

Development Services

From Concept to Construction

Phone: 503-823-7300 Email: bds@portlandoregon.gov 1900 SW 4th Ave, Portland, OR 97201

More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



APPEAL SUMMARY

Status: Decision Rendered

Appeal ID: 23492	Project Address: 1336 N Watts St
Hearing Date: 2/26/20	Appellant Name: William Neburka
Case No.: B-006	Appellant Phone: 5035452506
Appeal Type: Building	Plans Examiner/Inspector: Anne Schmidt
Project Type: commercial	Stories: 3 Occupancy: R-2 Construction Type: V-B
Building/Business Name:	Fire Sprinklers: Yes - All
Appeal Involves: Erection of a new structure	LUR or Permit Application No.: 19-190314-CO
Plan Submitted Option: pdf [File 1]	Proposed use: Residential

APPEAL INFORMATION SHEET

Appeal item 1

Code Section 1026.6, 1022.7

Requires Exterior exit stairways shall be separated from the interior of the building as required in Section 1022.2 (1 hour fire barrier in our case). Openings shall be limited to those necessary for egress from normally occupied spaces.

Code Modification or Alternate Requested We propose a standard frame window with fixed tempered glazing and dedicated sprinkler coverage as the equivalent of the required 3/4hr protected opening.

Proposed Design Our project contains a single exterior stairway serving 4 units on 2 floors. The stairway is separated from the occupied space by the required 1hr assembly. At the northeast corner of the stair the exterior wall returns north along the face of the building. We have indicated that the rating extend for 10' northward which contains windows and doors providing light and access to the adjacent tenant spaces. We propose providing fixed window units with tempered glass in these locations and provide a sprinkler head providing coverage at each opening, spaced a minimum of 4" and a maximum of 24" from the glass plane. The city has granted this type of appeal previously on numerous projects.

At the ground floor a single unit entry/egress door falls within the 10' extension of the rated wall. We propose a solid wood frame, single lite entry door with a tempered glass lite and spring-loaded self-closing device.

Reason for alternative We feel that a traditional fixed window assembly with the dedicated sprinkler coverage not only provides equivalent protection to the low number of building occupants but also provides superior energy performance compared to steel frame labeled windows.

The entry egress door requiring protection as part of the 1 hr rating extension from the stairway serves only a single unit. We have located the door as far from the stair as we can (6.5'). The visibility and natural light provided by the glazed lite coupled with the protective measures of a self-closer and dedicated sprinkler coverage satisfy potential safety requirements.

Appeal item 2

Code Section	705.8.6.2
Requires	Vertical exposure for buildings on separate lots. When a new building is to be erected adjacent to an existing building, all openings in the exterior wall of the new building are required to be not less than ¾ hour when these openings are less than 15 feet vertically above the roof of the existing building or structure."
Code Modification or Alternate Requested	To provide flame spread protection between adjacent structures.
Proposed Design	<p>Where we do not need operable windows for required ventilation or egress, we propose providing conventional fixed window units with tempered glass in these locations, and providing sprinkler head coverage at each opening, spaced a minimum of 4" and a maximum of 24" from the glass plane. The city has granted this type of appeal previously on numerous projects.</p> <p>Where unit entry/egress doors fall within this adjacency requiring protection, we propose We propose solid wood frame, single lite entry doors with a tempered glass lite and spring-loaded self-closing device.</p>
Reason for alternative	<p>These small multi-family structures are similar in use and bulk to adjacent single and two family residential structures, while providing far superior construction requirements, setback requirements, as well as full sprinkler coverage.</p> <p>We feel that a traditional fixed window assembly with the dedicated sprinkler coverage not only provides equivalent protection to the low number of building occupants but also provides superior energy performance compared to steel frame labeled windows. The superior visibility and natural light provided by a glazed solid frame door coupled with the protective measures of a self-closer and dedicated sprinkler coverage, we feel, satisfy the safety requirements of this code section.</p>

APPEAL DECISION

1. Type 13 water curtain sprinkler protection at non-fire rated openings in exterior walls within 180 degrees of exit stair: Granted provided windows are non-operable and sprinklers are spaced not more than 6 feet apart and placed a minimum of 6 inches and a maximum of 12 inches from the opening(s) and a maximum of 12 inches below the ceiling. Sprinklers are to be installed on the occupied side of the openings. A separate permit from the Fire Marshal's Office is required.

Note: This decision doesn't grant any mechanical openings within the area being appealed.

2. Type 13 water curtain sprinkler protection at non-fire rated openings in buildings with vertical exposure on separate lots: Granted provided;

a. Windows are non-operable and sprinklers are spaced not more than 6 feet apart and placed a minimum of 6 inches and a maximum of 12 inches from the opening(s) and a maximum of 12 inches below the ceiling. Sprinklers are to be installed on the occupied side of the openings. A separate permit from the Fire Marshal's Office is required.

Note: This decision doesn't grant any mechanical openings within the area being appealed.

Appellant may contact John Butler (503 823-7339) with questions.

The Administrative Appeal Board finds with the conditions noted, that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

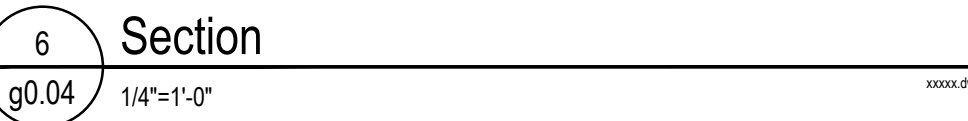
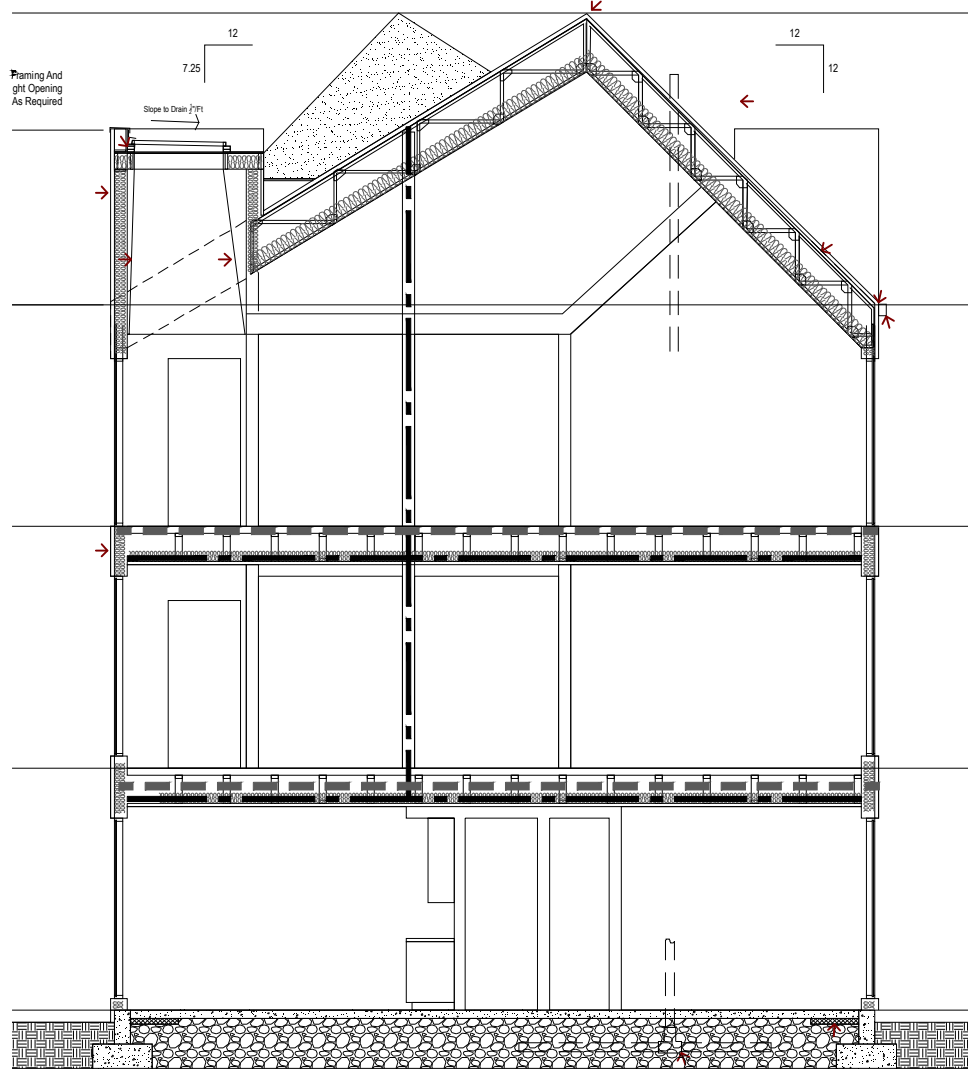
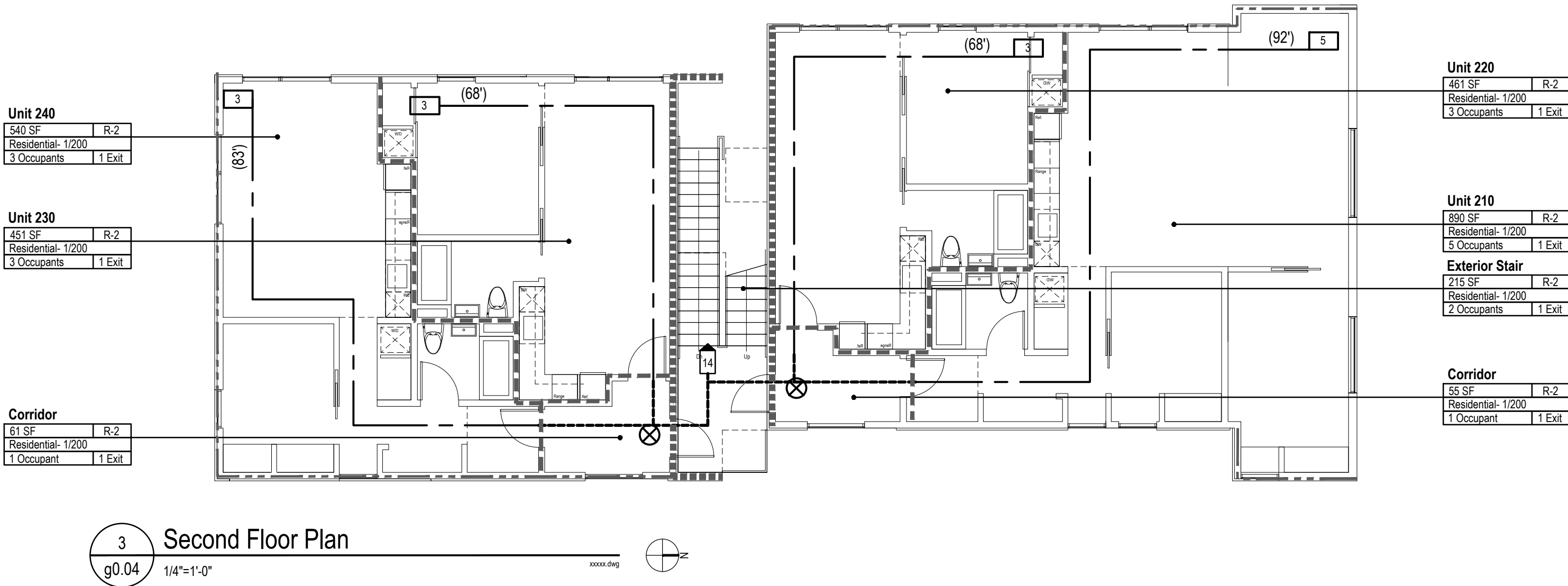
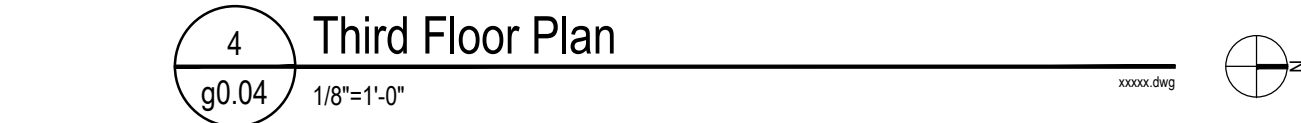
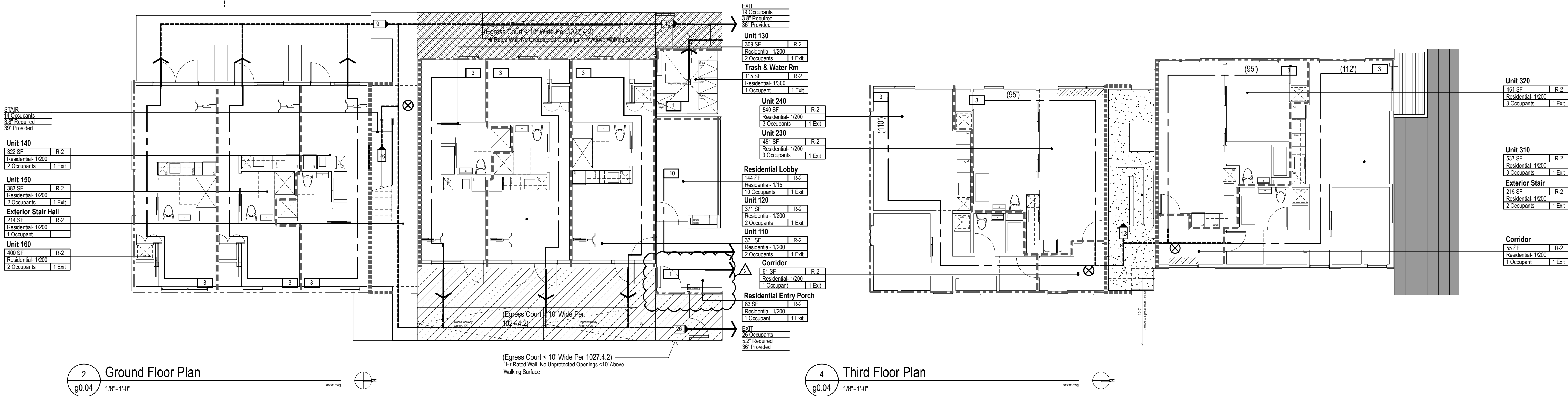
Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 90 calendar days of the date this decision is published. For information on the appeals process, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.



Drawing Title:
Life Safety, Egress,
Occupancy Summary, And
Separations

Issue:	Intent:	Date:
1	Permit	05.25.2019
2	Chcksht	11.05.2019
2	Chcksht	01.27.2020

Number:



Egress Plan Notes:

- One Exit/Stair Serving 1st Floor, 2nd Floor & 3rd Floor Occupants Per 1021.2(1)
- Egress Balcony Per 1019
- Exterior Egress Stair Per 1026
- Provide Sprinkler Coverage (Side Discharge) at Exterior Egress Stair & Balcony
- Provide Portable Fire Extinguishers at 1 per 6,000sf & 75' Max Travel.

- A. All Exit Signs, Egress & Emergency Lighting Per Separate Permit Submittal.
B. All Fire Detection, Sprinkler & Alarm Systems Shall Be Per Separate Permit Submittal.
C. Pull Stations As Applicable Will Be Located Within 5' of Every Stair Entrance And Building Exit Door.
D. Smoke Detectors To Be Located Along Path of Egress As Applicable.
E. A Tactile Sign Stating 'EXIT' and Complying With ICCA117 Shall Be Provided Adjacent To Each Door to An Egress Strainway And Exit Passageway And Exit Discharge.

Legend

Fire Rated Separations

- 1 HR Rated Ext Wall Assembly
- 1 HR Partition
- 1 HR Barrier

Room Data

- Room Name < Room Name & Number
SF < Net Room Area & Occupancy Classification
Residential: 1/200 < Use & Load Factor
Occupants < # of Occupants & Required Number of Exits
- Occupant Load (Actual)
Occupants Per Room
Cumulative Occ. Load/ Direction of Travel

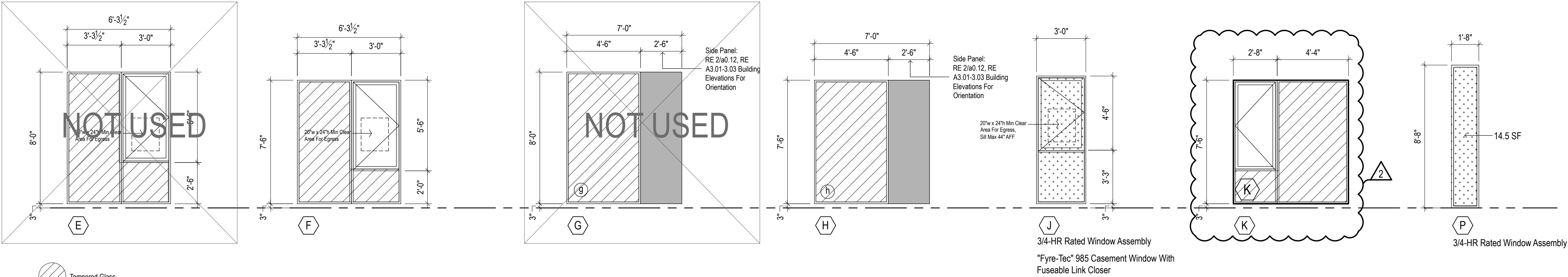
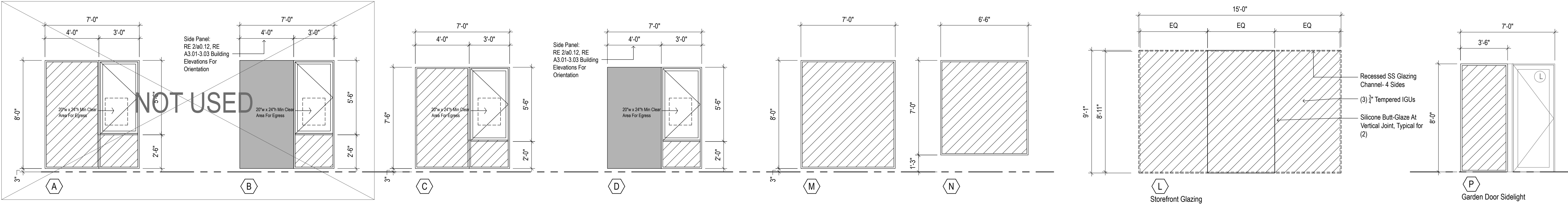
Exit Data

- Exit Discharge
- EXIT
Occupants < Occupants
2' (36" Min) < Exit Width Required
36" Provided < Exit Width Provided
- Path of Egress
(Illuminate with 1 Footcandle/SF at Floor Level Minimum Along Path of Travel)
- (Total Floor Circ.) < Non-Room Occupancies Including Corridors, Toilet Rooms, Janitor's Closets, Etc.

- Exit Sign
Fire Extinguisher

NOTE: See Door Schedule For Fire-Rated Doors

NOTE: "Total Floor Circulation" Calculations Do Not Include Shafts And Are Calculated With The Load Factor of The Largest Assumed Occupancy Classification For Each Floor

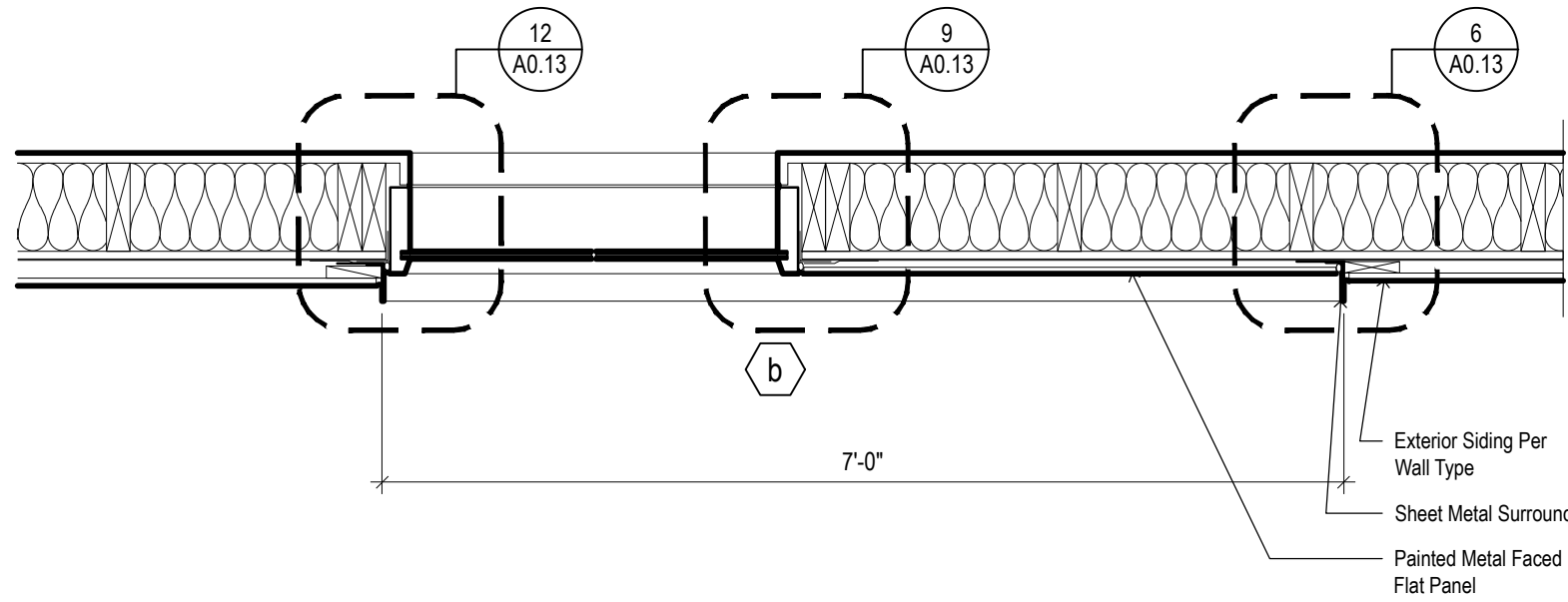


Tempered Glass

Note: See Elevation Sheets
A3.01-A3.03 for Window Placement,
Operator Handing, & Opposite
Hand Conditions.

1 Window Types
a0.12 1/4"=1'-0" xxxxx.dwg

6 Skylight Types
a0.12 1/4"=1'-0" xxxxx.dwg



2 Typical Window Details
a0.12 1"=1'-0" xxxxx.dwg

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Project:

RowHouses

1336 N Watts Street
Portland, OR 97217



Drawing Title:

Window Types &
Schedule

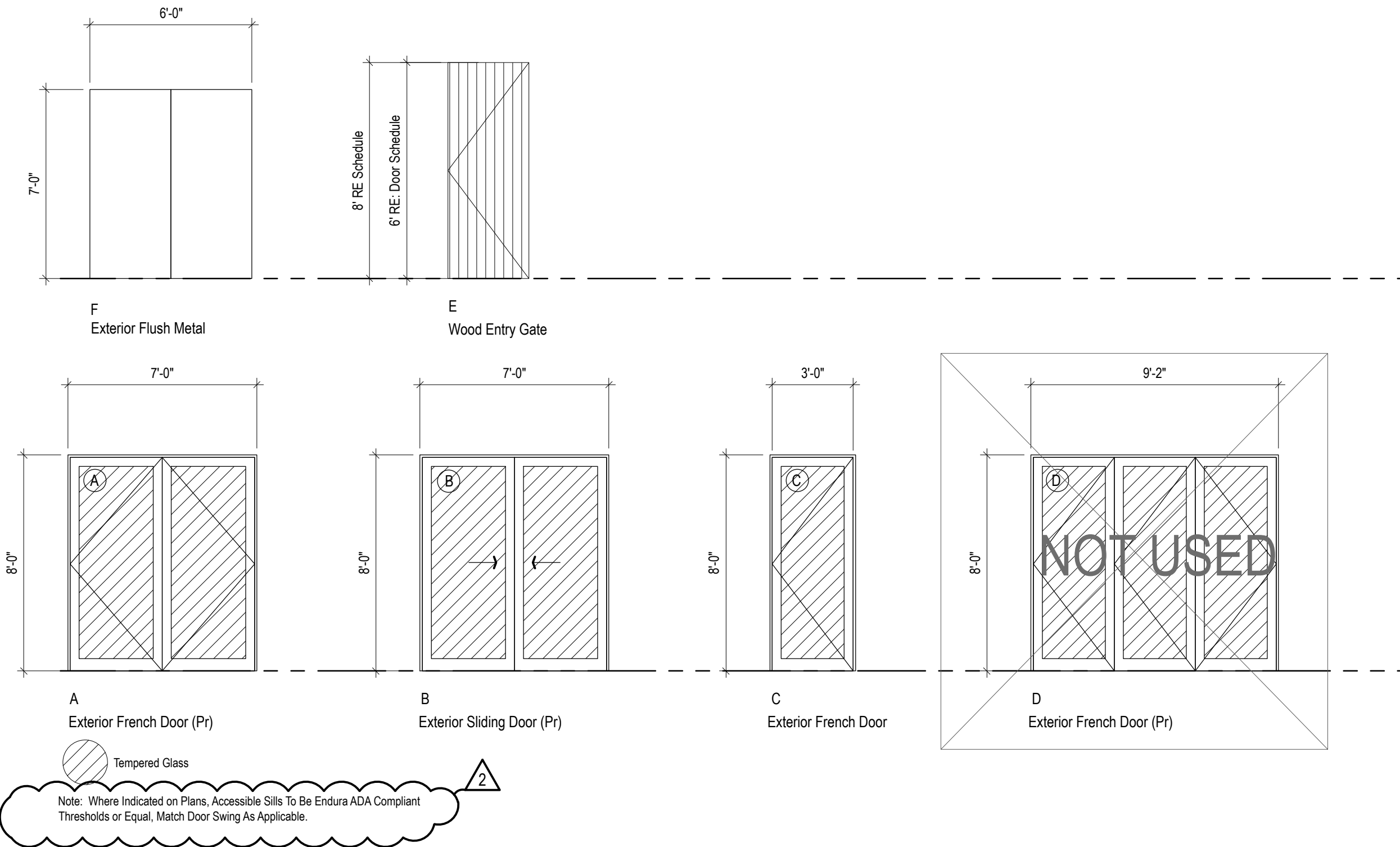
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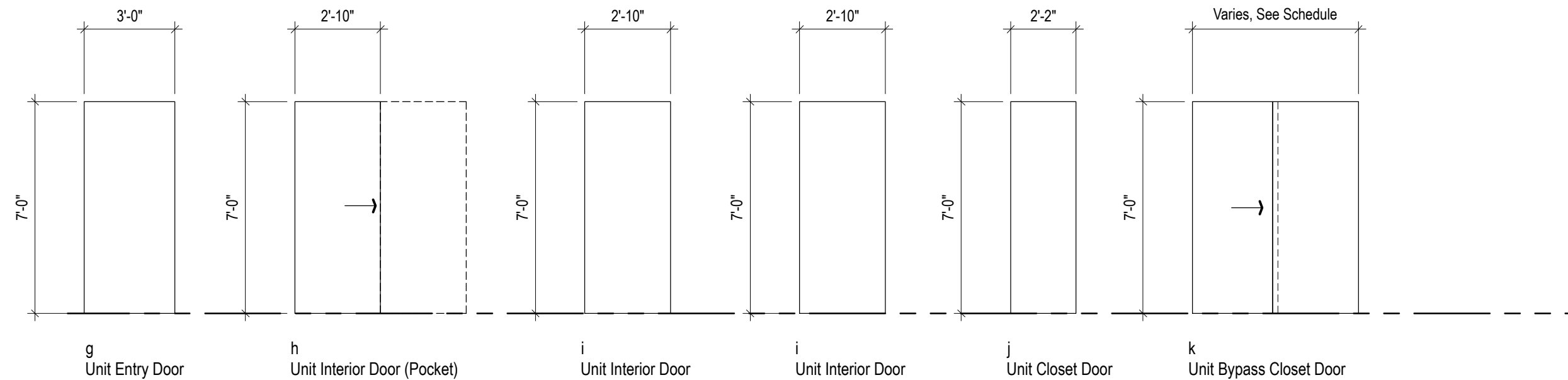
a0.12

Door Schedule

LOCATION			DOOR			CLEAR OPENING		FRAME		HARDWARE		FIRE SAFETY	NOTES
Door Number	Room No.	Room Name	Type	Material	Finish	Width	Height	Type	Finish	Group	Lable	Rating	
EG-1	NA	Exterior Gate	E	WD	CLR	36"	72"	WD	CLR	8			Extreior Gate
EG-2	NA	Exterior Gate	E	WD	CLR	36"	72"	WD	CLR	8			Extreior Gate
101-1	101	Exterior Entry Porch	E	WD	CLR	36"	96"	WD	CLR	9			Residential Call Box
102-1	102	Residential Lobby	C	WD/MTL/GL	CLR	36"	96"	WD/MTL	Ptd/Mtl	1			Temp. Glis, Accessable TH
103-1	103	Water Mechanical	F	Mtl	Ptd	72"	84"	Mtl	Ptd	2		45 Min	Self Closing/Latching
110-1	110	Unit 110 Entry	g	Mtl	Ptd	36"	84"	Mtl	Ptd	2		20 Min	Accessable TH, Weather Sealed
110-2	110	Unit 110 Patio	C	WD/MTL/GL	CLR	36"	96"	WD/MTL	Ptd/Mtl				Temp. Glis
110-3	110	Unit 110 WD Closet	k	WD	Ptd	VFY	84"	WD	Ptd				
111-1	111	Bath 111	h	WD	Ptd	34"	84"	WD	Ptd	5			
112-1	112	Bedroom 112	h	WD	Ptd	34"	84"	WD	Ptd				
112-2	112	Bedroom 112	h	WD	Ptd	34"	84"	WD	Ptd				
120-1	120	Unit 120 Entry	A	WD/MTL/GL	CLR	84"	96"	WD/MTL	Ptd/Mtl	1			Temp. Glis, Accessable TH
120-2	120	Unit 120 WD Closet	k	WD	Ptd	VFY	84"	WD	Ptd				
121-1	121	Bath 121	h	WD	Ptd	34"	84"	WD	Ptd	5			
122-1	122	Bedroom 122	h	WD	Ptd	34"	84"	WD	Ptd				
122-2	122	Bedroom 122	h	WD	Ptd	34"	84"	WD	Ptd				
130-1	130	Unit 130 Entry	C	WD/MTL/GL	CLR	36"	96"	WD/MTL	Ptd/Mtl	1			Temp. Glis, Accessable TH, Self Closer
130-2	130	Unit 130 Closet	k	WD	Ptd	42"	84"	WD	Ptd				
131-1	131	Bath 131	h	WD	Ptd	34"	84"	WD	Ptd	5			
132-1	132	Bedroom 132	h	WD	Ptd	34"	84"	WD	Ptd				
140-1	140	Unit 140 Entry	C	WD/MTL/GL	CLR	36"	96"	WD/MTL	Ptd/Mtl	1			Temp. Glis, Accessable TH, Self Closer
140-2	140	Unit 140 Closet	k	WD	Ptd	42"	84"	WD	Ptd				
141-1	141	Bath 141	h	WD	Ptd	34"	84"	WD	Ptd				
142-1	142	Bedroom 142	h	WD	Ptd	34"	84"	WD	Ptd				
150-1	150	Unit 150 Entry	C	WD/MTL/GL	CLR	36"	96"	WD/MTL	Ptd/Mtl	1			Temp. Glis, Accessable TH, Self Closer
150-2	120	Unit 150 WD Closet	k	WD	Ptd	VFY	84"	WD	Ptd				
151-1	151	Bath 151	h	WD	Ptd	34"	84"	WD	Ptd	5			
152-1	152	Bedroom 152	h	WD	Ptd	34"	84"	WD	Ptd				
152-2	152	Bedroom 152	h	WD	Ptd	34"	84"	WD	Ptd				
160-1	160	Unit 160 Entry	A	WD/MTL/GL	CLR	110"	96"	WD/MTL	Ptd/Mtl	1			Temp. Glis, Accessable TH
160-2	120	Unit 160 WD Closet	k	WD	Ptd	VFY	84"	WD	Ptd				
161-1	161	Bath 161	h	WD	Ptd	34"	84"	WD	Ptd	5			
162-1	162	Bedroom 162	h	WD	Ptd	34"	84"	WD	Ptd				
162-2	162	Bedroom 162	h	WD	Ptd	34"	84"	WD	Ptd				
201-1	201	Stair 201	L	MTL/GLA	Ptd	36"	96"	Wld	Ptd/Mtl	3		45 min	Temp Glis
201-2	201	Stair 201	L	MTL/GLA	Ptd	36"	96"	Wld	Ptd/Mtl	3		45 min	Temp Glis
210-1	210	Unit 210 Entry	g	Mtl	Ptd	36"	84"	Mtl	Ptd	2		20 Min	
210-2	210	Unit 210 Closet	k	Wld	Ptd	72"	96"	Wld	Ptd				
211-1	211	Entry 211 Closet	k	Wld	Ptd	72"	96"	Wld	Ptd				
212-1	212	Bath 212	h	Wld	Ptd	34"	84"	Wld	Ptd	5			
213-1	213	Bedroom 213	b	Wld	Ptd	36"	84"	Wld	Ptd				
213-2	213	Bedroom 213 Closet	k	WD	Ptd	54"	84"	WD	Ptd				
214-1	214	Bedroom 214	b	Wld	Ptd	36"	84"	Wld	Ptd				
214-2	214	Bedroom 214 Closet	k	WD	Ptd	60"	84"	WD	Ptd				
220-1	220	Unit 220 Entry	g	Mtl	Ptd	36"	84"	Mtl	Ptd	2		20 Min	
221-1	221	Bath 221	h	Wld	Ptd	34"	84"	Wld	Ptd	5			
222-1	222	Bedroom 222	b	Wld	Ptd	36"	84"	Wld	Ptd				
222-2	222	Bedroom 222 Closet	k	Wld	Ptd	66"	84"	Wld	Ptd				
230-1	230	Unit 230 Entry	g	Mtl	Ptd	36"	84"	Mtl	Ptd	2		20 Min	
231-1	231	Bath 231	h	Wld	Ptd	34"	84"	Wld	Ptd	5			
232-1	232	Bedroom 232	b	Wld	Ptd	36"	84"	Wld	Ptd				
232-2	232	Bedroom 232 Closet	k	Wld	Ptd	66"	84"	Wld	Ptd				
240-1	240	Unit 240 Entry	g	Mtl	Ptd	36"	84"	Mtl	Ptd	2		20 Min	
240-2	240	Unit 240 Closet	k	Wld	Ptd	72"	84"	Wld	Ptd				
241-1	241	Bath 241	h	Wld	Ptd	34"	84"	Wld	Ptd	5			
242-1	242	Bedroom 242	b	Wld	Ptd	36"	84"	Wld	Ptd				
242-2	242	Bedroom 242 Closet											
301-1	301	Stair 301	L	MTL/GLA	Ptd	36"	96"	Wld	Ptd/Mtl	3		45 min	Temp Glis
301-2	301	Stair 301	L	MTL/GLA	Ptd	36"	96"	Wld	Ptd/Mtl	3		45 min	Temp Glis
310-1	310	Unit 310 Entry	g	Mtl	Ptd	36"	84"	Mtl	Ptd	2		20 Min	
310-2	310	Unit 310 Closet	k	Wld	Ptd	72"	96"	Wld	Ptd				
310-3	310	Unit 310 Terrace	B	WD/MTL/GL	Ptd	84"	96"	WD/MTL	Ptd/Mtl				
311-1	311	Entry 311 Closet	g	Mtl	Ptd		84"	Mtl	Ptd				
312-1	312	Bath 312	h	Wld	Ptd	34"	84"	Wld	Ptd	5			
313-1	313	Bedroom 313	b	Wld	Ptd	36"	84"	Wld	Ptd				
313-2	313	Bedroom 313 Closet											
320-1	320	Unit 320 Entry	g	Mtl	Ptd	36"	84"	Mtl	Ptd	2		20 Min	
321-1	321	Bath 321	h	Wld	Ptd	34"	84"	Wld	Ptd				
322-1	322	Bedroom 322	b	Wld	Ptd	36"	84"	Wld	Ptd				
322-2	322	Bedroom 322 Closet	k	Wld	Ptd	66"	84"	Wld	Ptd				
330-1	330	Unit 330 Entry	g	Mtl	Ptd	36"	84"	Mtl	Ptd	2		20 Min	
331-1	331	Bath 331	h	Wld	Ptd	34"	84"	Wld	Ptd	5			
332-1	332	Bedroom 332	b	Wld	Ptd	36"	84"	Wld	Ptd				
332-2	332	Bedroom 332 Closet	k	Wld	Ptd	66"	84"	Wld	Ptd				
340-1	340	Unit 340 Entry	g	Mtl	Ptd	36"	84"	Mtl	Ptd	2		20 Min	
340-2	340	Unit 340 Closet	k	Wld	Ptd	72"	84"	Wld	Ptd				
342-1	341	Bath 342	h	Wld	Ptd	34"	84"	Wld	Ptd	5			
343-1	342	Befroom 343	b	Wld	Ptd	36"	84"	Wld	Ptd				
343-2	342	Bedroom 343 Closet											



EXTERIOR DOOR TYPES



INTERIOR DOOR TYPES

Door Hardware Types

Group	Type	Hinges	Location Notes
1	Keyed Entry Lock, Exterior French Doors Lever Handle Per Accessibility Requirements	Barrel Hinges By Manfr	
2	Keyed Entry Lock, Self Closing Hardware (Unit Entry), Lever Handle Per Accessibility Requirements	Barrel Hinges Spring Loaded	
3	Passage Latch	Barrel Hinges	
4	Sliding Door No Latch	Sliding Track Hardware	
5	Privacy Lock, Swing Door	Barrel Hinges	
6	Privacy Lock, Sliding Door	Sliding Track Hardware	
7	Passage Latch, Self Closing Hardware	Barrel Hinges Spring Loaded	Stair Enclosure, 45 Min Rating
8	Interior Latch (Path of Egress), Self Closing	Barrel Hinges Spring Loaded	Exterior Gates
9	Electric Strike, Interior Passage Latch	Barrel Hinges Spring Loaded	

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Project:

RowHouses

1336 N Watts Street
Portland, OR 97217



Drawing Title:
Door Schedule & Types

Issue:	Intent:	Date:
1	Permit	05.25.2019
2	Chcksht	11.05.2019
3	Chcksht	01.27.2020

Number:

Project:

RowHouses

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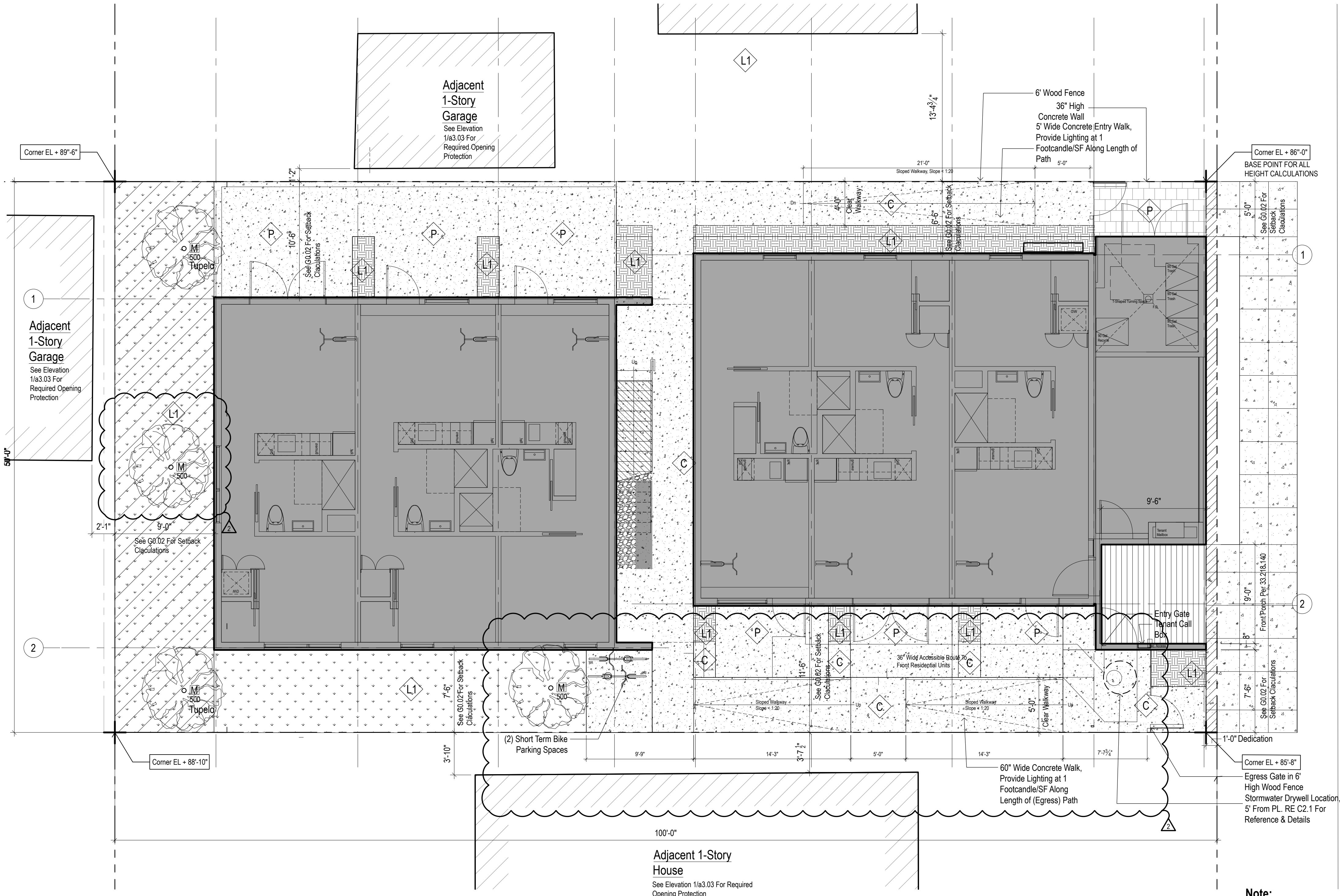


Drawing Title:

Architectural Site Plan

Issue:	Intent:	Date:
1	Permit	05.25.2019
1	Chcksht	11.05.2019
2	Chcksht	01.27.2020

Number:

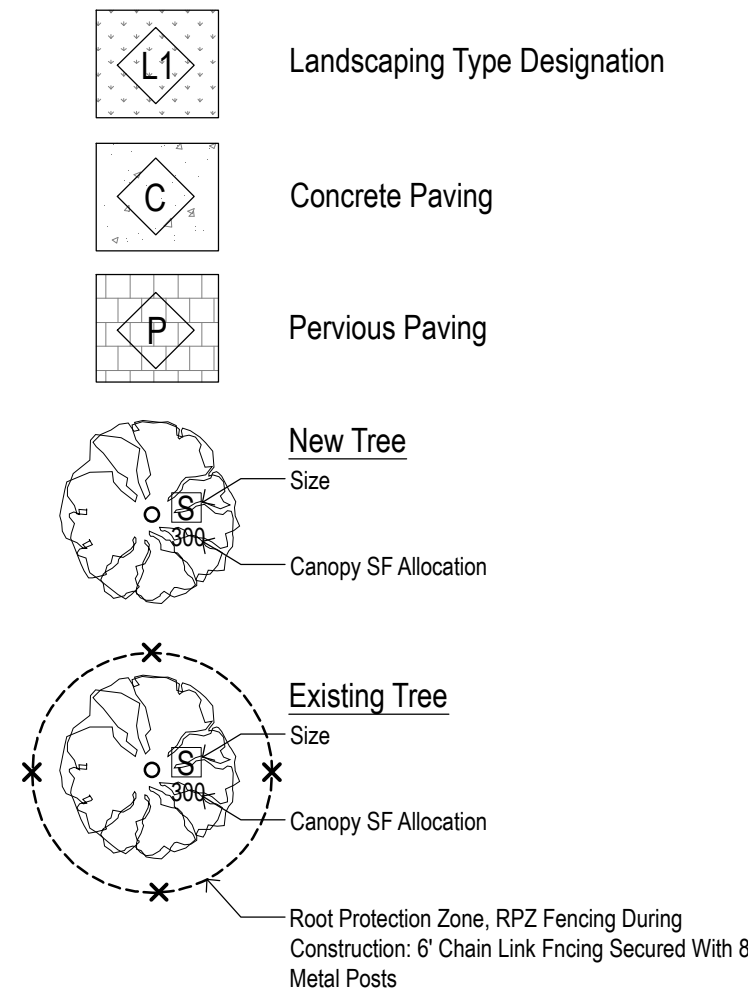


Note:
Accessible Route: All Accessible
Units NoteD to be Provided With a
36" Wide Accessible Route with
Deviations No Higher Than $\frac{1}{4}$ "
Vertical and $\frac{1}{2}$ " Beveled.

1 Architectural & Landscaping Site Plan

a2.00 3/16"=1'-0"

Landscape Plan Legend:



Landscape Plan Notes:

1. All Planting, Species Type, Trees Size & Species, to be in conformance with Chapter 33.248 or the Portland Zoning Code & The published Plant Materials and The Suggested Plant List Issued By the City of Portland Bureau of Development Services.

Landscape Plan Specifications:

Medium Tree: Medium Trees to be Tupelo
Arctostaphylos uva ursi
KINNIKINICK, BEARBERRY @ 24" OC.

1. All Planting, Species Type, Trees Size & Species, to be in conformance with Chapter 33.248 or the Portland Zoning Code & The published Plant Materials and The Suggested Plant List Issued By the City of Portland Bureau of Development Services.

2. Landscaping Types: Tress as Required By Landscaping Type as Noted On Plan. Groundcover to Fully Cover Remaining Landscape Area.

Landscape Plan Calculations:

Site Area: 5,000 SF

	Requirement:	Proposed:
Lot Coverage (Max):	85% / 4,250 SF	2,899 SF (57%)
Landscape Area:	15% / 750 SF	16% / 834 SF L1 & L3 Landscape Area 16% / 810 SF Walkways & Plazas For Public Use
Tree Canopy Requirement	20% / 1,000 SF	2 Med Trees x 500 SF = 1,000 SF Total Canopy = 1,000 SF /20%

Project:

RowHouses

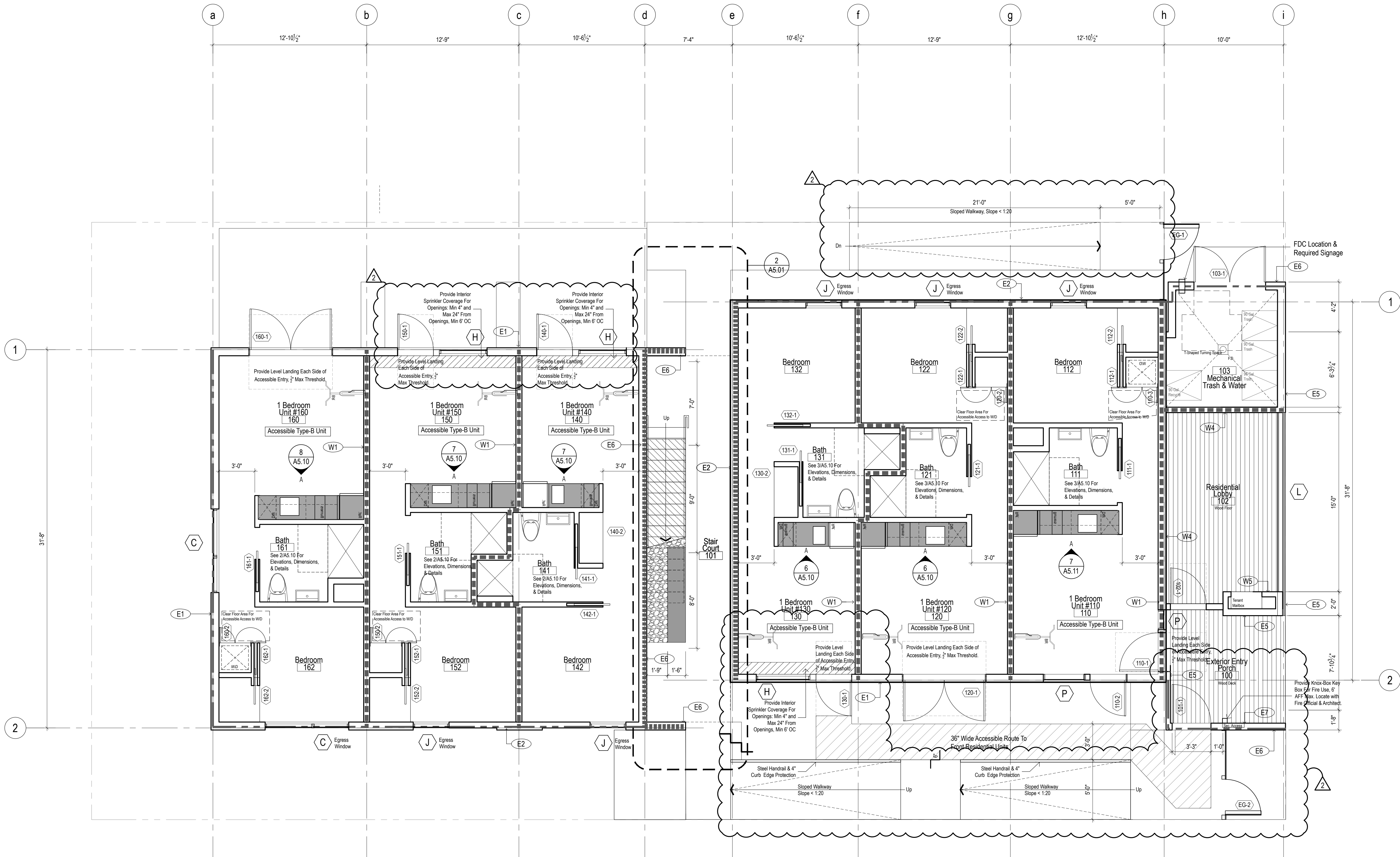
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Portland, OR 97217



Drawing Title:
Ground Floor Plan

Issue:	Intent:	Date:
	Permit	05.25.2019
1	Chcksht	11.05.2019
2	Chcksht	01.27.2020

Number:



1 Ground Floor Plan
a2.02 1/4"=1'-0"

Wall Type Legend

---	Exterior Rated Wall See Sheet G0.02 For Requirements
----	Fire Partition See Sheet a0.01 For Assembly, See Sheet a0.13 For Rating Continuity Details
=====	Fire Barrier See Sheet a0.01 For Assembly, See Sheet a0.13 For Rating Continuity Details

NOTE:
Portable Fire Extinguishers with a minimum rating 2A:10BC
shall be installed. Maximum travel distance to an
extinguisher shall not exceed 75' and maximum floor area
per extinguisher shall not exceed 6,000 square feet.

Plan Notes:

- See Sheet a0.01 For Wall Types And Assemblies.
- See Sheet g0.04 For Wall Ratings & Line Type Legend.
- See Sheet a0.11 For Door Types And Door Schedule.
- See Sheet a0.12 For Window Types.

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Project:

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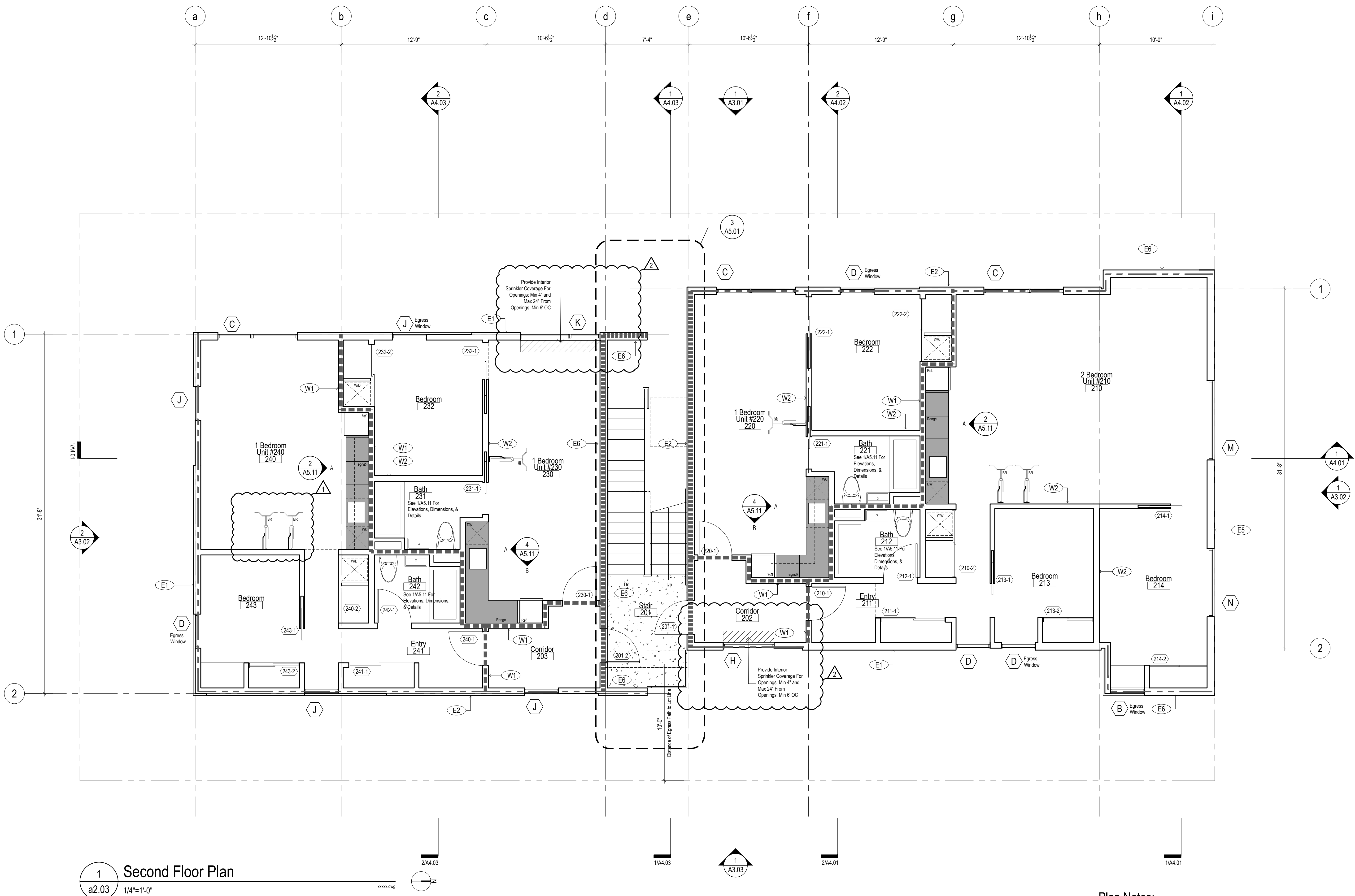


Drawing Title:
Second Floor Plan

<u>Issue:</u>	<u>Intent:</u>	<u>Date:</u>
	Permit	05.25.2019
1	Chcksht	11.05.2019
2	Chcksht	01.27.2020

Number:

a2.03



Plan Notes:

1. See Sheet a0.01 For Wall Types And Assemblies.
2. See Sheet g0.04 For Wall Ratings & Line Type Legend
3. See Sheet a0.11 For Door Types And Door Schedule.
4. See Sheet a0.12 For Window Types.

Project:

RowHouses

1336 N Watts Street
Portland, OR 97217



Drawing Title:
Third Floor Plan

Issue:	Intent:	Date:
	Permit	05.25.2019
1	Chcksht	11.05.2019
2	Chcksht	01.27.2020

Number:



1 Third Floor Plan
a2.04 1/4"=1'-0"

Wall Type Legend

---	Exterior Rated Wall See Sheet G0.02 For Requirements
----	Fire Partition See Sheet a0.01 For Assembly, See Sheet a0.13 For Rating Continuity Details
=====	Fire Barrier See Sheet a0.01 For Assembly, See Sheet a0.13 For Rating Continuity Details

Plan Notes:

1. See Sheet a0.01 For Wall Types And Assemblies.
2. See Sheet g0.04 For Wall Ratings & Line Type Legend.
3. See Sheet a0.11 For Door Types And Door Schedule.
4. See Sheet a0.12 For Window Types.



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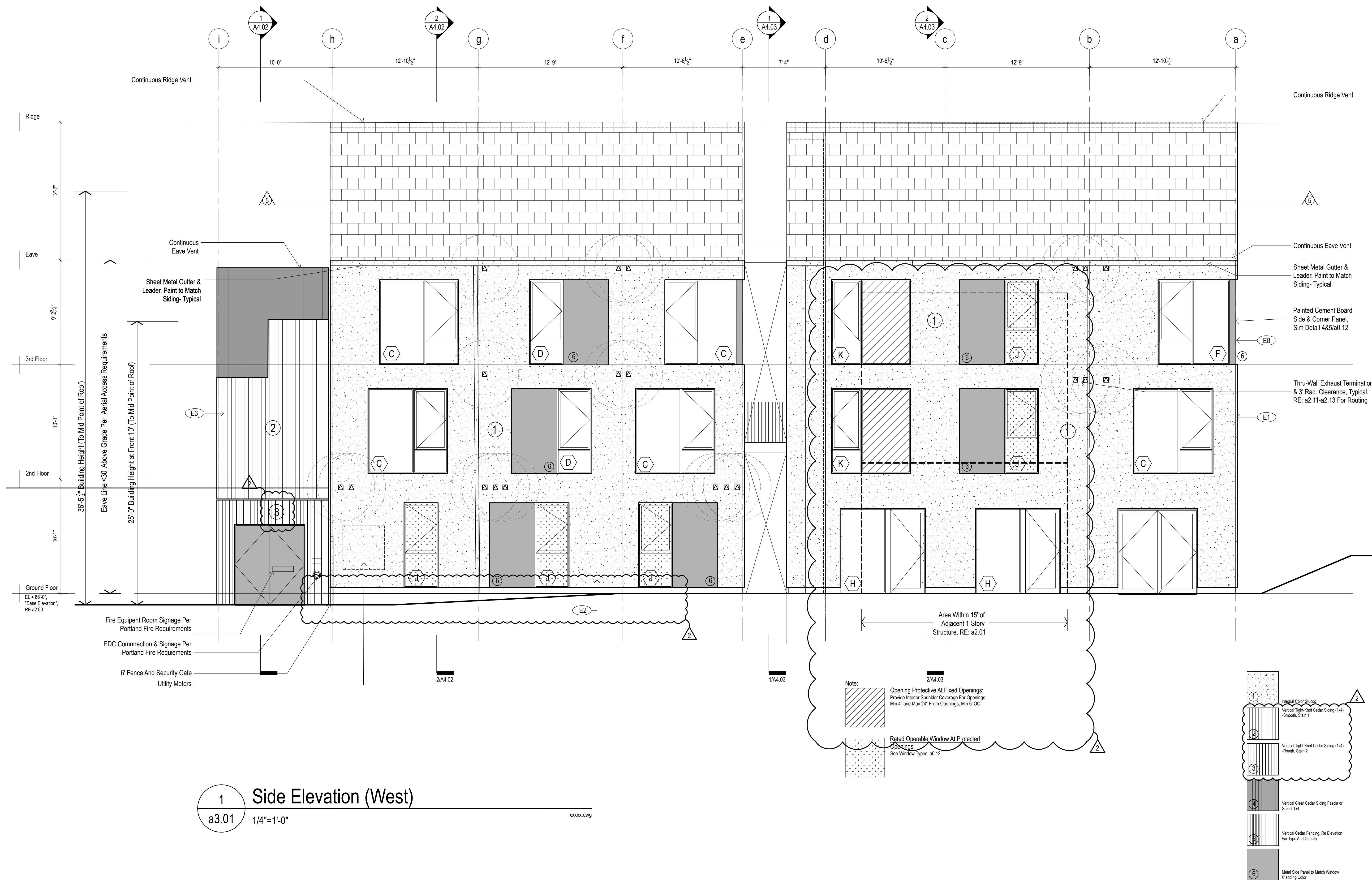
1336 N Watts Street
Portland, OR 97217



Drawing Title:
Building Elevations

<u>Issue:</u>	<u>Intent:</u>	<u>Date:</u>
	Permit	05.25.2019
	Chcksht	11.05.2019
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Project:

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