

Development Services

From Concept to Construction

Phone: 503-823-7300 Email: bds@portlandoregon.gov 1900 SW 4th Ave, Portland, OR 97201

More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



APPEAL SUMMARY

Status: Decision Rendered

Appeal ID: 22194	Project Address: 2350 N Vancouver Ave
Hearing Date: 12/11/19	Appellant Name: Steve Fosler
Case No.: B-005	Appellant Phone: 503 241 9339
Appeal Type: Building	Plans Examiner/Inspector: Kent Hegsted
Project Type: commercial	Stories: 4 Occupancy: R-2, B Construction Type: V-A
Building/Business Name: N VANC AVE APTS	Fire Sprinklers: Yes - throughout
Appeal Involves: Erection of a new structure	LUR or Permit Application No.: 19-216734-CO
Plan Submitted Option: pdf [File 1]	Proposed use: Apartments & Commercial

APPEAL INFORMATION SHEET

Appeal item 1

Code Section 202

Requires The egress court must be unobstructed to the sky (202 Court).
Egress court less than 10' wide requires 1-hr construction and protected openings up to 10' ht.

Proposed Design The bump-out between grid line 2 & 3 on the upper floors over hangs the egress court by 1', Stair #1 over hangs the egress court by 2' and the balconies at the South West corner overhang the egress court by 3'.
The bottom of each of these is at least 10' above grade.
Windows along the egress court have sills at least 10' above grade.
Doors at the electrical room and trash/recycling room are at least 10' from the property line and the egress court is 10' wide at that portion of the site.

Reason for alternative The underside of the bump-outs are detailed to be 1-hr rated assemblies.
The balconies are non-combustible construction.
Fire sprinkler heads will be installed on the underside of the two bump-outs and beneath the 2nd floor balcony.

APPEAL DECISION

Overhead obstructions in egress court: Granted as proposed.

Note: Decision does not address fire separation distance of balcony projection.

The Administrative Appeal Board finds that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health,

safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 90 calendar days of the date this decision is published. For information on the appeals process, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.

NEW CONSTRUCTION

VANCOUVER APARTMENTS



2326 N VANCOUVER AVE.
 PORTLAND, OR 97227
VANCOUVER APARTMENTS

VNCVR

PERMIT SET

22 AUGUST 2019

DESCRIPTION DD MM YY

Revisions

A00.0

COVER SHEET

Title

PROJECT INFORMATION:

TAX ROLL QUARTER SECTION	ALBINA, BLOCK 30, LOT 7
ZONING	2830
OVERLAY	CM3 - COMMERCIAL MIXED USE 3
COMP PLAN	d - DESIGN
PLAN DISTRICT	MU-U - MIXED USE - URBAN CENTER
CITY	AC - ALBINA COMMUNITY PLAN DISTRICT
COUNTY	PORTLAND
PROPERTY ID	MULTNOMAH
STATE ID	R102513
TOTAL LAND	1N1E27DB 900
	0.11 ACRES (5,000 SF)

SCOPE OF WORK:

NEW CONSTRUCTION, MIXED USE APARTMENT TO HAVE GROUND FLOOR RETAIL SPACE, RESIDENTIAL APARTMENTS, COMMUNITY ROOM, AND BIKE ROOM AMONG OTHER AMENITIES. BUILDING TO HAVE A MIXTURE OF STUDIO, ONE AND TWO BEDROOM UNITS FOR A TOTAL OF 19 APARTMENTS.

PROJECT CONTACT INFORMATION:

ARCHITECT	STRUCTURAL ENGINEER
FOSLER ARCHITECTURE STEVE FOSLER 1930 NW LOVEJOY ST. PORTLAND, OR 97209 P: 503.241.9339 EMAIL: steve@foslerarchitecture.com	PCS STRUCTURAL SOLUTIONS SHADOW WOODFORK 101 SW MAIN STREET, SUITE 280 PORTLAND, OR 97204 P: 503.232.3746 EMAIL: SWoodfork@pcs-structural.com
OWNER	PLUMBING ENGINEER
DIG DEVELOPMENT CO. LLC 2839 SW 2ND ST PORTLAND, OR 97201 P: XXX.XXX.XXXX EMAIL:	BUSINESS NAME CONTACT NAME ADDRESS 1 ADDRESS 2 P: XXX.XXX.XXXX EMAIL

DEFERRED SUBMITTAL:

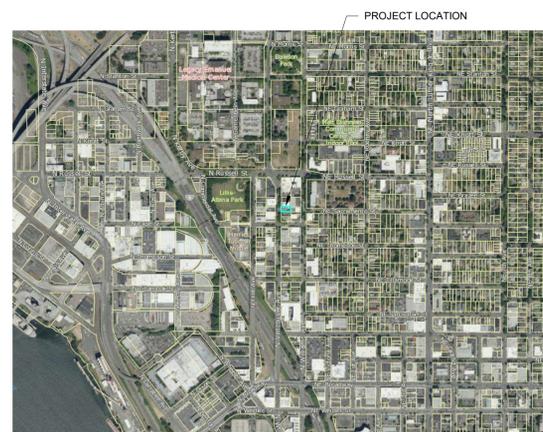
SEPARATE PERMIT:

FIRE ALARMS
FIRE SPRINKLERS
UNDERGROUND FIRE LINE
KNOXBOX
MECHANICAL
ELECTRICAL

NOTE:

THE GENERAL CONTRACTOR SHALL SCHEDULE A FIRESTOPPING MEETING WITH THE BUILDING INSPECTOR AND ALL SUBCONTRACTORS THAT WILL BE INSTALLING FIRESTOPPING MATERIALS. EACH SUBCONTRACTOR WILL PROVIDE A LIST OF FIRESTOP MATERIALS/ASSEMBLIES WHICH WILL BE USED, THE TYPE OF PENETRATIONS WHERE EACH MATERIAL/ASSEMBLY WILL BE USED, AND THE LISTING AND APPROVAL INFORMATION (i.e. UL, ICC OR OTHER APPROVED REPORT LISTING NUMBERS.) THIS INFORMATION MUST BE SUBMITTED TO, AND APPROVED BY, THE BUILDING INSPECTOR PRIOR TO ANY INSTALLATION.

VICINITY MAP:



SITE AERIAL:



1 PERSPECTIVE LOOKING NE

Code	Description	Permit Set (07.24.2019)
ARCHITECTURAL		
A00.0	COVER SHEET	•
A01.0	GENERAL NOTES & ABBREVIATIONS	•
A02.0	EROSION CONTROL PLAN AND DIAGRAMS	•
A03.0	SITE, UTILITY AND DRAINAGE PLAN	•
A04.0	WALL ASSEMBLIES	•
A05.0	FLOOR/CEILING ASSEMBLIES	•
A10.0	BUILDING & ZONING CODE ANALYSIS	•
A11.0	OCCUPANCY & FIRE LIFE SAFETY	•
A12.0	OCCUPANCY & FIRE LIFE SAFETY	•
A13.0	RADON REDUCTION PLAN	•
A14.0	EXTERIOR OPENING ANALYSIS	•
A20.0	GROUND LEVEL PLAN	•
A21.0	SECOND LEVEL PLAN	•
A22.0	THIRD LEVEL PLAN	•
A23.0	FOURTH LEVEL PLAN	•
A24.0	ROOF LEVEL PLAN	•
A25.0	GROUND LEVEL REFLECTED CEILING PLAN	•
A26.0	SECOND LEVEL REFLECTED CEILING PLAN	•
A27.0	THIRD LEVEL REFLECTED CEILING PLAN	•
A28.0	FOURTH LEVEL REFLECTED CEILING PLAN	•
A30.0	EXTERIOR ELEVATIONS	•
A31.0	EXTERIOR ELEVATIONS	•
A32.0	EXTERIOR ELEVATIONS	•
A33.0	EXTERIOR ELEVATIONS	•
A40.0	BUILDING SECTIONS	•
A41.0	BUILDING SECTIONS	•
A42.0	WALL SECTIONS	•
A43.0	WALL SECTIONS	•
A44.0	ENLARGED STAIR PLAN & SECTIONS	•
A45.0	ENLARGED STAIR PLAN & SECTIONS	•
A47.0	ENLARGED ELEVATOR PLAN & SECTIONS	•
A50.0	INTERIOR ELEVATIONS	•
A51.0	INTERIOR KITCHEN PLAN & ELEVATIONS	•
A52.0	INTERIOR BATHROOM PLAN & ELEVATIONS	•
A60.0	TYPICAL ACCESSIBILITY DETAILS	•
A60.1	BATHROOM & KITCHEN ACCESSIBILITY DETAILS	•
A61.0	SITE DETAILS	•
A62.0	STAIR & ELEVATOR DETAILS	•
A63.0	OPENING DETAILS	•
A64.0	WALL DETAILS	•
A64.1	WALL DETAILS	•
A65.0	ROOF DETAILS	•
A66.0	FIRE SEPARATION DETAILS	•
A66.1	FIRE SEPARATION DETAILS CONT'D	•
A67.0	AIR BARRIER & PENETRATION DETAILS	•
A86.0	RENDERINGS	•

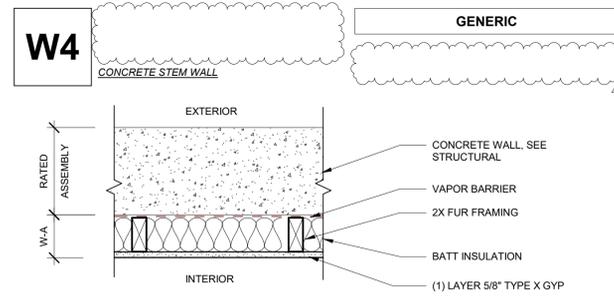
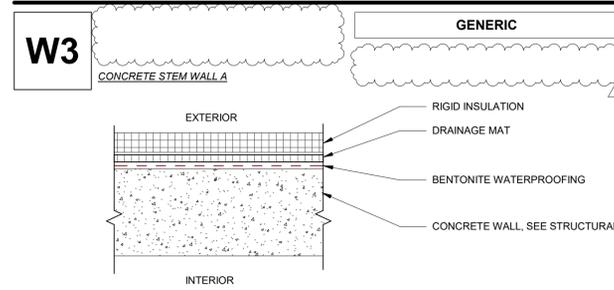
Code	Description	Permit Set (07.24.2019)
STRUCTURAL		
S0.1	GENERAL NOTES	•
S0.2	GENERAL NOTES	•
S0.3	GENERAL NOTES	•
S1.1	PLAN NOTES	•
S2.1	FOUNDATION PLAN	•
S2.2	LEVEL 2 FRAMING PLAN	•
S2.3	LEVEL 3 FRAMING PLAN	•
S2.4	LEVEL 4 FRAMING PLAN	•
S2.5	ROOF FRAMING PLAN	•
S3.1	FOUNDATION DETAILS	•
S3.2	FOUNDATION DETAILS	•
S4.1	WALL FRAMING DETAILS	•
S5.1	WOOD FRAMING DETAILS	•
S6.1	ROOF FRAMING DETAILS	•
S6.2	ROOF FRAMING DETAILS	•

Code	Description	Permit Set (07.24.2019)
MECHANICAL		
PLUMBING		
ELECTRICAL		

LEGEND

• SUBMITTED
□ REVISED

EXTERIOR WALL ASSEMBLIES



CONCRETE FOUNDATION WALL (LOAD BEARING OR NON LOAD BEARING) PER OSSC TABLE 722.2.1.1 AT 8" THICK WILL HAVE A 4 HOUR RATING FOR ALL CONCRETE TYPES INCLUDING SILICEOUS, CARBONATE, SAND-LIGHTWEIGHT, AND LIGHTWEIGHT TYPES.

COLUMN WRAP

CL	GA FILE NO. CM 1450	GENERIC
	1 HOUR FIRE	

GYPSUM WALLBOARD, STEEL COLUMN COVER

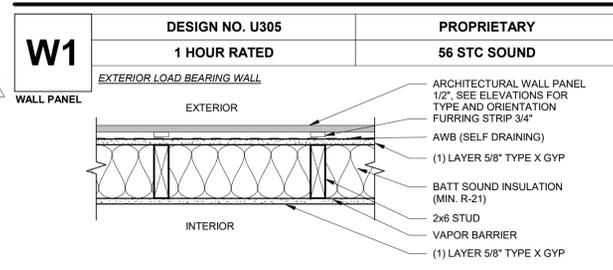
BASE LAYER 1/2" TYPE X GYPSUM WALLBOARD APPLIED AROUND T54x4x0.188 TUBE STEEL COLUMN AND HELD IN PLACE WITH PAPER MASKING TAPE. SECOND LAYER 1/2" TYPE X GYPSUM WALLBOARD APPLIED AROUND COLUMN AND HELD IN PLACE WITH PAPER MASKING TAPE. FACE LAYER EITHER 24 GA. GALVANIZED STEEL COLUMN COVER CONSISTING OF TWO L-SHAPED SECTIONS WITH SNAP-LOCK SHEET STEEL JOINTS OR 22 GA. GALVANIZED STEEL COLUMN COVERS CONSISTING OF TWO L-SHAPED SECTIONS WITH LAP JOINTS FASTENED WITH NO. 8x12" SHEET METAL SCREWS 12" O.C.

HORIZONTAL JOINTS STAGGERED 24" BETWEEN LAYERS

FIRE TEST: UL NC505-(1-6), 71NK2639, 12-23-75; UL NC505, 77NK1518; UL DESIGN X526

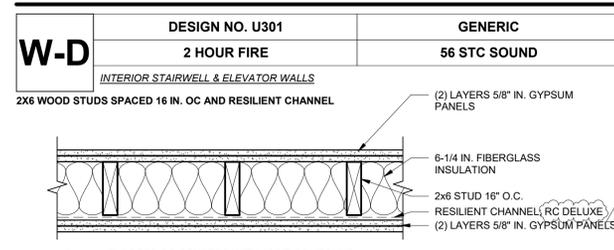
1 COLUMN WRAP 1
1 1/2" = 1'-0" @ 24" x 36"

EXTERIOR WALL ASSEMBLIES

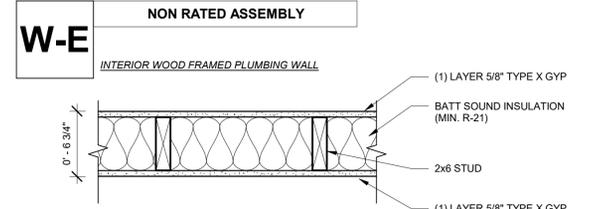


- WOOD STUDS** — INSTALL 2x6 WOOD STUDS SPACED 16 IN. ON CENTER (OC) MAX. EFFECTIVELY FIRESTOPPED.
- JOINTS AND NAIL HEADS** — JOINTS COVERED WITH JOINT COMPOUND AND PAPER TAPE. JOINT COMPOUND AND PAPER TAPE MAY BE OMITTED WHEN SQUARE EDGE BOARDS ARE USED. AS AN ALTERNATE, NOM 3/32 IN. THICK GYPSUM VENEER PLASTER MAY BE APPLIED TO THE ENTIRE SURFACE OF CLASSIFIED VENEER BASEBOARD WITH THE JOINTS REINFORCED WITH PAPER TAPE. NAIL HEADS EXPOSED OR COVERED WITH JOINT COMPOUND.
- GYPSUM BOARD** - 5/8" THICK PAPER OR VINYL SURFACED, WITH BEVELED SQUARE, OR TAPERED EDGES, APPLIED EITHER HORIZONTALLY OR VERTICALLY. GYPSUM PANELS NAILED 7 IN. OC WITH 6D CEMENT COATED NAILS 1-7/8 IN. LONG, 0.0915 IN. SHANK DIAM AND 15/64 IN. DIAM HEADS. WHEN USED IN WIDTHS OTHER THAN 48 IN., GYPSUM PANELS ARE TO BE INSTALLED HORIZONTALLY. TYPE X
- STEEL CORNER FASTENERS** — (OPTIONAL) — FOR USE AT WALL CORNERS. CHANNEL SHAPED, 2 IN. LONG BY 1 IN. HIGH ON THE BACK SIDE WITH TWO 1/8 IN. WIDE CLEATES PROTRUDING INTO THE 5/8 IN. WIDE CHANNEL. FABRICATED FROM 24 GAUGE GALV. STEEL. FASTENERS APPLIED ONLY TO THE END OR CUT EDGE (NOT ALONG TAPERED EDGES) OF THE GYPSUM BOARD, NO GREATER THAN 2 IN. FROM CORNER OF GYPSUM BOARD, MAX SPACING 16 IN. OC. NAILED TO ADJACENT STUD THROUGH TAB USING ONE NO 6D CEMENT COATED NAIL PER FASTENER. CORNERS OF WALL BOARD SHALL BE NAILED TO TOP AND BOTTOM PLATE USING NO 6D CEMENT COATED NAILS.
- BATTS AND BLANKETS** — REQUIRED FOR USE WITH RESILIENT CHANNELS. ITEM 7, 3 IN. THICK MINERAL WOOL BATTS, FRICTION-FITTED TO FILL INTERIOR OF WALL. THERMAFIBER INC. - TYPE SAFB, SAFB FF
- FURRING CHANNEL** — OPTIONAL — FOR USE ON ONE SIDE OF THE WALL - RESILIENT CHANNELS, 25 MSG GALV STEEL, SPACED VERTICALLY 24 IN. OC. FLANGE PORTION SCREW ATTACHED TO ONE SIDE OF STUDS WITH 1-1/4 IN. LONG DIAMOND SHAPED POINT. DOUBLE LEAD PHILLIPS HEAD STEEL SCREWS. WHEN RESILIENT CHANNELS ARE USED, INSULATION, ITEMS 5C OR 5D IS REQUIRED.
- CAULKING AND SEALANTS** — (NOT SHOWN, OPTIONAL) — A BEAD OF ACOUSTICAL SEALANT APPLIED AROUND THE PARTITION PERIMETER FOR SOUND CONTROL.
- STC RATING** — THE STC RATING OF THE WALL ASSEMBLY IS 56 WHEN IT IS CONSTRUCTED AS DESCRIBED BY ITEMS 1 THROUGH 6, EXCEPT:
 - ITEM 2, ABOVE - NAILHEADS SHALL BE COVERED WITH JOINT COMPOUND
 - ITEM 2, ABOVE - JOINTS AS DESCRIBED, SHALL BE COVERED WITH FIBER TAPE AND JOINT COMPOUND.
 - ITEM 5, ABOVE - BATTS AND BLANKETS, THE CAVITIES FORMED BY THE STUDS SHALL BE FRICTION FIT WITH R-19 UNFACED FIBERGLASS INSULATION BATTS MEASURING 6-1/4 IN. THICK AND 15-1/4 IN. WIDE.
 - ITEM 8, ABOVE - CAULKING AND SEALANTS (NOT SHOWN) A BEAD OF ACOUSTICAL SEALANT SHALL BE APPLIED AROUND THE PARTITION PERIMETER FOR SOUND CONTROL.
 - STEEL CORNER FASTENERS (ITEM 4), FIBER SPRAYED (ITEMS 5A AND 5B) AND STEEL FRAMING MEMBERS (ITEM 6A), NOT EVALUATED AS ALTERNATIVES FOR OBTAINING STC RATING.

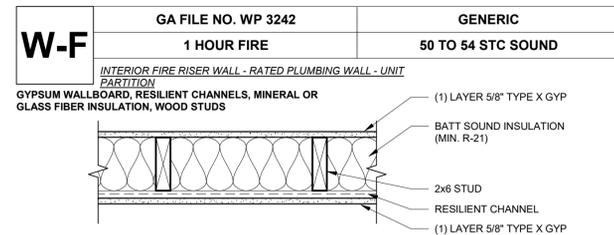
INTERIOR WALL ASSEMBLIES



- NAILHEADS** — EXPOSED OR COVERED WITH JOINT COMPOUND.
- JOINTS** — EXPOSED JOINTS COVERED WITH JOINT COMPOUND AND PAPER TAPE. JOINT COMPOUND AND PAPER TAPE MAY BE OMITTED WHEN SQUARE EDGE BOARDS ARE USED. AS AN ALTERNATE, NOM 3/32 IN. THICK GYPSUM VENEER PLASTER MAY BE APPLIED TO THE ENTIRE SURFACE OF CLASSIFIED VENEER BASEBOARD WITH THE JOINTS REINFORCED WITH PAPER TAPE.
- NAILS** — 6D CEMENT COATED NAILS 1-7/8 IN. LONG, 0.0915 IN. SHANK DIAM, 1/4 IN. DIAM HEADS, AND 8D CEMENT COATED NAILS 2-3/8 IN. LONG, 0.113 IN. SHANK DIAM, 3/32 IN. DIAM HEADS.
- GYPSUM BOARD** — 5/8 IN. THICK, TWO LAYERS APPLIED EITHER HORIZONTALLY OR VERTICALLY. INNER LAYER ATTACHED TO STUDS WITH THE 1-7/8 IN. NAILS SPACED 8 IN. OC. OUTER LAYER ATTACHED TO STUDS OVER INNER LAYER WITH THE 2-3/8 IN. LONG NAILS SPACED 8 IN. OC. VERTICAL JOINTS LOCATED OVER STUDS. ALL JOINTS IN FACE LAYERS STAGGERED WITH JOINTS IN BASE LAYERS. JOINTS OF EACH BASE LAYER OFFSET WITH JOINTS OF BASE LAYER ON OPPOSITE SIDE. WHEN USED IN WIDTHS OTHER THAN 48 IN., GYPSUM BOARD TO BE INSTALLED HORIZONTALLY.
- FURRING CHANNEL** — OPTIONAL, NOT SHOWN — FOR USE ON ONE SIDE OF THE WALL WITH ITEM 4K — RESILIENT CHANNELS, 25 MSG GALV STEEL, SPACED VERTICALLY 24 IN. OC. FLANGE PORTION SCREW ATTACHED TO ONE SIDE OF STUDS WITH 1-1/4 IN. LONG DIAMOND SHAPED POINT, DOUBLE LEAD PHILLIPS HEAD STEEL SCREWS. WHEN RESILIENT CHANNELS ARE USED, INSULATION, ITEM 8 OR 9 IS REQUIRED.
- BATTS AND BLANKETS** — REQUIRED FOR USE WITH RESILIENT CHANNELS, ITEM 7, MIN. 3 IN. THICK MINERAL WOOL BATTS, PLACED TO FILL INTERIOR OF WALL, ATTACHED TO THE NOM 4 IN. FACE OF THE STUDS WITH STAPLES PLACED 24 IN. OC.
- ROCKWOOL** — TYPE SAFESOUND
- THERMAFIBER INC.** — TYPE SAFB, SAFB FF
- BATTS AND BLANKETS** — (AS AN ALTERNATE TO ITEM 8) — MIN. 3 IN. THICK GLASS FIBER BATTS BEARING THE UL CLASSIFICATION MARKING AS TO SURFACE BURNING AND/OR FIRE RESISTANCE, FRICTION-FITTED TO FILL THE STUD CAVITIES. SEE BATTS AND BLANKETS (BKNV OR BZJZ) CATEGORIES FOR NAMES OF CLASSIFIED COMPANIES.



GA NOTE #10 - WATER-RESISTANT GYPSUM BACKING BOARD SHALL BE INSTALLED OVER OR AS PART OF THE FIRE-RESISTANCE RATED SYSTEM IN AREAS TO RECEIVE CERAMIC OR PLASTIC WALL TILE OR PLASTIC FINISHED WALL PANELS. WHEN FIRE OR SOUND RATINGS ARE NECESSARY, THE GYPSUM BOARD REQUIRED FOR THE RATING SHALL EXTEND DOWN TO THE FLOOR BEHIND FIXTURES SO THAT THE CONSTRUCTION WILL EQUAL THE MINIMUM FIRE RATING REQUIREMENT.



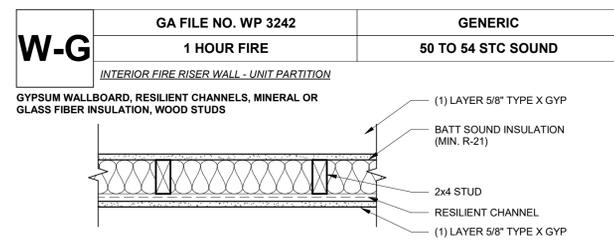
RESILIENT CHANNELS 24" O.C. ATTACHED AT RIGHT ANGLES TO ONE SIDE OF 2 x 6 WOOD STUDS 24" O.C. WITH 1 1/4" TYPE S DRYWALL SCREWS. ONE LAYER 5/8" TYPE X GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED AT RIGHT ANGLES TO CHANNELS WITH 1" TYPE S DRYWALL SCREWS 8" O.C. WITH VERTICAL JOINTS LOCATED MIDWAY BETWEEN STUDS. 3" MINERAL OR GLASS FIBER INSULATION IN STUD SPACE.

OPPOSITE SIDE: ONE LAYER 5/8" TYPE X GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED PARALLEL OR AT RIGHT ANGLES TO STUDS WITH 6D CEMENT COATED NAILS, 1 7/8" LONG, 0.0915" SHANK, 15/64" HEADS, 7" O.C.

VERTICAL JOINTS STAGGERED 24" ON OPPOSITE SIDES. (LOAD BEARING)

THICKNESS: 5 - 3/8"
APPROX. WEIGHT: 7 PSF
FIRE TEST: BASED ON UL R14196
OSNK05371, 2-15-05, UL DESIGN U309
NRCO TL-93-103, IRC-IR-761, 3/98

SOUND TEST:



RESILIENT CHANNELS 24" O.C. ATTACHED AT RIGHT ANGLES TO ONE SIDE OF 2 x 6 WOOD STUDS 24" O.C. WITH 1 1/4" TYPE S DRYWALL SCREWS. ONE LAYER 5/8" TYPE X GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED AT RIGHT ANGLES TO CHANNELS WITH 1" TYPE S DRYWALL SCREWS 8" O.C. WITH VERTICAL JOINTS LOCATED MIDWAY BETWEEN STUDS. 3" MINERAL OR GLASS FIBER INSULATION IN STUD SPACE.

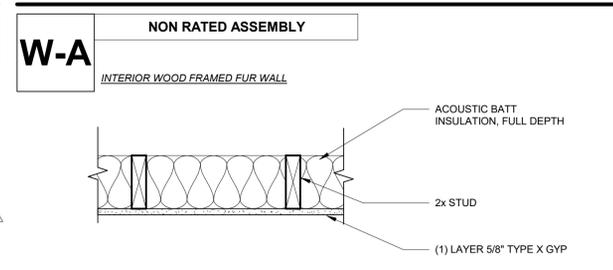
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VERTICAL JOINTS STAGGERED 24" ON OPPOSITE SIDES. (LOAD BEARING)

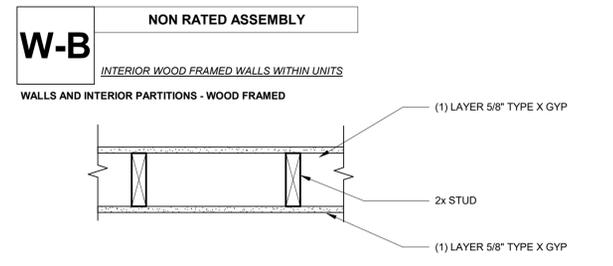
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OSNK05371, 2-15-05, UL DESIGN U309
NRCO TL-93-103, IRC-IR-761, 3/98

SOUND TEST:

INTERIOR WALL ASSEMBLIES



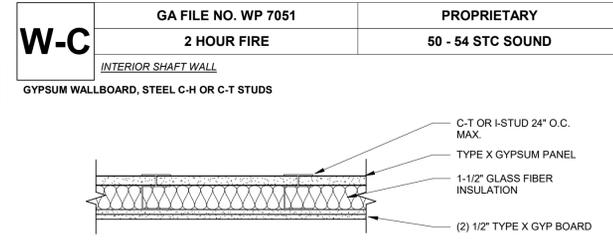
GA NOTE #10 - WATER-RESISTANT GYPSUM BACKING BOARD SHALL BE INSTALLED OVER OR AS PART OF THE FIRE-RESISTANCE RATED SYSTEM IN AREAS TO RECEIVE CERAMIC OR PLASTIC WALL TILE OR PLASTIC FINISHED WALL PANELS. WHEN FIRE OR SOUND RATINGS ARE NECESSARY, THE GYPSUM BOARD REQUIRED FOR THE RATING SHALL EXTEND DOWN TO THE FLOOR BEHIND FIXTURES SO THAT THE CONSTRUCTION WILL EQUAL THE MINIMUM FIRE RATING REQUIREMENT.



GYPSUM WALL BOARD SHEATHING, WOOD STUDS

ONE LAYER 5/8" TYPE X GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED PARALLEL OR AT RIGHT ANGLES TO EACH SIDE OF 2x4 MIN. WOOD STUDS (SEE STRUCT) WITH 6d NAILS, 1-7/8" LONG, 0.0915" SHANK, 1/4" HEADS, 7" O.C.

JOINTS STAGGERED 24" ON OPPOSITE SIDES. (LOAD BEARING) FOR PARTITION WALLS WITHIN UNITS



ONE LAYER 1" X 24" PROPRIETARY TYPE X GYPSUM PANELS INSERTED BETWEEN 2-1/2" FLOOR AND CEILING J RUNNERS WITH T SECTION OF 2-1/2" STEEL C-H OR C-T STUDS BETWEEN PANELS.

OPPOSITE SIDE: BASE LAYER 1/2" PROPRIETARY TYPE X GYPSUM WALLBOARD APPLIED AT RIGHT ANGLES TO STUDS WITH 1" TYPE S DRYWALL SCREWS 24" O.C. FACE LAYER 1/2" PROPRIETARY TYPE X GYPSUM WALLBOARD APPLIED PARALLEL TO STUDS WITH 1-5/8" TYPE S DRYWALL SCREWS 12" O.C.

SOUND TESTED WITH 1-1/2" GLASS FIBER INSULATION IN STUD SPACE. (NLB)

THICKNESS: 3 - 1/2"
APPROX. WEIGHT: 9 PSF
FIRE TEST: UL R7094, 93NK8151, 9-14-93; UL R3660, 07NK22992, 2-18-08; UL DESIGN U426 RAL TL93-181, TYPE S DRYWALL SCREWS 12" O.C.

SOUND TEST: 7-1-93

PROPRIETARY GYPSUM BOARD

CERTAINTEEED GYPSUM INC.
1/2" CERTAINTEEED TYPE C GYPSUM BOARD
1" GLASROC SHAFTLINER GYPSUM PANELS
CONTINENTAL BUILDING PRODUCTS
1/2" FIRECHECK TYPE C
1" MOLD DEFENSE SHAFTLINER
GEORGIA-PACIFIC GYPSUM LLC
1/2" TOUGHROCK FIREGUARD C GYPSUM BOARD
1" TOUGHROCK SHAFTLINER
NATIONAL GYPSUM COMPANY
1/2" GOLD BOND BRAND FIRE-SHIELD C GYPSUM BOARD
1" GOLD BOND BRAND FIRE-SHIELD SHAFTLINER
PABCO GYPSUM
1/2" FLABE CURB SUPER 'C' TYPE PG-C
1" PABCORE GYPSUM LINER BOARD

NOTE: INCLUDE SOUND PUTTY PADS AT ALL PENETRATIONS, TYP

REGISTERED ARCHITECT
KEVIN R. FOSLER
PORTLAND, OREGON
STATE OF OREGON

FOSLER
ARCHITECTURE.COM

Project
2326 N VANCOUVER AVE.
PORTLAND, OR 97227

Code
VNCVR

Set
PERMIT SET

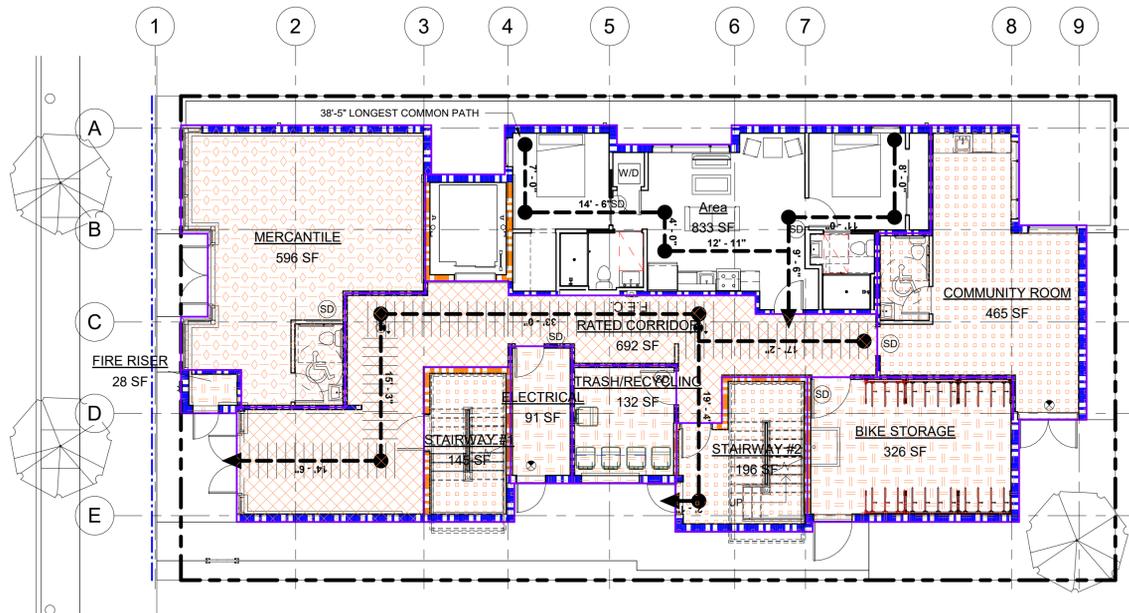
Date
22 AUGUST 2019

Revisions
R# DESCRIPTION DD MM YY
1 CHECKSHEET 10/23/2019 RESPONSE #1

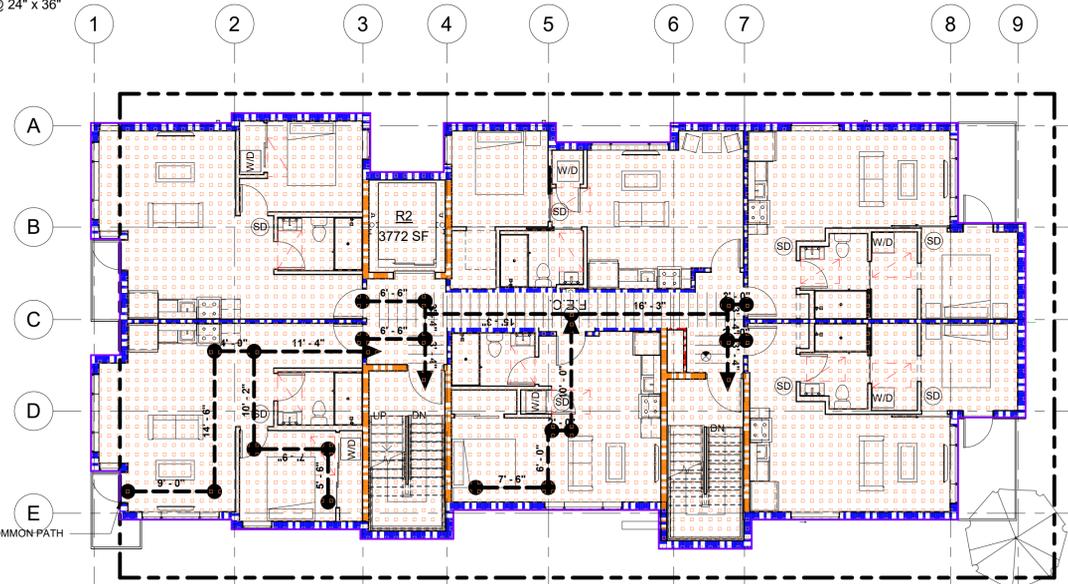
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Title
WALL ASSEMBLIES

VANCOUVER APARTMENTS



1 LEVEL 1
1/8" = 1'-0" @ 24" x 36"



2 LEVEL 2
1/8" = 1'-0" @ 24" x 36"

OCCUPANCY LEGEND:

- A-1 NO OCCUPANCY THIS PERMIT
- M
- R-2
- S-1
- EGRESS ILLUMINATION PATH; MIN 44" IN WIDTH

IBC WALL TYPES

- 1-HOUR FIRE PARTITION WALL FOR WALLS SEPARATING DWELLING UNITS IN THE SAME BUILDING SHALL BE CONSTRUCTED AS FIRE PARTITIONS IN ACCORDANCE WITH SECTION 708. 1-HOUR FIRE RATED EXTERIOR WALL
- 2-HOUR FIRE BARRIER WALL WHERE OCCURS AND IN COMBINATION WITH OTHER IBC WALL TYPES.
- 2-HOUR SHAFT WALL WHERE OCCURS AND IN COMBINATION WITH OTHER IBC WALL TYPES.

FIRE AND LIFE SAFETY NOTES:

1. SEPARATE PERMITS SHALL BE OBTAINED FROM THE FIRE MARSHAL'S OFFICE FOR THE INSTALLATION OF THE UNDERGROUND FIRE LINE, FIRE SPRINKLER & FIRE ALARM SYSTEM.
2. NEW & EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE & VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND AND BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCHES.
3. ROOMS CONTAINING FIRE PROTECTION EQUIPMENT (AIR-CONDITIONING SYSTEMS, FIRE SPRINKLER RISERS & VALVES OR OTHER FIRE DETECTION, SUPPRESSION OR CONTROL ELEMENTS) SHALL BE IDENTIFIED IN AN APPROVED MANNER. REQUIRED SIGNS SHALL BE CONSTRUCTED OF DURABLE MATERIALS, PERMANENTLY INSTALLED & READILY VISIBLE. DOORS INTO ELECTRICAL CONTROL PANEL ROOMS SHALL BE MARKED WITH A PLAINLY VISIBLE & LEGIBLE SIGN STATING "ELECTRICAL ROOM".
5. MULTI-FAMILY RESIDENTIAL PROJECTS WITH LESS THAN 100 DWELLING UNITS SHALL BE EQUIPPED WITH AT LEAST ONE APPROVED FIRE APARATUS ACCESS ROAD.
6. BUILDING OR PORTIONS OF BUILDINGS EXCEEDING 30 FEET IN HEIGHT ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS SHALL BE PROVIDED WITH APPROVED FIRE APARATUS ACCESS. ACCESS ROUTES ACCOMMODATING FIRE DEPARTMENT AERIAL APARATUS, OVERHEAD UTILITY & POWER LINES SHALL NOT BE LOCATED WITHIN THE AERIAL FIRE APARATUS ACCESS ROADWAY.
7. AERIAL FIRE APARATUS ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED WIDTH OF 26 FEET IN THE IMMEDIATE VICINITY OF ANY BUILDING OR PORTION OF BUILDING MORE THAN 30' IN HEIGHT.
8. AT LEAST ONE OF THE REQUIRED ACCESS ROUTES MEETING THIS CONDITION SHALL BE LOCATED WITHIN A MINIMUM OF 15 FEET & A MAXIMUM OF 30 FEET FROM THE BUILDING & SHALL BE POSITIONED PARALLEL TO ONE ENTIRE SIDE OF THE BUILDING.
9. FDC WILL BE LOCATED WITHIN 150 FEET OF A PUBLIC HYDRANT.
10. PLAN SET REFERENCES TO FIRE ALARM/FIRE SPRINKLER DESIGN/INSTALLATION ARE FOR REFERENCE ONLY, TO BE DETERMINED BY THE PLAN REVIEW PROCESS AT THE FIRE MARSHAL'S OFFICE.
11. GROUP R OCCUPANCIES SHALL BE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.2
12. FIRE ALARM SYSTEMS AND SMOKE ALARMS SHALL BE PROVIDED IN GROUP R-2 OCCUPANCIES IN ACCORDANCE WITH SECTION 907.2.9.
13. TWO-WAY COMMUNICATION: A TWO-WAY COMMUNICATION SYSTEM SHALL BE PROVIDED AT THE ELEVATOR LANDING ON EACH ACCESSIBLE FLOOR THAT IS ONE OR MORE STORIES ABOVE OR BELOW THE STORY OF EXIT DISCHARGE PER SECTIONS 1007.8, 1007.8.1 AND 1007.8.2

EGRESS ROUTE:

- MEANS OF EGRESS ILLUMINATION:**
- SHORTEST PATH TO PUBLIC WAY MIN 44" WIDTH 1 HR SEPARATION
- IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE ALL OF THE FOLLOWING AREAS:
1. AISLES AND ENCLOSED EGRESS STAIRWAYS IN ROOMS AND SPACES THAT REQUIRE TWO OR MORE MEANS OF EGRESS.
 2. CORRIDORS, INTERIOR EXIT STAIRWAYS AND RAMPS AND EXIT PASSAGEWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
 3. EXTERIOR EGRESS COMPONENTS AT OTHER THAN THEIR LEVELS OF EXIT DISCHARGE UNTIL EXIT DISCHARGE IS ACCOMPLISHED FOR BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
 4. INTERIOR EXIT DISCHARGE ELEMENTS, AS PERMITTED IN SECTION 1027.1, IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
 5. EXTERIOR LANDINGS AS REQUIRED BY SECTION 1008.1.6 FOR EXIT DISCHARGE DOORWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.

LEGEND

- R2 OCCUPANCY GROUP
- E REQUIRED EXIT
- EXIT SIGN - INTERNALLY ILLUMINATED EXIT SIGN W/ BATTERY BACKUP POWER PER 1011.5
- FIRE ALARM CONTROL PANEL
- KNOX BOX LOCATION
- SMOKE DETECTOR & CARBON MONOXIDE DETECTION (INTER-CONNECT SD'S IN UNITS TYP.)
- FIRE EXTINGUISHER RECESSED WALL CABINET

OCCUPANCY LOAD SCHEDULE										
Level	Name	Number	Area	Non Calculated Room Area	Net Room Area	Area Per Occupant	Classification	Occupancy Load Calculated	Group Type	Comments
LEVEL 1	MERCANTILE	23	596 SF	0 SF	596 SF	30 SF	Mercantile	20	M	
LEVEL 1	FIRE RISER	24	28 SF	0 SF	28 SF	300 SF	Accessory storage areas, mechanical equipment room	1	S-1	
LEVEL 1	COMMUNITY ROOM	25	465 SF	0 SF	465 SF	15 SF	Assembly without fixed seats - Unconcentrated (tables and chairs)	31	R-2	
LEVEL 1	BIKE STORAGE	26	326 SF	0 SF	326 SF	300 SF	Accessory storage areas, mechanical equipment room	2	S-1	
LEVEL 1	RATED CORRIDOR	27	692 SF	0 SF	692 SF	15 SF	Assembly without fixed seats - Standing Space	47	A-1	
LEVEL 1	ELECTRICAL	28	91 SF	0 SF	91 SF	300 SF	Accessory storage areas, mechanical equipment room	1	S-1	
LEVEL 1	TRASH/RECYCLING	29	132 SF	0 SF	132 SF	300 SF	Accessory storage areas, mechanical equipment room	1	S-1	
LEVEL 1	Area	31	833 SF				(none)			
LEVEL 1	STAIRWAY #1	32	145 SF			200 SF	Residential		R-2	
LEVEL 1	STAIRWAY #2	33	196 SF			200 SF	Residential		R-2	
LEVEL 2	R2	22	3772 SF	0 SF	3772 SF	200 SF	Residential	19	R-2	
LEVEL 3	R2	30	3772 SF	0 SF	3772 SF	200 SF	Residential	19	R-2	
LEVEL 4	R2	21	3772 SF	0 SF	3772 SF	200 SF	Residential	19	R-2	

REGISTERED ARCHITECT
KATHLEEN B. FOSLER
PORTLAND, OREGON
STATE OF OREGON

TOSGI
ARCHITECTURE.COM

VANCOUVER APARTMENTS

2326 N VANCOUVER AVE.
PORTLAND, OR 97227

Project: VNCVR
Set: PERMIT SET
Date: 22 AUGUST 2019

R#	DESCRIPTION	DD	MM	YY
1	CHECKSHEET RESPONSE #1	10/23/2019		

Revisions

Sheet **A11.0**

Title OCCUPANCY & FIRE LIFE SAFETY



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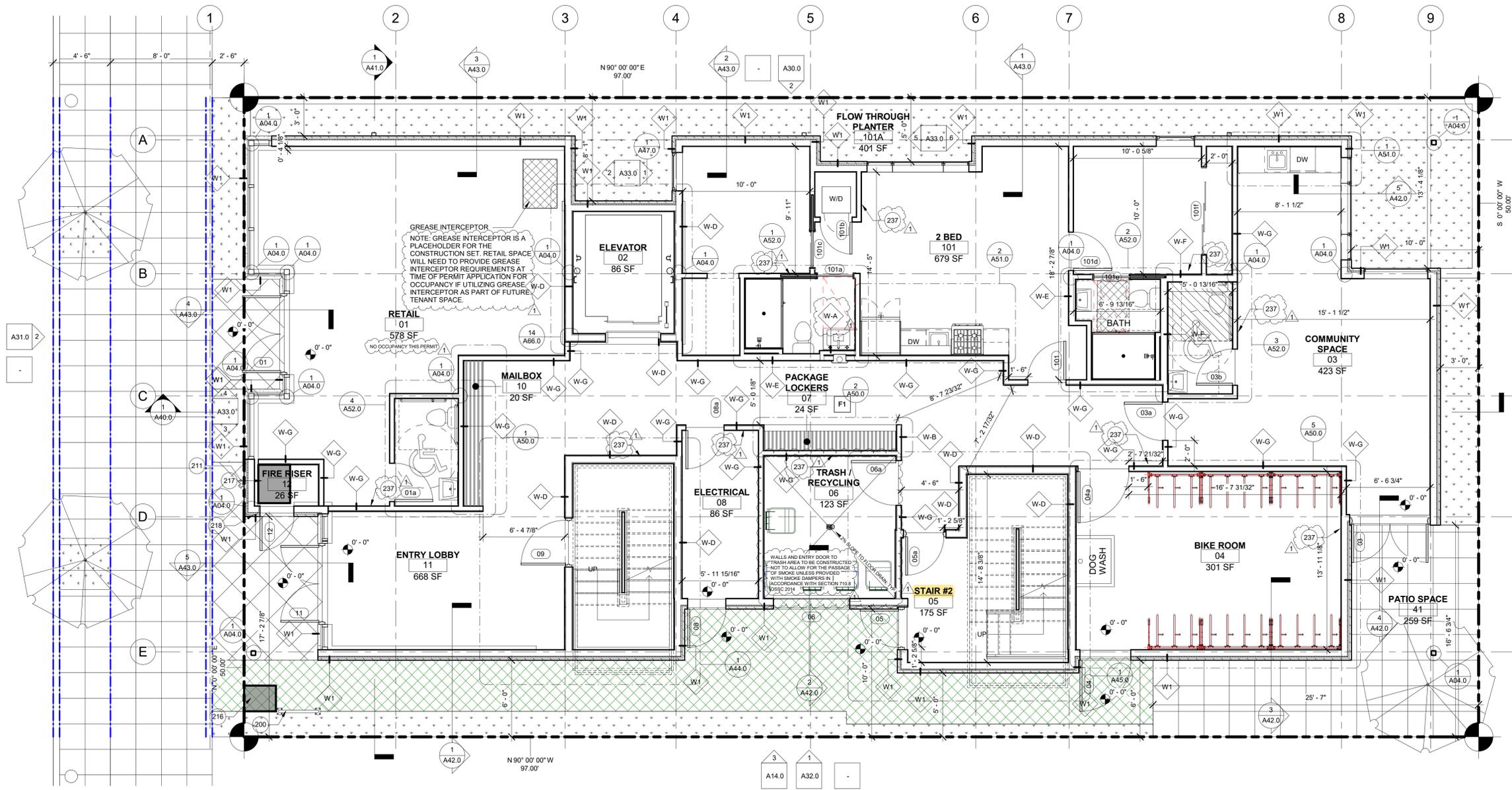
PERMIT SET

22 AUGUST 2019

1 CHECKSHEET 10/23/2019 RESPONSE #1

A20.0

GROUND LEVEL PLAN



1 LEVEL 1
1/4" = 1'-0" @ 24" x 36"

FLOOR PLAN NOTES

- ALL GRID LINES TO OUTSIDE FACE OF STUD, UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS TO OUTSIDE FACE OF STUD AT EXISTING WALLS, FACE OF STUD FOR NEW WALLS, & CENTERLINE (CL) OF COLUMNS UNLESS OTHERWISE NOTED.
- ALL DOOR THRESHOLD TO BE 1/2" MAXIMUM U.O.N.
- USE LEVER HARDWARE FOR ALL NEW DOORS.
- LOCATE ALL LIGHT SWITCHES & THERMOSTATS 42" AFF
- LOCATE ALL OUTLETS & PHONE JACKS 18" AFF TYP & 42" AFF AT COUNTERS (U.O.N. ON PLANS)
- INSTALL PLUMBING PRODUCTS APPROVED BY THE STATE PLUMBING BOARD OR APPROVED LISTING AGENCY.
- SEPARATE PLUMBING PERMITS & PLUMBING INSPECTION ARE REQ'D FOR ALL PLUMBING INSTALLED ON PRIVATE PROPERTY.
- INSTALL PLUMBING MATERIALS PER THE OREGON STATE PLUMBING SPECIALTY CODE & THE OREGON STATE STRUCTURAL SPECIALTY CODE.
- ALL PERMANENT LIGHTING: USE CFL OR OTHER FLUOR WITH MIN. EFFICIENCY OF 40 LUMENS/WATT.
- EACH BEDROOM TO HAVE A MINIMUM WINDOW OPENING OF 5.7 SF. 5 SF IS PERMITTED ON THE GROUND LEVEL AND IN BASEMENTS. THE MINIMUM WIDTH OF THE OPENING IS 20" AND 24" MIN HEIGHT. THE SILL OF THE WINDOW OPENING MUST BE LESS THAN 44" AFF.
- ALL WINDOWS WITHIN 18" OF THE FLOOR AND WITHIN 12" OF ANY DOOR ARE TO BE TEMPERED GLASS.
- ALL TUB AND SHOWER ENCLOSURES TO BE GLAZED WITH SAFETY GLASS AND PROVIDE 1/2 IN. WATER PROOF GWB AROUND ALL TUBS AND SHOWERS.
- ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHERSTRIPPING. PROVIDE 1/2 IN DEADBOLT LOCKS ON ALL EXTERIOR DOORS AND LOCKING DEVICES ON ALL DOORS AND WINDOWS WITHIN 10FT OF GRADE.
- CONNECT ALL SMOKE DETECTORS (SEE PLAN FOR LOCATION) TO HOUSE ELECTRICAL SYSTEM AND INTERCONNECT EACH ONE SO THAT WHEN ANY ONE IS TRIPPED, THEY WILL ALL SOUND.
- PROVIDE COMBUSTION AIR VENTS (W/ SCREEN AND BACK DAMPER) FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCE WITH AN OPEN FLAME.
- BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED TO THE OUTSIDE WITH A FAN CAPABLE OF PRODUCING A MINIMUM OF 4 AIR CHANGES PER HOUR. RANGE HOODS ARE ALSO TO BE VENTED TO THE OUTSIDE.
- THE DRYER DUCTING IS EXPOSED AT THE REAR OF THE LAUNDRY CLOSET. THE DRYER DUCT CLEANOUT WILL BE ACCESSIBLE AT THIS LOCATION.

Keynote Legend	
Key Value	Keynote Text
200	SHORT TERM BIKE PARKING W/ 2x5 CLEARANCE
211	FDC
216	REDUCED PRESSURE BACKFLOW ASSEMBLY (RPBA)
217	DOUBLE CHECK DETECTOR ASSEMBLY (DCDA)
218	KNOX BOX. TO BE MOUNTED NO HIGHER THAN 6'-0" ABOVE GROUND LEVEL
237	CADET SPACE HEATER

WALL TYPE LEGEND

- ◊WA TYP INTERIOR FUR WALL
- ◊WB TYP INTERIOR WALL
- ◊WC TYP SHAFT WALL
- ◊WD TYP INTERIOR STAIRWELL & ELEVATOR WALL
- ◊WE TYP INTERIOR PLUMBING WALL
- ◊WF TYP INTERIOR RATED PLUMBING/PARTITION WALL
- ◊WG TYP INTERIOR UNIT PARTITION WALL
- ◊W1 TYP EXTERIOR WALL - ARCH PANEL
- ◊W2 TYP EXTERIOR WALL - METAL SIDING
- ◊W3 TYP EXTERIOR CONCRETE WALL
- ◊W4 TYP EXTERIOR CONCRETE STEM WALL W/ FURRING
- ◊W4 TYP EXTERIOR 2HR STAIRWELL WALL

ROOM SCHEDULE - LEVEL 1					
WTWT	NAME	AREA	ROOM NUMBER	TYPE	COMMENTS
LEVEL 1	MAILBOX	20 SF	10		
LEVEL 1	PACKAGE LOCKERS	24 SF	07		
LEVEL 1	FIRE RISER	26 SF	12		
LEVEL 1	ELEVATOR	86 SF	02		
LEVEL 1	ELECTRICAL	86 SF	08		
LEVEL 1	TRASH / RECYCLING	123 SF	06		
LEVEL 1	STAIR #2	175 SF	05		
LEVEL 1	PATIO SPACE	259 SF	41		
LEVEL 1	BIKE ROOM	301 SF	04		
LEVEL 1	FLOW THROUGH PLANTER	401 SF	101A		
LEVEL 1	COMMUNITY SPACE	423 SF	03		
LEVEL 1	RETAIL	578 SF	01		
LEVEL 1	ENTRY LOBBY	668 SF	11		
LEVEL 1	2 BED	679 SF	101		
		3849 SF			



VANCOUVER APARTMENTS

2326 N VANCOUVER AVE.
PORTLAND, OR 97227

Project

Code

Set

Date

Revisions

Sheet

Title

VNCVR

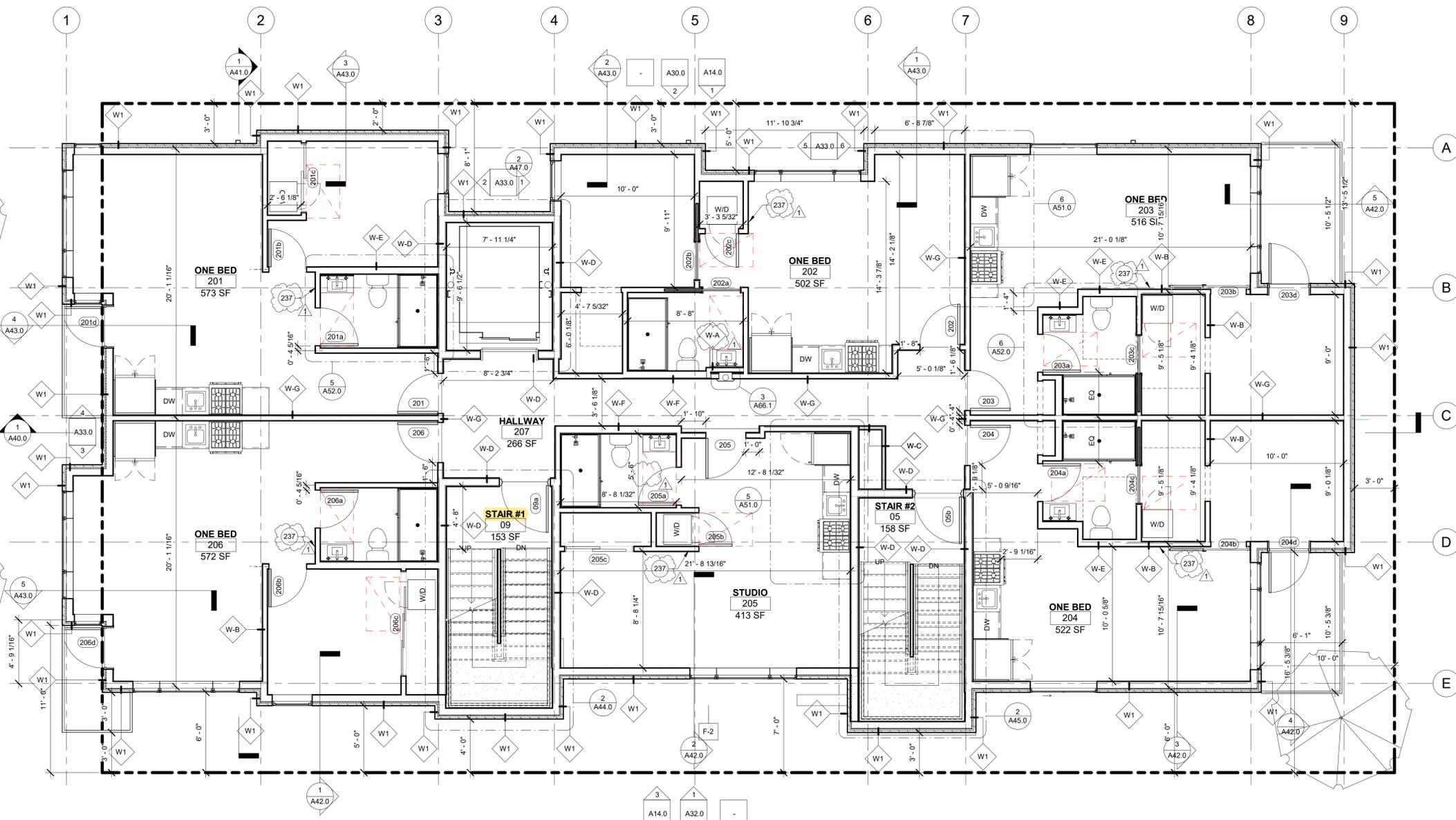
PERMIT SET

22 AUGUST 2019

1 DESCRIPTION DD MM YY
1 CHECKSHEET 10/23/2019
RESPONSE #1

A21.0

SECOND LEVEL PLAN



1 LEVEL 2
1/4" = 1'-0" @ 24" x 36"



FLOOR PLAN NOTES

- ALL GRID LINES TO OUTSIDE FACE OF STUD, UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS TO OUTSIDE FACE OF STUD AT EXISTING WALLS, FACE OF STUD FOR NEW WALLS, & CENTERLINE (CL) OF COLUMNS UNLESS OTHERWISE NOTED.
- ALL DOOR THRESHOLD TO BE 1/2" MAXIMUM U.O.N.
- USE LEVER HARDWARE FOR ALL NEW DOORS.
- LOCATE ALL LIGHT SWITCHES & THERMOSTATS 42" AFF.
- LOCATE ALL OUTLETS & PHONE JACKS 16" AFF TYP. & 42" AFF AT COUNTERS (U.O.N. ON PLANS).
- INSTALL PLUMBING PRODUCTS APPROVED BY THE STATE PLUMBING BOARD OR APPROVED LISTING AGENCY.
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Keynote Legend	
Key Value	Keynote Text
237	CADET SPACE HEATER

WALL TYPE LEGEND

- ◊WA TYP INTERIOR FUR WALL
- ◊WB TYP INTERIOR WALL
- ◊WC TYP SHAFT WALL
- ◊WD TYP INTERIOR STAIRWELL & ELEVATOR WALL
- ◊WE TYP INTERIOR PLUMBING WALL
- ◊WF TYP INTERIOR RATED PLUMBING/PARTITION WALL
- ◊WG TYP INTERIOR UNIT PARTITION WALL
- ◊W1 TYP EXTERIOR WALL - ARCH PANEL
- ◊W2 TYP EXTERIOR WALL - METAL SIDING
- ◊W3 TYP EXTERIOR CONCRETE WALL
- ◊W4 TYP EXTERIOR CONCRETE STEM WALL W/ FURRING
- ◊W4 TYP EXTERIOR 2HR STAIRWELL WALL

ROOM SCHEDULE - LEVEL 2

LEVEL	NAME	AREA	ROOM NUMBER	TYPE	COMMENTS
LEVEL 2	STAIR #1	153 SF	09		
LEVEL 2	STAIR #2	158 SF	05		
LEVEL 2	HALLWAY	266 SF	207		
LEVEL 2	STUDIO	413 SF	205		
LEVEL 2	ONE BED	502 SF	202		
LEVEL 2	ONE BED	516 SF	203		
LEVEL 2	ONE BED	522 SF	204		
LEVEL 2	ONE BED	572 SF	206		
LEVEL 2	ONE BED	573 SF	201		
		3674 SF			



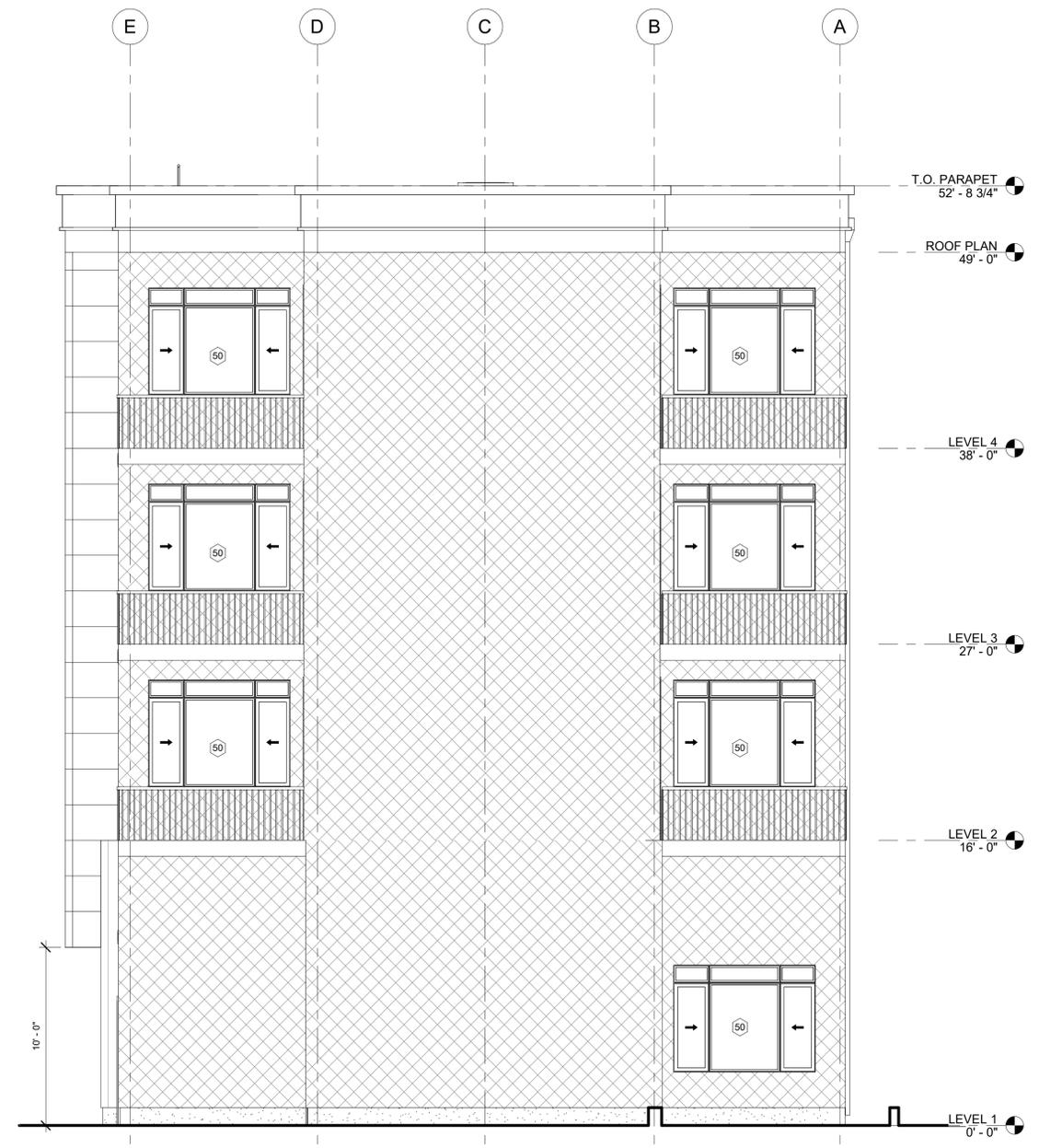
Project
 2326 N VANCOUVER AVE.
 PORTLAND, OR 97227
VANCOUVER APARTMENTS

Code	VNCVR										
Set	PERMIT SET										
Date	22 AUGUST 2019										
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A	OWNER REVISION	11	05	2019							

Sheet
A31.0
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 EXTERIOR ELEVATIONS



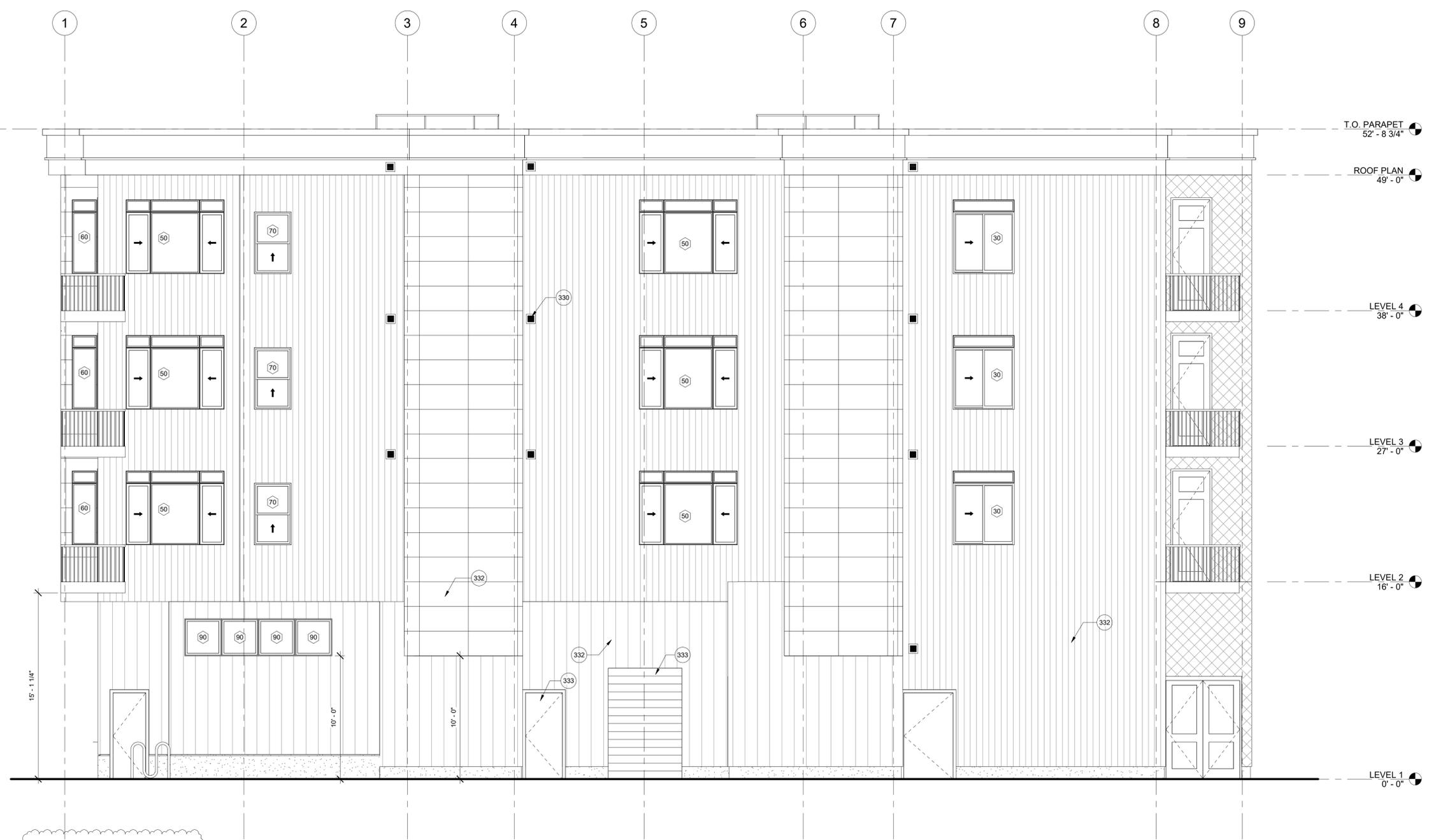
2 WEST ELEVATION
 1/4" = 1'-0" @ 24" x 36"



1 EAST ELEVATION
 1/4" = 1'-0" @ 24" x 36"

Keynote Legend	
Key Value	Keynote Text
326	ADDRESS LOCATION
331	FDC

ELEVATION LEGEND	
	FUNDERMAX 0794 NT
	CIP CONCRETE
	VERTICAL METAL @ BASE
	VERTICAL METAL PANEL SYSTEM
	VERTICAL METAL PANEL - EXPOSED FASTENING



1 SOUTH ELEVATION
1/4" = 1'-0" @ 24" x 36"

Keynote Legend	
Key Value	Keynote Text
330	VENTING
332	1-HR RATED WALL ASSEMBLY
333	45 MIN RATED DOOR

ELEVATION LEGEND	
	FUNDERMAX 0794 NT
	CIP CONCRETE
	VERTICAL METAL @ BASE
	VERTICAL METAL PANEL SYSTEM
	VERTICAL METAL PANEL - EXPOSED FASTENING

Project
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VANCOUVER APARTMENTS

Code	VNCVR										
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A	OWNER REVISION	11	05	2019							

Sheet
A32.0
Title
EXTERIOR ELEVATIONS



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PORTLAND, OR 97227

VANCOUVER APARTMENTS

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PORTLAND, OR 97227

Code **VNCVR**

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Date 22 AUGUST 2019

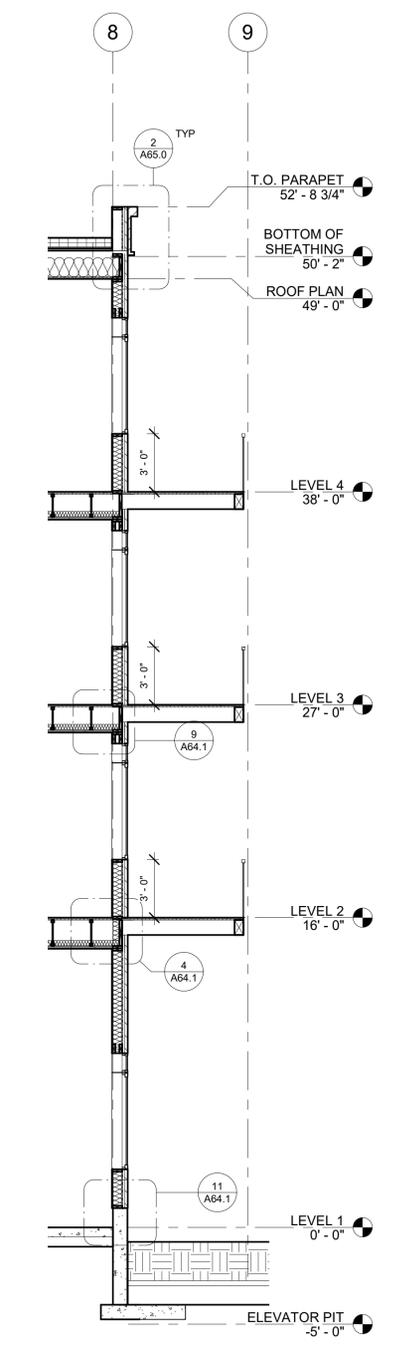
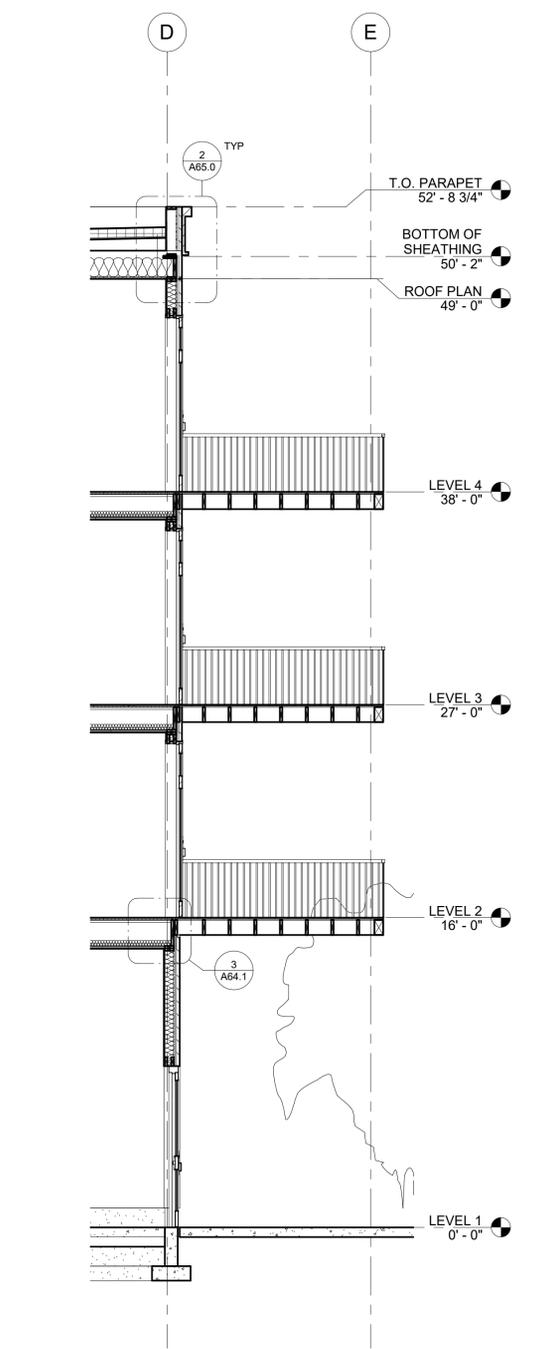
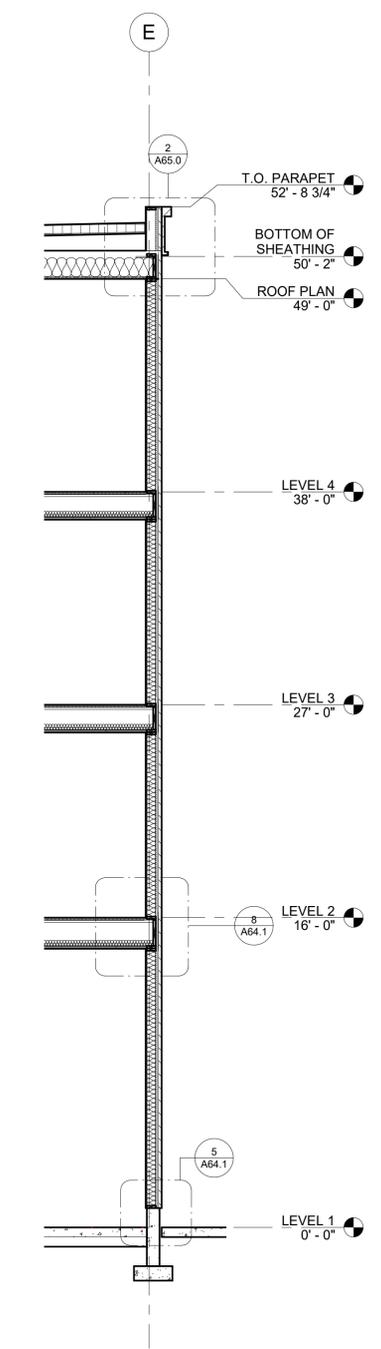
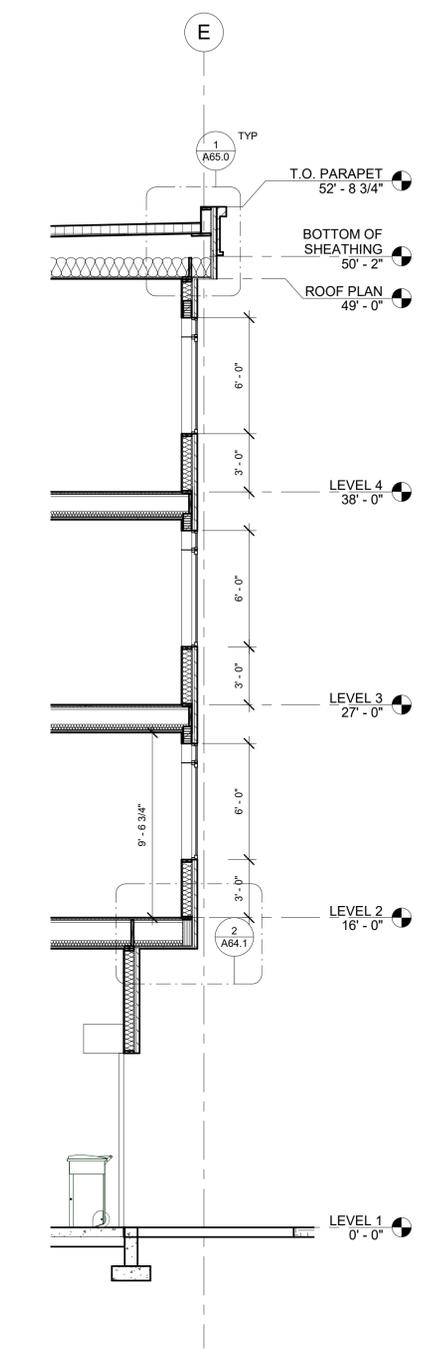
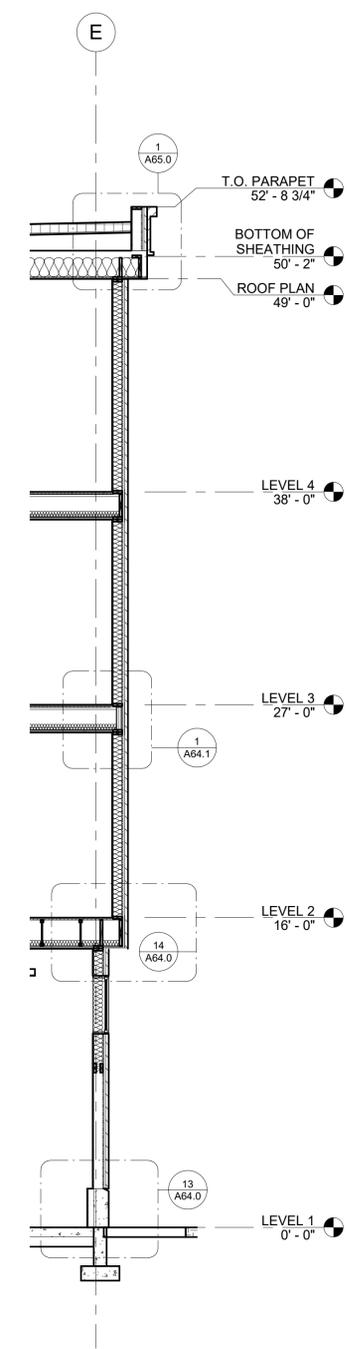
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Sheet **A42.0**

WALL SECTIONS

Title





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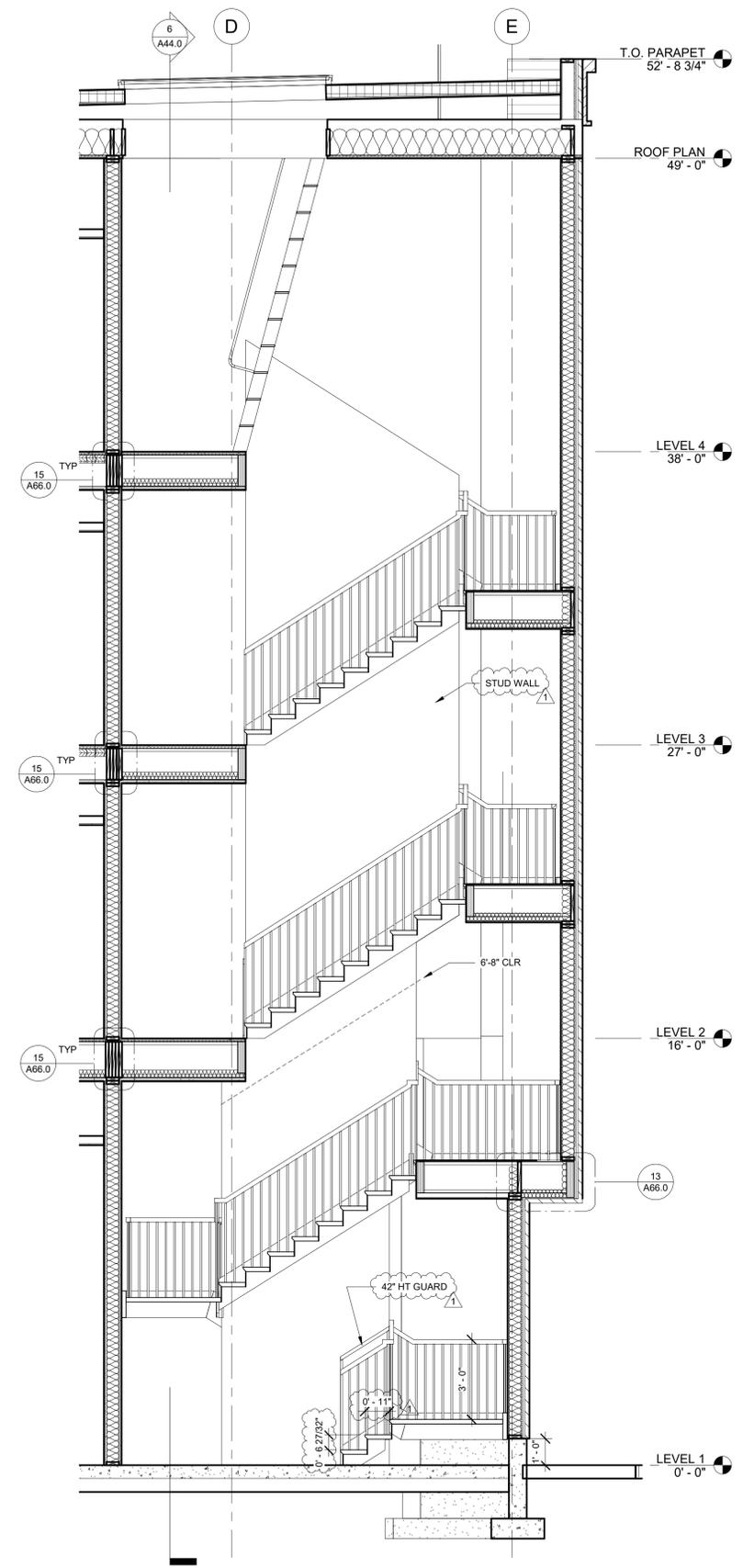
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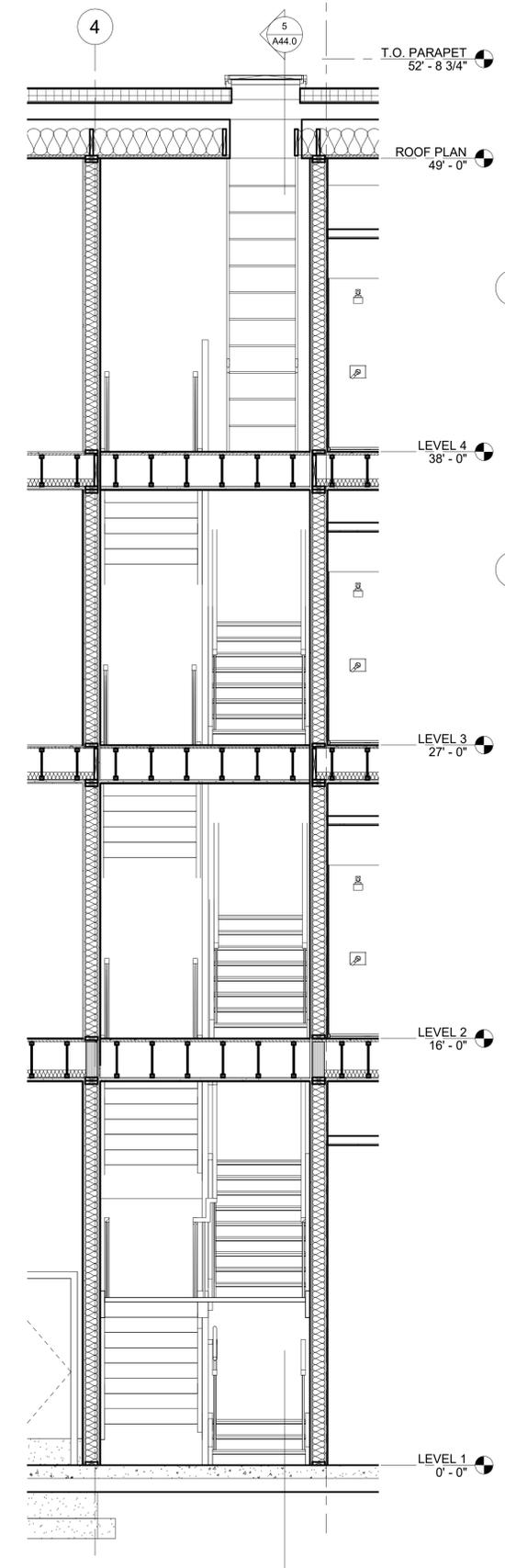
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CHECKSHEET RESPONSE #1

A44.0

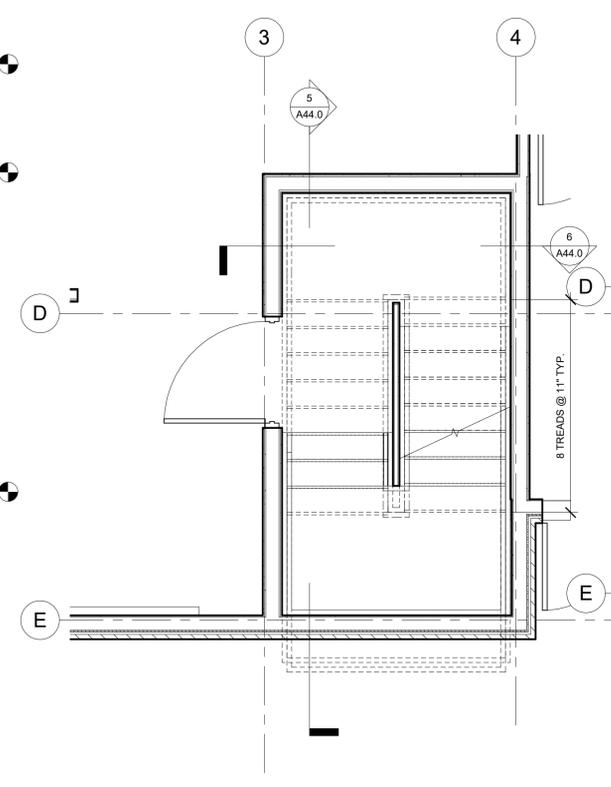
ENLARGED STAIR PLAN & SECTIONS



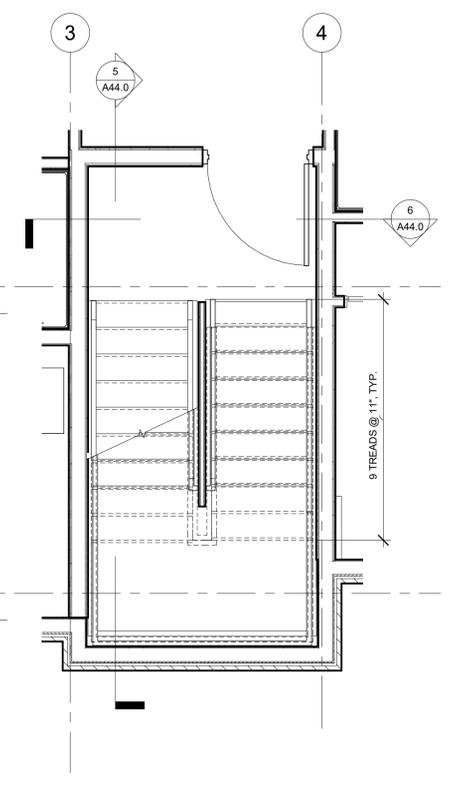
5 Section 16
3/8" = 1'-0" @ 24" x 36"



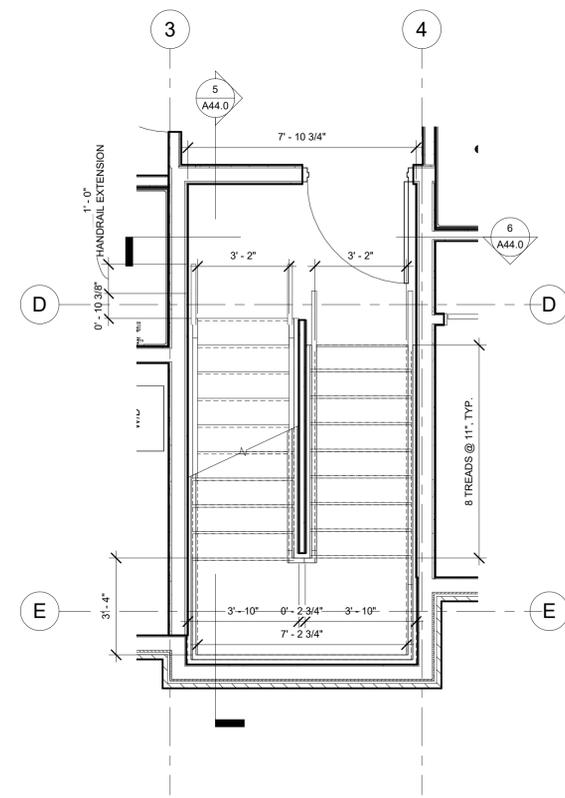
6 Section 17
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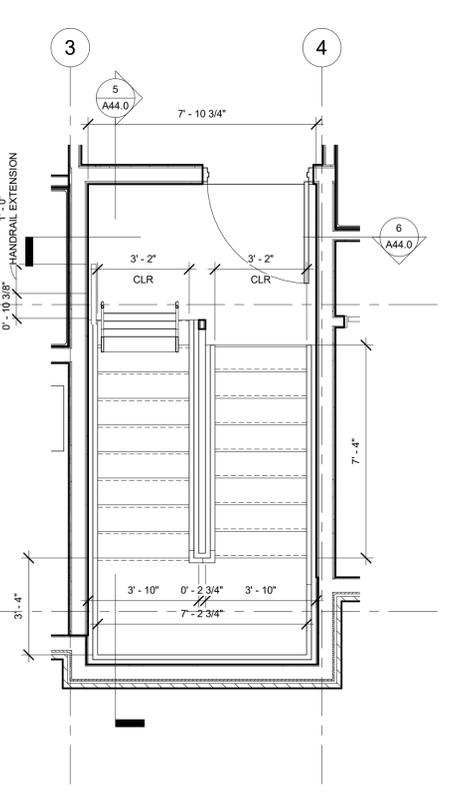
1 ENLARGED STAIR #1 PLAN - GROUND LEVEL
3/8" = 1'-0" @ 24" x 36"



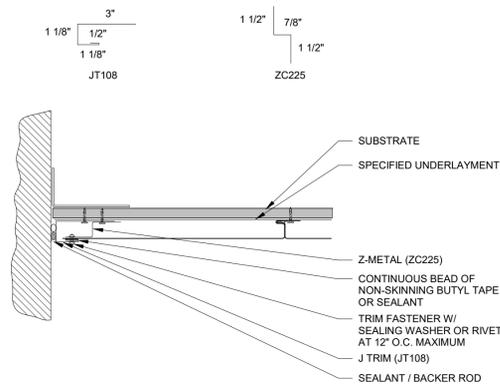
2 ENLARGED STAIR #1 PLAN - SECOND LEVEL
3/8" = 1'-0" @ 24" x 36"



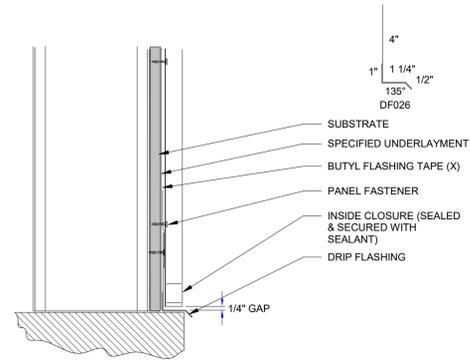
3 ENLARGED STAIR #1 PLAN - THIRD LEVEL
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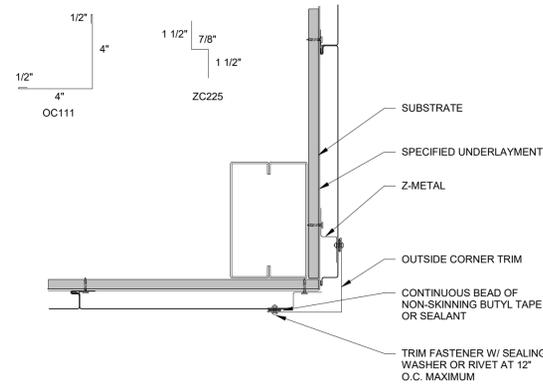
4 ENLARGED STAIR #1 PLAN - FOURTH LEVEL
3/8" = 1'-0" @ 24" x 36"



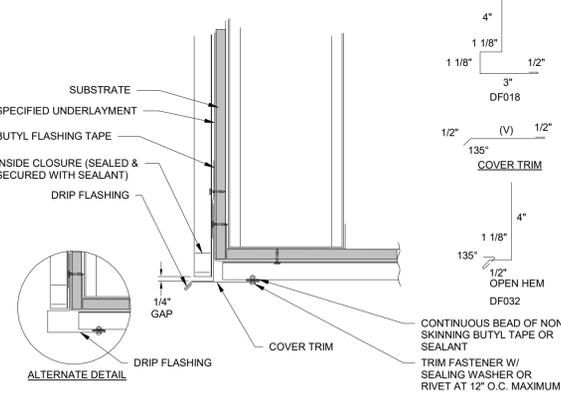
10 METAL PANEL @ END WALL
3" = 1'-0" @ 24" x 36"



12 METAL PANEL END WALL
3" = 1'-0" @ 24" x 36"

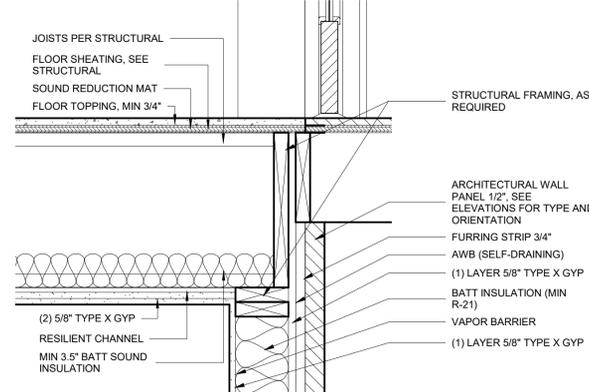


13 METAL PANEL OUTSIDE CORNER
3" = 1'-0" @ 24" x 36"

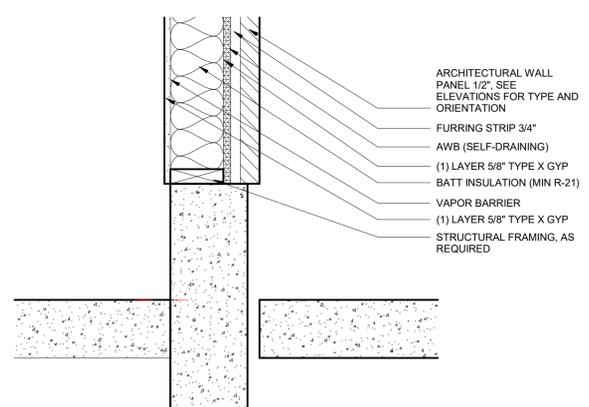


14 METAL PANEL SOFFIT
3" = 1'-0" @ 24" x 36"

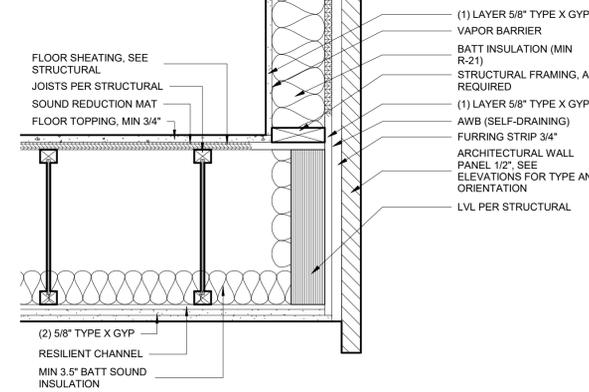
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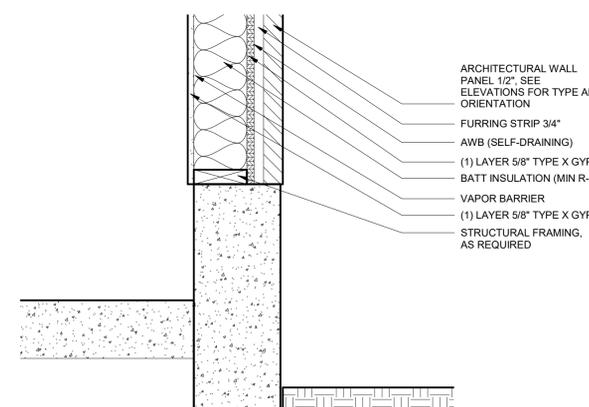
3 BALCONY @ 16" FLOOR
1 1/2" = 1'-0" @ 24" x 36"



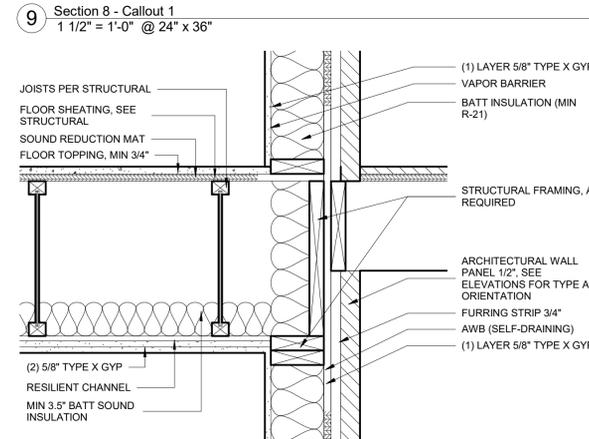
5 Detail 4
1 1/2" = 1'-0" @ 24" x 36"



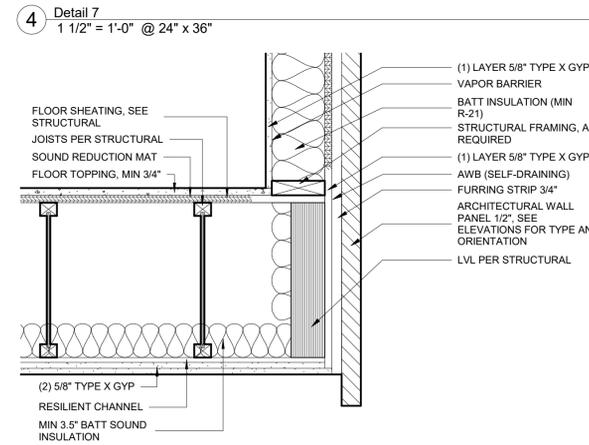
7 Section 13 - Callout 1
1 1/2" = 1'-0" @ 24" x 36"



11 Section 8 - Callout 2
1 1/2" = 1'-0" @ 24" x 36"



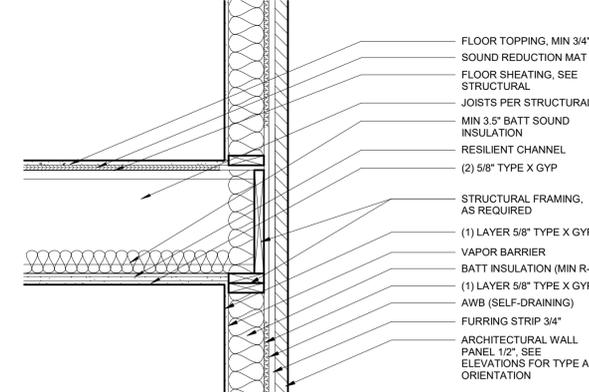
9 Section 8 - Callout 1
1 1/2" = 1'-0" @ 24" x 36"



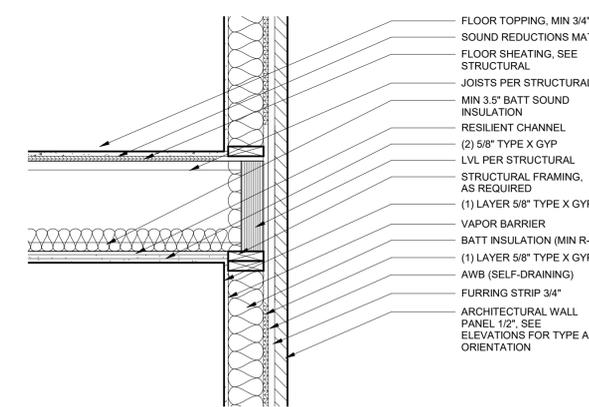
7 Section 13 - Callout 1
1 1/2" = 1'-0" @ 24" x 36"



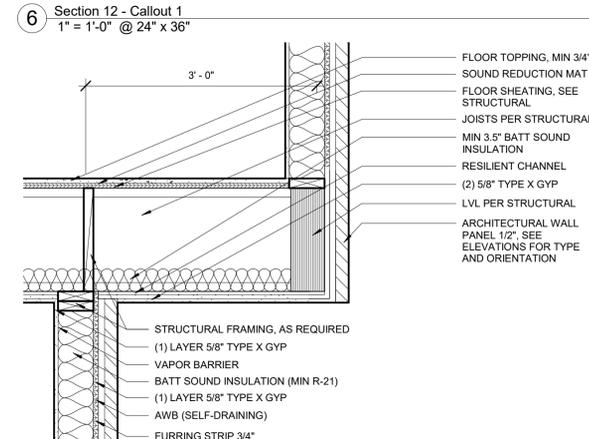
11 Section 8 - Callout 2
1 1/2" = 1'-0" @ 24" x 36"



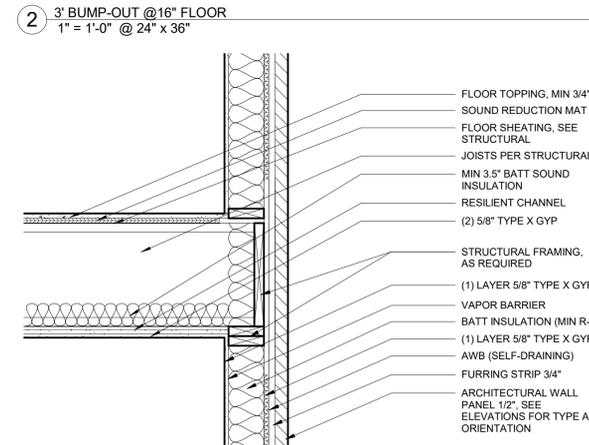
8 Section 6 - Callout 1
1" = 1'-0" @ 24" x 36"



1 Detail 2
1" = 1'-0" @ 24" x 36"



6 Section 12 - Callout 1
1" = 1'-0" @ 24" x 36"



2 3' BUMP-OUT @ 16" FLOOR
1" = 1'-0" @ 24" x 36"



11 Section 8 - Callout 2
1 1/2" = 1'-0" @ 24" x 36"



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VANCOUVER APARTMENTS

Project: 2326 N VANCOUVER AVE., PORTLAND, OR 97227

Code	VNCR
Set	PERMIT SET
Date	22 AUGUST 2019
Revisions	R# DESCRIPTION DD MM YY
Sheet	A64.1
Title	WALL DETAILS

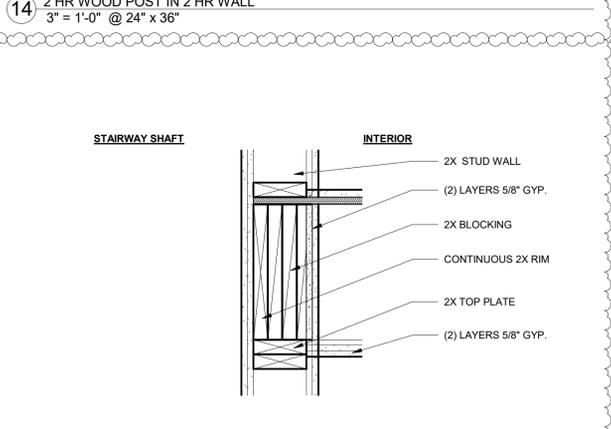
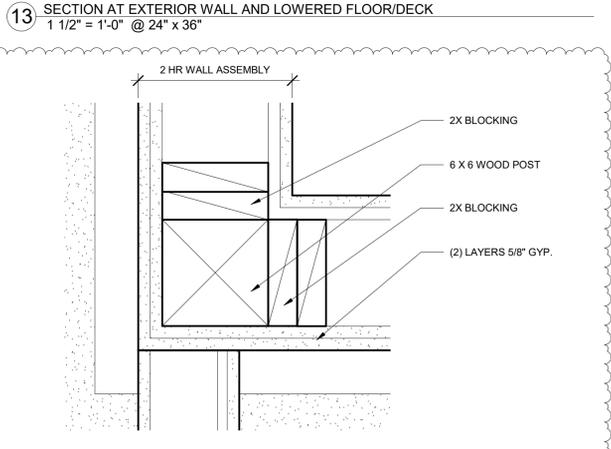
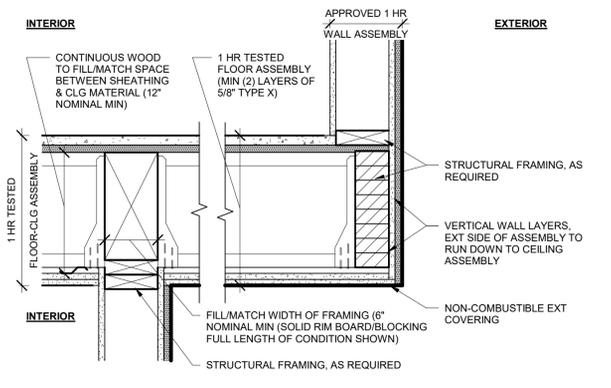
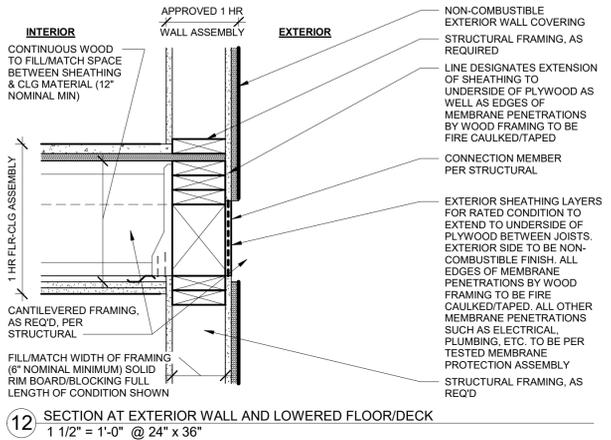


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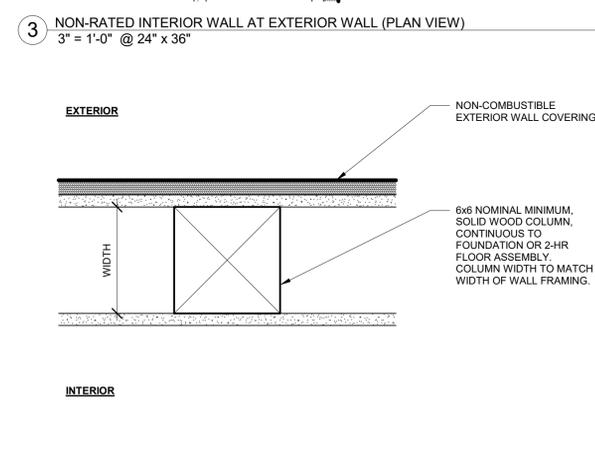
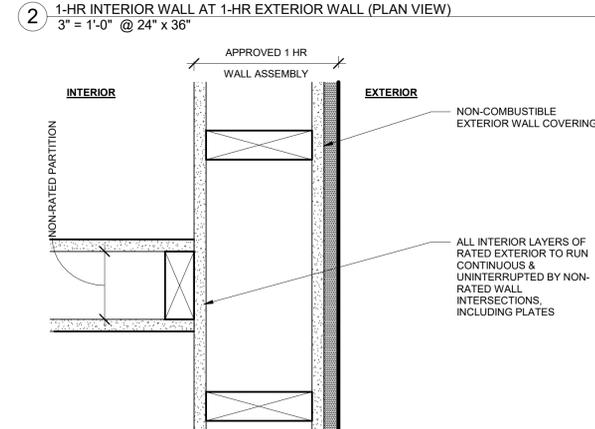
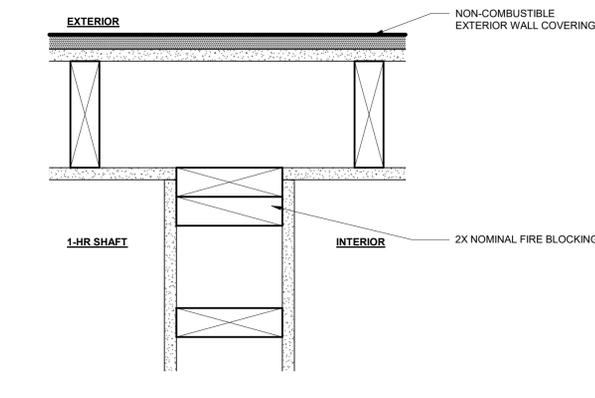
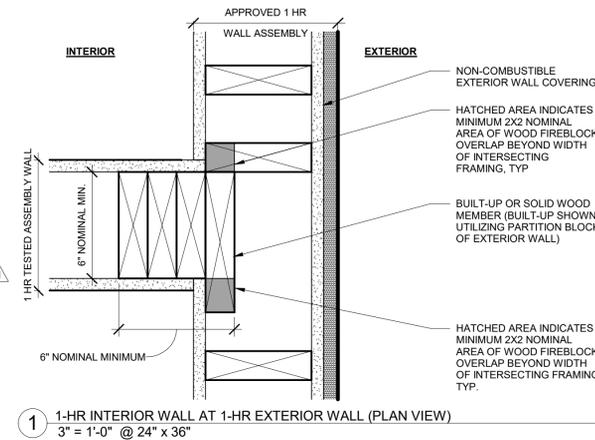
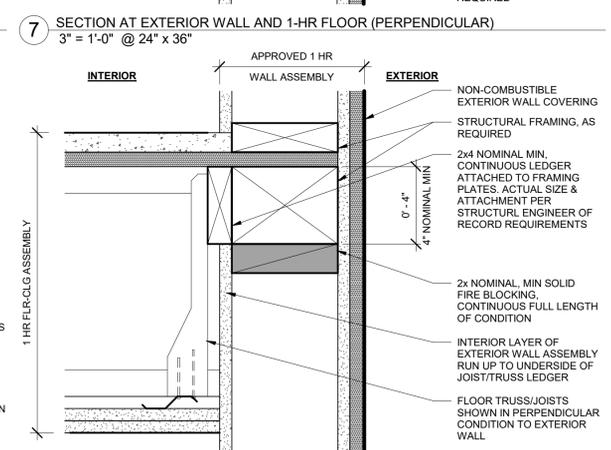
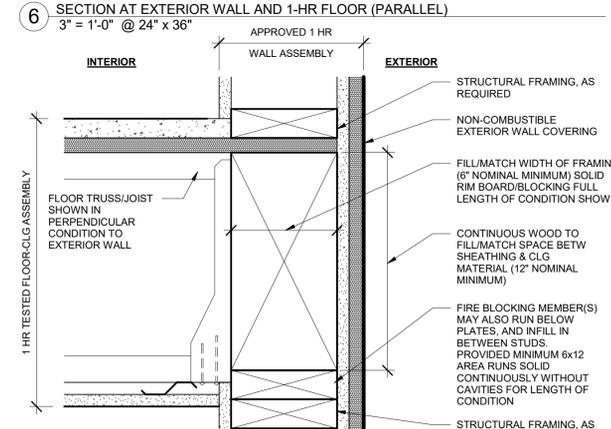
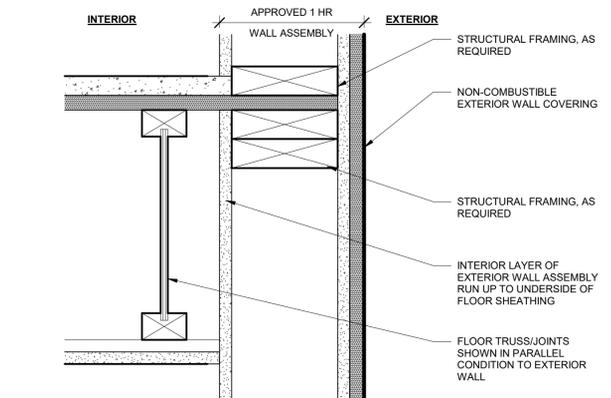
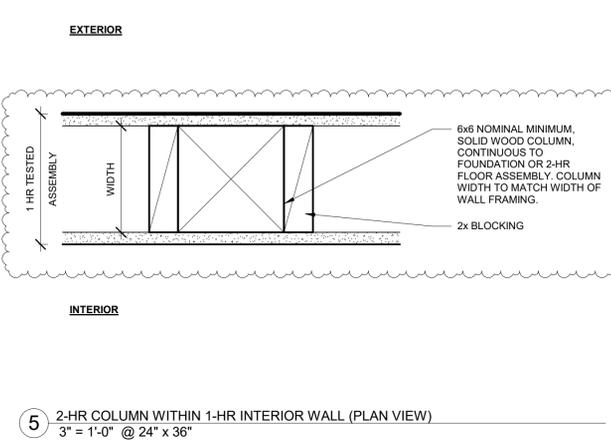
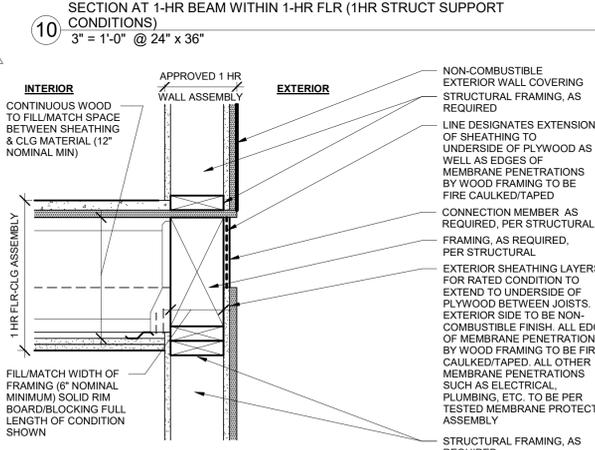
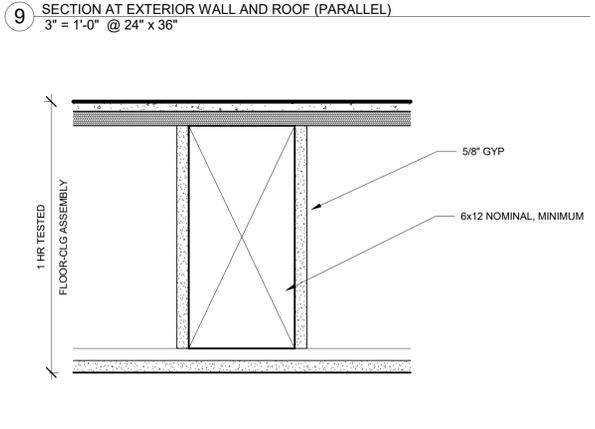
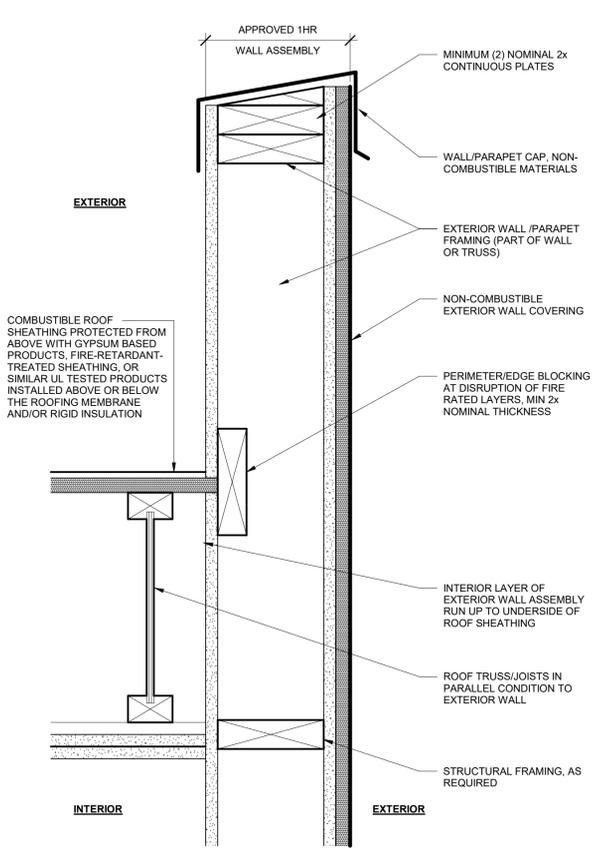
VANCOUVER APARTMENTS

Code	VNCVR
Set	PERMIT SET
Date	22 AUGUST 2019
R#	DESCRIPTION DD MM YY
1	CHECKSHEET 10/23/2019 RESPONSE #1

Revisions	
Sheet	A66.0
Title	FIRE SEPARATION DETAILS

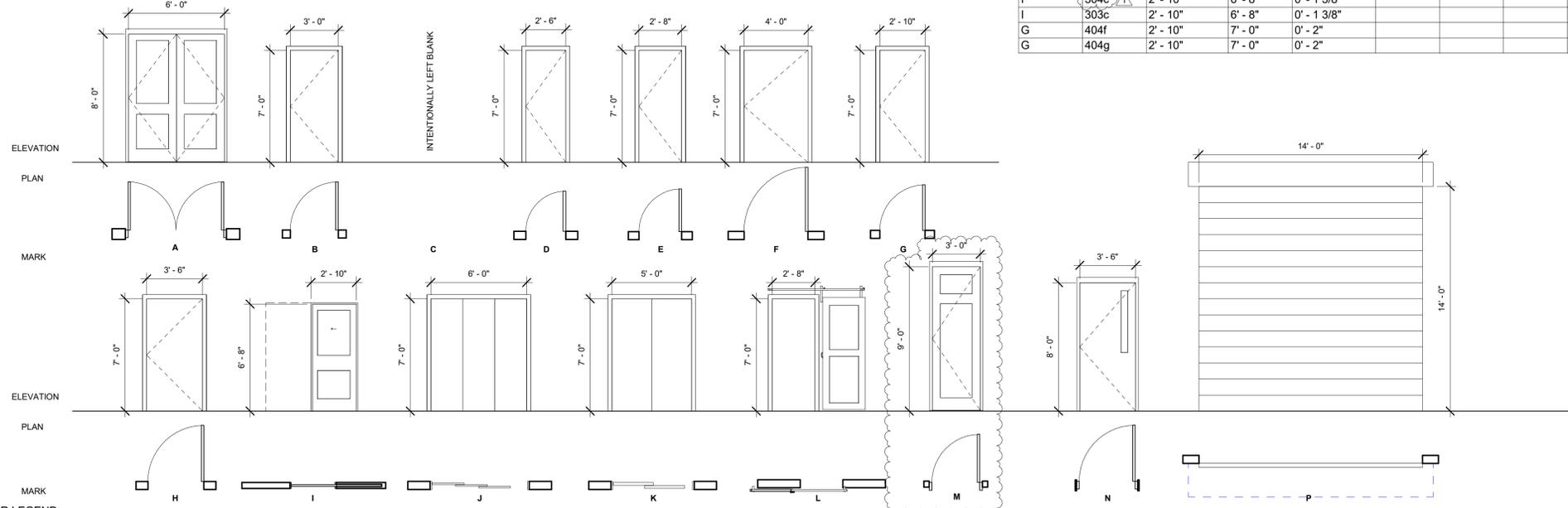


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DOOR SCHEDULE													
IDENTITY		DOOR							FRAME				
TYPE MARK	MARK	WIDTH	HEIGHT	THICKNESS	DOOR TYPE	FINISH	FIRE RATING	COUNT	U-VALUE	HARDWARE	FRAME MATERIAL	FRAME FINISH	COMMENTS
A	01	6'-0"	8'-0"	0'-1 3/4"				1	0.16	A, E			1, 4
G	205a	2'-10"	7'-0"	0'-2"				1		C			
N	09a	3'-6"	8'-0"	0'-1 3/4"			90 MIN	1		D, E			4, 5, 6, 10
N	05b	3'-6"	8'-0"	0'-1 3/4"			90 MIN	1		D, E			4, 5, 6, 10
Q	05	3'-0"	8'-0"	0'-1 3/4"				1	0.16	A, E			4, 5
X	05a	3'-0"	8'-0"	0'-1 3/4"			90 MIN	1		D, E			4, 5
A	11	6'-0"	8'-0"	0'-1 3/4"				1	0.16	A, E			1, 2, 4, 5
Y	204	3'-0"	7'-0"	0'-2"			20 MIN	1		A			4, 5
G	204a	2'-10"	7'-0"	0'-2"				1		C			
I	204c	2'-10"	6'-8"	0'-1 3/8"				1		C, G			
K	205c	5'-0"	7'-0"	0'-2"				1		G			
B	08	3'-0"	7'-0"	0'-2"				1	0.16	B, E			4, 5
AA	06a	3'-6"	7'-0"	0'-2"			20 MIN	1		D			4, 5, 10
P	06	6'-0"	9'-0"	0'-3"				1		I			
Y	08a	3'-0"	7'-0"	0'-2"			20 MIN	1		B			4, 5
F	04	4'-0"	7'-0"	0'-2"				1	0.16	B, E			4, 5
A	03	6'-0"	8'-0"	0'-1 3/4"				1	0.16	A, E			1, 4, 5
Z	04a	4'-0"	7'-0"	0'-2"			20 MIN	1		D			4, 5, 10
B	101d	3'-0"	7'-0"	0'-2"				1		C			
G	03b	2'-10"	7'-0"	0'-2"				1		C			
Y	03a	3'-0"	7'-0"	0'-2"			20 MIN	1		B			4, 5, 6
I	101e	2'-10"	6'-8"	0'-1 3/8"				1		C, G			
J	101f	6'-8 5/32"	7'-0"	0'-1"				1		G			
G	306b	2'-10"	7'-0"	0'-2"				1		C			
Y	306	3'-0"	7'-0"	0'-2"			20 MIN	1		A			4, 5
D	205b	2'-6"	7'-0"	0'-2"				1		D			
J	306c	7'-7 3/4"	8'-0"	0'-1"				1		G			
G	301b	2'-10"	7'-0"	0'-2"				1		C			
Y	301	3'-0"	7'-0"	0'-2"			20 MIN	1		A			4, 5
Y	203	3'-0"	7'-0"	0'-2"			20 MIN	1		A			4, 5
G	203a	2'-10"	7'-0"	0'-2"				1		C			
I	203c	2'-10"	6'-8"	0'-1 3/8"				1		C, G			
G	206b	2'-10"	7'-0"	0'-2"				1		C			
Y	206	3'-0"	7'-0"	0'-2"			20 MIN	1		A			4, 5
J	206c	7'-7 3/4"	7'-0"	0'-1"				1		G			
G	201b	2'-10"	7'-0"	0'-2"				1		C			
Y	201	3'-0"	7'-0"	0'-2"			20 MIN	1		A			4, 5
B	01a	3'-0"	7'-0"	0'-2"				1		C			
I	202a	2'-10"	6'-8"	0'-1 3/8"				1		C, G			
D	202c	2'-6"	7'-0"	0'-2"				1		D			
I	202b	2'-10"	6'-8"	0'-1 3/8"				1		C, G			
Y	202	3'-0"	7'-0"	0'-2"			20 MIN	1		A			4, 5
Y	305	3'-0"	7'-0"	0'-2"			20 MIN	1		A			4, 5
Y	304	3'-0"	7'-0"	0'-2"			20 MIN	1		A			4, 5
Y	303	3'-0"	7'-0"	0'-2"			20 MIN	1		A			4, 5
Y	302	3'-0"	7'-0"	0'-2"			20 MIN	1		A			4, 5
I	302a	2'-10"	6'-8"	0'-1 3/8"				1		C, G			
D	302c	2'-6"	7'-0"	0'-2"				1		D			
I	302b	2'-10"	6'-8"	0'-1 3/8"				1		C, G			
Y	101	3'-0"	7'-0"	0'-2"			20 MIN	1		A			4, 5
D	101b	2'-6"	7'-0"	0'-2"				1		D			
I	101c	2'-10"	6'-8"	0'-1 3/8"				1		C, G			
I	101a	2'-10"	6'-8"	0'-1 3/8"				1		C, G			
N	15	3'-6"	8'-0"	0'-1 3/4"			90 MIN	1		D, E			4, 5, 6, 10
N	13	3'-6"	8'-0"	0'-1 3/4"			90 MIN	1		D, E			4, 5, 6, 10
N	15a	3'-6"	8'-0"	0'-1 3/4"			90 MIN	1		D, E			4, 5, 6, 10

DOOR SCHEDULE													
IDENTITY		DOOR							FRAME				
TYPE MARK	MARK	WIDTH	HEIGHT	THICKNESS	DOOR TYPE	FINISH	FIRE RATING	COUNT	U-VALUE	HARDWARE	FRAME MATERIAL	FRAME FINISH	COMMENTS
N	13a	3'-6"	8'-0"	0'-1 3/4"			90 MIN	1		D, E			4, 5, 6, 10
O	12	2'-8"	7'-0"	0'-2"				1		B			
M	406d	3'-0"	9'-0"	0'-1 3/4"				1	0.16	D			1
M	401d	3'-0"	9'-0"	0'-1 3/4"				1	0.16	D			1
M	206d	3'-0"	9'-0"	0'-1 3/4"				1	0.16	D			1
M	201d	3'-0"	9'-0"	0'-1 3/4"				1	0.16	D			1
M	306d	3'-0"	9'-0"	0'-1 3/4"				1	0.16	D			1
M	301d	3'-0"	9'-0"	0'-1 3/4"				1	0.16	D			1
G	201a	2'-10"	7'-0"	0'-2"				1		C			
G	206a	2'-10"	7'-0"	0'-2"				1		C			
G	305a	2'-10"	7'-0"	0'-2"				1		C			
K	305c	5'-0"	7'-0"	0'-2"				1		G			
D	305b	2'-6"	7'-0"	0'-2"				1		D			
K	201c	5'-0"	7'-0"	0'-2"				1		G			
M	203d	3'-0"	9'-0"	0'-1 3/4"				1	0.16	D			1
M	204d	3'-0"	9'-0"	0'-1 3/4"				1	0.16	D			1
M	303d	3'-0"	9'-0"	0'-1 3/4"				1	0.16	D			1
M	304d	3'-0"	9'-0"	0'-1 3/4"				1	0.16	D			1
M	403d	3'-0"	9'-0"	0'-1 3/4"				1	0.16	D			1
M	404d	3'-0"	9'-0"	0'-1 3/4"				1	0.16	D			1
G	406b	2'-10"	7'-0"	0'-2"				1		C			
Y	406	3'-0"	7'-0"	0'-2"			20 MIN	1		A			4, 5
J	406c	7'-7 15/16"	7'-0"	0'-1"				1		G			
G	401b	2'-10"	7'-0"	0'-2"				1		C			
Y	401	3'-0"	7'-0"	0'-2"			20 MIN	1		A			4, 5
Y	404	3'-0"	7'-0"	0'-2"			20 MIN	1		A			4, 5
Y	403	3'-0"	7'-0"	0'-2"			20 MIN	1		A			4, 5
Y	402	3'-0"	7'-0"	0'-2"			20 MIN	1		A			4, 5
I	402a	2'-10"	6'-8"	0'-1 3/8"				1		C, G			
L	402b	2'-8"	7'-0"	0'-2"				1		C, G			
G	405a	2'-10"	7'-0"	0'-2"				1		C			
K	405c	5'-0"	8'-0"	0'-2"				1		G			
D	402c	2'-6"	7'-0"	0'-2"				1		D			
L	404b	2'-8"	7'-0"	0'-2"				1		C, G			
D	405b	2'-6"	7'-0"	0'-2"				1		D			
N	09	3'-6"	8'-0"	0'-1 3/4"			90 MIN	1		E			4, 5, 6
L	403b	2'-8"	7'-0"	0'-2"				1		C, G			
FF	204b	2'-8"	7'-0"	0'-2"				1		C, G			
L	203b	2'-8"	7'-0"	0'-2"				1		C, G			
L	303b	2'-8"	7'-0"	0'-2"				1		C, G			
L	304b	2'-8"	7'-0"	0'-2"				1		C, G			
V	406f	3'-0"	8'-0"	0'-2"			45 min	1					11
V	406g	3'-0"	8'-0"	0'-2"			45 min	1					11
G	301a	2'-10"	7'-0"	0'-2"				1		C			
G	306a	2'-10"	7'-0"	0'-2"				1		C			
G	401a	2'-10"	7'-0"	0'-2"				1		C			
G	406a	2'-10"	7'-0"	0'-2"				1		C			
K	301c	5'-0"	7'-0"	0'-2"				1		G			
K	401c	5'-0"	7'-0"	0'-2"				1		G			
Y	405	3'-0"	7'-0"	0'-2"			20 MIN	1		A			4, 5
Y	205	3'-0"	7'-0"	0'-2"			20 MIN	1		A			4, 5
Y	306j	3'-0"	7'-0"	0'-2"			20 MIN	1		A			4, 5
I	404c	2'-10"	6'-8"	0'-1 3/8"				1		C, G			
I	403c	2'-10"	6'-8"	0'-1 3/8"				1		C, G			
G	404a	2'-10"	7'-0"	0'-2"				1		C			
G	403a	2'-10"	7'-0"	0'-2"				1		C			
I	304c	2'-10"	6'-8"	0'-1 3/8"				1		C, G			
I	303c	2'-10"	6'-8"	0'-1 3/8"				1		C, G			
G	404f	2'-10"	7'-0"	0'-2"				1		C			
G	404g	2'-10"	7'-0"	0'-2"				1		C			



- HARDWARE KEY**
- A. ENTRANCE LOCK - LATCH BY LEVER EITHER SIDE. DEADBOLT BY KEY OUTSIDE. TURNPIECE INSIDE. TURNPIECE UNLOCKS DEADBOLT FROM INSIDE.
 - B. STOREROOM LOCK - LATCH BY LEVER INSIDE. LEVER BY KEY (FAB) OUTSIDE. OUTSIDE LEVER ALWAYS RIGID. INSIDE ALWAYS UNLOCKED.
 - C. PRIVACY LOCK - LATCH BY LEVER EITHER SIDE EXCEPT WHEN OUTSIDE LEVER IS LOCKED BY INSIDE TURNPIECE.
 - D. PASSAGE LOCK - LATCH BY LEVER EITHER SIDE.
 - E. PANIC HARDWARE.
 - F. BI-PASS DOOR.
 - G. SLIDING DOOR.
 - H. BI-FOLD CLOSET DOOR.
 - I. ROLL DOOR.

- DOOR COMMENTS & NOTES**
1. FULL LITE DOOR W/ TEMPERED GLASS
 2. TRANSOM
 3. SIDE LITE W/ TG GLAZING
 4. CLOSER
 5. SMOKE AND DRAFT CONTROL GASKETS (S-LABEL)
 6. MAGNETIC HOLD OPEN WITH ALARM RELEASE
 7. MAXIMUM CORE THICKNESS OF 1 3/8"
 8. FULL LITE DOOR W/ TG GLAZING TO BE FROSTED
 9. FULL LITE SLIDING DOOR W/ TG GLASS
 10. DOOR VISION PANEL
 11. ROOF HATCH
- NOTE: FIELD MEASUREMENTS REQUIRED & SITE CONDITIONS TO BE VERIFIED BY DOOR SUPPLIER & CONTRACTOR PRIOR TO INSTALLATION. WINDOW DIMENSION IS THE ROUGH OPENING. DOOR DIMENSION IS FROM THE INSIDE FACE OF THE DOOR FRAME.

DOOR LEGEND
1/4" = 1'-0" @ 24" x 36"



REGISTERED ARCHITECT
ALEXANDER R. FOSLER
PORTLAND, OREGON
STATE OF OREGON

FOSLER
ARCHITECTURE.COM

Project
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PORTLAND, OR 97227

VANCOUVER APARTMENTS

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Date
22 AUGUST 2019

Revisions
R# DESCRIPTION DD MM YY
1 CHECKSHEET 10/23/2019 RESPONSE #1

Sheet
A71.0

Title
DOOR SCHEDULES