. WIND LOADS: 120 MPH
  7. SEISMIC: SITE CLASS D

- ENERGY ENVELOPE AND MOISTURE CONTROL:
- a. INSULATION IS "PATH FIVE" UNLESS OTHERWISE NOTED.
  - a. MAX. ALLOWABLE WINDOW AREA: NO LIMIT
  - b. WINDOW CLASS: U=0.30
  - c. MAIN ENTRY DOOR: U=0.20
  - d. WALL INSULATION: R-15
  - e. UNDER FLOOR INSULATION >10 INCHES: R-30
  - f. UNDER FLOOR INSULATION > 8 INCHES: R-25
  - g. FLAT CEILINGS: R-49
  - h. VAULTED CEILINGS: >10 INCHES: R25, > 8 INCHES: R21
  - i. SLAB EDGE PERIMETER: R-15
  - k. FORCED AIR DUCTING: R-8
  - l. ADDITIONAL 15% OF PERMANENTLY INSTALLED LIGHT FIXTURES AS HIGH EFFICIENCY LAMPS
  2. ALL TUBS AND SHOWERS TO HAVE 1/2" WATER PROOF GYP BOARD AT WALLS AND HARD MOISTURE RESISTANT SURFACE TO HEIGHT OF 6' ABOVE FINISHED FLOOR.
  3. EXHAUST ALL FANS, RANGES AND CLOTHES DRYERS DIRECTLY TO OUTSIDE. PROVIDE 50 CFM EXHAUST FAN AT ALL TOILET/BATHROOMS AND 15 CFM AT LAUNDRY ROOM.
  4. ALL NEW DRYWALL TO BE 1/2" WITH SMOOTH FINISH. PATCHED (E) PLASTER TO MATCH EXISTING FINISH.
  5. ADDITIONAL ENERGY MEASURES TO BE: HIGH EFFICIENCY WALLS

ATTIC ACCESS:  
a MIN. OF 22"x36". THERE SHALL BE 30" MIN. CLEARANCE AT OR ABOVE THE CEILING.

- WINDOWS AND DOORS:  
TEMPERED GLAZING IS REQUIRED IN WINDOWS WHERE THE NEAREST VERTICAL EDGE IS WITHIN 24" OF A DOOR, AT SLIDING GLASS DOORS, FRENCH DOORS, STAIRS AND TUB ENCLOSURES. WINDOW & DOOR SIZES ARE READ AS FOLLOWS:  
2868 = 2'-6" wide x 6'-8" high  
ALL BEARING WALL HEADER SIZES @ EXTERIOR WALLS TO BE (2) 2X10s w/ 2X6 UNDER. (2) 2X10s w/ 2X4s UNDER U.N.O.

- PLAN NOTES:
1. ALL EXTERIOR WALLS TO BE 2x6 STUDS @ 16" O.C.
  2. ALL INTERIOR WALLS TO BE 2x4 STUDS @ 16" O.C.
  3. INSULATION FIGURED AS "PATH ONE".
  4. WINDOW & DOOR HEADER HEIGHTS - MATCH EXISTING UNLESS NOTED OTHERWISE

## SHEET INDEX:

- A1 SITE PLAN, PROJECT INFO, & GENERAL NOTES  
A2 PLANS & SCHEDULES  
A3 EXT ELEVATIONS, PERSPECTIVES, & ELEC/ LIGHTING PLAN

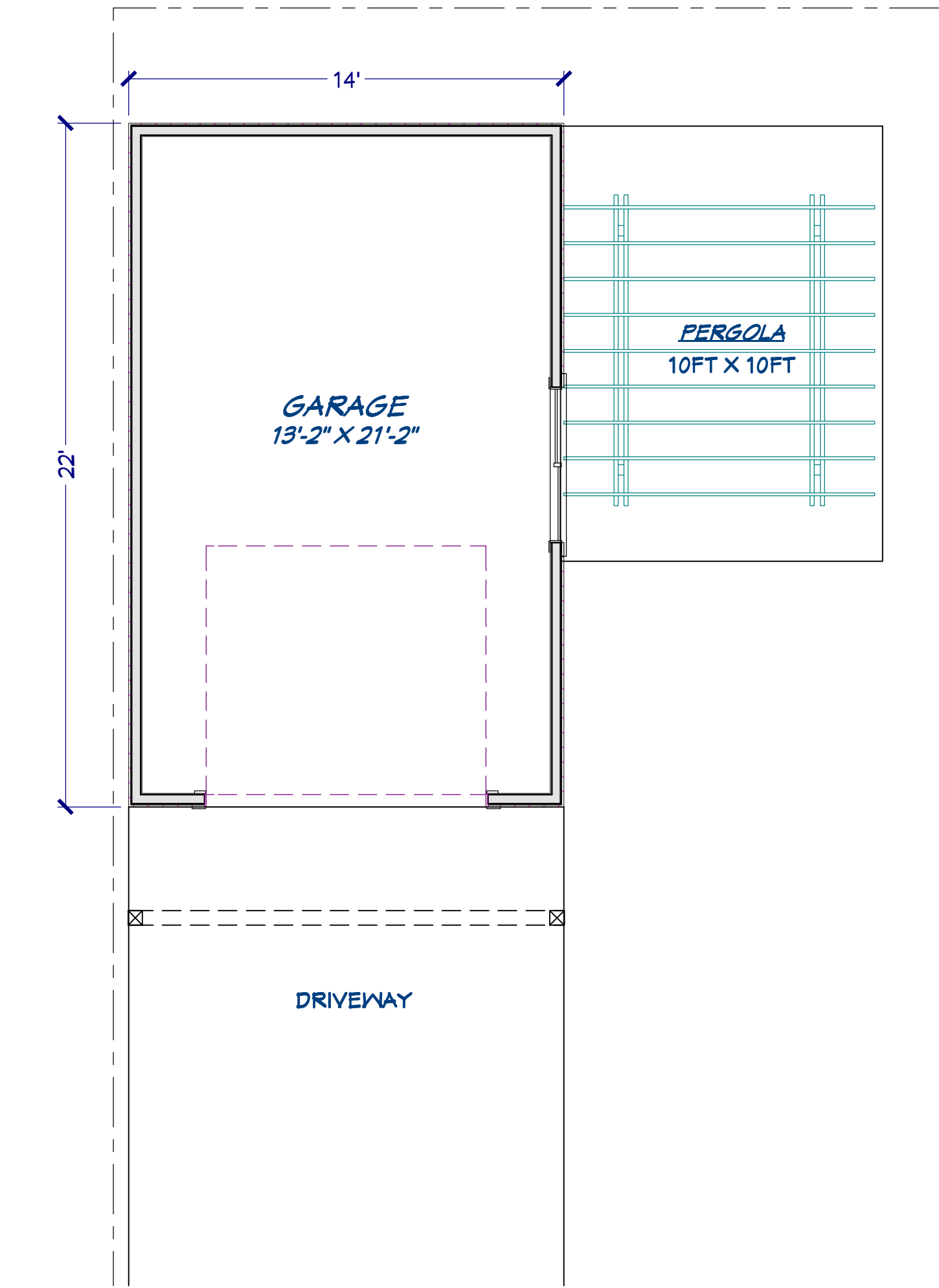
DRAWING  
SITE PLAN,  
PROJECT INFO, &  
GENERAL NOTES

PAGE  
A1

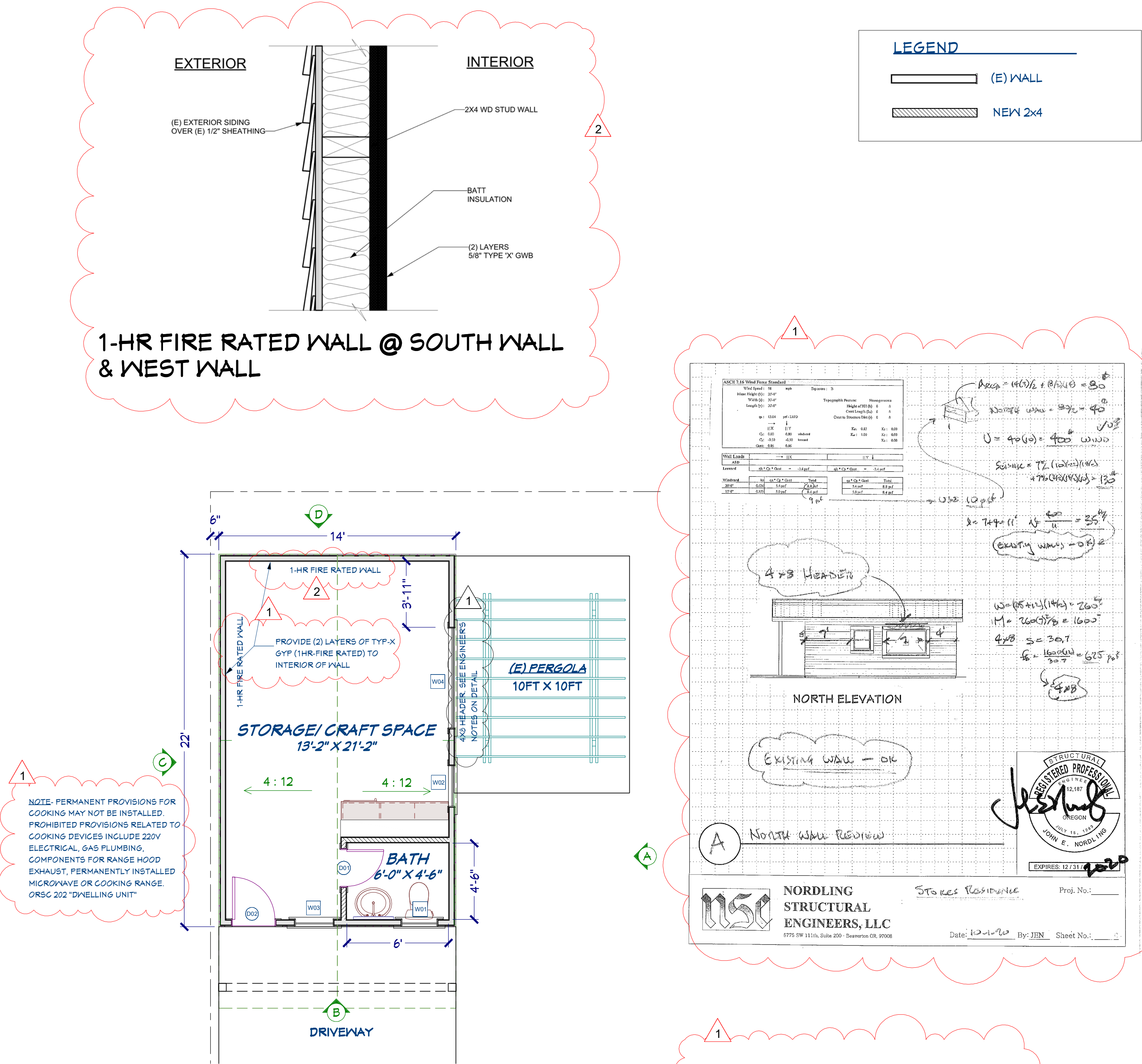
DATE: 8.24.20  
REVISED: 9.30.20 & 11.18.20  
DESIGNER: Holly Moore

STOKES RESIDENCE  
6413 SE 22ND AVENUE  
PORTLAND OR 97202





GARAGE AS BUILT PLAN  
1/4"=1'-0"



STORAGE/ CRAFT SPACE FLOOR PLAN  
1/4"=1'-0"





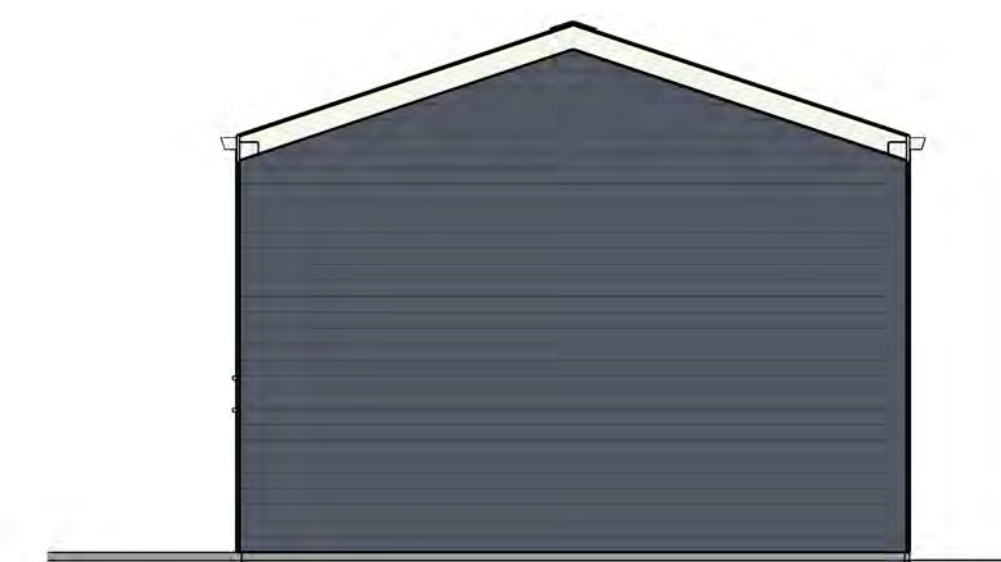
A. NORTH ELEVATION  
1/4"=1'-0"



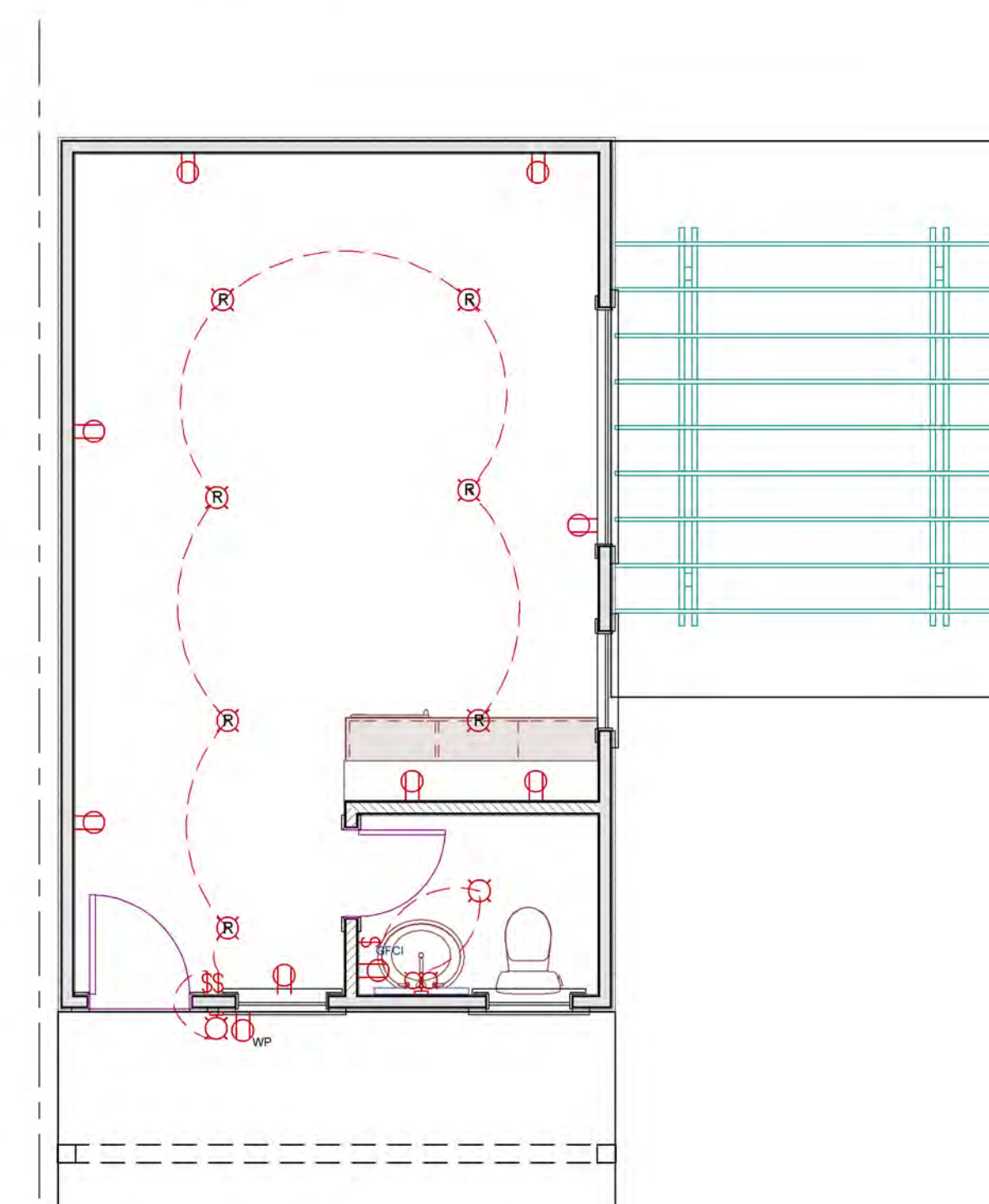
B. EAST ELEVATION  
1/4"=1'-0"



C. SOUTH ELEVATION  
1/4"=1'-0"



D. WEST ELEVATION  
1/4"=1'-0"



ELECTRICAL/ LIGHTING  
FLOOR PLAN  
1/4"=1'-0"

IMPORTANT NOTE:  
ACTUAL JOB SITE CONDITIONS MAY VARY FROM  
DRAWINGS. CONTRACTOR/ OWNER/ FRAMER TO VERIFY  
ALL DIMENSIONS, INCLUDING RAFTER HEEL HEIGHTS,  
FLOOR & CEILING HEIGHTS. PLEASE NOTIFY DESIGNER  
AND/ OR ENGINEER BEFORE CONSTRUCTION BEGINS OF  
ANY VARIATION WHICH MAY EFFECT CONSTRUCTION.