

Development Services

From Concept to Construction

Phone: 503-823-7300 Email: bds@portlandoregon.gov 1900 SW 4th Ave, Portland, OR 97201

More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



APPEAL SUMMARY

Status: Decision Rendered

| | |
|---|--|
| Appeal ID: 23500 | Project Address: 2133 N Argyle St |
| Hearing Date: 2/26/20 | Appellant Name: ian Flood |
| Case No.: B-010 | Appellant Phone: 5034168121 |
| Appeal Type: Building | Plans Examiner/Inspector: Brian McCall, Fred Barsukoff, Ken Majors, Michael Silva |
| Project Type: commercial | Stories: 4 Occupancy: R-2 Construction Type: V-A |
| Building/Business Name: Renaissance Commons | Fire Sprinklers: Yes - throughout |
| Appeal Involves: Erection of a new structure | LUR or Permit Application No.: |
| Plan Submitted Option: pdf [File 1] [File 2] | Proposed use: Housing |

APPEAL INFORMATION SHEET

Appeal item 1

Code Section 1009.16

Requires In buildings four or more stories above grade plane, one stairway shall extend to the roof surface, unless the roof has a slope steeper than four units vertical in 12 units horizontal (33-percent slope). In buildings without an occupied roof, access to the roof from the top story shall be permitted to be by an alternating tread device or a ship stair or ladder that is constructed of steel, is a minimum 30 inches (762 mm) between handrails, has a rise and run of the stair or ladder of 12 inches (304.8) maximum and 4 inches (101.6 mm) minimum respectively and has handrails provided on both sides of the stair or ladder.

Code Modification or Alternate Requested

Proposed Design The project has two roof hatches with overall dimensions of 3'-0" x 8'-0". We propose to construct the ship's ladders from the stairways to the rooftop with overall widths of 33" leaving 30" clear between the handrails while still maintaining 1 1/2" clear between the outside of one handrail to the wall. At the plane of the framed ceiling opening, we will continue one handrail to the roof. Our proposal will allow one entirely clear graspable surface to run continuously, but the framed opening and sheetrock can remain.

Reason for alternative Section 1009.16 Stairway to roof requires a 30 inch wide between handrails. To have full bearing for the roof hatch attachment angle on the roof trusses below, and then drywall and framing on each side of the access hatch, the overall width of the area becomes roughly 34.75". To provide a consistent and maximum width for handrails and treads, while maintaining handrail clearances from walls (1 1/2"), and fit within, an overall width of 33" is achievable for the stair with only a single handrail to the roof from the bottom of the ceiling plane. This yields a clear handrail to

handrail dimension of 30" to the ceiling and one handrail extended through the hole with 1'1/2" clearance.

The proposed design works with the structural bearing of the ship's ladder while allowing safe access to the roof. The 1-1/2" diameter handrail with 1-1/2" clearance will be set on the access handle/latch side of the hatch so the user will not have to reach across the access hatch for leverage. (See the last page of attached .pdf package for diagram)

APPEAL DECISION

Ships ladder to unoccupied roof with omission of one handrail at roof access hatch: Granted provided two handrails are installed with 1.5 inch clearance on each side and reduced clear width between handrails.

Appellant may contact John Butler (503 823-7339) with questions.

The Administrative Appeal Board finds with the conditions noted, that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

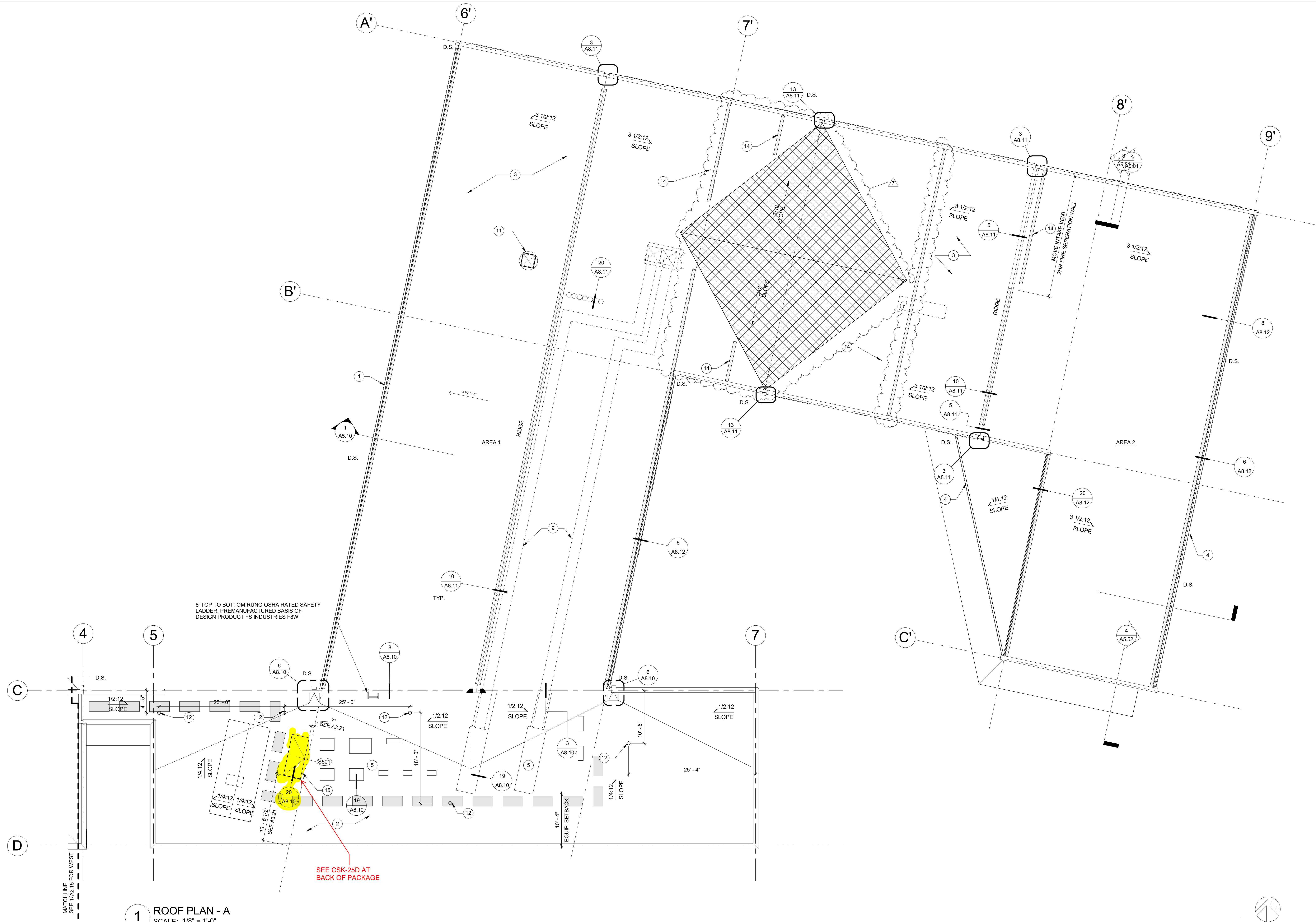
Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 90 calendar days of the date this decision is published. For information on the appeals process, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.

| REVISION NO | DATE |
|-----------------|----------|
| 1. BID SET | 10/29/18 |
| 2. PERMIT REV 1 | 11/02/18 |
| 6. CONST. SET | 01/21/19 |
| 7. CONST. REV. | |

ARGYLE
APARTMENTS
2133 N ARGYLE STREET
PORTLAND, OR 97217

ISSUANCE
CONSTRUCTION SET
DATE
06/14/2019
SCALE
As indicated
PROJECT NUMBER
201663.00
DRAWN BY
IMF
DRAWING TITLE
ROOF PLAN - A

SHEET NUMBER
A2.05



SHEET GENERAL NOTES

- DIMENSIONS ARE TO GRIDLINE, FACE OF STUD, CONCRETE, CMU, AND CENTERLINE OF PARTY WALLS, COLUMNS, DOORS AND WINDOWS, U.I.O.
- DOWNSPOUT LOCATION DENOTED BY D.S. SEE BUILDING ELEVATIONS FOR ADDITIONAL GUTTER AND DOWNSPOUT ROUTING INFORMATION.
- MECHANICAL, ELECTRICAL, AND PLUMBING SUBCONTRACTORS TO COMPLY W/ FIRE BLOCKING AND FIRE STOPPING REQUIREMENTS AT ALL PENETRATIONS OF RATED WALL AND FLOOR/CEILING ASSEMBLIES.
- COORDINATE LOCATION OF RADON PIPING W/ MECHANICAL EQUIPMENT
- LOCATE RADON PIPING NOT LESS THAN 10" FROM ROOF VALLEY
- NOT ALL KEYNOTES OR LEGEND SYMBOLS USED ON EVERY SHEET.

KEYNOTES

- PARAPET
- SINGLE PLY MEMBRANE ROOF
- ASPHALT SHINGLE ROOF
- GUTTER
- MAKEUP AIR UNIT
- EXPANSION JOINT CAP
- ROOFTOP DUCTING / SHAFT
- DAS SHAFT AND ANTENNA SYSTEM
- TRASH CHUTE VENTING
- FALL PROTECTION POST AND CABLE
- ROOFTOP UNIT
- LINE OF INTAKE VENT. ALIGN WITH SHEAR WALL BELOW
- 3X8 ROOF ACCESS HATCH

SYMBOL (X)

LEGEND

- LOCATION OF DRAFT STOP. DRAFT STOP CONSTRUCTION TO BE 5/8" TYPE 'X' GYPSUM BOARD OR 1/2" PLYWOOD
- D.S. DOWNSPOUT LOCATION, COORDINATE BOOT CONNECTION WITH PLUMBING AND CIVIL DRAWINGS
- ROOF CRICKET, 2/12 LOW SLOPE SHINGLE ROOF OVER HI-TEMP SAM
- RIDGE VENT
- CONTINUOUS EAVE VENT (SEE 6/A8.12) SHED VENTING (SEE 20/A8.12)

ROOF VENTILATION

| ROOF AREA ID | ATTIC AREA (SF) | VENTILATION AREA REQ'D. (SQ. IN. 1/300) | VENT TYPE 1 (RIDGE VENT = 16 SQ.IN./LFT) | VENT TYPE 2 (CONTINUOUS INTAKE VENT = 9 SQ.IN./LFT) | TOTAL VENTILATION PROVIDED (SQ.IN.) |
|--------------|-----------------|---|--|---|-------------------------------------|
| AREA 1 | 7837 SF | 3761 | 2241 | 1984 | 4189 |
| AREA 2 | 6112SF | 2934 | 864 | 1746 | 2610 |
| AREA 3 | 7363 SF | 3540 | 1728 | 1944 | 3672 |
| AREA 4 | 9075 SF | 4356 | 1920 | 2646 | 4566 |



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6. NOT ALL KEYNOTES OR LEGEND SYMBOLS USED ON EVERY SHEET.

SYMBOL (X)


- 1 PARAPET
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12 LINE OF INTAKE VENT. ALIGN WITH SHEAR WALL BELOW
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14 3x8 ROOF ACCESS HATCH

LOCATION OF DRAFT STOP. DRAFT STOP CONSTRUCTION TO BE 5/8" TYPE 'X' GYPSUM BOARD OR 1/2" PLYWOOD

D.S. COWNSPOUT LOCATION. COORDINATE BOOT CONNECTION WITH PLUMBING AND CIVIL DRAWINGS



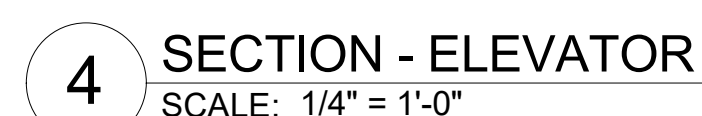
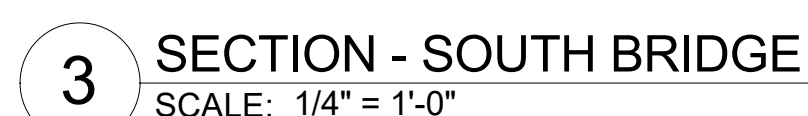
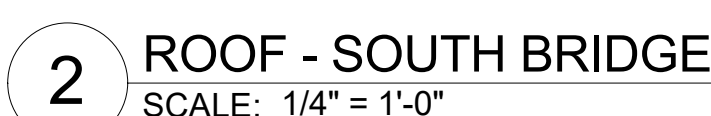
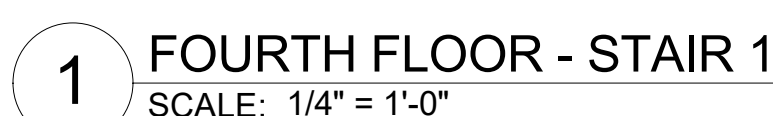
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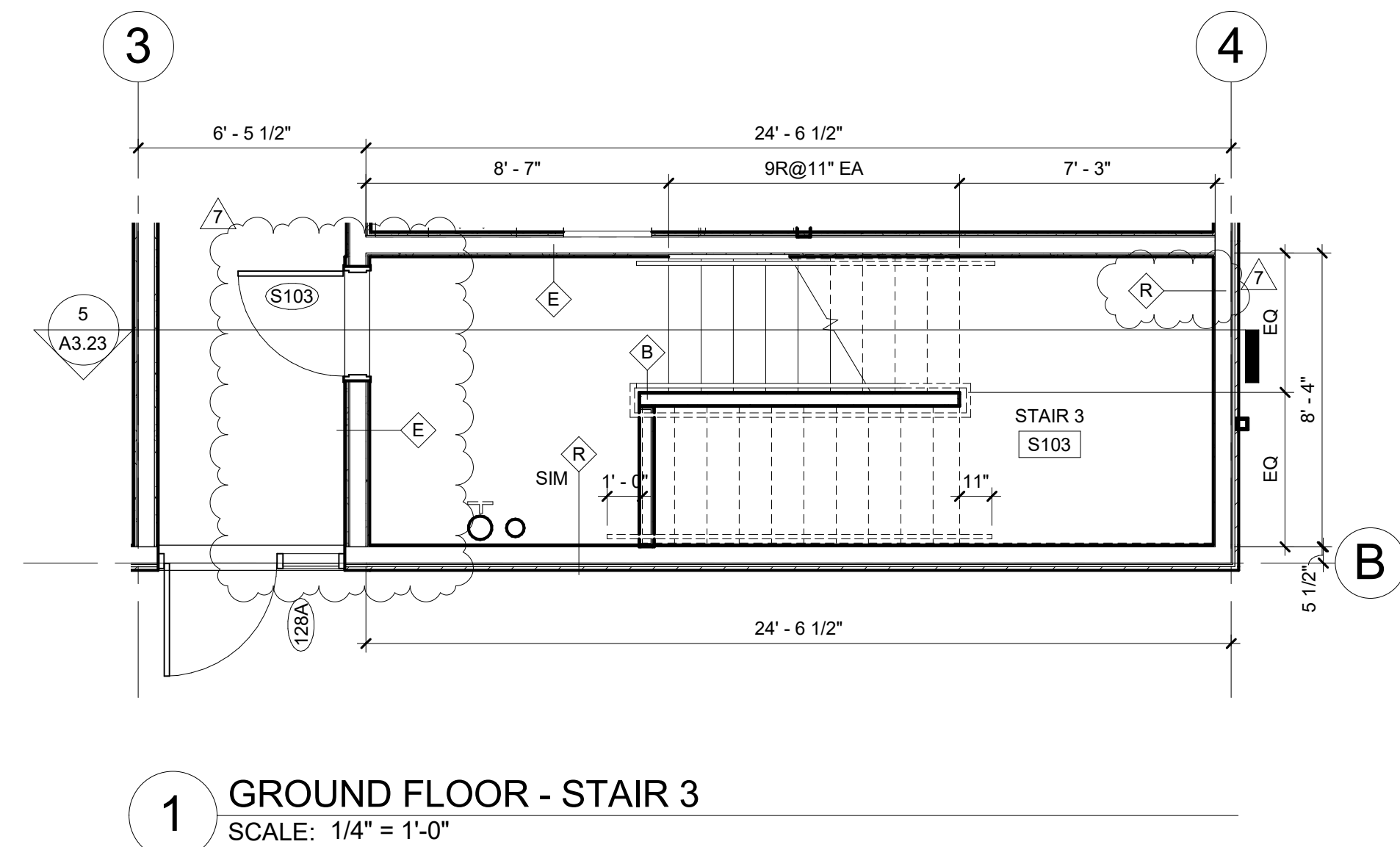
RIDGE VENT

 CONTINUOUS EAVE VENT (SEE 6/A8.12)
 SHED VENTING (SEE 20/A8.12)

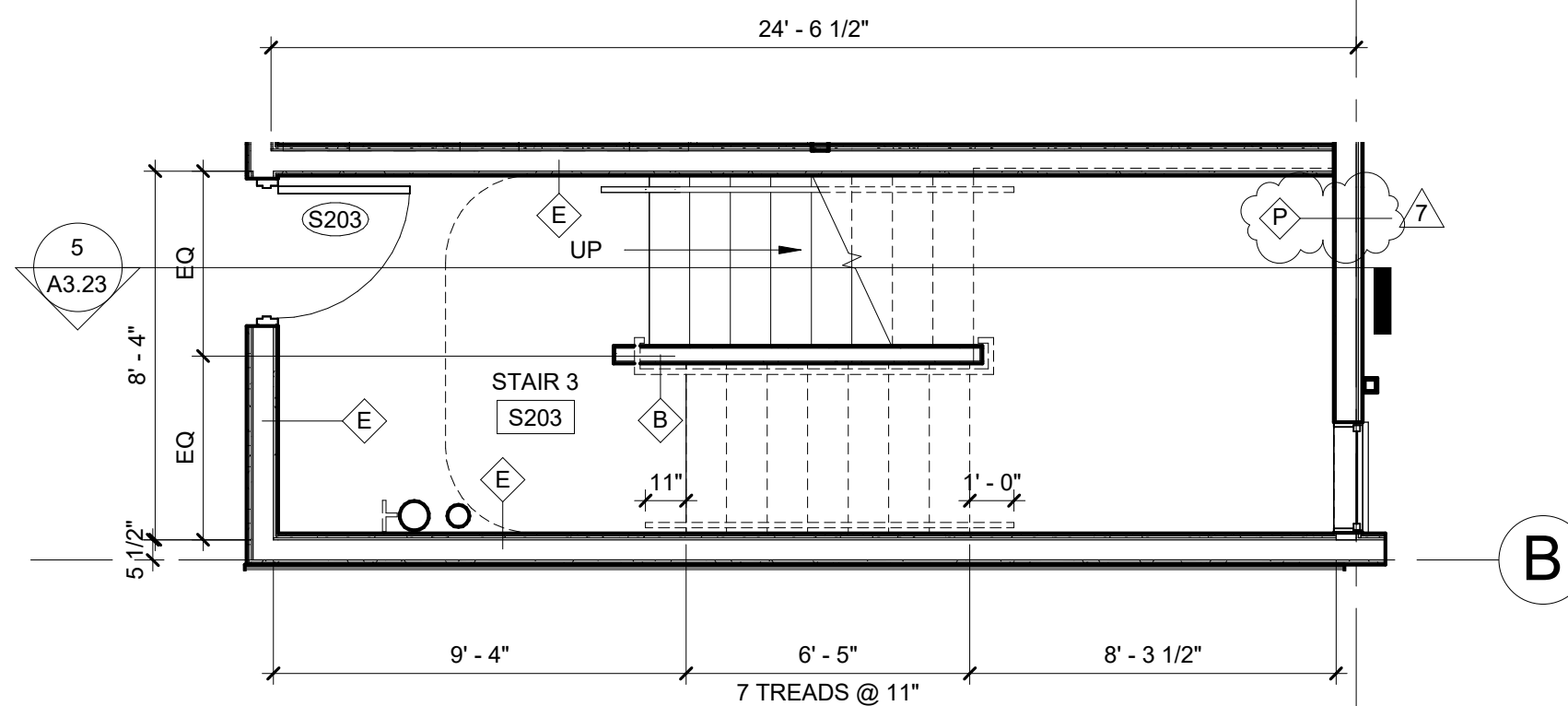
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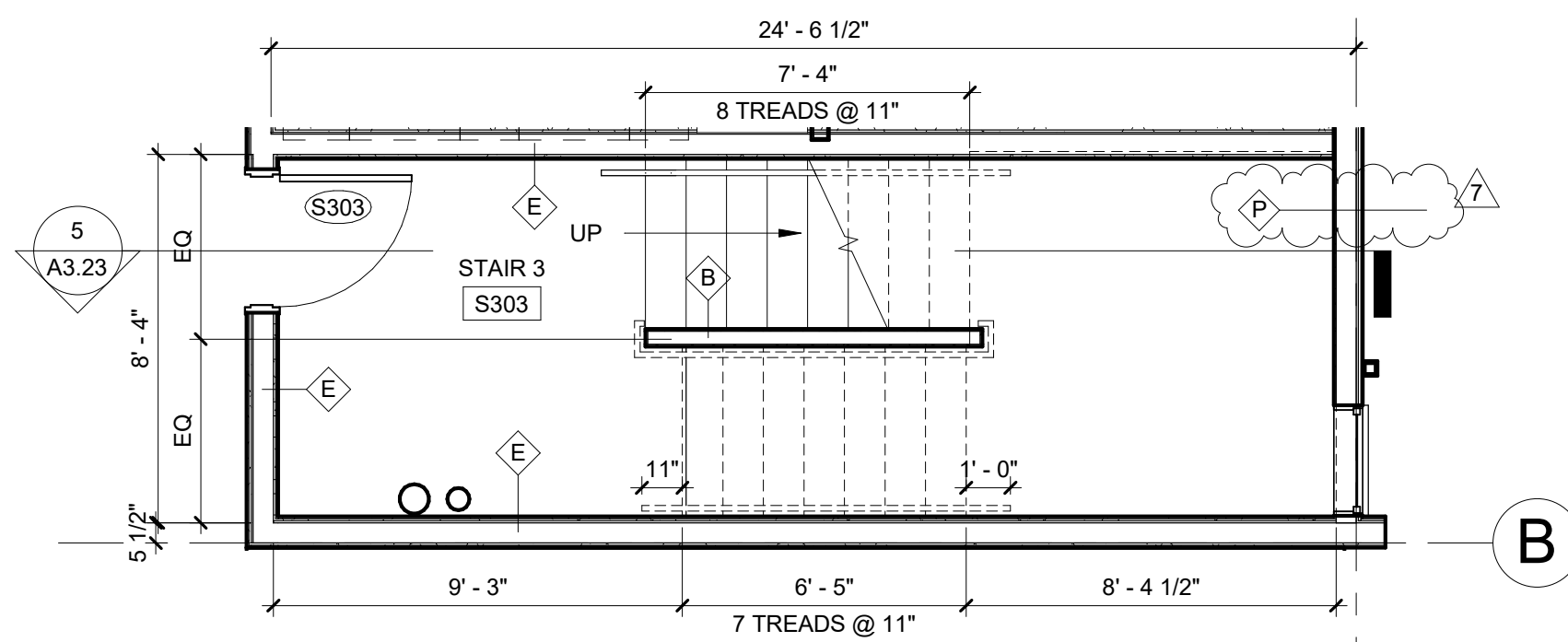
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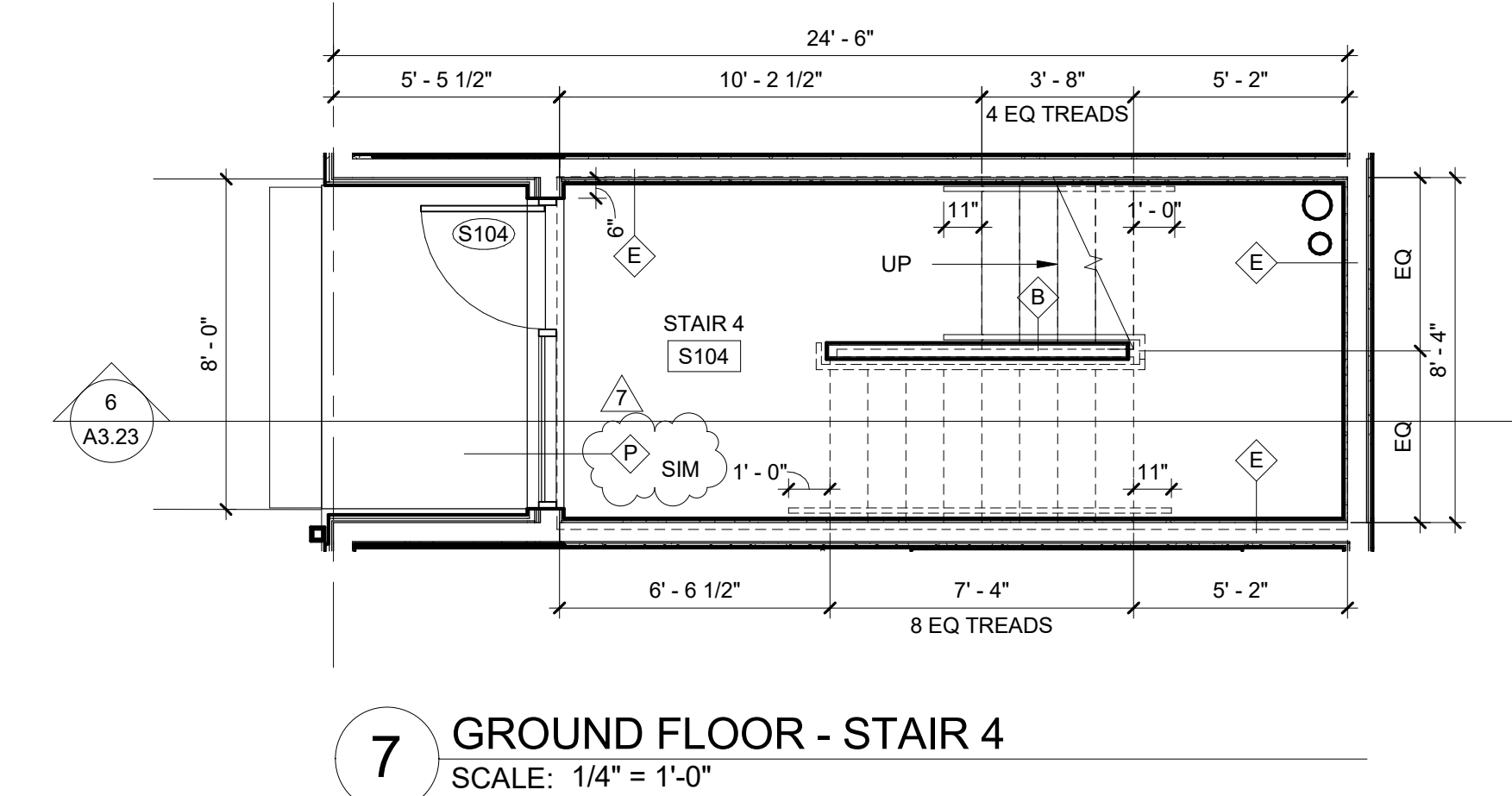
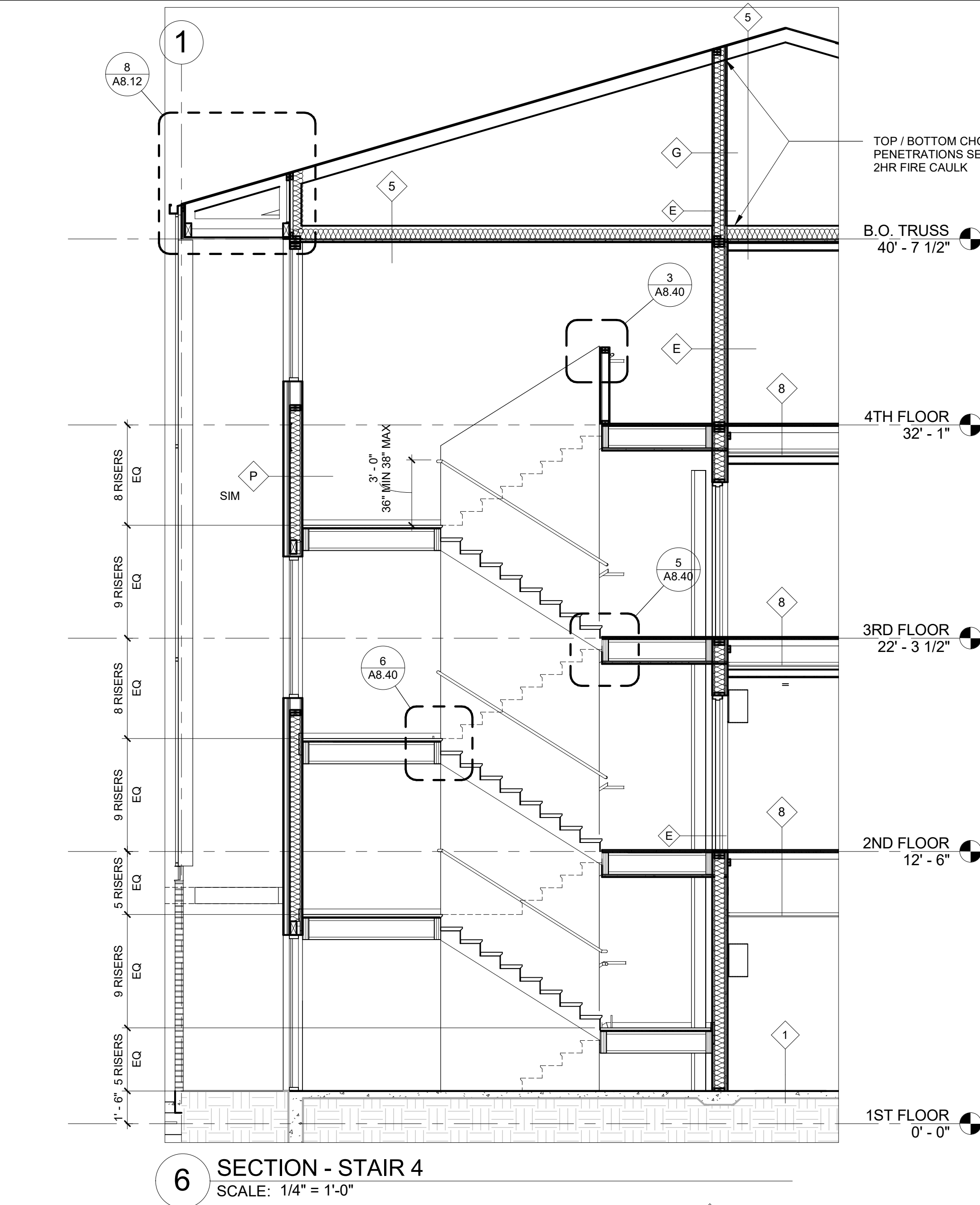
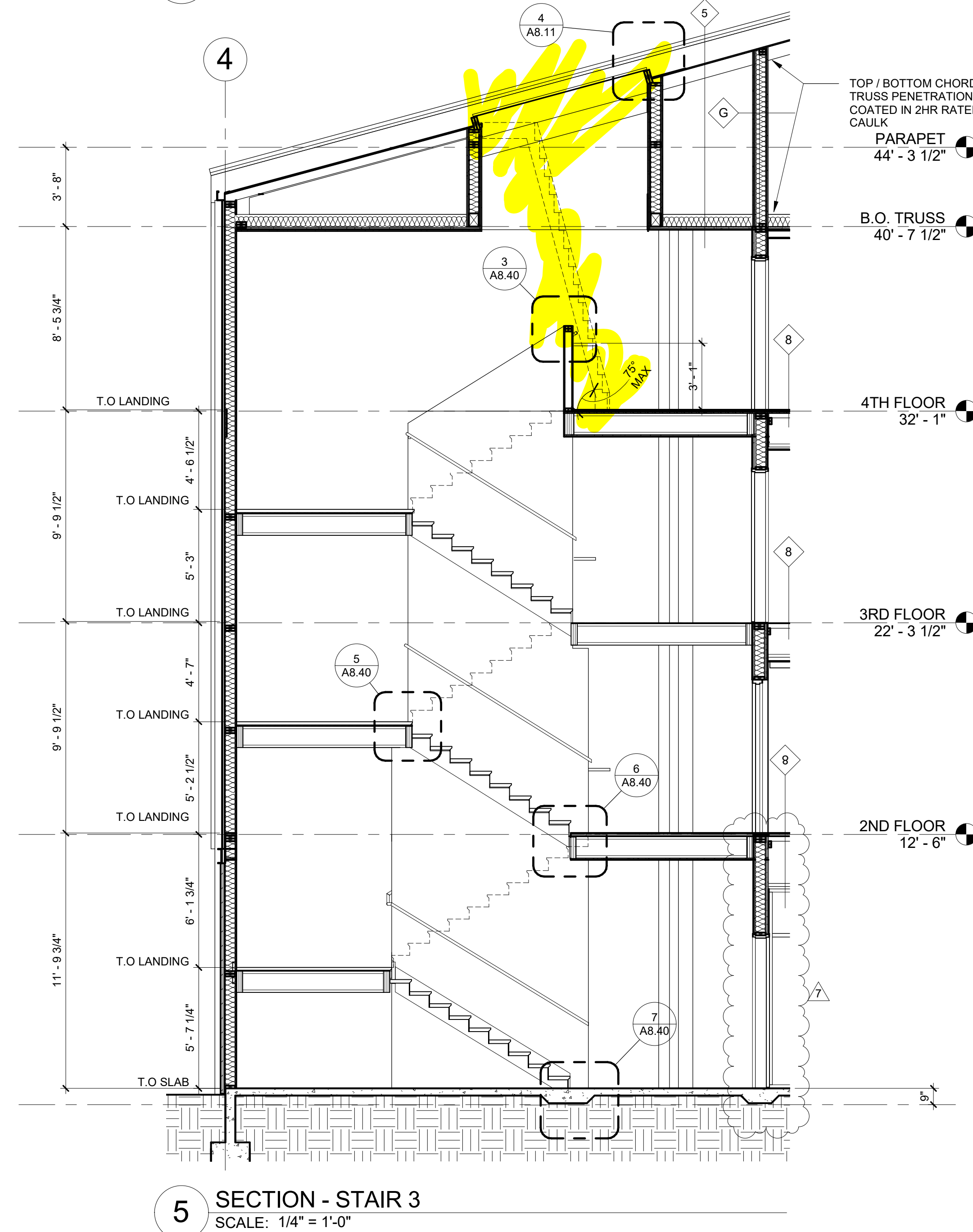
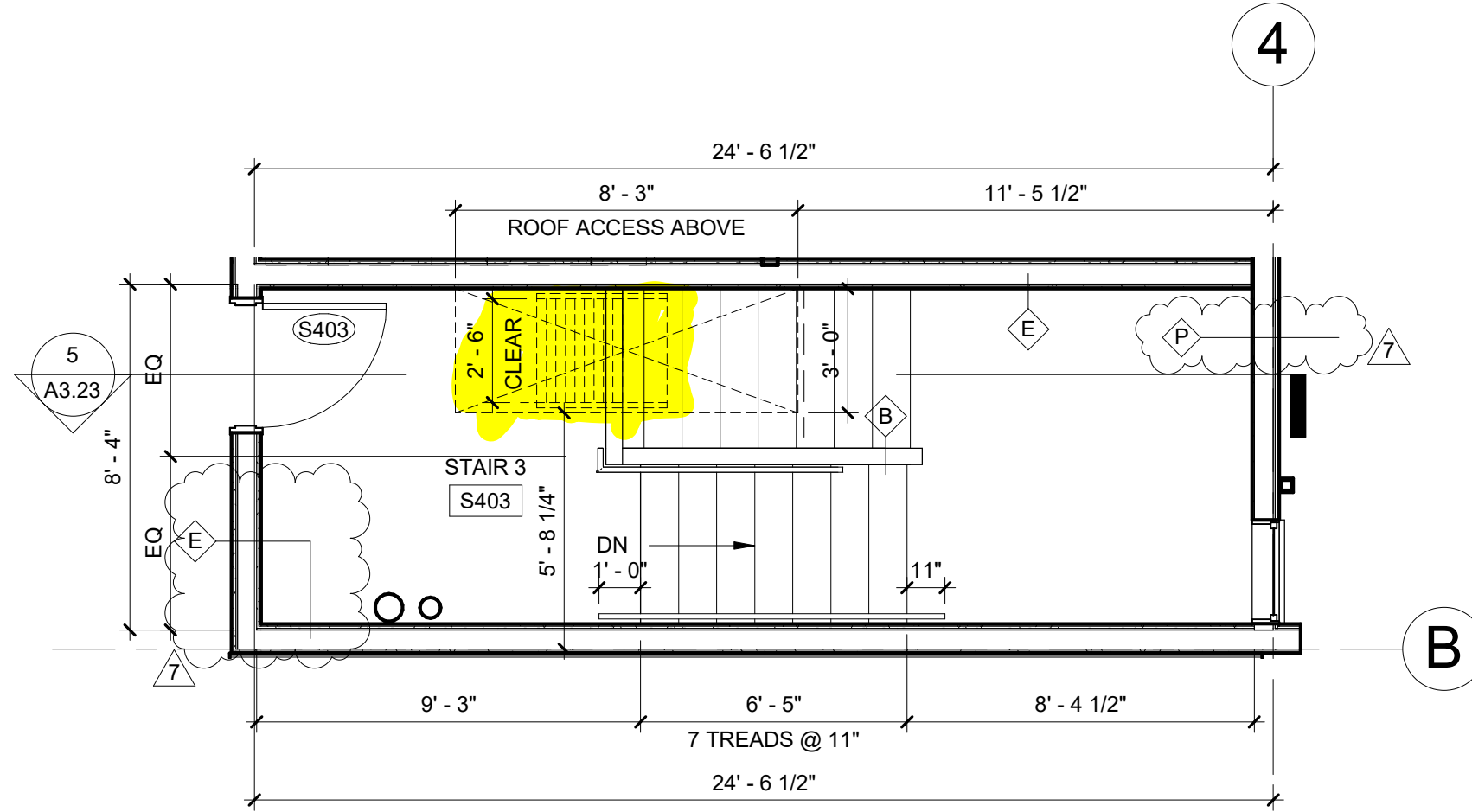
2 SECOND FLOOR - STAIR 3
SCALE: 1/4" = 1'-0"



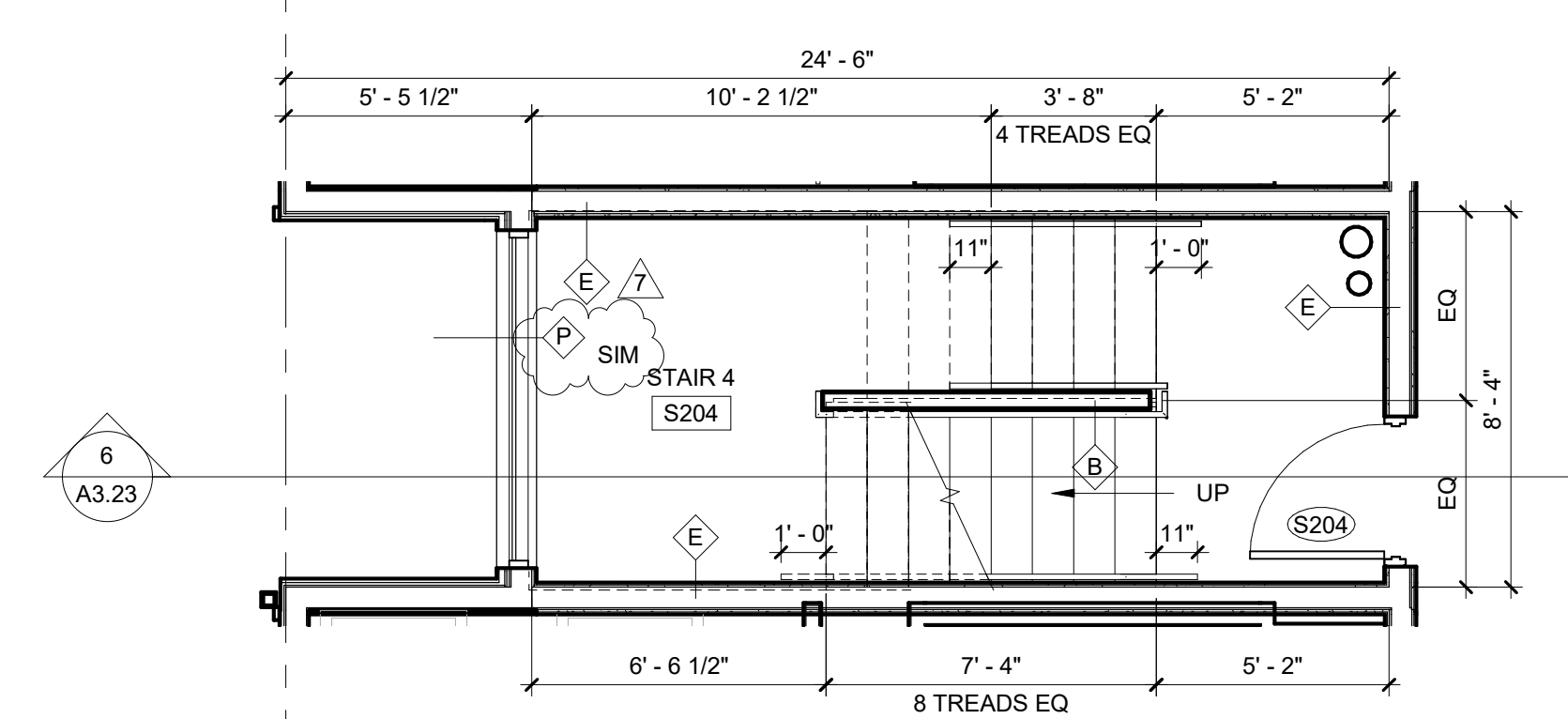
3 THIRD FLOOR - STAIR 3
SCALE: 1/4" = 1'-0"



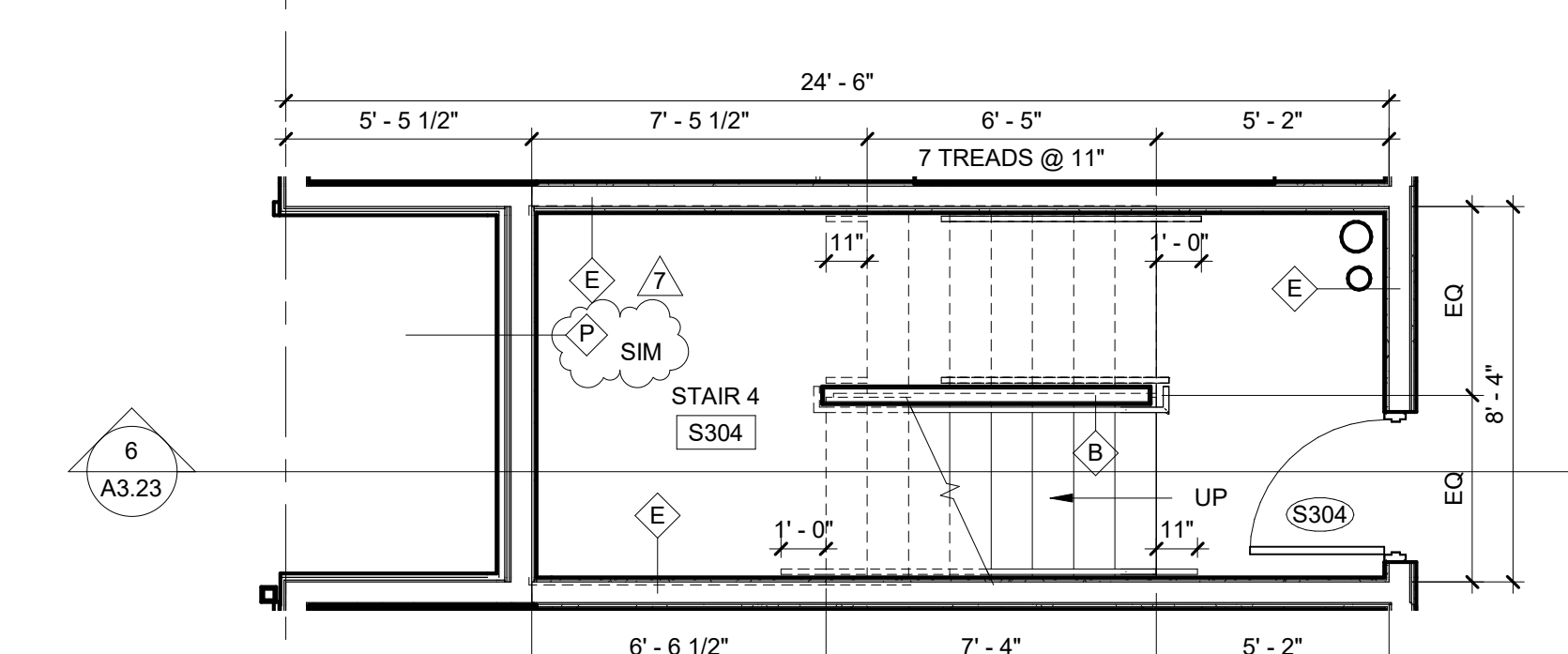
4 FOURTH FLOOR - STAIR 3
SCALE: 1/4" = 1'-0"



8 SECOND FLOOR - STAIR 4
SCALE: 1/4" = 1'-0"



9 THIRD FLOOR - STAIR 4
SCALE: 1/4" = 1'-0"



10 FOURTH FLOOR - STAIR 4
SCALE: 1/4" = 1'-0"

