

## Development Services

### From Concept to Construction

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More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



#### APPEAL SUMMARY

**Status:** Decision Rendered

<b>Appeal ID:</b> 24367	<b>Project Address:</b> 1427 N Bryant St
<b>Hearing Date:</b> 11/25/20	<b>Appellant Name:</b> Doug Minarik
<b>Case No.:</b> B-004	<b>Appellant Phone:</b> 406-579-5597
<b>Appeal Type:</b> Building	<b>Plans Examiner/Inspector:</b> Guy Altman
<b>Project Type:</b> commercial	<b>Stories:</b> 4 <b>Occupancy:</b> R-2 <b>Construction Type:</b> V-A
<b>Building/Business Name:</b> N Bryant Lofts	<b>Fire Sprinklers:</b> Yes - throughout
<b>Appeal Involves:</b> Erection of a new structure	<b>LUR or Permit Application No.:</b> 20-185682-CO
<b>Plan Submitted Option:</b> pdf [File 1]	<b>Proposed use:</b> Multi-Family Residential

#### APPEAL INFORMATION SHEET

##### Appeal item 1

<b>Code Section</b>	2902.1 Min Number of Fixtures
<b>Requires</b>	Plumbing fixtures shall be provided in the minimum number as shown in Table 2902.1 based on the actual use of the building or space.
<b>Code Modification or Alternate Requested</b>	Omission of common area toilet room.
<b>Proposed Design</b>	The proposed 15-unit, four-story apartment building will have one common area on the ground floor adjacent to the building lobby. This common area is a small 232 SF space for use by building tenants to check mail, wait for a car-share, or other similar transitional activities. The building is access-controlled and not for public use. The common area is provided for the building tenants and all tenants have their own private toilet facilities.
<b>Reason for alternative</b>	The proposed common area will be used by tenants and their guests only. No public access will be provided to the building. Each tenant has access to their own private toilet facilities. Providing a toilet room would reduce the usable space dedicated for the common area. An accessible toilet room would require approximately 64 SF, and reduce approximately a quarter of the usable common area. Providing viable usable space outweighs the need for additional and redundant toilet facilities in the building. The proposed use of private toilet facilities in each unit to support the small common area provides equivalent access to sanitary systems. This appeal is consistent with previously approved appeals (e.g. 23999, 23410, etc...).

#### APPEAL DECISION

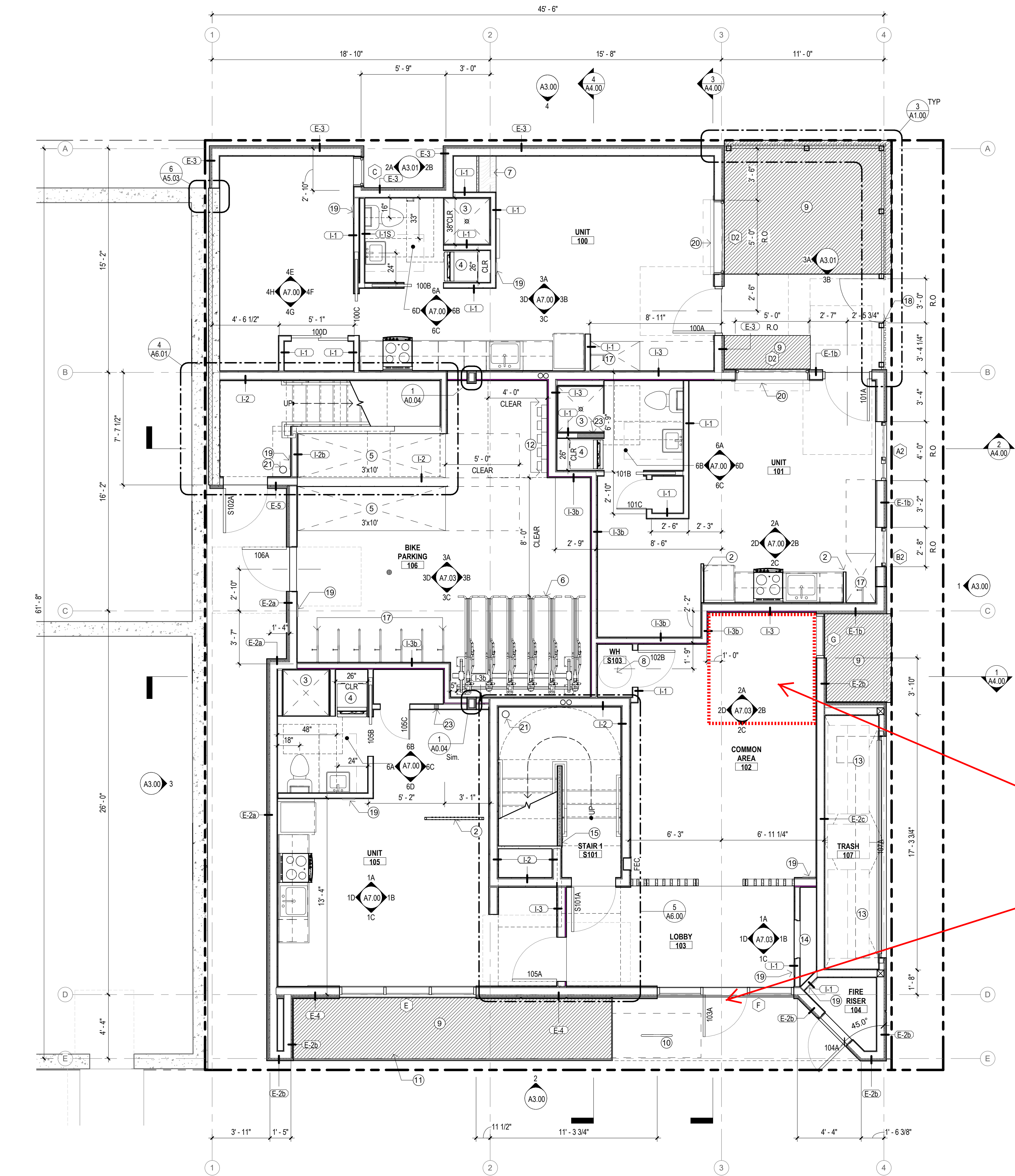
**Omission of plumbing fixtures to serve tenant only common space: Granted as proposed.**

The Administrative Appeal Board finds that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health,

safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 90 calendar days of the date this decision is published. For information on the appeals process, go to [www.portlandoregon.gov/bds/appealsinfo](http://www.portlandoregon.gov/bds/appealsinfo), call (503) 823-7300 or come in to the Development Services Center.

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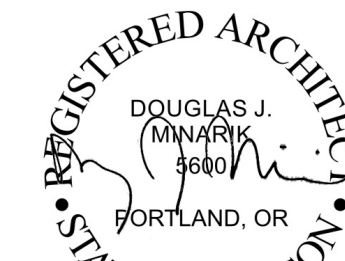
1 Ground Level Floor Plan  
1/4" = 1'-0"

GENERAL NOTES

1. CONTRACTOR TO VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION; NOTIFY ARCHITECT OF ALL DISCREPANCIES.
2. CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
3. DIMENSIONS ARE TO FACE OF FRAMING, FACE OF CONCRETE, GRIDLINE, OR CENTERLINE OF OBJECT, U.N.O.
4. DETAIL DRAWINGS OR LARGER SCALE DRAWINGS TAKE PRECEDENT OVER SMALLER SCALE DRAWINGS.
5. REFERENCE STRUCTURAL FOR SHEAR WALL LOCATIONS
6. INTERIOR PARTITION WALLS TO BE TYPE I-1, TYP. U.N.O. REFERENCE A0.1 FOR HORIZONTAL AND VERTICAL ASSEMBLIES
7. VERIFY ALL CLEARANCES/ROUGH OPENINGS FOR APPLIANCES PLUMBING AND EQUIPMENT
8. PROVIDE BACKING OR STRAPPING FOR ALL WALL MOUNTED ACCESSORIES, FURNISHINGS, AND EQUIPMENT, VERIFY WEIGHTS AND LOCATIONS.
9. REFERENCE A0.2 FOR ACCESSIBILITY STANDARDS
10. REFERENCE LEVEL 2 FLOOR PLANS FOR TYPICAL DIMENSIONS FOR LEVELS 2,3 AND 4

KEYNOTES - FLOOR PLAN

1. ALIGN
2. PLYWOOD PARTITION (AP-1)
3. SHOWER INSERT (SH-1 & SH-2)
4. STACKED WASHER / DRYER (WD-1)
5. OVERSIZED HORIZONTAL BIKE PARKING (BKRK-3)
6. STACKED BIKE PARK (12) STALLS (BKRK-2)
7. PLYWOOD SHELVING (AP-1)
8. 100 GALLON ELECTRIC WATER HEATER
9. LANDSCAPE AREA
10. LONG-TERM BICYCLE PARKING - STANDARD HORIZONTAL (BKRK-4)
11. METAL RAISED PLANTER BED
12. ELECTRICAL SERVICE CONNECTION AND METERS
13. 2 CUBIC YARD TRASH / RECYCLING BIN
14. MAILBOX
15. MASS PLYWOOD SPLINE WALL
16. PRE-MANUFACTURED STEEL BALCONY
17. VERTICAL BICYCLE RACK (BKRK-1)
18. CEDAR FENCE AND GATE (WD-1)
19. WALL HEATER, SEE INTERIOR ELEVATIONS (WH-1)
20. BASEBOARD HEATER (BH-1)
21. STANDPIPE VERTICAL
22. INTERNAL ROOF DRAINS
23. SSED'S VERTICAL VENTING ZONE, REF A2.10 SLAB PLAN



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Consultant:

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**N BRYANT LOFTS**  
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PORTLAND, OR 97217  
Bryant Street LLC

REVISION:	REVISION	DATE	REASON FOR ISSUE

Project Status:

PERMIT SET

PROJECT # 1918 DATE 08/18/2020

Ground Level Floor Plan

A2.20