

Development Services

From Concept to Construction

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APPEAL SUMMARY

Status: Hold for additional information - Reconsideration of ID 23368, item #1

Appeal ID: 23501

Project Address: 203 NE Grand Ave

Hearing Date: 2/26/20

Appellant Name: D. Michael Jones

Case No.: B-011

Appellant Phone: 5034812614

Appeal Type: Building

Plans Examiner/Inspector: Brian McCall

Project Type: commercial

Stories: 8 **Occupancy:** R-2, B, S-2 **Construction Type:** 3 stories 1A; 5 stories 3A

Building/Business Name: Grand Ave - Fairfield Residential

Fire Sprinklers: Yes - All floors

Appeal Involves: Erection of a new structure, Reconsideration of appeal

LUR or Permit Application No.: 19-144501-CO

Plan Submitted Option: pdf [File 1]

Proposed use: Multi-family Residential Apartments

APPEAL INFORMATION SHEET

Appeal item 1

Code Section

705.2

Requires

OSSC 705.2. Projections.

Cornices, eave overhangs, exterior balconies and similar projections extending beyond the exterior wall shall conform to the requirements of this section and Section 1406. Exterior egress balconies and exterior exit stairways and ramps shall also comply with Sections 1019 and 1026, respectively. Projections shall not extend any closer to the line used to determine the fire separation distance than shown in Table 705.2.

Code Modification or Alternate Requested

Reconsideration:

Provide equivalent protection to exterior wall elements by utilizing a fire-rated shutter on fusible link.

Original Modification:

The project team is questioning the definition of "projection" as it applies to the element in question.

The design employs a series of three-story box elements to frame exterior balconies on different facades. These box elements are structured as part of the exterior walls and floor construction at the relevant levels.

On all but one façade, the boxes face public rights-of-way or have a setback that is greater than 10'-0", where the fire-separation distances are adequate to allow for an approximate 4'-0" depth, so the question of whether these are projections or part of the exterior wall geometry is moot.

At the NW corner, however, this design element extends to within close proximity of the property line with the adjacent lot. This particular box starts at Level 6 and is part of the type III-A construction with 2-hour exterior bearing walls. Code prescribes 1-hour floors and supporting structural elements that form the box elements on these floors. Design team proposes to continue the 2-hour wall design at floors and roofs forming the box. The three story box frames steel balconies on all sides and will be covered by a 2-hour roof as prescribed in Table 601. The intermediate balconies are of steel, (non-combustible) construction, so does not present a fire hazard in terms of flammability or propagation. Every part of the exterior wall and roof that surrounds these balconies is constructed consistently with other structural elements at that floor. For this reason, the team would appeal that these elements are, in fact, part of the building enclosure and not a the type of projection defined by the code that would constitute a fire risk. As part of the building, they are also protected by NFPA 13 fire suppression system.

Proposed Design

Reconsideration:

Project team proposes to use a large (20'x30') overhead coiling shutter, rated for 3-hr protection on a fusible link that will lower the shutter in the event of fire. Shutter motor, housing and steel jamb elements to be recessed into soffit and wall framing to conceal them from view. Shutter will enclose all projected elements that are within the prohibited zone, (<3'-0" from property line). Floor at Level 6 will be upgraded to 2-hour horizontal assembly to be consistent with enclosing wall elements.

Original Proposal:

Continuation of the 2-hour wall rating around the entire box element to serve as a fire block to protect interior elements from flame propagation. Interior, non-combustible steel balconies will be protected by NFPA 13 sprinklers and supported by vertical framing enclosed in 2-hour walls and floors.

Reason for alternative Reconsideration:

Projected elements are a highly visible feature of the design and were a key component in LUR approval. Shutter would offer equivalent protection for life safety, while allowing residents visual access to I-84 corridor and city skyline. All other required life safety features will remain in place, 2-hr walls and floor, 1-hr roof, and NFPA 13 fire suppression system for all occupied areas.

Original Reason for Alternative:

These design elements are part of the land-use approval criteria. The proposed design provides equivalent fire protection as part of the overall building construction and fire-suppression system and do not pose a fire risk that an unprotected, combustible projection would as defined in Section 705.2.

APPEAL DECISION

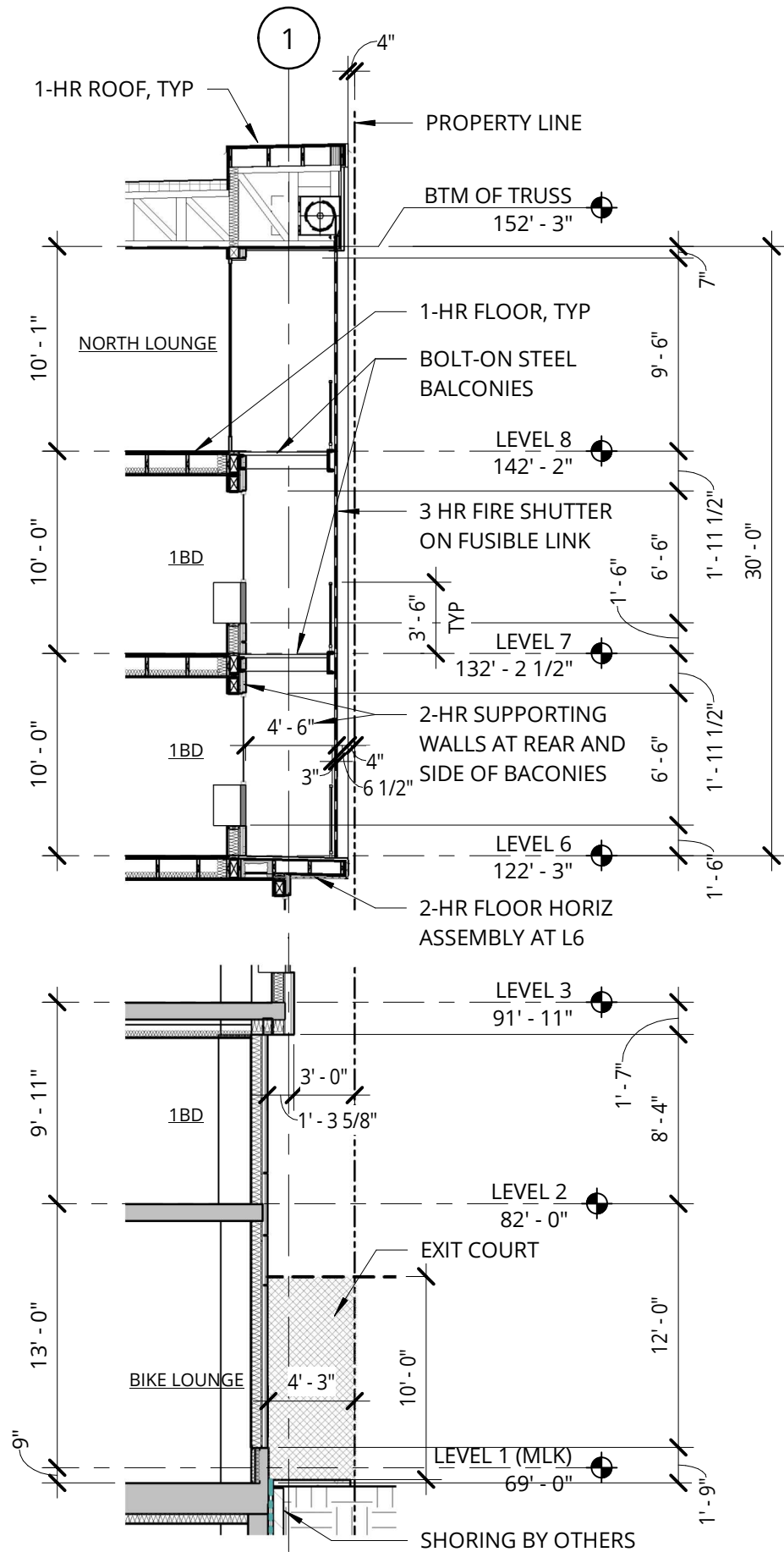
Reduction in minimum required fire separation distance of balcony projections: Hold for additional information.

Appellant may contact John Butler (503 823-7339) with questions.

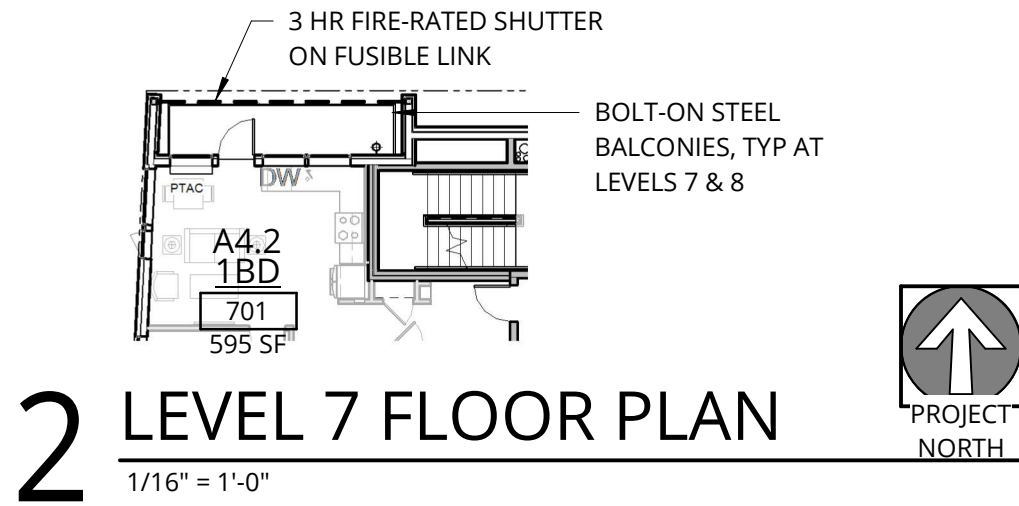
Additional information is submitted as a no fee reconsideration, following the same submittal process and using the same appeals form as the original appeal. Indicate at the beginning of the appeal form that you are filing a reconsideration and include the original assigned Appeal ID number. The reconsideration will receive a new appeal number.

Include the original attachments and appeal language. Provide new text with only that information that is specific to the reconsideration in a separate paragraph(s) clearly identified as "Reconsideration Text" with any new attachments also referenced. No additional fee is required.

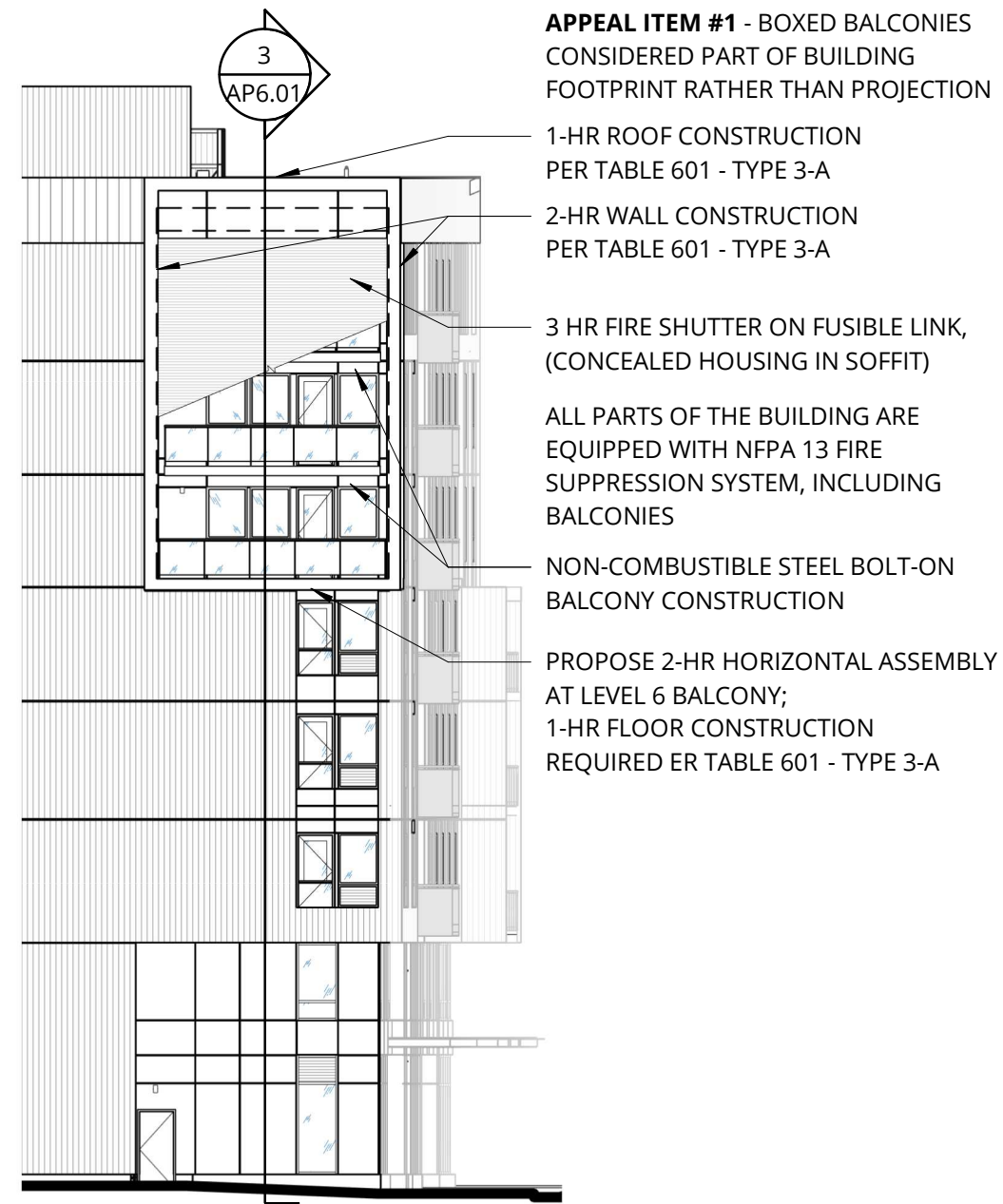
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3 WALL SECTION
1/8" = 1'-0"



2 LEVEL 7 FLOOR PLAN
1/16" = 1'-0"



1 PARTIAL NORTH ELEVATION
1/16" = 1'-0"



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GRAND AVE MIXED USE APARTMENTS

203 NE GRAND AVE, PORTLAND, OR 97232

FAIRFIELD RESIDENTIAL

NW CORNER APPEAL

BUILDING CODE
APPEALS

DATE: 02.19.2020

PROJECT #: 173900

AP6.01