

Development Services

From Concept to Construction

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APPEAL SUMMARY

Status: Decision Rendered

Appeal ID: 23789	Project Address: 3800 SE 164th Ave
Hearing Date: 6/10/20	Appellant Name: Hayley Purdy
Case No.: B-002	Appellant Phone: 503-896-5341
Appeal Type: Building	Plans Examiner/Inspector: Alice Johnson, Thomas Ng
Project Type: commercial	Stories: 3 Occupancy: R-2 Construction Type: V-B
Building/Business Name: Centennial Place Apartments	Fire Sprinklers: Yes - Throughout
Appeal Involves: Erection of a new structure	LUR or Permit Application No.: EA #19-201053
Plan Submitted Option: pdf [File 1] [File 2] [File 3] [File 4] [File 5]	Proposed use: Multi-family

APPEAL INFORMATION SHEET

Appeal item 1

Code Section	19 OFC 607.2, 19 OMSC 507.1.2
Requires	IFC 610.2: A Type I hood shall be installed at or above all commercial cooking appliances and domestic cooking appliances used for commercial purposes that produce grease vapors. IMC 507.2: Type I hoods shall be installed where cooking appliances produce grease or smoke, such as occurs with griddles, fryers, broilers, ovens, ranges and wok ranges.
Code Modification or Alternate Requested	Provide a Type II Hood above the residential range in the first floor Community Room kitchen, Room 108.
Proposed Design	Applicant proposes to use a Type II hood above a residential range. The proposed design is a Type II hood serving one domestic electric range. The hood will be installed with manufacturer's recommended ducting to the exterior of the building. A sprinkler heads will be located within 6 feet of the range and hood or as directed by the Fire Marshal's Office. Portable fire extinguishing equipment shall be provided as directed by the Fire Marshal's Office. A sign will be provided stating "NO FRYING, GRILLING, SAUTÉING OR GREASE PRODUCING COOKING ALLOWED ON THIS INSTALLATION".
Reason for alternative	The project is a 71 unit apartment project with each unit having a full kitchen. The 1st floor community room is small, with an occupant load of 49. The community room will be available to residents and their guests only, this space will be used much the same as a single-family residential kitchen/living room/dining room and is actually much smaller than most of these types of spaces. The proposed kitchen will not be the primary source of meals, therefore not used with the intensity of a commercial kitchen. Appeals for Type II hoods have been previously granted.

Appeal item 2

Code Section	Hydrant and Sprinkler Regulations
Requires	150' Rule for Hydrant Location Per PF&R design Manual, a public hydrant shall be located within 150' of FDC except as allowed by the Fire Marshall
Code Modification or Alternate Requested	With the addition on a new fire hydrant and the existing fire hydrant, the FDC is still further than 150' from the nearest fire hydrant.
Proposed Design	Use New and Existing hydrants: #1 Existing Hydrant located 170' south on SE Powell and SE 164th Avenue #2 New Hydrant located 200' north on SE 164th Avenue
Reason for alternative	• Building sprinkled and alarmed • Installation of proposed hydrant, new FDC and existing hydrant are sufficient.

Appeal item 3

Code Section	703.3
Requires	703.3 Methods for determining fire resistance. The application of any of the methods listed in this section shall be based on the fire exposure and acceptance criteria specified in ASTM E119 or UL 263. The required fire resistance of a building element, component or assembly shall be permitted to be established by any of the following methods or procedures: Fire-resistance designs documented in approved sources. Prescriptive designs of fire-resistance-rated building elements, components or assemblies as prescribed in Section 721. Calculations in accordance with Section 722. Engineering analysis based on a comparison of building element, component or assemblies designs having fire-resistance ratings as determined by the test procedures set forth in ASTM E119 or UL 263. Alternative protection methods as allowed by Section 104.11. Fire-resistance designs certified by an approved agency.
Code Modification or Alternate Requested	Approve the use of 4" decking as a 1 hour rated floor ceiling assembly according to the Building Official Determination 19-02 process.
Proposed Design	The proposed project is a new multi-family residential development located in the Centennial neighborhood on SE 164th Avenue, just north of SE Powell Blvd. Construction is fully sprinkled (NFPA 13) with 3 stories of type V-B construction. All floors are required to have a 1-HR separation. As requested in the Building Official Determination 19-02, a Char Calculation confirming fire protection of the 4" decking per 2018 NDS Technical Report No. 10 is provided by the structural engineer. The proposed 1-HR rated Corridor Floor/Ceiling, F2, includes the following layers from top to bottom: Finish Flooring per plan over ¾" Gypcrete over 1/8" Noise Control Mat over 7/8" Floor sheathing over

4" Nominal T&G Decking over
 3-1/2" Minimum mineral fiber sound batt insulation over
 5/8" Type 'X' gypsum wallboard suspended with non-combustible metal framing.

Reason for alternative This one hour rated floor/ceiling assembly F2, is required in order to provide:

- The clearance needed for installation of mechanical, electrical, plumbing, and fire suppression systems.
- The corridor ceiling height necessary for the owner's program.

Similar appeals have been previously appealed and approved. This appeal meets the Building Official Determination 19-02 requirements.

Appeal item 4

Code Section 712.1.9 Two-Story Openings

Requires 712.1.9 Two-story openings.

In other than Groups I-2 and I-3, a vertical opening that is not used as one of the applications listed in this section shall be permitted if the opening complies with all of the following items:

Does not connect more than two stories.

Does not penetrate a horizontal assembly that separates fire areas or smoke barriers that separate smoke compartments.

Is not concealed within the construction of a wall or a floor/ceiling assembly.

Is not open to a corridor in Group I and R occupancies.

Is not open to a corridor on non-sprinklered floors.

Is separated from floor openings and air transfer openings serving other floors by construction conforming to required shaft enclosures.

Code Modification or Alternate Requested Allow for a 2 story vertical opening containing an exit access stairway in accordance with section 1019 at Stair S1.

Proposed Design Our interpretation of the code, similar to the IBC commentary, references sections 712.1.12 and 1019.3 of the OSSC 2019. These sections of the code allow us to provide the two-story opening, between the first and second floor at Stair S1.

Section 712.1.12 Exit access stairways and ramps

Vertical openings containing exit access stairways in accordance with section 1019 shall be permitted.

Section 1019.3 Exit access stairways & ramps, occupancies other than I-2 and I-3

Exception 4: Exit access stairways & ramps in buildings equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1, where the area of the vertical opening between stories does not exceed twice the horizontal projected area of the stairway or ramp and the opening is protected by a draft curtain and closely spaced sprinklers in accordance with NFPA 13.

According to the IBC commentary, "A floor opening connecting two stories that is not covered by one of the other provisions for vertical openings in Section 712 may use this provision." This commentary guides our interpretation to understand that Section 712.1.9 does not supersede section 712.1.12.

Stair S1 is not a path of egress in the building's exiting strategy. Two additional staircases are provided, Stair S2 and S3, with adequate exit access travel distance. Therefore, Stair S1 qualifies as an Exit Access Stairway which is section 712.1.12. If BDS agrees with the IBC Code commentary, then 712.1.9 would not supersede 712.1.12 and a three story opening is allowed.

Reason for alternative This alternate is required to provide:

- An open stair in the main lobby that encourages tenants to use the stairs instead of using the elevator. The stair is part of owner's goals for providing tenants with healthy-living opportunities. The health, accessibility, life safety and fire protection requirements are met as required with these conditions:
- Exiting provides life safety measures more than what is required by code.
- In the event of a fire, or presence of smoke, the monitored smoke detection system will immediately send an activation signal to the central monitoring system, notify the fire department and alert building occupants.
- Stair S2 and S3 are provided and more than adequately meet exit access travel distances. Stair S1 is not necessary for exiting requirements.
- Stair S1 is enclosed at the top of the second floor landing, and will be protected from the corridor by a unrated wall and accessible door.

APPEAL DECISION

1. Use of commercial range with Type II hood in 2nd floor multi-purpose room: Granted provided:

- 1.) Grease producing cooking is prohibited.
- 2.) A permanent etched sign shall be installed in plain sight on the hood stating "NO FRYING, GRILLING, SAUTÉING OR GREASE PRODUCING COOKING ALLOWED ON THIS INSTALLATION".
- 3.) Portable fire extinguishing equipment shall be provided as directed by the District Fire inspector.
- 4.) The District Fire inspector shall have the authority to summarily void this approval if any of the above conditions are violated.

Appellant may contact John Butler (503 823-7339) with questions.

2. Increase in maximum allowable distance of public hydrant from FDC from 150 feet to 170 feet: Granted as proposed.

3. Use of 4" decking as a 1 hour rated floor ceiling assembly according to the Building Official Determination 19-02: Granted as proposed.

Note: Calculations will be verified at time of plan review.

4. Open exit access stair in main lobby: Granted provided sprinklers and draft curtains per OSSC 1019.3, condition 4 are installed at the 2nd floor ceiling level and the door is 20 minute rated with a closer.

Appellant may contact John Butler (503 823-7339) or e-mail at John.Butler@portlandoregon.gov with questions.

The Administrative Appeal Board finds with the conditions noted, that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 90 calendar days of the date this decision is published. For information on the appeals process, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.

507.1.2 Domestic cooking appliances used for commercial purposes.

Domestic cooking appliances utilized for commercial purposes shall be provided with Type I or Type II hoods as required for appliances and processes in accordance with Sections 507.2 and 507.3. Domestic cooking appliances utilized for domestic cooking shall comply with Section 505.

Exception: A single domestic cooking appliance installed where domestic cooking operations occur, such as in a church, day care station, employee lunchroom, or similar types of commercial occupancies, shall meet the requirements of Section 505.1.

THESE DRAWINGS ARE THE ORIGINAL UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED OR USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

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BUILDING CODE SUMMARY			2019 OREGON STRUCTURAL SPECIALTY CODE		
OCCUPANCY		R-2 WITH ACCESSORY S-2 AND INCIDENTAL USES			
CONSTRUCTION TYPE		TYPE V-B, SPRINKLERED			
CHAPTER 4: SPECIAL DETAILED REQUIREMENTS BASED ON OCCUPANCY AND USE					
OSSC REFERENCE SECTION 420.2		SEPARATION WALLS		WALLS SEPARATING DWELLING OR SLEEPING UNITS FROM EACH OTHER OR OTHER OCCUPANCIES SHALL BE CONSTRUCTED AS FIRE PARTITIONS IN ACCORDANCE WITH SECTION 708.	
SECTION 420.3		HORIZONTAL SEPARATION		FLOOR ASSEMBLIES SEPARATING DWELLING OR SLEEPING UNITS FROM EACH OTHER OR OTHER OCCUPANCIES SHALL BE CONSTRUCTED AS HORIZONTAL ASSEMBLIES IN ACCORDANCE WITH SECTION 711.	
SECTION 420.4		SPRINKLER SYSTEM		GROUP R OCCUPANCIES, REQUIRED PER 903.2.8	
SECTION 420.5		FIRE & SMOKE ALARMS		GROUP R-2, FIRE ALARM SYSTEMS REQUIRED PER SECTION 907.2.9 SMOKE ALARMS REQUIRED PER 907.2.10.2	
CHAPTER 5: GENERAL BUILDING HEIGHTS AND AREAS					
OSSC REFERENCE CHAPTER 3 TABLE 504.3 TABLE 504.4 TABLE 506.2		OCCUPANCY: ALLOWABLE HEIGHT: MAX STORIES: AREA FACTOR:		R-2 60 FT 3 21000 SF	
MODIFICATIONS					
SECTION 506.2.3 SINGLE-OCCUPANCY, MULTISTORY BUILDINGS EQUATION 5-2		BUILDING AREA		Aa = [A1 + (NS x IF)] x Sa = [21000 SF + (7000 SF x 0.604911)] x 3 = 28234 SF x 3 = 75703 SF TOTAL ALLOWABLE BUILDING AREA	
SECTION 506.3		FRONTAGE INCREASE		If = [F/P - 0.25] x W/30 If = [766/896 - 0.25] x 30/30 = 0.604911	
		ACTUAL HEIGHT / STORIES		35' - 0" / 3 Story	
PROPOSED BUILDING AREA					
		LEVEL		AREA (SF)	
		FIRST FLOOR		21961 SF	
		SECOND FLOOR		21961 SF	
		THIRD FLOOR		21961 SF	
		TOTAL GROSS AREA:		65884 SF	
SECTION 508.2		ACCESSORY OCCUPANCY		S-2	
SECTION 508.2.3		ALLOWABLE AREA		AREA OF STORY = 21,961 GSF *10% = 2,196 SF AREA OF ACCESSORY OCCUPANCY = 2,072 SF, <10%	
SECTION 508.2.4		NO SEPARATION REQUIRED BETWEEN ACCESSORY AND MAIN OCCUPANCY			
SECTION 508.3 / 508.4		MIXED OCCUPANCY		1/2 HR N/A	
CHAPTER 6: TYPES OF CONSTRUCTION / CONSTRUCTION CLASSIFICATION					
TABLE 601		FIRE RESISTANCE RATING REQUIRMENTS FOR BUILDING ELEMENTS - TYPE V-B			
		BUILDING ELEMENT		FIRE RATING	
		PRIMARY STRUCTURAL FRAME		0 HOUR	
		BEARING WALLS			
		EXTERIOR		0 HOUR	
		INTERIOR		0 HOUR	
		NON BEARING WALLS AND PARTITIONS - EXTERIOR		PER TABLE 602	
		NON BEARING WALLS AND PARTITIONS - INTERIOR		0 HOUR *	
		FLOOR CONSTRUCTION AND SECONDARY MEMBERS		0 HOUR	
		ROOF CONSTRUCTION AND SECONDARY MEMBERS		0 HOUR	
		* UNLESS OTHERWISE REQUIRED BY THIS CODE			
TABLE 602		FIRE RESISTANCE RATING REQUIRMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE			
		FIRE SEPARATION DISTANCE		FIRE RATING	
		X < 5'		1 HOUR	
		5' <= X < 10'		1 HOUR	
		10' <= X < 30'		0 HOUR	
		X >= 30'		0 HOUR	
CHAPTER 7: FIRE AND SMOKE PROTECTION FEATURES					
TABLE 705.2		MINIMUM DISTANCE TO PROJECTION		40"	
TABLE 705.8		MAXIMUM AREA OF WALL OPENINGS BASED ON FSD AND OPENING PROTECTION			
		UNPROTECTED, SPRINKLERED		PROTECTED, SPRINKLERED	
		NOT ALLOWED		NOT ALLOWED	
		15%		15%	
		25%		25%	
		45%		45%	
		75%		75%	
		NO LIMIT		NO LIMIT	
		NO LIMIT		NO LIMIT	
		NOT REQUIRED		NOT REQUIRED	
SECTION 705.11		PARAPETS		EXCEPTION 1, NOT REQUIRED WHERE WALL NOT REQUIRED TO BE RATED BECAUSE OF FIRE SEPARATION DISTANCE EXCEPTION 5, GROUP R-2, CLASS C ROOF COVERING PROVIDED, PROTECTION PROVIDED FOR FIRST 4 FEET EXCEPTION 6, NOT REQUIRED WHERE WALL PERMITTED TO HAVE 25% UNPROTECTED OPENINGS	
SECTION 708		FIRE PARTITIONS		1/2 HOUR	
SECTION 711		HORIZONTAL ASSEMBLIES		1/2 HOUR	
SECTION 711.2.3		SUPPORTING CONSTRUCTION		EXCEPTION 2, TYPE VB, SUPPORTING CONSTRUCTION NOT REQUIRED TO BE PROTECTED AT SEPARATIONS OF DWELLING UNITS PER 420.3	
SECTION 712.1.12		EXIT ACCESS STAIRWAYS AND RAMPS		VERTICAL OPENINGS CONTAINING EXIT ACCESS STAIRWAYS PER SECTION 1019 SHALL BE PERMITTED	
SECTION 713		SHAFT ENCLOSURES		NOT LESS THAN 1 HOUR CONNECTING LESS THAN 4 STORIES	
TABLE 716.1(2)		OPENING FIRE PROTECTION ASSEMBLIES, RATINGS			
		FIRE BARRIER, 1 HOUR		FIRE DOOR RATING 1 HR	
		CORRIDOR WALL, 1/2 HOUR		FIRE DOOR RATING 1/3 HR	
CHAPTER 8: INTERIOR FINISHES					
TABLE 803.13		INTERIOR WALL AND CEILING FNISH REQUIREMENTS (FLAME SPREAD RATING)			
		INTERIOR EXIT STAIRWAYS AND RAMPS AND EXIT PASSAGEWAYS		C	
		CORRIDORS AND ENCLOSURES FOR EXIT ACCESS STAIRWAYS AND RAMPS		C	
		ROOMS AND ENCLOSED SPACES		C	
CHAPTER 9: FIRE PROTECTION SYSTEMS					
		FULLY SPRINKLERED PER NFPA 13			
SECTION 905.4		CLASS I STANDPIPE HOSE CONNECTION SHALL BE PROVIDED IN EVERY REQUIRED INTERIOR EXIT STAIRWAY FOR EACH STORY ABOVE GRADE PLANE			
SECTION 907.2		FIRE & SMOKE ALARMS, GROUP R-2		EXCEPTION 2, MANUAL FIRE ALARMS NOT REQUIRED IN FULLY SPRINKLERED BUILDING WITH AUTOMATIC ALARMS	

CHAPTER 10: MEANS OF EGRESS				
SECTION 1004	OCCUPANT LOAD (OL)	SEE OCCUPANT LOAD SCHEDULE		
SECTION 1005.3	MEANS OF EGRESS SIZING STAIRWAYS, SPRINKLERED = 0.2 OTHER = 0.2	STAIR 2 & 3 2ND FLOOR 3RD FLOOR	2 X 60 = 12" 2 X 66 = 13.2"	44" MIN. 44" MIN.
TABLE 1006.2.1	MAX OCCUPANT LOAD FOR ONE EXIT MAX COMMON PATH OF EGRESS TRAVEL	20 Occupants 125 FEET		
TABLE 1006.3.2	MIN. EXITS PER STORY, 1-500 OCC	2		
TABLE 1006.3.3(1)	STORIES W/ ONE EXIT, R-2	MAX 4 DWELLING UNITS		
SECTION 1008.3	EMERGENCY POWER FOR ILLUMINATION	BATTERY BACKUP PROVIDED TO SUPPLY AVG. 1 FOOTCANDLE FOR 90 MIN.		
TABLE 1017.2	EXIT ACCESS TRAVEL DISTANCE	250 FEET		
SECTION 1019.3	EXIT ACCESS STAIRWAYS & RAMPS, OCCUPANCIES OTHER THAN GP I-2 & I-3	IN BLDG EQUIPPED WITH SPRINKLER, WHERE AREA OF THE VERTICAL OPENING B/W STORIES DOES NOT EXCEED TWICE THE THE HORIZONTAL PROJECTED AREA AND OPENING IS PROTECTED BY DRAFT CURTAIN & CLOSELY SPACED SPRINKLER PER NFPA 13, EXIT ACCESS STAIR NOT REQUIRED TO BE ENCLOSED. 3 STORIES < 4 STORIES: COMPLIES 16'-8" HORIZONTAL X2= 400" > 354" VERTICAL OPENING : COMPLIES		
TABLE 1020.1	CORRIDOR FIRE-RESISTANCE RATING	1/2 HR		
TABLE 1020.2	MINIMUM CORRIDOR WIDTH	44 INCHES		
SECTION 1020.4	DEAD ENDS	50 FEET	(EXCEPTION 2, R-2 OCCUPANCY, SPRINKLERED)	
SECTION 1023.2	EXIT STAIRWAY ENCLOSURE FIRE-RESISTANCE RATING	1 HOUR, LESS THAN 4 STORIES		
CHAPTER 11: ACCESSIBILITY				
SECTION 1106.2	PARKING FOR R-2 OCCUPANCIES	MIN. 2%, BUT NOT LESS THAN (1) PARKING SPACE SHALL BE ACCESSIBLE ACCESSIBLE PARKING REQUIRED: 1 SPACE, 1 VAN-ACCESSIBLE SPACE		
SECTION 1107.6.2.2.1	TYPE A UNITS	R-2 OCCUPANCIES WITH GREATER THAN 20 DWELLING UNITS SHALL PROVIDE MIN. 2% TYPE A UNITS. TYPE A UNITS REQUIRED: 71 x 2% = 2 UNITS TYPE A UNITS PROVIDED: 4 UNITS; (1) STUDIO UNIT; (2) 1 BED-1 BATH UNITS; (1) 2 BED-1 BATH UNIT		
SECTION 1107.6.2.2.2	TYPE B UNITS	WHERE THERE ARE MORE THAN 4 DWELLING UNITS, ALL UNITS SHALL BE TYPE B UNITS.		
ADDITIONAL ACCESSIBILITY REQUIREMENTS				
HOUSING TRUST FUND		5% OF UNITS ACCESSIBLE 2% OF UNITS ACCESSIBLE FOR SIGHT & HEARING IMPAIRED	4 UNITS REQUIRED / PROVIDED 2 UNITS REQUIRED / PROVIDED, UNIT 237 & 238	
CHAPTER 29: PLUMBING FIXTURES				
PLUMBING FIXTURE SUMMARY				
CLASSIFICATION	OCCUPANTS	WATER CLOSETS	LAVATORIES	BATHTUBS
RESIDENTIAL	71 UNITS	1 WC / LAV / Tub or Shower per unit required and provided		
OFFICE	4	1	1	N/A
SECTION 2902.2	SEPARATE FACILITIES	EXCEPTION 4, NOT REQUIRED IN BUSINESS OCCUPANCIES WHERE THE MAXIMUM OCCUPANT LOAD IS 50 OR FEWER		

ENERGY CODE COMPLIANCE: 2019 OREGON ENERGY EFFICIENCY SPECIALTY CODE																																																							
PER EM 102.1 & 102.3.2, R-2 BUILDING 3 STORIES ABOVE FINISHED GRADE, THE COMMERCIAL ENERGY [CE] PROVISIONS OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) SHALL SERVE AS THE CONSTRUCTION PROVISIONS FOR THIS CODE. BUILDING ENVELOPE REQUIREMENTS <table><tr><th>CLIMATE ZONE 4C (MARINE 4) GROUP R</th><th>MIN R-VALUE TABLE C402.1.3</th><th>MAX U-FACTOR TABLE C402.1.4</th><th>PROPOSED</th></tr><tr><td>ROOFS - INSULATION ENTIRELY ABOVE DECK</td><td>R-30 CI</td><td>U-0.032</td><td>R-30 CI</td></tr><tr><td>ROOFS - ATTIC AND OTHER</td><td>R-49</td><td>U-0.021</td><td>R-49</td></tr><tr><td>WALLS - WOOD FRAMED AND OTHER</td><td>R-13 + R-7.5 CI or R-20 + R3.8 CI</td><td>U-0.064</td><td>U-0.063* (R-23 BIB)</td></tr><tr><td>WALLS - MASS</td><td>R-13.3 CI</td><td>U-0.080</td><td>R-14.1 CI</td></tr><tr><td>FLOORS - JOIST/FRAMING</td><td>R-30</td><td>U-0.033</td><td>R-30</td></tr><tr><td>SLAB ON GRADE (UNHEATED)</td><td>R-10 FOR 24" BELOW</td><td>F-0.540</td><td>R-10 24"</td></tr><tr><td>DOORS - OPAQUE SWINGING</td><td>-</td><td>U-0.37</td><td>U-0.37</td></tr><tr><td>DOORS - GARAGE <14% GLAZING</td><td>-</td><td>U-0.31</td><td>U-0.31</td></tr><tr><td></td><td>MAX SHGC TABLE C402.4</td><td>MAX U-FACTOR TABLE C402.4</td><td></td></tr><tr><td>DOORS - ENTRANCE</td><td>SHGC 0.38</td><td>U-0.77</td><td>SHGC 0.38 / U-0.77</td></tr><tr><td>FENESTRATION - FIXED</td><td>SHGC 0.38</td><td>U-0.38</td><td>SHGC 0.38 / U-0.32</td></tr><tr><td>FENESTRATION - OPERABLE</td><td>SHGC 0.38</td><td>U-0.45</td><td>SHGC 0.38 / U-0.32</td></tr></table> BIB = BLOWN-IN BATT INSULATION CI = CONTINUOUS INSULATION *U-FACTOR PER ASHRAE 90.1 2016, APPENDIX A, TABLE A3.4.3.1				CLIMATE ZONE 4C (MARINE 4) GROUP R	MIN R-VALUE TABLE C402.1.3	MAX U-FACTOR TABLE C402.1.4	PROPOSED	ROOFS - INSULATION ENTIRELY ABOVE DECK	R-30 CI	U-0.032	R-30 CI	ROOFS - ATTIC AND OTHER	R-49	U-0.021	R-49	WALLS - WOOD FRAMED AND OTHER	R-13 + R-7.5 CI or R-20 + R3.8 CI	U-0.064	U-0.063* (R-23 BIB)	WALLS - MASS	R-13.3 CI	U-0.080	R-14.1 CI	FLOORS - JOIST/FRAMING	R-30	U-0.033	R-30	SLAB ON GRADE (UNHEATED)	R-10 FOR 24" BELOW	F-0.540	R-10 24"	DOORS - OPAQUE SWINGING	-	U-0.37	U-0.37	DOORS - GARAGE <14% GLAZING	-	U-0.31	U-0.31		MAX SHGC TABLE C402.4	MAX U-FACTOR TABLE C402.4		DOORS - ENTRANCE	SHGC 0.38	U-0.77	SHGC 0.38 / U-0.77	FENESTRATION - FIXED	SHGC 0.38	U-0.38	SHGC 0.38 / U-0.32	FENESTRATION - OPERABLE	SHGC 0.38	U-0.45	SHGC 0.38 / U-0.32
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SECTION C402.4.1 MAXIMUM AREA OF FENESTRATION ALLOWABLE: 30% GROSS ABOVE-GRADE WALL AREA PROPOSED: 20%																																																							
SECTION C402.5.7 VESTIBULES NOT REQUIRED, EXCEPTION 4: DOORS OPENING FROM A SPACE LESS THAN 3,000 SF																																																							
ZONING CODE SUMMARY																																																							
CITY OF PORTLAND CHAPTER 33																																																							
ZONING BASE ZONE CM-1 OVERLAY ZONE N/A ADJACENT ZONING R7a PLAN DISTRICT N/A USE CURRENT RETAIL SALES & SERVICE PROPOSED HOUSEHOLD LIVING SITE AREA 46,039 SF IMPERVIOUS AREA 34,324 SF LANDSCAPE AREA 10,433 SF BUILDING AREA TOTAL 65,884 SF FIRST FLOOR 21,961 SF SECOND FLOOR 21,961 SF THIRD FLOOR 21,961 SF																																																							
DEVELOPMENT STANDARDS		REQUIRED	PROPOSED																																																				
33.130.205		1.5:1	1.43:1																																																				
33.130.212		2.5:1	N/A																																																				
33.130.210.B.1		MAXIMUM BUILDING HEIGHT	35'																																																				
33.130.215.B		MINIMUM BUILDING SETBACKS	10' AT R-ZONED LOT																																																				
33.130.215.C		MAXIMUM BUILDING SETBACKS	10'																																																				
33.130.220		BUILDING COVERAGE	75%																																																				
33.130.225		MIN. LANDSCAPED AREA	15%																																																				
33.130.225		LANDSCAPED BUFFER AT RF-RM4	10' @ L3																																																				
33.130.228		RESIDENTIAL OUTDOOR AREA	10' @ L3																																																				
33.130.230.B		SITE GREATER THAN 20,000 SF: 48 SF/UNIT	94 SF/UNIT																																																				
33.130.230.B.4.b		71 UNITS = 3,408 SF	6,672 SF TOTAL																																																				
33.130.230.B.2.a		GROUND FLOOR WINDOWS																																																					
33.130.235.C		DWELLING UNITS	8' SETBACK @ L1, 25% WINDOWS																																																				
		OTHER	SE 164TH AVE: 40%																																																				
		SCREENING - MECHANICAL	5' @ L1, 35% WINDOWS																																																				
		GROUND MOUNT	47%																																																				
		ROOF MOUNT																																																					
		L2 OR F2																																																					
		N/A; EQUIPMENT >50' FROM R ZONE	L2																																																				
33.266.100		PARKING																																																					
33.266.110.B		CLOSE TO TRANSIT?	YES																																																				
33.266.110.B		MINIMUM REQUIRED	> 51 UNITS: 0.33 SPACES/ UNIT = 24 SPACES																																																				
33.266.110.D		EXCEPTION - AFFORDABLE HOUSING	NO PARKING REQUIRED																																																				
TABLE 266.1 & 2		MAXIMUM PERMITTED	1.35 PER UNIT																																																				
TABLE 266-5		SETBACKS AND LANDSCAPING	0.46 PER UNIT																																																				
		PERIMETER AT R-ZONED LOT	10 FT @ L3																																																				
		PERIMETER, OTHER	5 FT @ L3																																																				
		INTERIOR	5 FT @ L2																																																				
			45 SF PER SURFACE PARKING SPACE: 22 SPACES = 990 SF																																																				
			2,339 SF (REF SHEET L3.0)																																																				
33.266.200		BIKE PARKING																																																					
TABLE 266-6		SHORT TERM - STANDARD B	1 PER 20 UNITS (71 UNITS / 20 = 4 SPACES)																																																				
TABLE 266-6		LONG TERM - STANDARD B	1.1 PER UNIT (71 UNITS X 1.1 = 79 SPACES)																																																				
33.266.210.D.1		IN-UNIT SPACES	50% MAXIMUM (39 SPACES)																																																				
33.266.210.D.3		HORIZONTAL SPACES	30% (24 SPACES)																																																				
33.266.210.D.3		LARGER SPACES	5% (4 SPACES)																																																				
33.266.210.D.3		ELECTRICAL OUTLET AVAILABLE	5% (4 SPACES)																																																				
33.266.310		LOADING																																																					
33.266.310.C.1		# REQUIRED	1 LOADING SPACE, STANDARD B (18'x9'x10')																																																				
		SETBACKS AND LANDSCAPING	N/A, LOADING SPACE DOES NOT ABUT LOT LINE																																																				
			1 SPACE, STANDARD B																																																				

S|E A

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REGISTERED ARCHITECT

LISA A. MCCLELLAN

LISA A. MCCLELLAN

PORTLAND, OREGON

LICENSE # 4591

STATE OF OREGON

Digitally signed by Lisa McClellan

Date: 2020.05.21 11:58:42-07'00'

CENTENNIAL PLACE APARTMENTS

Job Number: 18045

3800 SE 164TH AVE

PORTLAND, OR 97236

CASCADIA

BEHAVIORAL HEALTHCARE

WHOLE HEALTH CARE™

Bid / Permit Set 05.21.2020

Drawing:

CODE SUMMARY

Sheet No:

G1.01

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Date: 2020.05.21 11:58:56-0700**CENTENNIAL
PLACE
APARTMENTS**

Job Number: 18045

3800 SE 164TH AVE
PORTLAND, OR 97236**CODE SUMMARY LEGEND**1 HOUR RATED ASSEMBLY - 1/2 HOUR
RATED ASSEMBLY REQUIRED AT
CORRIDORS AND BETWEEN UNITS, UNO.WALL RATINGS TO CONTINUE ABOVE / BELOW
ALL DOORS, RELITES, ETC.

NAME
Occ. Grp.
SF
OLF#
Function

AREA NAME
OCCUPANCY (CH. 3)
AREA (SF)
OCCUPANT LOAD FACTOR /
NUMBER OF OCCUPANTS
FUNCTION (CH. 10)

UNOCCUPIED AREA.
OCCUPANT LOAD NOT
INCLUDED IN BUILDING
TOTALSEXIT SIGN
SHADE INDICATES ILLUMINATED
FACE. ARROW INDICATES
DIRECTION TO EXIT

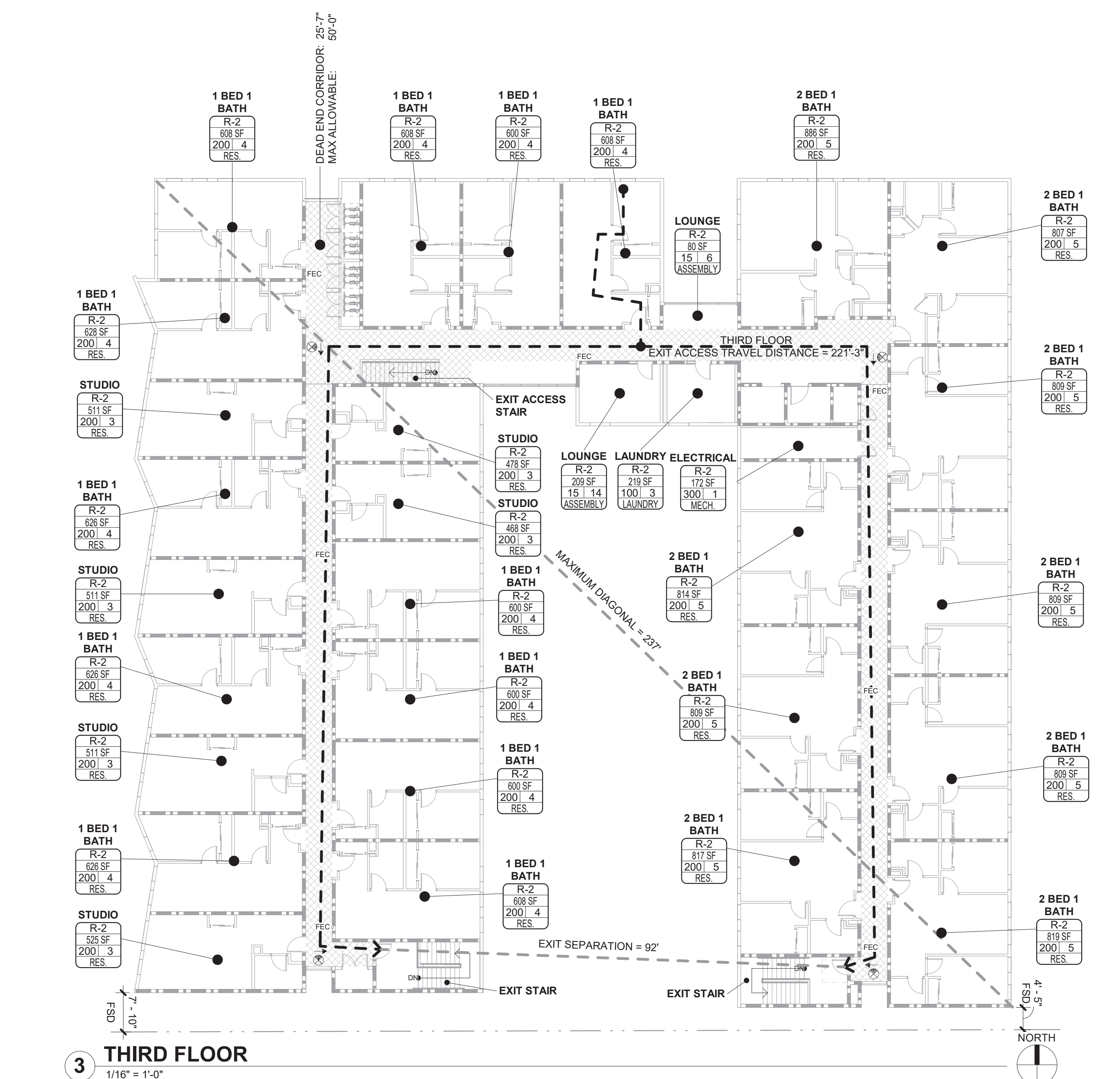
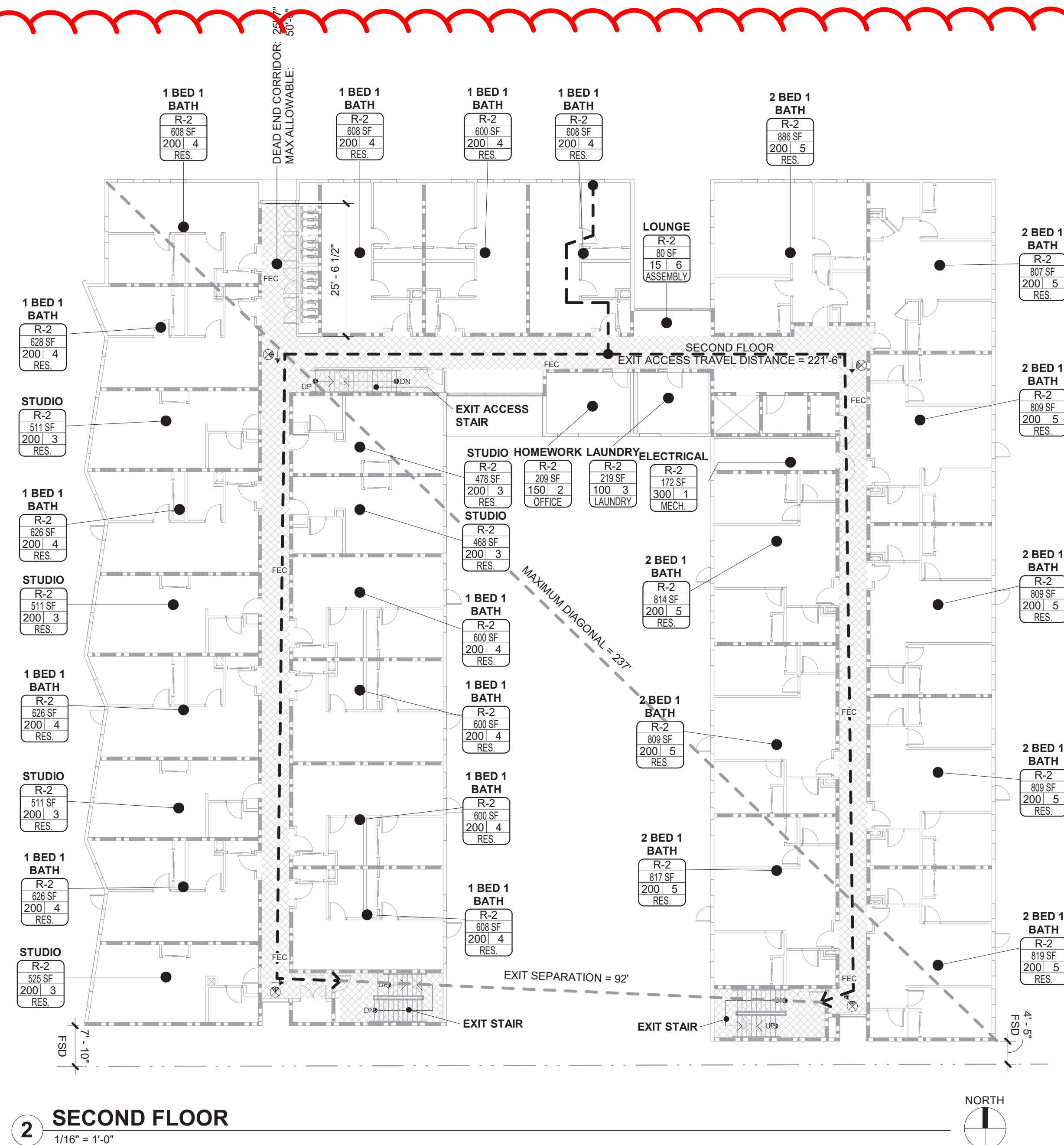
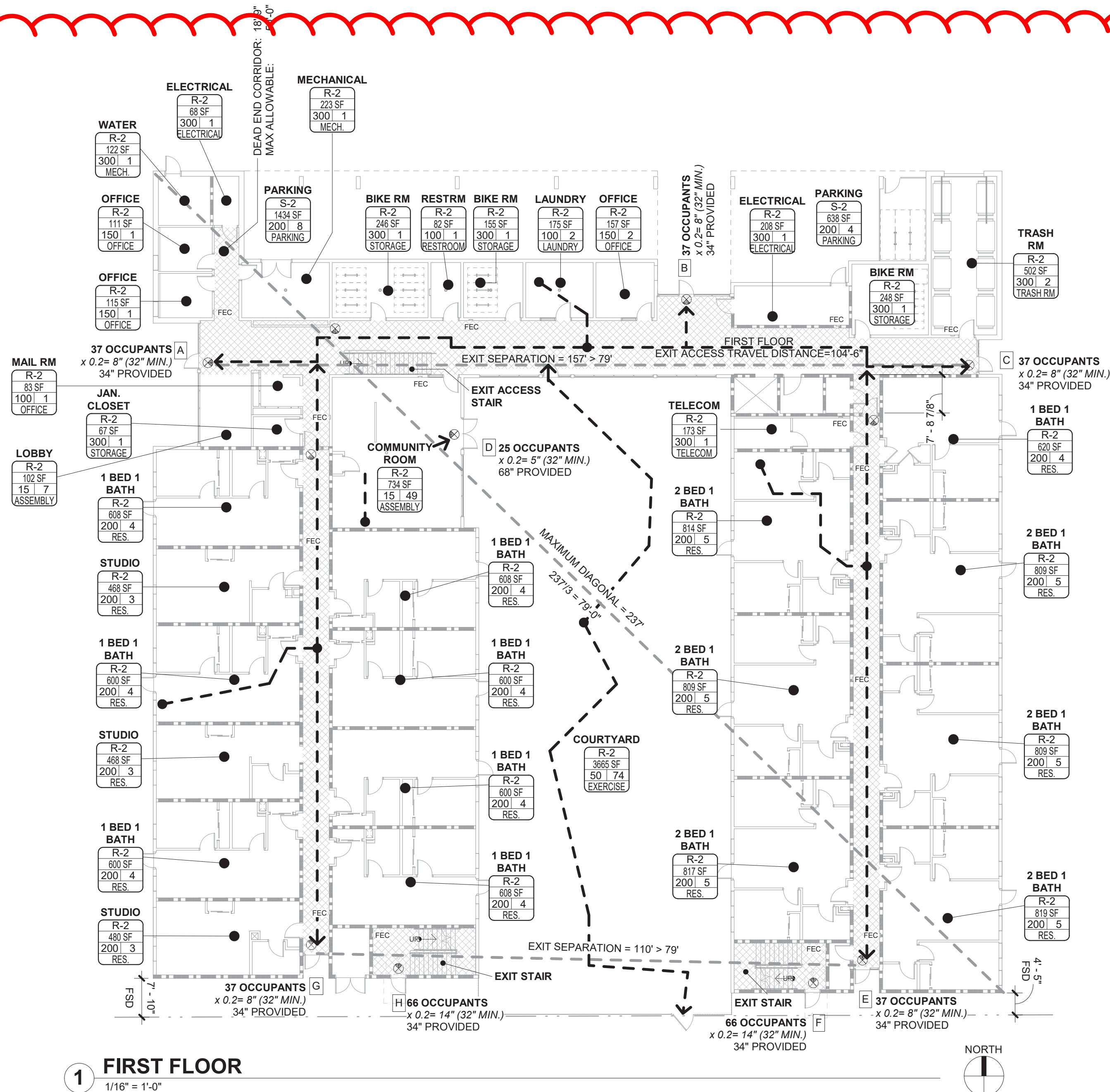
EXIT ACCESS PATH

EXIT SEPARATION &
DIAGONAL DISTANCES

ILLUMINATED EGRESS PATH



EXIT ACCESS DOOR



LIFE SAFETY OCCUPANT LOAD SCHEDULE				
TABLE 1004.1.2				
AREA NAME	OCCUPANCY (CHAPTER 3)	FUNCTION OF SPACE	OCCUPANT LOAD FACTOR	OCCUPANT LOAD
FIRST FLOOR T.O. SLAB				
STUDIO	R-2	RES.	200	9
1 BED 1 BATH	R-2	RES.	200	32
2 BED 1 BATH	R-2	RES.	200	30
COMMUNITY ROOM	R-2	ASSEMBLY	15	49
LOBBY	R-2	ASSEMBLY	15	7
MAIL RM	R-2	OFFICE	100	1
OFFICE	R-2	OFFICE	150	4
BIKE RM	R-2	STORAGE	300	3
JAN. CLOSET	R-2	STORAGE	300	1
RESTRM	R-2	RESTROOM	100	1
LAUNDRY	R-2	LAUNDRY	100	2
ELECTRICAL	R-2	ELECTRICAL	300	2
TELECOM	R-2	TELECOM	300	1
MECHANICAL	R-2	MECH.	300	1
WATER	R-2	MECH.	300	1
TRASH RM	R-2	TRASH RM	300	2
COURTYARD	R-2	EXERCISE	50	74
PARKING	S-2	PARKING	200	12
				232
SECOND FLOOR T.O. SHEATHING				
STUDIO	R-2	RES.	200	18
1 BED 1 BATH	R-2	RES.	200	48
2 BED 1 BATH	R-2	RES.	200	45
LOUNGE	R-2	ASSEMBLY	15	6
HOMEWORK	R-2	OFFICE	150	2
LAUNDRY	R-2	LAUNDRY	100	3
ELECTRICAL	R-2	MECH.	300	1
				123
THIRD FLOOR T.O. SHEATHING				
STUDIO	R-2	RES.	200	18
1 BED 1 BATH	R-2	RES.	200	48
2 BED 1 BATH	R-2	RES.	200	45
LOUNGE	R-2	ASSEMBLY	15	20
LAUNDRY	R-2	LAUNDRY	100	3
ELECTRICAL	R-2	MECH.	300	1
				135
Grand total				490

EXIT ACCESS TRAVEL DISTANCE		
EGRESS PATH NAME	EGRESS PATH LENGTH	MAX ALLOWABLE
1ST FLR PATH	104' - 6"	250'
2ND FLR PATH	221' - 6"	250'
3RD FLR PATH	221' - 6"	250'

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Drawing:

**CODE SUMMARY
PLANS**

Sheet No:

G1.02

FILE PATH: C:\Revit_Local\18045_Cascadia_19_meh.nvt

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GENERAL SHEET NOTES

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B. GRID LINES SHOWN ARE FACE OF STUD U.N.O.
C. ALL DOOR AND WINDOW DIMENSIONS ARE TO CL OR OVERALL STOREFRONT UNIT. REFERENCE SCHEDULES AND DOOR AND WINDOW TYPES.
D. REFERENCE STRUCTURAL DRAWINGS FOR GENERAL CONTROL JOINTS @ SLAB.
E. COORDINATE FINAL LOCATIONS WITH ARCHITECT COMPATIBILITY W/ FLOOR FINISHES.
F. SEE DOOR SCHEDULE FOR DOOR TYPES AND INSTALLATION DETAILS CORRESPONDING TO DOOR NUMBERS.
G. SEE WINDOW SCHEDULE FOR WINDOW TYPES.
H. SEE UNIT PLAN SHEETS FOR ENLARGED UNIT PLANS, DIMENSIONS, INTERIOR ELEVATIONS AND REFLECTED CEILING PLANS.
I. FOR FLOOR FINISHES, SEE FLOOR FINISH PLAN.

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CENTENNIAL
PLACE
APARTMENTS

Job Number: 18045

3800 SE 164TH AVE
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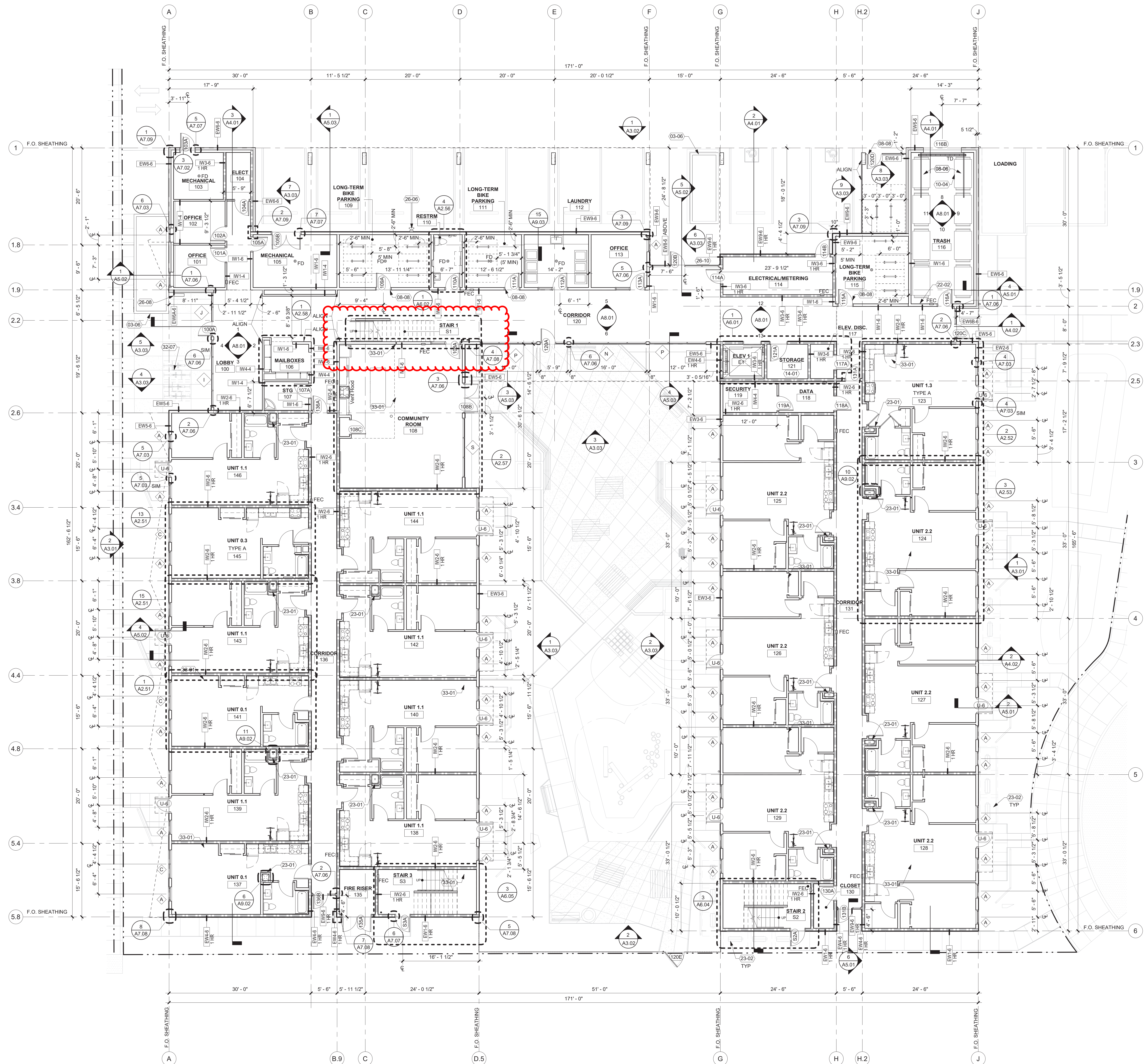


LEGEND

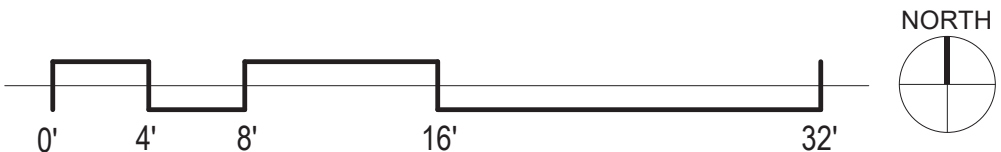
- 1 HOUR RATED ASSEMBLY
WOOD FRAMED WALL
OBJECT ABOVE
FD FLOOR DRAIN
TD TRENCH DRAIN

KEYNOTES (XX-XX)

- 03-06 RAISED CONCRETE PLANTER
08-06 ROLL UP GARAGE DOOR TRACK ABOVE
08-08 KEYED BIKE ROOM, TYPICAL
10-04 2 YARD TRASH BIN, TYPICAL
14-01 LOCATION OF FUTURE ELEVATOR. TO BE USED AS STORAGE CLOSET
22-02 HOSE BIB (HOT AND COLD W/ANTI-SCALD)
23-01 MECHANICAL SHAFT FOR RANGE HOOD DUCTWORK. REFER TO MECHANICAL DRAWINGS
23-02 MINI SPLIT WALL UNIT. TYP. REFER TO MECHANICAL DRAWINGS
26-06 ELECTRIC CAR CHARGING STATION. REF ELECTRICAL DRAWINGS
26-08 INSTALL NEW CALL BOX
26-10 PROVIDE PATHWAY FOR FUTURE FLOOR MOUNTED CALL BOX
33-01 VERTICAL RADON MITIGATION PIPE. ROUTE UP THROUGH ROOF PER SHEET NOTE. SEE SHEET A2.01 FOR RADON MITIGATION PLAN



1 FIRST FLOOR PLAN
1/8" = 1'-0"



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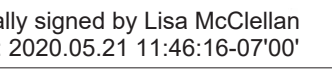
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FIRST FLOOR PLAN

Sheet No:

A2.11

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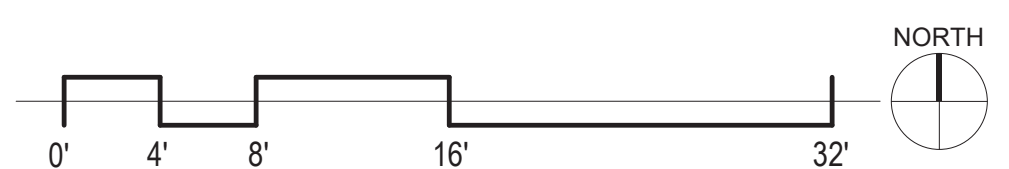
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- D. REFERENCE STRUCTURAL DRAWINGS FOR GENERAL CONTROL JOINTS.
- E. ARCHITECT FINAL LOCATIONS WITH COORDINATE COMPATIBILITY W/ FLOOR FINISHES
- F. SEE DOOR SCHEDULE FOR DOOR TYPES AND INSTALLATION DETAILS CORRESPONDING TO DOOR NUMBERS
- G. SEE WINDOW SCHEDULE FOR WINDOW TYPES
- H. SEE UNIT PLAN SHEETS FOR ENLARGED UNIT PLAN DIMENSIONS, WINDOW ELEVATIONS AND REFLECTED CEILING PLANS
- I. FOR FLOOR FINISHES, SEE FLOOR FINISH PLAN

	1 HOUR RATED ASSEMBLY
	WOOD FRAMED WALL
	OBJECT ABOVE
	FLOOR DRAIN
	TRENCH DRAIN

08-08	KEYED BIKE ROOM, TYPICAL
10-02	WALL HUNG BIKE RACKS - PROVIDE BACKING IN WALL, TYPICAL
14-01	LOCATION OF FUTURE ELEVATOR. TO BE USED AS STORAGE CLOSET
23-01	MECHANICAL SHAFT FOR RANGE HOOD DUCTWORK. REFER TO MECHANICAL DRAWINGS
33-01	VERTICAL RADON MITIGATION PIPE, ROUTE UP THROUGH ROOF PER SHEET NOTE. SEE SHEET A2.01 FOR RADON MITIGATION PLAN

SECOND FLOOR PLAN

A2.12



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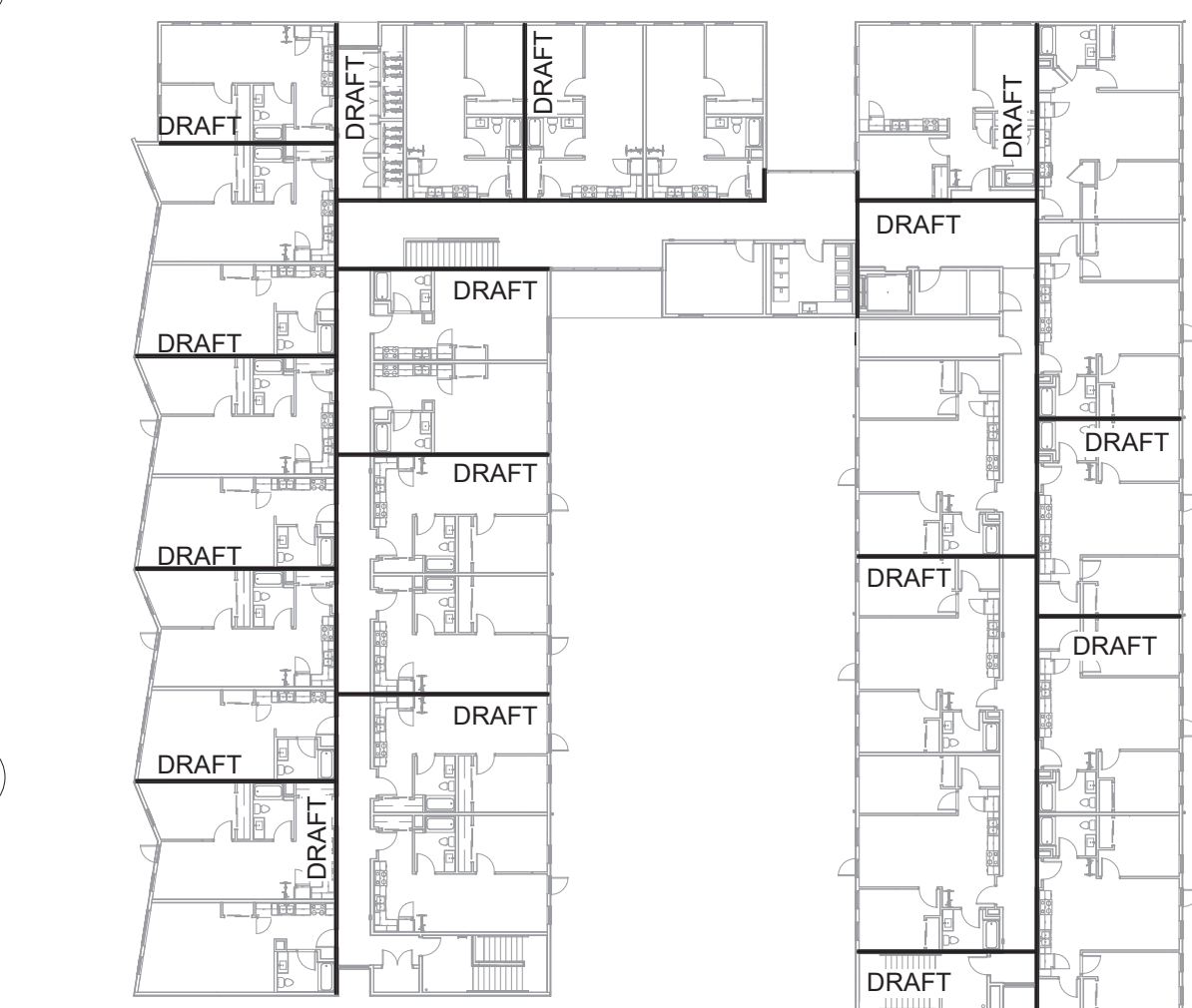

$$1/8'' = 1'-0''$$

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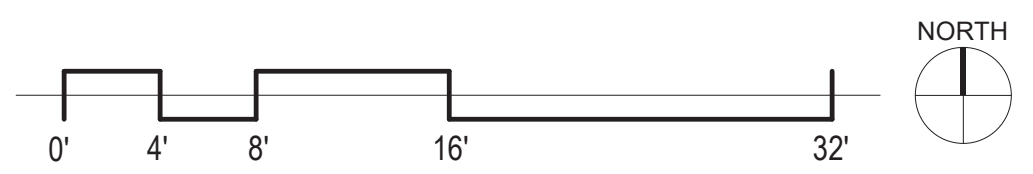
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1 THIRD FLOOR PLAN
1/8" = 1'-0"



2 THIRD FLOOR DRAFTSTOPPING DIAGRAM
1/32" = 1'-0"



GENERAL SHEET NOTES

- A. WALL DIMENSIONS ARE FROM FACE OF STUD OR CL OF COLUMN U.N.O.
- B. GRID LINES SHOWN ARE FACE OF STUD U.N.O. ALL DOOR AND WINDOW DIMENSIONS ARE TO CL OR OVERALL STOREFRONT UNIT. REFERENCE SCHEDULES AND DOOR AND WINDOW TYPES.
- C. REFERENCE STRUCTURAL DRAWINGS FOR GENERAL CONTROL JOINTS @ SLAB. COORDINATE FINAL LOCATIONS WITH ARCHITECT COMPATIBILITY W/ FLOOR FINISHES.
- D. SEE DOOR SCHEDULE FOR DOOR TYPES AND INSTALLATION DETAILS CORRESPONDING TO DOOR NUMBERS.
- E. SEE WINDOW SCHEDULE FOR WINDOW TYPES.
- F. SEE UNIT PLAN SHEETS FOR ENLARGED UNIT PLANS, DIMENSIONS, INTERIOR ELEVATIONS AND REFLECTED CEILING PLANS.
- G. FOR FLOOR FINISHES, SEE FLOOR FINISH PLAN.

LEGEND

- 1 HOUR RATED ASSEMBLY
- WOOD FRAMED WALL
- OBJECT ABOVE
- FLOOR DRAIN
- TRENCH DRAIN

KEYNOTES (XX-XX)

- 08-08 KEYED BIKE ROOM, TYPICAL
- 10-02 WALL HUNG BIKE RACKS - PROVIDE BACKING IN WALL, TYPICAL
- 14-01 LOCATION OF FUTURE ELEVATOR, TO BE USED AS STORAGE CLOSET
- 22-04 BOOSTER PUMP HYDRO TANK, REFER TO PLUMBING DRAWINGS
- 23-01 MECHANICAL SHAFT FOR RANGE HOOD DUCTWORK, REFER TO MECHANICAL DRAWINGS
- 33-01 VERTICAL RADON MITIGATION PIPE, ROUTE UP THROUGH ROOF PER SHEET NOTE. SEE SHEET A2.01 FOR RADON MITIGATION PLAN

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CENTENNIAL PLACE APARTMENTS
Job Number: 18045

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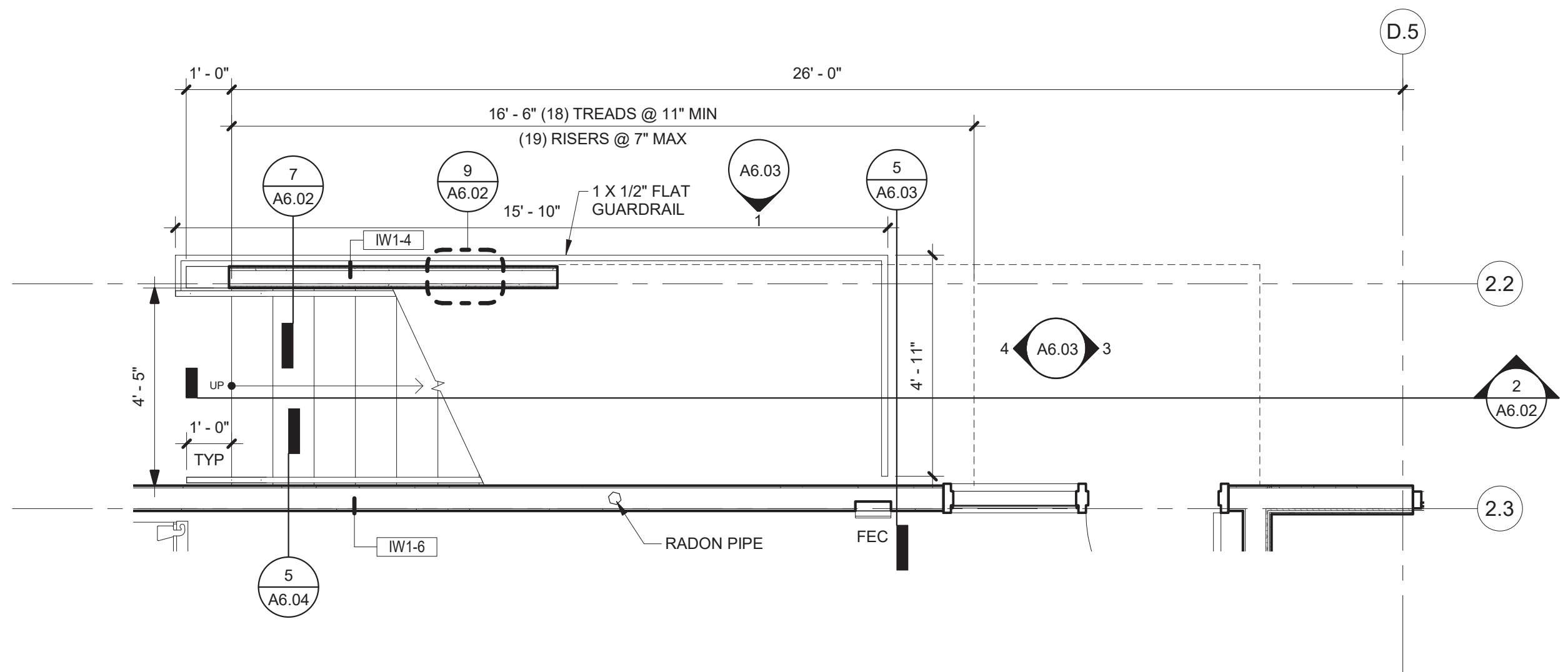
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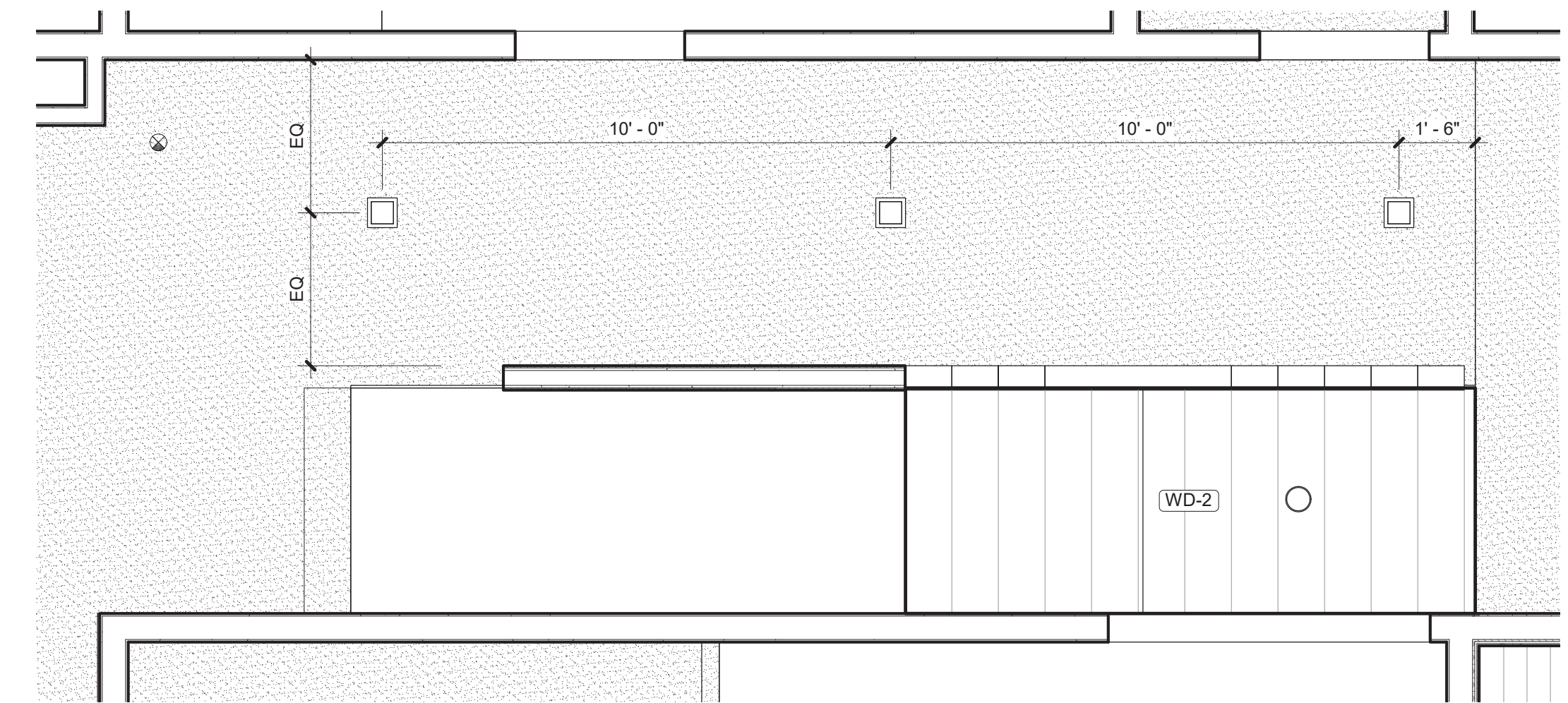
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Sheet No:
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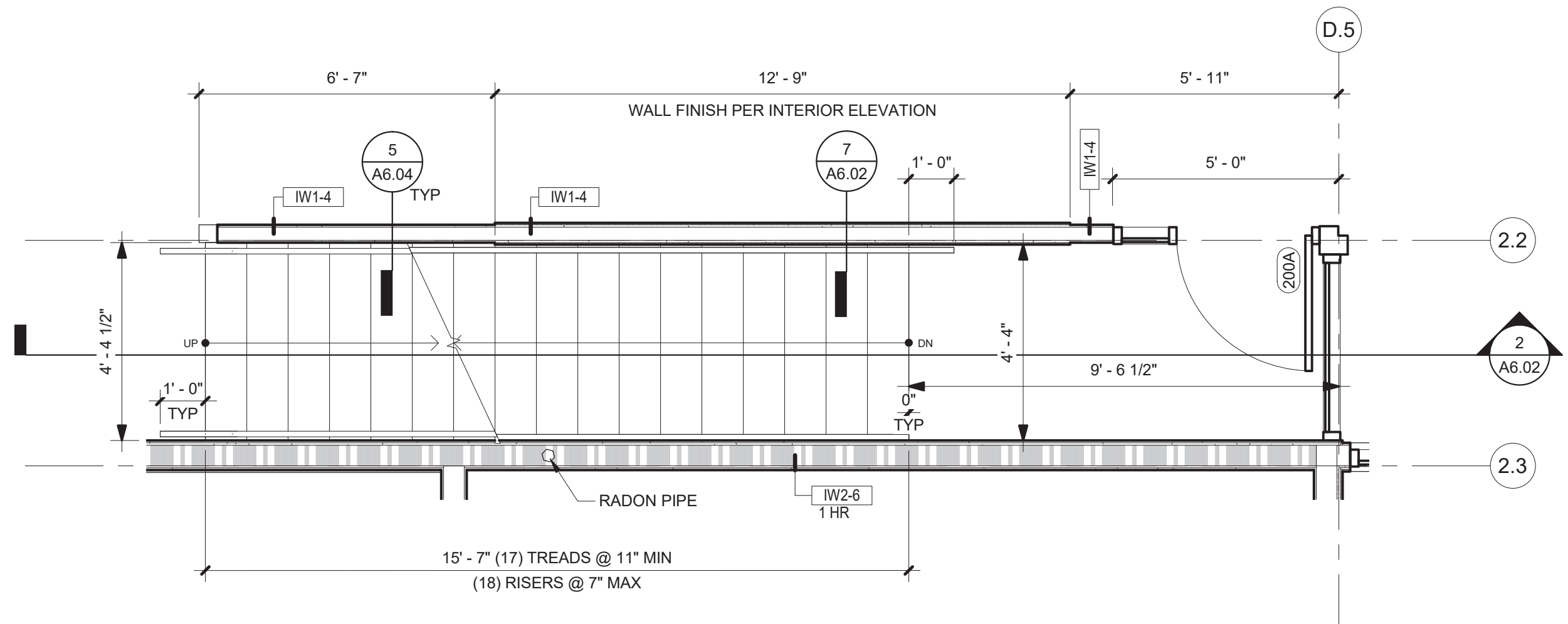
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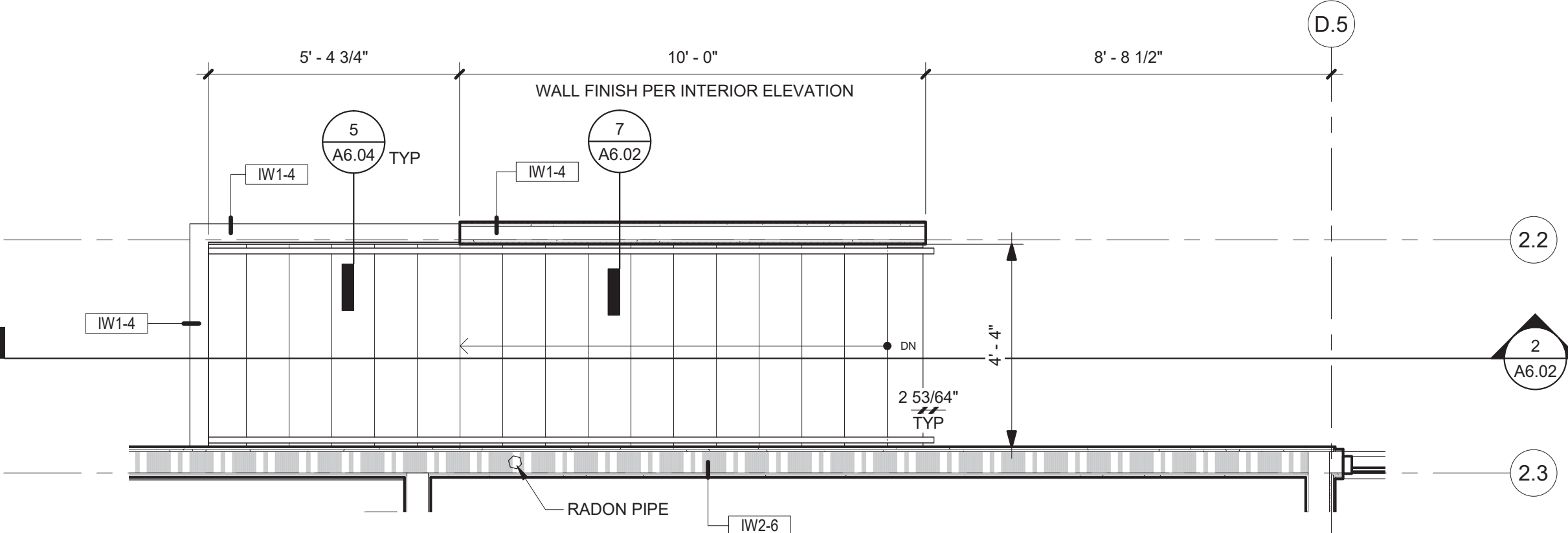
1 STAIR 1 - FIRST FLOOR PLAN
3/8" = 1'-0"



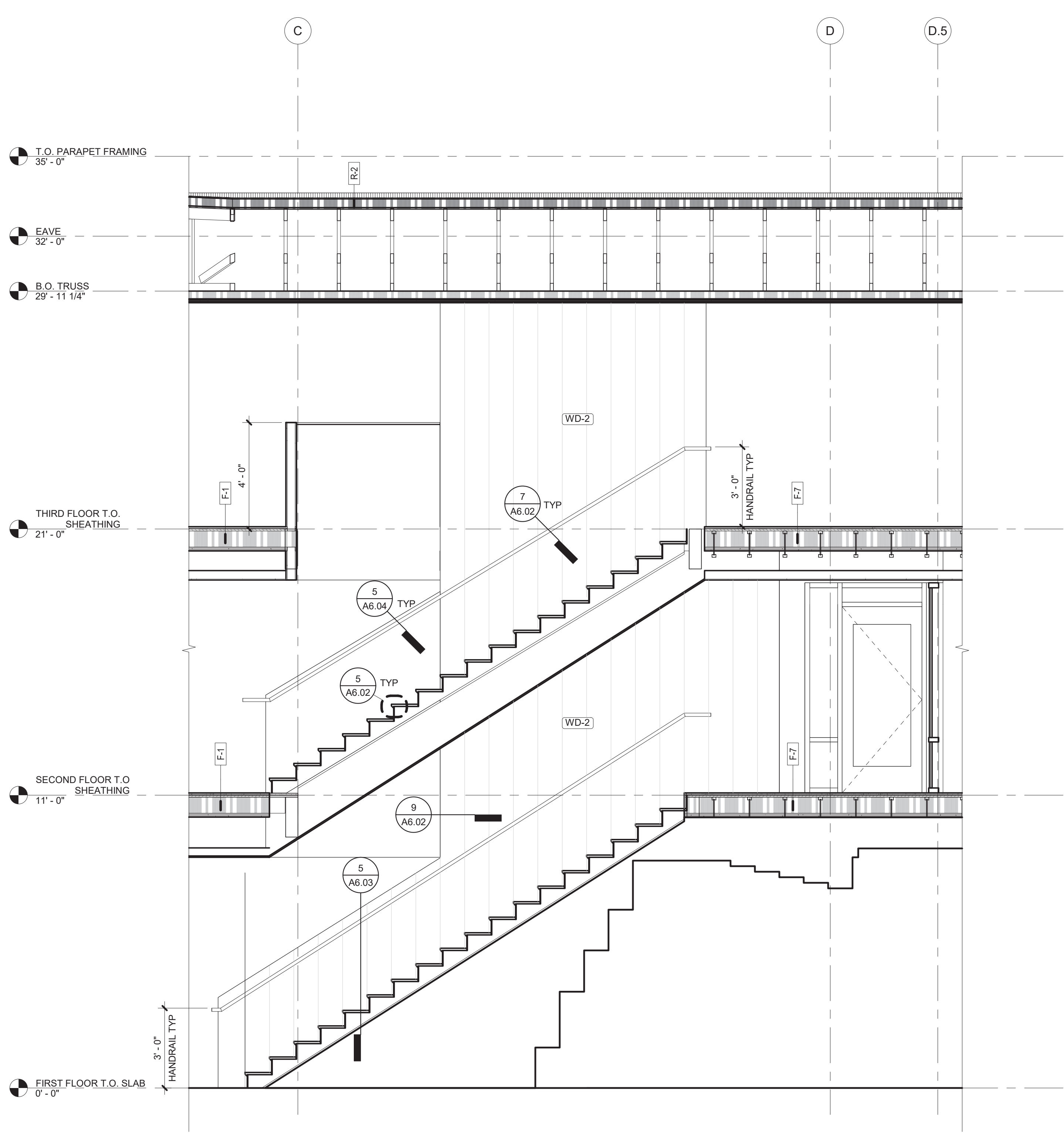
4 STAIR 1 - FIRST FLOOR RCP
3/8" = 1'-0"



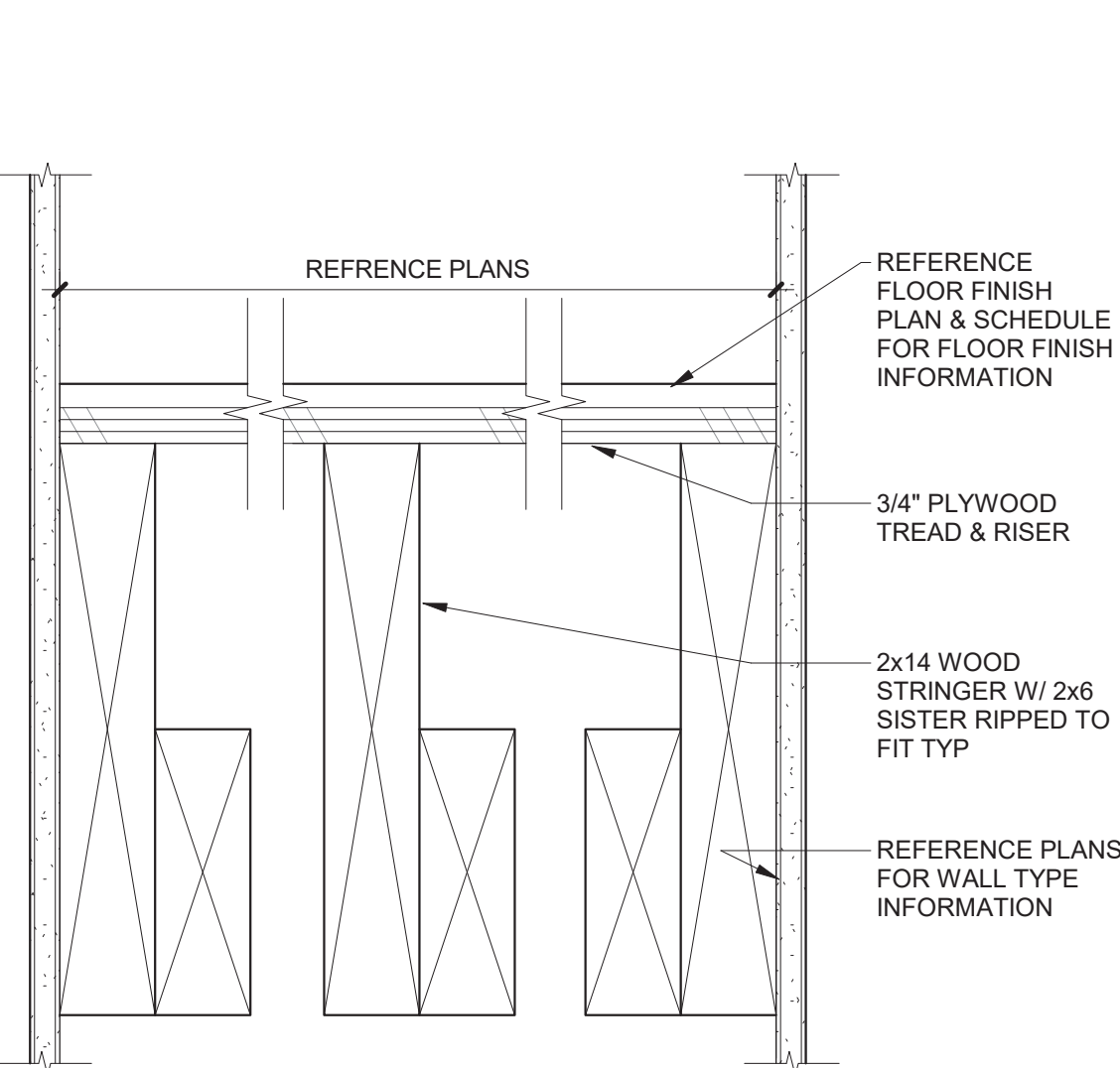
6 STAIR 1 - SECOND FLOOR PLAN
3/8" = 1'-0"



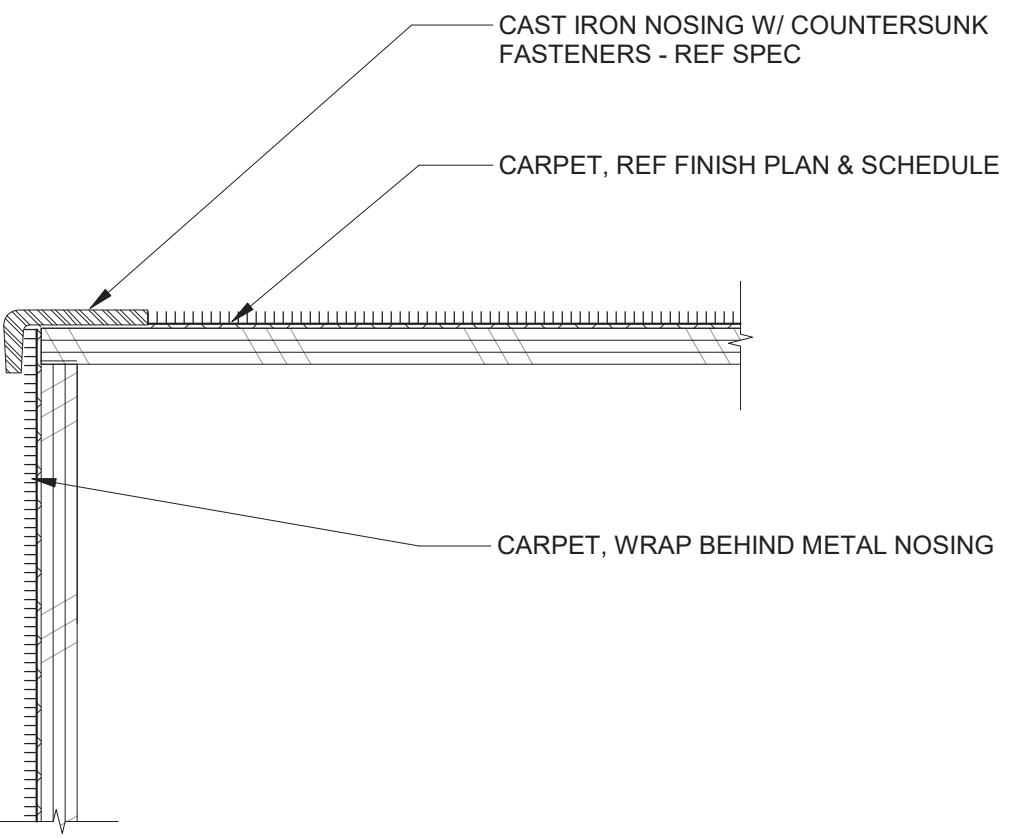
8 STAIR 1 - THIRD FLOOR PLAN
3/8" = 1'-0"



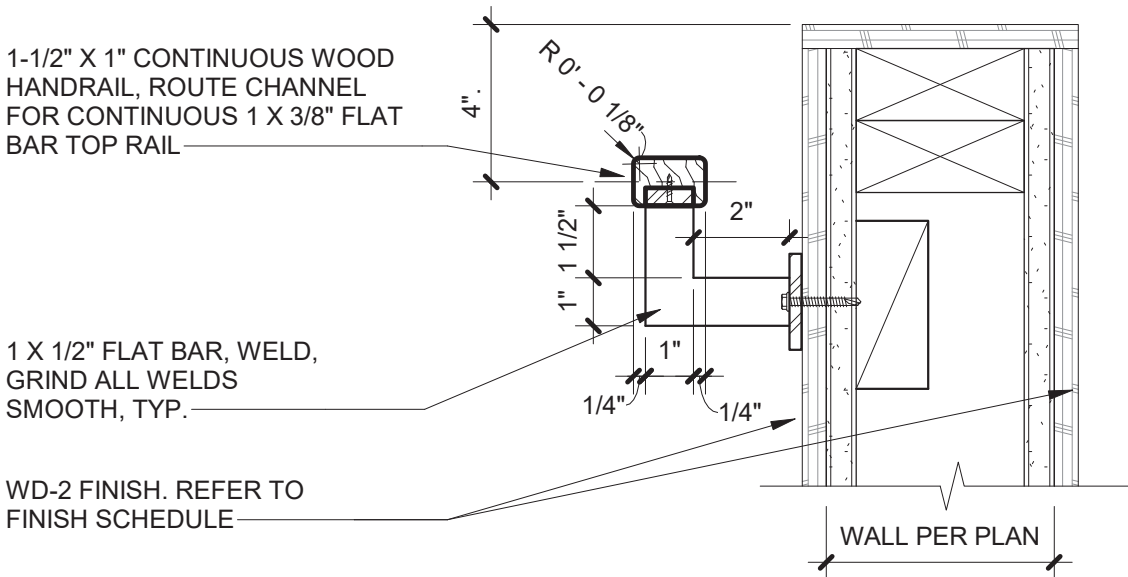
2 STAIR 1 - SECTION 1
3/8" = 1'-0"



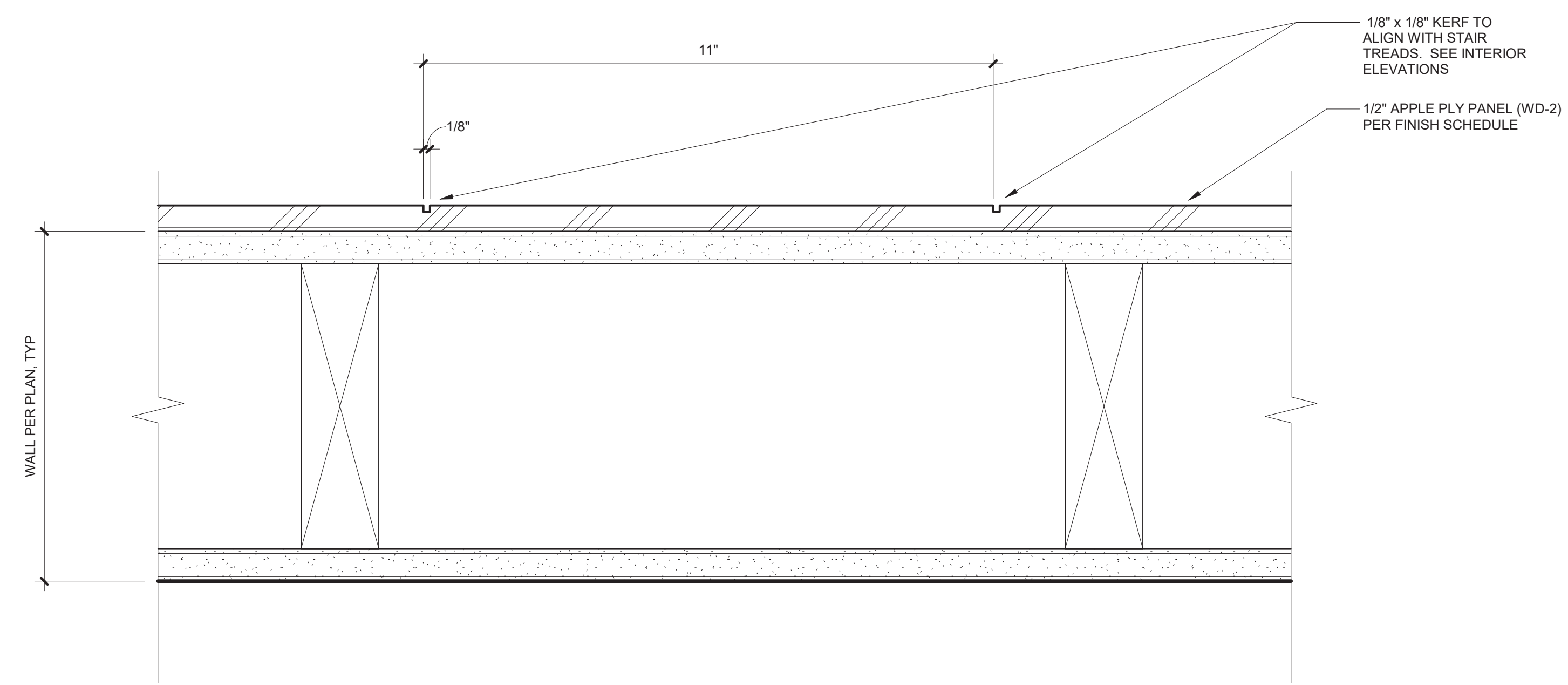
3 DETAIL AT STRINGER



5 TYPICAL NOSING DETAIL

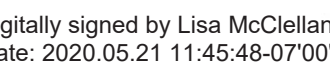


7 HANDRAIL DETAIL AT WOOD FINISH WALL
3" = 1'-0"



9 WD-2 FINISH DETAIL AT S1 AND 1ST FLOOR ELEV LOBBY
6" = 1'-0"

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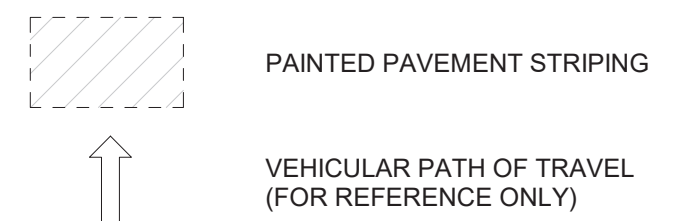


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- A. REFERENCE CIVIL AND PUBLIC WORKS SET FOR R.O.W. INFORMATION.
- B. REFERENCE LANDSCAPE AND CIVIL DRAWINGS FOR BALANCE OF SITE INFORMATION.
- C. REFERENCE ELECTRICAL DRAWINGS FOR SITE LIGHTING AND ALL SITE POWER INFORMATION.
- D. SEE STRUCTURAL DRAWINGS FOR GENERAL CONTROL JOINTS @ SLAB. COORDINATE FINAL LAYOUTS WITH ARCHITECT AND STRUCTURAL ENGINEER FOR COMPATIBILITY W/ FLOOR FINISHES AND FOOTINGS.
- E. REFERENCE EXISTING CONDITIONS/DEMOLITION PLANS FOR SCOPE OF WORK INFORMATION.
- F. PARKING LOT DIMENSIONS ARE TO PARKING SIDE OF CURB, TYP.

REFERENCE CIVIL FOR
MORE INFORMATION



26-01	ABOVE-GRADE TRANSFORMER, PAD, AND VAULT WITH BOLLARDS. REFERENCE ELECTRICAL DRAWINGS FOR TRANSFORMER COORDINATION AND CIVIL DRAWINGS FOR BOLLARD AND CULVERT LOCATIONS.
26-02	OUTDOOR KING CALL BOX
26-04	PARKING LOT LIGHT POLE, SEE ELECTRICAL DRAWINGS
26-05	COURT YARD AND PATHWAY FOR FUTURE CALL BOX
26-06	ELECTRIC CAR CHARGING STATION, REF ELECTRICAL DRAWINGS
26-07	BOLLARD LUMINAIRE, REF ELECTRICAL DRAWINGS
32-01	ACCESSIBLE COURTYARD, SEE LANDSCAPE DWGS
32-03	ADA PARKING STALL
32-04	BUILDING ENTRY
32-05	LOADING AREA
32-06	CONCRETE PLANTER
32-07	BIKE RACK, SEE LANDSCAPE DRAWINGS
32-08	PROPERTY LINE FENCE, SEE LANDSCAPE DRAWINGS
32-09	ADA VAN PARKING STALL
32-10	STORMWATER MANHOLE, SEE CIVIL DRAWINGS
32-11	CATCH BASIN, SEE CIVIL DRAWINGS
32-12	SIDEWALK, CURB, AND R.O.W.
32-13	LANDSCAPE TREES, SEE CIVIL DRAWINGS
32-13	STREET TREES, SEE LANDSCAPE DRAWINGS
32-14	MECHANICAL ROOM ENTRY
32-16	BUILDING EXIT ONLY
32-17	BUILDING EXIT ONLY - ALARMED
32-17	COURTYARD FENCE, REF LANDSCAPE DRAWINGS
32-18	APRONE AISLE & APRON
32-19	6" STEP FENCED FENCE ALONG N DRIVE LINE
32-20	PROVIDE WHEEL STOPS, REF CIVIL DRAWINGS
32-21	CONDENSING UNITS ON CONCRETE PAD, REF MECHANICAL DRAWINGS
32-22	TRASH ROOM ENTRY
32-23	REMOVABLE BOLLARDS FOR TRASH AND FUEL ACCESS, REF CIVIL DRAWINGS
32-24	ELECTRICAL RM EXIT

SITE PLAN

A1.01



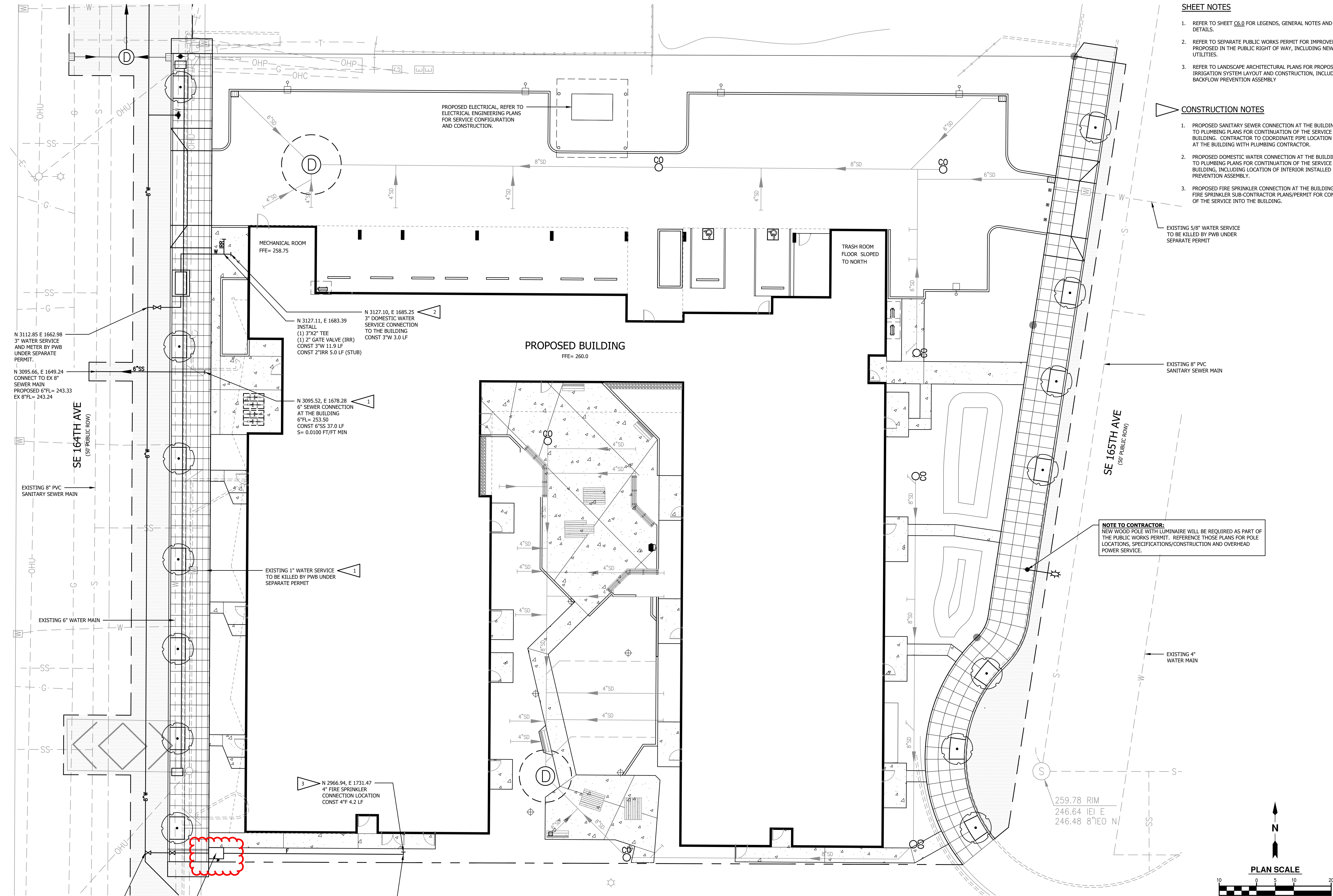
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1 SITE PLAN
3/32" = 1'-0"

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SHEET NOTES

- REFER TO SHEET C6.0 FOR LEGENDS, GENERAL NOTES AND DETAILS.
- REFER TO SEPARATE PUBLIC WORKS PERMIT FOR IMPROVEMENTS PROPOSED IN THE PUBLIC RIGHT OF WAY, INCLUDING NEW UTILITIES.
- REFER TO LANDSCAPE ARCHITECTURAL PLANS FOR PROPOSED IRRIGATION SYSTEM LAYOUT AND CONSTRUCTION, INCLUDING BACKFLOW PREVENTION ASSEMBLY.

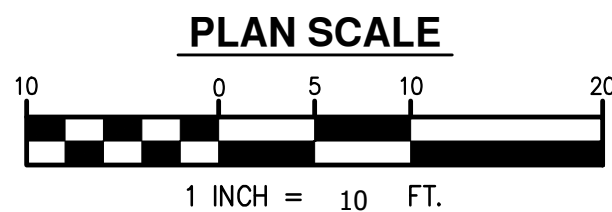
CONSTRUCTION NOTES

- PROPOSED SANITARY SEWER CONNECTION AT THE BUILDING. REFER TO PLUMBING PLANS FOR CONTINUATION OF THE SERVICE INTO THE BUILDING. CONTRACTOR TO COORDINATE PIPE LOCATION AND DEPTH AT THE BUILDING WITH PLUMBING CONTRACTOR.
- PROPOSED DOMESTIC WATER CONNECTION AT THE BUILDING. REFER TO PLUMBING PLANS FOR CONTINUATION OF THE SERVICE INTO THE BUILDING, INCLUDING LOCATION OF INTERIOR INSTALLED BACKFLOW PREVENTION ASSEMBLY.
- PROPOSED FIRE SPRINKLER CONNECTION AT THE BUILDING. REFER TO FIRE SPRINKLER SUB-CONTRACTOR PLANS/PERMIT FOR CONTINUATION OF THE SERVICE INTO THE BUILDING.

EXISTING 5/8\"/>

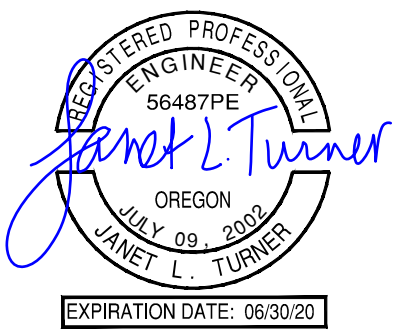
EXISTING 8\"/>

NOTE TO CONTRACTOR:
NEW WOOD POLE WITH LUMINAIRE WILL BE REQUIRED AS PART OF THE PUBLIC WORKS PERMIT. REFERENCE THOSE PLANS FOR POLE LOCATIONS, SPECIFICATIONS/CONSTRUCTION AND OVERHEAD POWER SERVICE.



S|E A

SCOTT|EDWARDS ARCHITECTURE LLP.
2525 E Burnside Street, Portland, OR 97214
phone: (503) 226-3617 www.sealp.com



CENTENNIAL PLACE APARTMENTS

Job Number: 18045
3800 SE 164TH AVE
PORTLAND, OR 97236



Janet Turner Engineering, LLC

CASCADIA
BEHAVIORAL HEALTHCARE
WHOLE HEALTH CARE™

Bid / Permit Set 05.21.2020

Drawing:

**SANITARY / WATER /
FIRE PLAN**

Sheet No:

C4.0

FILE PATH: C:\Revit_Locall\18045_Cascadia_19_meh.nvt

EW5-X EXTERIOR VERTICAL WOOD SIDING WALL	EW4-X 1 HR RATED EXTERIOR VERTICAL WOOD SIDING WALL	GA WP 8105	EW3-X EXTERIOR FIBER CEMENT HARDIE SHINGLE SINGLE STRAIGHT EDGE PANEL (NORTH & WEST ELEVATIONS)	EW2-X EXTERIOR FIBER CEMENT HARDIE SHINGLE SINGLE STRAIGHT EDGE PANEL (EAST & SOUTH ELEVATIONS)	EW1-X 1 HR RATED EXTERIOR FIBER CEMENT HARDIE SHINGLE STRAIGHT EDGE PANEL
EW9-X 1 HR RATED EXTERIOR FIBER CEMENT HARDIE PANEL	EW8-X EXTERIOR FIBER CEMENT HARDIE PANEL SIDING WALL	EW7-X EXTERIOR FIBER CEMENT HARDIE SHINGLE SINGLE STRAIGHT EDGE PANEL ADDITIONAL FURRING	EW6B-X 1 HOUR RATED EXTERIOR BRICK WALL 1-3/8\"/>	EW6A-X 1 HOUR RATED EXTERIOR BRICK WALL 2-7/8\"/>	EW6-X 1 HOUR RATED EXTERIOR BRICK WALL 2-3/8\"/>
		IW4-X INTERIOR FURRED WALL	IW3-X 1 HR RATED- INTERIOR PARTITION WALL	IW2-X 1 HR RATED INTERIOR DEMISING WALL	IW1-X INTERIOR PARTITION WALL
F-6 1-HR RATED FLOOR/CEILING ASSEMBLY AT EXTERIOR GYP SOFFIT	F-5 1-HR RATED FLOOR/CEILING ASSEMBLY AT WOOD SOFFIT	F-4 FLOOR/CEILING ASSEMBLY AT STORAGE ROOMS 209 & 309	F-3 SLAB ON GRADE FLOOR	F-2 1-HR RATED FLOOR/CEILING ASSEMBLY AT CORRIDORS	F-1 1-HR RATED FLOOR/CEILING ASSEMBLY
	F-7 1-HR RATED FLOOR/CEILING ASSEMBLY AT CORRIDORS		R-3 1-HR RATED ASPHALT SHINGLE ROOF ASSEMBLY AT SHAFT	R-2 1-HR RATED SINGLE PLY ROOF ASSEMBLY	R-1 1-HR RATED ASPHALT SHINGLE ROOF ASSEMBLY

EXTERIOR WALL TYPES

INTERIOR WALL TYPES

FLOOR/CEILING TYPES

ROOF TYPES

GENERAL SHEET NOTES

A. REFERENCE DETAILS FOR ASSEMBLIES NOT SHOWN HERE.

B. SEE FINISH SCHEDULE, INTERIOR ELEVATIONS, AND DETAILS FOR SPECIAL CONDITIONS AND APPLIED WALL FINISHES.

C. MAINTAIN FIRE RATING OF WALLS AROUND FIRE EXTINGUISHERS, CABINETS, AND OTHER RECESSED ITEMS.

D. PROVIDE ACOUSTICAL SEALANT AT FLOOR / CEILING/ WALL TRANSITIONS, RECESSED BOXES, AND PENETRATIONS OF SOUND RATED ASSEMBLIES AND OTHER CONSTRUCTION AS REQUIRED TO ACHIEVE NOTED STC RATINGS.

E. PROVIDE MOISTURE RESISTANT GYPSUM BOARD TYPICAL AT ALL RESTROOMS, BATHROOMS, AND KITCHEN WALLS.

F. ALL FRAMING AND FINISHES OF INTERIOR WALLS TO EXTEND TO THE UNDERSIDE OF STRUCTURE ABOVE UNLESS NOTED OTHERWISE.

G. WHERE PARTITIONS ARE SOUND RATED OR FIRE RATED AND INCLUDE PROPRIETARY MANUFACTURERS, NO SUBSTITUTIONS ARE ALLOWED.

H. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY TO BE PRESSURE TREATED.

WALL TYPE SYMBOL

WOOD FRAMING SIZES

0 = MTL FURRING, 7/8" OR AS INDICATED

4 = 2" x 4"

6 = 2" x 6"

8 = 2" x 8"

WALL TYPE SYMBOL

WOOD FRAMING SIZES

0 = MTL FURRING, 7/8" OR AS INDICATED

4 = 2" x 4"

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S|E|A

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Date: 2020.05.21 11:45:38-07'00'

CENTENNIAL PLACE APARTMENTS

Job Number: 18045

3800 SE 164TH AVE
PORTLAND, OR 97236

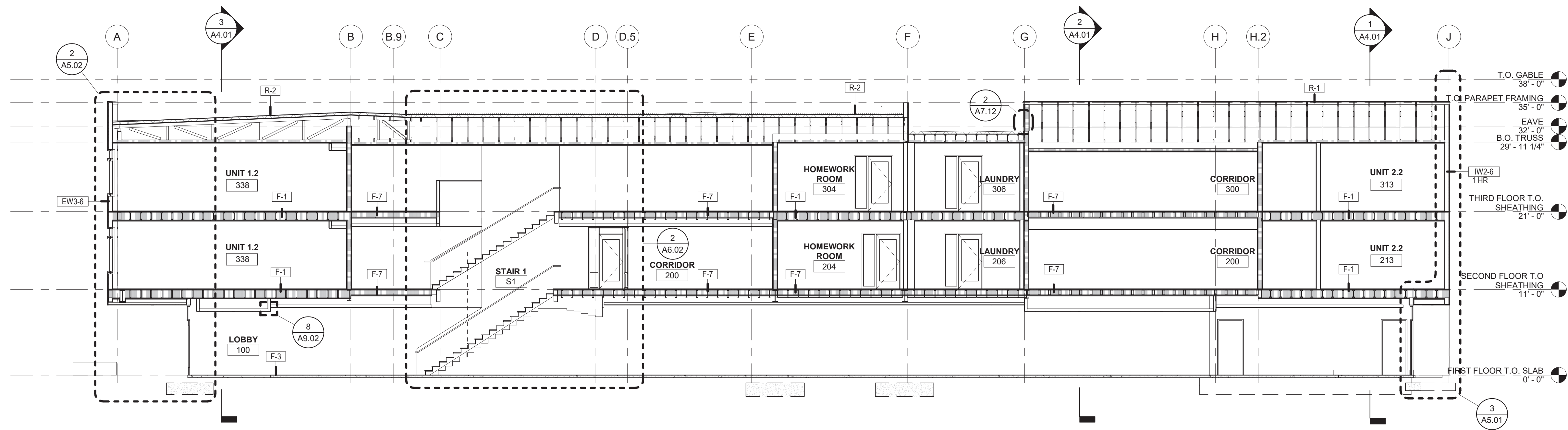
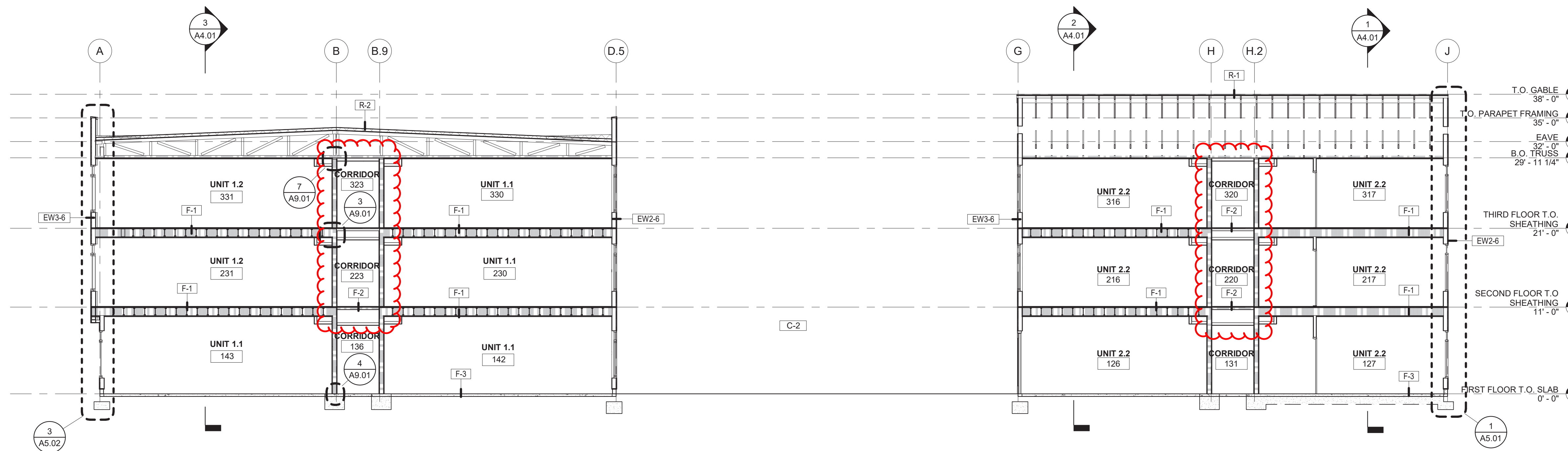
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Date: 2020.05.21 11:48:09-0700'**CENTENNIAL
PLACE
APARTMENTS**

Job Number: 18045

3800 SE 164TH AVE
PORTLAND, OR 97236

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**1 E-W SECTION**
1/8" = 1'-0"**2 E-W SECTION**
1/8" = 1'-0"THESE DRAWINGS ARE THE ORIGINAL UNPUBLISHED WORK
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Drawing:

BUILDING SECTIONS

Sheet No:

A4.02

May 27, 2020

Ms. Hayley Purdy
Scott Edwards Architecture
2525 East Burnside Street
Portland, OR 97214

RE: Centennial Place Apartments
Permit Application: #20-135562-000-00-CO
1-HR rated Corridor Floor/Ceiling Assembly (F2) char rate and structural sufficiency

Dear Hayley,

We have performed a structural analysis incorporating the effects of char on the F2 assembly (located within the corridor space) indicated on sheet A0.20. The structural portion of this assembly consists of 4-in. thick nominal (actual 2 7/8" thick) Lock-Deck (glue-laminated decking) overlain with 7/8" thick plywood sheathing as indicated on sheet S2.12 and S2.13. Per the 2018 American Wood Council (AWC) Technical Report No.10 Table 4.1.1.4A, the nominal char rate is 1.5 in/hr. However, this nominal char rate is increased to a design effective char depth of 1.8 inches for a required fire resistance of one hour to account for the loss of strength and stiffness of wood directly adjacent to the char.

Based on the design effective char of 1.8 inches, an effective thickness of 1.075 inches for the 4-in. thick nominal (actual 2 7/8" thick) Lock-Deck product remains. Per the AWC Technical Report's design criteria for members with a reduced section, the 4-in. thick nominal Lock-Deck is structurally sufficient after one hour of burn time.

Please call us if you have any questions.

Sincerely,



Randall S. Toma, P.E., S.E.
Principal



FILE PATH: C:\Revit_Local\18045_Cascadia_19_meh.nvt

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GENERAL SHEET NOTES

- A. WALL DIMENSIONS ARE FROM FACE OF STUD OR CL OF COLUMN U.N.O.
B. GRID LINES SHOWN ARE FACE OF STUD U.N.O. ALL DOOR AND WINDOW DIMENSIONS ARE TO CL OR OVERALL STOREFRONT UNIT. REFERENCE SCHEDULES AND DOOR AND WINDOW TYPES.
C. REFERENCE STRUCTURAL DRAWINGS FOR GENERAL CONTROL JOINTS @ SLAB.
D. COORDINATE FINAL LOCATIONS WITH ARCHITECT COMPATIBILITY W/ FLOOR FINISHES. SEE DOOR SCHEDULE FOR DOOR TYPES AND INSTALLATION DETAILS CORRESPONDING TO DOOR NUMBERS.
E. SEE WINDOW SCHEDULE FOR WINDOW TYPES.
F. SEE UNIT PLAN SHEETS FOR ENLARGED UNIT PLANS, DIMENSIONS, INTERIOR ELEVATIONS AND REFLECTED CEILING PLANS.
G. FOR FLOOR FINISHES, SEE FLOOR FINISH PLAN.

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CENTENNIAL
PLACE
APARTMENTS

Job Number: 18045

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PORTLAND, OR 97236

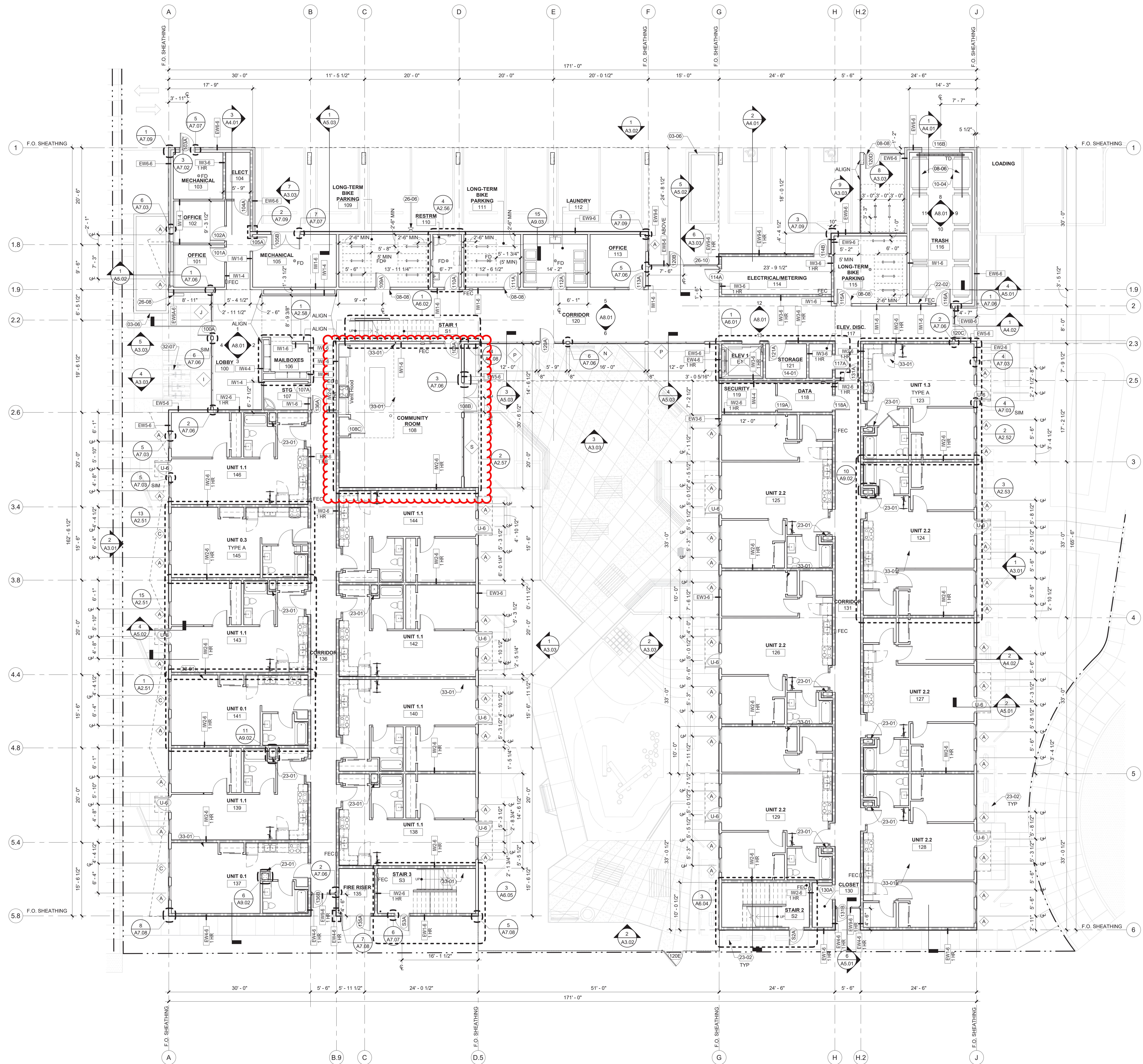


LEGEND

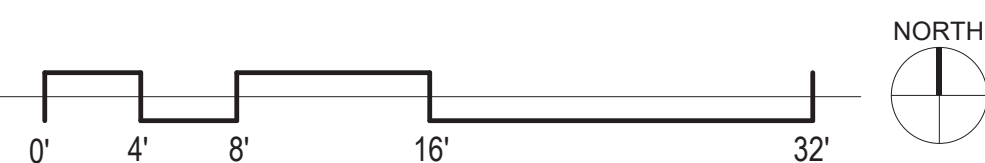
- 1 HOUR RATED ASSEMBLY
WOOD FRAMED WALL
OBJECT ABOVE
FD FLOOR DRAIN
TD TRENCH DRAIN

KEYNOTES (XX-XX)

- 03-06 RAISED CONCRETE PLANTER
08-06 ROLL UP GARAGE DOOR TRACK ABOVE
08-08 KEYED BIKE ROOM, TYPICAL
10-04 2 YARD TRASH BIN, TYPICAL
14-01 LOCATION OF FUTURE ELEVATOR. TO BE USED AS STORAGE CLOSET
22-02 HOSE BIB (HOT AND COLD W/ANTI-SCALD)
23-01 MECHANICAL SHAFT FOR RANGE HOOD DUCTWORK. REFER TO MECHANICAL DRAWINGS
23-02 MINI SPLIT WALL UNIT. TYP. REFER TO MECHANICAL DRAWINGS
26-06 ELECTRIC CAR CHARGING STATION. REF ELECTRICAL DRAWINGS
26-08 INSTALL NEW CALL BOX
26-10 PROVIDE PATHWAY FOR FUTURE FLOOR MOUNTED CALL BOX
33-01 VERTICAL RADON MITIGATION PIPE. ROUTE UP THROUGH ROOF PER SHEET NOTE. SEE SHEET A2.01 FOR RADON MITIGATION PLAN



1 FIRST FLOOR PLAN
1/8" = 1'-0"



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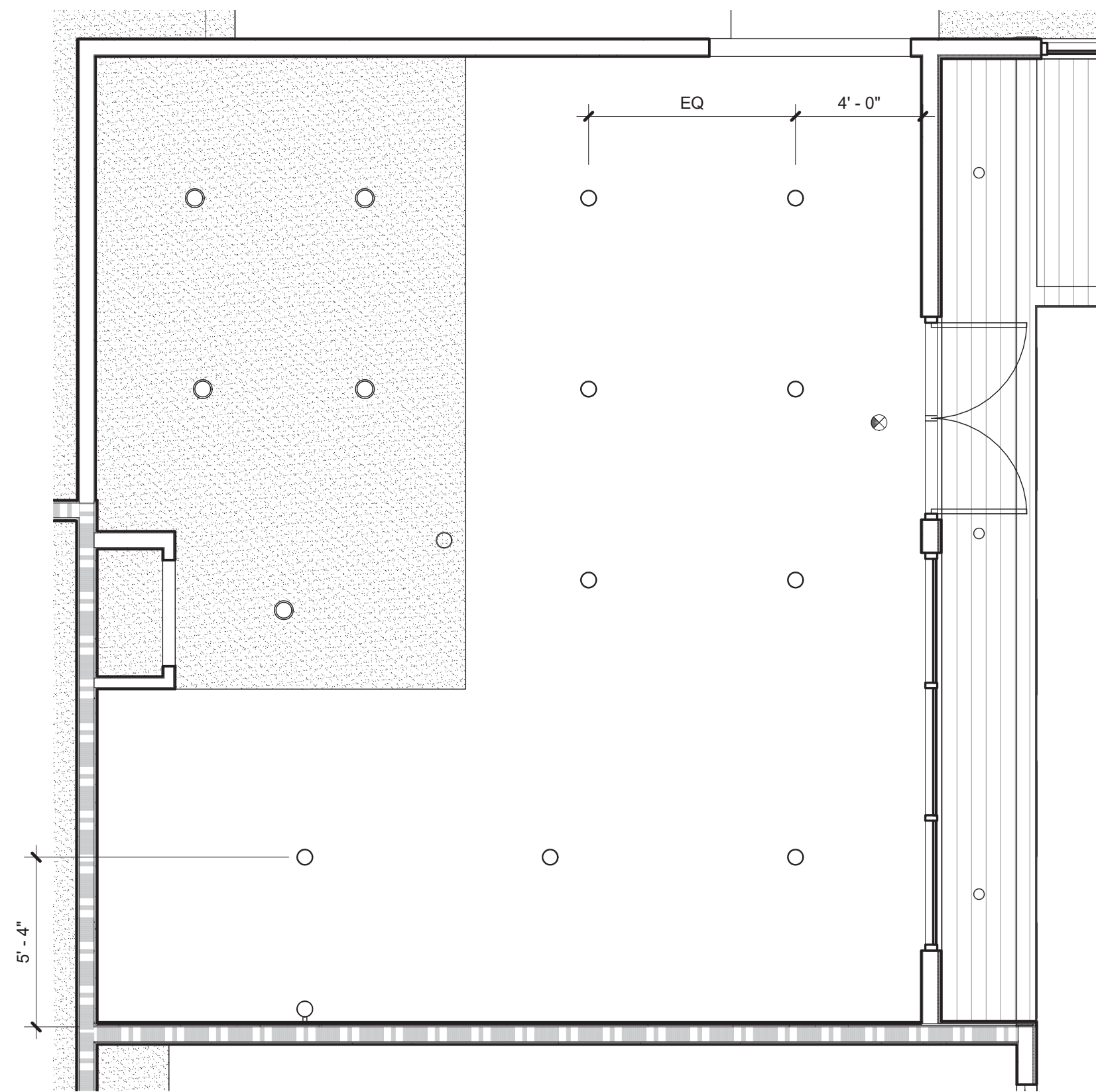
Drawing:

FIRST FLOOR PLAN

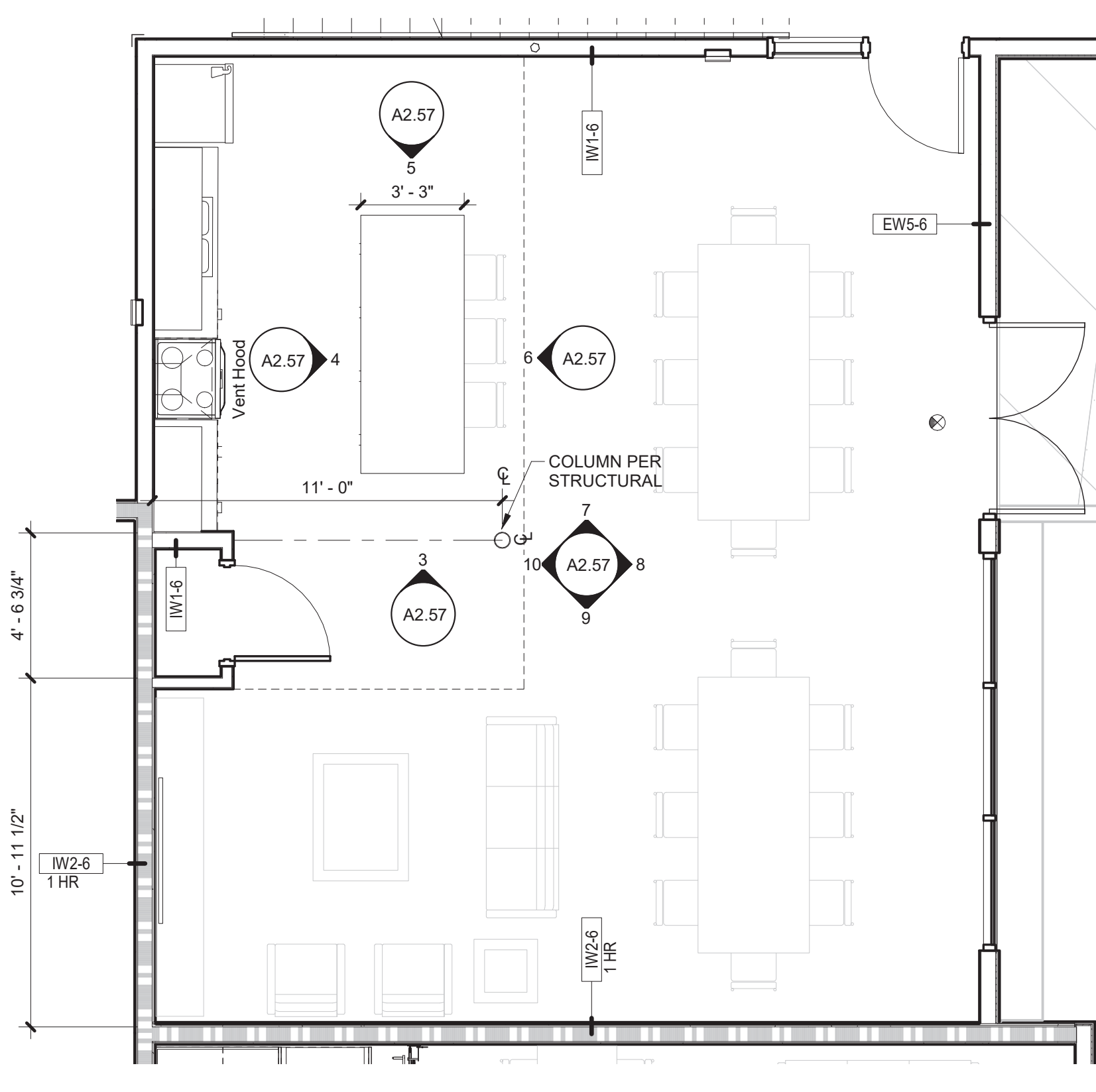
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A2.11

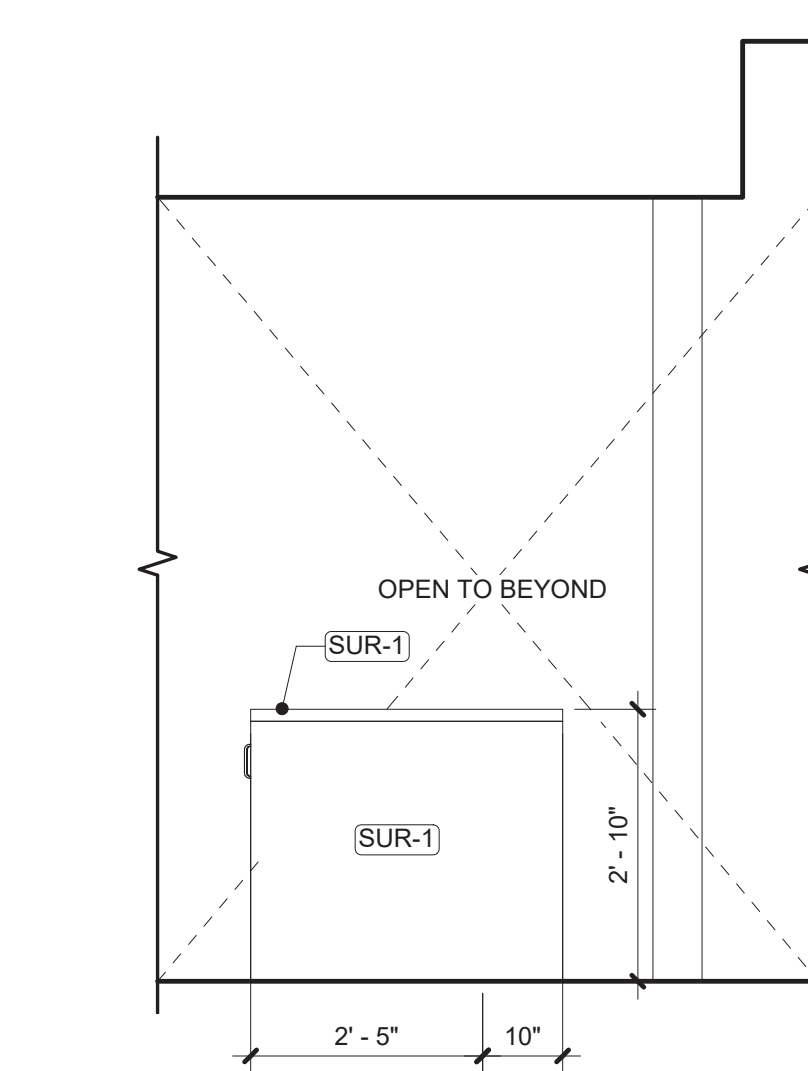
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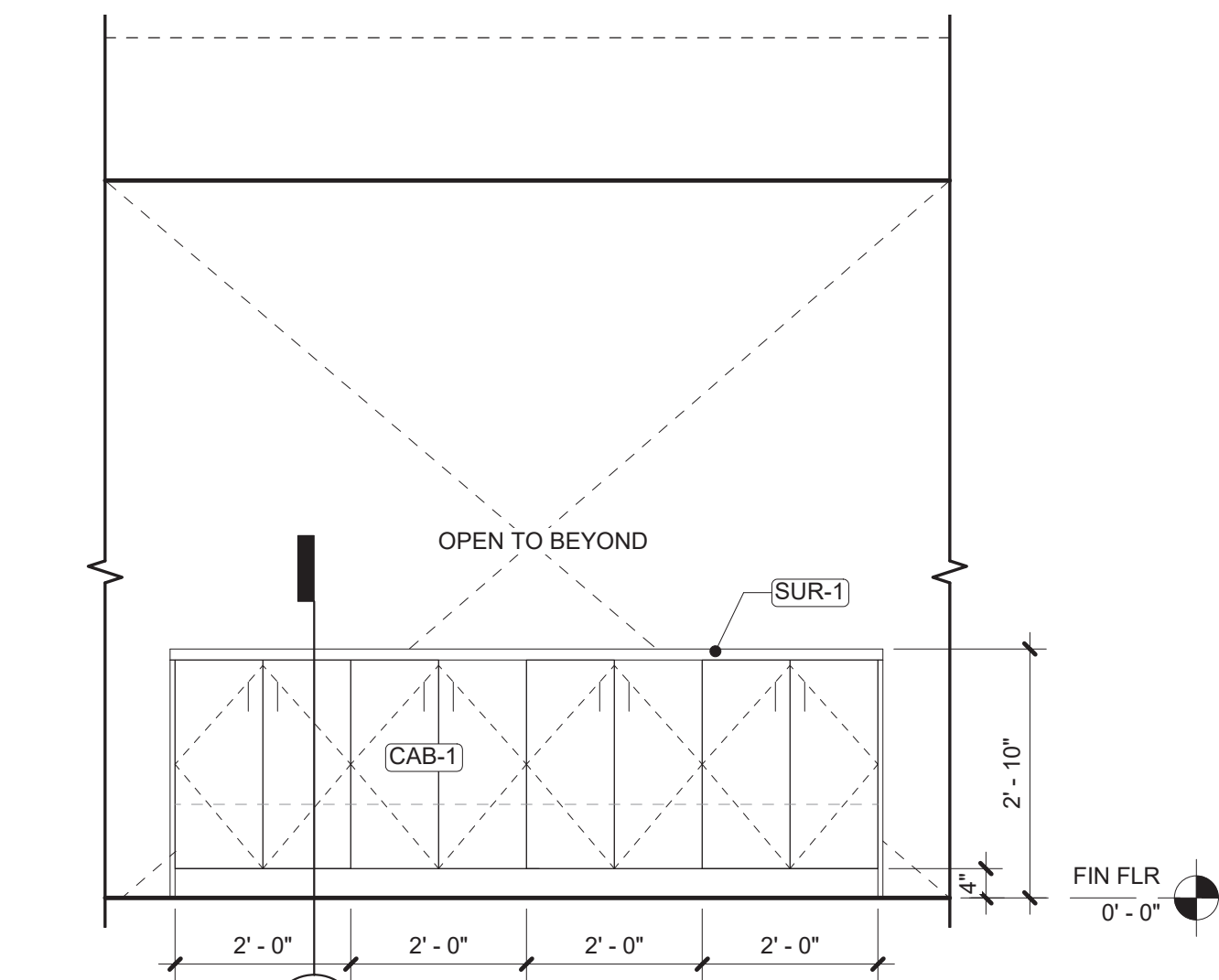
1 COMMUNITY RM CEILING PLAN
1/4" = 1'-0"



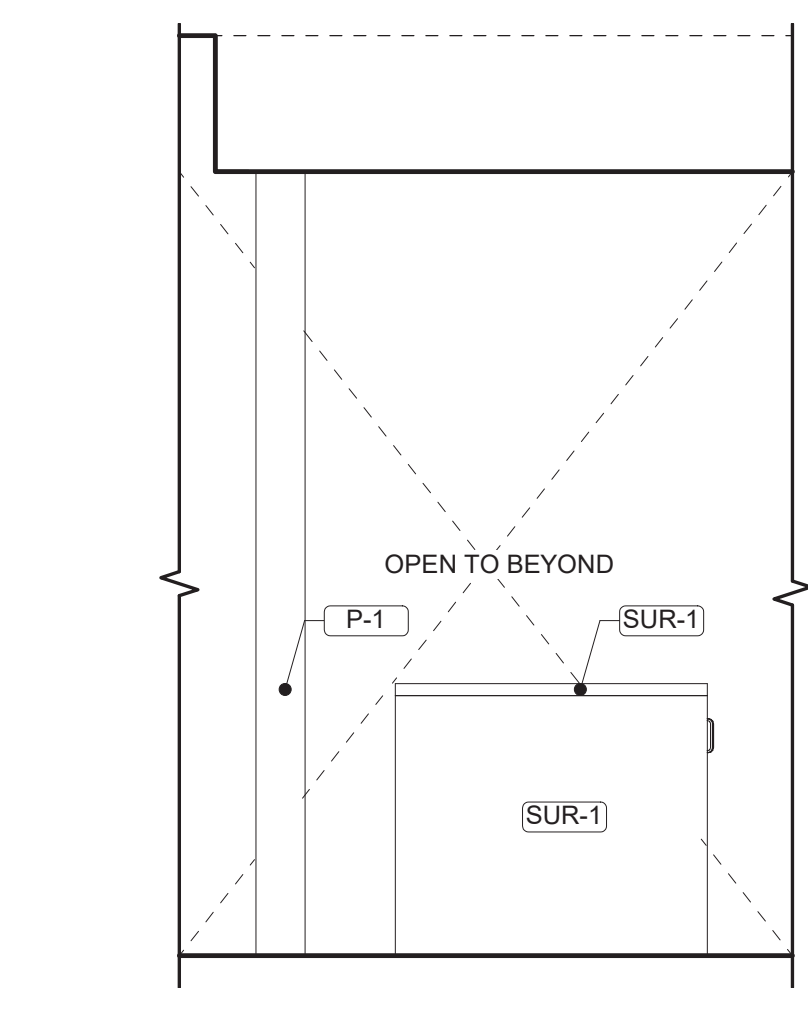
2 COMMUNITY RM PLAN
1/4" = 1'-0"



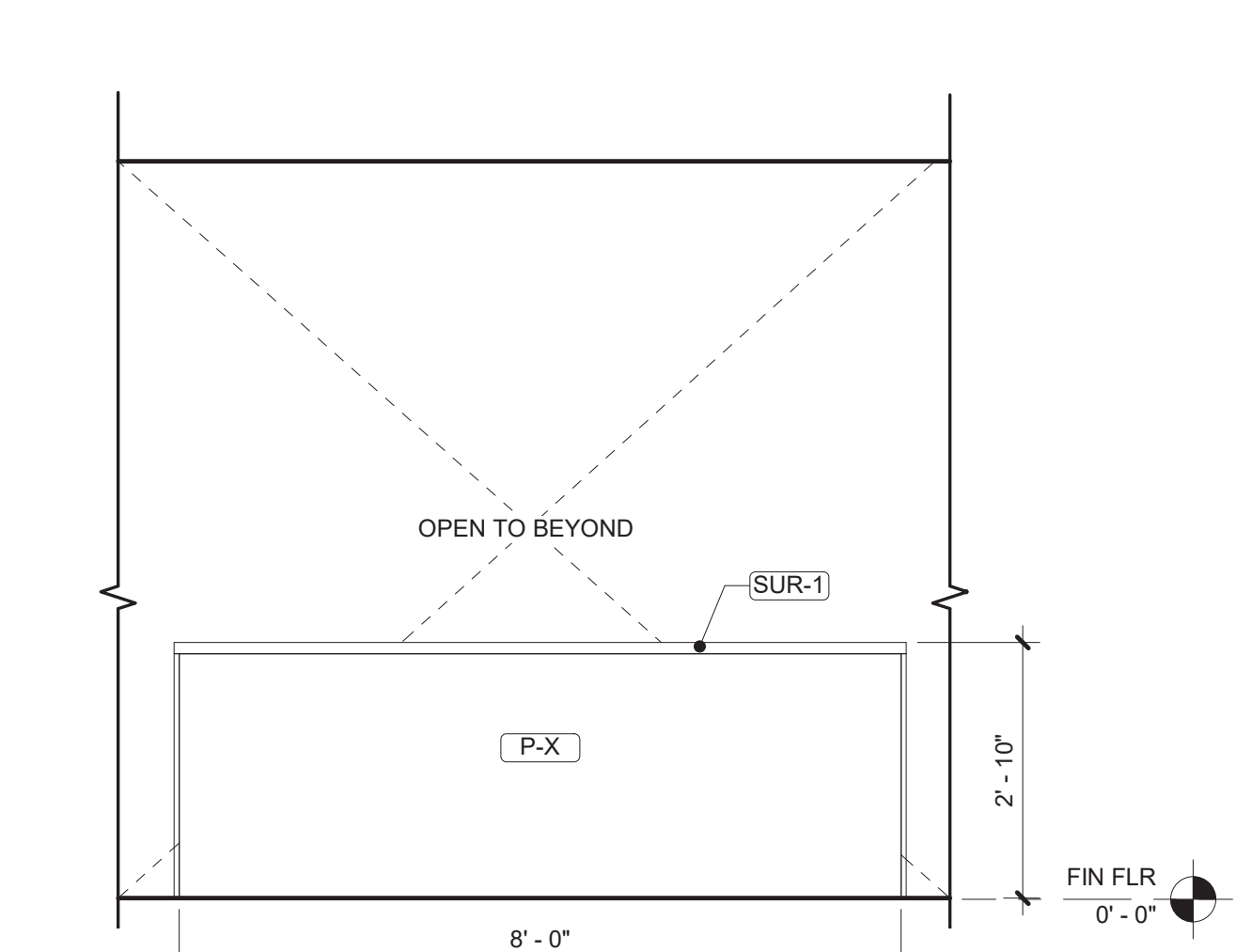
3 COMMUNITY ISLAND - NORTH
1/2" = 1'-0"



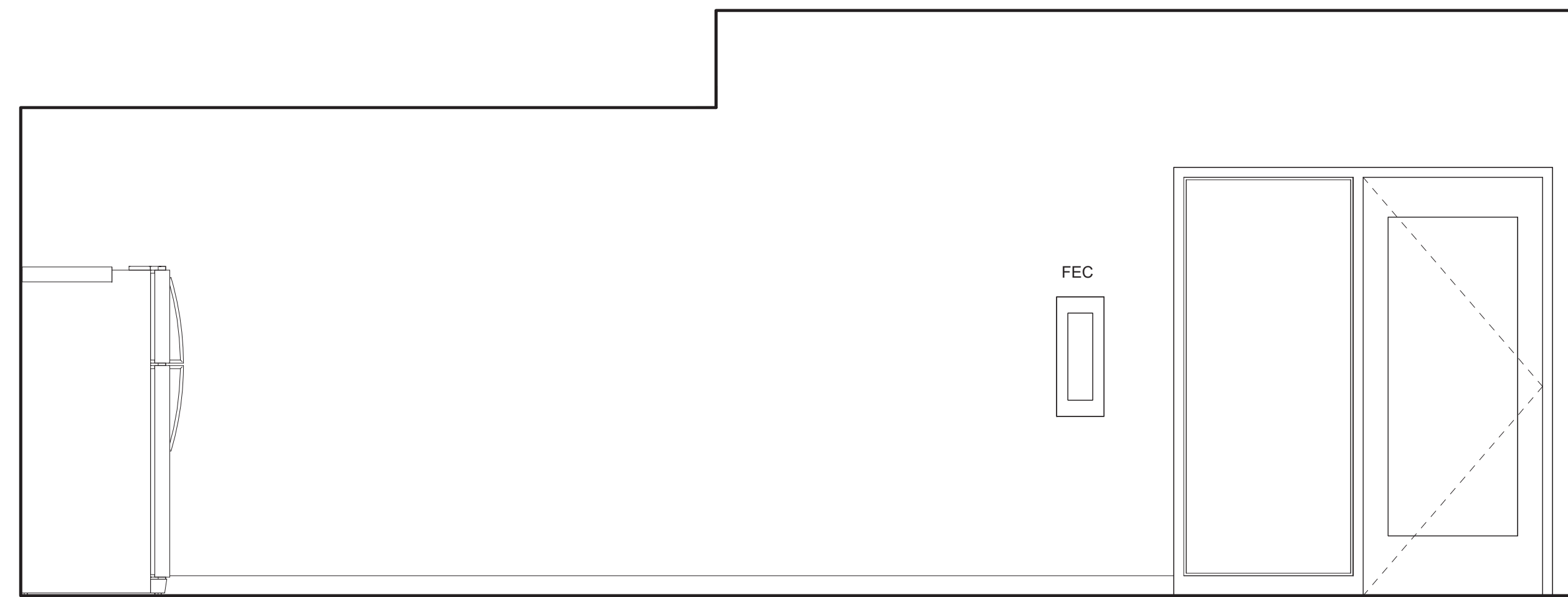
4 COMMUNITY ISLAND - EAST
1/2" = 1'-0"



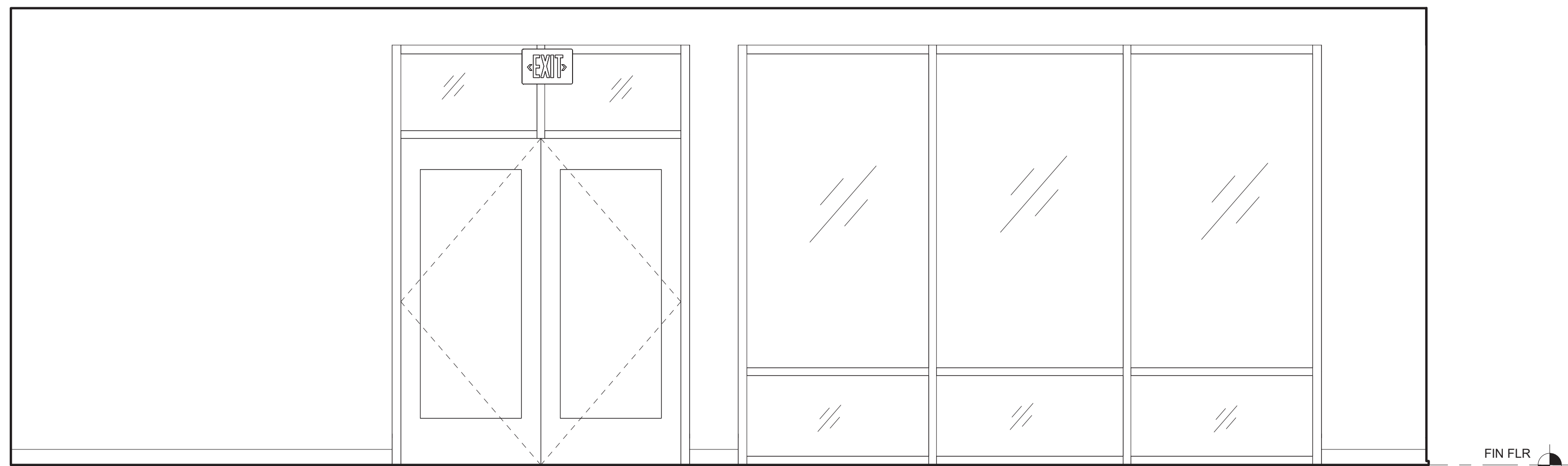
5 COMMUNITY ISLAND - SOUTH
1/2" = 1'-0"



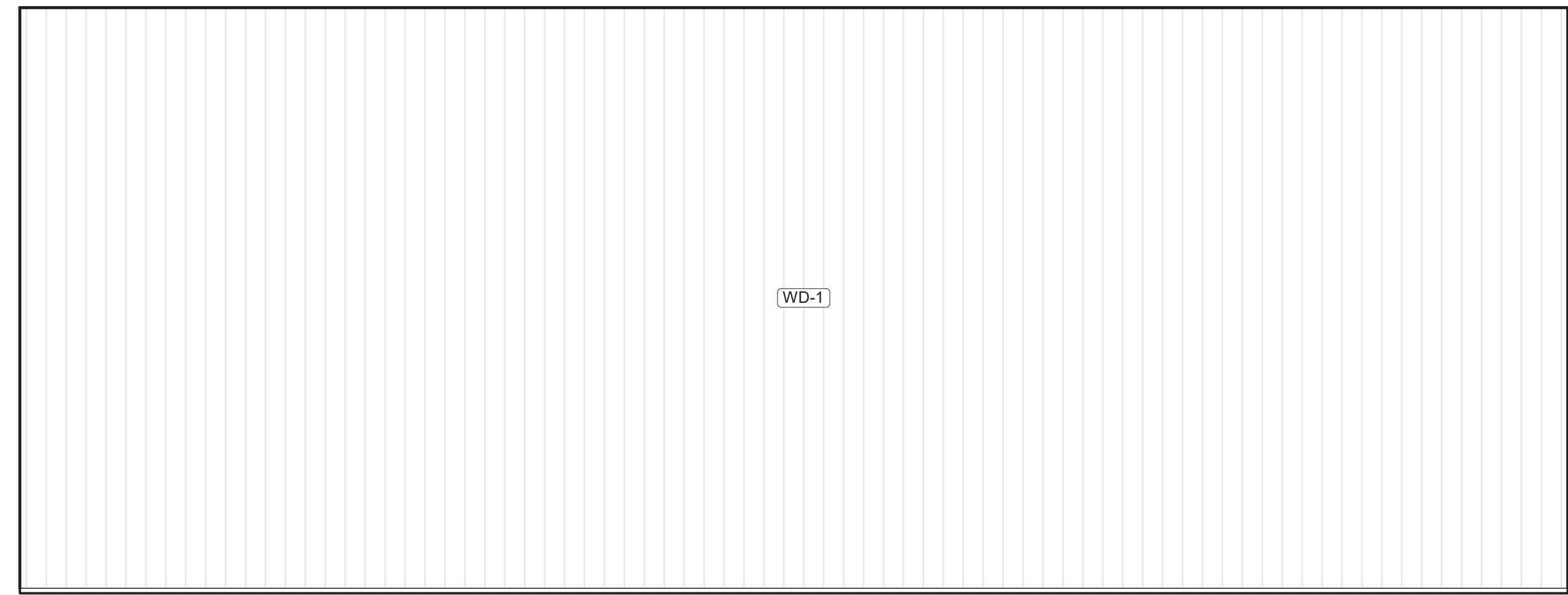
6 COMMUNITY ISLAND - WEST
1/2" = 1'-0"



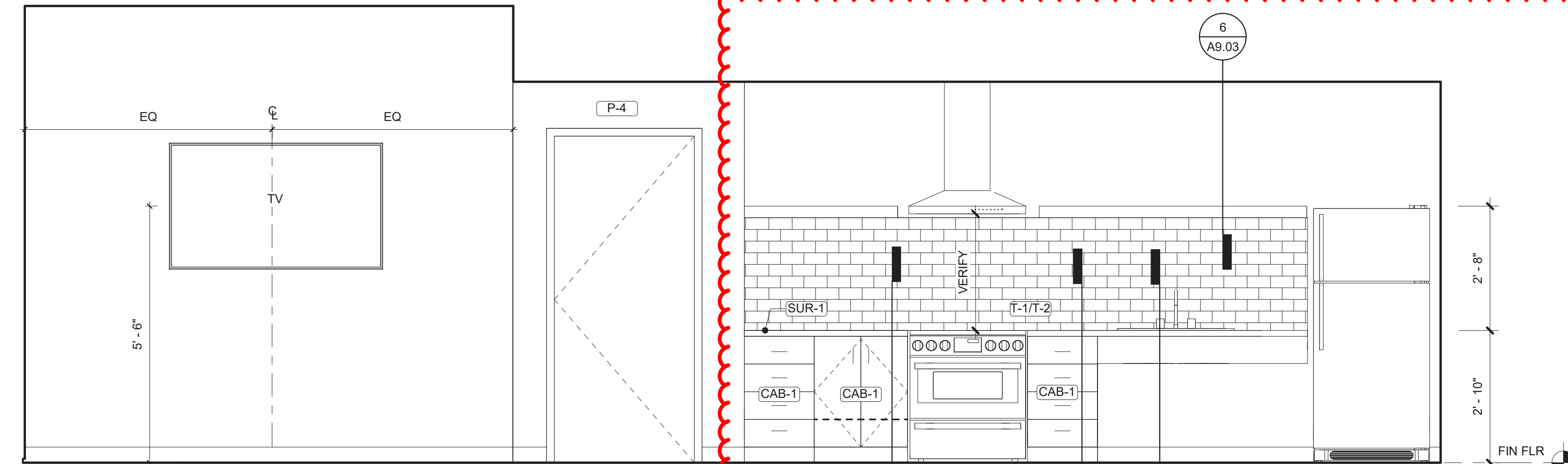
7 COMMUNITY RM - NORTH
1/2" = 1'-0"



8 COMMUNITY RM - EAST
1/2" = 1'-0"



9 COMMUNITY RM - SOUTH
1/2" = 1'-0"



10 COMMUNITY RM WEST
1/2" = 1'-0"

GENERAL SHEET NOTES- ENLARGED FLOOR PLANS

- A. ALL INTERIOR WALLS TO BE IW1-4 U.N.O.
- B. FILL CAVITY OF INTERIOR WALLS IW1-X WITH SOUND BATT INSULATION AT BATHROOMS.
- C. ALL INTERIOR WALL DIMENSIONS ARE TO F.O. STUD U.N.O.
- D. DOOR DIMENSIONS ARE TO CL U.N.O.
- E. DOORS NOT LOCATED BY DIMENSION TO BE PLACED 4 1/2" FROM F.O. STUD ON HINGE SIDE TO ROUGH OPENING OF JAMB.
- F. ALL OPENINGS AT CLOSET BYPASS DOORS ARE TO BE CENTERED ON CLOSET U.N.O.

GENERAL SHEET NOTES- REFLECTED CEILING PLANS

- A. ALL WALLS EXTEND TO BOTTOM OF STRUCTURE U.N.O.
- B. ALL CEILING HEIGHTS ARE FROM FINISH FLOOR ELEVATION.
- C. VERIFY ALL SPRINKLER HEAD LOCATIONS WITH FIRE PROTECTION DRAWINGS.
- D. CENTER LIGHTS IN ROOMS, SPACES OR SOFFITS UNLESS DIMENSIONED OTHERWISE.
- E. ALL LIGHT FIXTURES TO BE DIMENSIONED TO CENTER.
- F. SEE MECHANICAL DRAWINGS FOR GRILL TYPES.
- G. SEE MECHANICAL AND PLUMBING FOR REQUIRED ACCESS PANEL LOCATIONS. PAINT TO MATCH ADJACENT CEILING COLOR.

KEYNOTES (XX-XX)

S|E|A

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CENTENNIAL PLACE APARTMENTS

Job Number: 18045
3800 SE 164TH AVE
PORTLAND, OR 97236



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Drawing:

ENLARGED PLANS,
ELEVATIONS, & RCPS

Sheet No:

A2.57

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PLACE
APARTMENTS

Job Number: 18045

3800 SE 164TH AVE
PORTLAND, OR 97236

CODE SUMMARY LEGEND

1 HOUR RATED ASSEMBLY - 1/2 HOUR
RATED ASSEMBLY REQUIRED AT
CORRIDORS AND BETWEEN UNITS, UNO.WALL RATINGS TO CONTINUE ABOVE / BELOW
ALL DOORS, RELITES, ETC.

NAME
Occ. Grp.
SF
OLF#
Function

AREA NAME
OCCUPANCY (CH. 3)
AREA (SF)
OCCUPANT LOAD FACTOR /
NUMBER OF OCCUPANTS
FUNCTION (CH. 10)

* UNOCCUPIED AREA
OCCUPANT LOAD NOT
INCLUDED IN BUILDING
TOTALS

EXIT SIGN
SHADE INDICATES ILLUMINATED
FACE. ARROW INDICATES
DIRECTION TO EXIT

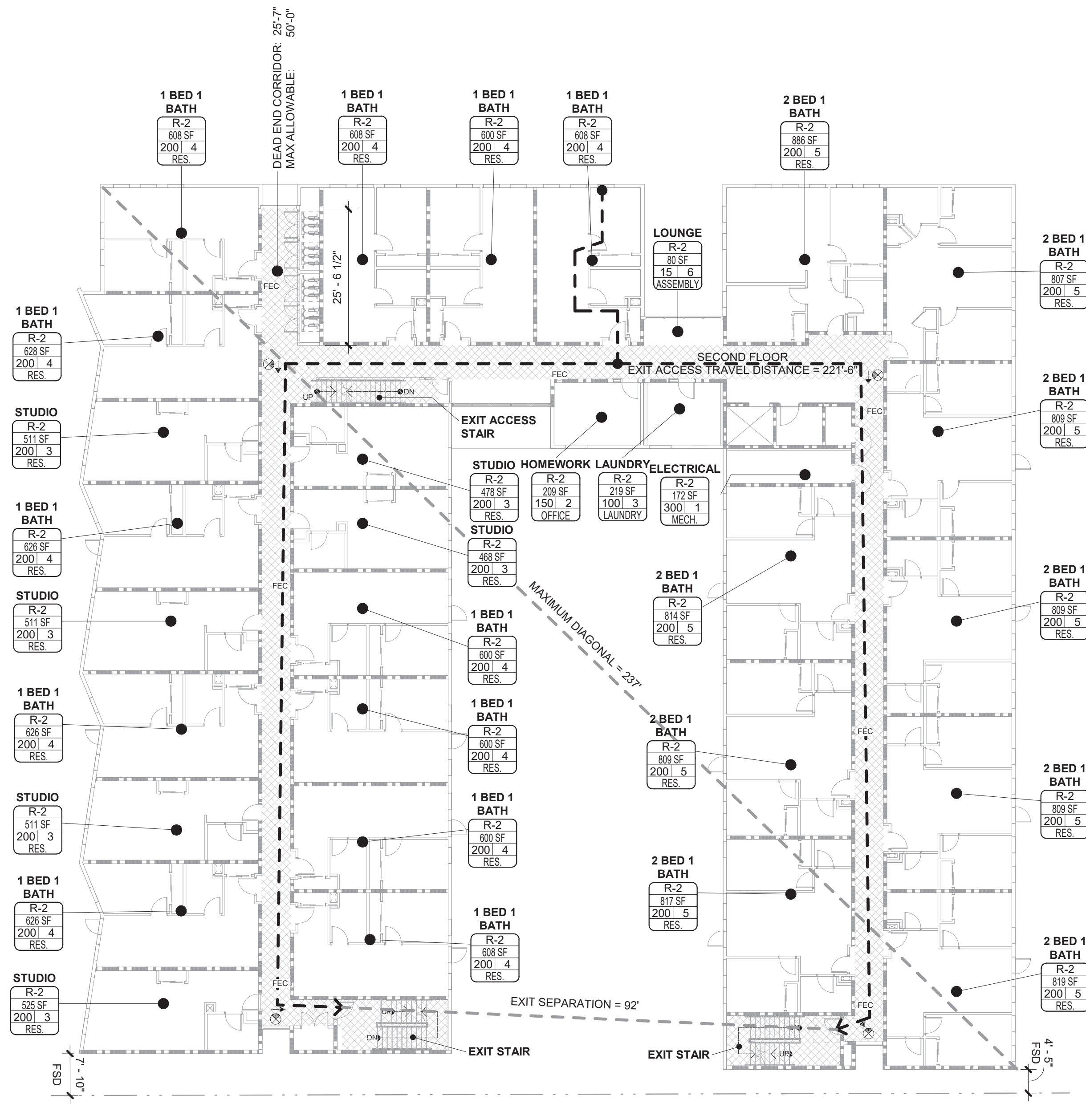
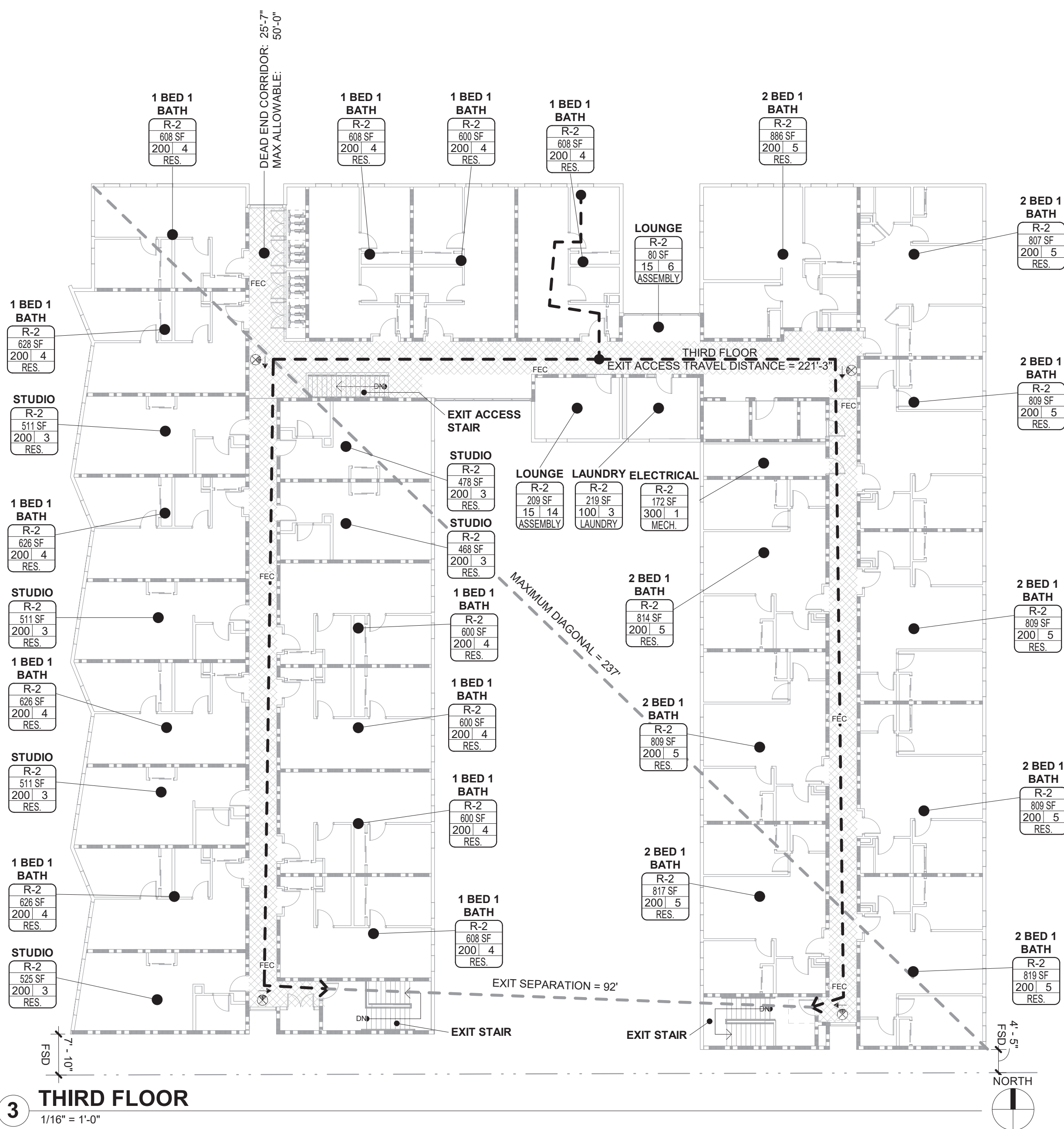
PATH A
100' - 0"

EXIT SEPARATION &
DIAGONAL DISTANCES

ILLUMINATED EGRESS PATH

A EXIT ACCESS DOOR

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1 FIRST FLOOR
1/16" = 1'-0"2 SECOND FLOOR
1/16" = 1'-0"3 THIRD FLOOR
1/16" = 1'-0"

LIFE SAFETY OCCUPANT LOAD SCHEDULE				
TABLE 1004.1.2				
AREA NAME	OCCUPANCY (CHAPTER 3)	FUNCTION OF SPACE	OCCUPANT LOAD FACTOR	OCCUPANT LOAD
FIRST FLOOR T.O. SLAB				
STUDIO	R-2	RES.	200	9
1 BED 1 BATH	R-2	RES.	200	32
2 BED 1 BATH	R-2	RES.	200	30
COMMUNITY ROOM	R-2	ASSEMBLY	15	49
LOBBY	R-2	ASSEMBLY	15	7
MAIL RM	R-2	OFFICE	100	1
OFFICE	R-2	OFFICE	150	4
BIKE RM	R-2	STORAGE	300	3
JAN. CLOSET	R-2	STORAGE	300	1
RESTRM	R-2	RESTROOM	100	1
LAUNDRY	R-2	LAUNDRY	100	2
ELECTRICAL	R-2	ELECTRICAL	300	2
TELECOM	R-2	TELECOM	300	1
MECHANICAL	R-2	MECH.	300	1
WATER	R-2	MECH.	300	1
TRASH RM	R-2	TRASH RM	300	1
COURTYARD	R-2	EXERCISE	50	74
PARKING	S-2	PARKING	200	12
				232
SECOND FLOOR T.O. SHEATHING				
STUDIO	R-2	RES.	200	18
1 BED 1 BATH	R-2	RES.	200	48
2 BED 1 BATH	R-2	RES.	200	45
LOUNGE	R-2	ASSEMBLY	15	6
HOMEWORK	R-2	OFFICE	150	2
LAUNDRY	R-2	LAUNDRY	100	3
ELECTRICAL	R-2	MECH.	300	1
				123
THIRD FLOOR T.O. SHEATHING				
STUDIO	R-2	RES.	200	18
1 BED 1 BATH	R-2	RES.	200	48
2 BED 1 BATH	R-2	RES.	200	45
LOUNGE	R-2	ASSEMBLY	15	20
LAUNDRY	R-2	LAUNDRY	100	3
ELECTRICAL	R-2	MECH.	300	1
				135
Grand total				490

EXIT ACCESS TRAVEL DISTANCE		
EGRESS PATH NAME	EGRESS PATH LENGTH	MAX ALLOWABLE
1ST FLR PATH	104' - 6"	250'
2ND FLR PATH	221' - 6"	250'
3RD FLR PATH	221' - 6"	250'

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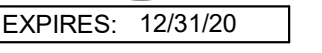
Drawing:

CODE SUMMARY
PLANS

Sheet No:

G1.02

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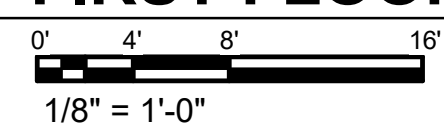
Job Number: 18045

**3800 SE 164TH AVE
PORTLAND, OR 97236**



M2.11

1 BASIS OF DESIGN: RUSKIN ELF375DX



NORTH

A simple compass rose with a circle divided into four quadrants by a vertical and a horizontal line. The word 'NORTH' is written above the top half of the circle.